

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) and [TC-11-21](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan	Tier Three Site Plan	
	Building Type		Site Transaction History
	Detached	General	Subdivision case #: _____
	Attached	Mixed use	Scoping/sketch plan case #: _____
	Apartment	Open lot	Certificate of Appropriateness #: _____
	Townhouse	Civic	Board of Adjustment #: _____
			Zoning Case #: _____
			Administrative Alternate #: _____
GENERAL INFORMATION			
Development name:			
Inside City limits? Yes No			
Property address(es):			
Site P.I.N.(s):			
Please describe the scope of work. Include any additions, expansions, and change of use.			
Current Property Owner/Developer Contact Name:			
NOTE: please attach purchase agreement when submitting this form.			
Company:			Title:
Address:			
Phone #:		Email:	
Applicant Name:			
Company:		Address:	
Phone #:		Email:	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
Maximum # of parking spaces:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? Yes No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes No	Wetlands Yes No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes No

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: <u> <i>Brian J. Parker</i> </u>	Date: _____
Printed Name: _____	

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Site Plan Tier: Tier Two Site Plan [] Tier Three Site Plan [x]

Building Type and Site Transaction History checkboxes and fields.

GENERAL INFORMATION

Development name: Moxy Hotel
Inside City limits? Yes [x] No []
Property address(es): 501N West Street

Site P.I.N (s): 1704-51-0336
Please describe the scope of work. Include any additions, expansions, and change of use.
Construction of a new 9-story hotel.

Current Property Owner/Developer Contact Name: Brian Parker
NOTE: please attach purchase agreement when submitting this form.

Company: Vision Hospitality Group, Inc. Title: Senior Vice President of Development and Construction
Address: 411 Broad Street, Suite 401, Chattanooga, TN 37402
Phone #: 423-664-4452 Email: bparker@vhghotels.com

DEVELOPMENT TYPE + SITE DATA TABLE

Table with columns for SITE DATA and BUILDING DATA. Includes zoning, area, and parking information.

STORMWATER INFORMATION

Table for stormwater information including impervious surface area and FEMA map panel.

RESIDENTIAL DEVELOPMENTS

Table for residential developments including total units and bedroom counts.

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

Signature: Joe Weinman
Printed Name: Brian Parker
Date: 02/03/2023

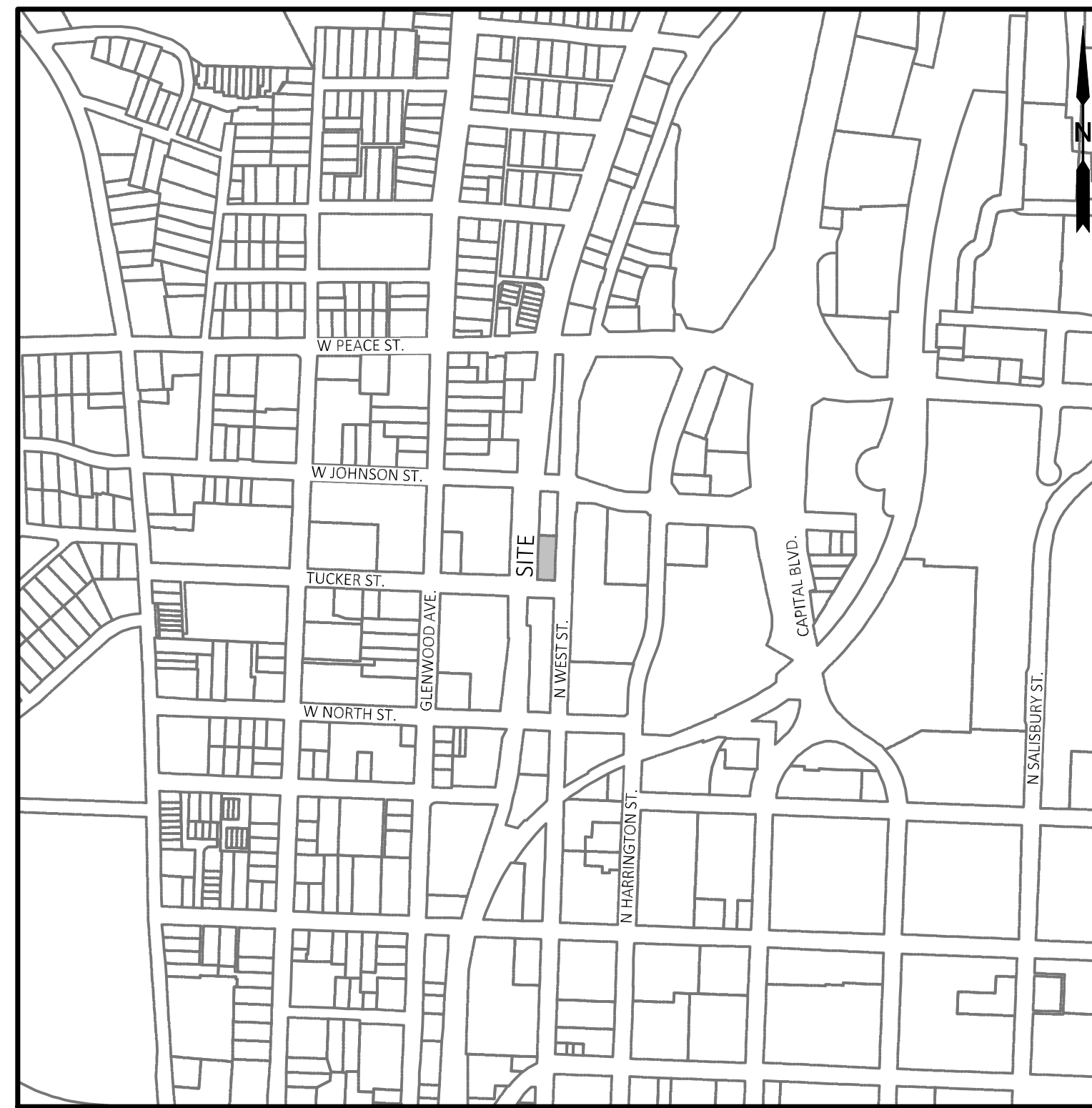
ASR SUBMITTAL

MOXY HOTEL

ASR-0011-2023
501 N WEST STREET
RALEIGH, NC 27603

FEBRUARY 2, 2023
REVISED: DECEMBER 28, 2023

VICINITY MAP



SCALE: 1"=500'

DEVELOPER

VISION HOSPITALITY GROUP, INC.
411 BROAD STREET, SUITE 401
CHATTANOOGA, TN 37402

LANDOWNER

501 N. WEST STREET PROPERTY LLC
4 BRYANT PARK, STE 200
NEW YORK, NY 10018

CIVIL ENGINEER

O'KANE AND ASSOCIATES, PLLC
107 UNION DRIVE, SUITE 202
WASHINGTON, NC 27889
CONTACT: BRIAN O'KANE, PE

SURVEYOR

JOHN A. EDWARDS & COMPANY
333 WADE AVE.
RALEIGH, NC 27605

Table for PUBLIC IMPROVEMENT QUANTITIES including number of lots, phases, units, and various service stubs.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

SHEET INDEX table listing drawing titles and revision dates.

TOTAL NUMBER OF DRAWINGS INCLUDED IN SET = 16

Table with developer and landowner information, including address, phone, and email.

GENERAL NOTES:

- List of 11 general notes regarding construction plan approval, improvements, permits, and site requirements.

Table for SITE INFORMATION TABLE and BUILDING / STRUCTURE SETBACKS, including zoning, area, setbacks, and height requirements.

RIGHT OF WAY OBSTRUCTION NOTES:

- List of 10 notes regarding right-of-way obstructions, traffic control, and signage requirements.

STORMWATER NOTE:

- Note regarding proposed impervious surface on property and existing impervious surface being demolished.



May 22, 2023

Joe Weinman
Vision Hospitality Group
411 Broad St.
Ste 401
Chattanooga, TN 37402

Attn: Joe

This is a letter of support for trash and recycling services for your new facility being planned for 501 N. West St. Raleigh, NC.

We have reviewed the plans and have found that GFL Environmental can safely perform all needed services.

Current design plans call for up to (2) 4 yard dumpsters on casters for trash and (1) 4 yard dumpster on casters for cardboard in the trash room and (2) 96 gallon carts for commingled recycling. At this time it is being proposed that GFL will bring the containers out to the street for servicing from the trash room and returned to the trash room by GFL at an additional charge but is subject to change. At this time, we expect trash and cardboard service to be Mon, Wed and Fri and once a week pickup on the recycling. This may change as needed.

If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service and that design specs have not changed.

We look forward to providing waste and recycling services at your new property once it has been completed.

Should you have any questions or need more information, please contact me at tara.zents@xflenv.com.

Sincerely,

Tara Zents
Account Manager
GFL Environmental - Raleigh
3741 Conquest Drive

REVISIONS

Table for REVISIONS showing revision number, date, and description.



107 UNION DRIVE, SUITE 202
WASHINGTON, NORTH CAROLINA
PHONE: 252-702-1910
FIRM NC LICENSE NUMBER: P-2529

CLIENT:
ODA ARCHITECTURE
2010 SOUTH TRYON ST.
SUITE 1A
CHARLOTTE, NC 28203

ASR REVIEW

COVER SHEET

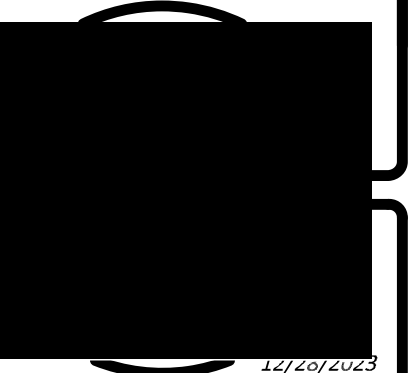
MOXY HOTEL

RALEIGH, NORTH CAROLINA

SHEET TITLE:



Know what's below.
Call before you dig.
1-800-632-4849



HORIZONTAL SCALE:
N/A

VERTICAL SCALE:
N/A

DATE:
12-28-2023

SHEET NUMBER:
C-0.0

PRELIMINARY DRAWING
NOT RELEASED FOR CONSTRUCTION



EXISTING CONDITIONS LEGEND

EXISTING PROPERTY BOUNDARY	---
EXISTING PROPERTY LINE	---
EXISTING EASEMENT	---
EXISTING SETBACK	---
EXISTING ROAD CENTERLINE	---
EXISTING CONCRETE	---
EXISTING GRAVEL	---
EXISTING MAJOR (5') CONTOUR	---
EXISTING MINOR (1') CONTOUR	---
STREAM CENTERLINE	---
STREAM TOP OF BANK	---
STREAM TOE OF BANK	---
STREAM BUFFER	---
ZONE 1 STREAM BUFFER	---
ZONE 2 STREAM BUFFER	---
TREELINE	---
GIS PROPERTY LINE	---
EXISTING GIS CONTOUR	---
OVERHEAD UTILITY LINE	OH OH
OVERHEAD POWER LINE	OH OH
UNDERGROUND UTILITY LINE	UG UG
UNDERGROUND CABLE TV LINE	CATV
UNDERGROUND FIBER OPTIC LINE	FO FO
UNDERGROUND GAS LINE	GAS GAS
UNDERGROUND ELECTRIC LINE	UE UE
UNDERGROUND TELEPHONE LINE	T T
EX. STORM SEWER PIPE	SS
EX. STORM SEWER STRUCTURES	FM
EX. SANITARY SEWER PIPE	SS
EX. SANITARY SEWER FORCE MAIN	FM
EX. SANITARY SEWER MANHOLE	SS
EX. SANITARY SEWER CLEANOUT	SS
EX. WATER PIPE	W
EX. WATER METER	W
EX. WATER HYDRANT	W
EX. WATER VALVES	W

EXISTING HATCH LEGEND

50' NEUSE RIVER RIPARIAN BUFFER	[Hatched Pattern]
EXISTING CONCRETE SIDEWALK	[Dotted Pattern]
EXISTING ON-SITE ASPHALT	[Solid Grey Pattern]
EXISTING ASPHALT ROADWAY	[Diagonal Line Pattern]

DEVELOPER	
VISION HOSPITALITY GROUP, INC. 411 BROAD STREET, SUITE 401 CHATANOOGA, TN 37402 CONTACT: BRIAN PARKER PHONE: 423-664-4452 EMAIL: BPARKER@VGHOTELS.COM	
LANDOWNER	
501 N. WEST STREET PROPERTY LLC 4 BRYANT PARK, STE 200 NEW YORK, NY 10018	
EXISTING PROPERTY DATA	
SITE ADDRESS	501 N WEST STREET
	RALEIGH, NC 27603
PIN(S)	1704-51-0336
PARCEL AREA	1831-75-1080
ZONING JURISDICTION	10,429.87 SF (0.2394 ACRES)
EXISTING ZONING	DX-12-SH
EXISTING LAND USE	PARKING LOT
WATERSHED	CRABTREE CREEK
RIVER BASIN	NEUSE RIVER
ADDITIONAL OVERLAY	N/A
PLAT REFERENCE	PB 2000 PG 1071
FEMA FLOOD INSURANCE MAP	3720170400K
RECEIVING STREAM	PIGEON HOUSE BRANCH STREAM INDEX - 27-33-18 CLASSIFICATION - C;NSW

EXISTING CONDITIONS NOTES:

- EXISTING CONDITIONS WITHIN PROPERTY BOUNDARY TAKEN FROM SURVEY PROVIDED BY CLIENT. SURVEY TITLED EXISTING CONDITIONS SURVEY, PREPARED BY JOHN A. EDWARDS & COMPANY AND DATED 08/26/2022.
- ALL OTHER EXISTING CONDITIONS SHOWN ON THIS PLAN WAS TAKEN FROM WAKE COUNTY GIS AND ARE NOT THE RESULT OF A BOUNDARY OR TOPOGRAPHIC SURVEY.
- NO ENVIRONMENTAL INVESTIGATION OR DETERMINATIONS HAVE BEEN PERFORMED BY OKANE AND ASSOCIATES ON THE SITE. ANY AND ALL ENVIRONMENTAL INFORMATION SHOWN IS PRELIMINARY AND HAS NOT BEEN VERIFIED BY THE GOVERNING AGENCIES. ALL ENVIRONMENTAL FEATURES SHALL BE CONFIRMED BY APPROPRIATE GOVERNING AGENCY AND SURVEYED PRIOR TO CONSTRUCTION.

