



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached Attached Townhouse Apartment Tiny house Open lot	General Mixed use Civic Cottage Court Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits? Yes No		
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). Proposal of a single-story gas station building of approximately 6,139 GFA retail-vehicle fuel sales, restaurant, drive-thru, associated parking lot, sanitary sewer and water utilities, stormwater conveyance, and required landscaping.		
Current Property Owner(s):		
Company: Comet Development, LLC	Title:	
Address:		
Phone #:	Email:	
Applicant Name (If different from owner. See "who can apply" in instructions): Brian T. Dinges, Assistant Vice President of Real Estate		
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder		
Company: Sheetz, Inc.	Address:	

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4): Vehicle Fuel Sales & Eating Establishment	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br <u>0</u> 2br <u>0</u> 3br <u>0</u> 4br or more <u>0</u>	
# of lots:	Is your project a cottage court? Yes No
	A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

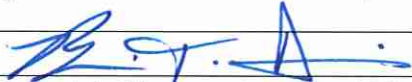
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:



Date:

2/16/2024

Printed Name: Brian T. Dinges, Assistant Vice President of Real Estate

TIER 3 ADMINISTRATIVE SITE REVIEW PLANS FOR: SHEETZ AT FORESTVILLE ROAD - LOT 1

8601 LOUISBURG ROAD, LOT 1
WAKE FOREST, NORTH CAROLINA 27587
CITY OF RALEIGH CASE #: ASR-XXXX-2024
SUB-0002-2022

Administrative Site Review Application

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type (Check all that apply):

<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #:
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scope/switch plan case #:
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #:
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #:
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit	Zoning Case #:
<input type="checkbox"/> Open lot	<input type="checkbox"/> Development Option	Design Alternate #:

Development name: Sheetz at Forestville Rd - Lot 1
Inside City limits? Yes No
Property address(es): 8601 LOUISBURG ROAD, Lot 1, Wake Forest, NC 27587

Site P.I.N.(s): 1748-62-4040 / 1748-61-2519
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).
Proposed: a single-story gas station building of approximately 6,139 GFA retail-vehicle fuel sales, restaurant, drive-thru, associated parking lot, sanitary sewer and water utilities, stormwater conveyance, and required landscaping.

Current Property Owner(s): Comet Development, LLC - J. Seth Coker (Signing Authority)
Company: Comet Development, LLC Title: President
Address: 8127 N Greene St #102, Greensboro, NC 27401
Phone #: 336-362-3070 Email: scoker@cometdev.com

Applicant Name (if different from owner: See "who can apply" in instructions): Brian T. Dinges, Assistant Vice President of Real Estate
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
Company: Sheetz, Inc. Address: 5700 Sixth Avenue, Altoona, PA 16602
Phone #: 919-264-8593 Email: bdowns@sheetz.com

