



Administrative Approval Action

Case File / Name: ASR-0012-2022

DSLCL - OAKS AT WHITAKER GLEN WELCOME CENTER

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 6.40 acre site zoned RX-4 is located on the north side of the intersection of E. Whittaker Mill Road and Center Road at 513 E. Whittaker Mill Rd.
- REQUEST:** This is the addition of a new 15,310 SF welcome center/administration building to an existing congregate care center at 513 E. Whittaker Mill Road.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 15, 2022 by DON CURRY

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Shade in the proposed 10% amenity area demonstrating compliance to 1.5.3 C.
2. Please contact solid waste for review comments and if acceptability by COR solid waste. Provide confirmation, (email, note, etc) that COR Solid waste is in agreement with your proposed plan along with your next submittal. Solid waste contact - E-mail: swscodecompliance@raleighnc.gov, Phone #: 919-996-3245 -

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required

<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Public Utilities

1. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Urban Forestry

2. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .045 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A cross access agreement among the lots identified as PINs 1704897093 and 1704898505 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.



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2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A 5 foot wide slope easement (Whitaker Mill Road) deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A fee-in-lieu for 1ft of sidewalk along the frontage of Whitaker Mill Road shall be paid to the City of Raleigh (UDO 8.1.10).

Stormwater

5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
9. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 31 street trees along E Whitaker Mill Road.
10. A public infrastructure surety for 16 street trees along E Whitaker Mill Road (1 street tree per 40 ft) shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

NF WAKE COUNTY
 COUNTY ATTORNEY'S OFFICE
 PIN: 1704-82033
 DB 324, PG 819
 PB 2006, PG 824
 LOT 1
 COMMUNITY SERVICE CENTER

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH
 CITY OF RALEIGH STANDARDS & SPECIFICATIONS

- GENERAL NOTES:**
- THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION.
 - THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND REVIEWED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION. THIS HAS NOT BEEN SEALED. SURVEY INFORMATION SHOWN WITHIN THE PARENT PROPERTY SURVEY REPRESENTS FIELD SURVEY INFORMATION CONDUCTED IN AUGUST 2019 BY NEWCOMB LAND SURVEYORS.
 - NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
 - AREAS COMPUTED BY THE COORDINATE METHOD.
 - THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
 - ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL DISTANCES.
 - THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE X FLOODPLAIN PER FEMA FROM PANEL 130270010 LIMITED COVERAGE.
 - VERTICAL DATUM: NAVD83 HORIZONTAL DATUM: NAD83
 - CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND MATERIALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE.
 - UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS PROVIDED BY THE NC ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROPRIATE IN NATURE, WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN. ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
 - NO TEMPORARY OR PERMANENT ENCRoACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

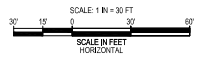
LEGEND

● EXISTING IRON PIPE	▲ IRRIGATION CONTROL VALVE
● IRON PIPE SET	▲ FLOOD LIGHT
▲ CALCULATED POINT	▲ MAIL BOX
● BORE HOLE	● MONITORING WELL
● SANITARY SEWER MANHOLE	● S/MANSE CONNECTION
● SANITARY SEWER CLEANOUT	● SIGN
● WATER VALVE	● WELL
● WATER METER	● WATER MANHOLE
● FIRE HYDRANT	● LIGHT SINGLE
● TELEPHONE PEDESTAL	● LIGHT DOUBLE
● TELEPHONE MANHOLE	● CABLE BOX
● ELECTRIC BOX	● FIBER OPTIC VAULT
● LIGHT POLE	● SPRINKLER HEAD
● POWER POLE	● STORM DRAIN PIPE
● CURB INLET	● OVERHEAD UTILITY LINES
● STORM DRAINAGE MANHOLE	● W WATER LINE
● YARD INLET	● SS SANITARY SEWER LINE
● AIR CONDITIONER	● T TELEPHONE LINE
● ADDRESS BOX	● G GAS LINE
● BOLLARD	● UE UNDERGROUND ELECTRIC
● FIRE CONNECTION	● UT UNDERGROUND TELEPHONE
● FIBER OPTIC MARKER	● SD STORM DRAIN LINE
● HANDICAP	● X FENCE LINE

