

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input type="checkbox"/>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: <u>564547</u>	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: <u>Oaks at Whitaker Glen Welcome Center</u>			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): <u>513 E. Whitaker Mill Rd., Raleigh, NC</u>			
Site P.I.N.(s): <u>1704 89 7093</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. <u>Proposed new 15,300 sf +- Welcome Center/Administrative building with associated parking and utility infrastructure to replace recently demoed administrative center.</u>			
Current Property Owner/Developer Contact Name: <u>Mayview Healthcare Properties, Inc.</u> NOTE: please attach purchase agreement when submitting this form.			
Company: <u>Mayview Healthcare Properties, Inc.</u>		Title: <u>Nicole Frazier, Vice President</u>	
Address: <u>1626 Jeurgens Court, Norcross, GA 30093</u>			
Phone #: <u>678-533-6770</u>		Email: <u>nfrazier@pruitthealth.com</u>	
Applicant Name: <u>Don Curry</u>			
Company: <u>Curry Engineering</u>		Address: <u>205 S. Fuquay Ave., Fuquay-Varina, NC 27526</u>	
Phone #: <u>919-552-0849</u>		Email: <u>don@curryeng.com</u>	

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): RX-4	Existing gross floor area (not to be demolished): 75,901 sf
	Existing gross floor area to be demolished: n/a
Gross site acreage: 6.40 ac	New gross floor area: 15,310 sf
# of parking spaces required: 74	Total sf gross (to remain and new): 91,211 sf
# of parking spaces proposed: 91	Proposed # of buildings: 3 (1 admin, 1 guard house, 1 SNF exist,)
Overlay District (if applicable): N/A	Proposed # of stories for each: 2 admin, 1 guard house, 3 SNF exist)
Existing use (UDO 6.1.4): Congregate Care	
Proposed use (UDO 6.1.4): Congregate Care	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 3.17 Square Feet: 137,970	Proposed Impervious Surface: Acres: 3.19 Square Feet: 139,020
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: N/A	
Alluvial soils: CeBZ and ApC2	
Flood study: N/A	
FEMA Map Panel #: 1704	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 108	Total # of hotel units: N/A
# of bedroom units: 1br 2br 3br 4br or more	
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Don Curry will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: Nicole Frazier

Date: 2.22.22

Printed Name: Nicole Frazier

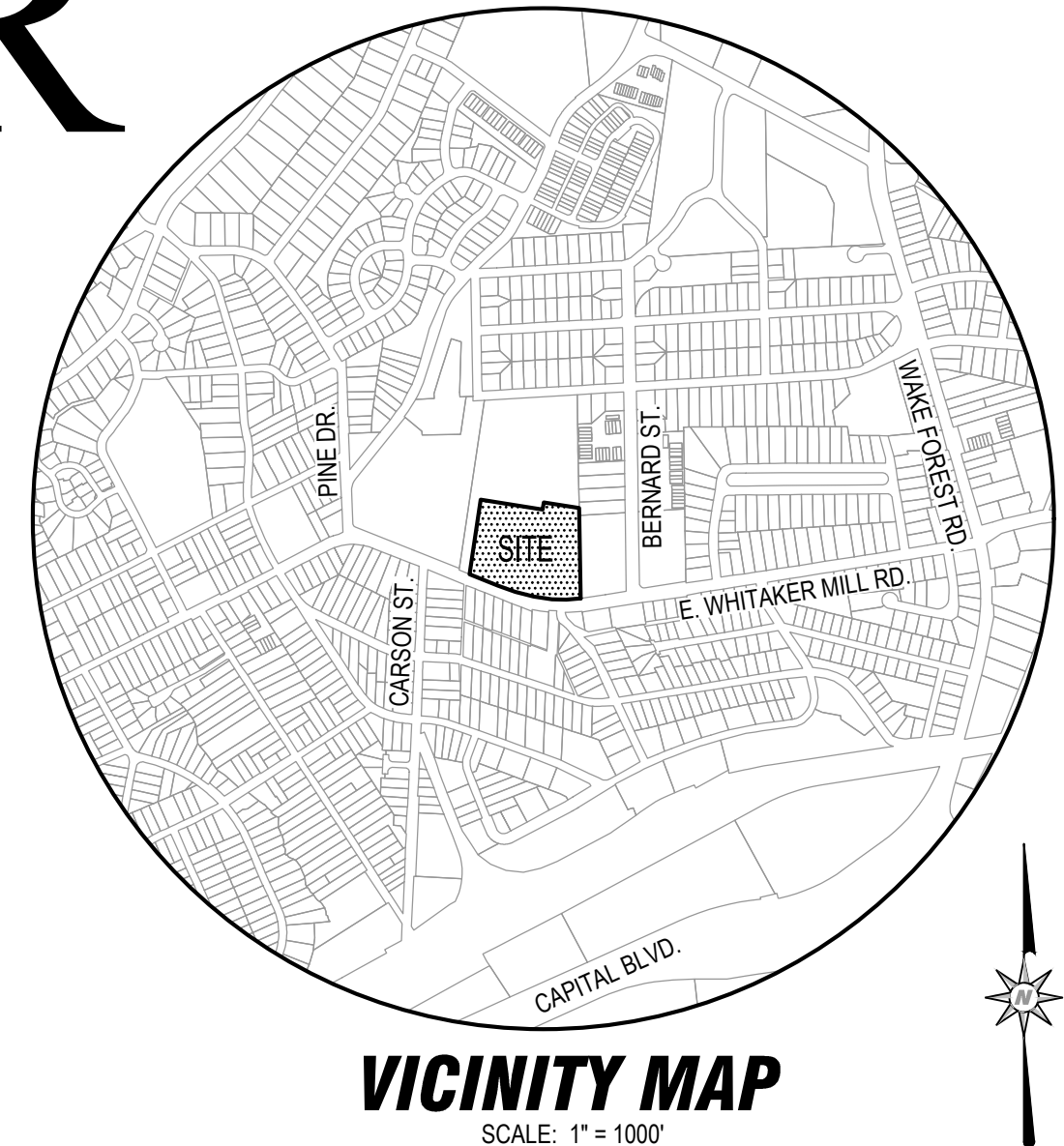
OAKS AT WHITAKER GLEN MAYVIEW WELCOME CENTER

