



Administrative Approval Action

Case File / Name: ASR-0012-2020
Tanner Drive Duplexes

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located on the north side of Tanner Drive at the northeast corner of the intersection of Tanner Drive and Boone Trail, with common street addresses of 401 and 405 Tanner Drive.

REQUEST: Development of an attached house (duplex) on each of two existing vacant lots totaling 0.582 acres and zoned R-10, for a total of four dwelling units.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 8, 2020 by William C. Piver, PE.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☒ Utility Placement Easement Required

☒ Slope Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Stormwater

1. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering



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1. A public infrastructure surety for 6' sidewalks and street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
4. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Stormwater

5. These lots are exempt per UDO Section 9.2.2.A.2.b.i, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.
6. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
7. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

Urban Forestry

8. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Boone Trail, and 4 street trees along Tanner Drive .
9. A public infrastructure surety for 8 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

The following are required prior to issuance of building occupancy permit:

General

1. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

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2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

Urban Forestry

3. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

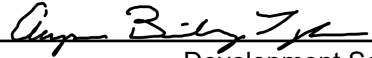
3-Year Expiration Date: August 6, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 08/06/2020
Development Services Dir/Designee
Staff Coordinator: Kasey Evans



COVER

LEGEND

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© COPYRIGHT, 2020, ALL RIGHTS RESERVED. DATE: 2-12-2020 DRAWN: "C" SHEET: SITE, UTILITY & LANDSCAPE PLAN		William C. Piver, PE 2709 SCOTTSDALE LANE RALEIGH, NORTH CAROLINA 27615 TELEPHONE: (919) 860-4717		401 & 405 TANNER DRIVE CITY OF RALEIGH WAKE COUNTY, NC		NO. 1 2 3 4 5		REVISION REVISED PER CITY COMMENTS REVISED PER CITY COMMENTS REVISED PER CITY COMMENTS REVISED PER CITY COMMENTS REVISED PER CITY COMMENTS		DATE 4/22/20 5/1/20 5/1/20 7/6/20	
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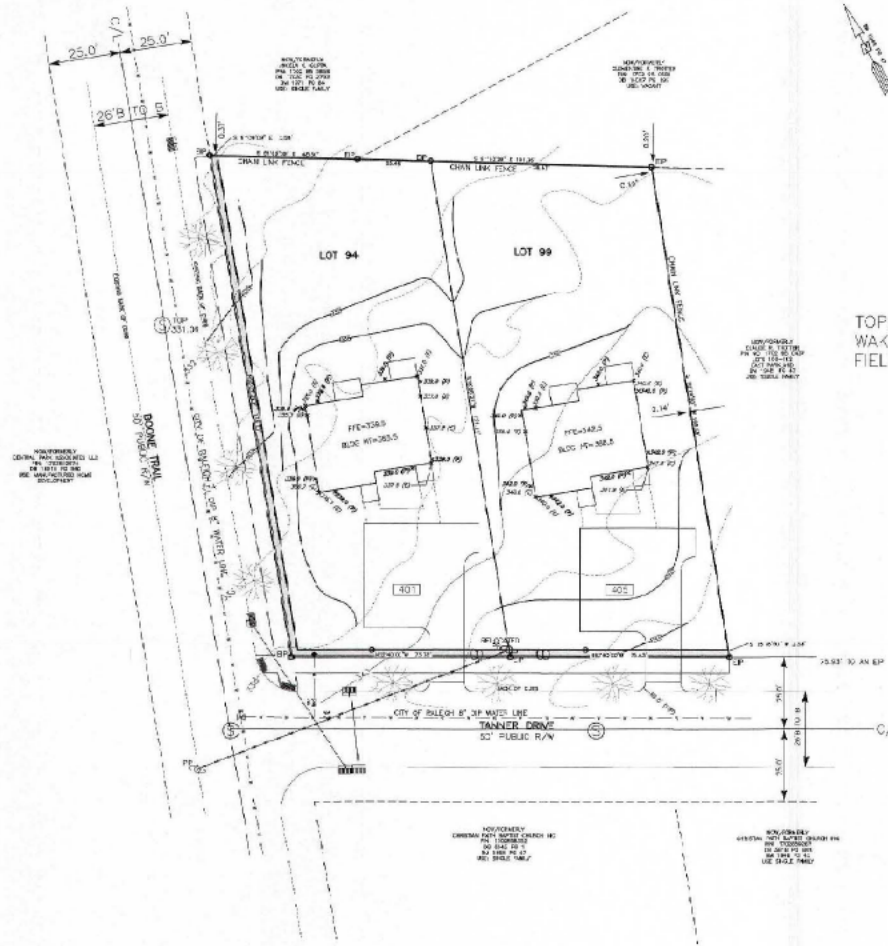
SITE IS EXEMPT FROM TREE
CONSERVATION MEASURES,
SITE LESS THAN 2 AC
PER UDO SECTION 9.1.2

NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	4/22/20
2	REVISED PER CITY COMMENTS	6/03/20
3	REVISED PER CITY COMMENTS	7/09/20

401 & 405 TANNER DRIVE
CITY OF RALEIGH
WAKE COUNTY, NC

William C. Piver, PE
2709 SCOTTSDALE AVE
RALEIGH, NORTH CAROLINA 27613
TELEPHONE: (919) 880-4217

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DATE: 2-12-2020
DRAWN: TC
SHEET:
GRADING &
STORMWATER



LOT 99 IMPERVIOUS LIMIT:
(13,854 SF X 35%) - 480 SF
(IMPERVIOUS IN RIGHT-OF-WAY)
= 9,845 SF

$$\text{Hist. Side Wall Pressures} = \frac{2}{(312.00 + 342.00)} = .342.00$$
[illegible]

Average Flow on Calculators

Ln-54 Kerosin Division

West Side Wall Plane average	$(136.58 \div 337.16) \times 230.30$
East Side Wall Plane average	$(127.26 \div 337.16) \times 230.30$
South Side Wall Plane average	$(138.58 \div 337.16) \times 230.30$
North Side Wall Plane average	$(131.38 \div 337.16) \times 230.30$
Ln. Average	$(231.57 \div 4) = 57.8925 \times 230.30 = 13342.12$

Ln-58 Proposed Deckings

West Side Wall Plane average	$(127.36 \div 339.00) \times 230.30$
East Side Wall Plane average	$(126.26 \div 339.00) \times 230.30$
South Side Wall Plane average	$(139.36 \div 339.00) \times 230.30$
North Side Wall Plane average	$(136.36 \div 339.00) \times 230.30$
Ln. Average	$(231.00 \div 4) = 57.75 \times 230.30 = 13300.03$

Side Wall Average Executive Calculators

Ln-54 Kerosin Division

West Side Wall Plane average	$(136.58 \div 337.16) \times 230.30$
East Side Wall Plane average	$(127.26 \div 337.16) \times 230.30$

Ln-58 Proposed Deckings

West Side Wall Plane average	$(127.36 \div 339.00) \times 230.30$
East Side Wall Plane average	$(126.26 \div 339.00) \times 230.30$

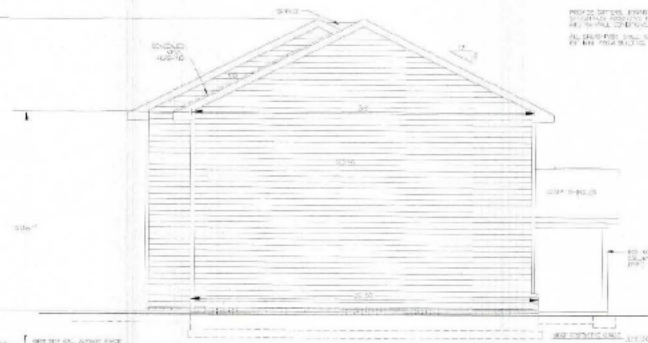
AVERAGE GRADE CALCULATION				
LOT #1		LOT #9		DESCRIPTION
EXISTING	PROPOSED	EXISTING	PROPOSED	
336.5	331.0	340.6	341.0	WEST WALL
335.3	331.0	339.4	341.0	WEST WALL
333.5	331.0	340.9	341.0	EAST WALL
337.0	331.0	340.6	341.0	EAST WALL
336.5	331.0	340.6	341.0	SOUTH WALL
337.0	331.0	340.0	341.0	SOUTH WALL
335.3	331.0	339.4	341.0	NORTH WALL
337.0	331.0	340.6	341.0	NORTH WALL
336.9	331.0	340.6	341.0	W/FRONT