TREE LEGEND

○ 01	ASH
○ 02	BEECH
○ 03	BIRCH
○ 04	CEDAR
○ 05	CHERRY
○ 06	CRAPPE MYRTLE
○ 07	DOGWOOD
○ 08	ELM
○ 09	SWEET GUM
○ 10	HICKORY
○ 11	HOLLY
○ 12	MAGNOLIA
○ 13	MAPLE
○ 14	JAPANESE MAPLE
○ 15	RED OAK
○ 16	WHITE OAK
○ 17	PINE
○ 18	POPLAR
○ 19	REDBUD
○ 20	SPYCAMORE
○ 21	WEE-HARDWOOD
○ 22	OAK
○ 23	DOUBLE AND TRIPLE TRUNKS
○ 24	DOUBLE OAK
○ 25	TRIPLE OAK
○ 26	CALIPER NON-SITE OF TREE
○ 27	TYPE OF TREE
○ 28	D FOR DOUBLE, T FOR TRIPLE

Surveyor:
 Newcomb Land Surveyors, PLLC
 7008 Harps Mill Rd., Suite 105
 Raleigh, NC 27615
 919-847-1800 (o)
 Contact: Justin L. Luther, PLS
 justin@nls-nc.com



NOT FOR CONSTRUCTION

PROFESSIONAL ENGINEER SEAL NOT APPLIED TO SHEET AS SURVEYOR DOES NOT CARRY INFORMATION PROVIDED BY OTHERS

OAKS AT MAYVIEW - WELCOME CENTER
EXISTING CONDITIONS

1704-82033
 DB 324, PG 819
 PB 2006, PG 824

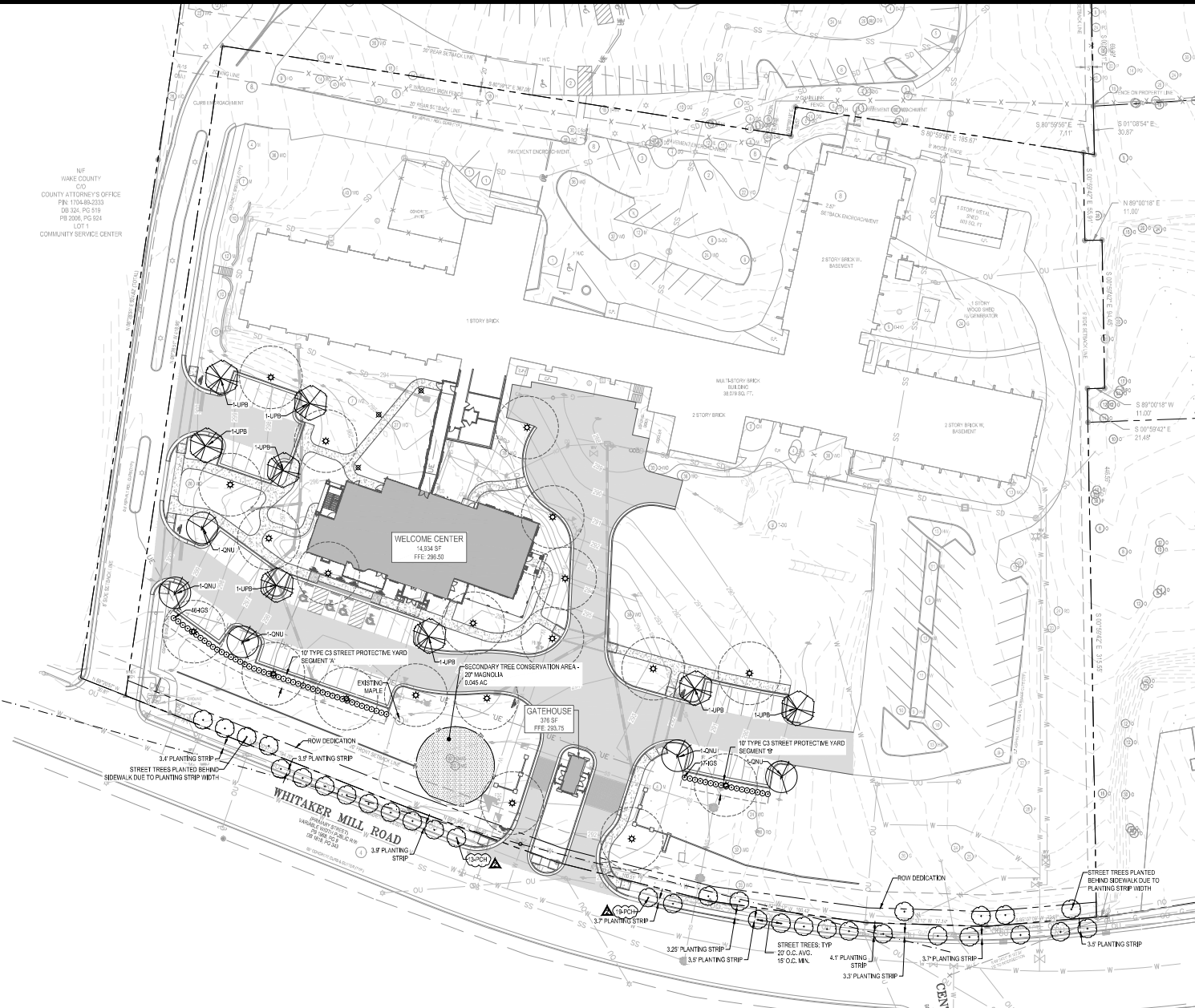
Curry
 ENGINEERING

C-02

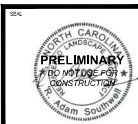
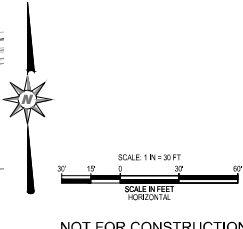
NF
 WAKE COUNTY
 CO
 COUNTY ATTORNEY'S OFFICE
 PK 1706-02033
 DB 324, PG 519
 PB 2006, PG 024
 L071
 COMMUNITY SERVICE CENTER

- CITY OF RALEIGH LANDSCAPE NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS.
 2. NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR OR ALTERATION OF ANY BUILDING, STRUCTURE OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN PROCEEDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
 3. THE DEVELOPMENT SERVICES DIRECTOR CANNOT ISSUE A CERTIFICATE OF COMPLIANCE UNTIL ALL LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
