

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	

GENERAL INFORMATION

Development name: Trinity Academy Upper School

Inside City limits? ☒ Yes ☐ No

Property address(es): **10224 Baileywick Road**

Site P.I.N.(s): 0788-97-4000

Please describe the scope of work. Include any additions, expansions, and change of use.

This project consists of construction of a new Upper School building and associated parking lot and utility infrastructure along with new tennis courts.

Current Property Owner/Developer Contact Name: Trinity Academy /

NOTE: please attach purchase agreement when submitting this form.

Company: Trinity Academy, Inc.

Title: Owner Representative

Address: 10224 Baileywick Road, Raleigh, NC 27613

Phone #:

Email:

Applicant Name: Don Curry

Company: Curry Engineering, PLLC

Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27526

Phone #: 919-552-0849

Email: don@curryeng.com

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-1	Existing gross floor area (not to be demolished): 61,668 sf
	Existing gross floor area to be demolished: n/a
Gross site acreage: 37.32 AC	New gross floor area: 38,673 sf
# of parking spaces required: 144	Total sf gross (to remain and new): 100,341 sf
# of parking spaces proposed: 196	Proposed # of buildings: 1
Overlay District (if applicable): SHOD-1, FWPOD	Proposed # of stories for each: 3
Existing use (UDO 6.1.4): Civic/School	
Proposed use (UDO 6.1.4) Civic/School (Classrooms, admin./office)	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 5.06 Square Feet: 220,367	Proposed Impervious Surface: Acres: 7.44 Square Feet: 324,088
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: _____	
Alluvial soils: N/A	
Flood study: N/A	
FEMA Map Panel #: 3720078800J, 3720079800J	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: N/A	Total # of hotel units:
# of bedroom units: 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK

<p>I hereby designate <u>The Curry Engineering Group, PLLC</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.</p>	
Signature: <u>Matthew Braxton</u>	Date: <u>02/11/2021</u>
Printed Name: <u>Matthew Braxton</u>	

TRINITY ACADEMY UPPER SCHOOL

CITY OF RALEIGH - WAKE COUNTY, NORTH CAROLINA

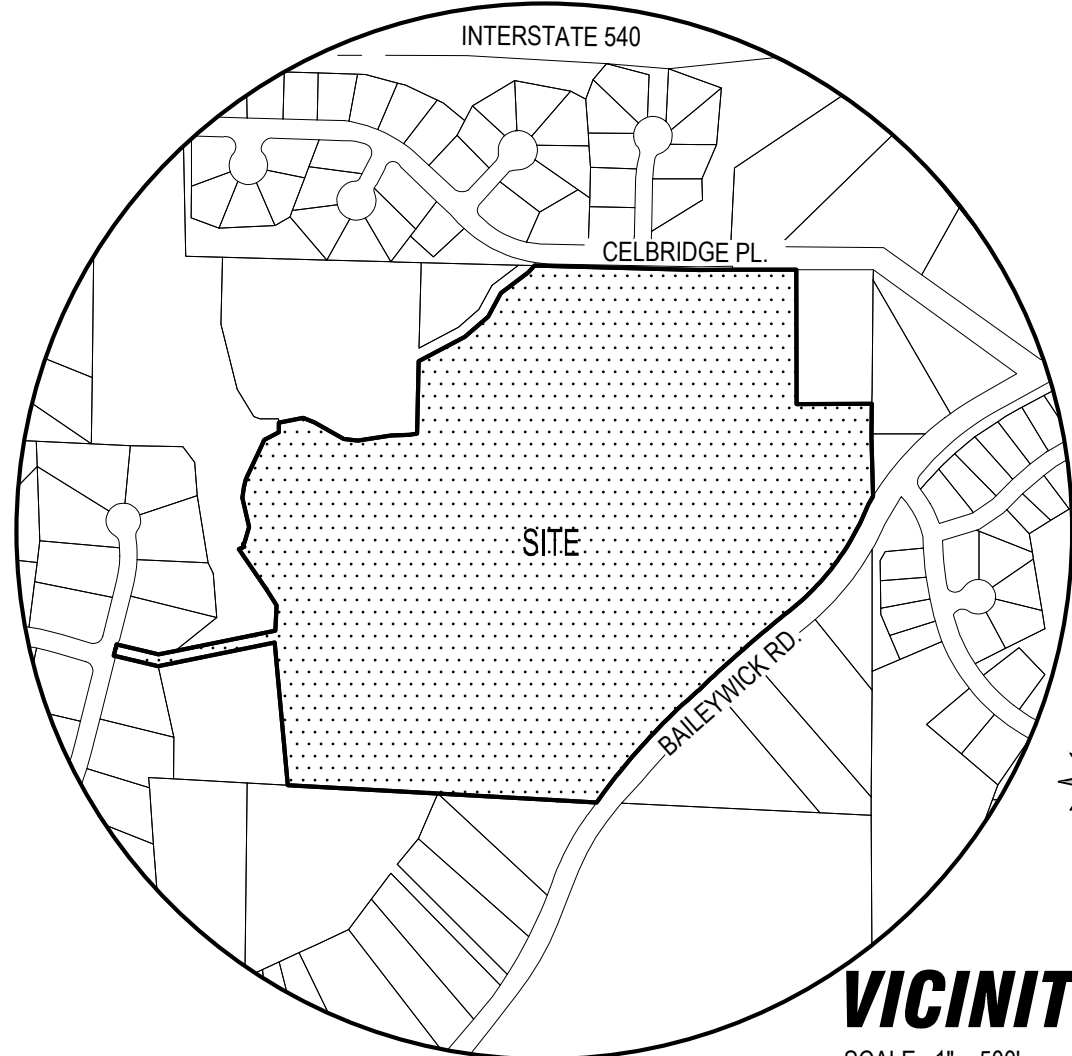
ADMINISTRATIVE SITE REVIEW (ASR) PACKAGE

ADMINISTRATIVE SITE REVIEW #ASR-0011-2021

1st SUBMITTAL TO CITY OF RALEIGH: FEBRUARY 16, 2021

2nd SUBMITTAL TO CITY OF RALEIGH: JUNE 28, 2021

3rd SUBMITTAL TO CITY OF RALEIGH: OCTOBER 6, 2021



VICINITY MAP

SCALE: 1" = 500'

SITE INFORMATION:

LOCATION: 10224 BAILEYWICK RD.
COUNTY: RALEIGH, NC 27613
WAKE
PARCEL #: 0788-97-4000
REID #: 0006904
DB/P: 8737 / 987
CURRENT ZONING: R-1 (SHOD-1 & FWPOD)
ACREAGE (PRIOR TO ROW DEDICATION): 37.32 AC
ACREAGE (AFTER ROW DEDICATION): 37.07 AC
RIGHT OF WAY & OTHER AREAS:
RIGHT OF WAY DEDICATION: 0.25 AC
GREENWAY DEDICATION: N/A
STREAM BUFFER (ON SITE): N/A
TREE CONSERVATION AREA:
NET PROPERTY AREA: 37.07 AC
TCA REQUIRED: 5.560 AC (15% MIN.)
TCA PROVIDED: 5.941 AC (16.1%)
REQUIRED PARKING (CIVIC USE - SCHOOL K-8 & 9-12, OFFICE)
EXISTING GRADES K-8 (EXIST. ATRIUM - 2,317 SF): 66 (1 SPACE/5 SEATS) (330 SEATS)
* BASED ON LARGEST ASSEMBLY ROOM
EXISTING GRADES 9-12: 12 (1 SPACE/600 SF ACADEMIC SPACE)
(EXIST. ACADEMIC SPACE - 7,250 SF)
EXISTING OFFICE/ADMIN (12,010 SF): 30 (1 SPACE/400 SF)
(UPPER SCHOOL) PROPOSED GRADES 9-12: 32 (1 SPACE/600 SF ACADEMIC SPACE)
(PROP. UPPER SCHOOL ACADEMIC SPACE - 18,779 SF)
(UPPER SCHOOL) PROPOSED OFFICE/ADMIN (1,534 SF): 4 (1 SPACE/400 SF)
TOTAL SPACES REQUIRED: 144 SPACES
REQUIRED HIC PARKING: 6
REQUIRED BICYCLE PARKING: 30
PROVIDED PARKING:
REGULAR SPACES: 63 SPACES (PROPOSED)
126 SPACES (EXISTING)
HIC SPACES: 2 SPACES (PROPOSED)
5 SPACES (EXISTING)
TOTAL PROVIDED PARKING: 196 SPACES
PROVIDED BICYCLE PARKS:
LONG TERM (COVERED): 7 RACKS - 2 PARKS EACH = 14 PARKS
SHORT TERM (UNCOVERED): 8 RACKS - 2 PARKS EACH = 16 PARKS
TOTAL = 30 BICYCLE PARKS
IMPERVIOUS AREAS:
EXISTING (TO REMAIN):
ROADWAYS/PARKING/GRAVEL: 3.17 AC
SIDEWALKS/WALLS/CONC. PADS: 0.46 AC
BUILDINGS/SHEDS/MISC.: 1.43 AC
TOTAL EXISTING IMPERVIOUS: 5.06 AC (13.6% BASED ON NET ACREAGE)
PROPOSED:
ROADWAYS/PARKING: 0.87 AC
SIDEWALKS/WALLS: 0.25 AC
BUILDINGS: 0.40 AC
TENNIS COURTS (REF. SPR 0124-2021): 0.86 AC
TOTAL PROPOSED IMPERVIOUS: 2.38 AC (6.42% BASED ON NET ACREAGE)
OVERALL TOTAL IMPERVIOUS AREA: 7.44 AC (20.1% BASED ON NET ACREAGE)
UTILITY DEMANDS:
SEWER/WATER USAGE: 15 GAL/STUDENT (NCAC 2T RULES)
BUILDING AREA (GROSS SF):
EXISTING GYMNASIUM/ATRIUM: 17,676 SF
EXISTING LOWER SCHOOL A: 8,241 SF
EXISTING LOWER SCHOOL B: 8,411 SF
EXISTING ADMINISTRATION BUILDING: 9,084 SF
EXISTING MATH & SCIENCE BUILDING: 8,211 SF
EXISTING HUMANITIES BUILDING: 8,259 SF
EXISTING MISC. (SHEDS, EQUIPMENT BLDGS): 1,786 SF
PROPOSED UPPER SCHOOL:
1ST FLOOR - 17,440 SF
2ND FLOOR - 17,440 SF
3RD FLOOR - 3,793 SF
TOTAL = 38,673 SF

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH
CITY OF RALEIGH STANDARDS & SPECIFICATIONS

DRAWING INDEX

- C-00 COVER SHEET
- C-01 CIVIL NOTES
- C-02 EXISTING CONDITIONS & DEMOLITION PLAN
- C-03 OVERALL SITE PLAN
- C-04 PARTIAL SITE PLAN
- C-05 OVERALL UTILITY PLAN
- C-06 PARTIAL UTILITY PLAN
- C-07 OVERALL GRADING AND DRAINAGE PLAN
- C-08 PARTIAL GRADING AND DRAINAGE PLAN I
- C-09 PARTIAL GRADING AND DRAINAGE PLAN II
- C-10 LIGHTING PLAN
- C-11 STORMWATER POA PLAN - EXISTING
- C-12 STORMWATER POA PLAN - PROPOSED
- S-01 ORIGINAL SEALED SURVEY
- L-01 WPOD WOODED AREAS
- L-02 WPOD WOODED AREA DETAILS
- L-03 TREE CONSERVATION PLAN
- L-04 TREE COVER REPORT
- L-05 TREE COVER REPORT
- L-06 OVERALL LANDSCAPE PLAN
- L-07 PARTIAL LANDSCAPE PLAN I
- L-08 PARTIAL LANDSCAPE PLAN II
- L-09 PARTIAL LANDSCAPE PLAN III
- L-10 PARTIAL LANDSCAPE PLAN IV
- L-11 LANDSCAPE DETAILS
- A2.1 ARCHITECTURAL ELEVATIONS (2 SHTS)

GOVERNING AGENCIES:

PLANNING/ZONING:
CITY OF RALEIGH
ONE EXCHANGE PLAZA SUITE 304
RALEIGH, NC 27601
919-996-2437

STORMWATER ENGINEERING

CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

SEDIMENTATION & EROSION CONTROL

CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

UTILITY AGENCIES:

WATER & SEWER
CITY OF RALEIGH PUBLIC UTILITIES
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3484 (o)
CONTACT: KEITH TEW
EMAIL: keith.tew@raleighnc.gov

NATURAL GAS
PSNC ENERGY - SCANA
3516 SPRING FOREST ROAD
RALEIGH, NC 27616
919-501-7665 (o)
919-501-7685 (f)
CONTACT: CRAIG SCHOLL
EMAIL: cscholl@scana.com

ELECTRIC
PROGRESS ENERGY BUSINESS
9920 FAYETTEVILLE ROAD
RALEIGH, NC 27603
919-557-2611 (o)

PHONE
AT&T NC
5715 GLENWOOD AVE.
RALEIGH, NC 27612
910-785-7856 (o)
CONTACT: WANDA HARRIS
EMAIL: wh1741@att.com (e)

CABLE
TIME WARNER CABLE
101 INNOVATION AVE.
MORRISVILLE, NC 27560
919-882-4748 (o)
CONTACT: JEFF HUNTER
EMAIL: jeffrey.hunter@twcable.com

ATTENTION CONTRACTORS

The **Construction Contractor** responsible for the extension of water, sewer and/or reuse, as approved in these plans, is responsible for **contacting the Public Works Department at (919) 996-2409**, and the **Public Utilities Department at (919) 996-4540** at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both **City Departments** in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for **Inspection, Install a Downstream Plug**, have **Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.

PUBLIC

SEWER COLLECTION / EXTENSION SYSTEM

The City of Raleigh consents to the connection and extension of the City's public sewer system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

CITY OF RALEIGH
PUBLIC UTILITIES DEPARTMENT PERMIT #

AUTHORIZATION TO CONSTRUCT

DATE

PUBLIC

WATER DISTRIBUTION / EXTENSION SYSTEM

The City of Raleigh consents to the connection and extension of the City's public water system as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

CITY OF RALEIGH
PUBLIC UTILITIES DEPARTMENT PERMIT #

AUTHORIZATION TO CONSTRUCT

DATE

SOLID WASTE NOTES:

- SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL AND PER THE CITY OF RALEIGH CODE. A COPY OF DESIGN MANUAL CAN BE FOUND: <http://www.raleighnc.gov/content/SolidWaste/Documents/SolidWasteServicesDesignManual.pdf>
- SOLID WASTE AND RECYCLING SERVICE SHALL BE PROVIDED BY A PRIVATE GARBAGE COLLECTION SERVICE.

