



Administrative Approval Action

Case File / Name: ASR-0011-2022
DSLC - 5080 TRADEMARK

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the east side of S. New Hope Road, south of Trademark Drive at 5080 Trademark Dr.

REQUEST: Development of a vacant 2.72 acre/118,483 sf tract zoned IX-3. A proposed 1-story, 15,000 gross sf building, for a Warehouse primary use, including designated 2,500 sf of office accessory space located inside.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 23, 2023 by JOEL WEST.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Amenity site sf information & totals shown are revised and re-calculated to match the total area listed and required in the data table.
2. Identify and label the proposed dock walls as shown in the loading wall and provide grade levels on both the grading and elevations sheets.
3. Provide landscaping HVAC mechanical screening for the ground mounted unit systems on sheet S-9 per UDO Sec.7.2.8.D.4.
4. Elevations demonstrate and show compliance with UDO Sec.1.5.9.B, and provide the total transparency sf calculations for the area being provided between 3'-8'ft per the north elevations, with window height dimensions provided.
5. South elevation average post-development grade #s are revised along the wall design façade for that wall plane, on sheet G-2.

Stormwater

6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



Administrative Approval Action

Case File / Name: ASR-0011-2022
DSLCL - 5080 TRADEMARK

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

9. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
10. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
-------------------------------------	--

--	--

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Urban Forestry



Administrative Approval Action

Case File / Name: ASR-0011-2022
DSLC - 5080 TRADEMARK

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .3 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
3. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas by Urban Forestry Staff.

Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:



Administrative Approval Action

Case File / Name: ASR-0011-2022
DSLC - 5080 TRADEMARK

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

3-Year Expiration Date: April 13, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 04/12/2023
Development Services Director Designee

Staff Coordinator: Jermont Purifoy

Administrative Site Review Application

Planning and Development Customer Service Center One Exchange Place, Suite 400 Raleigh, NC 27601 (919) 696-2000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.2.B. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 10.2.2.B, as amended by text change case (10-15-13) to determine the site plan fee. If a variance is required, a site plan fee is waived. A site plan fee verification request can be submitted online via the www.raleighnc.org/development (Note: There is a fee for the verification service.)

Building Type <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse		General <input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic		Subdivision case # _____ Easement/plan case # _____ Certificate of Appropriateness # _____ Board of Adjustment # _____ Zoning Case # _____ Administrative Alternate # _____	
Development name: _____ Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Property address(es): 5080 Trademark Drive Site P.U.M. 1733-33-0733					
Current Property Owner/Developer Contact Name: _____ NOTE: please attach purchase agreement when submitting this form. Company: Kenneth West Inc. Title: President Address 2021 Jones Franklin Road Phone # 919-233-2282 Email: jk33@kennethwestinc.com Applicant Name: Joel West Company: Kenneth West Inc. Address 2021 Jones Franklin Road Phone # 919-233-2282 Email: jk33@kennethwestinc.com					

Page 1 of 1

www.raleighnc.org
raleighnc.gov

DEVELOPMENT TYPE - SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning District of more than one, please provide the acreage of each: (X-3)	Existing gross floor area (not to be demolished): Existing gross floor area to be demolished:
Gross site acreage: 2.72	New gross floor area: 15,000
# of parking spaces required: N/A	Total of gross floor area to remain and new: 15,000
# of parking spaces proposed: 20	Proposed # of buildings: 1
Overlying District of residential type: _____	Proposed # of stories for each: 1 STORY
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Bldg.	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 1.27	Proposed Impervious Surface: Acres: 1.27
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Flood study: FEMA Map Panel #: Newest flood study: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Variants: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: # of detached units: 181 # of townhouse units: 200 # of units: 381	Total # of total units: 481 or more
Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>	

SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh's Unified Development Ordinance.	
I, _____, will serve as the agent regarding this application, and will receive and respond to administrative comments, coordinate and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	Date: 3/1/2022

Page 2 of 2

www.raleighnc.org
raleighnc.gov



June 7, 2022

Dear Mr. West,

After reviewing the site plans for 5080 Trademark Drive, it is determined that the proposed development is in accordance with the City of Raleigh's Unified Development Ordinance.

Should you have any questions please call me at (919) 473-7070.

Sincerely,

Ronald Williams

ADMINISTRATIVE SITE REVIEW 5080 TRADEMARK DRIVE

CASE # ASR-0011-2022

CITY OF RALEIGH, NORTH CAROLINA

SITE ADDRESS: 5080 TRADEMARK ROAD
DEVELOPER: KENNETH WEST GRADING
800 BRICKSTEEL LANE
GARNER, NC 27529

INDEX TO PLANS

- S-1 COVER SHEET
- S-2 EXISTING CONDITIONS
- S-3 SITE PLAN
- S-4 GRADING AND DRAINAGE PLAN
- S-5 PHASE 1 EROSION CONTROL PLAN
- S-6 PHASE 2 EROSION CONTROL PLAN
- S-7 NPDES PLAN
- S-8 UTILITY PLAN
- S-9 LANDSCAPE PLAN
- S-9A PROTECTIVE YARD PLAN
- S-10 BMP DETAIL PLAN
- D-1 DETAIL SHEET
- D-2 DETAIL SHEET
- D-3 DETAIL SHEET
- D-4 DETAIL SHEET
- TCAP-1 TREE CONSERVATION AREA PLAN
- TCAP-2 TREE CONSERVATION AREA PLAN WITH GRADING
- L-1 LIGHTING PLAN
- G-1,2 ARCHITECT PLAN

GENERAL NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND WITH SPECIFICATIONS.
- CONTRACTORS SHALL HAVE NORTH CAROLINA ON CALL (1-800-633-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY SURVEY INFORMATION IS TAKEN FROM A SURVEY BY NEWCOMB LAND SURVEYORS, PLLC.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- NO OBSTRUCTIONS BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART WITHIN THE RIGHT TRIANGLES SHOWN ON THIS PLAN.
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA MAP# 1720173000 EFFECTIVE DATE: MAY 2, 2006

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 696-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWN STREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

SITE PLAN INFORMATION:

- DEVELOPMENT NAME: FLEX AT 5080 TRADEMARK
- STREET ADDRESS: 5080 TRADEMARK DRIVE, RALEIGH, NORTH CAROLINA 27608
- P.L.N.: 1733339733
- TOTAL NUMBER OF LOTS: 1
- TOTAL AREA: 118.483, 2.72 ACRES
- TOTAL DISTURBED AREA: 100,188 SF, 2.30 ACRES
- CURRENT JOINS: EX-3
- BUILDING SQUARE FOOTAGE & USE:

DRINKS SPACE FIRST FLOOR	2,500 SF
STORAGE/WAREHOUSE SPACE FIRST FLOOR	12,500 SF
TOTAL SQUARE FOOTAGE:	15,000
- PARKING SUMMARY (ADOPIT TC-11-102)

MAXIMUM REQUIRED SPACES	NO MAXIMUM
TOTAL STAIRWAY SPACES PROVIDED	15 SPACES
TOTAL ACCESSIBLE SPACES PROVIDED	2 SPACES (1 VAN)
- BUILDING SETBACKS:

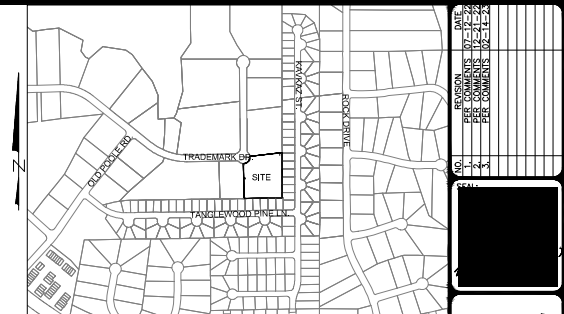
FRONT - 5 FT.	REAR - 5 FT. OR 8 FT.
REAR - 5 FT. OR 8 FT.	REAR - 5 FT. OR 8 FT.
- PARKING SETBACK:

FRONT - 10'	REAR - 5 FT. OR 8 FT.
REAR - 5 FT. OR 8 FT.	REAR - 5 FT. OR 8 FT.
- IMPERVIOUS SURFACE AREA:

EXISTING	0 SF (0 ACRES) (0 %)
PROPOSED	55,528 SF (1.21 ACRES) (46.7 %)
TOTAL INCREASE	55,528 SF (1.21 ACRES) (46.7 %)
- INSIDE CITY LIMITS: YES
- INSIDE FLOOD HAZARD BOUNDARY: NO
- FLOOD AREA RATIO: 0.12
- BUILDING LOT COVERAGE: 12%
- INSIDE FALLS LAKE OR SWEET CREEK DRAINAGE AREA: NO
- DEDICATED STREET RIGHT OF WAY: NO
- BUILDING HEIGHT: 19'
- REQUIRED AMENITY AREA (10%): 11,848 SF, 0.27 ACRES
- PROPOSED AMENITY AREA: 11,848 SF, 0.27 ACRES
- EXISTING USE: VACANT
- PROPOSED USE: WAREHOUSE AND DISTRIBUTION
- OWNER/DEVELOPER: NOT JUST DIRT, LLC, 5080 TRADEMARK DRIVE, RALEIGH, NC 27608
- CONTACT PERSON: STEWART-PROCTOR PLLC, MECHAM, STEWART, P.E., 319 CHAPMAN ROAD, RALEIGH, NC 27603, (919) 775-1855 - PHONE, (919) 775-1861 - FAX, stewart@spd.com - EMAIL

GENERAL SITE NOTES:

ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF RALEIGH DESIGN AND CONSTRUCTION STANDARDS. ALL NECESSARY APPROVALS, STATE AND LOCAL, SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ALL NECESSARY ENCROACHMENT AGREEMENTS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION OF THIS PROJECT CAN BEGIN. ALSO, ALL DEVELOPMENT FEES (ACRAGE, FEE-IN-LIEU OF ASSESSMENT, AND INSPECTION FEES) ARE DUE PRIOR TO FINAL CONSTRUCTION DRAWING APPROVAL. CONTRACTOR SHALL VERIFY THE ABOVE AND BELOW GROUND LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY CONFLICTING CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTE - A SIGN PERMIT IS REQUIRED PRIOR TO INSTALLATION OF ANY SIGNAGE.

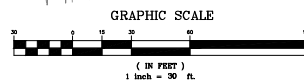
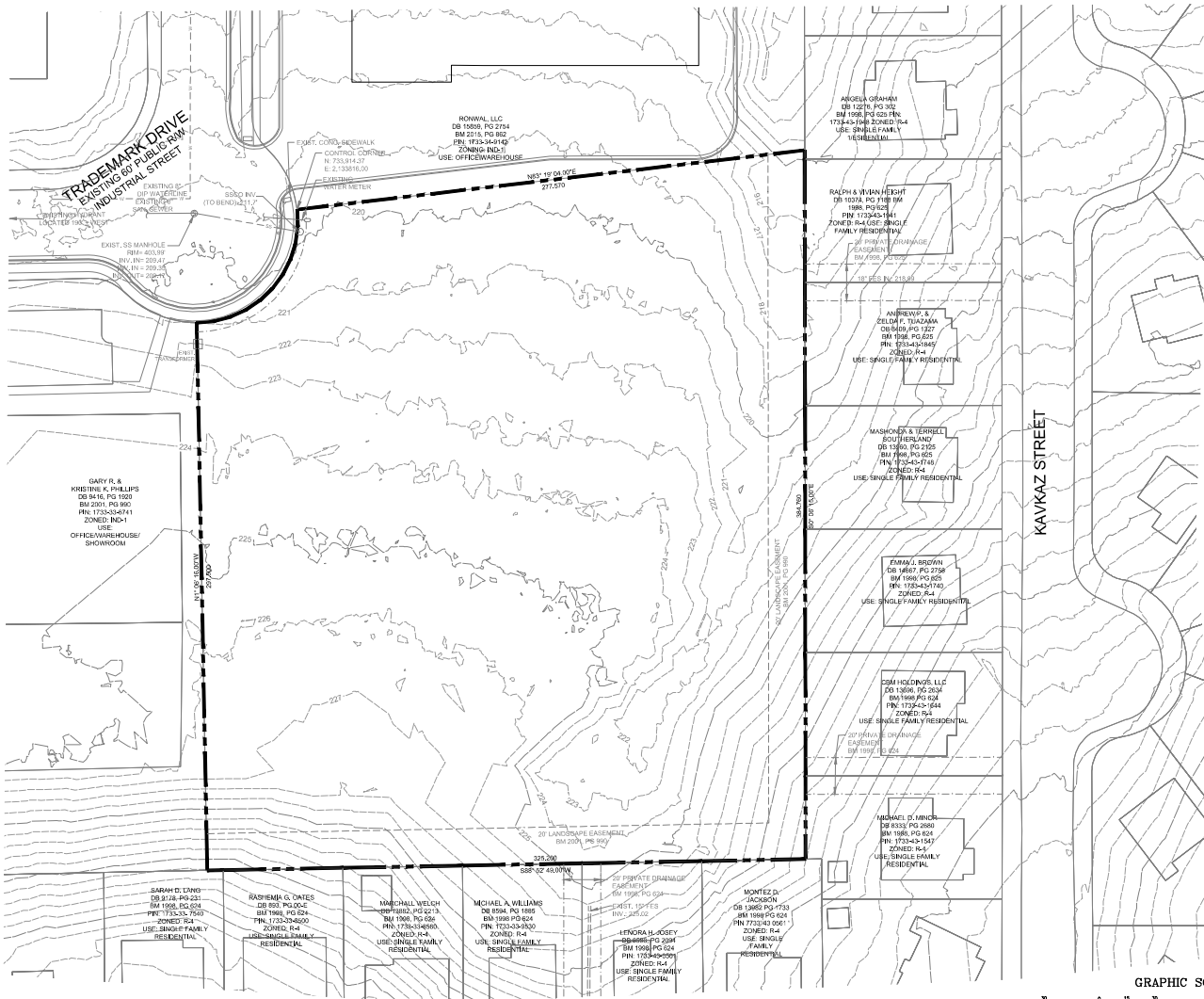