 4. A TEMPORARY CERTIFICATE OF COMPLIANCE MAY BE ISSUED WHEN THE DEVELOPMENT SERVICES DIRECTOR DETERMINES THAT DUE TO THE UNAVAILABILITY OF PLANT MATERIAL, OR WEATHER CONCERNS, PLANTING LANDSCAPING WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS FOR A PERIOD OF UP TO 1 YEAR FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE.
 5. STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH TRP-03 CITY DETAIL, BETWEEN OCTOBER 1 AND APRIL 30. A LANDSCAPE AGREEMENT IS NEEDED IF CO IS REQUIRED OUTSIDE OF THE PLANTING WINDOW. CONTACT URBAN FORESTRY INSPECTOR WITH QUESTIONS.
 6. TREE AND SHRUB PLANTINGS SHOULD NOT INTERFERE WITH THE SAFE VEHICULAR AND PEDESTRIAN CIRCULATION ON THE SITE.
 7. LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLES OR THE APPROACH TO ANY STREET INTERSECTION.
 8. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
 9. TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE.
 10. NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
 11. THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH. ANY DEAD, UNSAFE OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THE UDO WITHIN 90 DAYS OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS. IN THE EVENT THAT REQUIRED LANDSCAPING IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPING.
 12. ALL PLANTING AREAS MUST BE STABILIZED FROM SOIL EROSION IMMEDIATELY UPON PLANTING AND MUST BE MAINTAINED FOR THE DURATION OF THE USE.
 13. ALL REQUIRED LANDSCAPING SHALL BE ALLOWED TO REACH ITS REQUIRED SIZE AND SHALL BE MAINTAINED AT THAT REQUIRED SIZE.
 14. STREET TREES ARE TO BE PROTECTED AND MAINTAINED PER REQUIREMENTS OUTLINED IN CHAPTER 2 OF THE CITY TREE MANUAL.