EXISTING NATURAL FEATURES:

- THIS PROPERTY LIES WITHIN THE NEUSE RIVER BASIN AND PORTIONS OF THE PROPERTY MAY BE SUBJECT TO PROTECTIVE BUFFERS AS DEFINED BY DEMLR.
- THIS PROPERTY IS LOCATED IN ZONE X, AREAS OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA FLOOD MAP NUMBERS 3720170400K, DATED 7/19/2022.
- THERE ARE STREAM BUFFERS ON THIS SITE. BUFFERS SHOWN ARE PRELIMINARY AND MUST BE VERIFIED BY AN ENVIRONMENTAL SCIENTIST AND GOVERNING REGULATORY AGENCIES.
- THIS PROPERTY DRAINS TO PIGEON HOUSE BRANCH WHICH IS A TRIBUTARY OF CRABTREE CREEK WHICH LIES IN THE NEUSE RIVER BASIN.

GIS SOILS INFORMATION:

- SOILS INFO. FOR THE PROJECT WAS TAKEN FROM WAKE COUNTY GIS.
- THE SOIL BOUNDARY SHOWN IS FROM GIS DATA AND IS APPROXIMATE.
- THE SOIL TYPES ON THIS SITE ARE:
UR - URBAN LAND (100% OF SITE)

EXISTING LAND COVER TABULATION			
LAND COVER	AREA (SF)	AREA (AC)	% OF TOTAL
DRIVE/PARKING	8,458 SF	0.19 AC	81.1%
SIDEWALK	0 SF	0.00 AC	0.00%
BUILDING	0 SF	0.00 AC	0.00%
GREENWAY	0 SF	0.00 AC	0.00%
DRIVEWAY	0 SF	0.00 AC	0.00%
TOTAL IMPERVIOUS AREA	8,458 SF	0.19 AC	81.1%
PERVIOUS (GRASS/WOODS)	1,972 SF	0.04 AC	18.9%
TOTAL AREA	10,430 SF	0.24 AC	100.0%

REVISIONS	
1	12/28/2023 REVISED PER CITY OF RALEIGH REVIEW

KANE & ASSOCIATES, PLLC
107 UNION DRIVE, SUITE 202
WASHINGTON, NORTH CAROLINA
PHONE: 252-702-1910
FIRM NC LICENSE NUMBER: P-2529

CLIENT:
ODA ARCHITECTURE
2010 SOUTH TRYON ST.
SUITE 1A
CHARLOTTE, NC 28203

ASR REVIEW

SHEET TITLE:
EXISTING CONDITIONS PLAN
MOXY HOTEL
RALEIGH, NORTH CAROLINA

NORTH
0 5 10 20
SCALE: 1"=10'

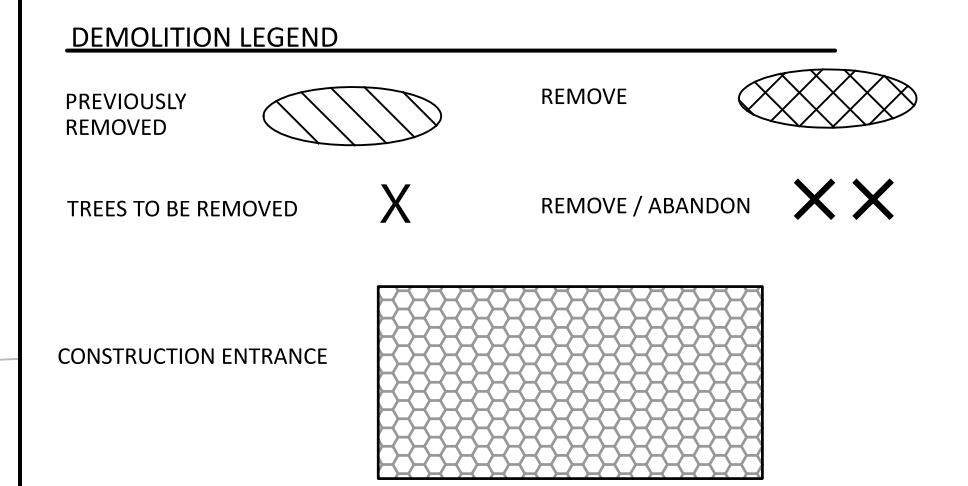
HORIZONTAL SCALE:
1"=10'
VERTICAL SCALE:
N/A
DATE:
12-28-2023
SHEET NUMBER:

C-1.0

PRELIMINARY DRAWING
NOT RELEASED FOR CONSTRUCTION



- DEMOLITION NOTES**
1. REMOVE/ DEMOLISH/ ABANDON AFTER EROSION CONTROL MEASURES ARE IN PLACE AND APPROVAL OF THE ENGINEER.
 2. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY OWNER NOT LESS THAN 72 HOURS IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING OWNERS WRITTEN PERMISSION.
 3. SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
 4. VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 5. LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION, AND REPAIR ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
 6. REMOVE ALL EXISTING ON-SITE TRASH AND DEBRIS. TRASH AND DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN A LEGAL MANNER.
 7. REMOVE SIDEWALK AND CURB AND GUTTER SECTIONS BY SAWCUTTING THE NEAREST CONTROL JOINT AWAY FROM THE AREA DESIGNATED TO BE REMOVED ON THE DEMOLITION PLAN.
 8. SAW CUT PAVEMENT IN ALL LOCATIONS WHERE ABUTTING SIDEWALK OR NEW PAVEMENT TO EXISTING.
 9. DRAWINGS DO NOT SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. CALL "NO ONE CALL" PRIOR TO THE START OF DEMOLITION WORK FOR ASSISTANCE IN LOCATING EXISTING UNDERGROUND UTILITIES.
 10. THE LOCATION OF EXISTING UNDERGROUND UTILITIES INDICATED IS APPROXIMATE ONLY. FIELD LOCATE ALL EXISTING UTILITIES IN THE AREA OF WORK, REGARDLESS OF WHETHER OR NOT THEY ARE INDICATED. CALL "NO ONE CALL" PRIOR TO THE START OF DEMOLITION WORK FOR ASSISTANCE IN LOCATING EXISTING UNDERGROUND UTILITIES.
 11. NOTIFY AND COORDINATE ANY REQUIRED RELOCATION AND/OR REMOVAL OF EXISTING UNDERGROUND UTILITIES, POLES, METERS OR OTHER ABOVE GROUND APPURTENANCES WITH THE APPROPRIATE UTILITY COMPANY (I.E. POWER, TELEPHONE, CABLE AND NATURAL GAS/PROPANE) PRIOR TO THE START OF SELECTIVE DEMOLITION WORK.
 12. ARRANGE SELECTIVE DEMOLITION SCHEDULE SO AS NOT TO INTERFERE WITH OWNER'S ON-SITE OPERATIONS.
 13. SHOULD UNCHARTED OR INCORRECTLY CHARTED EXISTING UTILITIES BE IDENTIFIED, CONTACT THE ENGINEER IMMEDIATELY FOR INSTRUCTIONS. PROVIDE A SCALE DRAWING WITH THE LOCATION OF THE UNCHARTED OR INCORRECTLY CHARTED UTILITIES FOR USE BY THE ENGINEER IN PREPARING ADDITIONAL DIRECTIONS.
 14. PRIOR TO THE START OF CONSTRUCTION, PHOTOGRAPH OR VIDEOTAPE EXISTING CONDITIONS OF ADJOINING CONSTRUCTION AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY THE WORK. PROTECT ALL EXISTING SITE IMPROVEMENTS FROM DAMAGE DURING CONSTRUCTION. ANY EXISTING FEATURE DETERMINED TO BE DAMAGE BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED AT NO ADDITIONAL COST TO THE CONTRACT.



REVISIONS

1	12/28/2023	REVISED PER CITY OF RALEIGH REVIEW
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KANE & ASSOCIATES, PLLC
 107 UNION DRIVE, SUITE 202
 WASHINGTON, NORTH CAROLINA
 PHONE: 252-792-1910
 FIRM NC LICENSE NUMBER: P-2529

CLIENT:
 ODA ARCHITECTURE
 2010 SOUTH TRYON ST.
 SUITE 1A
 CHARLOTTE, NC 28203

ASR REVIEW

DEMOLITION PLAN

MOXY HOTEL
 RALEIGH, NORTH CAROLINA

SHEET TITLE: DEMOLITION PLAN

SCALE: 1"=10'