VICINITY MAP
SCALE: 1"=500'

STEWART - PROCTOR
ENGINEERING AND SURVEYING P-0148
319 CHAPMAN ROAD
RALEIGH, North Carolina 27603
Phone (919) 775-1855 Fax (919) 775-1861

OWNER OF RECORD
KENNETH WEST GRADING
GARNER, NC 27529
DATE: 10-10-18
PROJECT NUMBER
PROJECT CASE NUMBER
DRAWN BY
CHECKED BY

5080 TRADEMARK DRIVE
CITY OF RALEIGH, NORTH CAROLINA
COVER SHEET



NOTES:

- PRESENT LAND USE IS VACANT, WOODED AND FALLOW
- TOPO TAKEN FROM NC DOT LEAD TOPOGRAPHY MAPS
- CONTOUR INTERVAL: 5'
- BOUNDARY INFORMATION TAKEN FROM BOUNDARY SURVEY BY NEWCOMB LAND SURVEYORS PLLC.

5080 TRADEMARK DRIVE
CITY OF RALEIGH, NORTH CAROLINA
EXISTING CONDITIONS

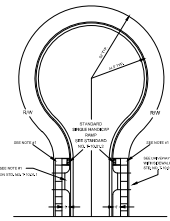
CONDUCTED BY: STANLEY J. PROCTOR
PROJECT NUMBER: 17-001
DATE: 08-27-2017
PROJECT CADD DESIGNER: STANLEY J. PROCTOR
DRAWN BY: STANLEY J. PROCTOR

STEWART - PROCTOR
ENGINEERING AND SURVEYING P-0148
319 CHAPMAN ROAD
Raleigh, North Carolina 27603
Phone (919) 779-1855 Fax (919) 779-1661

DRAWING
SHEET
S-2

REVISION	DATE
1	07-12-17
2	07-12-17
3	07-12-17
4	07-12-17
5	07-12-17
6	07-12-17
7	07-12-17
8	07-12-17
9	07-12-17
10	07-12-17
11	07-12-17
12	07-12-17
13	07-12-17
14	07-12-17
15	07-12-17
16	07-12-17
17	07-12-17
18	07-12-17
19	07-12-17
20	07-12-17

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	92.73	55.00	90.00	N06°39'50"E	82.13



CITY OF RALEIGH STANDARD DETAIL	
SHADE HEREIN	MAINTAIN
1-10.06	

- SITE PLAN INFORMATION:
- DEVELOPMENT NAME: FLEX AT 5080 TRADEMARK
 - STREET ADDRESS: 5080 TRADEMARK DRIVE, RALEIGH, NORTH CAROLINA 27608
 - PLAN: 173339793
 - TOTAL NUMBER OF LOTS: 1
 - TOTAL AREA: 118,483, 272 ACRES
 - DEVELOPER: 100,188 SF, 2.30 ACRES
 - CURRENT ZONING: R-3
 - BUILDING SQUARE FOOTAGE & USE: OFFICE SPACE, FIRST FLOOR: 2,500 SF; SECOND FLOOR: 12,500 SF; TOTAL SQUARE FOOTAGE: 15,000
 - PARKING SUMMARY: (ADPT TC-1-22) MAXIMUM REQUIRED SPACES: 18 SPACES; TOTAL STANDARD SPACES PROVIDED: 2 SPACES (1 VAN); TOTAL ACCESSIBLE SPACES PROVIDED: 2 SPACES (1 VAN)
 - PARKING SETBACK: FRONT: 6 FT; SIDE: 5 FT, OR 6 FT; REAR: 5 FT, OR 6 FT
 - PERMITTED SURFACE AREA: EXISTING: 0.87 (0.000000); PROPOSED: 0.87 (0.000000); TOTAL INCREASE: 0.00 (0.000000)
 - INSIDE CITY LIMITS: YES
 - INSIDE FLOOD HAZARD BOUNDARY: NO
 - FLOOD AREA RATIO: 0.12
 - BUILDING LOT COVERAGE: 12%
 - INSIDE FALLS LAKE OR SWIFT CREEK DRAINAGE AREA: NO
 - DEDICATED STREET RIGHT OF WAY: 19'
 - BUILDING HEIGHT: 11,848 SF, 0.27 ACRES; 11,848 SF, 0.27 ACRES
 - REQUIRED ANENITY AREA (10%): 11,848 SF, 0.27 ACRES
 - EXISTING USE: VACANT
 - OWNER/DEVELOPER: STEWART PROCTOR LLC, 319 CHAPMAN ROAD, RALEIGH, NC 27603, (919) 779-1855, PHONE, (919) 779-1851, FAX, stewart@stewart.com - EMAIL
 - CONTACT PERSON: MICHAEL STEWART, P.E., 319 CHAPMAN ROAD, RALEIGH, NC 27603, (919) 779-1855 - PHONE, (919) 779-1851 - FAX, stewart@stewart.com - EMAIL

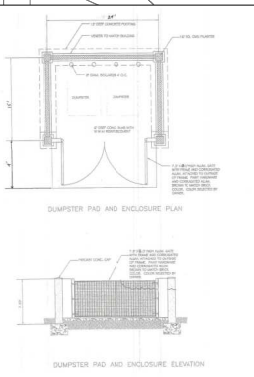
GENERAL SITE NOTES:

ALL DRIVEWAY AND RIGHT-OF-WAY CONSTRUCTION TO BE PER CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS. ALL NECESSARY APPROVALS, STATE AND LOCAL, SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. ALL NECESSARY ENCROACHMENT AGREEMENTS SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION OF THIS PROJECT CAN BEGIN. ALSO, ALL DEVELOPMENT FEES (ACROSSAGE, PERMITS, ETC.) SHALL BE PAID PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR SHALL VERIFY THE ABOVE AND BELOW GROUND LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY CONFLICTING UTILITIES WITH THE APPROPRIATE UTILITY COMPANY AND/OR AUTHORITY. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTE - A SIGN PERMIT IS REQUIRED PRIOR TO INSTALLATION OF ANY SIGNAGE.

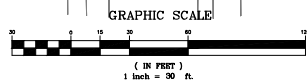
THE DEVELOPER WILL BE RESPONSIBLE FOR INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG ALL PROPOSED STREETS, ADJACENT STREETS AND THROUGHDROUGHS. THE DEVELOPER SHALL CONTACT CAROLINA POWER AND LIGHT COMPANY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE SUBDIVISION PLANS.

- NO CHANGES TO ANY ASPECT OF THIS SITE PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS, LIGHTING, OR UTILITIES) WILL BE MADE WITHOUT THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF DEVELOPMENT SERVICES.
- THE SITE SHALL BE STABILIZED AND SEEDING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF-SITE VIEWS.
- ALL HVAC AND CARDBOARD RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VIEWS.
- WHERE EXISTING VEGETATION FALLS TO FUNCTION ADEQUATELY AS THE REQUIRED BUFFER TYPE, I.E. TYPE A.B.C. AND 100 FOOT THROUGHDROUGHS (CORPORATE BUFFER), THE RALEIGH SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE PLANTING PLAN BASED ON THE ACTUAL FIELD CONDITIONS.
- ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF-SITE GLARE.
- THE STREETS IN FRONT OF THE PROJECT WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
- THE PROJECT MAY REQUIRE A PRE-CONSTRUCTION CONFERENCE BEFORE THE GRADING PERMIT IS ISSUED.
- CUT AND FILL SLOPES WILL BE STABILIZED WITHIN 15 DAYS OF ANY PHASE OF GRADING.
- THE FIRE LANE TO BE CAPABLE OF SUPPORTING A LOAD OF FIRE APPARATUS WEIGHING AT LEAST 80,000 LBS AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (NC FIRE CODE 503.2.3).
- SIGNAGE IS REQUIRED AT THE ACCESSIBLE PARKING SPACE, SIGNAGE TO COMPLY WITH 2012 NC DOT SECTION 115.1.1 AND ANSI/CES 1117-1-2009 SECTION 502.7.
- THE SITE TO HAVE A PRIVATE SOLID WASTE CONTRACTOR.

KAVKAZ STREET



PAVING LEGEND	
Grass	Grass
Standard Duty Asphalt Paving	Standard Duty Asphalt Paving
Heavy Duty Asphalt Paving	Heavy Duty Asphalt Paving
Concrete Sidewalk	Concrete Sidewalk



FOR REVIEW ONLY - NOT FOR CONSTRUCTION
PLAN IS SUBJECT TO REVISIONS DURING THE CONSTRUCTION APPROVAL PROCESS

STEWART - PROCTOR
ENGINEERING AND SURVEYING P-0148
319 CHAPMAN ROAD
RALEIGH, NORTH CAROLINA 27603
Phone (919) 779-1855 Fax (919) 779-1661

CONTRACT NO. 173339793
DATE: 09-27-2021
PROJECT NUMBER: 173339793
PROJECT CODE: 000000
PROJECT CODE: 000000

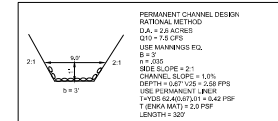
5080 TRADEMARK DRIVE
CITY OF RALEIGH, NORTH CAROLINA
SITE PLAN

DRAWING SHEET
S-3

AVERAGE GRADE CALCULATION						
NORTH ELEVATION	EX.LOW	EX.HIGH	PR.LOW	PR.HIGH	EX.AVG	PR.AVG
	224.30	224.40	227.00	227.00	224.35	227.00
WEST ELEVATION	EX.LOW	EX.HIGH	PR.LOW	PR.HIGH	EX.AVG	PR.AVG
	224.40	227.00	227.00	227.00	225.70	227.00
SOUTH ELEVATION	EX.LOW	EX.HIGH	PR.LOW	PR.HIGH	EX.AVG	PR.AVG
	227.00	227.30	227.00	227.00	227.10	227.00
EAST ELEVATION	EX.LOW	EX.HIGH	PR.LOW	PR.HIGH	EX.AVG	PR.AVG
	224.40	227.30	227.00	227.00	225.85	226.50
OVERALL PRE AND POST AVERAGE GRADE ELEV.					225.75	225.00

GRADING NOTES:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-433-6469) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY AN ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
5. CURB INLET, DROP INLET, MANHOLE, AND CLEAN-OUT FRAMES AND GRATES SHALL BE PAINTED BLACK SEMI-GLOSS ENAMEL.
6. CLEAN-OUTS SHALL BE PROVIDED IN CAST IRON FRAME AND COVERS SIMILAR TO A WATER VALVE BOX. PROVIDE HEAVY DUTY FRAMES AND COVERS IN PAVED AREAS.



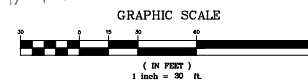
ENERGY DISSIPATER SCHEDULE					
WEIR	SIZE (N)	VELOCITY (fps)	Q10 (cfs)	RIP RAP SIZE (inches)	PAO DIMENSIONS (L x W x D)
FLUME	4"X10.5"	4.48	5.34	CLASS B (D50=6")	26' x 15' x 18"
DEVICE	18	0.96	1.88	CLASS B (D50=6")	10' x 5' x 18"

GENERAL SITE NOTES:

ALL DUTYFREE AND RIGHT-OF-WAY CONSTRUCTION TO BE PER CITY OF
RALEIGH AND / OR NCDDOT STANDARDS AND SPECIFICATIONS.
ALL NECESSARY APPROVALS, STATE AND LOCAL, SHALL BE OBTAINED
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
ALL NECESSARY ENCROACHMENT AGREEMENTS SHALL BE OBTAINED
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
CONSTRUCTION DRAWING APPROVAL IS REQUIRED BEFORE CONSTRUCTION
OF THIS PROJECT CAN BEGIN. ALSO, ALL DEVELOPMENT FEES
(E.G. FEES FOR EASEMENTS OF ADJACENT LOTS, AND INSPECTION FEES)
ARE DUE PRIOR TO FINAL CONSTRUCTION DRAWING APPROVAL.
CONTRACTOR SHALL VERIFY THE ABOVE AND BELOW GROUND LOCATION
OF ALL EXISTING UTILITIES PRIOR TO THE START OF CONSTRUCTION.
THE CONTRACTOR SHALL COORDINATE WITH ALL EXISTING AND CONTRACTING
UTILITIES WITH THE APPROPRIATE UTILITY COMPANY AND/OR AUTHORITY
CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR
TO THE START OF CONSTRUCTION
NOTE - A \$500 PENALTY IS REQUIRED PRIOR TO INSTALLATION
OF ANY SIGNAGE.