CITY OF RALEIGH - WAKE COUNTY, NORTH CAROLINA ADMINISTRATIVE SITE REVIEW (ASR) PACKAGE

ADMINISTRATIVE SITE REVIEW #ASR-0012-2022

1st SUBMITTAL TO CITY OF RALEIGH: FEBRUARY 23, 2022

2nd SUBMITTAL TO CITY OF RALEIGH: MAY 31, 2022



VICINITY MAP
SCALE: 1" = 100'

SITE INFORMATION:

LOCATION: 513 E. WHITAKER MILL RD.
RALEIGH, NC 27608
COUNTY: WAKE
PARCEL #: 1704-89-7093
REID #: 0091926
DB/PG: 8203 / 1597
CURRENT ZONING: RX-4
ACREAGE (PRIOR TO ROW DEDICATION): 6.50 AC (283,208 SF)
ACREAGE (AFTER ROW DEDICATION): 6.40 AC (278,709 SF)
LAND CLASS: CONGREGATE CARE

RIGHT OF WAY & OTHER AREAS:
RIGHT OF WAY DEDICATION: 0.10 AC (4,499 SF)
GREENWAY DEDICATION: N/A

TREE CONSERVATION AREA:
NET PROPERTY AREA: 6.40 AC (278,709 SF)
TCA REQUIRED: 0.64 AC (27,878 SF) (10% MIN.)
TCA PROVIDED: 0.045 AC (1,960 SF) (0.7%)

REQUIRED PARKING:
EXISTING NURSING FACILITY (108 UNITS): 36 (1 SPACE/3 UNITS)
WELCOME CENTER (14,934 SF): 38 (1 SPACE/400 SF)
TOTAL SPACES REQUIRED: 74 SPACES
REQUIRED H/C PARKING: 3 SPACES

PROVIDED PARKING:
REGULAR SPACES: 88 SPACES
H/C SPACES: 5 SPACES
TOTAL PROVIDED PARKING: 93 SPACES

*NEW & EXISTING PARKING LESS THAN 150% OF REQUIRED.

AMENITY AREA (10% REQUIRED): 0.64 AC REQUIRED
0.73 AC PROVIDED

IMPERVIOUS AREAS:

EXISTING - ORIGINAL:
PAVEMENT/SIDEWALKS: 2.03 AC (88,312 SF)
BUILDING: 1.14 AC (49,658 SF)
TOTAL EXISTING IMPERVIOUS: 3.17 AC (137,970 SF) (49.5%)

DEMOED (REF. BLDNR-003133-2020):
PAVEMENT/SIDEWALKS: 0.062 AC (2,682 SF)
BUILDING: 0.237 AC (10,331 SF)
TOTAL REMOVED IMPERVIOUS: 0.299 AC (13,013 SF)

DEMOLITION (WELCOME CENTER):
PAVEMENT/SIDEWALKS: 0.87 AC (37,677 SF)

PROPOSED:
ROADWAYS/PARKING: 0.85 AC (37,001 SF)
SIDEWALKS/CONCRETE PADS: 0.12 AC (5,286 SF)
BUILDING/ACCESSORY BLDG: 0.22 AC (9,453 SF)
TOTAL PROPOSED IMPERVIOUS: 1.19 AC (51,740 SF)

TOTAL:
PAVEMENT/SIDEWALKS/CONC. PADS: 2.07 AC (90,240 SF)
BUILDING/ACCESSORY BLDGS: 1.12 AC (48,780 SF)
TOTAL IMPERVIOUS: 3.19 AC (139,020 SF) (49.8%)

UTILITY DEMANDS:
SEWER/WATER USAGE: 25 GAL/EMPLOYEE/SHIFT

BUILDING AREA (GROSS SF):
EXISTING NURSING FACILITY: 1ST FLOOR - 24,765 SF
2ND FLOOR - 38,079 SF
BASEMENT - 13,057 SF
TOTAL = 75,901 SF