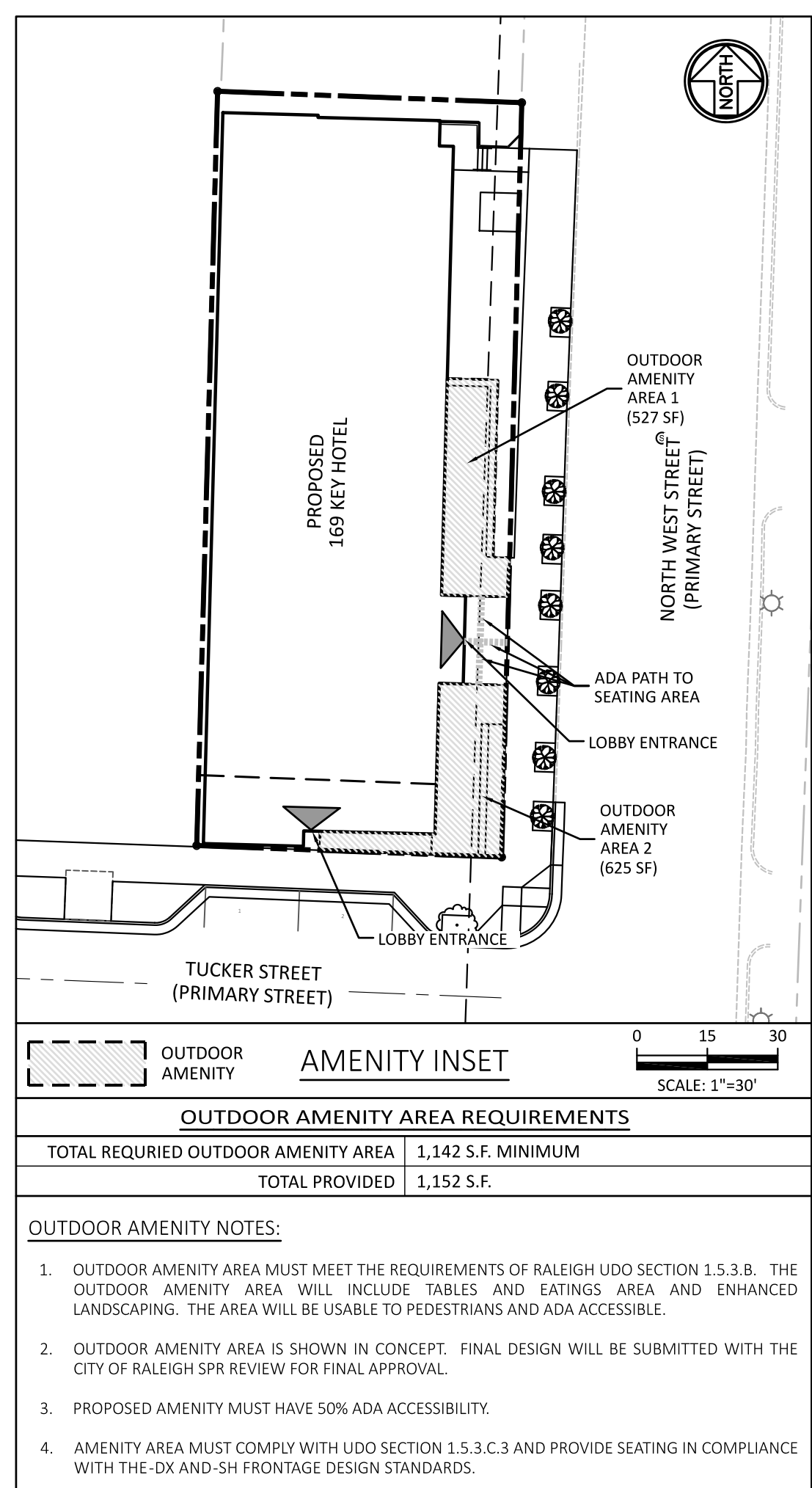
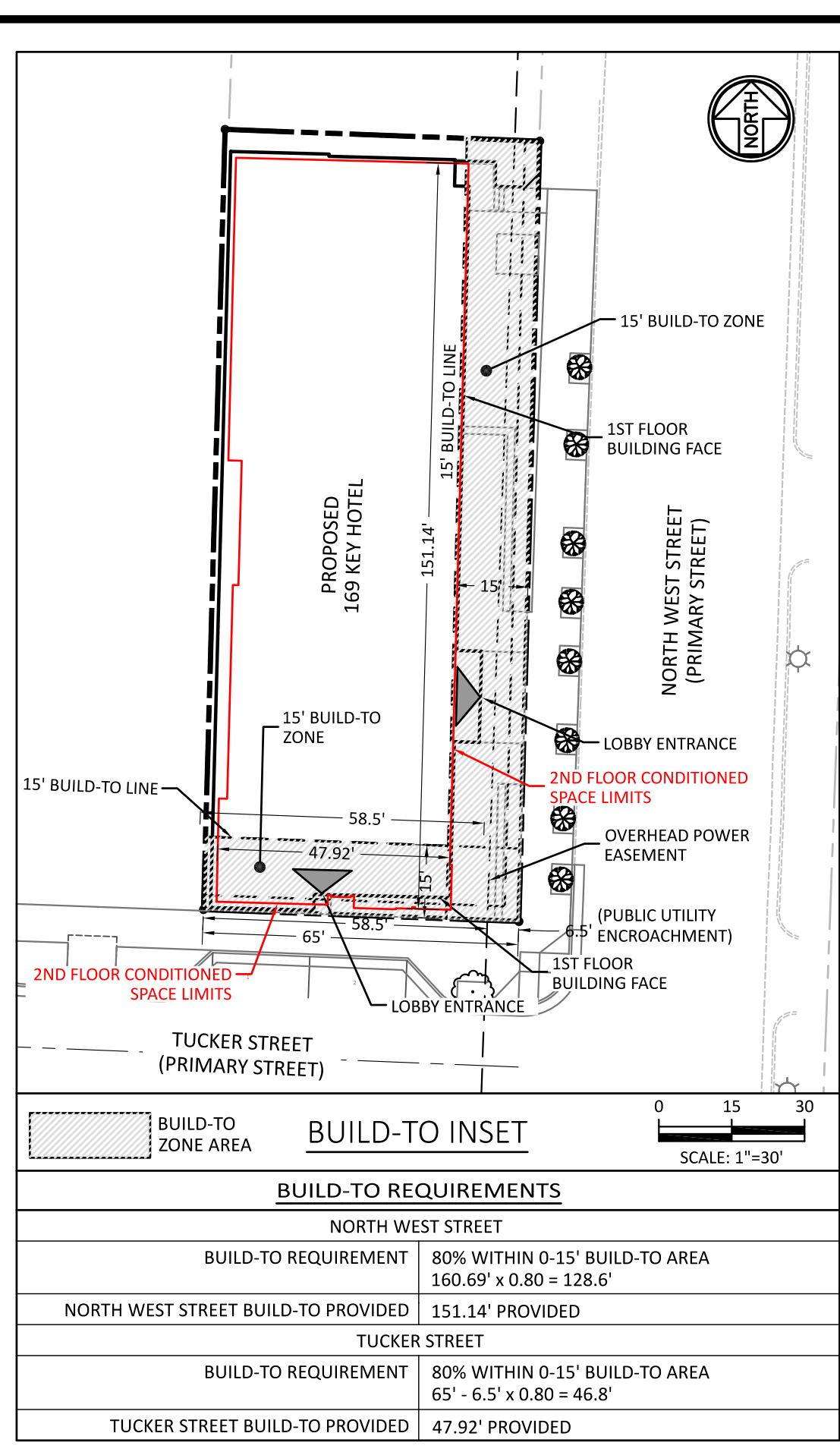
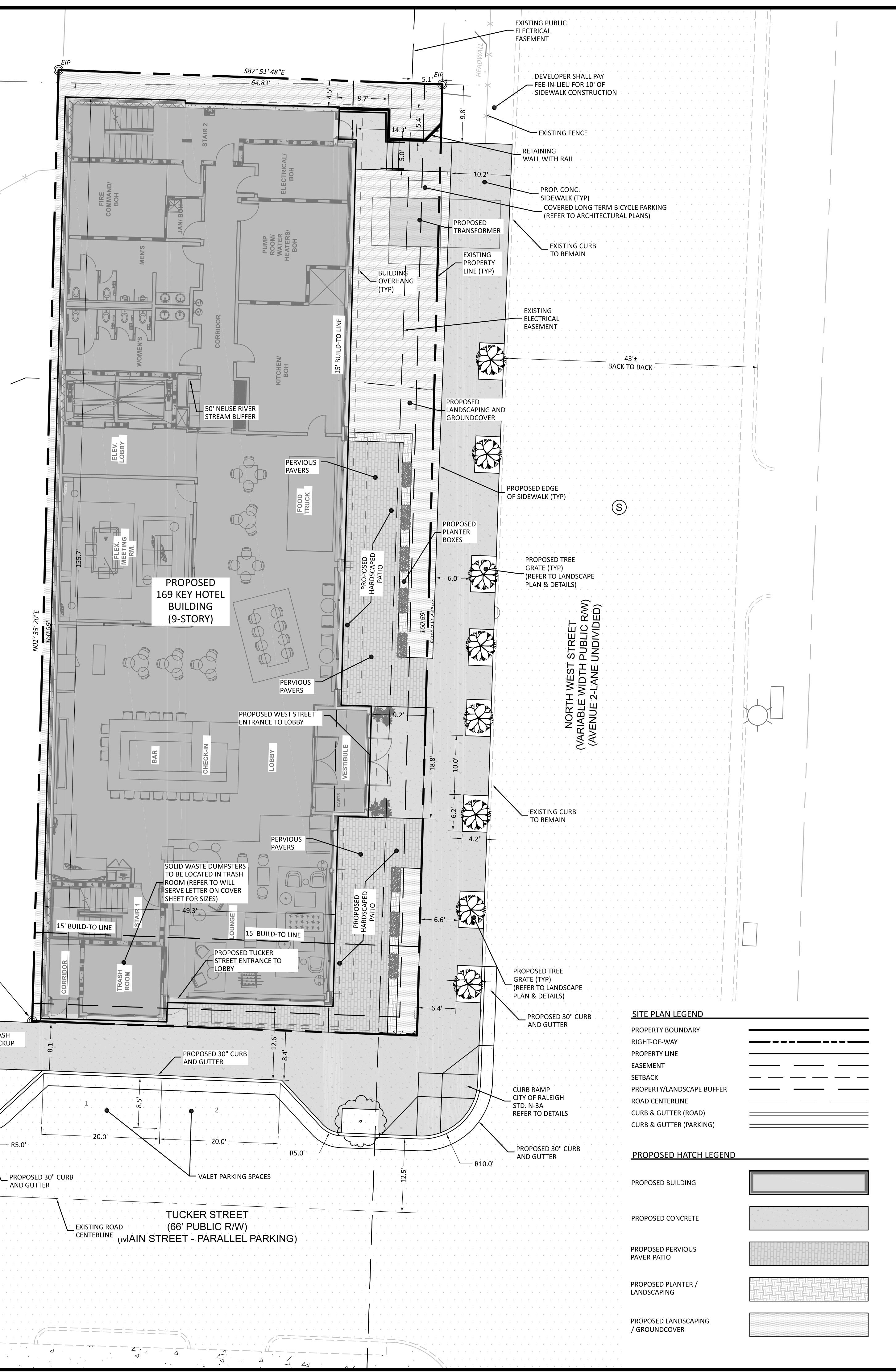
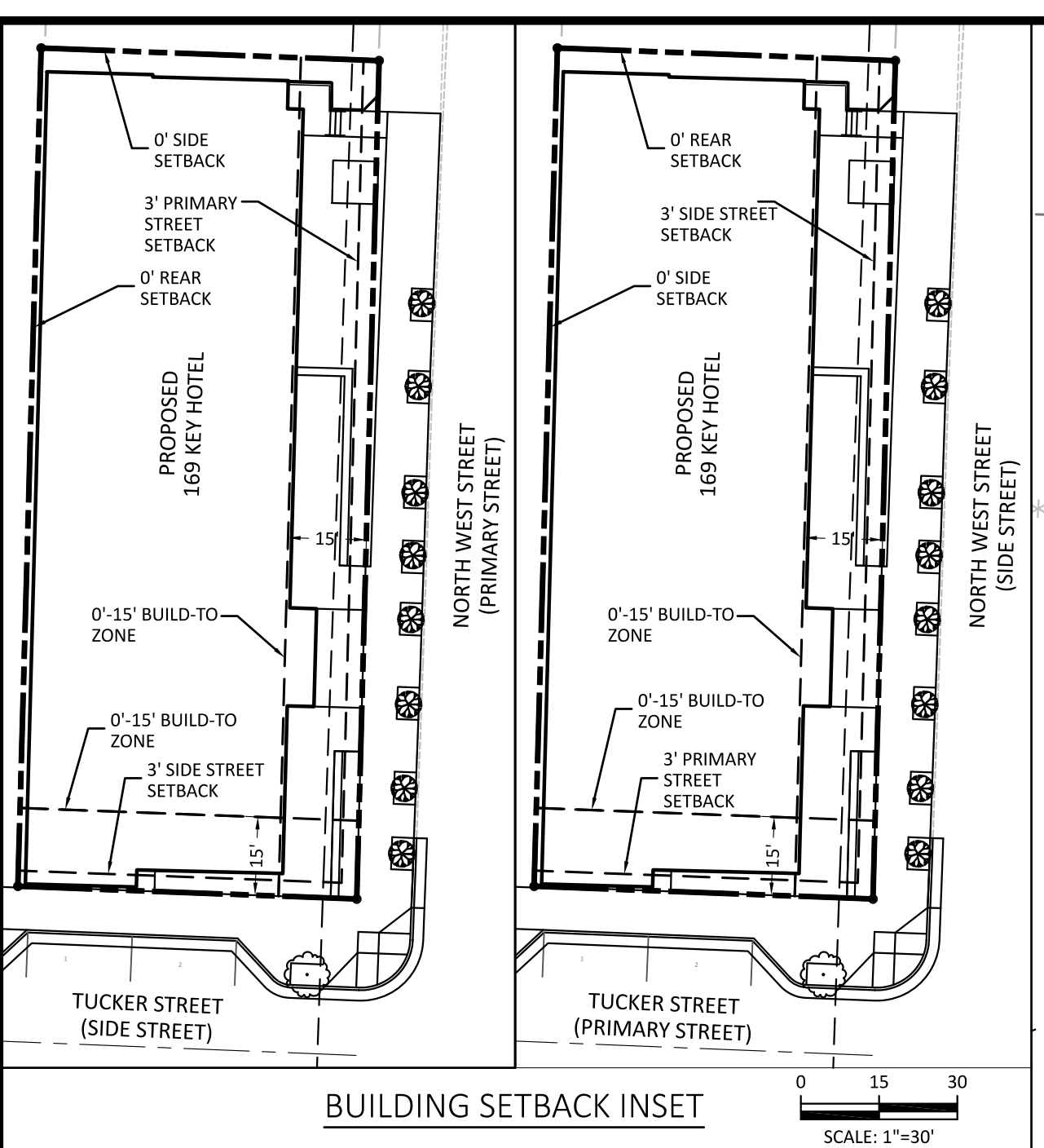
HORIZONTAL SCALE: 1"=10'

VERTICAL SCALE: N/A

DATE: 12-28-2023

SHEET NUMBER: C-1.1

PRELIMINARY DRAWING NOT RELEASED FOR CONSTRUCTION



SITE INFORMATION TABLE	
ZONING	DX-12-SH
EXISTING SITE AREA	10,429.87 SF (0.2394 ACRES)
OVERALL GROSS AREA	10,429.87 SF (0.2394 ACRES)
PROPOSED USE	OVERNIGHT LODGING (HOTEL)
FRONTAGE	SHOPFRONT
DX-12-SH DIMENSIONAL STANDARDS	
MIN LOT AREA	N/A
MAX LOT AREA	N/A
MIN LOT WIDTH	N/A
OUTDOOR AMENITY AREA (MIN)	10% - 1,042 SF (MIN)
ADDITIONAL AMENITY	100 SF (2 STORIES OVER 7)
TOTAL REQUIRED	1,042 + 100 = 1,142 SF MIN.
OUTDOOR AMENITY PROVIDED	1,152 SF (TABLES AND SEATING)
BUILDING / STRUCTURE SETBACKS	
PRIMARY STREET SETBACK (MIN)	3'
SIDE STREET SETBACK (MIN)	3'
SIDE LOT LINE (MIN)	0' OR 6'
REAR LOT LINE (MIN)	0' OR 6'
FROM ALLEY	5'
PARKING SETBACKS	
FROM PRIMARY STREET (MIN)	10'
FROM SIDE STREET (MIN)	10'
FROM SIDE LOT LINE (MIN)	0' OR 3'
FROM REAR LOT LINE (MIN)	0' OR 3'
FROM ALLEY	5'
HEIGHT REQUIREMENTS	
MAX ALLOWED BUILDING HEIGHT	12-STORY
ACCESSORY STRUCTURE (MAX. ALLOWED)	26'
FLOOR HEIGHTS (MINIMUM ALLOWED)	
GROUND STORY MIN. (FLOOR TO FLOOR)	15'
UPPER STORY MIN. (FLOOR TO FLOOR)	9'
PARKING REQUIREMENTS	
LONG-TERM BICYCLE PARKING	1 SPACE / 20 ROOMS
REQUIRED	8 LONG-TERM BICYCLE SPACES
PROVIDED	8 LONG-TERM BICYCLE SPACES
VEHICLE PARKING (MAX)	1.5 SPACES PER ROOM
	1.5 X 169 ROOMS = 253 MAX
VEHICLE PARKING PROPOSED	0 PARKING SPACES
UDO SEC. 3.4.9 SHOPFRONT (-SH) (REQUIRED)	
B. BUILDING TYPES ALLOWED	
BUILDING TYPES ALLOWED	MIXED-USE BUILDING CIVIC BUILDING OPEN LOT
C. BUILD-TO	
PRIMARY STREET BUILD-TO (MIN/MAX)	0' MIN / 15' MAX
BUILDING WIDTH IN PRIMARY BUILD-TO (MIN)	80%
SIDE STREET BUILD-TO (MIN/MAX)	0' MIN / 15' MAX
BUILDING WIDTH IN SIDE STREET BUILD-TO (MIN)	40%
D. BUILD-TO	
PARKING SETBACK FROM PRIMARY STREET	30'
NO ON-SITE PARKING OR VEHICULAR SURFACE AREA PERMITTED BETWEEN THE BUILDING AND THE STREET.	
E. PEDESTRIAN ACCESS	
PRIMARY STREET-FACING ENTRANCE REQUIRED	YES
F. STREETScape REQUIREMENT	
MAIN STREET	SEE SEC. 8.5.9.B

- SITE PLAN NOTES:**
- CONTRACTOR SHALL CONFIRM THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FOR THE PROPOSED CONSTRUCTION. BEGINNING ANY ASPECT OF CONSTRUCTION OR FABRICATING ANY ITEM PRIOR TO RECEIVING ALL PLANS AND APPROPRIATE DOCUMENTATION OF APPROVAL SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATIONS TO THEIR WORK.
 - THE CONTRACTOR SHALL CONFIRM THAT ALL THE CONSTRUCTION MATERIALS ARE IN ACCORDANCE WITH THE PERMITS ISSUED AND THE LATEST APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL CODES. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN.