THE DEVELOPER WILL BE RESPONSIBLE FOR INSTALLATION COSTS ASSOCIATED WITH STREET LIGHTING ALONG ALL PROPOSED STREETS, ADJACENT STREETS AND THOROUGHFARES. THE DEVELOPER SHALL CONTACT CAROLINA POWER AND LIGHT COMPANY AFTER PLAN APPROVAL AND PRIOR TO CONSTRUCTION IN ORDER TO DEVELOP A STREET LIGHTING PLAN FOR THE SITE/SUBDIVISION PLANS.*

2. NO CHANGES TO ANY ASPECT OF THE SITE PLAN, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS, EXISTING COLORS, LIGHTING, OR SIGNAGE, SHALL BE REQUIRED FOR THE APPROVAL OF THE DEVELOPMENT REVIEW GROUP OF THE DEPARTMENT OF DEVELOPMENT SERVICES.
3. THE SITES SHALL BE STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
4. ALL HVAC SYSTEMS WILL BE SCREENED FROM OFF-SITE VIEWS.
5. ALL EXISTING AND CARBONADO RECYCLING LOCATIONS WILL BE SCREENED FROM OFF-SITE VIEWS.
6. WHERE EXISTING VEGETATION FAILS TO FUNCTION ADEQUATELY AS A BUFFER, THE CITY OF RAINIER SHALL PROVIDE A 100' THROUGHFARE CORRIDOR BUFFER. THE RALEIGH SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE ADDITIONAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE EXISTING PLAN BASED ON THE RESULTS OF THE FIELD SURVEY.
7. ALL EXTERIOR SITE LIGHTING WILL BE DESIGNED TO PREVENT OFF-SITE GLARE.
8. THE SCREENS IN FRONT OF THE PROJECT SHALL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
9. ALL PROJECT MAY REQUIRE A PRE-CONSTRUCTION CONFERENCE BEFORE CONSTRUCTION PRINTS ARE SUBMITTED.
10. CUT AND FILL SLOPES WILL BE STABILIZED WITHIN 15 DAYS OF ANY PHASE OF GRADING.
11. THE SITES SHALL BE CAPABLE OF SUPPORTING A LOAD OF THE APPARATUS WEIGHING AT LEAST 90,000 LBS. AND BE SUBJECT TO PROVIDE ALL WEATHER DRIVING CAPACITIES (NCS PRG CODE 506.2.3).
12. SIGNAGE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SIGNAGE TO COMPLY WITH 2014 NRCB SIGNAGE SECTION 110.1 AND ANSICC 217.1-2009 (REVISED 2012).
13. THE SITE SHALL HAVE A PERMANENT SOLID WASTE CONTRACTOR.



SEDIMENT BASIN SCHEDULE

BASIN	PRE-DEVELOPED DRAINAGE AREA (AC.)	POST-DEVELOPED DRAINAGE AREA (AC.)	GOVERNING DRAINAGE AREA (AC.)	Q10 (CFS)	SURFACE AREA REQUIRED Q10 (1/4" DEPTH)	SURFACE AREA PROVIDED	STORAGE REQUIRED	STORAGE PROVIDED	BASIN SIZE L X W X D	WEIR LENGTH	SKIMMER DATA	ORIFICE DIA (IN)
SB #1	2.00	1.90	2.00	11.7	5,088 SF	5,151 SF	3,600 CF	12,825 CF	CONSTRUCT TO PERMANENT POND DIMENSIONS	10'	1.5	1.3

BASIN TYPE = SKIMMER SEDIMENT BASIN (PER COR STD DETAIL SW-20.20)

EROSION CONTROL NOTE

CONTRACTOR SHALL PROVIDE REQUIRED INSPECTIONS IN ACCORDANCE WITH CITY OF RALEIGH, STATE OF NORTH CAROLINA AND 2003 EPI CONSTRUCTION GENERAL PERMIT REQUIREMENTS.

CONSTRUCTION SEQUENCE - PHASE 1

- SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY (NC0910000) TO STORMWATER INSPECTIONS THROUGHOUT THE PROJECT.
- PRIOR TO BEGINNING CONSTRUCTION, CALL THE STORMWATER INSPECTIONS REGIONAL COORDINATOR AT (919) 278-4461 TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING.
- INSTALL ALL SILT FENCE AND TREE PROTECTION FENCE, LIMIT CLEARING AND LAND DISTURBING ACTIVITY TO ONLY THE AREA NECESSARY TO INSTALL THE PERMITTED MEASURES. INSTALL PERMANENT DRAINAGE SWALE PER PERMANENT DITCH DETAIL ON SHEET 4. ONLY TO THE EXTENTS NECESSARY TO INSTALL THE SEDIMENT BASIN, INSTALL THE PERMANENT LINER AND SEED THE PERMANENT CHANNEL IMMEDIATELY PER LAWN SEEDING SPECIFICATIONS ON LANDSCAPE PLAN.
- INSTALL SEDIMENT BASIN.
- CALL THE RAPID RESPONSE NUMBER (919) 278-4461 TO SCHEDULE A STORMWATER SITE INSPECTION.
- UPON APPROVAL OF THE STORMWATER SITE INSPECTION, COMMENCE PERMITTED LAND DISTURBING ACTIVITY - CLEARING AND GRUBBING, MAINTAIN DIVERSION SWALES TO SKIMMER BASIN AS GRADING CONTINUES.

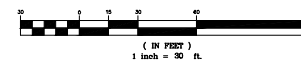
CONSTRUCTION SEQUENCE - PHASE 2

- BEGIN GRADING, AS SITE IS BROUGHT TO FINAL GRADE, INSTALL UTILITIES AND PROTECT STORM INLETS WITH INLET PROTECTION AS SHOWN ON THESE PLANS. BEGIN BUILDING AND PARKING LOT CONSTRUCTION.
- ONCE THE CONTRIBUTING AREA TO THE SKIMMER BASIN IS GRADED AND STABILIZED OR BEING DIVERTED TO THE STORM DRAINAGE SYSTEM, THE BASINS MAY BE REMOVED AND FINAL GRADING/BUILDING PAD COMPLETED.
- THE RELOCATION OF THE EXISTING DRAINAGE SWALE SHALL OCCUR DURING A PERIOD OF DRY WEATHER. THE PERMANENT LINER AND SEEDING SHALL BE INSTALLED AND THE DISTURBED AREAS SEED IMMEDIATELY AFTER CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED, IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT. THE STORMWATER CONTROL INSPECTOR WILL INSPECT THE SITE PERIODICALLY THROUGHOUT THE CONSTRUCTION PROCESS TO INSURE THE EROSION CONTROL DEVICES ARE IN PROPER WORKING ORDER. PERIODIC INSPECTIONS OF THE SITE WILL CONTINUE UNTIL ALL WORK IS COMPLETE AND THE SITE IS STABILIZED.
- STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.
- SITE STABILIZATION IS REQUIRED PRIOR TO FINAL APPROVAL OF GRADING PERMIT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. GRASS UTILIZED AS PERMANENT GROUND COVER MUST BE AT A MOVABLE HEIGHT THAT GENERALLY PROVIDES AT LEAST 80% COVERAGE THROUGHOUT THE SITE. 1117H NO LARGE BARE PATCHES OR EVIDENCE OF EROSION.
- CALL THE RAPID RESPONSE NUMBER (919) 278-4461 TO SCHEDULE A STORMWATER FINAL INSPECTION. NOTE THAT BMP CERTIFICATIONS AND AS-BUILT PLANS MUST BE PROVIDED TO STORMWATER CONTROL INSPECTOR, FOR REVIEW, 7 DAYS PRIOR TO FINAL INSPECTION. CERTIFICATIONS AND AS-BUILT PLANS MUST BE ACCEPTED PRIOR TO APPROVAL OF FINAL INSPECTION.

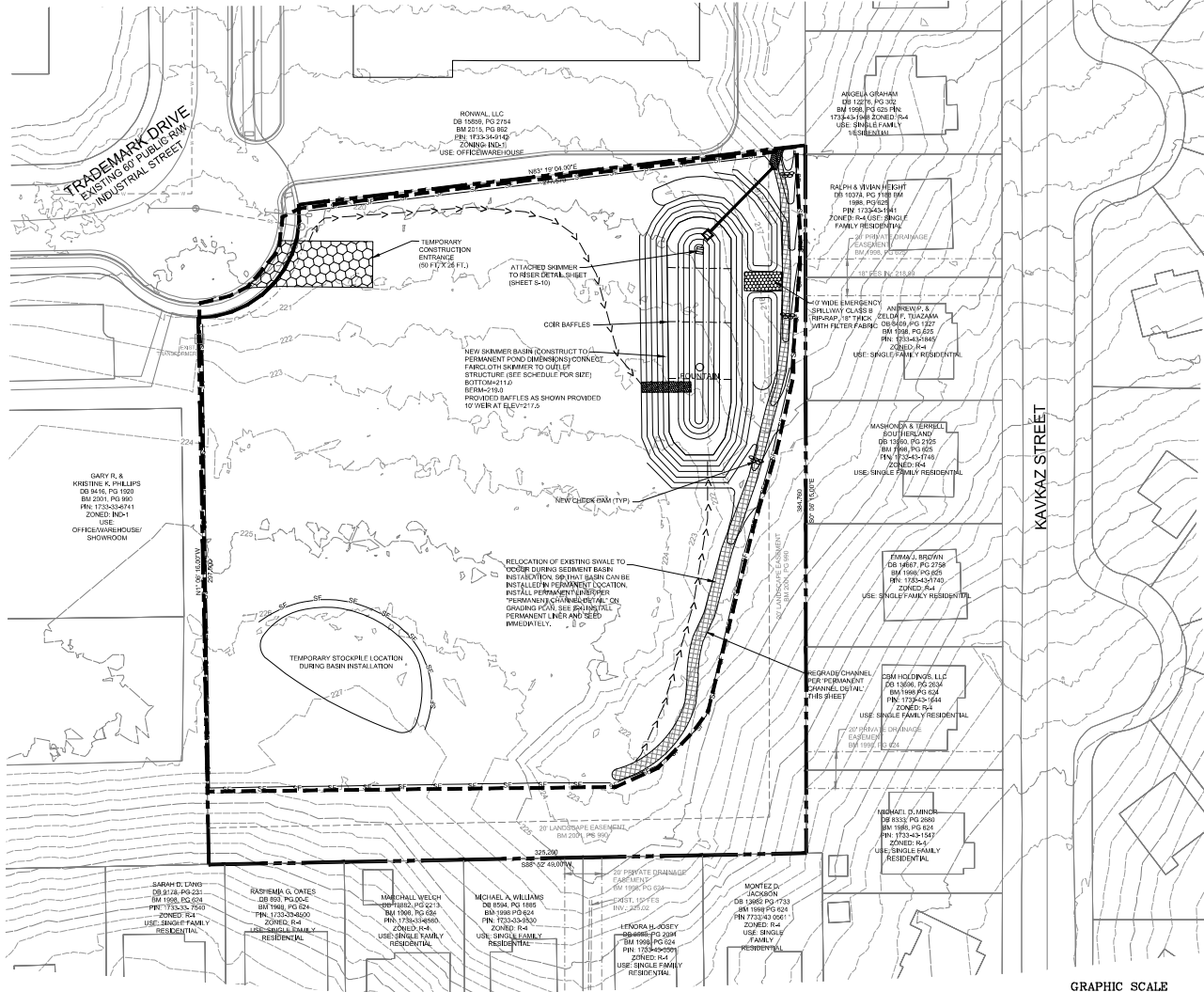
LEGEND

- RIP RAP ENERGY DISSIPATOR
- SKIMMER/RISER BASIN
- TEMPORARY DIVERSION DITCH
- GRAVEL CONSTRUCTION ENTRANCE
- SILT FENCE
- LIMITS OF DISTURBANCE
- KEYSTONE RETAINING WALL
- CHECK DAM
- SILT FENCE OUTLET
- SKIMMER
- POROUS BAFFLE

GRAPHIC SCALE



DISTURBED AREA = 2.20 AC



STEWART - PROCTOR
ENGINEERING AND SURVEYING P-0148
319 CHARPARK ROAD
Raleigh, North Carolina 27603
Phone (919) 779-1855 Fax (919) 779-1661

CONTRACT NO. 2009-0001
SHEET NO. 1 OF 2
DATE: 09-27-2011
PROJECT NUMBER
PROJECT NAME
PROJECT LOCATION
PROJECT OWNER

5080 TRADEMARK DRIVE
CITY OF RALEIGH, NORTH CAROLINA
PHASE 1 - EROSION CONTROL PLAN

DRAWING
SHEET
S-5

SEDIMENT BASIN SCHEDULE

BASIN	PRE-DEVELOPED DRAINAGE AREA (AC.)	POST-DEVELOPED DRAINAGE AREA (AC.)	GOVERNING DRAINAGE AREA (AC.)	C10 (CF/S)	SURFACE AREA REQUIRED (SQ FT)	SURFACE AREA PROVIDED	STORAGE REQUIRED	STORAGE PROVIDED	BASIN SIZE L x W x D	WEIR LENGTH	SKIMMER DATA SKIMMER ORIFICE (IN)	SKIMMER DATA SKIMMER ORIFICE (IN)
SB #1	2.00	1.90	2.90	11.7	5,088 SF	5,151 SF	3,800 CF	12,825 CF	CONSTRUCT TO PERMANENT POND DIMENSIONS	10'	1.5	1.3

BASIN TYPE = SKIMMER SEDIMENT BASIN (PER COR STD DETAIL SW-20.20)

EROSION CONTROL NOTE

CONTRACTOR SHALL PROVIDE REQUIRED INSPECTIONS IN ACCORDANCE WITH CITY OF RALEIGH, STATE OF NORTH CAROLINA AND 2003 EPI CONSTRUCTION GENERAL PERMIT REQUIREMENTS.