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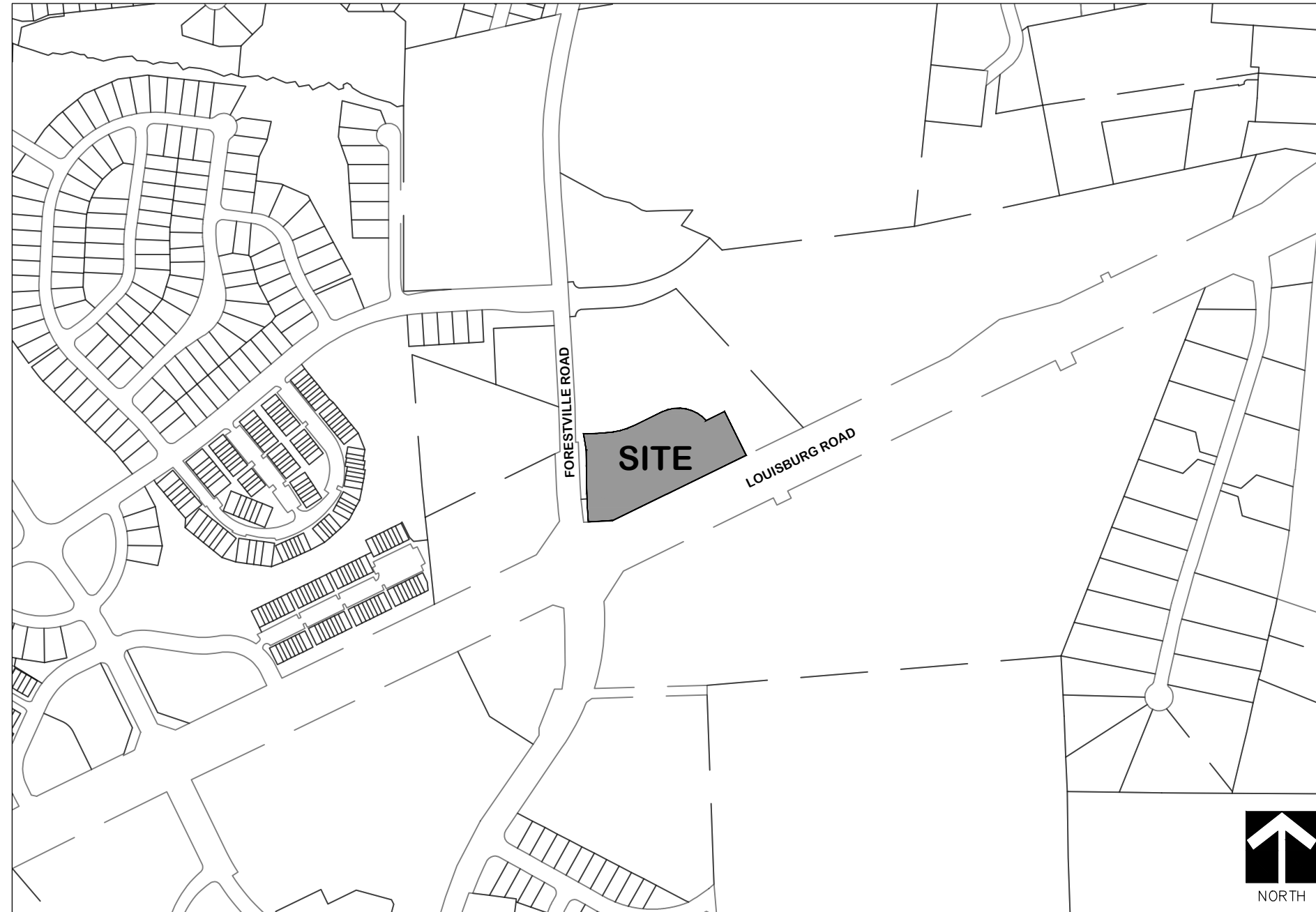
Phone #: 919-264-8593 Email: bdowns@sheetz.com
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
Developer Contact: Brian Dinges
Company: Sheetz, Inc. Title: Engineering Permit Project Manager
Address: 5700 Sixth Avenue, Altoona, PA 16602
Phone #: 919-264-8593 Email: bdowns@sheetz.com
Applicant Name: Brian T. Dinges, Assistant Vice President of Real Estate
Company: Sheetz, Inc. Address: 5700 Sixth Avenue, Altoona, PA 16602
Phone #: 919-264-8593 Email: bdowns@sheetz.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): CX-3-CU	Existing gross floor area (not to be demolished): 0.00
Gross site acreage: 3.85 AC	Existing gross floor area to be demolished: 0.00
# of parking spaces proposed: 39	New gross floor area: 6,139 SF
Max # parking permitted (7.1.2.C): 39	Total sq ft (to remain and new): 6,139 SF
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): restaurant	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION	
Impervious Area on Parcel(s): Existing (sf) 21,698 Proposed total (sf) 85,143	Impervious Area for Compliance (includes ROW): Existing (sf) 32,715 Proposed total (sf) 96,160