WELCOME CENTER: 1ST FLOOR - 7,800 SF
2ND FLOOR - 7,134 SF
TOTAL = 14,934 SF

GUARDHOUSE: 376 SF

DRAWING INDEX

C-00	COVER SHEET
C-01	CIVIL NOTES
C-02	EXISTING CONDITIONS
C-03	DEMOLITION PLAN
C-04	SITE PLAN
C-05	GRADING & DRAINAGE PLAN
C-06	UTILITY PLAN
C-07	LIGHTING PLAN
C-08	STORMWATER PLAN
L-01	TREE CONSERVATION PLAN
L-01.1	TREE CONSERVATION EXHIBIT - EXISTING CONDITIONS
L-02	LANDSCAPE PLAN
L-03	LANDSCAPE DETAILS
S-01	ORIGINAL SEALED SURVEY
A2-1	BLDG. SECTIONS & ELEVATIONS
A2-2	BLDG. ELEVATIONS

SOLID WASTE NOTES:

- SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL AND PER THE CITY OF RALEIGH CODE. A COPY OF DESIGN MANUAL CAN BE FOUND: <http://www.raleighnc.gov/content/SolidWaste/Documents/SolidWasteServicesDesignManual.pdf>
- SOLID WASTE AND RECYCLING SERVICE SHALL BE PROVIDED BY A PRIVATE GARBAGE COLLECTION SERVICE.
- NOTE THAT SOLID WASTE HANDLING IS ALREADY IN PLACE FOR THIS PROPERTY.

GOVERNING AGENCIES:

PLANNING/ZONING:

CITY OF RALEIGH

ONE EXCHANGE PLAZA SUITE 304

RALEIGH, NC 27601

919-996-2437

STORMWATER ENGINEERING:

CITY OF RALEIGH

ONE EXCHANGE PLAZA

RALEIGH, NC 27601

919-996-3515 (o)

CONTACT: BEN BROWN

EMAIL: ben.brown@raleighnc.gov

SEDIMENTATION & EROSION CONTROL:

CITY OF RALEIGH

ONE EXCHANGE PLAZA

RALEIGH, NC 27601

919-996-3515 (o)

CONTACT: BEN BROWN

EMAIL: ben.brown@raleighnc.gov

UTILITY AGENCIES:

WATER & SEWER:

CITY OF RALEIGH PUBLIC UTILITIES

ONE EXCHANGE PLAZA

RALEIGH, NC 27601

919-996-3484 (o)

CONTACT: KEITH TEW

EMAIL: keith.tew@raleighnc.gov

NATURAL GAS:

PSNC ENERGY - SCANA

3516 SPRING FOREST ROAD

RALEIGH, NC 27616

919-501-7665 (f)

CONTACT: CRAIG SCHOLL

EMAIL: cscholl@scana.com

ELECTRIC:

PROGRESS ENERGY BUSINESS

5920 FAYETTEVILLE ROAD

RALEIGH, NC 27603

919-557-2611 (o)

PHONE:

AT&T NC

5715 GLENWOOD AVE.

RALEIGH, NC 27612

910-785-7856 (o)

CONTACT: WANDA HARRIS

EMAIL: wh1741@att.com (e)

CABLE:

TIME WARNER CABLE

101 INNOVATION AVE.

MORRISVILLE, NC 27560

919-882-4748 (o)

CONTACT: JEFF HUNTER

EMAIL: jeffrey.hunter@twcable.com

WELCOME CENTER USE:

WELCOME CENTER OFFICES WILL OFFER
SUPPORT OF CONGREGATE CARE FACILITY.

TRIP GENERATION RATES:

PROPOSED OFFICE USE (ITE CODE 710): 14,934 SF
= 164 DAILY TRIPS, 23 AM PEAK, 22 PM PEAK.

ASR-PA-115-1987

EXISTING CONGREGATE CARE
PERMITTED UNDER ASR-PA-115-1987

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GENERAL INFORMATION

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Inside City limits? Yes ☒ No ☐

Property address(es): 513 E. Whitaker Mill Rd., Raleigh, NC

Site P.I.N.(s): 1704 89 7093

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Company: Mayview Healthcare Properties, Inc. Title: Nicole Frazier, Vice President

Address: 1626 Jeurgens Court, Norcross, GA 30093

Phone #: 678-533-6770 Email: nfrazier@pruitthealth.com

Applicant Name: Don Curry

Company: Curry Engineering Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27526

Phone #: 919-552-0849 Email: don@curryeng.com

Page 1 of 2

REVISION 02.19.21

raleighnc.gov

ASR APPLICATION

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
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FEMA Map Panel #: 1704	
Neuse River Buffer: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
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Signature: Nicole Frazier Date: 2.22.22
Printed Name: Nicole Frazier

Page 2 of 2

REVISION 02.19.21

raleighnc.gov

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH
CITY OF RALEIGH STANDARDS & SPECIFICATIONS

Civil Engineer:

The Curry Engineering Group, PLLC
NC License # P-0799
PO Box 2018
205 S. Fuquay Ave
Fuquay-Varina, NC 27526
919.552.0849 (o)
919.880.9857 (m)
Contact: Don Curry, PE
don@curryeng.com

Landscape Architect:

Southwell Design, PLLC
P.O. Box 37178
Raleigh, NC 27627
919.272.6729 (v)
Contact: Adam Southwell, PLA, ASLA
adam@southwelldesign.com

Surveyor:

McAdams
2905 Meridian Parkway
Durham, NC 27713
919.361.5000 x284 (o)
919.361.0477 (m)
Contact: John R. Pickens, PLS
pickens@mcadamsco.com

Owner:

PruittHealth
1626 Jeurgens Court
Norcross, GA 30093
678.533.6770 (o)
706.491.9099 (m)
Contact: Nicole Frazier
nfrazier@pruitthealth.com