- LEGEND:**
- [Hatched Box] TREE CONSERVATION AREA
 - [Star in Circle] LIGHT POLE & 20' RADIUS
 - [Circle with Lines] SHADE TREES
 - [Circle with Lines] QNU - QUERCUS NUTTALLI
 - [Circle with Lines] UPB - ULMUS PARVIFOLIA 'BOSSUE'
 - [Circle with Lines] UNDERSTORY TREES
 - [Circle with Lines] PCH - PISTACIA CHINENSIS
 - [Circle with Lines] SHRUBS
 - [Circle with Lines] IGS - ILEX GLABRA 'SHARROCK'



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH
 CITY OF RALEIGH STANDARDS & SPECIFICATIONS

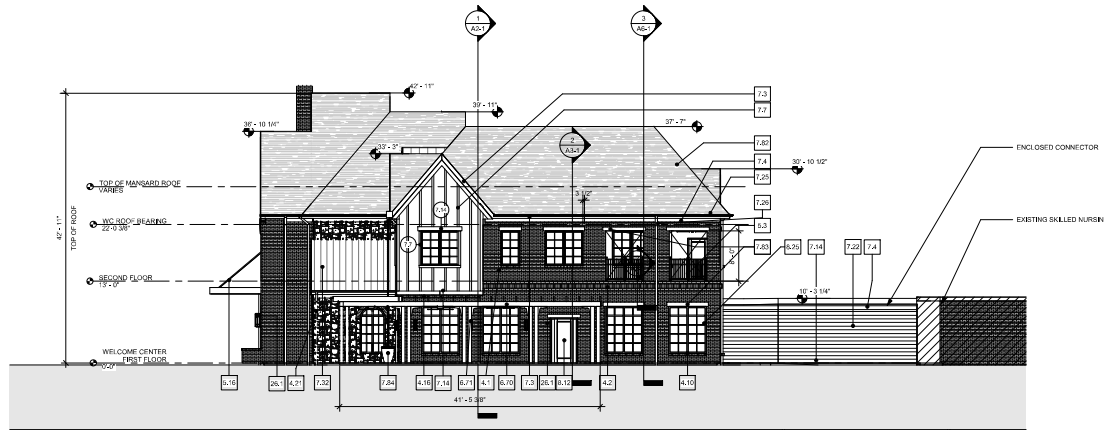


DATE	2/21/2023
FILE NO.	2023023
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**OAKS AT MAYVIEW - WELCOME CENTER
 LANDSCAPE PLAN**