PROPOSED ON-SITE LAND COVER TABULATION			
LAND COVER	AREA (SF)	AREA (AC)	% OF TOTAL
DRIVE/PARKING	0 SF	0.0 AC	0.00%
SIDEWALK / IMPERVIOUS	399 SF	0.009 AC	3.60%
BUILDING	7,646 SF	0.176 AC	73.4%
TOTAL IMPERVIOUS AREA	8,039 SF	0.184 AC	77.00%
PLANTER BOXES	113 SF	0.003 AC	1.1%
PERVIOUS PAVERS	941 SF	0.022 AC	9.0%
PERVIOUS (GRASS/WOODS)	1,336.9 SF	0.031 AC	12.9%
TOTAL AREA	10,429.9 SF	0.24 AC	100.0%

PROPOSED BUILDING DATA	
NUMBER OF STORIES	9-STORY
MAX BUILDING HEIGHT	12-STORY
HOTEL KEYS	169 PROPOSED KEYS
BUILDING SQUARE FOOTAGE	67,979 SF TOTAL GROSS FLOOR AREA
HEATED GROSS SQUARE FOOTAGE	63,386 SF GROSS HEATED AREA

ALLOWABLE IMPERVIOUS PER ZONING	
EXISTING ON-SITE IMPERVIOUS	8,458 SF
INCREASE IN ROW IMPERVIOUS	1,613 SF
ALLOWABLE IMPERVIOUS ON-SITE	6,839 SF
PROPOSED IMPERVIOUS ON-SITE	8,039 SF
AREA TO BE TREATED FOR VOLUME	8,039 SF - 6,839 SF = 1,200 SF

REVISIONS	
1	12/28/2023 REVISED PER CITY OF RALEIGH REVIEW

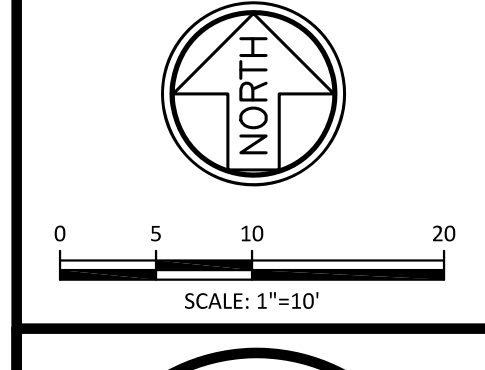
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CLIENT:
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SUITE 1A
CHARLOTTE, NC 28203

ASR REVIEW

SITE LAYOUT PLAN

MOXY HOTEL
RALEIGH, NORTH CAROLINA



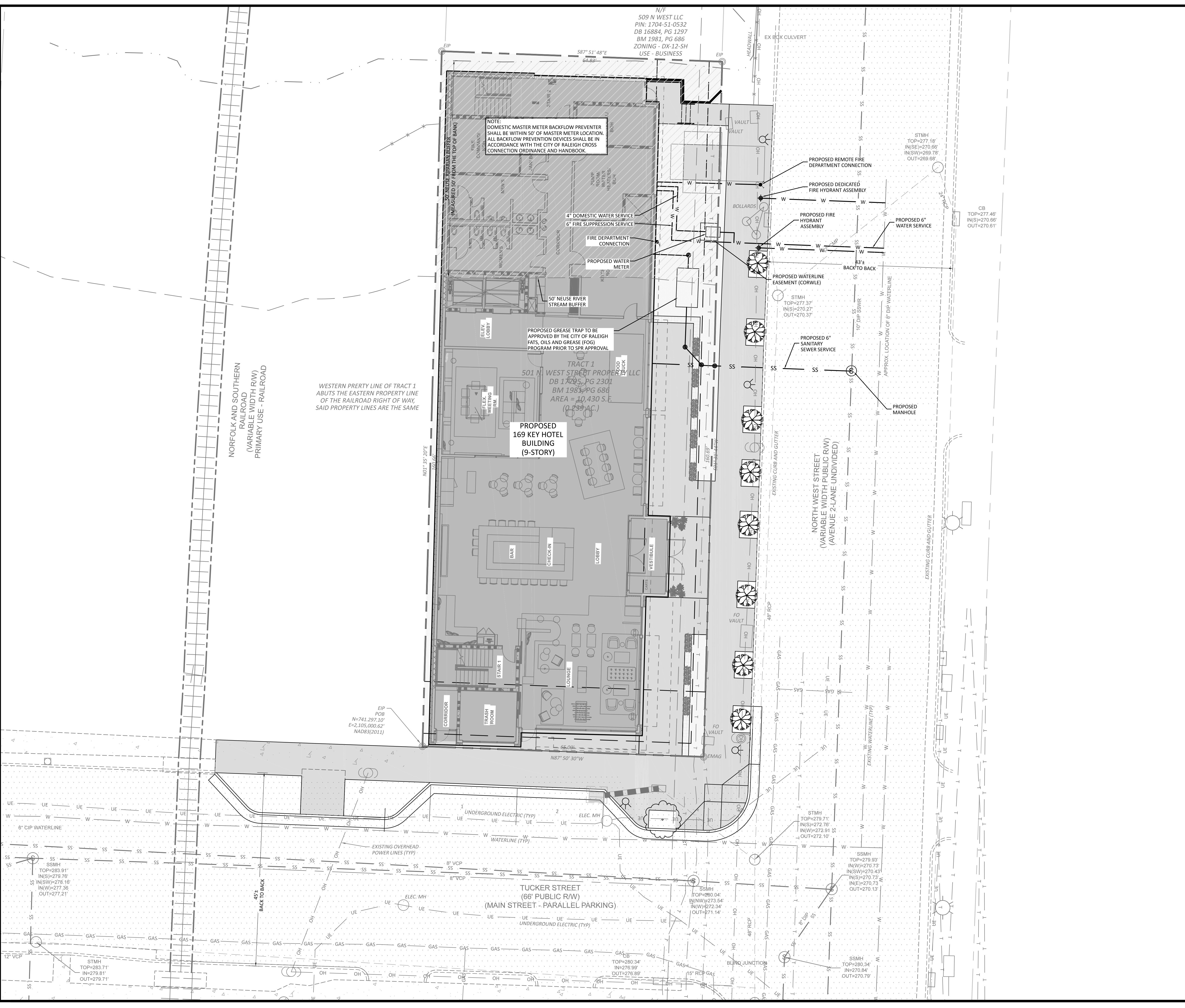
HORIZONTAL SCALE: 1"=10'

VERTICAL SCALE: N/A

DATE: 12-28-2023

SHEET NUMBER: **C-2.0**

PRELIMINARY DRAWING
NOT RELEASED FOR CONSTRUCTION



- CITY OF RALEIGH STANDARD UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 30" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
 - INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
 - NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID.

SEWER BYPASS PUMPING:

A BYPASS PLAN SEALED BY A NC PROFESSIONAL ENGINEER MUST BE SUBMITTED TO PUBLIC UTILITIES PRIOR TO PUMPING OPERATIONS TO COORDINATE WITH ADMINISTRATION ENGINEERING STAFF. PUMPS SHOULD BE SIZED TO HANDLE THE PEAK DAILY FLOW (2.5 TIMES THE AVERAGE DAILY FLOW WITH A MINIMUM OF 50 GPM) FOR THE LINE OR AREA OF WORK. THE CONTRACTOR SHALL SECURE PUMPS FROM A PUMP SUPPLIER ACCORDING TO THE PROVIDED FLOW INFORMATION. PUMPING OPERATIONS MUST BE MONITORED 24 HOURS A DAY FOR EACH DAY OF THE PUMPING OPERATION BY QUALIFIED PERSONNEL IN ORDER TO RESPOND TO PROBLEMS OR FAILURES. 100% REDUNDANCY IS REQUIRED FOR PUMPING OPERATIONS. IN ADDITION, BACK UP PUMPS ARE TO BE CONNECTED TO THE BYPASS FORCE MAIN TO FACILITATE IMMEDIATE USE UPON FAILURE OF THE PRIMARY PUMP.

UTILITY LEGEND

W	PROPOSED DOMESTIC WATERLINE
W	PROPOSED FIRE WATERLINE
◆	PROP. FIRE HYDRANT ASSEMBLY
◆	FIRE DEPARTMENT CONNECTION (FDC)
◆	PROPOSED WATER VALVE
◆	PROPOSED WATERLINE BENDS
◆	PROPOSED WATERLINE TEE
◆	PROPOSED WATERLINE CROSS
◆	PROPOSED WATERLINE PLUG
◆	PROP. BLOWOFF ASSEMBLY
◆	PROP. POST INDICATING VALVE (PIV)
◆	PROPOSED WATERLINE REDUCER
SS	PROP. WATERLINE EASEMENT
SS	PROP. SANITARY SEWER
⊙	PROP. SANITARY SEWER MANHOLE (SSMH)
⊙	PROP. SANITARY SEWER CLEANOUT (SSCO)
⊙	PROP. SANITARY SEWER EASEMENT

REVISIONS

1	12/28/2023	REVISED PER CITY OF RALEIGH REVIEW
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 WASHINGTON, NORTH CAROLINA
 PHONE: 252-702-1910
 FIRM NC LICENSE NUMBER: P-2529

CLIENT:
ODA ARCHITECTURE
 2010 SOUTH TRYON ST.
 SUITE 1A
 CHARLOTTE, NC 28203

ASR REVIEW

SITE UTILITY PLAN

MOXY HOTEL
 RALEIGH, NORTH CAROLINA

SCALE: 1"=10'

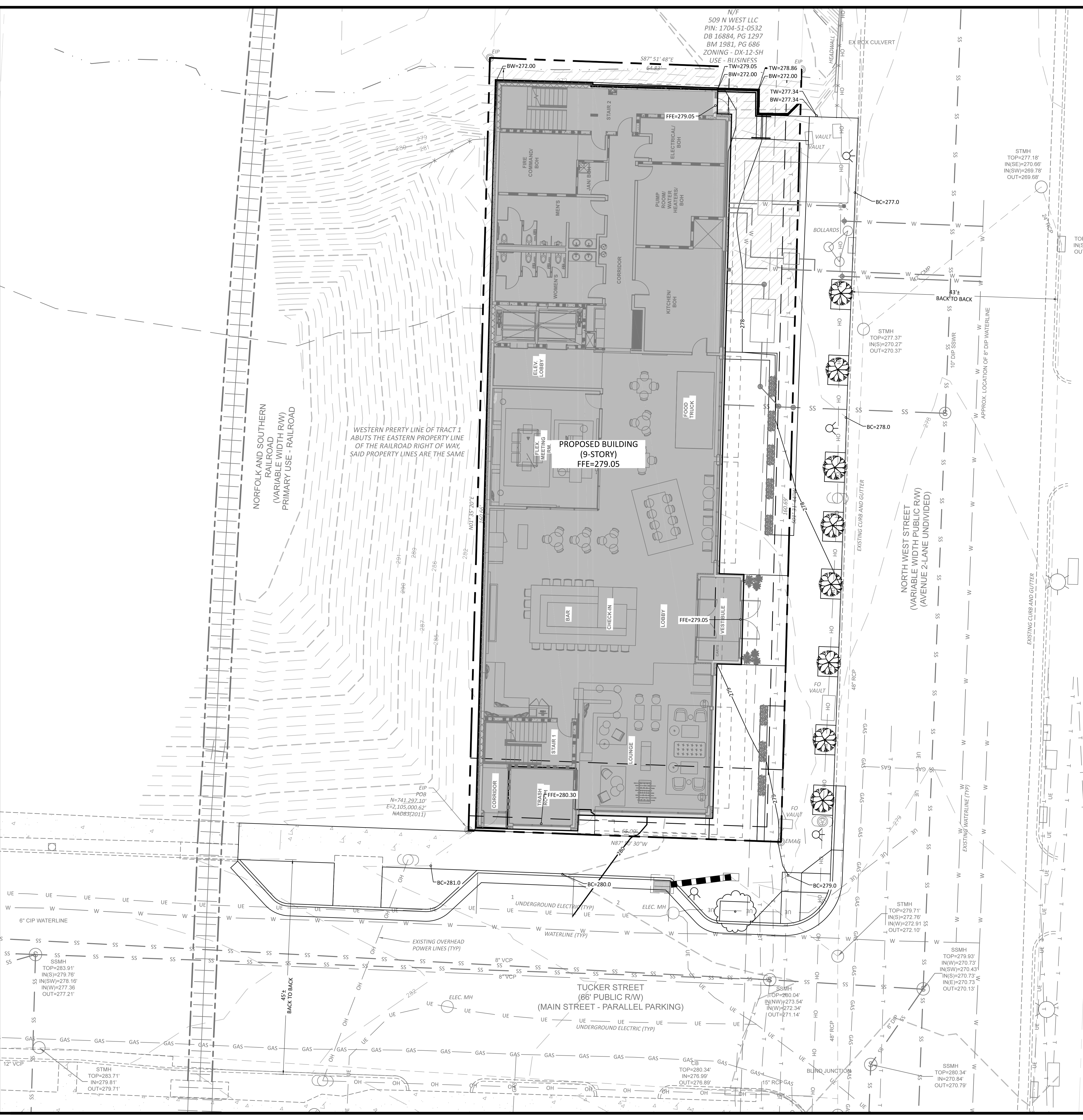
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PERMITTING NOTES

- FLOOD PRONE SOILS ARE PRESENT ON THE SITE. THEREFORE, A FLOOD STUDY IS REQUIRED TO BE APPROVED BY THE CITY OF RALEIGH PRIOR TO CONSTRUCTION OR A GEOTECHNICAL ENGINEER MUST DELINEATE THE FIELD LIMITS OF THE FLOOD PRONE SOILS.

ROOF DRAINAGE NOTE

- ROOF DRAINS SHALL BE TIED TOGETHER IN AND CONNECTED TO THE NEAREST STORM DRAINAGE INLET AND WILL BE DETAILED WITH THE CONSTRUCTION PLANS.

GRADING NOTES

- PROPOSED CONTOURS REPRESENT APPROXIMATE ELEVATIONS AT A POINT. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES SUPERSEDE CONTOUR INFORMATION.
- ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND SHALL MAINTAIN ADEQUATE DRAINAGE DURING CONSTRUCTION.
- ALL GRADING, BACKFILLING, EXCAVATION, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COORDINATING ALL CONSTRUCTION ACTIVITIES WITH SAID AUTHORITY.
- CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 811 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
- CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ANY AND ALL DISTURBED AREAS SHALL BE FINE GRADED, SEEDED WITH PERMANENT GRASS SEEDING MIX AND STRAWED PRIOR TO DEMOBILIZATION FROM THE SITE.
- ALL SWALES/DITCHES ALONG PROPERTY LINES AND REAR YARDS SHOULD BE 2% OR STEEPER.
- SLOPES STEEPER THAN 3H:1V SHOULD BE EVALUATED AND DESIGNED BY A GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL NOTE THAT SPILL CURB SHALL BE USED AS NECESSARY IN PARKING AREAS, AT INTERSECTIONS, AT MEDIANS TO ELIMINATE AREAS OF STANDING WATER IN THE CURB

STORM DRAINAGE NOTES

- RIM ELEVATION FOR A CATCH BASIN (CB) OR CURB INLET (CI) IS TOP OF CURB (7/8"). RIM ELEVATION FOR DROP INLET (DI) OR YARD INLET (YI) IS TOP OF BOX OR TOP OF GRATE (NOT SLAB). RIM ELEVATION FOR A MANHOLE (MH) OR JUNCTION BOX (JB) IS CENTER OF THE STRUCTURE COVER.
- ALL STORM DRAINAGE PIPES SHALL BE CLASS III REINFORCED CONCRETE PIPE (RCP) UNLESS NOTED OTHERWISE.
- ALL STORM DRAINAGE PIPE IN TRAFFIC AREAS SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN UNLESS OTHERWISE APPROVED.
- ALL STORM DRAINAGE PIPE IN TRAFFIC NON-AREAS SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN UNLESS OTHERWISE APPROVED.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAINAGE STRUCTURES SHALL BE STRUCK EVEN WITH THE INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PASTIC GASKETS UNLESS OTHERWISE NOTED.
- EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30 - 48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATIVE MATTER, WASTE, CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SUITABLE SOILS SHALL BE CAPABLE OF COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE PERFORMED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND AND ABOVE THE PIPE SHALL BE COMPACTED IN ACCORDANCE WITH THE PERMITTING AUTHORITY'S SPECIFICATIONS AND/OR THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.

