



# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: _____
<input type="checkbox"/> Open lot		Design Alternate #: _____

### GENERAL INFORMATION

Development name: Capital Blvd Parking Lot

Inside City limits? Yes  No

Property address(es): 905 Capital Blvd, Raleigh, NC 27603

Site P.I.N.(s): 1704-64-1105

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
  
Striping of an existing parking lot, fence installation, and pavement repair as necessary.

**Current Property Owner(s):** NINEONENINE LLC

Company: \_\_\_\_\_ Title: \_\_\_\_\_

Address: PO Box 10330, Raleigh, NC 27605-0330

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

**Applicant Name (If different from owner. See "who can apply" in instructions):**

Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder

Company: King's Auto Service, Inc. Address: 1039 N. West Street, Raleigh, NC 27603

Phone #: (919) 524-9862	Email: deanbailey23@aol.com
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact: Patrick Barbeau, PE</b>	
Company: Timmons Group	Title: Senior Project Manager
Address: 5410 Trinity Rd, Suite 102, Raleigh, NC 27603	
Phone #: (919) 866-4512	Email: patrick.barbeau@timmons.com
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): IX-12 (0.704 AC.)	Existing gross floor area (not to be demolished): 325.5 SF
Gross site acreage: 0.704 AC.	Existing gross floor area to be demolished: N/A
# of parking spaces proposed: 34	New gross floor area: 0 SF
Max # parking permitted (7.1.2.C): None	Total sf gross (to remain and new): 325.5 SF
Overlay District (if applicable): None	Proposed # of buildings: 0
Existing use (UDO 6.1.4): Parking Facility	Proposed # of stories for each: N/A
Proposed use (UDO 6.1.4): Parking Facility	Proposed # of basement levels (UDO 1.5.7.A.6) N/A

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) <u>19,470</u> Proposed total (sf) <u>0</u>	Impervious Area for Compliance (includes ROW): Existing (sf) <u>19,470</u> Proposed total (sf) <u>0</u>

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 0	Total # of hotel bedrooms: N/A
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page Three.


### APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Patrick Barbeau  Digitally signed by Patrick Barbeau  
DN: E=Patrick.Barbeau@trimmons.com,  
CN=Patrick Barbeau  
Date: 2023.02.07 15:51:52-05'00'

Date: 01/25/2023

Printed Name: Patrick Barbeau

**Administrative Site Review Application**

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2300



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Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____	

**GENERAL INFORMATION**

Development name: Capital Blvd Parking Lot  
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Phone #: (919) 524-9862 Email: deanbailey23@aol.com  
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 Company: Timmons Group Address: 5410 Trinity Rd., Suite 102, Raleigh, NC 27603  
 Phone #: (919) 866-4512 Email: patrick.barbeau@timmons.com  
 Applicant Name: \_\_\_\_\_  
 Company: \_\_\_\_\_ Address: \_\_\_\_\_  
 Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

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Signature: Patrick Barbeau Date: 01/25/2023  
 Printed Name: Patrick Barbeau

# TIER TWO - ADMINISTRATIVE SITE PLAN REVIEW

# CAPITAL BLVD PARKING LOT

RALEIGH, NORTH CAROLINA, 27603  
 WAKE COUNTY

**DEVELOPER:**

KING'S AUTO SERVICE  
 DEAN A. BAILEY, ASE MASTER TECHNICIAN L-3  
 1039 N. WEST STREET  
 RALEIGH, NC 27603  
 PH: (919) 524-9862  
 DEANBAILEY23@AOL.COM