CONSTRUCTION SEQUENCE - PHASE 1

- SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY (NCG010000) TO STORMWATER INSPECTIONS THROUGHOUT THE PROJECT.
- PRIOR TO BEGINNING CONSTRUCTION, CALL THE STORMWATER INSPECTIONS REGIONAL COORDINATOR AT (919) 278-6461 TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING.
- INSTALL ALL SILT FENCE AND TREE PROTECTION FENCE. LIMIT CLEARING AND LAND DISTURBING ACTIVITY TO ONLY THE AREA NECESSARY TO INSTALL THE PERMITTED MEASURES. INSTALL PERMANENT DRAINAGE SWALE PER "PERMANENT DITCH DETAIL" ON SHEET SITE 4. ONLY TO THE EXTENTS NECESSARY TO INSTALL THE SEDIMENT BASIN. INSTALL THE PERMANENT LINER AND SEED THE PERMANENT CHANNEL. IMMEDIATELY PER LAWN SEEDING SPECIFICATIONS ON LANDSCAPE PLAN.
- INSTALL SEDIMENT BASIN.
- CALL THE RAPID RESPONSE NUMBER (919) 278-6461 TO SCHEDULE A STORMWATER SITE INSPECTION.
- UPON APPROVAL OF THE STORMWATER SITE INSPECTION, COMMENCE PERMITTED LAND DISTURBING ACTIVITY - CLEARING AND GRUBBING. MAINTAIN DIVERSION SWALES TO SKIMMER BASIN AS GRADING CONTINUES.

PROCEED TO PHASE 2 EROSION CONTROL.

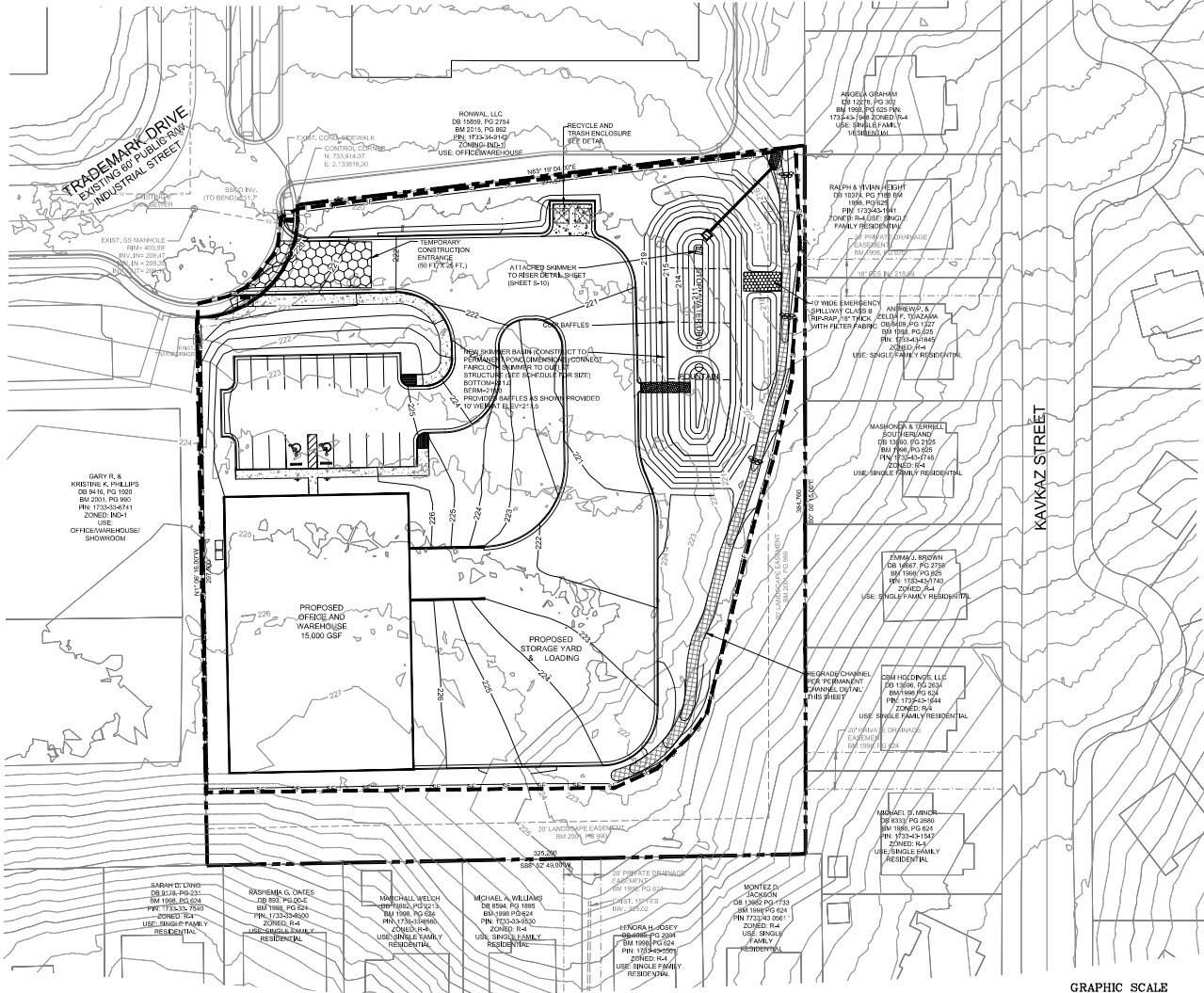
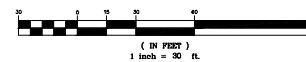
CONSTRUCTION SEQUENCE - PHASE 2

- BEGIN GRADING, AS SITE IS BROUGHT TO FINAL GRADE, INSTALL UTILITIES AND PROTECT STORM INLETS WITH INLET PROTECTION AS SHOWN ON THESE PLANS. BEGIN BUILDING AND PARKING LOT CONSTRUCTION.
- ONCE THE CONTRIBUTING AREA TO THE SKIMMER BASINS ARE GRADED AND STABILIZED OR BEING DIVERTED TO THE STORM DRAINAGE SYSTEM, THE BASINS MAY BE REMOVED AND FINAL GRADING/BUILDING PAD COMPLETED.
- THE RELOCATION OF THE EXISTING DRAINAGE SWALE SHALL OCCUR DURING A PERIOD OF DRY WEATHER. THE PERMANENT LINER AND SEEDING SHALL BE INSTALLED AND THE DISTURBED AREA SEEDDED IMMEDIATELY AFTER CONSTRUCTION.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED. IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT. THE STORMWATER CONTROL INSPECTOR WILL INSPECT THE SITE PERIODICALLY THROUGHOUT THE CONSTRUCTION PROCESS TO INSURE THE EROSION CONTROL DEVICES ARE IN PROPER WORKING ORDER. PERIODIC INSPECTIONS OF THE SITE WILL CONTINUE UNTIL ALL WORK IS COMPLETE AND THE SITE IS STABILIZED.
- STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.
- SITE STABILIZATION IS REQUIRED PRIOR TO FINAL APPROVAL OF GRADING PERMIT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. GRASS UTILIZED AS PERMANENT GROUND COVER MUST BE AT A MOVABLE HEIGHT THAT GENERALLY PROVIDES AT LEAST 80% COVERAGE THROUGHOUT THE SITE. 111TH NO LARGE BARE PATCHES OR EVIDENCE OF EROSION.
- CALL THE RAPID RESPONSE NUMBER (919) 278-6461 TO SCHEDULE A STORMWATER FINAL INSPECTION. NOTE THAT BMP CERTIFICATIONS AND AS-BUILT PLANS MUST BE PROVIDED TO STORMWATER CONTROL INSPECTOR. FOR REVIEW, 7 DAYS PRIOR TO FINAL INSPECTION. CERTIFICATIONS AND AS-BUILT PLANS MUST BE ACCEPTED PRIOR TO APPROVAL OF FINAL INSPECTION.

LEGEND

- RIP RAP ENERGY DISSIPATOR
- SKIMMER/RISER BASIN
- TEMPORARY DIVERSION DITCH
- GRAVEL CONSTRUCTION ENTRANCE
- SILT FENCE
- LIMITS OF DISTURBANCE
- KEYSTONE RETAINING WALL
- CHECK DAM
- SILT FENCE OUTLET
- SKIMMER
- POROUS BAFFLE

GRAPHIC SCALE



5080 TRADEMARK DRIVE

CITY OF RALEIGH, NORTH CAROLINA

PHASE 2 - EROSION CONTROL PLAN

STEWART - PROCTOR

ENGINEERING AND SURVEYING P-0148

319 CHARPOTTE ROAD

Raleigh, North Carolina 27603

Phone (919) 779-1855 Fax (919) 779-1661

CONTRACT NO. 5080 TRADEMARK DRIVE

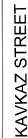
DATE: 09-07-2021

PROJECT NUMBER: 5080 TRADEMARK DRIVE

PROJECT DATE: 09-07-2021

PROJECT OWNER: GARY R. & KATHLEEN K. PHILLIPS

PROJECT ENGINEER: STEWART - PROCTOR



1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARD SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-433-4343) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT AND REPRESENT THE LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS, AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
5. ALL UTILITY PROGRAMS SHALL BE DESIGNED TO PROVIDE THE APPROPRIATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED, THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
6. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE WATER AND SEWER MAINS WITH THE BUILDING DEPARTMENT AND THE CITY OF RALEIGH PRIOR TO THE BUILDING PLANS.
7. ALL UTILITY MAINS SHALL BE PROVIDED IN CAST IRON FRAIL AND COVER SIMILAR TO WATER VALVE BOX, PROVIDE HEAVY DUTY FRAME AND COVER IN PAVED AREAS.
8. CONTRACTOR SHALL PROVIDE CONDUITS FOR BRIKATION LINES UNDER PAVED AREAS.
9. BRIKATION MEET REDUCE PRESSURE ZONE DEVICES AND SERVICE SHALL BE PROVIDED. (DESIGN-BUILD.)