Architect:

Foley Design
21 Puritan Mill
950 Lowery Blvd. NW
Atlanta, GA 30318
404.400.2297 (o)
770.663.6341 (m)
Contact: Bryce Jennings, AIA
brycejennings@foleydesign.com

NOT FOR CONSTRUCTION

PRELIMINARY
DO NOT USE FOR
CONSTRUCTION

Curry
ENGINEERING
C-00

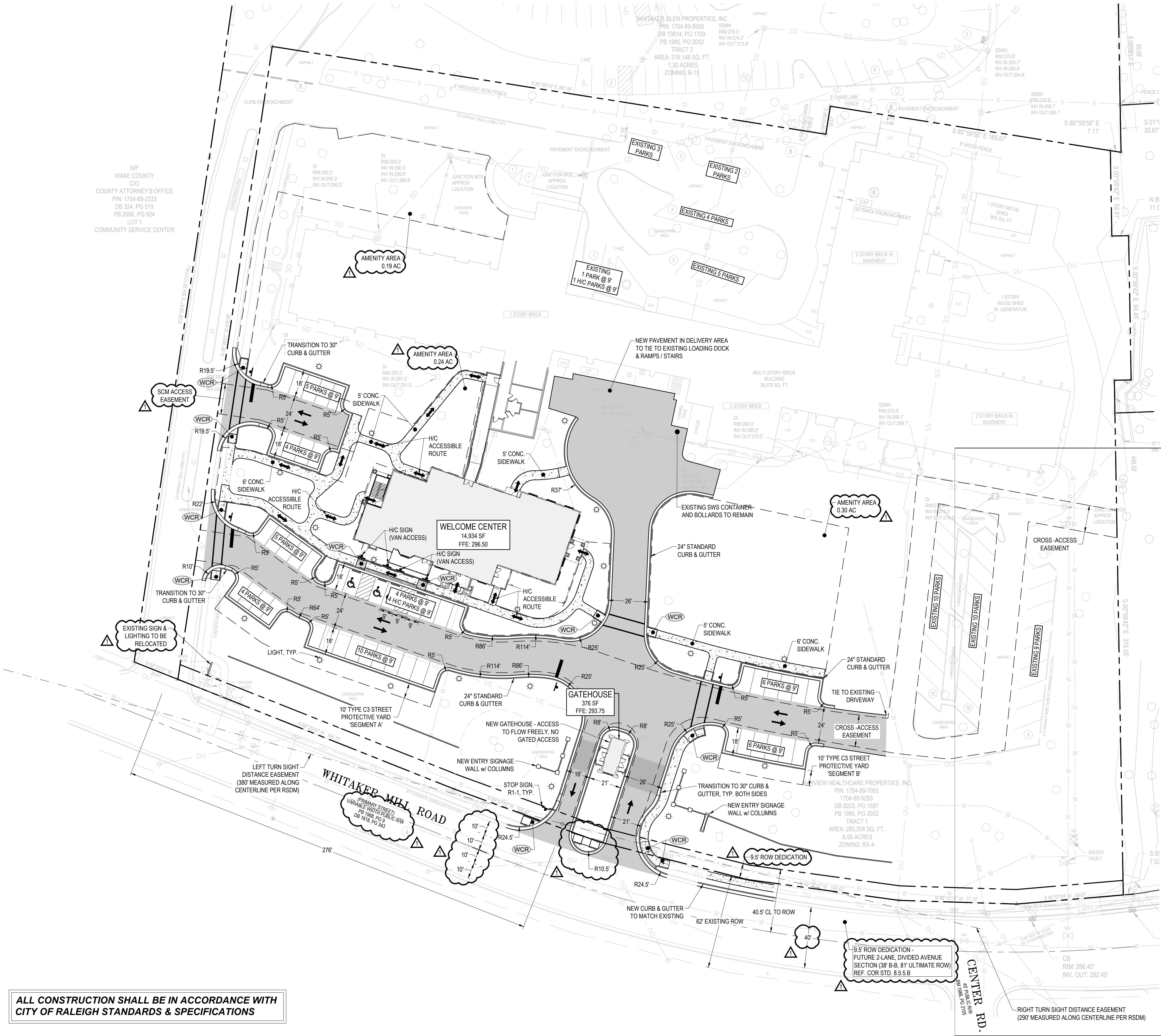
OAKS AT MAYVIEW - WELCOME CENTER
COVER SHEET

ASR-0012-2022

205 S. Fuquay Avenue
Fuquay-Varina, NC 27526
T (919) 552-0849
F (919) 552-0843

REVISIONS	CORRECTIONS
1	5/31/2022
DATE: 2/23/2022	FILE NO: 2023-013
HORIZ SCALE: NONE	CWG SHEET SIZE: 24 x 36

NIF
WAKE COUNTY
C/O
COUNTY ATTORNEY'S OFFICE
PIN: 1704-89-2333
DB 324, PG 519
PB 2006, PG 924
LOT 1
COMMUNITY SERVICE CENTER