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 0	Total # of hotel bedrooms: 0
# of bedroom units: 1br 0 2br 0 3br 0 4br or more 0	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
# of lots: 0	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page Three.
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VICINITY MAP
1" = 500'

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| A200 | CONCEPT EXTERIOR ELEVATIONS |
| A201 | CONCEPT EXTERIOR ELEVATIONS |
| AWNING | GAS AWNING DETAILS |

- DEVELOPER:**
SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602
TEL: 919-264-8593
E-MAIL: bdowns@sheetz.com
- CIVIL ENGINEER:**
PABST DESIGN GROUP, PA
107 FAYETTEVILLE STREET, SUITE 200
RALEIGH, NC 27601
TEL: 919-848-4399
E-MAIL: dpabst@pabstdesign.com
- OWNER:**
COMET DEVELOPMENT, LLC
8127 N GREENE STREET, SUITE 102
GREENSBORO, NC 27401
TEL: 336-362-3070
EMAIL: scoker@cometdev.com
- SURVEYOR:**
BOHLER
4130 PARKLAKE AVENUE, SUITE 130
RALEIGH, NC 27612
TEL: 919-578-9000
- CITY OF RALEIGH SEWER & WATER:**
BRIAN CASEY
PROJECT ENGINEER I
RALEIGH WATER
TEL: 919-614-2409
E-MAIL: brian.casey@raleighnc.gov
- ELECTRIC SERVICE - WAKE EMC:**
JIM HAYES
228 PARK AVENUE, YOUNGSMVILLE
NC 27596
TEL: 919-863-6466
E-MAIL: jim.hayes@wemc.com
- GAS - DOMINION ENERGY:**
MATTHEW KOEHL
PO BOX 4009 CARY, NC 27513
TEL: 919-819-0485
EMAIL: matthew.koehl@dominionenergy.com
- TELEPHONE & CABLE - CHARTER COMMUNICATIONS:**
JOHN BINGLE
101 INNOVATION AVE
MORRISVILLE NC 27650
TEL: 919-573-7131
EMAIL: john.bingle@charter.com