**CIVIL ENGINEER:**

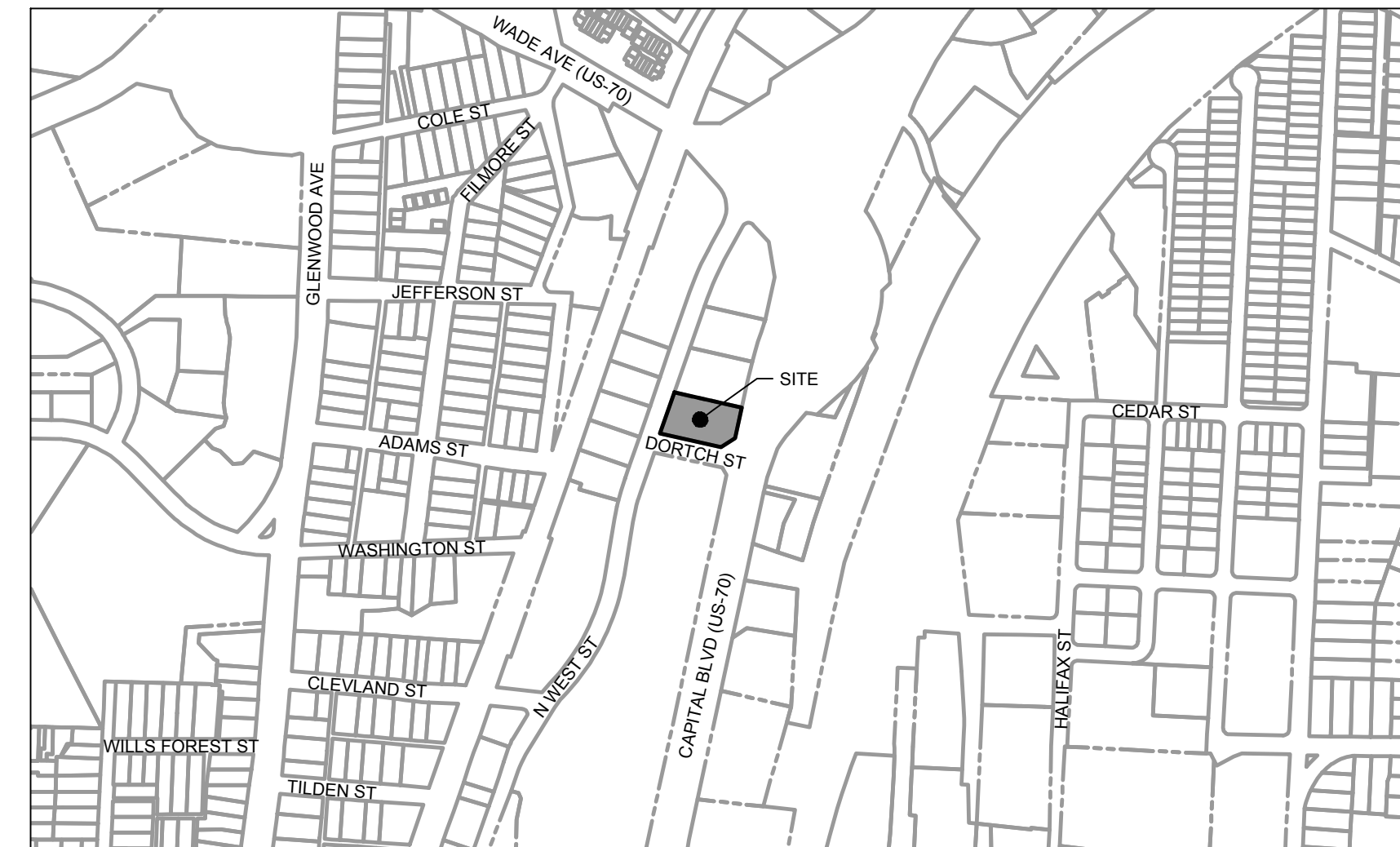
TIMMONS GROUP  
 PATRICK BARBEAU, PE  
 5410 TRINITY ROAD  
 SUITE 102  
 RALEIGH, NC 27607  
 PH: (919) 866-4512  
 PATRICK.BARBEAU@TIMMONS.COM

**SURVEYOR:**

TIMMONS GROUP  
 CLEMM H. SHANKLE JR., PLS  
 5410 TRINITY ROAD  
 SUITE 102  
 RALEIGH, NC 27607  
 PH: (984) 255-2355  
 CHIP.SHANKLE@TIMMONS.COM

Ensure Parks and Recreation is routed but note this is a Tier 2 review.  
 -Planning Notes

SITE DATA TABLE	
PROJECT NAME:	CAPITAL BLVD PARKING LOT
PIN:	1704-64-1105
LOT AREA:	0.704 AC.
ZONING:	IX-12
OVERLAY DISTRICT:	NONE
FRONTAGE TYPE:	N/A
EXISTING USE:	PARKING FACILITY
PROPOSED USE:	PARKING FACILITY (13,550 SF)
EXISTING BUILDING SQUARE FOOTAGE:	325.5 SF
RESIDENTIAL DENSITY / UNIT DATA:	N/A
EXISTING PARKING:	CONCRETE AND ASPHALT LOT WITH NO STRIPING
PROPOSED PARKING:	34 SPACES