GRADING AND DRAINAGE LEGEND

- 350 PROPOSED MAJOR CONTOUR
- 356 PROPOSED MINOR CONTOUR
- 350 EXISTING MAJOR CONTOUR
- 356 EXISTING MINOR CONTOUR
- PROPOSED EASEMENT LINE
- SPOT ELEVATION (EDGE OF PAVEMENT)
- SPOT ELEVATION (BACK OF CURB)
- SPOT ELEVATION (TOP OF WALL)
- SPOT ELEVATION (BOTTOM OF WALL)
- PROP. STORM DRAINAGE
- PROP. CATCH BASIN
- PROP. DROP INLET
- PROP. JUNCTION BOX
- PROP. FLARED END SECTION
- PROP. RIP RAP PAD

STORMWATER NOTE

- THIS PROJECT PROPOSES AN INCREASE IN IMPERVIOUS SURFACE FROM THE EXISTING IMPERVIOUS ON THE SITE DUE TO INCREASED IMPERVIOUS WITHIN THE RIGHT-OF-WAY. TO EXCEED THE EXISTING IMPERVIOUS, PER UDO SECTION 9.2.2.A.2.B.II, THE PROJECT MUST DEMONSTRATE LESS THAN A 0.04' DIFFERENCE BETWEEN THE WATER SURFACE LEVELS FOR THE 2, 10, 25, 50, AND 100 YEAR STORMS. AN ANALYSIS OF THE EXISTING BOX CULVERTS THAT CONVEYS RUNOFF FROM THIS SITE ACROSS NORTH WEST STREET IS SUMMARIZED BELOW RESULTING IN LESS THAN A 0.04' INCREASE IN RISE FOR ALL STORM EVENTS. A STORMWATER IMPACT ANALYSIS WILL BE SUBMITTED WITH THE SPR PLANS FOR THIS PROJECT.

Lot Area:	0.239 ac.	add 1,619 sf impervious				
Pre-Development Impervious Area:	0.194 ac.	% Impervious-Pre: 81.17%				
Post-Development Impervious Area:	0.2220 ac.	% Impervious-Post: 92.89%				
Rational Coefficients:		Precipitation Data:				
Lawn-Heavy Soil	0.3	2 Year	5.68 in/hr			
Wooded:	0.15	10 Year	7.25 in/hr			
Impervious:	0.95	25 Year	8.02 in/hr			
		50 Year	8.58 in/hr			
		100 Year	9.08 in/hr			
Weighted Rational Coefficient:		Assume 5 min. time of concentration				
Pre-Development:	0.8276					
Post-Development:	0.9038					
Peak Flow Analysis:		Pre-Dev Box Culvert Depth	Post-Dev Culvert Depth	Increase (ft)		
2 Year Qp	1.1235	1.2269	8.43%	0.05	0.08	0.03
10 Year Qp	1.4341	1.5660	8.43%	0.06	0.09	0.03
25 Year Qp	1.5864	1.7323	8.43%	0.07	0.09	0.02
50 Year Qp	1.6971	1.8533	8.43%	0.07	0.1	0.03
100 Year Qp	1.7960	1.9613	8.43%	0.07	0.1	0.03

REVISIONS

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 FIRM NC LICENSE NUMBER: P-2529

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ODA ARCHITECTURE
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 CHARLOTTE, NC 28203

ASR REVIEW

SHEET TITLE:
GRADING AND DRAINAGE PLAN
MOXY HOTEL
 RALEIGH, NORTH CAROLINA

HORIZONTAL SCALE:
 1"=10'

VERTICAL SCALE:
 N/A

DATE:
 12-28-2023

SHEET NUMBER:
C-3.0

PRELIMINARY DRAWING
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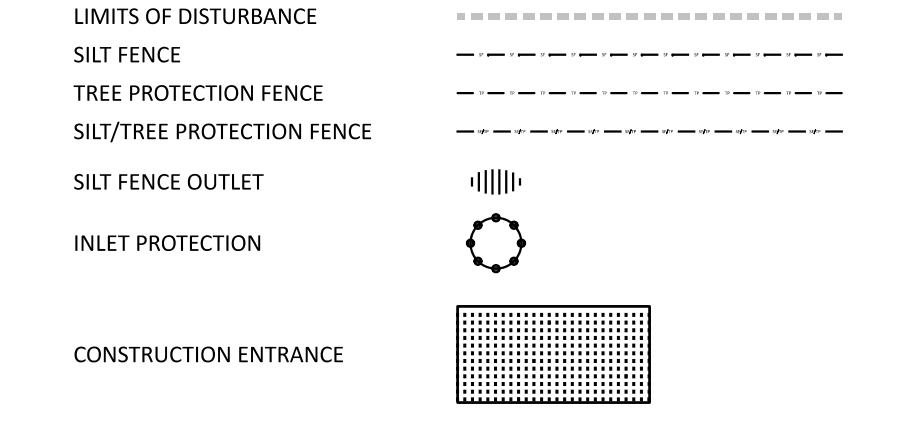
STAGE 1 CONSTRUCTION SEQUENCE

1. SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY (NCG010000) TO STORMWATER INSPECTIONS THROUGHOUT THE PROJECT.
2. PRIOR TO BEGINNING CONSTRUCTION, CALL THE STORMWATER INSPECTIONS REGIONAL COORDINATOR STEPHEN LEISCHNER AT (919) 278-6461 TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING. (SEE APPENDIX FOR MAP OF COORDINATORS AND PHONE NUMBERS)
3. INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE STAGE 1 PLAN. LIMIT CLEARING AND LAND DISTURBING ACTIVITY TO ONLY THE AREA NECESSARY TO INSTALL THE PERMITTED MEASURES.
4. INSTALL THE CONCRETE WASHOUT AREA.
5. CALL THE RAPID RESPONSE NUMBER (919) 857-4412 TO SCHEDULE A STORMWATER SITE INSPECTION.
6. UPON APPROVAL OF THE STORMWATER SITE INSPECTION, COMMENCE PERMITTED LAND DISTURBING ACTIVITY - CLEARING AND GRUBBING.
7. SILT FENCE AND COMBINATION TREE PROTECTION/SILT FENCE MUST REMAIN IN PLACE UNTIL THE AREA ABOVE IT HAS BEEN STABILIZED.
8. TREE PROTECTION FENCE AROUND THE TREE CONSERVATION AREAS SHALL REMAIN IN PLACE UNTIL ALL GRADING IS COMPLETE, AND ALL BUILDINGS ADJACENT TO TREE CONSERVATION AREAS ARE COMPLETE.
9. ADDITIONAL MEASURES MAY BE NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE AT THE ENDS OF THE PROPOSED ROADS.
10. ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED, IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT. STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.

EROSION CONTROL NOTES

1. ALL GRADING, BACKFILLING, EXCAVATION, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COORDINATING ALL CONSTRUCTION ACTIVITIES WITH SAID AUTHORITY.
2. CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 811 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
3. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PER THESE PLANS AND MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND APPROVED FOR REMOVAL BY THE WAKE COUNTY WATERSHED MANAGER.
4. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
5. CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
6. ALL GROUND COVER FOR THESE RESIDENTIAL LOTS SHALL BE IN ACCORDANCE WITH THE SEEDING SCHEDULES ON THESE PLANS. THE SELECTED GROUND COVER WILL STABILIZE THE ON-SITE SOIL AND PREVENT EROSION.
7. ANY AND ALL DISTURBED AREAS SHALL BE FINE GRADED, SEEDED WITH PERMANENT GRASS SEEDING MIX AND STRAWED PRIOR TO DEMOBILIZATION FROM THE SITE.
8. PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITH 14 CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.

EROSION CONTROL LEGEND



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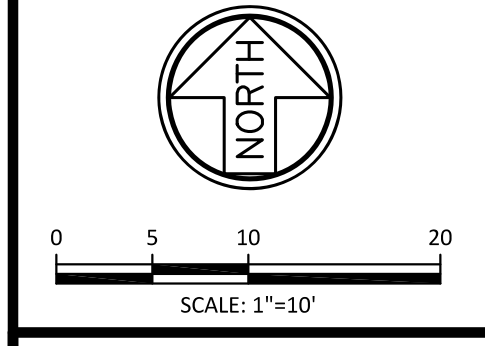
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ASR REVIEW