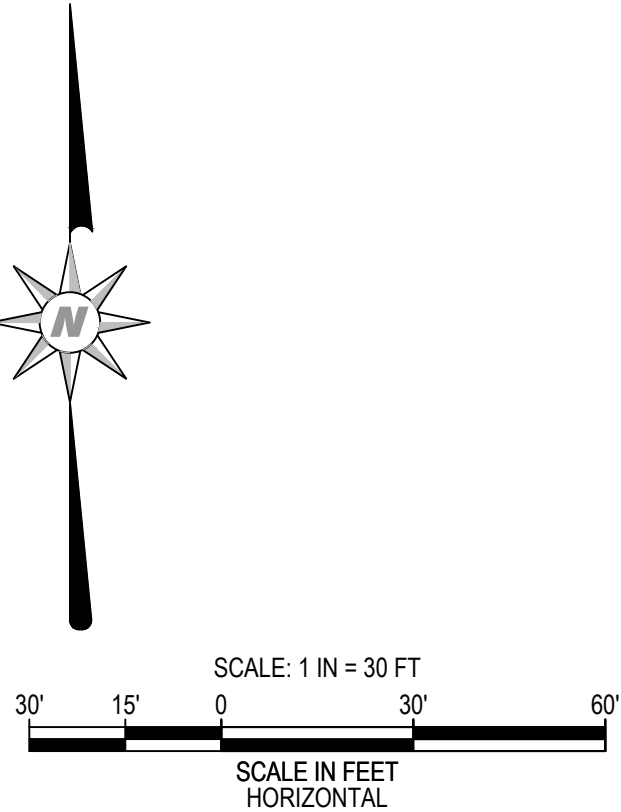
- GENERAL NOTES:
- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
 - ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
 - PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
 - CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
 - CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
 - IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
 - ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
 - APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
 - ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
 - ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
 - ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE CITY OF RALEIGH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 - ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS.
 - TREE CONSERVATION AREAS SHALL BE RECORDED AS A CONDITION OF PLAN APPROVAL. REFER TO TREE CONSERVATION PLAN FOR MORE INFORMATION ON TREE CONSERVATION AREAS.
 - ALL STRUCTURES WITHIN THE BOUNDARIES OF THE SITE REQUIRE INDIVIDUAL PERMITS FROM THE CITY OF RALEIGH INSPECTIONS AND PERMITS DEPARTMENT, INCLUDING RETAINING WALLS.

LEGEND

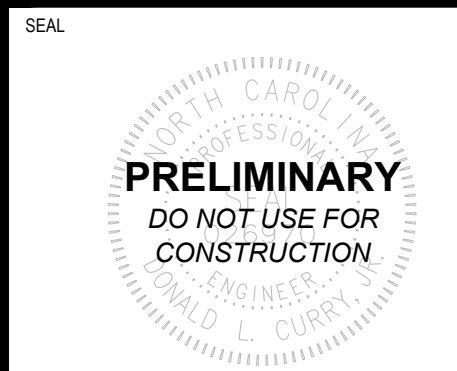
	POLE LIGHT
	BOLLARD LIGHT
	SIGN
	ROADWAY CENTER LINE
	RIGHT OF WAY LINE
	PHASE LINE
	SETBACK LINE
	BMP LIMITS
	EASEMENT
	VALLEY CURB & GUTTER
	STANDARD CURB & GUTTER
	SPILL CURB & GUTTER
	CHAIN LINK FENCE
	CONCRETE SIDEWALK
	ASPHALT PAVEMENT
	DECORATIVE PAVERS

SIGHT DISTANCE NOTE:

WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 23 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.