SITE NOTES:

- SITE WILL BE EXEMPT FROM BLOCK PERIMETER REQUIREMENTS PER UDO 8.3.2.2.B.IX (TC-6-19)
- SITE IS EXEMPT FROM CROSS ACCESS REQUIREMENTS PER UDO 8.3.5.D.5.C (TC-6-19)
- SITE IS IN FALLS LAKE WATERSHED OVERLAY DISTRICT AND IS EXEMPT FROM CONSTRUCTION OF CURB & GUTTER PER RSDM 5.2.1 (EXEMPTIONS TO FEE-IN-LIEU AND PAVEMENT CONSTRUCTION)

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	<input type="checkbox"/> Board of Adjustment #:
	<input type="checkbox"/> Zoning Case #:
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GENERAL INFORMATION

Development name: Trinity Academy Upper School

Inside City limits? ☒ Yes ☐ No

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Phone #: 919-552-0849 Email: don@curryeng.com

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REVISION 07.07.20

raleighnc.gov

DEVELOPMENT TYPE + SITE DATA TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-1	Existing gross floor area (not to be demolished): 61,668 sf
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STORMWATER INFORMATION

Existing Impervious Surface: Acres: 5.06 Square Feet: 220,387 Proposed Impervious Surface: Acres: 7.44 Square Feet: 324,088

Is this a flood hazard area? ☐ Yes ☒ No

If yes, please provide:

Alluvial soils: N/A

Flood study: N/A

FEMA Map Panel #: 37200788001, 37200788002

Neuse River Buffer: ☒ Yes ☐ No Wetlands: ☒ Yes ☐ No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: N/A Total # of hotel units:

of bedroom units: 1br ☐ 2br ☐ 3br ☐ 4br or more ☐

of lots: Is your project a cottage court? ☐ Yes ☐ No

SIGNATURE BLOCK

I hereby designate The Curry Engineering Group, PLLC to serve as my agent

regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

Signature: *Don Curry* Date: 07/11/2021

Printed Name: Don Curry

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REVISION 07.07.20

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ASR APPLICATION

COR UDO 6.3.1.D USE STANDARDS:

THIS PROJECT IS IN COMPLIANCE WITH THE FOLLOWING STANDARDS:

- MEET THE CURRICULAR TEACHING CERTIFICATION OF INSTRUCTION APPROVED BY THE STATE BOARD OF EDUCATION.
- BE LOCATED ON A LOT WITH TOTAL AREA OF 500 SQUARE FEET AREA PER ENROLLED PUPIL UNLESS WITHIN A DX- DISTRICT IN WHICH CASE NO MINIMUM AREA PER PUPIL SHALL BE REQUIRED.
- BE LOCATED OUTSIDE ANY AIRPORT OVERLAY DISTRICT OR PRIMARY RESERVOIR WATERSHED PROTECTION AREA.
- THE ADDITIONAL TRAFFIC GENERATED TO AND FROM THE SITE DURING PEAK TRAVEL PERIODS, COMBINED WITH THE BACKGROUND TRAFFIC VOLUME TRAVELING ON THE ROADWAY WOULD NOT REDUCE THE ROADWAY OR NEARBY INTERSECTIONS' CAPACITY BELOW LEVEL-OF-SERVICE "D," AS DEFINED IN THE HIGHWAY CAPACITY MANUAL, 1994.
- IN A RESIDENTIAL DISTRICT, A TYPE A1 OR A2 TRANSITIONAL PROTECTIVE YARD (SEE SEC. 7.2.4.A) MUST BE ESTABLISHED ALONG ANY SIDE OF THE PROPERTY ABUTTING ANY RESIDENTIAL USE.
- IN A RESIDENTIAL DISTRICT, A TYPE C2 STREET PROTECTIVE YARD (SEE SEC. 7.2.4.B) MUST BE ESTABLISHED ALONG ALL PROPERTY LINES ABUTTING A PUBLIC RIGHT-OF-WAY.

TRINITY ACADEMY - RALEIGH, NC

COVER SHEET

205 S. Fuquay Avenue
Fuquay-Varina, NC 27526
T (919) 552-0849
F (919) 552-0849

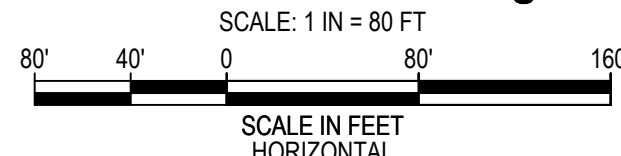
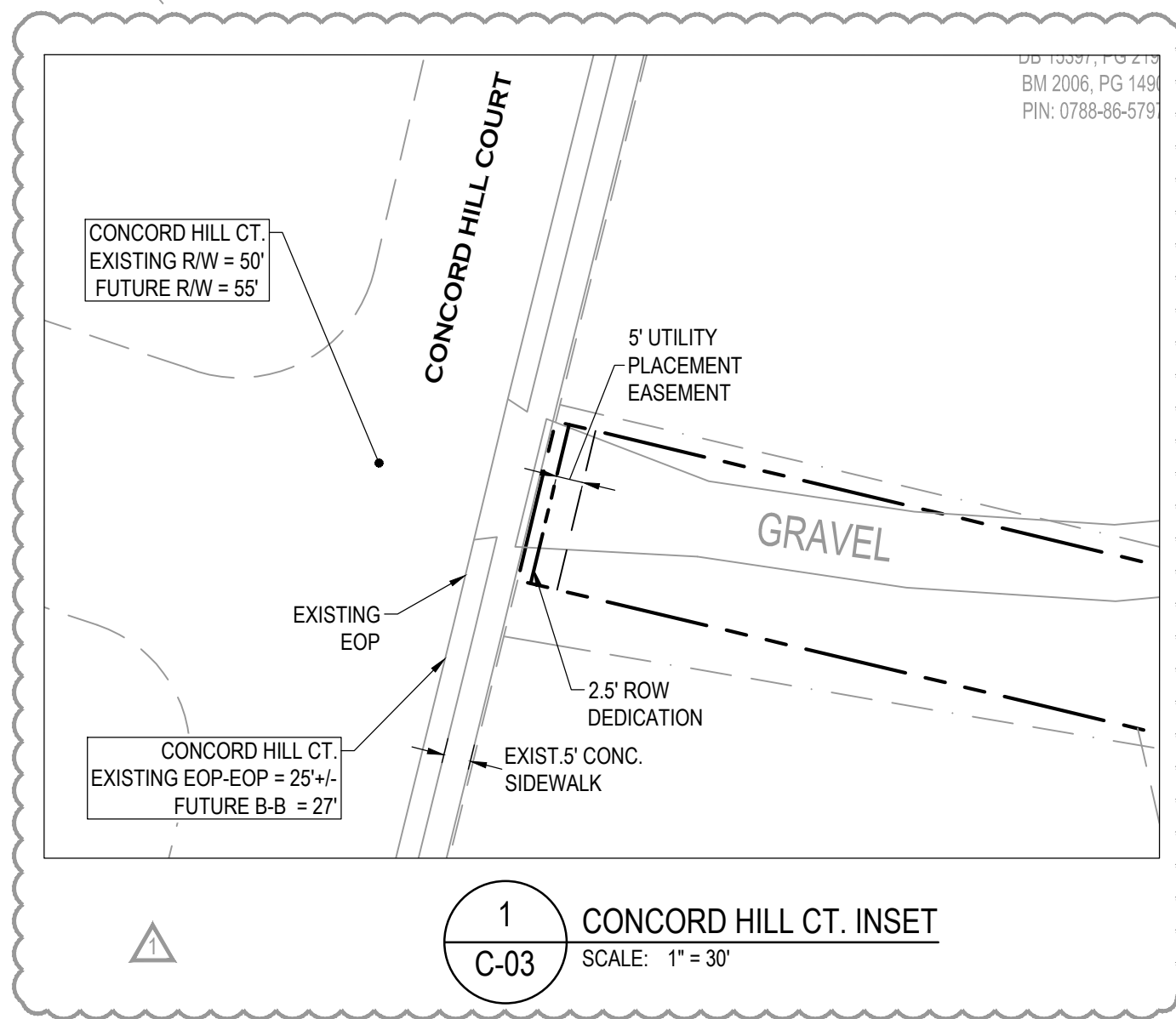
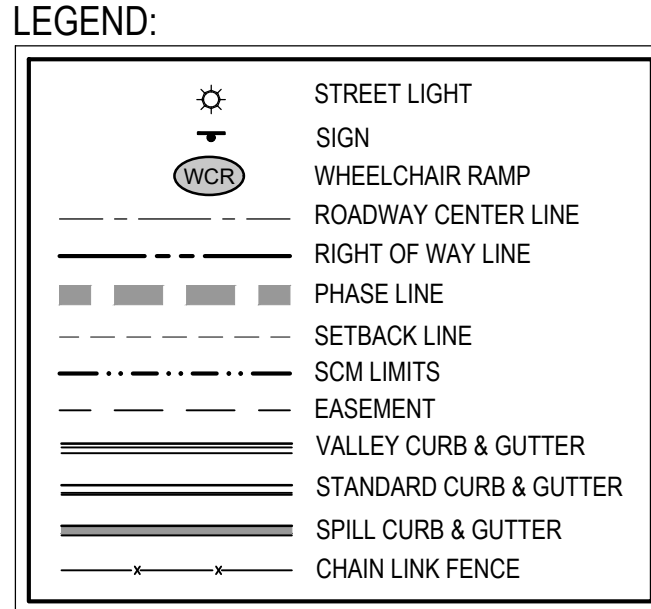
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ENGINEERING
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PRELIMINARY
DO NOT USE FOR
CONSTRUCTION