SITE DATA TABLE	
SITE ADDRESS:	8601 LOUISBURG ROAD, LOT 1 WAKE FOREST, NC 27587
OWNER:	COMET DEVELOPMENT, LLC 127 N GREENE ST #102 GREENSBORO, NC 27401
PI(N)S:	1748-62-4040 & 1748-61-2519
EXISTING ZONING:	CX-3-CU
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	RETAIL - VEHICLE FUEL SALES & RESTAURANT
BUILDING TYPE:	GENERAL
PARCEL AREA:	159,000 SF / 3.65 AC.
WATERSHED:	TOMS CREEK (MILL CREEK)
ADDITIONAL OVERLAY:	N/A
RIVERBASIN:	NEUSE
FLOODPLAIN DATA:	NO PORTION OF THE PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD ZONE PER INSURANCE RATE MAP (RATE MAP 3720174800K DATED JULY 19, 2022)
IMPERVIOUS AREA:	EXISTING OFF-SITE: 11,017 SF / 0.25 AC. (PER SPR-0043-2023) EXISTING ON-SITE: 21,698 SF / 0.50 AC. (PER SPR-0043-2023) PROPOSED OFF-SITE: 0 SF / 0 AC. PROPOSED ON-SITE: 63,445 SF / 1.46 AC. TOTAL: 96,160 SF / 2.21 AC. MAX ALLOWABLE: 123,710 SF / 2.84 AC. (PER SPR-0043-2023)
AMENITY SPACE:	REQUIRED = 10% OF TOTAL SITE AREA (159,000 SF x 10 = 15,900 SF REQUIRED) PROVIDED: 15,900 SF (10.00%)
TREE CONSERVATION AREA:	REQUIRED: 10% OF TOTAL DEVELOPMENT AREA = 1.03 AC. PROVIDED: 1.04 AC. (REFER TO CASE SPR-0043-2023)
PRINCIPAL BUILDING SETBACKS:	PRIMARY STREET (MIN.): 5' SIDE STREET (MIN.): 5' SIDE LOT LINE (MIN.): 6' REAR LOT LINE (MIN.): 6'
PARKING SETBACKS:	PRIMARY STREET (MIN.): 10' SIDE STREET (MIN.): 10' SIDE LOT LINE (MIN.): 3' REAR LOT LINE (MIN.): 3'
BUILDING FLOOR AREA:	EXISTING = 0 GFA PROPOSED = 6,139 GFA
BUILDING HEIGHT:	REQUIRED: 3 STORIES / 50' MAX. PROPOSED: 1 STORY / 28'-0"
MAXIMUM PARKING:	RESTAURANT: 1 SPACE PER 100 SF OF GFA 2,019 SF RESTAURANT / 100 SF = 20 SPACES RETAIL: 1 SPACE PER 200 SF OF GFA PLUS 1.5 SPACES FOR EVERY 600 SF OF OUTDOOR DISPLAY AREA 3,731 SF RETAIL / 200 SF = 19 SPACES 70 SF OUTDOOR DISPLAY / 600 SF = 0 SPACES MAX. ALLOWABLE: 39 SPACES TOTAL PROVIDED: 39 SPACES (INCLUDING 2 ADA (1 VAN))
REQUIRED BICYCLE PARKING:	RESTAURANT: 1 SHORT-TERM SPACE PER 50,000 GFA, 4 MIN. 1 LONG-TERM SPACE PER 25,000 GFA, 4 MIN. RETAIL: 1 SHORT-TERM SPACE PER 5,000 GFA, 4 MIN. & NONE FOR LONG-TERM TOTAL REQUIRED: 8 SHORT-TERM, 4 LONG-TERM TOTAL PROVIDED: 8 SHORT-TERM, 4 LONG-TERM

- CONDITIONS OF Z-34-20:**
- THE FOLLOWING PRINCIPAL USES SHALL BE PROHIBITED; ADULT ESTABLISHMENT; BAR, NIGHTCLUB TAVERN, LOUNGE, VEHICLE SALES/RENTAL; DETENTION CENTER, JAIL, PRISON; LIGHT MANUFACTURING; RESEARCH & DEVELOPMENT; VEHICLE REPAIR (MINOR); VEHICLE REPAIR (MAJOR); OVERNIGHT LODGING; SELF-SERVICE STORAGE.
 - THE MAXIMUM GROSS FLOOR AREA SHALL BE 50,000 SQUARE FEET.
- COMPLIANCE WITH CONDITIONS OF Z-34-20:**
- PER THIS ADMINISTRATIVE SITE REVIEW APPLICATION, THE PROPOSED USES OF THE PROPERTY ARE VEHICLE FUEL SALES AND RESTAURANT WHICH ARE NOT LISTED AS PROHIBITED USES WITHIN THE FIRST CONDITION OF Z-34-20.
 - PER THE SITE DATA TABLE, THE PROPOSED BUILDING IS 6,139 SQUARE FEET, WHICH IS BELOW THE MAXIMUM ALLOWED BY THE CONDITIONS OF Z-34-20.

GENERAL NOTES:

- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

EXEMPTION NOTES:

- TREE CONSERVATION AREA AND STORMWATER REQUIREMENTS ARE PROVIDED UNDER SEPARATE CASE SUB-0002-2022 BY OTHERS.