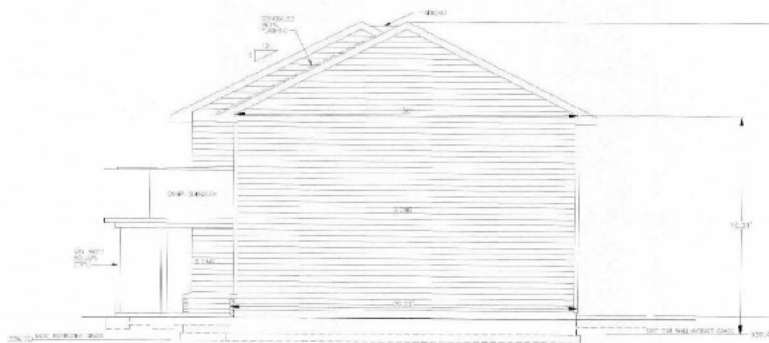
FRONT ELEVATION
SOUT WALL

LOT
94

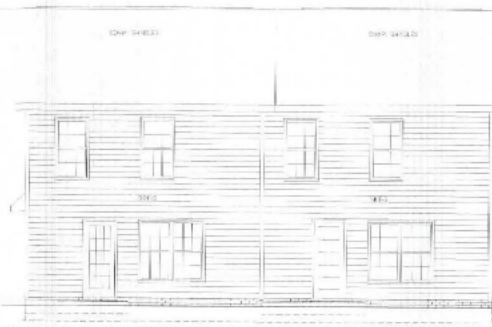


LEFT SIDE ELEVATION
WEST WALL

OVERALL MOST RESTRICTIVE GRADE = 336.70
WEST SIDE WALL AVERAGE GRADE = 335.85
EAST SIDE WALL AVERAGE GRADE = 337.46



RIGHT SIDE ELEVATION
EAST WALL



REAR ELEVATION
NORTH WALL



DATE	12/22/20
REVISION	1. REVISED PER CITY COMMENTS
DATE	12/22/20
REVISION	2. REVISED PER CITY COMMENTS
DATE	12/22/20

LOT 94 ELEVATIONS
401 TANNER DRIVE
CITY OF RALEIGH
WAKE COUNTY, NC

William C. Piver, P.E.
2709 WILKINS LANE
RALEIGH, NC 27604
TELEPHONE: (919) 850-4917

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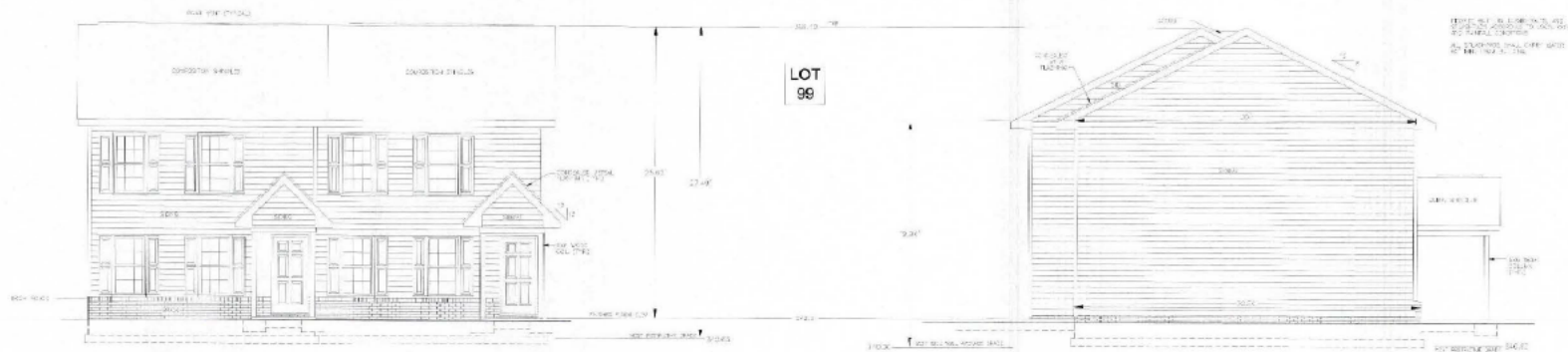
DATE: 2-2-2020