STANDARD UTILITY NOTES (as applicable):

- [illegible]

5080 TRADEMARK DRIVE
CITY OF RALEIGH, NORTH CAROLINA
UTILITY PLAN

REVISION 12A
CONVERT BEST GRADING
TO 2014 EDITION
DATE: 06-03-2015

PROJECT NUMBER
NAME STEWART

PROJECT CADD NUMBER
PROJECT NAME

STEWART – PROCTOR
ENGINEERING AND SURVEYING P-0148
319 CHAPANOKE ROAD
Raleigh, North Carolina 27603
Phone (919) 771-8855 Fax (919) 779-1661

DRAWING
SHEET
S-8

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

6.5' wood solid privacy fence

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	92.73	55.00	90.00	N89°35'59"E	82.13

PLANT REQUIREMENT FOR WET RETENTION AMENITY FEATURE
MAXIMUM POOL CIRCUMFERENCE = 300'
REQUIRED UNDERSTORY TREES PER EVERY 100 LF = 3 TREES
REQUIRED SHRUBS PER EVERY 100 LF = 4 SHRUBS
PROVIDED UNDERSTORY TREES = 9 TREES
PROVIDED SHRUBS = 12 SHRUBS

PLANT LIST						
KEY	COMMON NAME	BOTANICAL NAME	DESCRIPTION	CALIPER	PLANTING HEIGHT	TREATMENT
SHADE TREES						
Q1	Quercus phellos	Willow Oak	VSA TREE	3"	10'	B&B
U1	Ulmus parviflorus 'Emin II' Albis	Chinese Elm	SHADE TREE	3 1/2"	12-14'	B&B
UNDERSTORY TREES						
U2	Ulmus parviflorus	American Elm	UNDERSTORY	1 1/2"	6'	B&B
SHRUBS						
RM	Rosa multiflora 'Jesse's Wonder'	Japanese Rosewood	SHADE	18"	3 GAL	37
AO	Abelia	Abelia Grandiflora	SHRUB	18"	3 GAL	207
CC	Carissa	Chinese Holly	SHRUB	18"	3 GAL	116
TO	Thuja occidentalis 'Emerald'	Arborvitae	SHRUB	36"	3 GAL	40

LANDSCAPE REQUIREMENTS

TRANSITIONAL PROTECTIVE YARDS

- WESTERN PROPERTY LINE: ADJACENT HIGH IMPACT LAND USE, NO TYPY REQUIRED/PROVIDED
- NORTHERN PROPERTY LINE: ADJACENT HIGH IMPACT LAND USE, NO TYPY REQUIRED/PROVIDED
- EASTERN PROPERTY LINE: ADJACENT RESIDENTIAL LAND USE, ZONE A TYPE 2' 3" AVERAGE WIDTH, 50' ZONE B USE RESTRICTIVE, 50' ZONE C 40' BUILDING HEIGHT LIMIT
- SOUTHERN PROPERTY LINE: ADJACENT RESIDENTIAL LAND USE, 50' ZONE A & B TYPE 3', 50' ZONE C 40' BUILDING HEIGHT LIMIT
- 385 LF OF 30' AVERAGE WIDTH ZONE A TYPE 2' TRANSITIONAL PROTECTIVE YARD 6.5' FENCE, 30 SHRUBS, 4 UNDERSTORY TREES AND 5 SHADE TREES REQUIRED PER 100 LF
- 385/100 X 5 SHADE TREES = 20 TREES REQUIRED/PROVIDED
- 385/100 X 4 UNDERSTORY TREES = 16 TREES REQUIRED/PROVIDED
- 385/100 X 30 = 116 SHRUBS REQUIRED/PROVIDED
- 325 LF OF 50' WIDE ZONE A & B TYPE 3' TRANSITIONAL PROTECTIVE YARD 6.5' FENCE, 5 UNDERSTORY TREES AND 6 SHADE TREES REQUIRED PER 100 LF
- 325/100 X 6 SHADE TREES = 20 TREES REQUIRED/PROVIDED
- 325/100 X 5 UNDERSTORY TREES = 17 TREES REQUIRED/PROVIDED
- 243/100 X 60 = 150 SHRUBS REQUIRED/PROVIDED
- 97' ALONG RIGHT-OF-WAY (TRADEMARK DRIVE) TYPE C3 TRANSITIONAL PROTECTIVE YARD 30 SHRUBS, 0 SHADE TREES REQUIRED PER 100 LF 93/100 X 30 SHRUBS = 28 SHRUBS REQUIRED/PROVIDED

STREET YARD

- 1 STREET TREE REQUIRED PER 40 LF
- 2 STREET TREES REQUIRED/PROVIDED

VEHICULAR SURFACE AREA (VSA) LANDSCAPING

- 40,690 SF OF VSA
- 1 TREE/2,000 SF REQUIRED
- 40,690 SF (2,000) = 21 TREES + 2 TREES PARKING REQUIREMENTS
- = TOTAL 23 TREES REQUIRED/PROVIDED

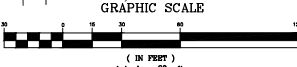
LANDSCAPE REQUIREMENTS

- CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., IN LANDSCAPE AREAS DISTURBED BY CONSTRUCTION. LANDSCAPE BEDS SHALL BE SCARPED TO A DEPTH OF 6" AND GRADED SMOOTH TO ALLOW FOR POSITIVE DRAINAGE.
- ALL NEW TREES AND SHRUBS ARE TO BE COMPLETELY COVERED WITH HARDWOOD SHIPPED MULCH TO A MINIMUM DEPTH OF FOUR (4) INCHES BY (5) FIVE FOOT DIAMETER.
- FINISHED GRADE IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURBS.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL FREE OF PESTS AND DISEASE.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC., WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING PLANTS BEFORE PRICING THE WORK).
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING PLANTS BEFORE PRICING THE WORK).
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE PLANT MATERIAL INSTALLED ON FOR PRIVATE PROPERTY FOR A PERIOD OF ONE YEAR (OR AS INDICATED IN THE LANDSCAPE SPECIFICATIONS) BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- STANDARDS SET FORTH IN AMERICAN STANDARD FOR NURSERY STOCK REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.

PERMANENT LAWN SEEDING

- PROVIDE HYBRID BERMUDA FOR BOTH SOD AND SEEDING AREAS SHOWN ON PLANS.
- SEED RATE SHALL BE PER MANUFACTURERS RECOMMENDATIONS.
- CONTRACTOR SHALL PERFORM SOIL TESTS (3 MIN) IN BOTH SEEDING LAWN AND SOD AREAS AND SUPPLEMENT SOIL WITH FERTILIZER, LIME, PEAT, COMPOST, ETC. AS RECOMMENDED BY THE SOIL ANALYSIS PRIOR TO INSTALLATION OF LAWN. SUBMIT SOIL AMENDMENT RECOMMENDATIONS TO OWNER.

NOTE: EXISTING VEGETATION AROUND PERIMETER SHALL BE USED TO MEET BUFFER REQUIREMENTS FOR 50' ZONE A AND B TYPE 2 & 3 BUFFER. ADDITIONAL PLANTING WILL BE ADDED TO SATISFY REQUIREMENTS IF NEEDED.

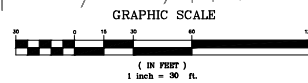
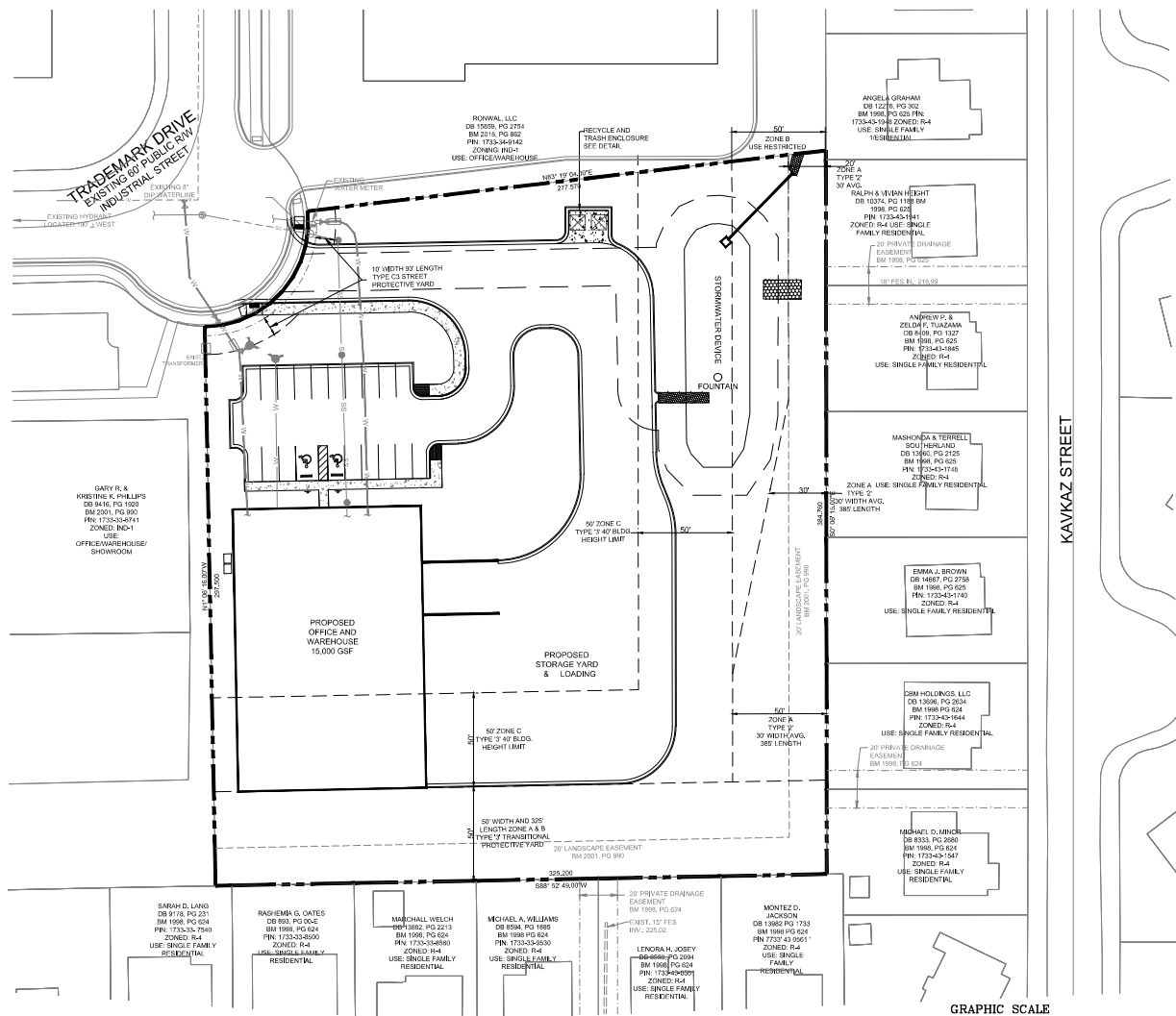


THE LANDSCAPE ARCHITECTURE COLLABORATIVE
3609 Willow Bluff Drive
RALEIGH, NC 27604
TEL: 919/210-9516
JOE LYLE, RLA

5080 TRADEMARK DRIVE
CITY OF RALEIGH, NORTH CAROLINA
LANDSCAPE PLAN
SHEET
S-9

STEWART - PROCTOR
ENGINEERING AND SURVEYING P-0148
319 CHAPMAN ROAD
Raleigh, North Carolina 27603
Phone (919) 779-1855 Fax (919) 779-1661

CONTRACT NO. 2021-001
DATE: 09-07-2021
PROJECT NUMBER: 2021-001
PROJECT OWNER: STEWART - PROCTOR
PROJECT ARCHITECT: STEWART - PROCTOR
PROJECT ENGINEER: STEWART - PROCTOR



THE LANDSCAPE
ARCHITECTURE
COLLABORATIVE

3609 Willow Bluff Drive
RALEIGH, NC 27604
TEL: 919/210-9516

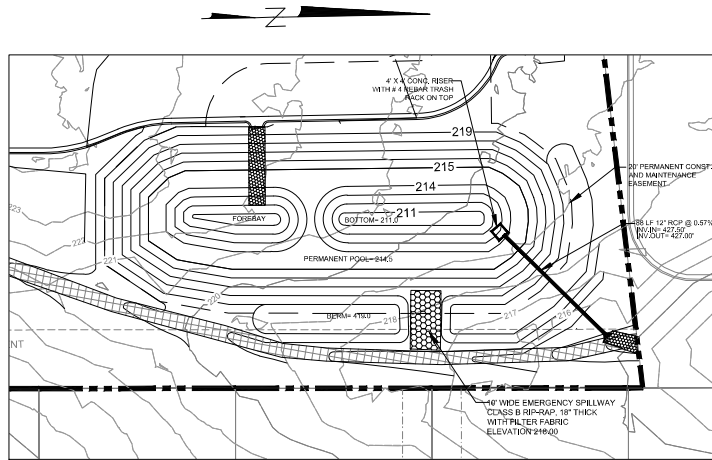
5080 TRADEMARK DRIVE
CITY OF RALEIGH, NORTH CAROLINA
PROTECTIVE YARD PLAN

STEWART - PROCTOR
ENGINEERING AND SURVEYING P-0148
319 CHARLOTTE ROAD
RALEIGH, NORTH CAROLINA 27603
Phone (919) 779-1855 Fax (919) 779-1661

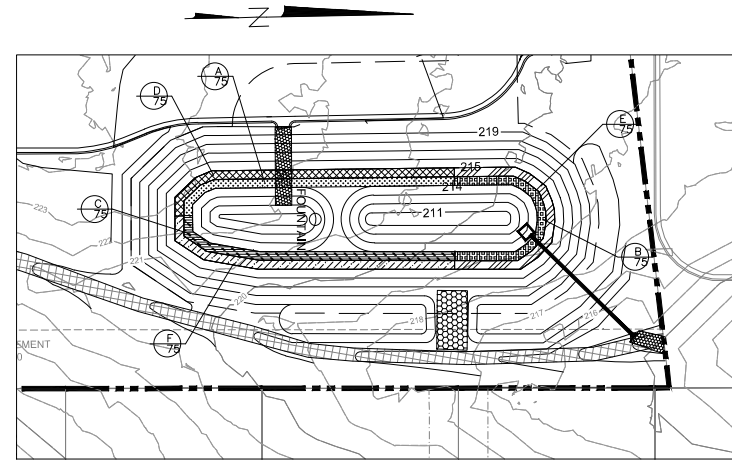
PROJECT NO. 2021-001
DATE: 09-27-2021
PROJECT ENGINEER
PROJECT CHECK ENGINEER
JOE LYLE, RLA
JAMES K. TELL