APPLICANT SIGNATURE BLOCK

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By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. §§ 160D-403(b).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

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Signature: Date: 02/16/2024
Printed Name: Brian T. Dinges, Assistant Vice President of Real Estate

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**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

PABST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 848 4399 | Fax: 919 948 9395 | NC LICENSE NUMBER: C-3011

PREPARED FOR:
SHEETZ, INC.
5700 SIXTH AVENUE
ALTOONA, PA 16602
DATE: 10/19/2023
PROJECT ENGINEER:
PDP
PROJECT CADD DESIGNER:
MMP
PROJECT SURVEYOR:
CSWELER

SHEETZ AT FORESTVILLE RD - LOT 1
RALEIGH, WAKE COUNTY, NORTH CAROLINA
**TIER 3 ADMINISTRATIVE SITE REVIEW
COVER SHEET**

NO.	DATE	REVISION

DRAWING SHEET
C-0.0
PROJECT NUMBER
677-23

LEGEND

Legend table with 3 columns: Symbol, Description, and Symbol. Includes categories like Limits of Disturbance & Construction, Existing Utilities, Proposed Utilities, and Elevation/Flow Indicators.

DEMOLITION NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MISCELANEOUS ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
4. ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
5. ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
6. ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
7. THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
8. MUNICIPAL AND UTILITY CONTACTS ARE LISTED ON COVER SHEET C-0.0.
9. EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES.
10. ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
11. CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
13. CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
14. ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE DETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE OWNER, ENGINEER AND ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSITION.
15. ALL UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
16. EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ETC. NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING DEMOLITION/CONSTRUCTION, SHALL BE REPAIRED OR REPLACED TO MATCH ORIGINAL CONDITION.
17. SALVAGEABLE FILL MATERIALS FROM SITE DEMOLITION DETERMINED TO BE ACCEPTABLE BY AN INDEPENDENT SOILS TESTING LABORATORY SHALL BE UTILIZED FOR FILL MATERIAL WHERE APPROPRIATE.
18. ANY NOTE, OR REFERENCE TO ANY ELEMENT, WHICH DOES NOT SPECIFY ACTION BY THE CONTRACTOR SHALL BE CONSTRUED AS INFORMATION ONLY.
19. ALL PIPE INSTALLATION, WHEN REQUIRED BY PIPE DEPTHS AND EXCAVATION, SHALL BE PERFORMED WITH THE USE OF TRENCH BOXES. ALL EXCAVATIONS, UTILITY AND GRADING WORK, SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
20. THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAFETY AND SECURITY FENCING, BARRIERS, PROTECTION MATERIAL AND METHODS AS REQUIRED TO COMPLETE ANY OFF SITE WORK IN A SAFE AND TIMELY MANNER.
21. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
22. UNLESS OTHERWISE NOTED, ALL EXISTING VEGETATION TO REMAIN AND TO BE UNDISTURBED FOR THE DURATION OF CONSTRUCTION. IF DAMAGES OCCUR TO EXISTING VEGETATION, PLANTS SHALL BE REPLACED IN KIND.
23. ANY EXISTING WELLS AND/OR SEPTIC SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH WAKE COUNTY HEALTH DEPARTMENT STANDARDS.

SITE LAYOUT NOTES:

- 1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS.
2. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, FACE OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. ALL RADII DIMENSIONS TO FACE OF CURB.
3. ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS REQUIRED IN SPECIFICATIONS.
4. ALL STRIPING SHALL BE 4" WIDE AND PAINTED WHITE UNLESS NOTED OTHERWISE.
5. ALL RADII TO BE 3'-0" BOC UNLESS OTHERWISE NOTED.
6. ALL LANDSCAPED ISLANDS SHALL HAVE RAISED CURB AND GUTTERING.
7. ALL PLANS AND CONSTRUCTION DETAILS MUST MEET THE CURRENT SPECIFICATIONS OF THE CITY OF RALEIGH AND NCDOT.
8. VERIFY ALL SETBACKS WITH LOCAL CODES.
9. ALL CURB RAMPS SHALL HAVE A DETECTABLE WARNING COMPLYING WITH SECTIONS 4.7.7 AND 4.29.2 OF THE ADA ACCESSIBILITY GUIDELINES.
10. GENERAL CONTRACTOR TO REFER TO THE MOST CURRENT SHEETZ ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS AND EXIT RAMPS.
11. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
12. CONTRACTOR SHALL COORDINATE FINAL LOCATION OF THE GROUND SIGN W/ SHEETZ.
13. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
14. DETECTABLE WARNINGS ARE REQUIRED AT ANY CROSSWALK, OR ISLAND CUT THRU, WHERE THERE IS NOT CHANGE IN ELEVATION (I.E. RAMP NOT PROVIDED).
15. NEW WHITE PAINT DIRECTIONAL ARROWS SHALL BE IN ACCORDANCE WITH LATEST REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL" FOR LOW SPEED URBAN CONDITIONS.
16. PERMANENT AND TEMPORARY SIGNAGE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE IS A SEPARATE SUBMITTAL, REVIEW, AND APPROVAL PROCESS BY THE PLANNING DEPARTMENT.
19. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING. 1-800-632-4949.
20. ALL ROOF DRAINS SHALL BE DIRECTED TO STORM DRAIN SYSTEM.

GENERAL UTILITY NOTES:

- 1. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. "ONE CALL" AT 1-800-632-4949. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.

- 7. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE ASPHALT PLANT.
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
9. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER BEFORE COMPLETION OF THE PROJECT FOR CITY APPROVAL.
10. ALL SANITARY SEWER SERVICES SHALL BE PVC SCH 40 UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
12. CONTRACTOR SHALL VERIFY EXISTING UTILITIES WITHIN PROPOSED ALIGNMENTS WATER / SEWER PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF CONFLICTS ARE ENCOUNTERED.

CITY OF RALEIGH UTILITY NOTES:

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
d. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
e. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
7. INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 4" - 8" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION.

GRADING NOTES:

- 1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, THE APPLICABLE SECTIONS OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADWAY CONSTRUCTION, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS OTHERWISE NOTED.
3. ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SITE SPECIFICATIONS OR INSTRUCTED BY THE OWNER.
4. CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS OFF SITE. THIS RESPONSIBILITY SHALL INCLUDE ALL REQUIRED APPROVALS AND CONDITIONS DICTATED BY THE CITY OF RALEIGH.
5. ALL OPEN STORM DRAIN PIPES SHALL BE PROTECTED WITH STONE FILTER PROTECTION AFTER STOPPAGE OF WORK EACH DAY.
6. CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
7. IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.
8. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL STORM SEWER MANHOLES AND INLETS.
9. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
10. ONCE SILT FENCE IS INSTALLED, CALL CHRIS BRIDGERS, CITY OF RALEIGH EROSION CONTROL INSPECTOR AT 919-279-1308 TO INSPECT & APPROVE SILT FENCE AND SILT FENCE OUTLETS.
11. CONTRACTOR SHALL FIELD VERIFY EXISTING TOPOGRAPHY IN RELATION TO THE PROPOSED GRADES TO ENSURE DRAINAGE IN THE DIRECTION INDICATED ON PLANS.
12. INITIATE CONSTRUCTION SEQUENCE BEFORE BEGINNING CLEARING AND GRADING ON-SITE OPERATIONS.
13. STRIP TOPSOIL TO FULL DEPTH IN AREAS TO BE GRADED.
14. MAXIMUM GRADED SLOPE SHALL NOT EXCEED 2:1, UNLESS OTHERWISE NOTED.
15. AREAS TO BE GRADED SHALL BE CLEARED OF ALL EXISTING VEGETATION. CONTRACTOR TO PROTECT VEGETATION LOCATED BEYOND GRADING LIMITS.
16. COMPACT ALL FILL AREAS TO 95% OF MAXIMUM DENSITY, OR PER GEOTECHNICAL RECOMMENDATIONS.
17. PROPOSED SPOT ELEVATIONS ARE SHOWN AT FINISHED GRADED.
18. ALL 2:1 SLOPES TO BE STABILIZED WITH TURF REINFORCEMENT MAT PER MANUFACTURER'S RECOMMENDATIONS. SLOPES TO BE SEEDED W/ COASTAL SLOPE SHIELD MIX SUMMER/SPRING OR FALL/WINTER BLEND DEPENDING ON SEASON. CONTACT ACE ENVIRONMENTAL FOR SPECIFICATIONS AT 1-800-448-3636.