EROSION CONTROL PLAN

MOXY HOTEL
 RALEIGH, NORTH CAROLINA



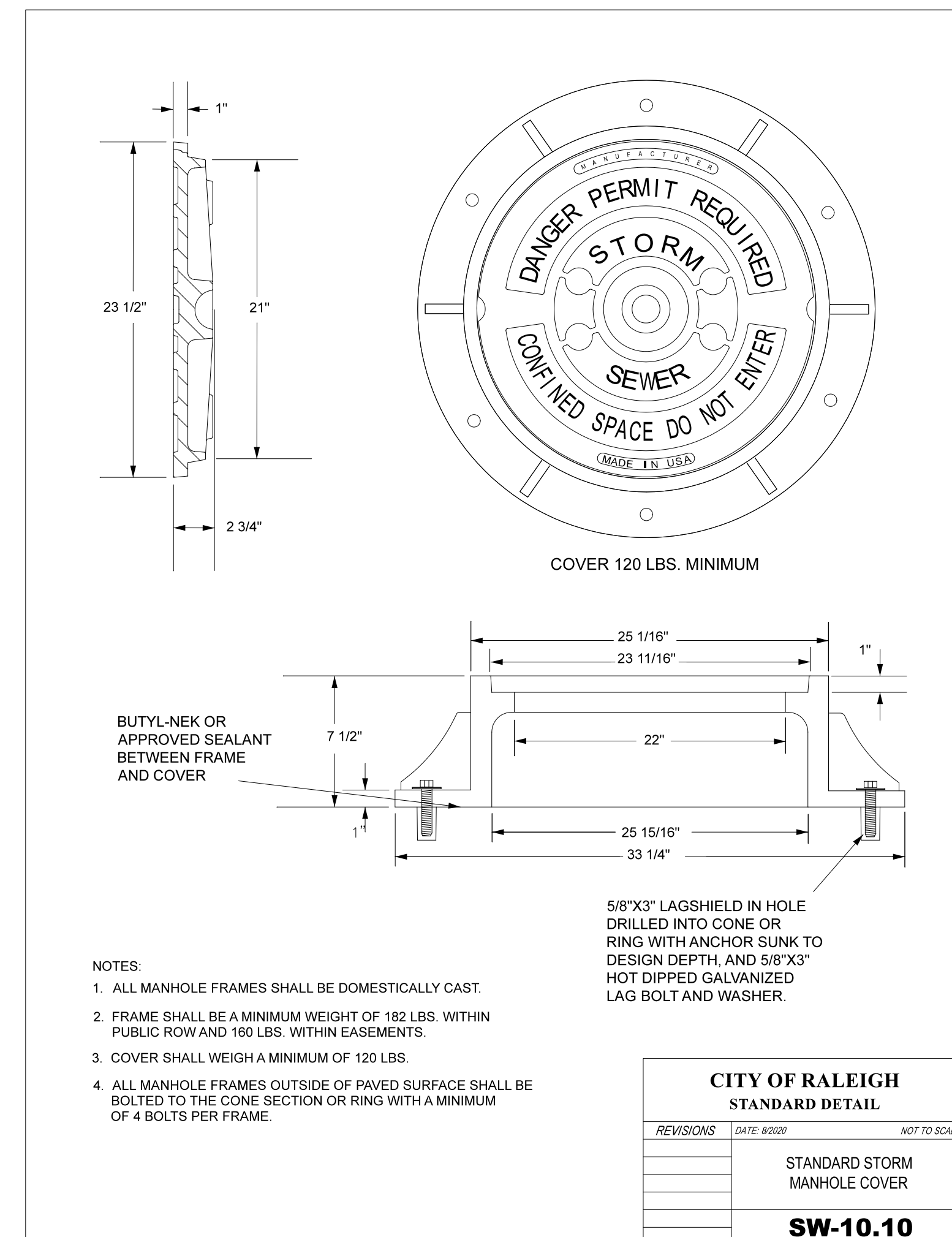
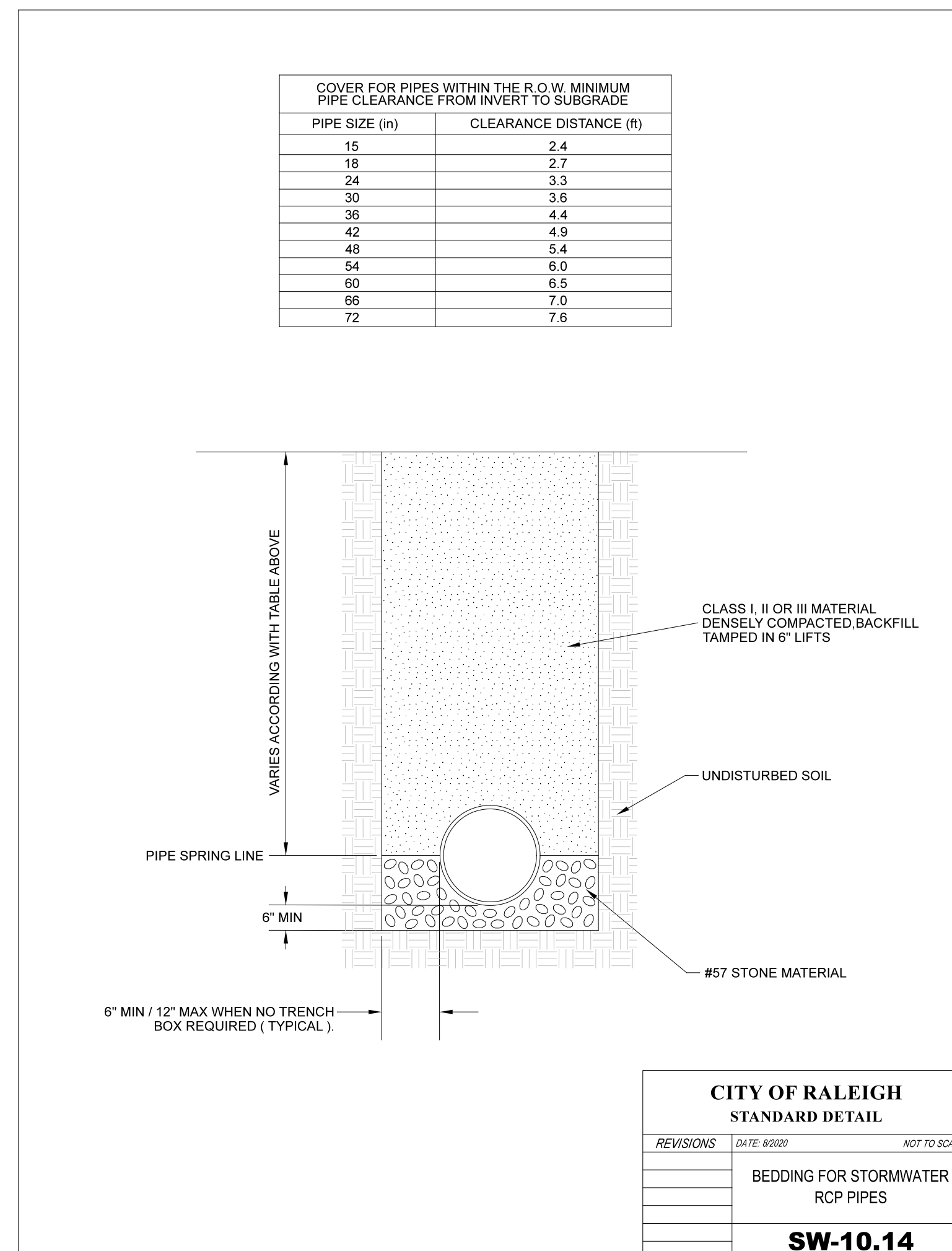
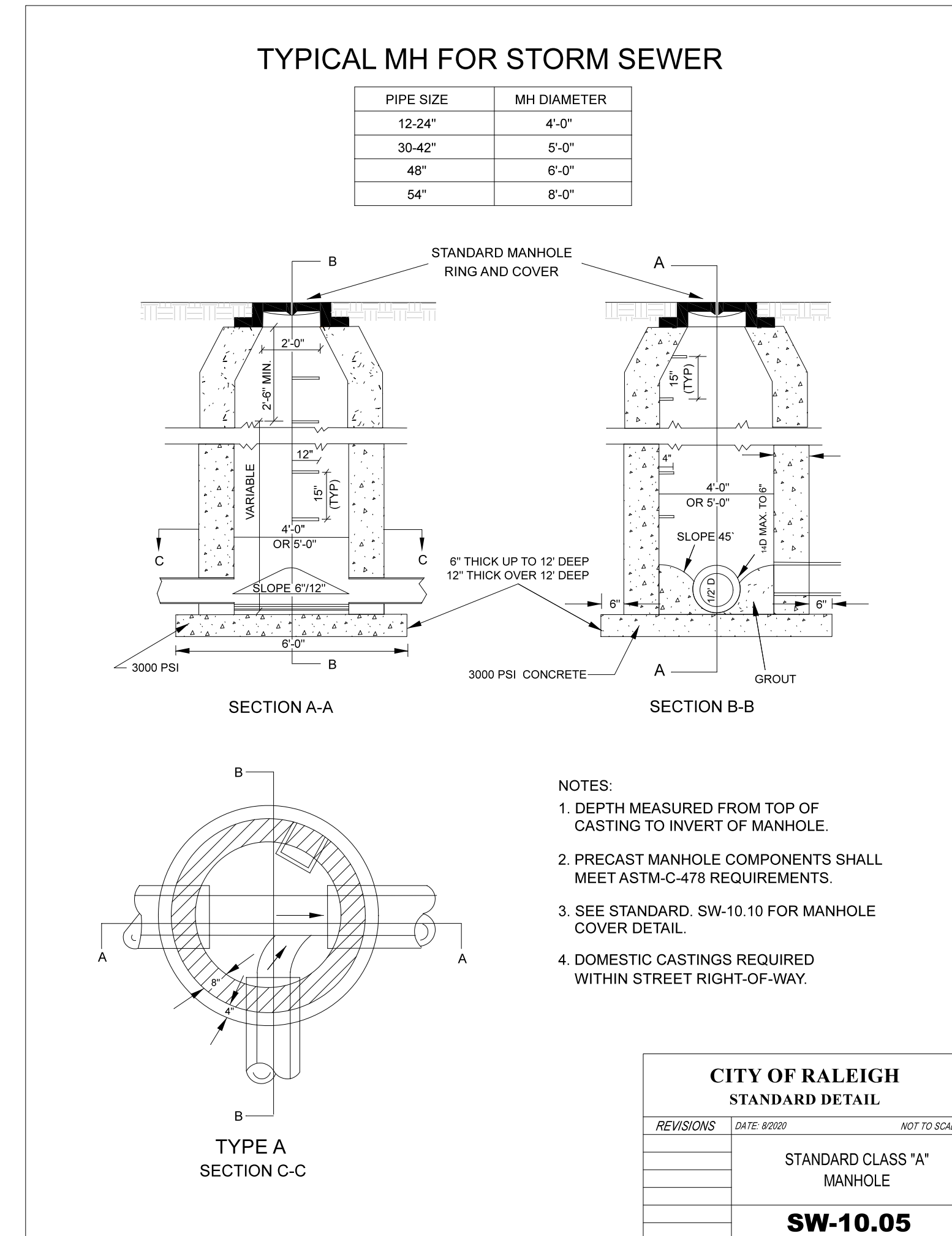
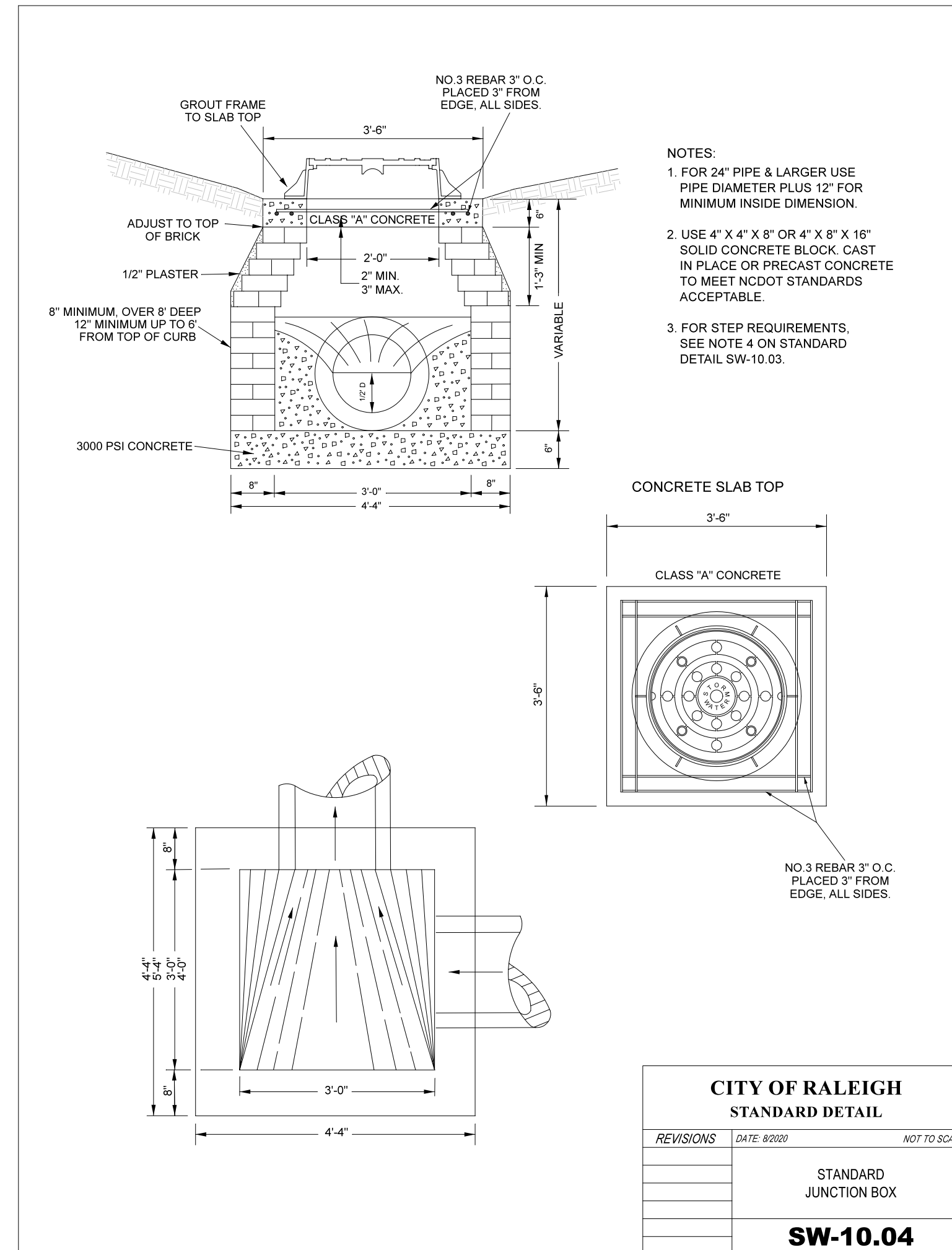
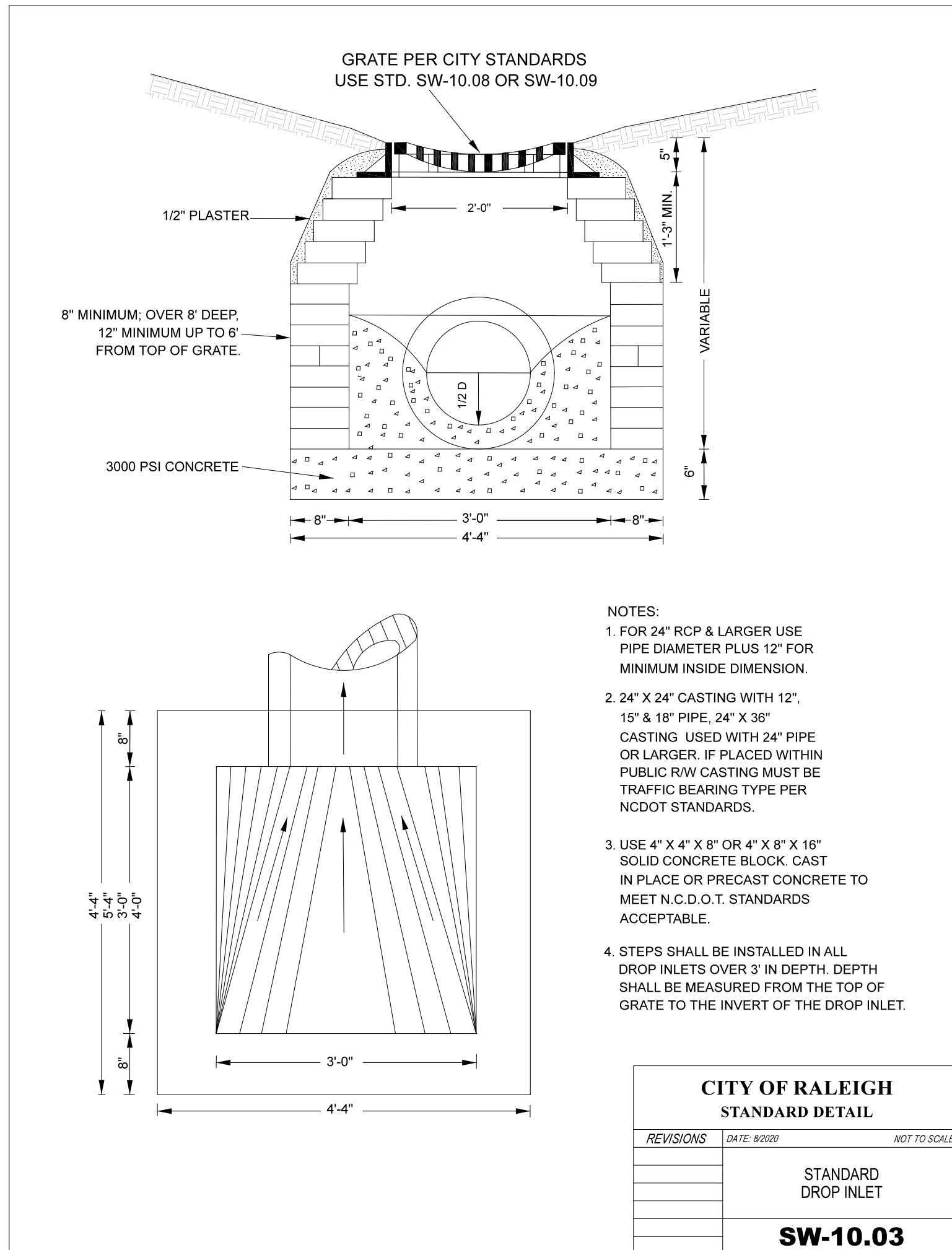
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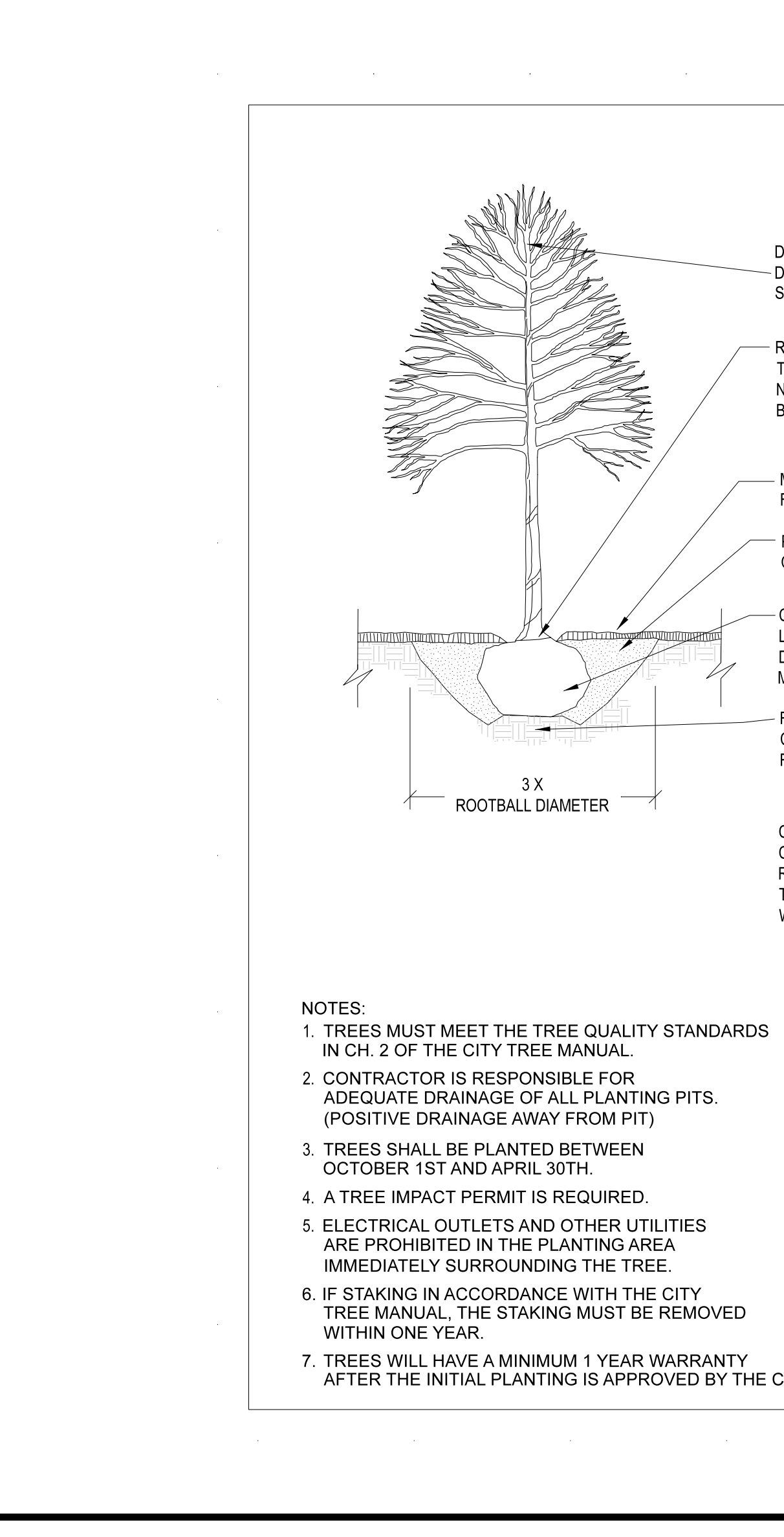
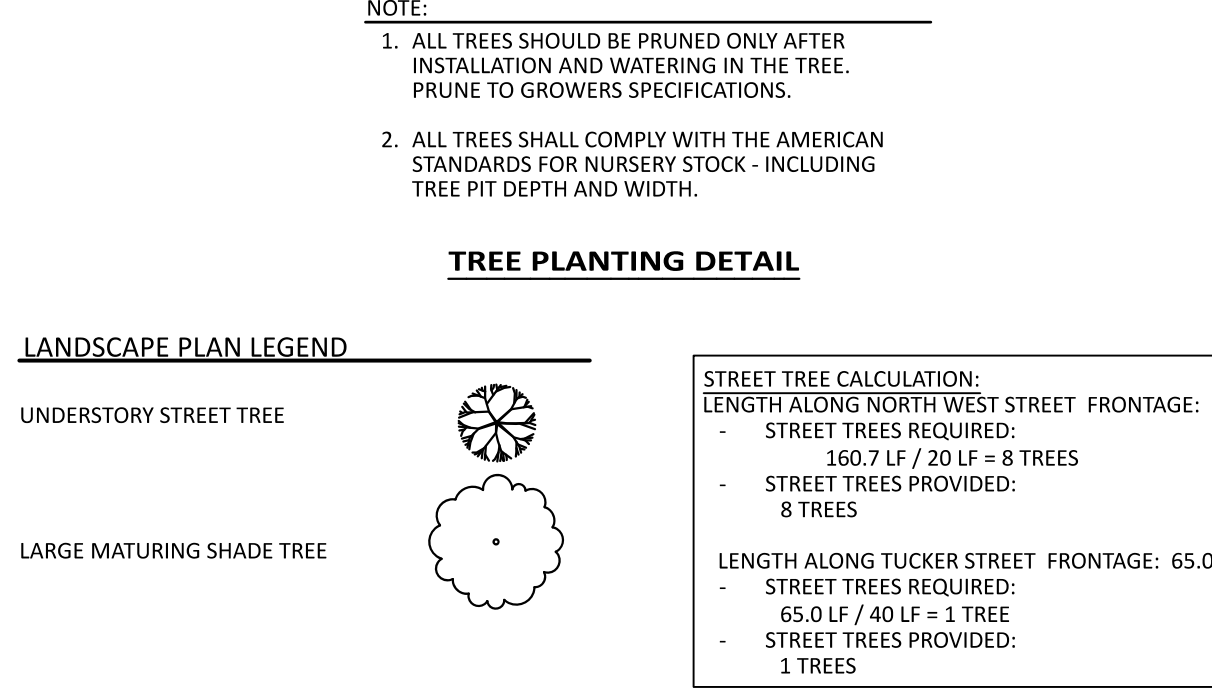
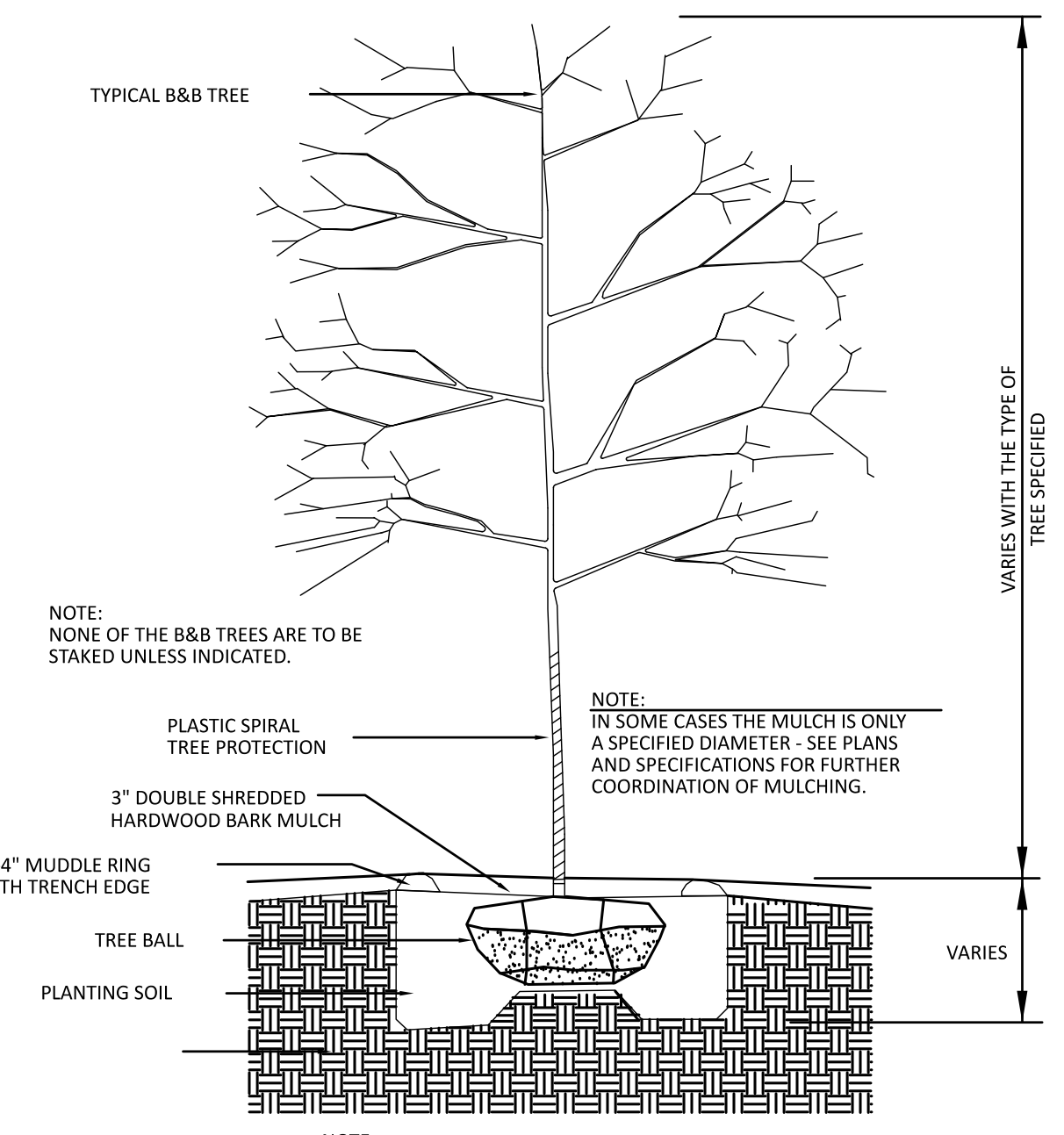
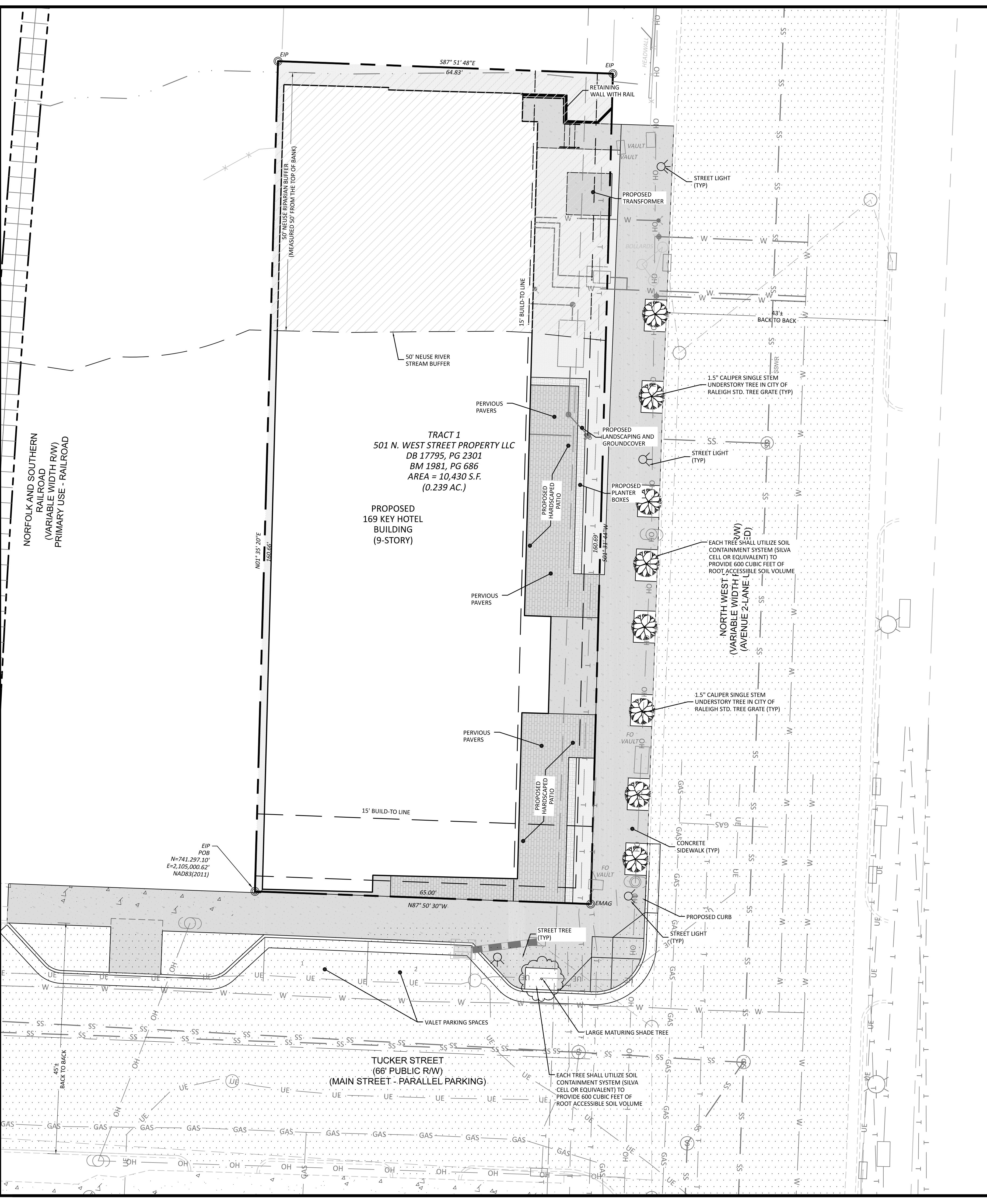
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ASR REVIEW