VICINITY MAP  
 1" = 500'

**GENERAL NOTES:**

- TREE CONSERVATION: TREE CONSERVATION IS NOT REQUIRED PER UDO SEC. 9.1.2.
- LANDSCAPING: LANDSCAPING IS NOT REQUIRED PER UDO SEC. 7.2.2.B.1
- STORMWATER: ACTIVE STORMWATER CONTROL MEASURES ARE NOT REQUIRED PER UDO SEC. 9.2.2.A.3.c

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN

4. Table of Applicable Standards				
Standard	UDO Sections	Tier 1	Tier 2	Tier 3
Amenity	Sec. 1.5.3; 7.2.6	--	e	*
Setbacks	Chapters 2, 3	a, d	a, d	*
Build-To	Chapters 1, 2, 3	a, d	a, d	*
Height	Chapters 1, 2, 3, 4, 5, 6, 7, 11	a, d	a, d	*
Pedestrian Access	Chapters 1, 2, 3, 4, 7, 8, 10	a, d	a, d	*
Transparency	Chapters 1, 3, 7	a, d	a, d	*
Blank Wall	1.1.11; 1.5.10; Chapter 3	a, d	a, d	*
Ground Floor Elevation	Chapters 1, 2, 3	a, d	a, d	*
Parking Setbacks	Chapters 1, 2, 3, 4, 5, 6	a	a, d	*
Transition	Chapters 2, 3, 4, 5, 6	--	a, c	*
Landscaping	Chapters 5, 6, 7	g	*	*
Protective Yard	Chapters 2, 3, 4, 5, 6, 7, 8	*	*	*
Parking	Chapters 3, 4, 5, 6, 7	*	*	*
Parking Structure Design and Screening	Chapters 3 and 7	a, d	a, d	*
Lighting	Chapters 3, 4, 5, 6, 7, 10	a, d	a, d	*
Site Access	Chapter 8	a, d	a, d	*
Driveway	Chapters 1, 2, 3, 5, 6, 7, 8, 9	a, d	a, d	*
Signage	Chapters 6, 7, 10	a	a, a	a
Tree Conservation/Preservation	Article 9.1	--	*	*
Forestation	9.1.9	c	*	*
Stormwater	9.2	*	*	*
Public Improvements				
Right of way dedication	Chapter 8	--	--	*
Road widening/construction/utilities	Chapter 8	f	f	*
Curb and gutter	Chapter 8	--	--	*
Sidewalk	Chapter 8	b	b	*
Tree lawn/Street trees	Chapter 8	b	b	*
Transit infrastructure	Article 8.11	--	c	*
Bus Shelter	Article 8.11	--	c	*

Key: -- = Not Applicable \* = Applicable

Footnotes:  
 a - Not applicable to the existing improvements on the site at the time of site plan review.  
 b - Required only when the site is located in the DX district or subject to an urban frontage.  
 c - Not applicable to a change in use of an existing building(s).  
 d - Applicable if demolition and reconstruction of an entire structure is proposed.  
 e - Applicable to establishing a civic use on vacant property and any Tier One or Two Site Plan involving the total demolition of all buildings on site, excluding like-for-like reconstruction.  
 f - Art. 8.7 Utilities is applicable if the development is voluntarily connecting to city water or city sewer for the first time.  
 g - Screening requirements as described in Sec. 7.2.5 and Sec. 7.2.6 are applicable.

PRELIMINARY  
 NOT FOR  
 CONSTRUCTION

THIS DRAWING PREPARED AT THE  
 RALEIGH OFFICE  
 5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
 TEL 919-866-4512 FAX 919-833-8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