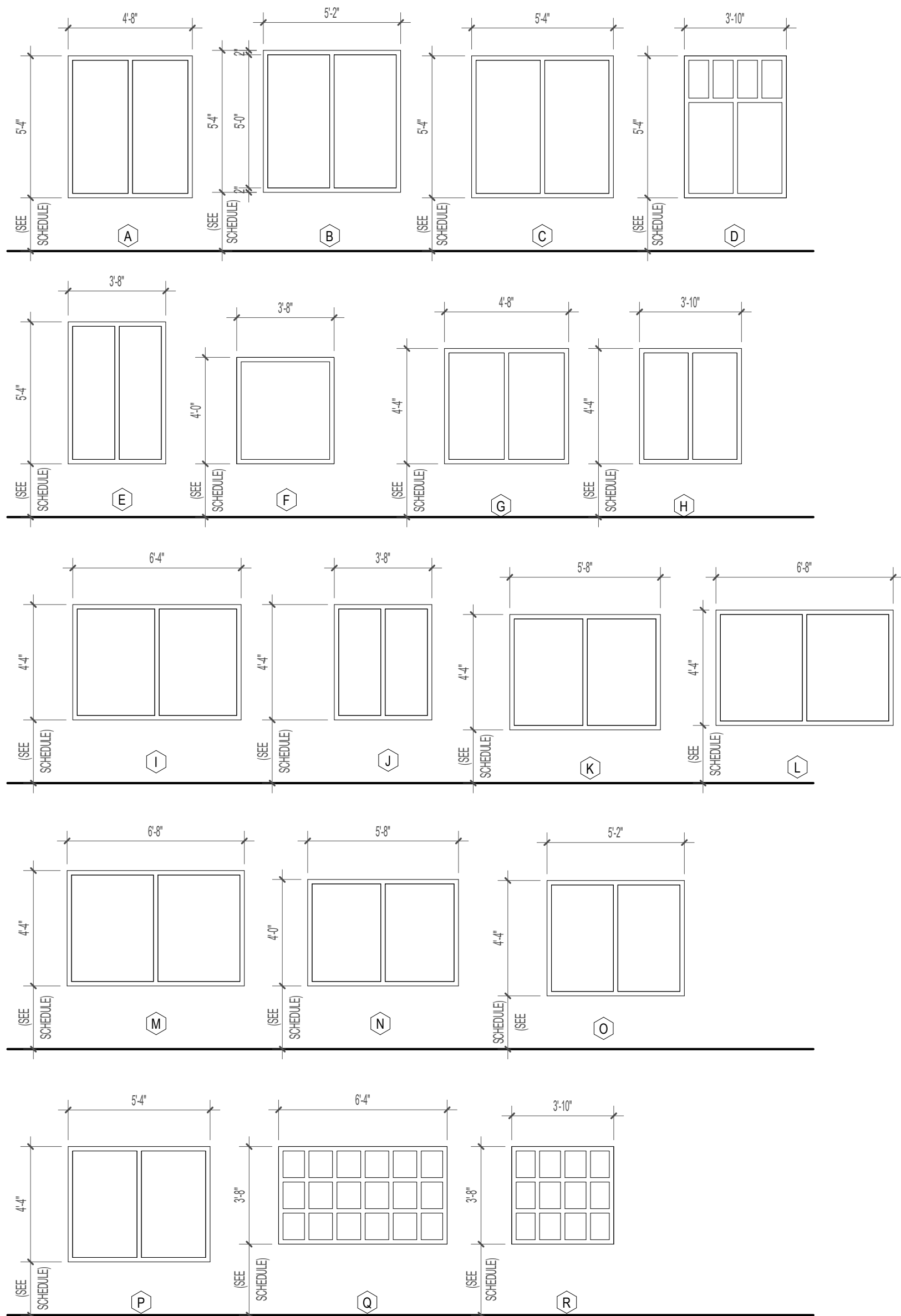
NOT FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

- ## GENERAL NOTES:
1. BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
 2. ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 3. ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
 4. ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
 5. CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
 6. PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
 7. CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE
 8. CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
 9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
 10. IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
 11. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
 12. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 13. ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
 14. ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL FINE SURFACE. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
 15. ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE CITY OF RALEIGH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 16. ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED OF CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS.
 17. TREE CONSERVATION AREAS SHALL BE RECORDED AS A CONDITION OF PLAN APPROVAL. REFER TO TREE CONSERVATION PLAN FOR MORE INFORMATION ON TREE CONSERVATION AREAS.
 18. ALL STRUCTURES WITHIN THE BOUNDARIES OF THE SITE REQUIRE INDIVIDUAL PERMITS FROM THE CITY OF RALEIGH INSPECTIONS AND PERMITS DEPARTMENT, INCLUDING RETAINING WALLS



NOT FOR CONSTRUCTION



ELEVATIONS - STOREFRONT - COR

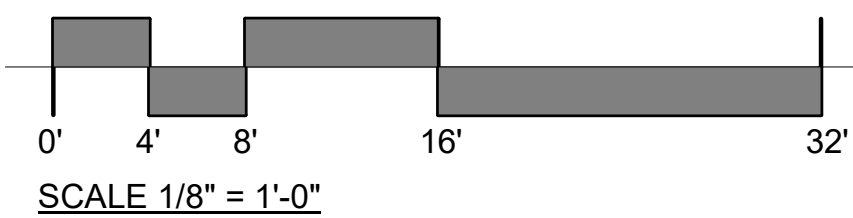
1/4" = 1'-0"