PROJECT: 20

SHEET:

ELEVATIONS

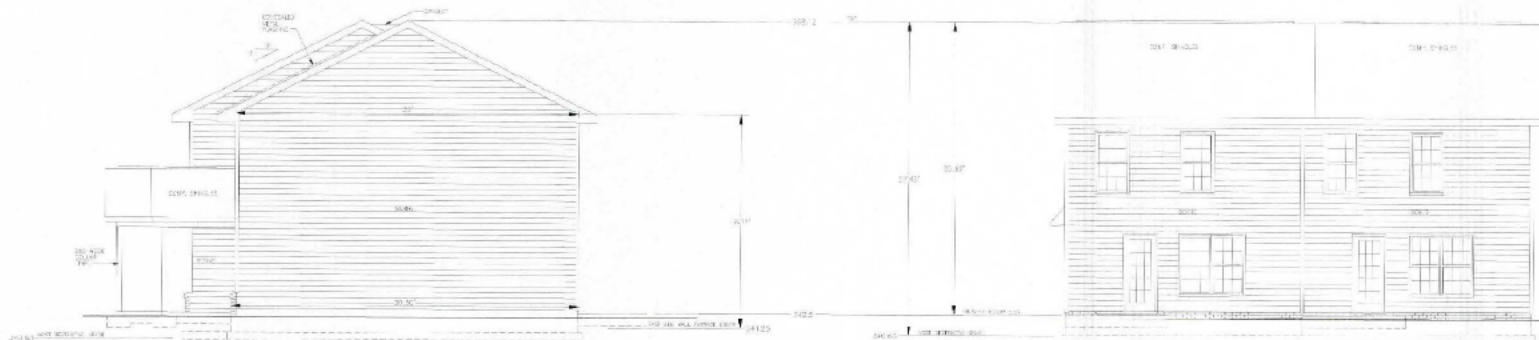
C-5



FRONT ELEVATION
SOUTH WALL

LEFT SIDE ELEVATION
WEST WALL

OVERALL MOST RESTRICTIVE GRADE = 340.63
WEST SIDE WALL AVERAGE GRADE = 342.60
EAST SIDE WALL AVERAGE GRADE = 341.25



RIGHT SIDE ELEVATION
EAST WALL

REAR ELEVATION
NORTH WALL

SCALE: 1" = 5'

NO.	REVISION	DATE
1	ISSUED FOR CITY COMMENTS	11/22/20
2	ISSUED FOR CITY COMMENTS	11/22/20
3	ISSUED FOR CITY COMMENTS	11/22/20

LOT 99 - ELEVATIONS
405 LAMAR DRIVE
CITY OF RALLI
WALK COUNTY, NC

William C. Peyer, P.L.
3014 N.W. 10TH AVE.
SUITE 100
FORT LAUDERDALE, FL 33309
TEL: (954) 882-1217