SHEET TITLE:
SITE DETAILS
MOXY HOTEL
RALEIGH, NORTH CAROLINA

HORIZONTAL SCALE:	NTS
VERTICAL SCALE:	NTS
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LANDSCAPING NOTES

1. THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
2. PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
3. ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED.
4. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
5. ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT COUNTY STANDARD DETAILS AND SPECIFICATIONS.
6. ALL DISTURBED AREAS OUTSIDE PLANTING BEDS SHALL BE SODED WITH FESCUE SOD.
7. SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
8. TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH COUNTY STANDARDS.
9. COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
10. VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
11. MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODED, WITH DOUBLE SHREDDED HARDWOOD MULCH TO A DEPTH OF 3\".
12. THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
13. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
14. SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL. PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
15. ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
16. TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
17. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY, AS SET FORTH BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S POLICY ON STREET AND DRIVEWAY ACCESS TO NORTH CAROLINA HIGHWAYS MANUAL, AND ALL SUBSEQUENT AMENDMENTS THERE TO.
18. PLANTING SOIL TO BE USED SHALL HAVE THE FOLLOWING CHARACTERISTICS: FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM WELL-DRAINED ARABLE SITE, REASONABLY FREE FROM CLAY LUMPS, COARSE SANDS, STONES, 1 INCH AND LARGER, PLANTS, GRASS, WEEDS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS. TOPSOIL SHALL CONFORM TO ASTM D5268 WITH A PH RANGE OF 5.5 TO 7, AND A MIN. 4 PERCENT ORGANIC MATERIAL.
19. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY QUANTITIES OF PLANTS AND SOD.
20. RE-SOD ANY DAMAGE LAWN DISTURBED BY THIS WORK.
21. REPAIR ANY PLANT MATERIALS DAMAGED BY THIS WORK.
22. EXISTING PLANT MATERIALS BEING REMOVED, MAY BE TRANSPLANTED IN NEW PLANT BEDS.
23. REPLACE ANY REQUIRED LANDSCAPING THAT HAS DIED OR HAS BEEN REMOVED (SUCH AS IN LANDSCAPE ISLANDS, BUFFERS AND EVERGREEN HEDGES). ALL REQUIRED LANDSCAPING SHOULD BE IN PLACE BEFORE THE ZONING SITE INSPECTION.