Project #	Project Date	No.	Date	Revisions	Description
200003	10/2/2021				
Project Name	Trinity Academy				
Date	10/2/2021				
Average Overall Circumference					
Upper School & Great Hall					
Building A					
Existing Elevations					
South Wall (1)	445.25	445.13	445.00	445.00	445.00
East-1 Wall (2)	445.25	445.13	445.00	445.00	445.00
South-2 Wall (3)	446.00	446.00	446.00	446.00	446.00
East-2 Wall (4)	446.00	446.00	446.00	446.00	446.00
North Wall (5)	446.00	446.00	446.00	446.00	446.00
West-3 Wall (6)	443.40	441.45	445.00	445.00	445.00
South-3 Wall (7)	442.50	443.50	445.00	445.00	445.00
West-3 Wall (8)	444.50	443.75	445.00	445.00	445.00
North-2 Wall (9)	443.75	443.75	445.00	445.00	445.00
West-1 Wall (10)	441.75	441.75	445.00	445.00	445.00
Average - Upper School	445.00	445.00	445.00	445.00	445.00
Per 1.5.7 average grade is the average post-dev grade at primary setback =					
445.00					
Maximum Allowable Building Height (UDO 2.2.5)					
40					
Maximum Allowable Building Elevation					
445					
Building					
Upper School	FFE	Proposed Bldg Ht.	Proposed Bldg Elev.	Proposed Bldg Elev.	Proposed Bldg Elev.
	445	40	445	445	445
Are Upper School Elevations Under the Max Allowable Elevation?					
YES					

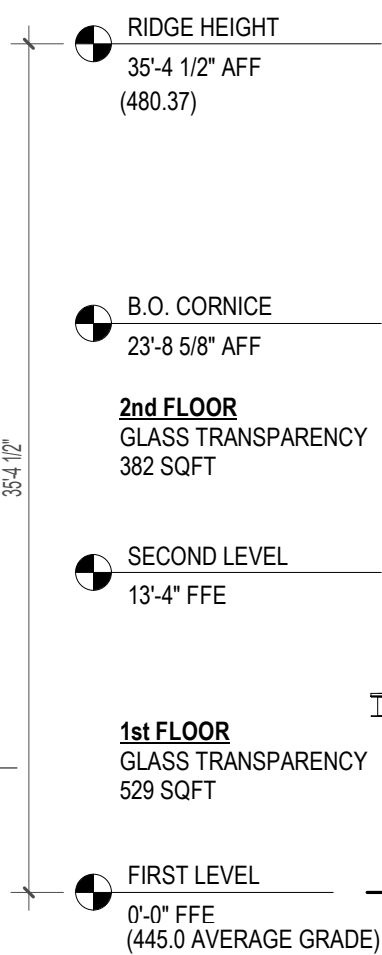
EAST - PRIMARY STREET FRONT CALC'S

TOTAL SECOND FLOOR AREA = 1,631 sqft
TOTAL SECOND FLOOR TRANSPARENCY = 382 sqft - PROVIDED (23.4%)
TOTAL REQUIRED TRANSPARENCY = 326.2 sqft (20%)

TOTAL GROUND FLOOR AREA = 2,045 sqft
TOTAL GROUND FLOOR TRANSPARENCY = 529 sqft - PROVIDED (25.9%)
TOTAL GROUND FLOOR REQUIRED TRANSPARENCY = 409 sqft (20%)
TOTAL GROUND FLOOR AREA 3'-8" = 730 sqft
TOTAL GROUND FLOOR TRANSPARENCY 3'-8" = 433 sqft - PROVIDED (105.8% OF REQ'D TRANSPARENT)
TOTAL GROUND FLOOR TRANSPARENCY 3'-8" = REQUIRED 365 sqft (50% OF REQ'D TRANSPARENT)



NOTE:
GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%. GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.



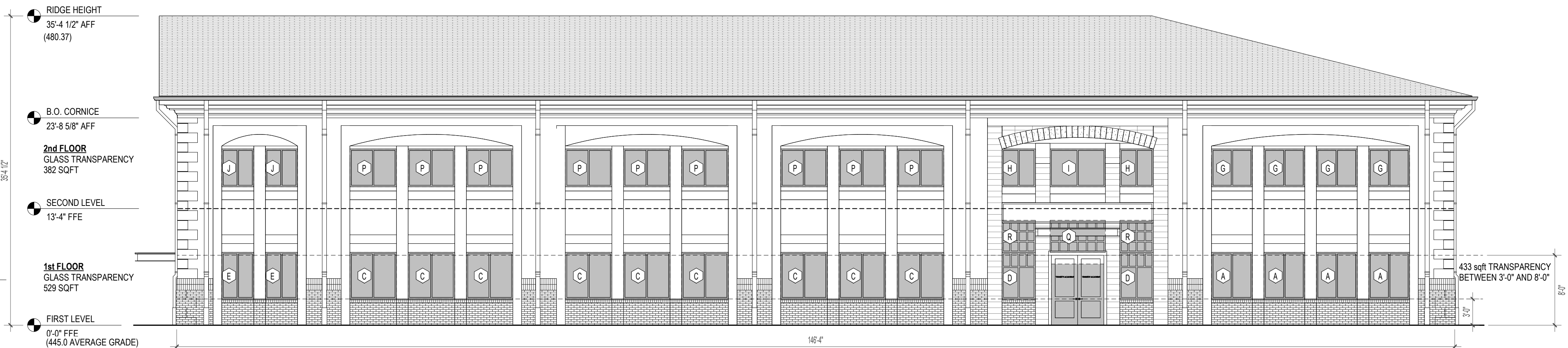
1 RIGHT (EAST) ELEVATION
1/8" = 1'-0"



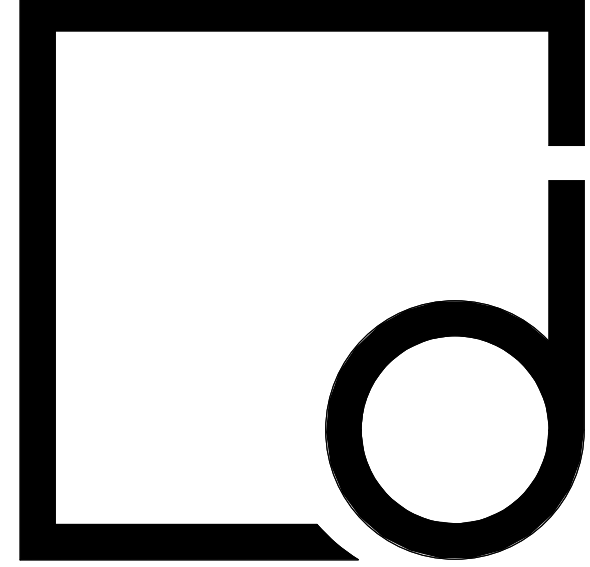
4 REAR (NORTH) ELEVATION
1/8" = 1'-0"



3 LEFT (WEST) ELEVATION
1/8" = 1'-0"



2 PRIMARY STREET (SOUTH) ELEVATION
1/8" = 1'-0"



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**TRINITY
ACADEMY -
UPPER SCHOOL
BUILDING**