DATE	REVISION DESCRIPTION
02/09/2023	DRAWN BY J. YOKLEY
	DESIGNED BY P. BARBEAU
	CHECKED BY P. BARBEAU
	SCALE AS SHOWN

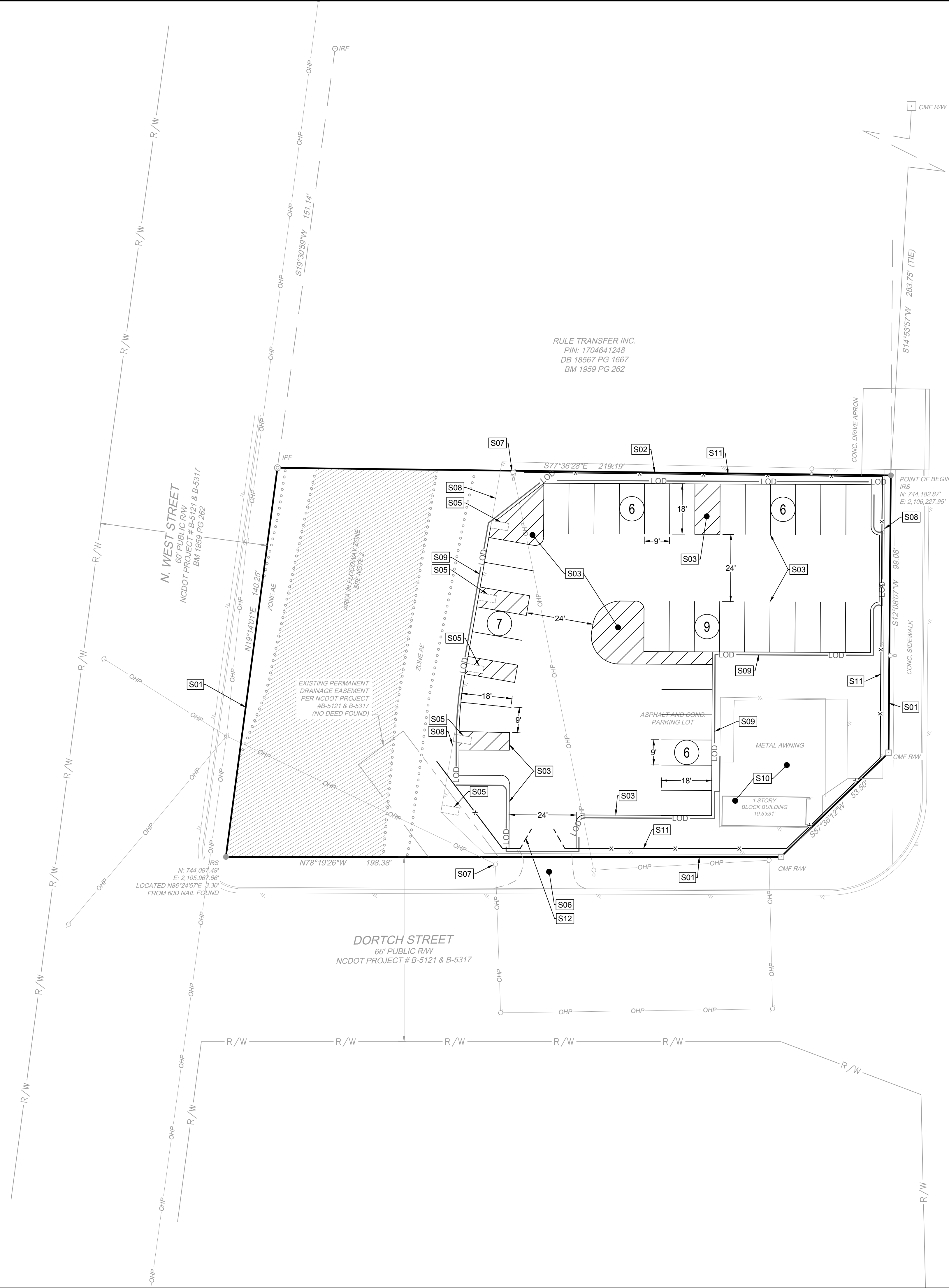
**TIMMONS GROUP**  
 NORTH CAROLINA LICENSE NO. C-1652  
**CAPITAL BLVD PARKING**  
 RALEIGH - WAKE COUNTY - NORTH CAROLINA  
**COVER SHEET**

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

S:\3258024-Capital\_Bld\_Parking\DWG\Sheet\C0.0-COVR.dwg | Plotted on 2/9/2023 2:24 PM | by Jeff Yokley

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S:\3256024.Capital Blvd\_Parking\DWG\Sheet\CD58024\_C2\_0-SITE.dwg | Printed on 2/9/2023 2:26 PM | by Jeff Yokley