NOT FOR CONSTRUCTION

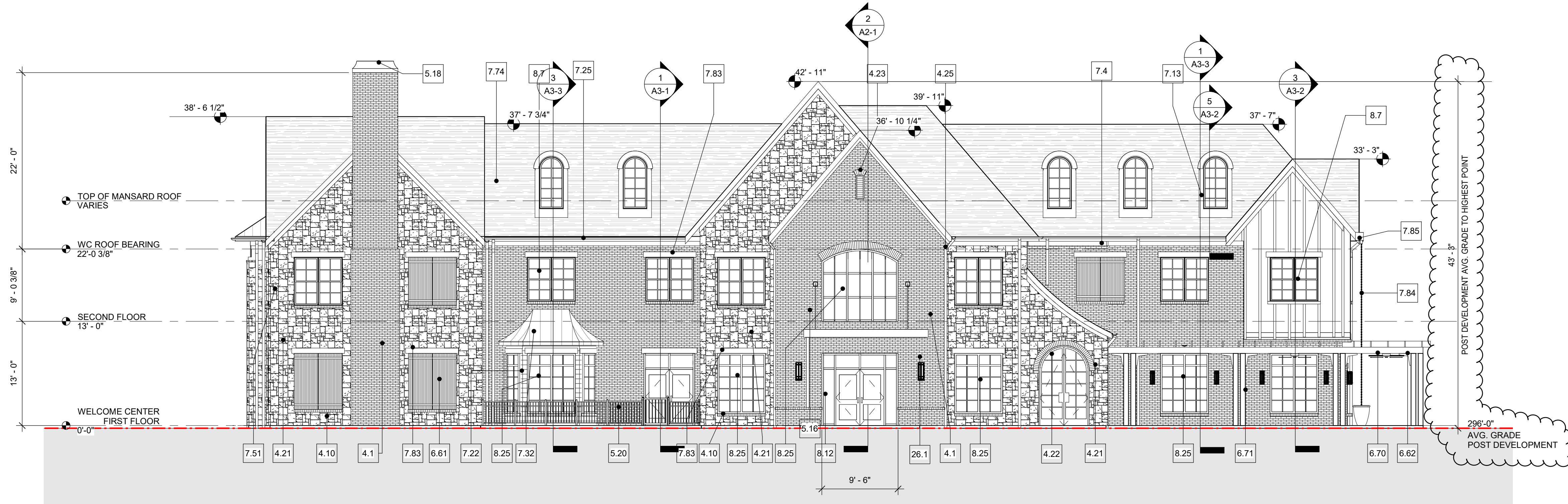


KEYNOTES

#	NOTE
4.1	BRICK RUNNING BOND COURSE.
4.2	BRICK SOLDIER COURSE.
4.10	BRICK SILL.
4.16	BRICK SILL.
4.21	SIMULATED STONE VENEER.
4.22	SIMULATED STONE ARCH.
4.23	BRICK GABLE LOUVER WITH RADIATING SOLDIER HEADER.
4.25	GABLE BRICK CORBEL DETAIL.
5.3	42" HIGH PAINTED METAL GUARDRAIL.
5.16	SUSPENDED METAL CANOPY.
5.18	DECORATIVE METAL CHIMNEY SHROUD.
5.20	36" HIGH PAINTED METAL GUARDRAIL.
6.61	DECORATIVE VINYL SHUTTER PANELS.
6.62	STAINED CEDAR WOOD BRACKET.
6.70	8X10 STAINED CEDAR WOOD BEAM WITH 2X10 TRELLIS.
6.71	8X8 STAINED CEDAR WOOD POST.
7.3	8" PAINTED FIBER CEMENT FASCIA BOARD.
7.4	5/4X8" PAINTED FIBER CEMENT FRIEZE BOARD.
7.7	1X4 PAINTED FIBER CEMENT TRIM BOARD.
7.13	5/4X6 PAINTED FIBER CEMENT TRIM BOARD.
7.14	5/4X8 PAINTED FIBER CEMENT TRIM BOARD.
7.22	PAINTED FIBER CEMENT LAP SIDING WITH 7" EXPOSURE.
7.25	6" PREFINISHED SEAMLESS GUTTERS.
7.26	4" PREFINISHED SEAMLESS DOWNSPOUTS.
7.32	STANDING SEAM METAL ROOF.
7.33	THERMOPLASTIC POLYOLEFIN ROOFING SYSTEM (TPO) WITH TAPERED INSULATION-1/4" PER FT. SLOPE MINIMUM. SEE ROOF PLAN FOR SLOPES INDICATED.
7.37	ROOF HATCH.
7.51	DOWNSPOUT CONNECTED TO STORM DRAIN.
7.62	THERMOPLASTIC POLYOLEFIN ROOFING SYSTEM (TPO) WITH 1" RIGID INSULATION.
7.74	ASPHALT ROOF SHINGLES OVER 30# FELT.
7.82	ASPHALT ROOF SHINGLES OVER 30# FELT.
7.83	5/4X8 PAINTED FIBER CEMENT TRIM BOARD INSET IN BRICK. SEE WINDOW DETAILS.
7.84	LARGE LINK RAIN CHAIN WITH LEADERHEAD BY RAINGUARD IN A NUTSHELL. BRONZE COLOR. ANCHOR TO PORCH SLAB. PROVIDE POTTED BASIN W/ #57 STONE AND DECORATIVE PEBBLES AT TOP.
7.85	CUSTOM COPPER RAIN COLLECTOR FOR RAINCHAIN.
8.7	DOUBLE HUNG VINYL WINDOW WITH SCREEN.
8.12	ALUMINUM STOREFRONT DOOR & WINDOW SYSTEM.
8.25	ALUMINUM STOREFRONT WINDOW SYSTEM.
22.11	ROOF DRAIN (SEE PLUMBING DWGS).
23.1	MECHANICAL UNIT (SEE MECHANICAL DRAWINGS).
26.1	LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).

GENERAL NOTES

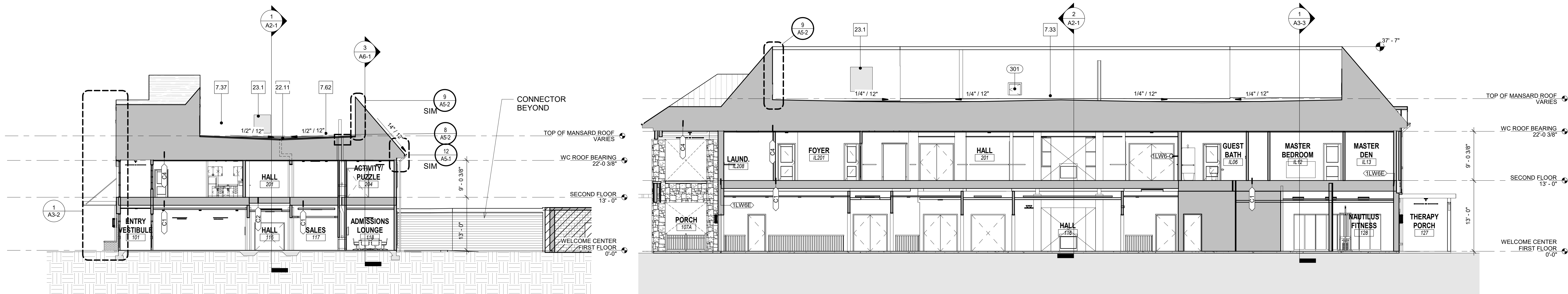
1. SEE SHEET AG4-2 FOR PARTITION TYPES AND CEILING PARTITION TYPES.