DRAWING
SHEET
S-9A

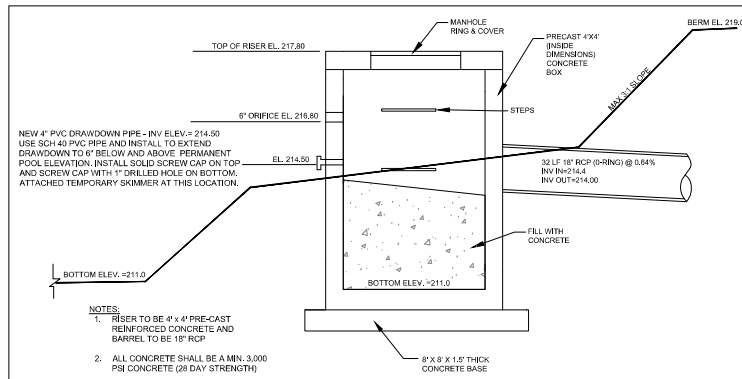
NO.	REVISION	DATE
1	PER COMMENTS	07-17-22
2	PER COMMENTS	07-17-22
3	PER COMMENTS	07-17-22



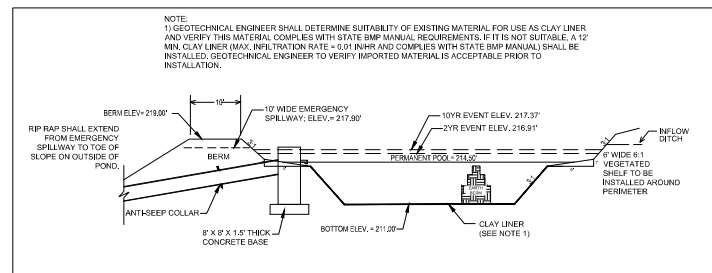
BMP - WET DETENTION POND - 1"=20'



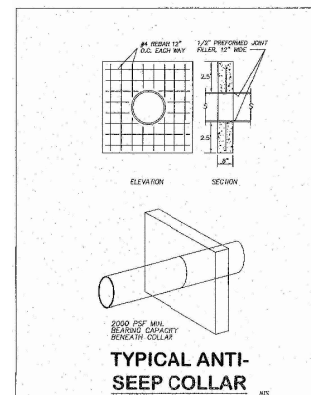
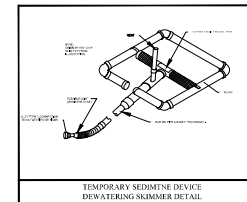
BMP - PLANTING PLAN



BMP OUTLET STRUCTURE



BMP CROSS-SECTION



PLANTING LEGEND

A		WATERPOD HYDROLEA QUADRIVALVIS
B		PRIMROSE WILLOW LUDWIGIA SPP.
C		ARROW ARUM PELTANDRA VIRGINICA
D		SWAMP MILKWEED ASCLEPIAS INCARNATA
E		WHITE TURTLEHEAD CHELONE GLABRA
F		JOE PYE WEED EUPATORIUM FISTULOSUS

REQUIRED LANDSCAPING FOR STORMWATER POND 2:

LANDSCAPING FOR VEGETATED SHELF:
REQUIREMENTS: PLANT A MINIMUM OF 3 DIVERSE SPECIES OF SHALLOW WATER EMERGENT AND SHALLOW LAND HERBACEOUS

REQUIRED LANDSCAPING:
VEGETATED SHELF PLANTS = 50 PLANTS PER 200 SF OF SHELF AREA = 1,650 SF / 200 SF = 8 X 50 = 450 PLANTS

PROVIDED LANDSCAPING:
VEGETATED SHELF PLANTS = 450 PLANTS

LANDSCAPING FOR BERM AND SIDE SLOPES: CENTIPEDE GRASS TO BE PLANTED ON TOP OF BERM AND EXTERIOR SLOPES OF CONTAINMENT BERM

PLANT LIST VEGETATED SHELF

Item	common name	size	quan.	remarks
A	WATERPOD HYDROLEA QUADRIVALVIS	4 CUBIC- INCH CONTAINER	75	1.5' O.C. IN STAGGERED ROWS
B	PRIMROSE WILLOW LUDWIGIA SPP.	4 CUBIC- INCH CONTAINER	75	1.5' O.C. IN STAGGERED ROWS
C	ARROW ARUM PELTANDRA VIRGINICA	4 CUBIC- INCH CONTAINER	75	1.5' O.C. IN STAGGERED ROWS
D	SWAMP MILKWEED ASCLEPIAS INCARNATA	4 CUBIC- INCH CONTAINER	75	3' O.C. IN STAGGERED ROWS
E	WHITE TURTLEHEAD CHELONE GLABRA	4 CUBIC- INCH CONTAINER	75	3' O.C. IN STAGGERED ROWS
F	JOE PYE WEED EUPATORIUM FISTULOSUS	4 CUBIC- INCH CONTAINER	75	3' O.C. IN STAGGERED ROWS

NOTE: PLANTS LISTED IN TABLE OR EQUAL TO BE USED FOR VEGETATED SHELF PLANTING.

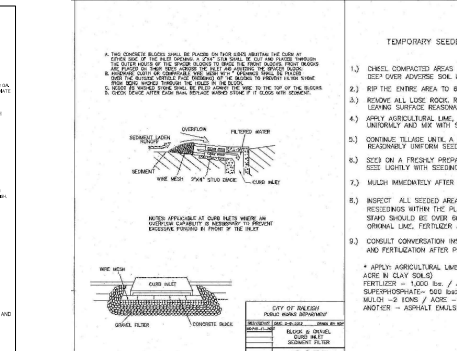
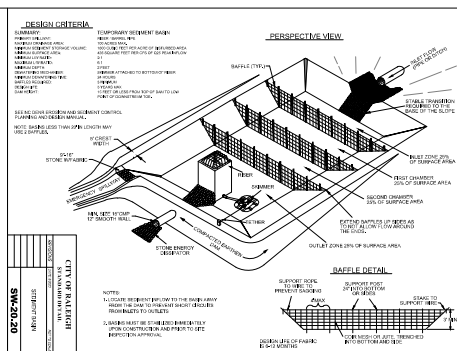
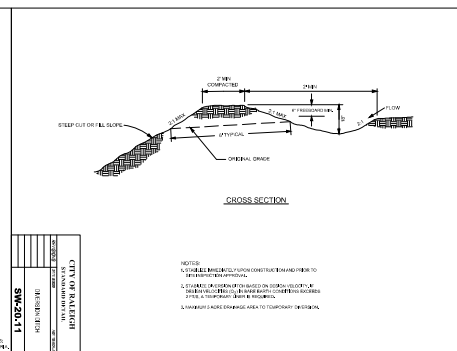
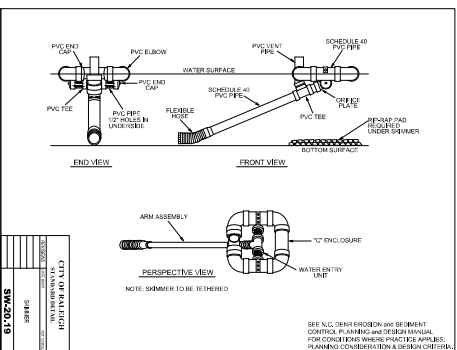
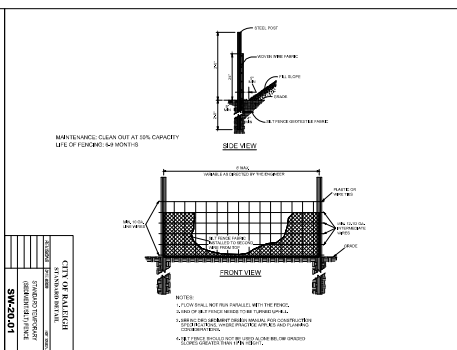
NO.	REVISION	DATE
1	PER COMMENTS	07/12/22

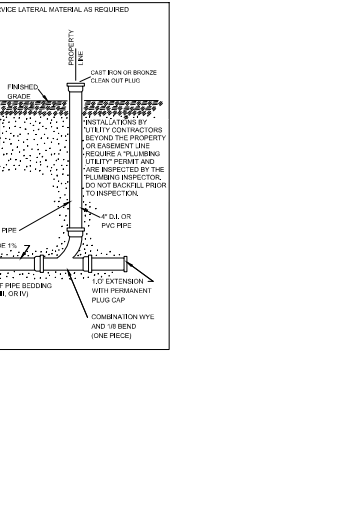
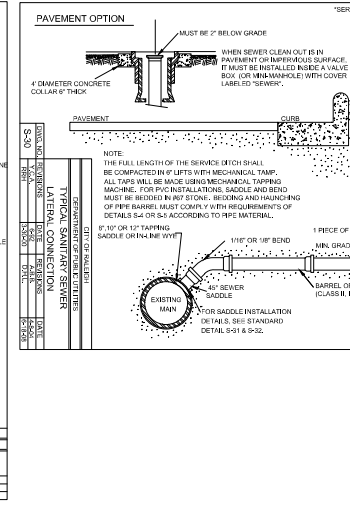
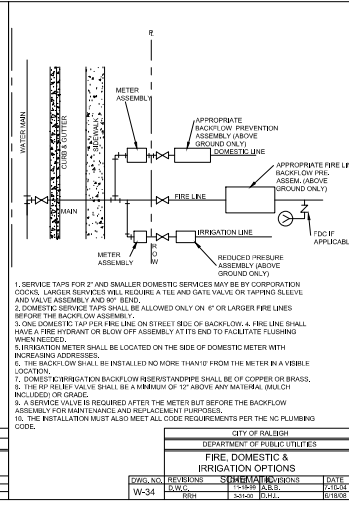
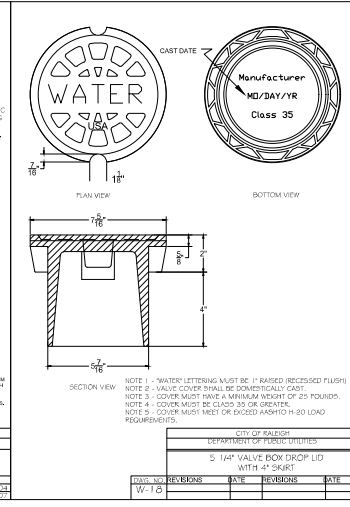
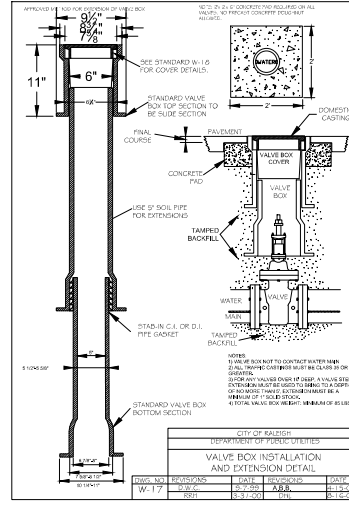
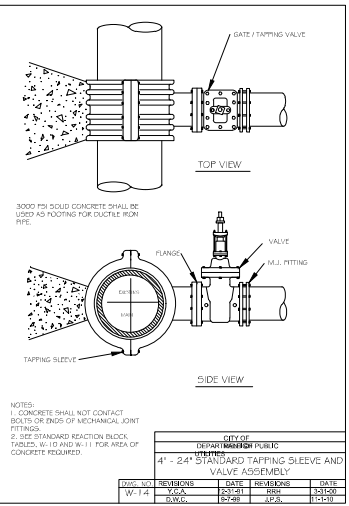
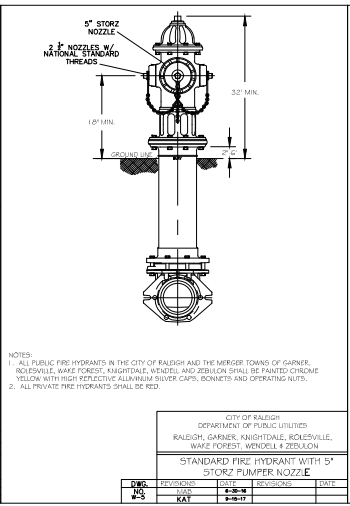
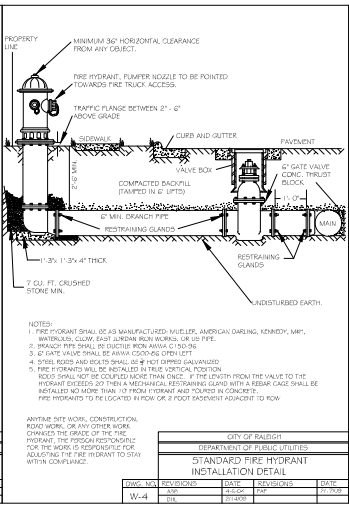
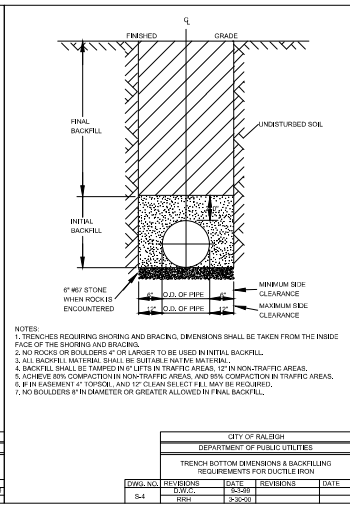
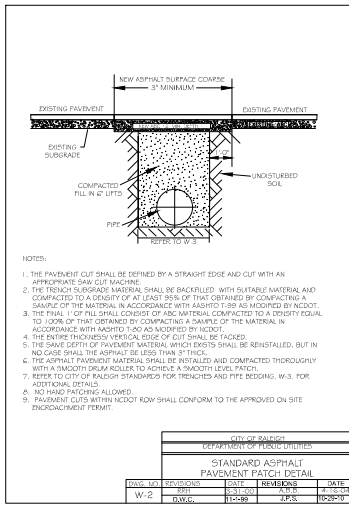
STEWART - PROCTOR
ENGINEERING AND SURVEYING P-0148
319 CHAPMAN ROAD
Raleigh, North Carolina 27603
Phone (919) 779-1855 Fax (919) 779-1661