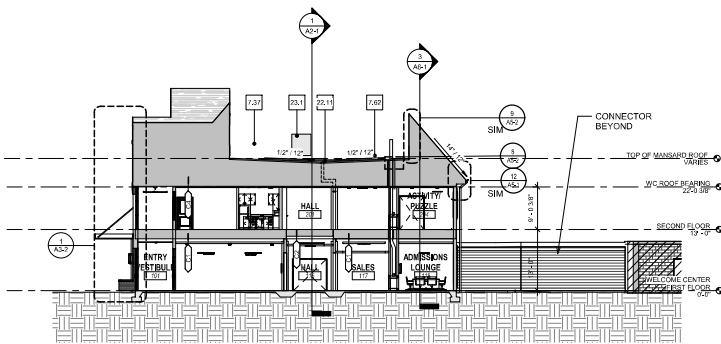
L-02



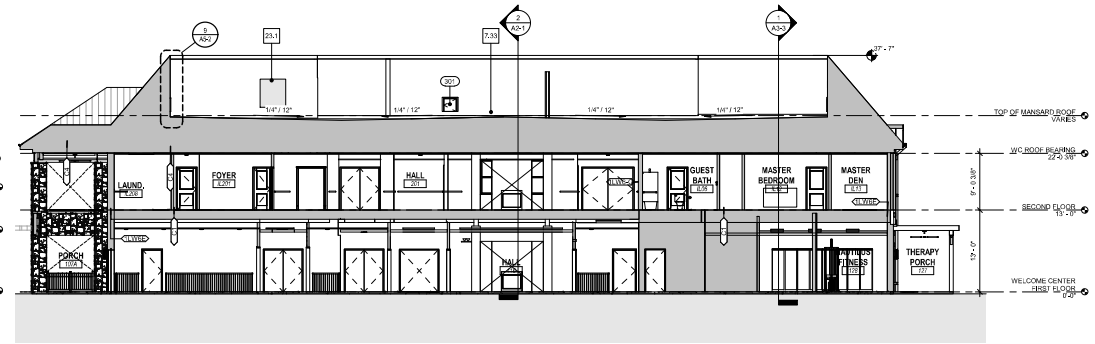
4 WC EAST ELEVATION
1/8" = 1'-0"



3 WC FRONT ELEVATION (FACADE FACING PRIMARY STREET)
1/8" = 1'-0"



2 CROSS SECTION
3/32" = 1'-0"



1 LONG SECTION
1/8" = 1'-0"

KEYNOTES

#	NOTE
4.1	BRICK RUNNING BOND COURSE.
4.2	BRICK SOLID COURSE.
4.10	BRICK SILL.
4.15	SPICK CURB.
4.21	SIMULATED STONE VENEER.
4.22	SIMULATED STONE ARCH.
4.23	BRICK CORSE COVER WITH RANDOMLY SOLDIER HEADER.
4.25	CABLE BRICK CORSEL DETAIL.
4.3	1/2" HIGH PAINTED METAL GUARDRAIL.
4.10	SUSPENDED METAL GANTRY.
4.15	SECURABLE METAL GANTRY BRACKET.
4.30	3/4" HIGH PAINTED METAL GUARDRAIL.
4.31	SECURABLE METAL SHATTER PANELS.
4.32	STAINED 1/2" x 3/4" WOOD BRACKET.
4.33	6X12 STAINED CEDAR WOOD BEAM WITH 2X10 TRUSS.
4.34	1/2" x 3/4" STAINED CEDAR WOOD ROOF.
4.35	1/2" PAINTED TIE-BRICK CEMENT TRIM BOARD.
4.36	1/2" x 3/4" PAINTED TIE-BRICK CEMENT TRIM BOARD.
4.37	1/4" PAINTED TIE-BRICK CEMENT TRIM BOARD.
4.38	1/4" PAINTED TIE-BRICK CEMENT TRIM BOARD.
4.39	1/4" PAINTED TIE-BRICK CEMENT TRIM BOARD.
4.40	PAINTED TIE-BRICK CEMENT TRIM BOARD WITH 7" EXPOSURE.