RULE TRANSFER INC.  
 PIN: 1704641248  
 DB 18567 PG 1667  
 BM 1959 PG 262

SITE LAYOUT KEYNOTES	
NUMBER	DESCRIPTION
S01	RIGHT-OF-WAY (TYP.)
S02	PROPERTY BOUNDARY (TYP.)
S03	PROPOSED PARKING LOT STRIPING (TYP.)
S05	EXISTING VACUUM ISLAND TO REMAIN
S06	EXISTING DRIVEWAY TO REMAIN
S07	EXISTING POWER POLE TO REMAIN
S08	EXISTING EDGE OF ASPHALT TO REMAIN
S09	LIMITS OF DISTURBANCE
S10	EXISTING BUILDING AND STRUCTURE TO REMAIN
S11	PROPOSED FENCE (6' TALL, BLACK VINYL COATED CHAIN LINK)
S12	PROPOSED 16' WIDE GATE

LIMITS OF DISTURBANCE = 0.40 AC.

EXISTING LEGEND	
PROPERTY LINE SURVEYED	---
LINE NOT SURVEYED	---
RIGHT-OF-WAY LINE	R/W
EXISTING EASEMENT LINE	---
ASPHALT	▨
POWER LINE	---
FLOOD ZONE LINE	---
EXISTING IRON PIPE FOUND	⊙ IRP
EXISTING IRON ROD FOUND	⊙ IRF
CONCRETE MONUMENT FOUND	⊙ CMF
5/8" CAPPED IRON REBAR SET	⊙ IRS
POWER POLE	⊙
LIGHT POLE	⊙
FLOODWAY ZONE	▨

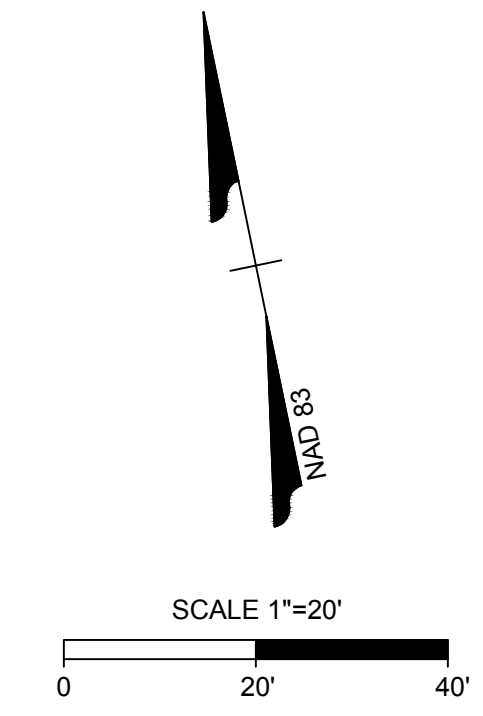
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OVERLAY DISTRICT:	NONE
FRONTAGE TYPE:	N/A
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PROPOSED USE:	PARKING FACILITY (13,550 SF)
EXISTING BUILDING SQUARE FOOTAGE:	325.5 SF
RESIDENTIAL DENSITY / UNIT DATA:	N/A
EXISTING PARKING:	CONCRETE AND ASPHALT LOT WITH NO STRIPING
PROPOSED PARKING:	34 SPACES

- SITE LAYOUT NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
  - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
  - AT LEAST 3-12 BUSINESS DAYS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
  - PARKING SPACES ARE 9' WIDE X 18' LONG MINIMUM.
  - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
  - ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
  - NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

**PROPOSED OFFSITE PARKING LOT IS FOR USE BY:**  
 KING'S AUTO SERVICE  
 1039 N. WEST STREET  
 RALEIGH, NC 27603  
 PH: (919) 524-9862  
 DEANBAILEY23@AOL.COM

**IMPERVIOUS NOTE:**  
 NO NEW IMPERVIOUS AREA IS PROPOSED FOR THIS SITE.

**NOTE:**  
 EXISTING CONCRETE AND ASPHALT TO BE REPAIRED AS NECESSARY. MATCH EXISTING GRADES.



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

PRELIMINARY  
 NOT FOR  
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DRAWN BY  
**J. YOKLEY**

DESIGNED BY  
**P. BARBEAU**

CHECKED BY  
**P. BARBEAU**

SCALE  
**AS SHOWN**

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

**CAPITAL BLVD PARKING**  
 RALEIGH - WAKE COUNTY - NORTH CAROLINA

**SITE PLAN**

JOB NO.  
**58024**

SHEET NO.  
**C2.0**

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