CONCRETE PIPES
CONCRETE MANHOLE RINGS
CONCRETE BARS
DATE: 09-27-2021
PROJECT NUMBER
PROJECT CAD DESIGNER
DRAWN BY
CHECKED BY

5080 TRADEMARK DRIVE
CITY OF RALEIGH, NORTH CAROLINA
BMP DETAIL PLAN

DRAWING
SHEET
S-10





DATE	10/1/2018
REASON FOR CHANGE	PER COMMENTS
BY	J. L. LEE
CHECKED BY	J. L. LEE
DATE	10/1/2018

STEWART - PROCTOR
ENGINEERING AND SURVEYING P-0148
319 CHAPMAN ROAD
Raleigh, North Carolina 27603
Phone (919) 779-1855 Fax (919) 779-1661

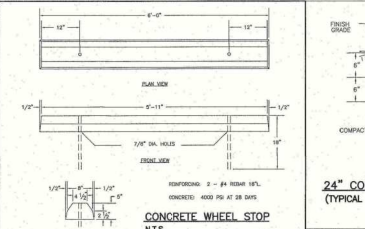
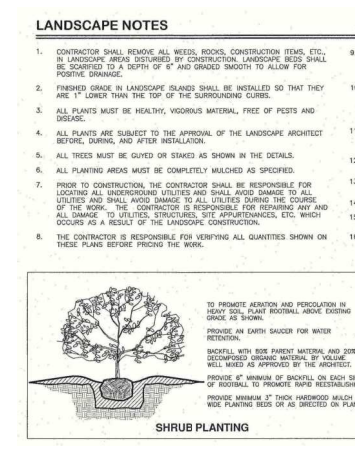
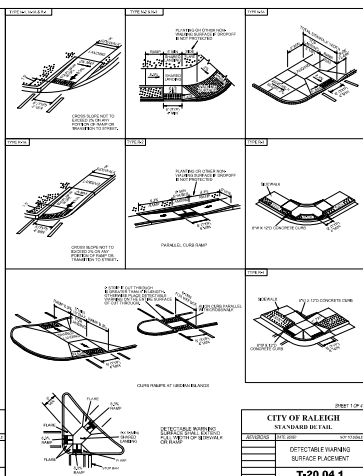
SP

DESIGNED BY: J. L. LEE	CHECKED BY: J. L. LEE
DATE: 04/10/2018	DATE: 04/10/2018
PROJECT NUMBER: 18-001	PROJECT NAME: SEWER
PROJECT DATE: 04/10/2018	PROJECT LOCATION: 5080 TRADEMARK DRIVE

5080 TRADEMARK DRIVE
CITY OF RALEIGH, NORTH CAROLINA

DETAIL SHEET

DRAWING SHEET
D-3



TO PROMOTE AERATION AND PERCOLATION OF HEAVY SOIL, PLANT ROOTTAILS ABOVE EXISTING GRADE, AS SHOWN.

PROVIDE AN EARTH SAUCER FOR WATER RETENTION.

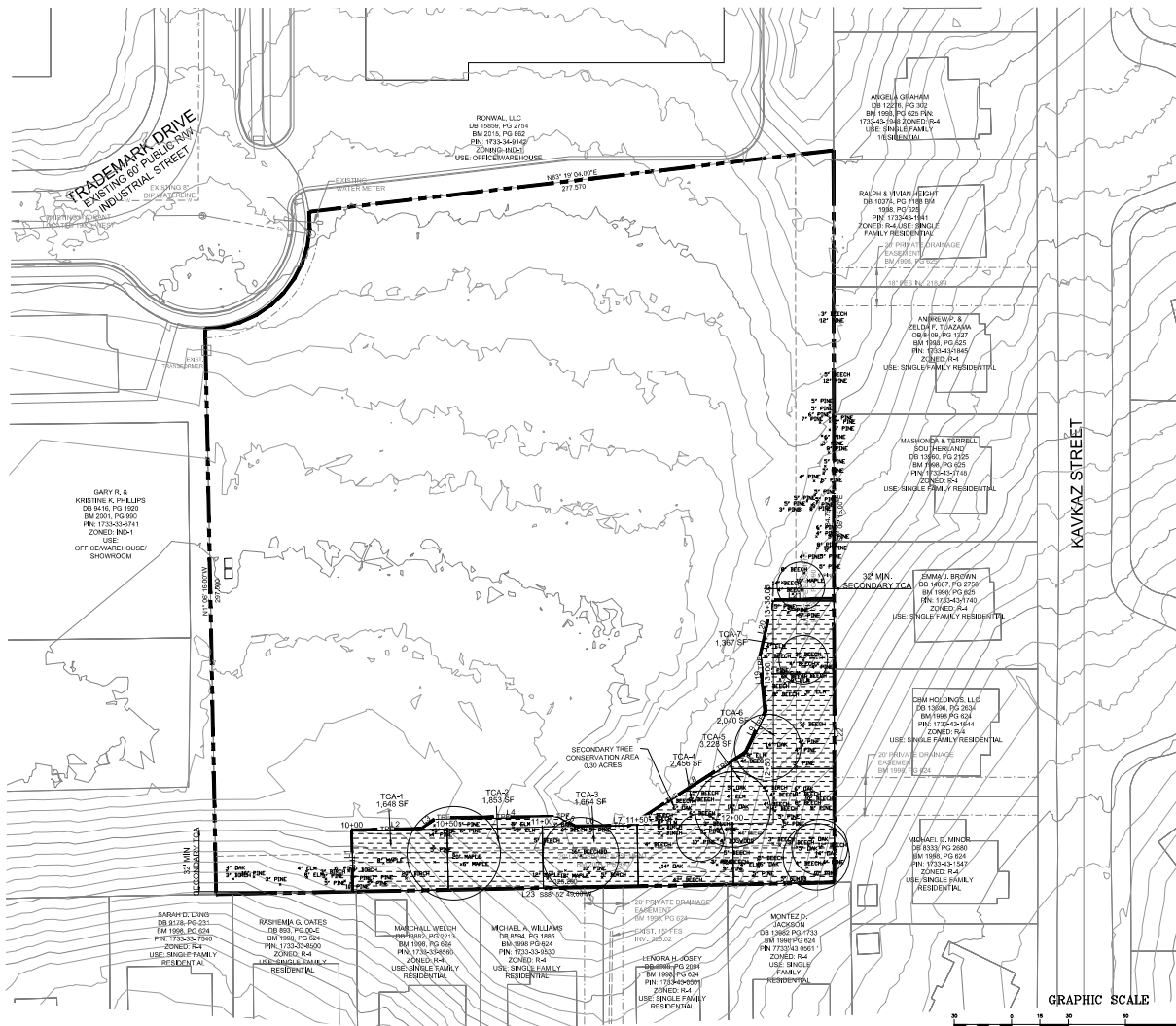
BACKFILL WITH ONE PART PARENT MATERIAL AND 20% DISINTEGRATED ORGANIC MATERIAL, BY VOLUME. WILL MIXED AS APPROVED BY THE ARCHITECT.

PROVIDE 4" MINIMUM OF BIOCHIPS ON EACH SIDE OF ROOTTAIL, TO PROMOTE RAPID REESTABLISHMENT.

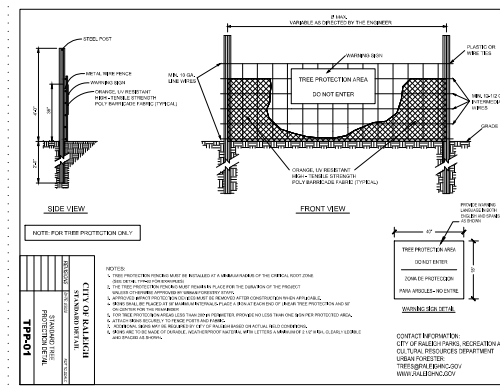
PROVIDE MINIMUM 3" THICK HARDWOOD MULCH WIDE PLANTING BEDS OR AS DIRECTED ON PLAN.

SHRUB PLANTING

DRAWING
SHEET
D-4



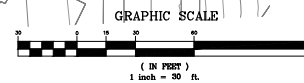
TREE CONSERVATION DATA	
TOTAL SITE ACRES:	2.72 AC.±
PRIMARY TREE CONSERVATION AREA:	0.0 AC. ±0.0%
SECONDARY TREE CONSERVATION AREA:	0.30 AC. ±11.0%
TOTAL TREE CONSERVATION AREA:	0.30 AC. ±11.0%



LEGEND

TREE PROTECTION FENCE

TPF



THE LANDSCAPE ARCHITECTURE COLLABORATIVE

JOE LYLE, RLA

3609 Willow Bluff Drive
RALEIGH, NC 27604
TEL 919-210-9516

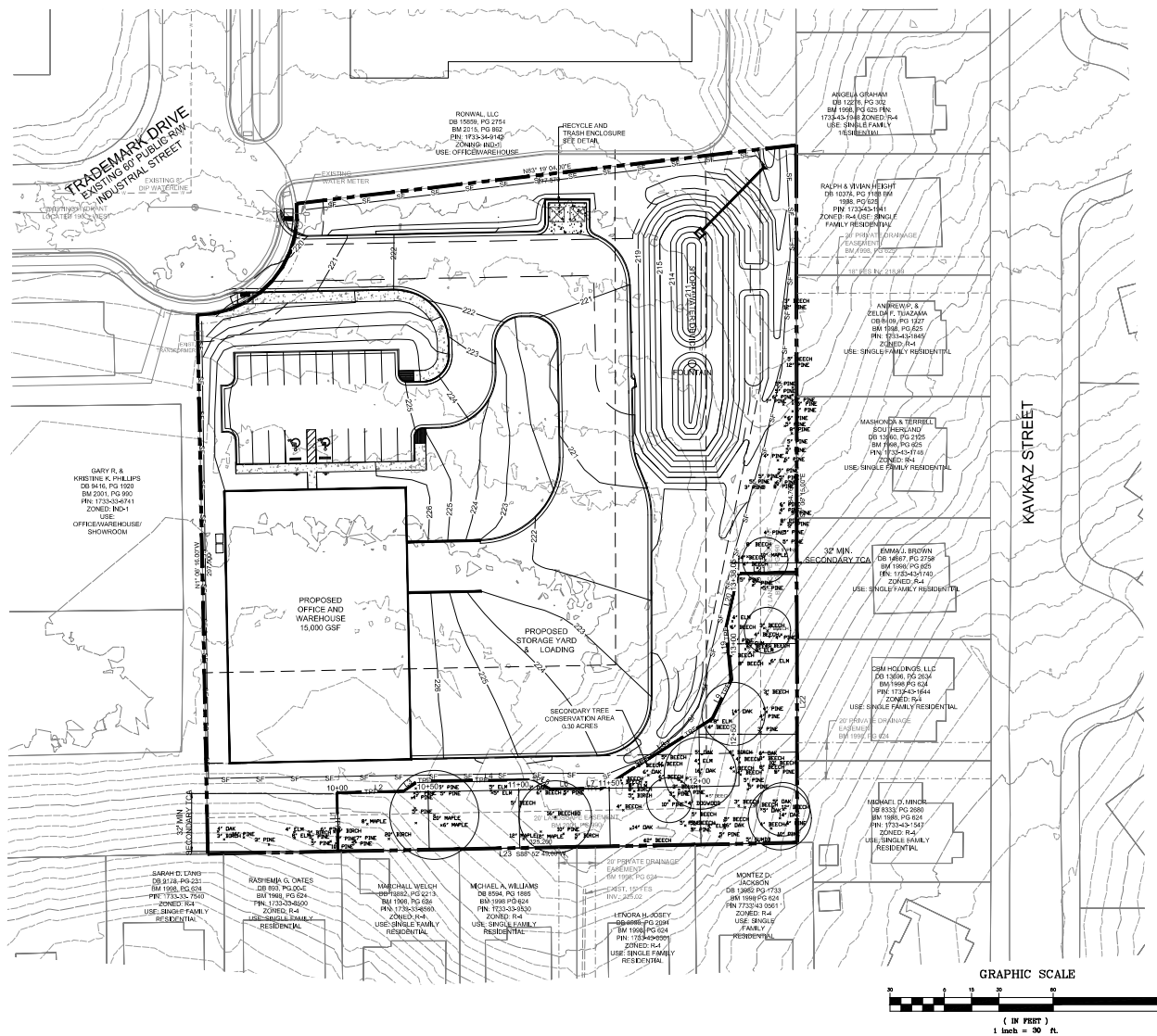
DATE	REVISION
10/1/22	1
10/1/22	2
10/1/22	3
10/1/22	4
10/1/22	5
10/1/22	6
10/1/22	7
10/1/22	8
10/1/22	9
10/1/22	10
10/1/22	11
10/1/22	12
10/1/22	13
10/1/22	14
10/1/22	15
10/1/22	16
10/1/22	17
10/1/22	18
10/1/22	19
10/1/22	20
10/1/22	21
10/1/22	22
10/1/22	23
10/1/22	24
10/1/22	25
10/1/22	26
10/1/22	27
10/1/22	28
10/1/22	29
10/1/22	30
10/1/22	31
10/1/22	32
10/1/22	33
10/1/22	34
10/1/22	35
10/1/22	36
10/1/22	37
10/1/22	38
10/1/22	39
10/1/22	40
10/1/22	41
10/1/22	42
10/1/22	43
10/1/22	44
10/1/22	45
10/1/22	46
10/1/22	47
10/1/22	48
10/1/22	49
10/1/22	50
10/1/22	51
10/1/22	52
10/1/22	53
10/1/22	54
10/1/22	55
10/1/22	56
10/1/22	57
10/1/22	58
10/1/22	59
10/1/22	60
10/1/22	61
10/1/22	62
10/1/22	63
10/1/22	64
10/1/22	65
10/1/22	66
10/1/22	67
10/1/22	68
10/1/22	69
10/1/22	70
10/1/22	71
10/1/22	72
10/1/22	73
10/1/22	74
10/1/22	75
10/1/22	76
10/1/22	77
10/1/22	78
10/1/22	79
10/1/22	80
10/1/22	81
10/1/22	82
10/1/22	83
10/1/22	84
10/1/22	85
10/1/22	86
10/1/22	87
10/1/22	88
10/1/22	89
10/1/22	90
10/1/22	91
10/1/22	92
10/1/22	93
10/1/22	94
10/1/22	95
10/1/22	96
10/1/22	97
10/1/22	98
10/1/22	99
10/1/22	100