10224 BAILEYWICK RD.
RALEIGH, NC 27613

No.	Description	Date
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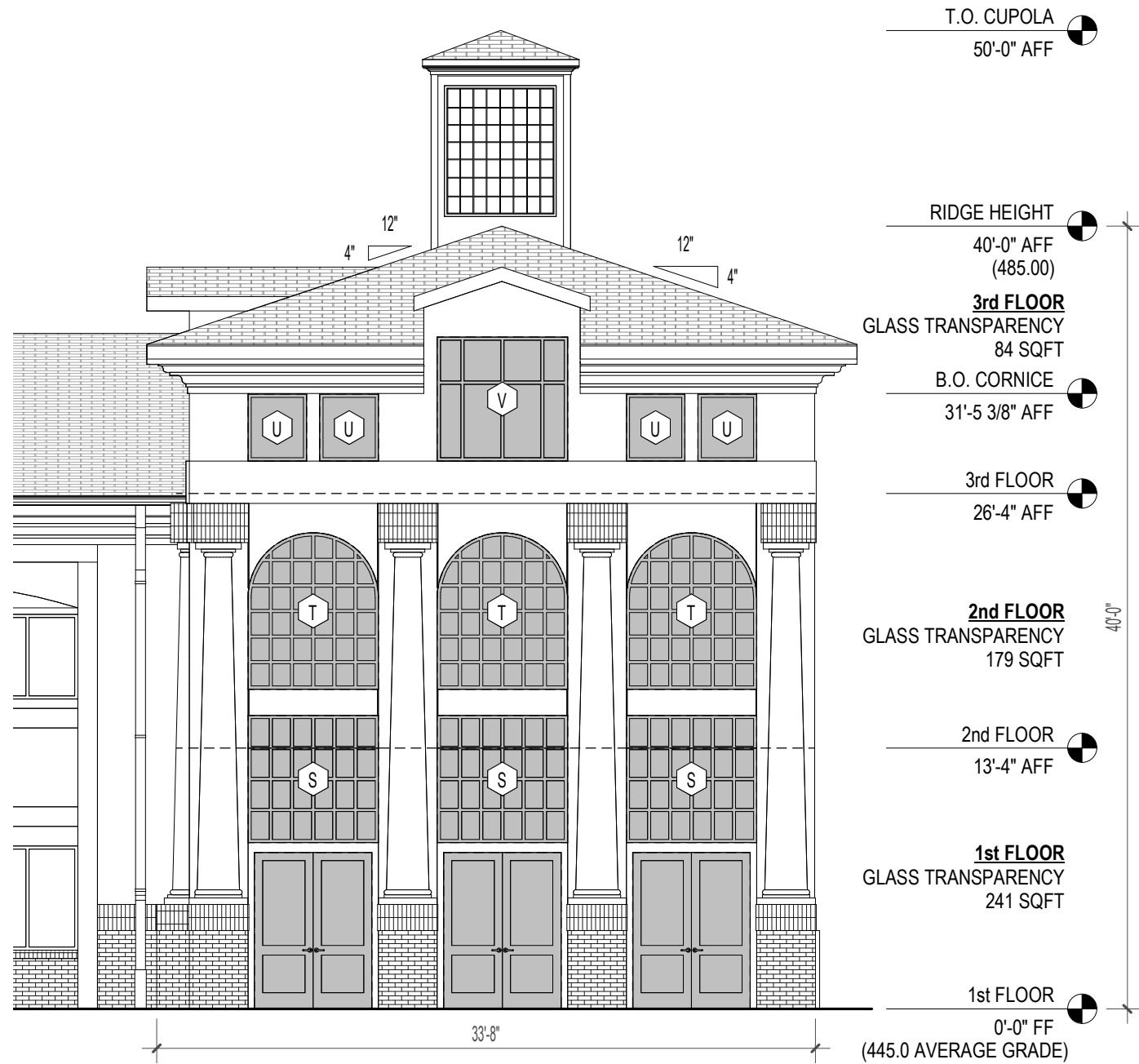
PROJECT #: 200003

DATE:

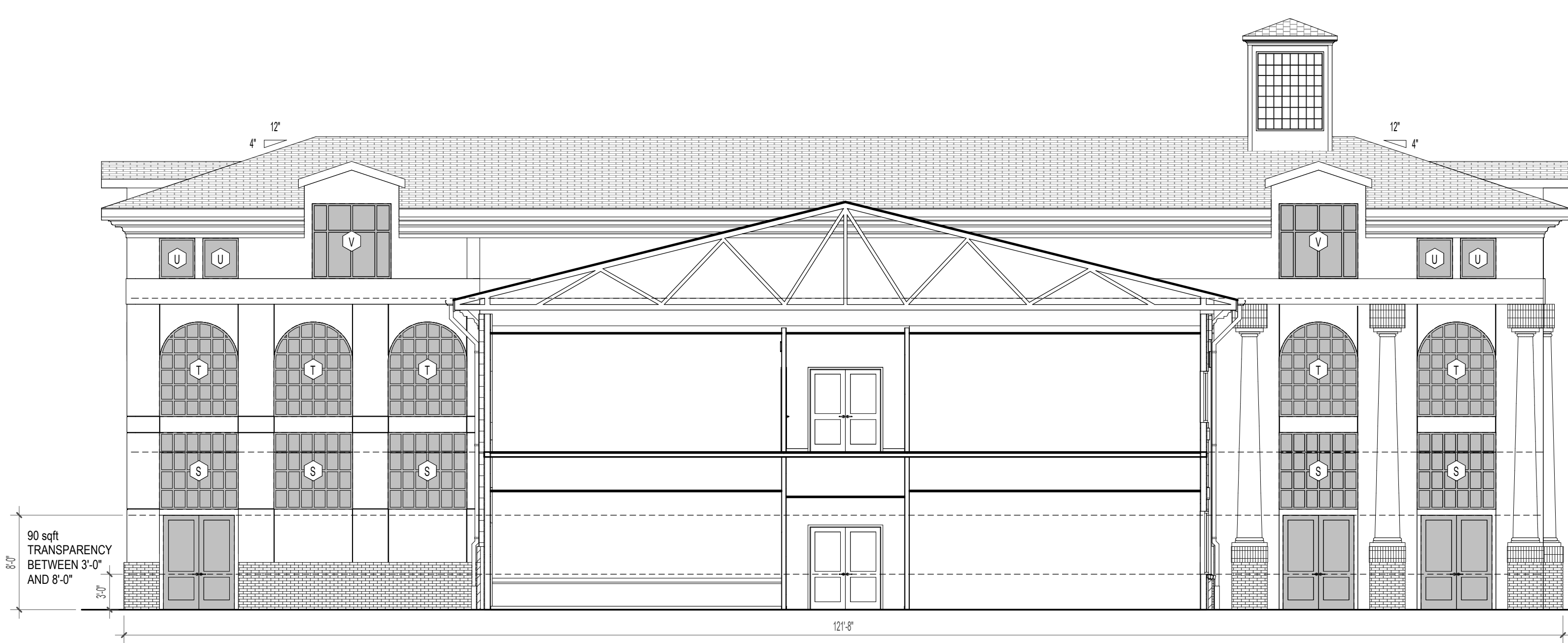
EXTERIOR ELEVATION

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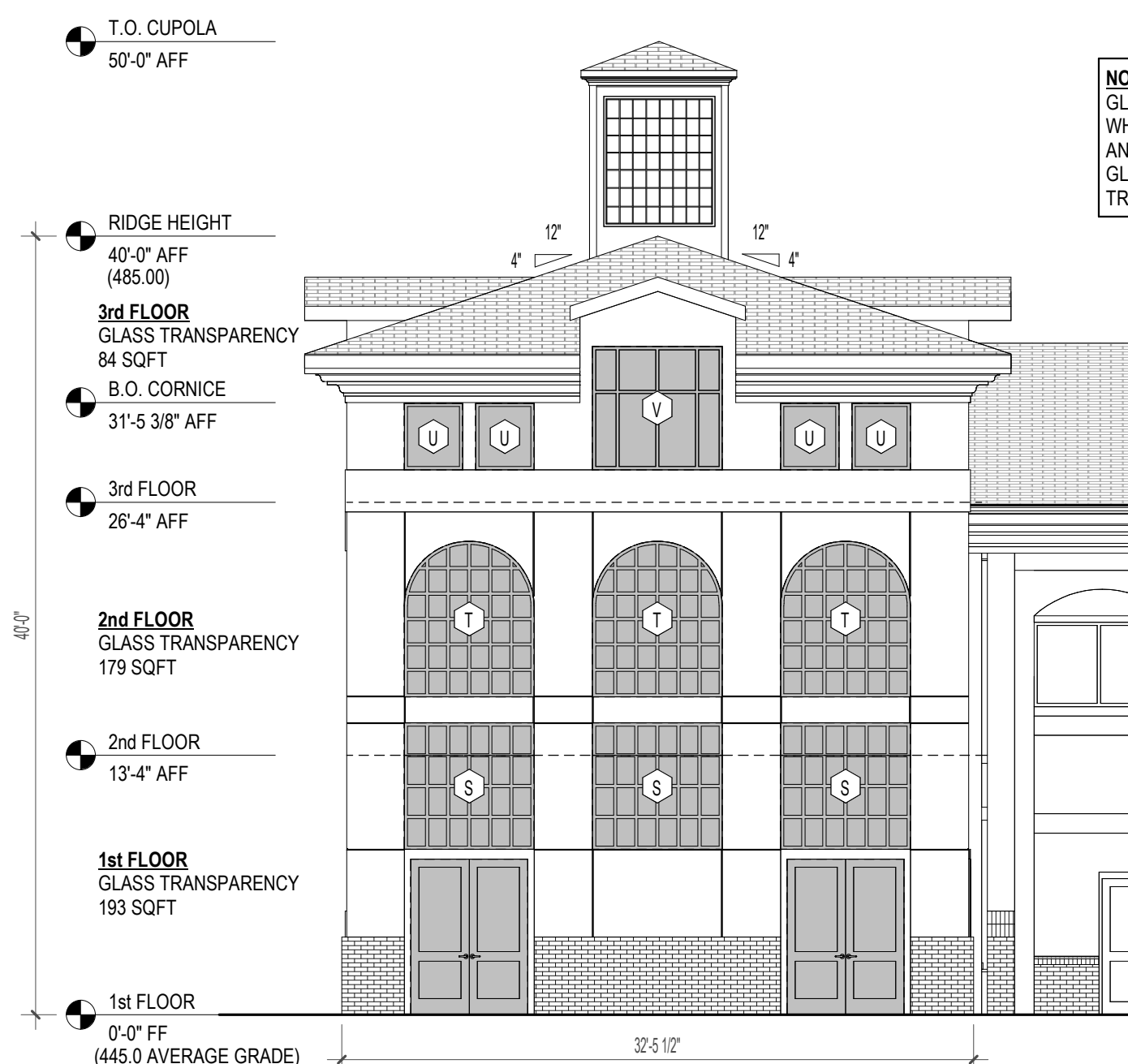
DIGITAL PRINT DATE: 10/7/2021 8:44:44 AM