4 WC EAST ELEVATION
1/8" = 1'-0"

Project #	Project Name	Project Date	No.	Date	Revision	Description
2020-013	Clay at Mayview - 111 T. Welcome Center	5/20/2020				
Average Grade Calculation						
Welcome Center & Guard House						
Welcome Center						
	Existing Elevation	Prop. Elevation	Average	Prop. Elevation	Average	
South Wall	298.00	296.50	297.25	296.00	296.00	
East Wall	295.50	293.00	294.25	296.00	296.00	
West Wall	298.00	293.00	295.50	296.00	296.00	
Average	298.00	294.50	296.50	296.00	296.00	
Use Most Restrictive Elevation (compare exist. vs. proposed)						
Maximum Allowable Building Height (UDO 3.3.1)			62			
Maximum Allowable Building Elevation			335.30			
Building	FFE	Proposed Bldg Ht.	Proposed Bldg. Elev. (Top of Roof)			
Welcome Center	296	42.52	338.52			
Are Welcome Center Elevations Under the Max. Allowable Elevation?						
YES						
Guard House						
	Existing Elevation	Prop. Elevation	Average	Prop. Elevation	Average	
West	292.75	293.75	293.25	293.75	293.75	
South	292.75	293.75	293.25	293.75	293.75	
East	292.75	293.75	293.25	293.75	293.75	
North	293.5	293.5	293.5	293.75	293.75	
Average	293.13	293.13	293.13	293.75	293.75	
Use Most Restrictive Elevation (compare exist. vs. proposed)						
Maximum Allowable Building Height (UDO 3.2.7)			25			
Maximum Allowable Building Elevation			318.75			
Building	FFE	Proposed Bldg Ht.	Proposed Bldg. Elev. (Top of Roof)			
Guard House	293.75	21.52	315.27			
Are Guard House Elevations Under the Max. Allowable Elevation?						
YES						

3 WC FRONT ELEVATION
1/8" = 1'-0"

(FACADE FACING PRIMARY STREET)

2 CROSS SECTION
3/32" = 1'-0"1 LONG SECTION
1/8" = 1'-0"

ARCHITECT

FOLEY DESIGN

21 Puritan Mill | 950 Lowery Blvd. NW | Atlanta, Georgia 30318 | (404) 761-1299

ADDRESS

OAKS AT WHITAKER GLEN- MAYVIEW
WELCOME CENTER
513 EAST WHITAKER MILL RD
RALEIGH, NC 27608

NO.	DATE	DESCRIPTION
1	12/20/21	CONTRACTOR REVIEW

Sheet Title:

BLDG SECTIONS &
ELEVATIONSDate: 10/15/20
Project: 202001
No.:

A2-1



ARCHITECT

FOLEY DESIGN

21 Puritan Mill | 950 Lowery Blvd. NW | Atlanta, Georgia 30318 | (404) 761-1299

ADDRESS

OAKS AT WHITAKER GLEN- MAYVIEW
WELCOME CENTER
513 EAST WHITAKER MILL RD
RALEIGH, NC 27608

NO.	DATE	DESCRIPTION
12/20/21		CONTRACTOR REVIEW

Sheet Title:

BLDG ELEVATIONS

Date: 10/15/20
Project: 202001
No.:

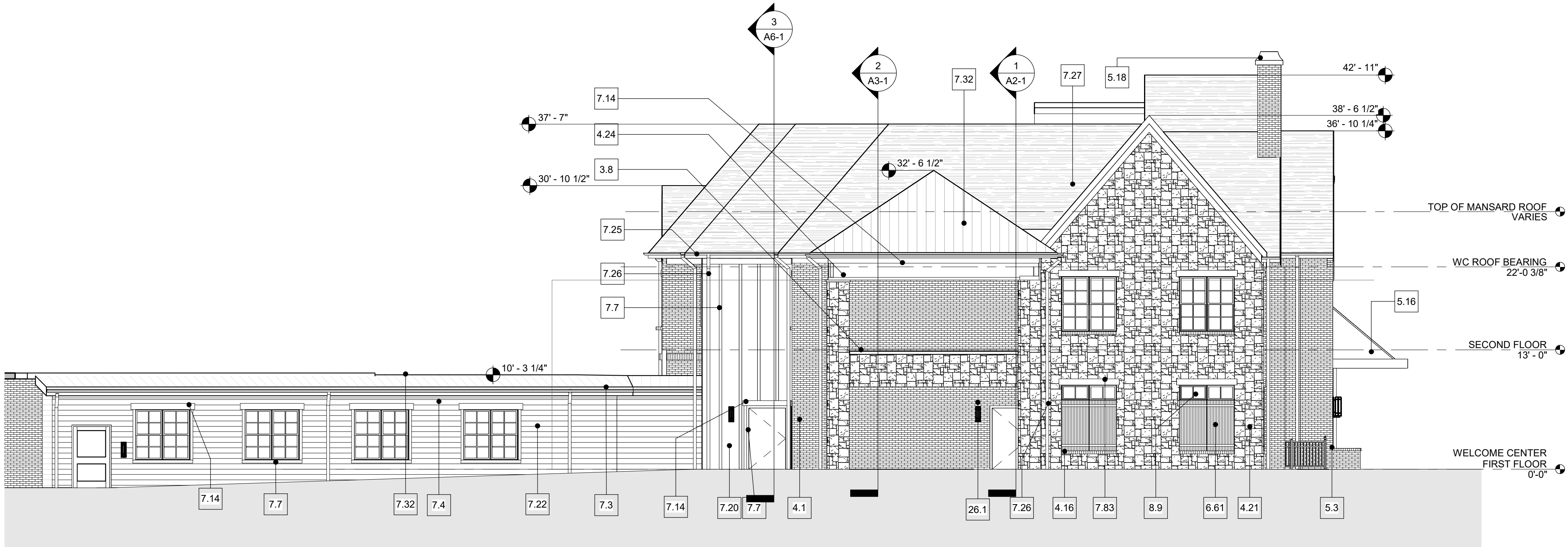
A2-2

KEYNOTES

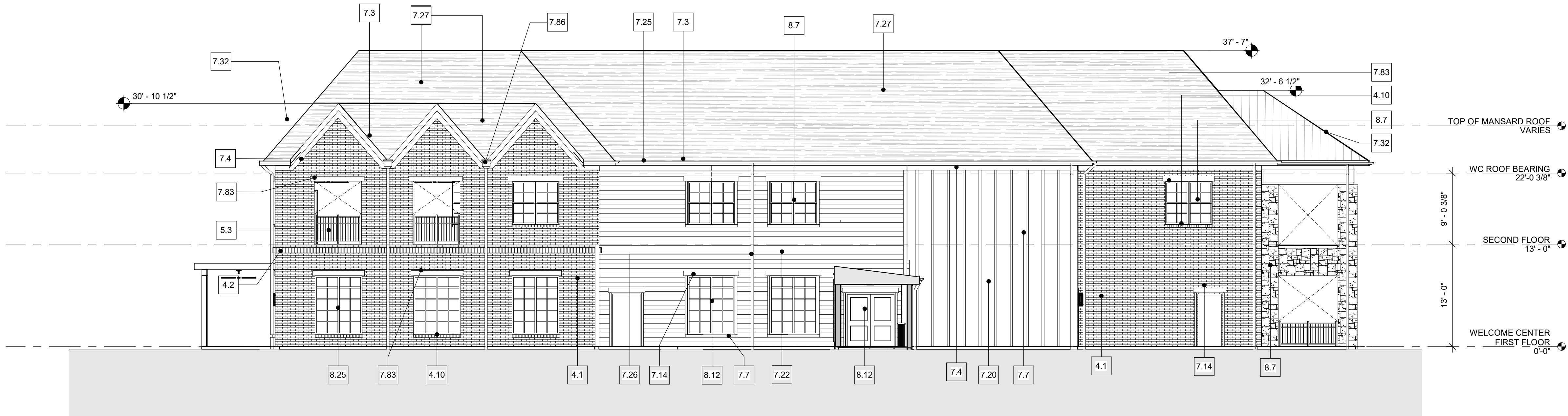
#	NOTE
3.8	
4.1	BRICK RUNNING BOND COURSE.
4.2	BRICK SOLDIER COURSE.
4.10	BRICK SILL.
4.16	BRICK SILL.
4.21	SIMULATED STONE VENEER.
4.24	SIMULATED STONE WALL CAP.
5.3	42" HIGH PAINTED METAL GUARDRAIL.
5.16	SUSPENDED METAL CANOPY.
5.18	DECORATIVE METAL CHIMNEY SHROUD.
6.61	DECORATIVE VINYL SHUTTER PANELS.
7.3	8" PAINTED FIBER CEMENT FASCIA BOARD.
7.4	54"x8" PAINTED FIBER CEMENT FRIEZE BOARD.
7.7	1x4 PAINTED FIBER CEMENT TRIM BOARD.
7.14	5/4x8 PAINTED FIBER CEMENT TRIM BOARD.
7.20	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
7.22	PAINTED FIBER CEMENT LAP SIDING WITH 7" EXPOSURE.
7.25	6" PREFINISHED SEAMLESS GUTTERS.
7.26	4" PREFINISHED SEAMLESS DOWNSPOUTS.
7.27	ASPHALT ROOF SHINGLES OVER 30# FELT.
7.32	STANDING SEAM METAL ROOF.
7.83	54x8 PAINTED FIBER CEMENT TRIM BOARD INSET IN BRICK. SEE WINDOW DETAILS.
7.86	RAIN LEADER BOX.
8.7	DOUBLE HUNG VINYL WINDOW WITH SCREEN.
8.9	FIXED VINYL TRANSOM WINDOW.
8.12	ALUMINUM STOREFRONT DOOR & WINDOW SYSTEM.
8.25	ALUMINUM STOREFRONT WINDOW SYSTEM.
26.1	LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).

GENERAL NOTES

1. SEE SHEET AG4-2 FOR PARTITION TYPES AND CEILING PARTITION TYPES.



2 WC WEST ELEVATION
1/8" = 1'-0"



1 WC SOUTH ELEVATION
1/8" = 1'-0"