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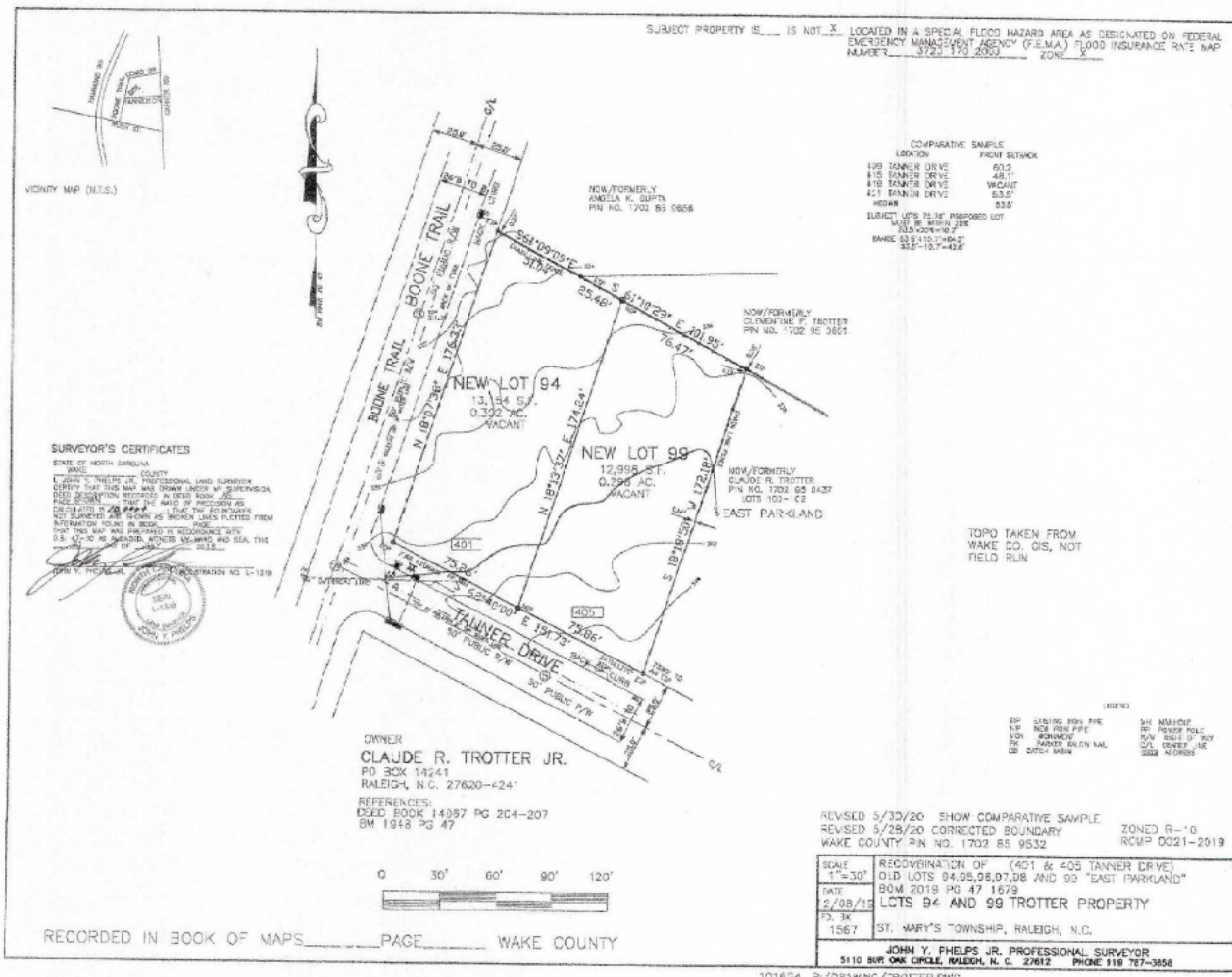
DATE: 2-11-2020

DESIGN: C

SHEET:

ELEVATIONS

C-5.1



NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	4/27/20
2	REVISED PER CITY COMMENTS	6/02/20
3	REVISED PER CITY COMMENTS	7/1/20

401 & 405 TANNER DRIVE
 CITY OF RALEIGH
 WAKE COUNTY, NC



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 DRAWN: TC
 SHEET:
 SURVEY
 C-6