1 RIGHT (EAST) ELEVATION
1/8" = 1'-0"

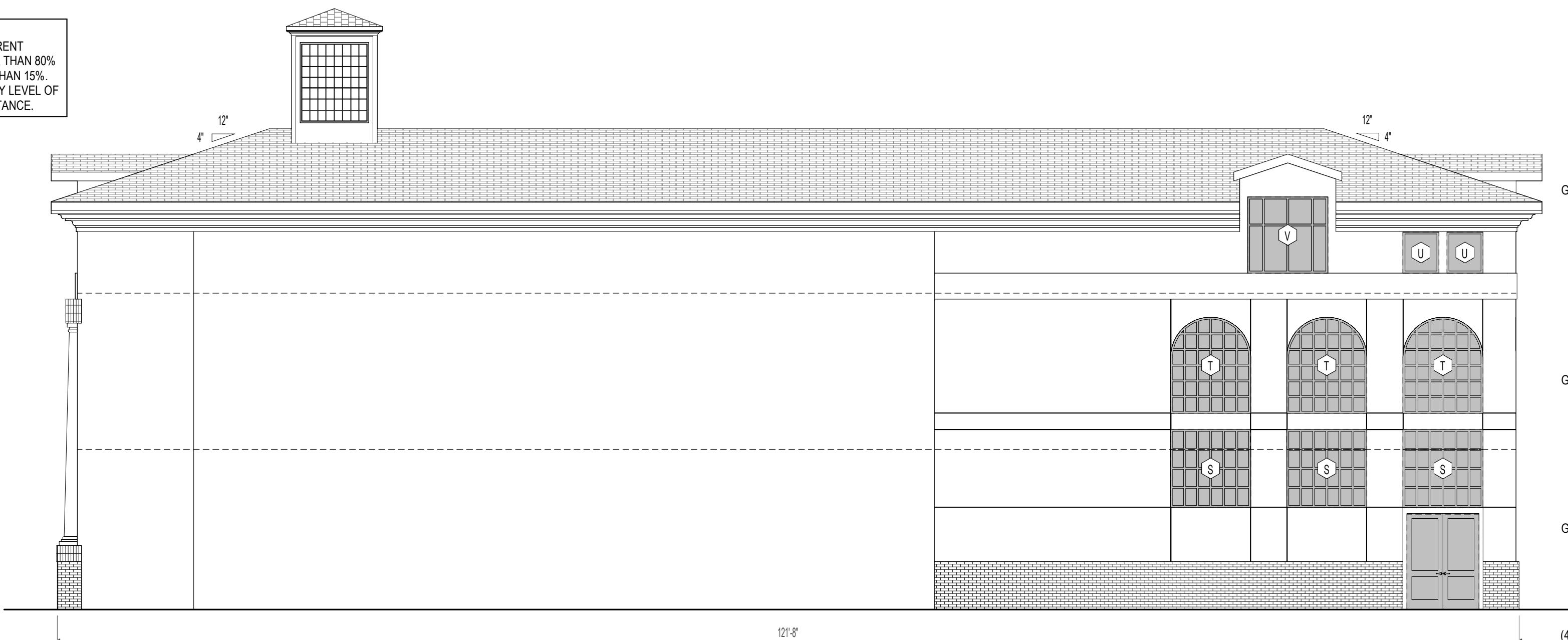


2 PRIMARY STREET (SOUTH) ELEVATION
1/8" = 1'-0"

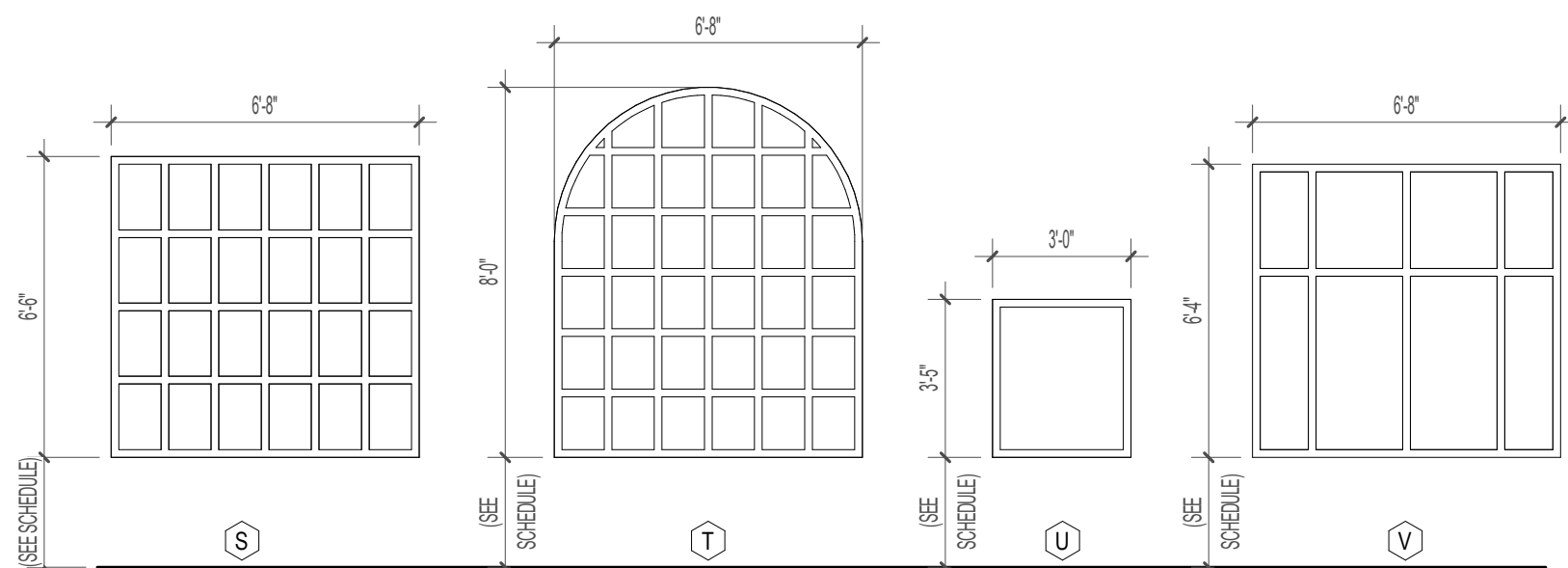


4 LEFT (WEST) ELEVATION
1/8" = 1'-0"

NOTE:
GLASS SHALL BE CONSIDERED TRANSPARENT
WHERE IT HAS A TRANSPARENCY HIGHER THAN 80%
AND EXTERNAL REFLECTANCE OF LESS THAN 15%.
GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF
TRANSPARENCY AND EXTERNAL REFLECTANCE.



3 REAR (NORTH) ELEVATION
1/8" = 1'-0"

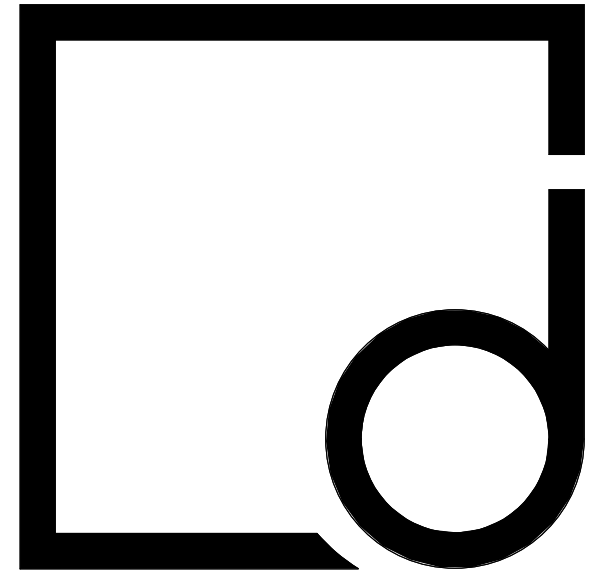
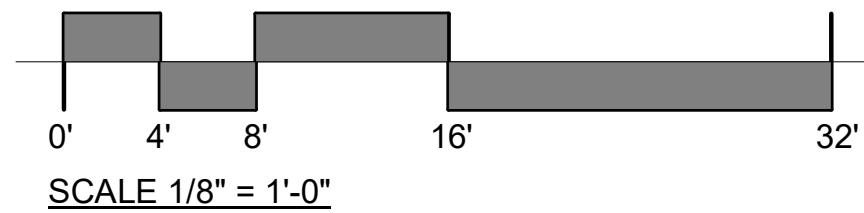


ELEVATION - STOREFRONT
1/4" = 1'-0"

Project #		Project Date		No.	Date	Revisions	Description
Project Name		Trinity Academy					
Date		10/20/2021					
Average Grade Calculation							
Upper School & Great Hall							
Building A	Existing Elevations			Proposed Elevations			
	Exst. Elevation "A"	Exst. Elevation "B"	Average	Prop. Elevation "A"	Prop. Elevation "B"	Average	
South Wall (1)	445.25	445.00	445.13	445.00	445.00	445.00	
East-1 Wall (2)	445.25	446.00	445.83	445.00	445.00	445.00	
South-2 Wall (3)	446.00	446.00	446.00	446.00	446.00	446.00	
East-2 Wall (4)	446.00	446.00	446.00	446.00	446.00	446.00	
North Wall (5)	446.00	446.40	443.20	445.00	445.00	445.00	
West-3 Wall (6)	442.40	441.50	441.45	445.00	445.00	445.00	
South-3 Wall (7)	442.50	444.50	443.50	445.00	445.00	445.00	
West-2 Wall (8)	444.50	443.75	444.13	445.00	445.00	445.00	
North-2 Wall (9)	443.75	441.75	442.75	445.00	445.00	445.00	
West-1 Wall (10)	441.75	445.00	443.38	445.00	445.00	445.00	
Average - Upper School			444.12			445.00	
Per 1.5.7 average grade is the average post-dev grade at primary setback =			445.00				
Maximum Allowable Building Height (UDC 2.2.5)			40				
Maximum Allowable Building Elevation			555				
Building	FFE	Proposed Bldg. Ht.	Proposed Bldg. Elev. (Top of Roof)				
Upper School	445	40	555				
Are Upper School Elevations Under the Max Allowable Elevation?			YES				

EAST - PRIMARY STREET FRONT CALC'S

TOTAL THIRD FLOOR AREA = 618 sqft
TOTAL THIRD FLOOR TRANSPARENCY = 126 sqft - PROVIDED (20.4%)
TOTAL REQUIRED TRANSPARENCY = 123.6 sqft (20%)
TOTAL SECOND FLOOR AREA = 740 sqft
TOTAL SECOND FLOOR TRANSPARENCY = 298 sqft - PROVIDED (40.3%)
TOTAL REQUIRED TRANSPARENCY = 148 sqft (20%)
TOTAL GROUND FLOOR AREA = 760 sqft
TOTAL GROUND FLOOR TRANSPARENCY = 305 sqft - PROVIDED (40.1%)
TOTAL GROUND FLOOR REQUIRED TRANSPARENCY = 152 sqft (20%)
TOTAL GROUND FLOOR AREA 3'-8" = 292 sqft
TOTAL GROUND FLOOR TRANSPARENCY 3'-8" = 90 sqft - PROVIDED (59.2% OF REQ'D TRANSPARENT)
TOTAL GROUND FLOOR TRANSPARENCY 3'-8" = REQUIRED 76 sqft (50% OF REQ'D TRANSPARENT)



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No.	Description	Date
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PROJECT #: 200003

DATE:

Unnamed

A2.1 COR.

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