4.41	1/2" PREFINISHED SEAMLESS SILLINGS.
4.42	1/2" PREFINISHED SEAMLESS DOWNSPOUTS.
4.43	STANDING SEAM METAL ROOF.
4.44	THE RADIANT POLYURETHANE ROOFING SYSTEM (TPO) WITH TAPERED INSULATION 1/2" PER FT. SLOPE MINIMUM. SEE ROOF PLAN FOR SLOPES INDICATED.
4.45	ROOF HATCH.
4.46	SCOURHOLE CONNECTED TO STORM DRAIN.
4.47	THE RADIANT POLYURETHANE ROOFING SYSTEM (TPO) WITH 1" RIGID INSULATION.
4.48	ASPHALT ROOF SHINGLES OVER 3/4" FELD.
4.49	ASPHALT ROOF SHINGLES OVER 3/4" FELD.
4.50	1/2" HIGH PAINTED TIE-BRICK CEMENT TRIM BOARD IN BRICK. SEE WINDOW DETAIL S.
4.51	LARGE ENR-PAN-CHAM WITH LED STRIPS BY TRANSFORMER BY A NUTSHELL BRONZE COLOR. ANCHOR TO PORCH SLAB. PROVIDE POTTED BASKIN W/ 4ET STONE AND DECORATIVE REBELS AT TOP.
4.52	CUSTOM COPPER PAINTED TIE-BRICK FOR RAINCHIMNEY.
4.53	DOUBLE HUNG W/VO WINDOW WITH SCREEN.
4.54	ALUMINUM 1/2" x 3/4" ROOF DOOR A WINDOW SYSTEM.
4.55	ALUMINUM 1/2" x 3/4" ROOF WINDOW SYSTEM.
4.56	ROOF DRAIN (SEE PLUMBING DRAWING).
4.57	MECHANICAL UNIT (SEE MECHANICAL DRAWINGS).
4.58	1/2" x 3/4" FELD. (SEE ELECTRICAL DRAWINGS).