CITY OF RALEIGH LANDSCAPE NOTES

1. STREET TREES SHALL BE INSTALLED AND MAINTAIN IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
2. ALL STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.

REVISIONS

1	12/28/2023	REVISED PER CITY OF RALEIGH REVIEW
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ASR REVIEW

LANDSCAPE AND LIGHTING PLAN

MOXY HOTEL
RALEIGH, NORTH CAROLINA

CITY OF RALEIGH STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE
10/2019			

TREE PLANTING DETAIL

TPP-03

HORIZONTAL SCALE: 1"=10'
VERTICAL SCALE: N/A
DATE: 12-28-2023
SHEET NUMBER: **C-7.0**

PRELIMINARY DRAWING
NOT RELEASED FOR CONSTRUCTION



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 NOT FOR
 CONSTRUCTION**

CONSULTANT:

MOXY HOTEL
 RALEIGH, NC
 ODA Project No. 213605
PROGRESS SET

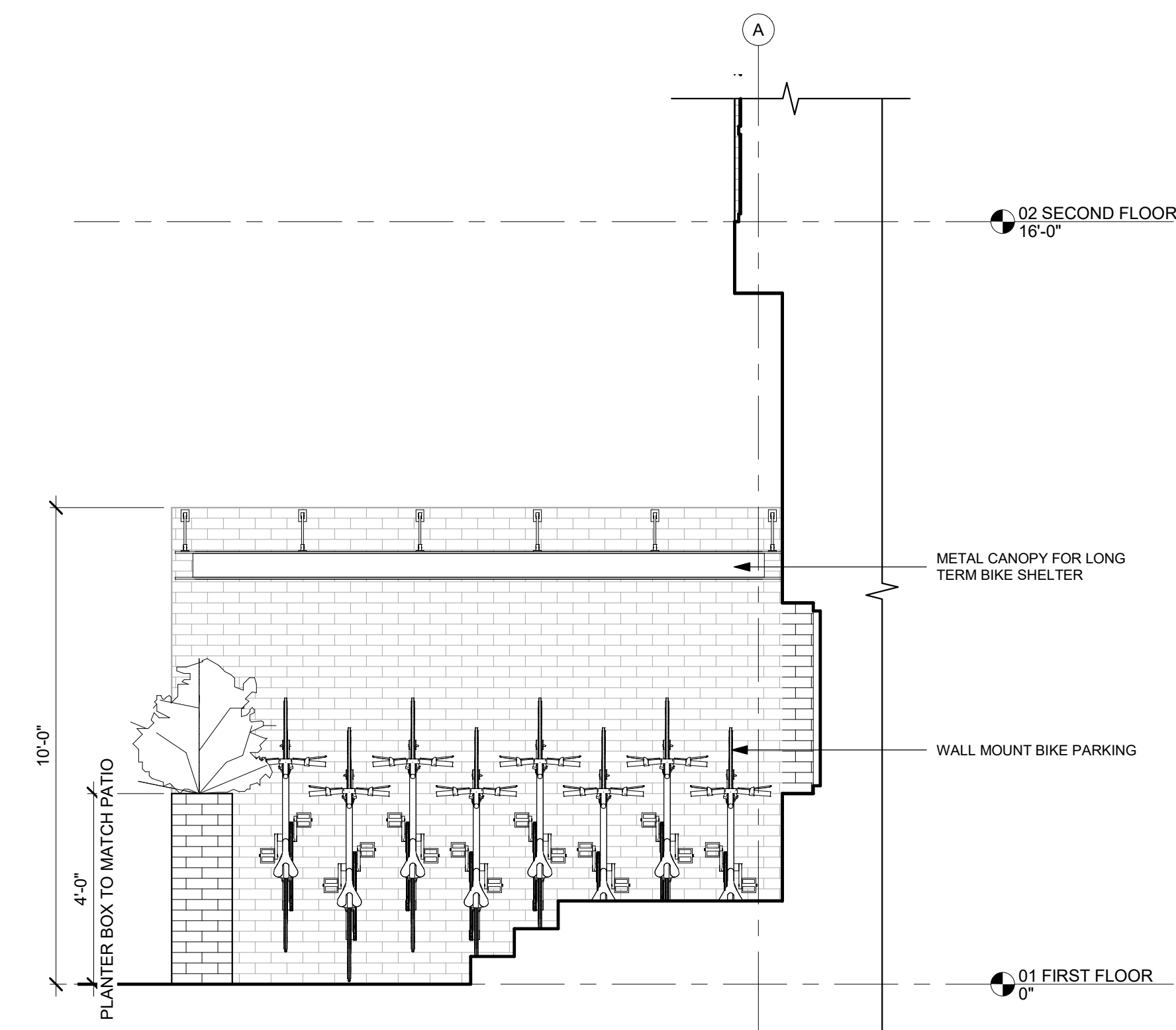
03/07/2023

REVISIONS		
No.	Description	Date

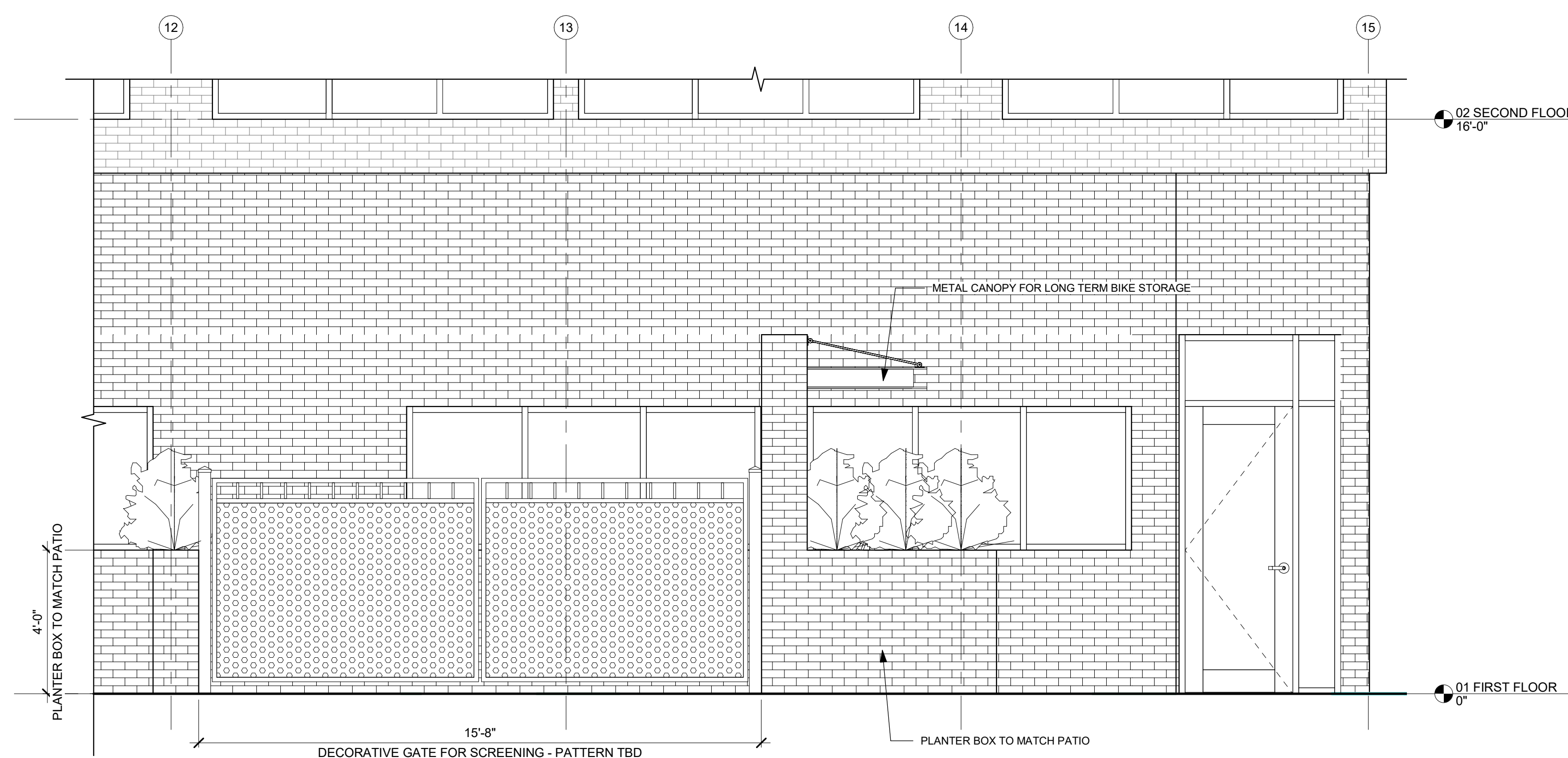
ENLARGED
 TRANSFORMER
 ENCLOSURE PLANS
 AND ELEVATIONS

A-501

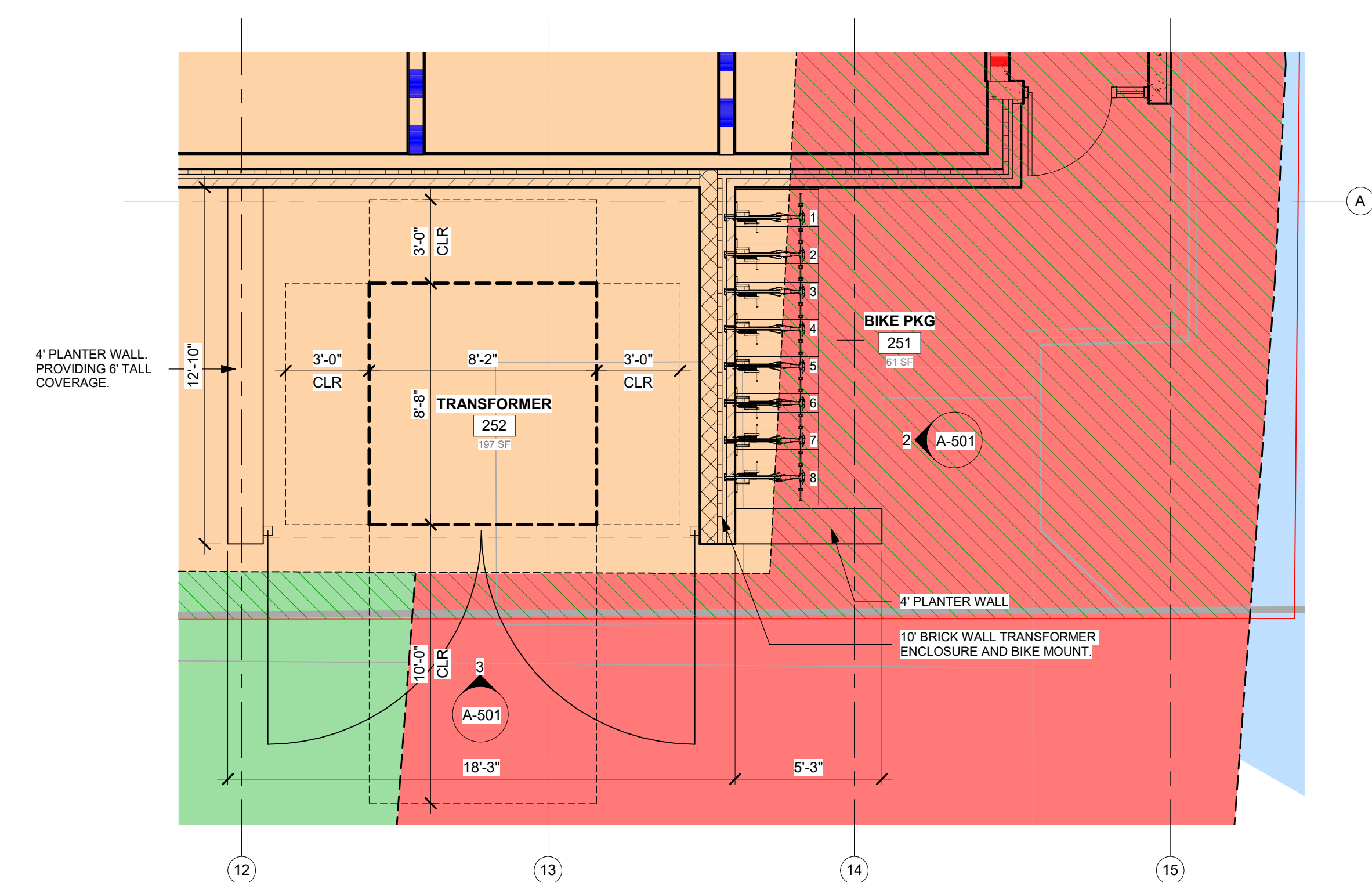
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2 BIKE PARKING scale: 3/8" = 1'-0"



3 TRANSFORMER ENCLOSURE scale: 3/8" = 1'-0"



1 TRANSFORMER ENCLOSURE scale: 1/4" = 1'-0"