TOTAL DISTURBED AREA = ± 110,999 SF, 2.55 AC

GENERAL PLANTING NOTES:

- 1. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK".
2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWINGS SHALL TAKE PRECEDENCE.

- 3. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE DESIGNER.
4. CONTRACTOR SHALL HAVE UTILITY COMPANY LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY HIS/HER WORK.
5. METHODS OF TREE STAKING INDICATED ON THE DRAWINGS ARE SUGGESTIONS ONLY. THE LANDSCAPE CONTRACTOR SHALL USE WHATEVER METHOD HE DEEMS FIT, HOWEVER HE WILL BE HELD LIABLE FOR ANY DAMAGES CAUSED TO TREES BY IMPROPER STAKING METHODS (OR ABSENCE OF STAKING) AND IS RESPONSIBLE FOR UPRIGHTING AND REPLANTING TREES WHICH ARE BLOWN OVER.
6. ALL AREAS NOT SHOWN AS HARD SURFACES, PLANT BED, MULCHED OR UNDISTURBED AREAS, SHALL BE SEEDED OR SODDED AS LAWN WITH BERMUDA GRASS.
7. ALL LANDSCAPE BEDS CONTAIN TRIPLE SHREDED HARDWOOD MULCH AT A THICKNESS OF 3".
8. ALL LANDSCAPE BEDS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
9. ALL PLANT BEDS SHALL BE TREATED WITH PRE-EMERGENT WEED CONTROL (I.E. TREFLON GRANULES).
10. ALL PLANTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL BE VIGOROUS, HEALTHY MATERIAL FREE OF PESTS AND DISEASE.
11. VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE REQUIRED ON THE PLANTING PLAN.
12. OWNERS SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
13. PLANT MATERIAL ON THIS SITE MUST BE INSTALLED IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS ON THIS PLAN OR TO THE STANDARDS OF THE CITY OF RALEIGH.
14. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THE REQUIRED WORK.

PABST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 300, Raleigh, North Carolina 27601
Phone: 919 948 4999 | Fax: 919 948 4995 | NC LICENSE NUMBER: C-3911

PREPARED FOR: SHEETZ, INC.
5700 SOUTH AVENUE
ALCOONA, PA 16002
DATE: 10.19.2023
PROJECT ENGINEER: PJP
PROJECT CADD DESIGNER: MJP
PROJECT SURVEYOR: GWL

SHEETZ AT FORESTVILLE RD - LOT 1
RALEIGH, WAKE COUNTY, NORTH CAROLINA
TIER 3 ADMINISTRATIVE SITE REVIEW
LEGEND & NOTES

NO. DATE REVISION
DRAWING SHEET C-0.1
PROJECT NUMBER 677-23

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

J. ERIC BOYETTE
SECRETARY

March 28, 2022

Adam Fullerton
Kimley-Horn
421 Fayetteville Street, Suite 600
Raleigh, North Carolina 27601

Subject: Planting Permit for Perry Farms Louisburg Road

To whom it may concern:

Please be advised that the planting plans have been conditionally approved for Perry Farms located on the corner of Louisburg Road and Forestville Road in Wake County, North Carolina.

This letter is issuing the Planting Permit per North Carolina Department of Transportation policy.

The following standard provisions are made part of this agreement:

1. The permittee shall maintain a clear sight distance for vehicles utilizing driveway connections.
2. The Division of Highways will not be responsible for any damage to the plants, which may be done by third parties.
3. Maintenance of the plantings will be the responsibility of the permittee. Should the plants not be maintained in a sufficient manner the plants could be subject to removal.
4. Plants to be first class quality of their species.
5. A copy of this permit must be on the worksite at all times while the work is being performed.
6. All trees and plants shall be pruned and maintained in such a manner as to not encroach upon the travel way.