GENERAL NOTES

1. SEE SHEET AGA-2 FOR PARTITION TYPES AND CEILING PARTITION TYPES.

Item	Description	Quantity	Unit	Material	Notes
1	BRICK RUNNING BOND COURSE	1000	SQ YD	BRICK	
2	BRICK SOLID COURSE	1000	SQ YD	BRICK	
3	BRICK SILL	100	LF	BRICK	
4	SPICK CURB	100	LF	BRICK	
5	SIMULATED STONE VENEER	1000	SQ YD	BRICK	
6	SIMULATED STONE ARCH	100	SQ YD	BRICK	
7	BRICK CORSE COVER WITH RANDOMLY SOLDIER HEADER	1000	SQ YD	BRICK	
8	CABLE BRICK CORSEL DETAIL	100	LF	BRICK	
9	1/2" HIGH PAINTED METAL GUARDRAIL	100	LF	METAL	
10	SUSPENDED METAL GANTRY	100	LF	METAL	
11	SECURABLE METAL GANTRY BRACKET	100	LF	METAL	
12	3/4" HIGH PAINTED METAL GUARDRAIL	100	LF	METAL	
13	SECURABLE METAL SHATTER PANELS	100	LF	METAL	
14	STAINED 1/2" x 3/4" WOOD BRACKET	100	LF	WOOD	
15	6X12 STAINED CEDAR WOOD BEAM WITH 2X10 TRUSS	100	LF	WOOD	
16	1/2" x 3/4" STAINED CEDAR WOOD ROOF	1000	SQ YD	WOOD	
17	1/2" PAINTED TIE-BRICK CEMENT TRIM BOARD	1000	SQ YD	CEMENT	
18	1/2" x 3/4" PAINTED TIE-BRICK CEMENT TRIM BOARD	1000	SQ YD	CEMENT	
19	1/4" PAINTED TIE-BRICK CEMENT TRIM BOARD	1000	SQ YD	CEMENT	
20	1/4" PAINTED TIE-BRICK CEMENT TRIM BOARD	1000	SQ YD	CEMENT	
21	PAINTED TIE-BRICK CEMENT TRIM BOARD WITH 7" EXPOSURE	1000	SQ YD	CEMENT	
22	1/2" PREFINISHED SEAMLESS SILLINGS	1000	SQ YD	CEMENT	
23	1/2" PREFINISHED SEAMLESS DOWNSPOUTS	1000	SQ YD	CEMENT	
24	STANDING SEAM METAL ROOF	1000	SQ YD	METAL	
25	THE RADIANT POLYURETHANE ROOFING SYSTEM (TPO) WITH TAPERED INSULATION 1/2" PER FT. SLOPE MINIMUM. SEE ROOF PLAN FOR SLOPES INDICATED	1000	SQ YD	METAL	
26	ROOF HATCH	100	SQ YD	METAL	
27	SCOURHOLE CONNECTED TO STORM DRAIN	100	SQ YD	METAL	
28	THE RADIANT POLYURETHANE ROOFING SYSTEM (TPO) WITH 1" RIGID INSULATION	1000	SQ YD	METAL	
29	ASPHALT ROOF SHINGLES OVER 3/4" FELD	1000	SQ YD	ASPHALT	
30	ASPHALT ROOF SHINGLES OVER 3/4" FELD	1000	SQ YD	ASPHALT	
31	1/2" HIGH PAINTED TIE-BRICK CEMENT TRIM BOARD IN BRICK. SEE WINDOW DETAIL S	1000	SQ YD	CEMENT	
32	LARGE ENR-PAN-CHAM WITH LED STRIPS BY TRANSFORMER BY A NUTSHELL BRONZE COLOR. ANCHOR TO PORCH SLAB. PROVIDE POTTED BASKIN W/ 4ET STONE AND DECORATIVE REBELS AT TOP	100	LF	CEMENT	
33	CUSTOM COPPER PAINTED TIE-BRICK FOR RAINCHIMNEY	100	LF	CEMENT	
34	DOUBLE HUNG W/VO WINDOW WITH SCREEN	100	LF	CEMENT	
35	ALUMINUM 1/2" x 3/4" ROOF DOOR A WINDOW SYSTEM	100	LF	ALUMINUM	
36	ALUMINUM 1/2" x 3/4" ROOF WINDOW SYSTEM	100	LF	ALUMINUM	
37	ROOF DRAIN (SEE PLUMBING DRAWING)	100	LF	CEMENT	
38	MECHANICAL UNIT (SEE MECHANICAL DRAWINGS)	100	LF	CEMENT	
39	1/2" x 3/4" FELD. (SEE ELECTRICAL DRAWINGS)	1000	SQ YD	CEMENT	

ARCHITECT



ADDRESS

OAKS AT WHITAKER GLEN - MAYVIEW
WELCOME CENTER
513 EAST WHITAKER MILL RD
RALEIGH, NC 27608

NO. DATE DESCRIPTION
17/20/21 CONTRACTOR REVIEW

Sheet Title:

BLDG SECTIONS & ELEVATIONS

Date: 10/15/20
Project: 202001
No.:

A2-1

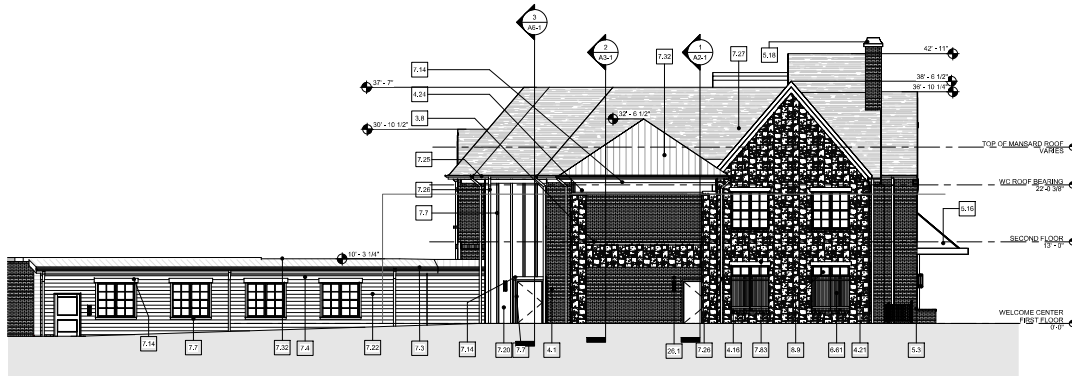
ISSUED FOR CONSTRUCTION

KEYNOTES

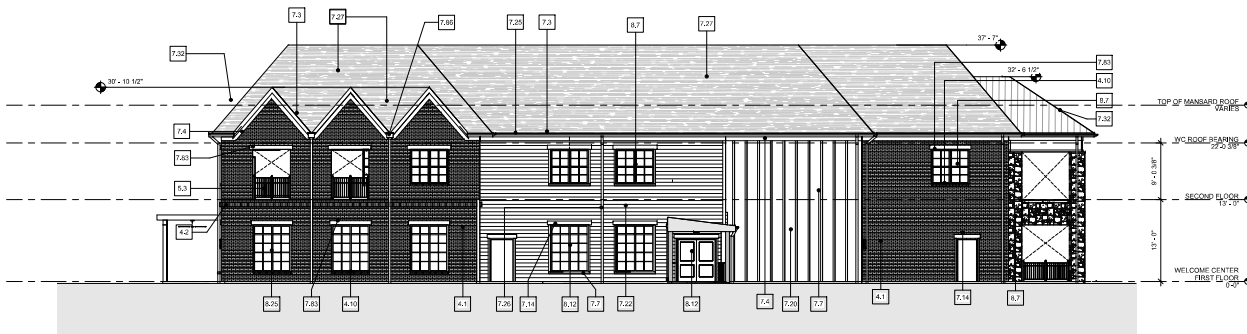
#	NOTE
0.8	
0.1	BRICK RUNNING BOND COURSE.
0.2	BRICK SCUBBIE COURSE.
0.10	BRICK SILL.
0.10	BRICK SILL.
0.2	EMULATED STONE VENEER.
0.25	EMULATED STONE WALL CAP.
0.3	6" HIGH PAINTED METAL GUARDSILL.
0.18	SUSPENDED METAL GANTRY.
0.18	DECORATIVE METAL CHIMNEY SHROUD.
0.20	DECORATIVE VINYL SHUTTER PANELS.
2.1	1" PAINTED FIBER CEMENT FASCIA BOARD.
2.4	6"X6" PAINTED FIBER CEMENT TRUSS BOARD.
2.7	1/4" PAINTED FIBER CEMENT TRUSS BOARD.
1.4	6"X6" PAINTED FIBER CEMENT TRUSS BOARD.
2.3	PAINTED FIBER CEMENT VERTICAL SIDING PANEL.
2.2	PAINTED FIBER CEMENT CAP TRIM WITH 7" EXPOSURE.
2.25	1" FINISHED SEAMLESS GUTTERS.
2.26	1" FINISHED SEAMLESS DOWNSPOUTS.
2.7	ALUMINUM STIFFENING TRUSS SYSTEM.
2.10	STANDING SEAM METAL ROOF.
2.6	6"X6" PAINTED FIBER CEMENT TRUSS BOARD IN BRICK. SEE WINDOW DETAILS.
2.28	RAIN LEADER BOUL.
0.1	DOUBLE HUNG WINDOW WITH SCREEN.
0.9	FIXED WINDOW TRANSLATION WINDOW.
0.10	ALUMINUM STIFFENING TRUSS AND WINDOW SYSTEM.
0.25	ALUMINUM STIFFENING WINDOW SYSTEM.
0.1	LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS).

GENERAL NOTES

1. SEE SHEET AG4-2 FOR PARTITION TYPES AND CEILING PARTITION TYPES.



2 WC WEST ELEVATION
1/8" = 1'-0"



1 WC SOUTH ELEVATION
1/8" = 1'-0"