STEWART - PROCTOR
ENGINEERING AND SURVEYING P-0148
319 CHAPMAN ROAD
Raleigh, North Carolina 27603
Phone (919) 779-1855 Fax (919) 779-1661

OWNER: ST. JOHNS
PROJECT: TREE CONSERVATION
DATE: 09-07-2021
PROJECT ENGINEER: JOE LYLE
PROJECT CHECKER: JOE LYLE
PROJECT APPROVER: JOE LYLE

5080 TRADEMARK DRIVE
CITY OF RALEIGH, NORTH CAROLINA
TREE CONSERVATION AREA PLAN

DRAWING SHEET
TCAP-1



Line Table		
Line #	Length	Direction
L1	32.00	N1° 05' 37\"
L2	34.65	N88° 54' 23\"
L3	9.69	N57° 07' 20\"
L4	64.06	N88° 58' 14\"
L5	9.61	S56° 32' 13\"
L6	14.86	N88° 54' 23\"
L7	14.84	N88° 54' 23\"
L8	71.72	N57° 59' 51\"
L9	24.54	N20° 09' 08\"
L19	29.35	N5° 54' 41\"
L20	29.51	N12° 21' 16\"
L21	32.01	N89° 52' 55\"
L22	148.10	S0° 04' 22\"
L23	252.99	S88° 54' 23\"

LEGEND

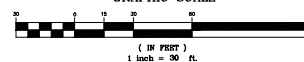
TREE PROTECTION
FENCE WARNING
SILT FENCE

THE LANDSCAPE
ARCHITECTURE
COLLABORATIVE

JOE LYLE, RLA

3609 Willow Bluff Drive
RALEIGH, NC 27604
TEL 919/210-9516

GRAPHIC SCALE



NO.	REVISION	DATE
1	PER COMMENTS	12/27/22
2		

STEWART - PROCTOR
ENGINEERING AND SURVEYING P-0148
319 CHAPMAN ROAD
Raleigh, North Carolina 27603
Phone (919) 779-1855 Fax (919) 779-1661

DESIGNED BY: J. LYLE
CHECKED BY: J. LYLE
DATE: 09-27-2021
PROJECT NUMBER: 22-001
PROJECT CADD DESIGNER: J. LYLE
PROJECT CADD CHECKER: J. LYLE

5080 TRADEMARK DRIVE
CITY OF RALEIGH, NORTH CAROLINA
TREE CONSERVATION AREA PLAN WITH GRADING

DRAWING
SHEET
TCAP-2

Shoebox LED

For additional information, visit us at duke-energy.com/UnderLighting or call us toll-free at 866.789.6417.



DUKE ENERGY
PROGRESS

[Back](#) | [Home](#) | [About Us](#) | [Contact Us](#)

Warm-up and rest time: instant on (60 warm-up or rest time)

* Funder and research sponsor: support, article 17(2)(b) of the 2012 Act

For subject to maintain an active status, members are asked to submit their

5/23/15 (rev. 2008) Document ID: 25-1024

[illegible]

LEGEND (OUTER to INNER): 0.10 , 0.25 , 0.50 , 1.00 , 1.2

KAVKAZ STREET

	5080 TRADEMA
--	--------------

PROPRIETARY & CONFIDENTIAL

5080 TRADEMARK
Belmont, NC

SITE LIGHTING PLAN

Designed by DEP LIGHTING SOLUTIONS

Reviewed by T. Ferguson Scale 1" = 30'

Date 11/18/2021 Size "Arch D"

Description: LED 220w Shoebox

Drawing No. 21-0377A Sht. L

LIGHTING DESIGN TOLERANCE

The risk of "partiality bias" likely is an ongoing major preoccupation when one considers an aspect of "diversity." But, as our studies in *Yucca elaeagnifolia* are well-known to the applied community, differences in landscape morphology, habitat and geography, including those for differences in seed properties of surrounding sources, obstacles (e.g. forest or other trees) in the target area, or lighting from sources other than the sun in this design, may produce different results from the published values. Several other studies (e.g., *Yucca* spp.)



PROPRIETARY & CONFIDENTIAL

This document together with the concepts and designs presented herein, presented as an instrument of service, is the sole property of Duke Energy, and is intended only for the specific purpose and prospective client as stated in the title block of this drawing. Any use, copying, reproduction or disclosure of the drawing, design or any information contained herein, in whole or in part, by any person other than the client without limitation, architects, engineers, or equipment manufacturers is hereby expressly prohibited and shall not be permitted absent prior written consent from, and payment of compensation to Duke Energy. Duke Energy disclaims any liability or responsibility for any unauthorized use of or reliance on this document.

Customer approval:

Date _____



Rev A	11/18/2021	LED 220w Shoebox
-------	------------	------------------

REV#	DATE	REVISION
------	------	----------

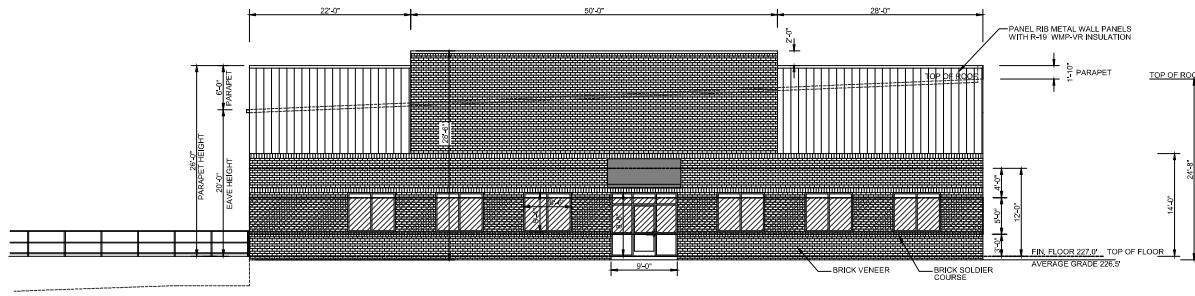
REV#	DATE	REVISION	BY
------	------	----------	----

NJ

BY



DATE:	27 October 2022
DRAWN BY:	J.S.
SCALE:	1/8" = 1'-0"
G-1	



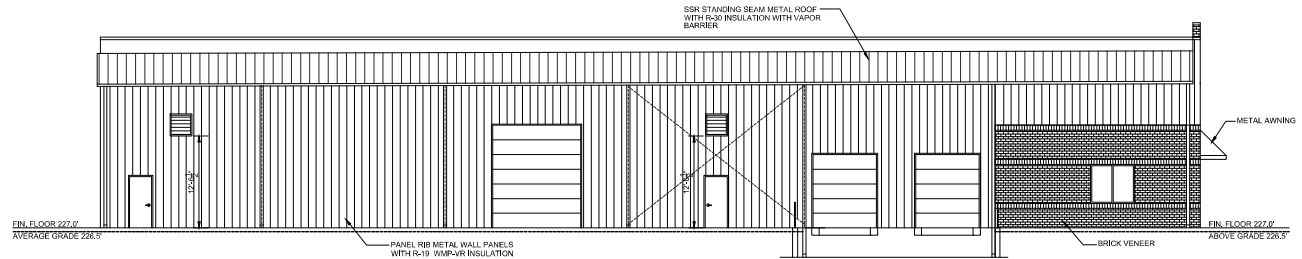
1 NORTH ELEVATION
SCALE: 1/8"=1'-0"

GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%. GLASS ON UPPER STORES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.

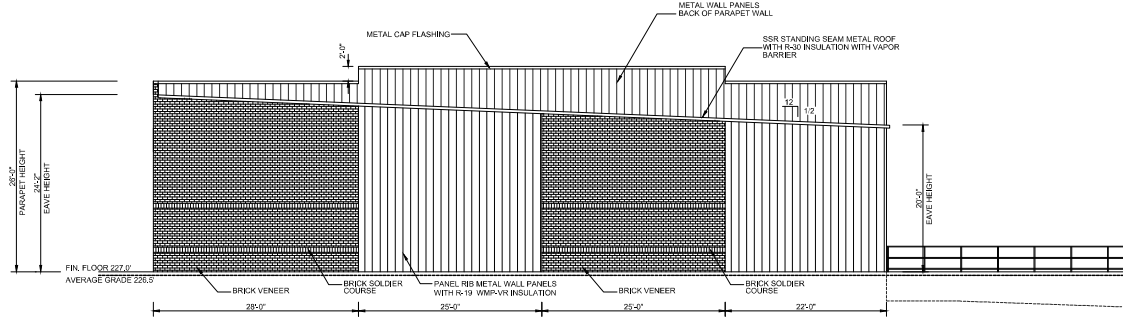
TRANSPARENCY CALCULATIONS

OVERALL TOTAL AREA = 1,200 SQ. FT.
 REQUIRED AREA % = 20 %
 REQUIRED AREA (1,200 S.F. X .20) = 240 SQ. FT.
 REQUIRED AREA BETWEEN 3'-0" & 8'-0" REQ. AREA BETWEEN 3'-0" & 8'-0" (240 SF X 0.50) = 120 SQ. FT.
 PROVIDED AREA = 286 SQ. FT.

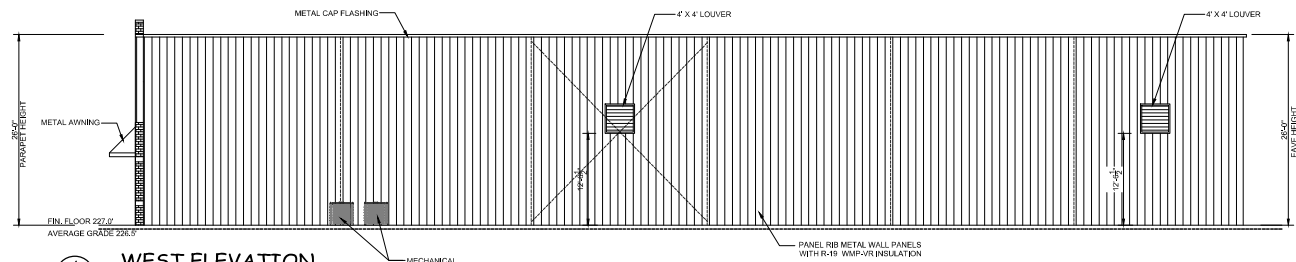
HIGH + LOW = AVERAGE GRADE 226.9'
 POST DEVELOPMENT AVERAGE GRADE 226.9'
 GRADE IS UNIFORM ACROSS FRONT OF BUILDING EQUAL TO 226.9'



2 EAST ELEVATION
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



4 WEST ELEVATION
SCALE: 1/8"=1'-0"

REV.	DATE	DESCRIPTION