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
ROADSIDE ENVIRONMENTAL UNIT
1513 MAIL SERVICE CENTER
RALEIGH, NC 27669-1513

Telephone: (919) 816-9290
Fax: (919) 213-6391
Website: www.ncdot.gov

Location:
200 ROSCOE TRAIL
RALEIGH, NC 27607

7. The traveling public shall be warned of construction with complete and proper signing and traffic control devices in accordance with the current Manual on Uniform Traffic Devices (MUTCD). No work shall be performed in the Right of Way unless this requirement is satisfied. NCDOT reserves the right to require a written traffic control plan for encroachment operations.
8. NCDOT does not guarantee the Right of Way on this road, nor will it be responsible for any claim for damages brought by any property owner by reason of the installation.
9. Two-way traffic shall be maintained at all times.
10. No lane of traffic shall be closed or restricted between the hours of 6:00 AM - 9:00 AM and 4:00 PM - 7:00 PM Monday - Friday. Any violation of these hours will result in termination of the encroachment agreement.
11. NCDOT reserves the right to further limit, restrict, or suspend operations within the Right of Way if, in the opinion of NCDOT, safety or traffic conditions warrant such action.
12. The Traffic Services Supervisor shall be notified at (919) 477-2914 in Durham prior to beginning work on the Right of Way if there are existing NCDOT signs, traffic signals, or signal equipment in or near the proposed work zone. Costs to relocate, replace, or repair NCDOT signs, signals, or associated equipment shall be the responsibility of the Encroacher.
13. The applicant will be required to notify the Roadside Environmental Technician, **Mark Conner** at (919) 816-9290 prior to beginning and after completion of work.
14. It shall be the responsibility of the Encroacher to determine the location of other utilities within the encroachment area. The Encroacher shall be responsible for notifying other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and to maintain accessibility to existing utilities.
15. At the end of each working day, equipment shall be parked a minimum of 30 feet from the edge of any travel lane and be barricaded in order not to have any equipment obstruction within the clear recovery zone.
16. The applicant is responsible for identifying project impacts to waters of the United States (wetlands, intermittent streams, perennial streams and ponds) located within the NCDOT right-of-way. The discharge of dredged or fill material into waters of the United States requires authorization from the United States Army Corps of Engineers (USACE) and certification from the North Carolina Division of Water Quality (NCDWQ). The applicant is required to obtain pertinent permits or certification from these regulatory agencies if construction of the project impacts waters of the United States within the NCDOT right-of-way. Additional information can be obtained by contacting the USACE or NCDWQ.
17. The applicant is responsible for complying with the Neuse and Tar-Pamlico Riparian Buffer Rule as regulated by the NCDWQ. The Rule regulates activity within a 50-foot buffer along perennial streams, intermittent streams and ponds. Additional information can be obtained by contacting the NCDWQ.

18. The applicant is responsible for avoiding impacts to federally protected species during project construction. Bald eagle, Michaux's sumac, smooth coneflower, dwarf wedge-mussel, harperella, red-cockaded woodpecker and tar spiny-mussel are federally protected species that have been identified within NCDOT right-of-way in Durham, Person, Granville, Wake, Franklin, Vance, and Warren counties. Additional information can be obtained by contacting the North Carolina Natural Heritage Program or the United States Fish and Wildlife Services.

19. In the event that plants require relocation or removal for highway construction, reconstruction, maintenance or safety, such removal or relocation will be done immediately by the permittee (municipality/civic group/individual) upon notification by the Division of Highways, entirely at the expense of the permittee.

If you should need further assistance, please contact Corey Sudderth by phone at 919-816-9290 ext. 235 or by email at csudderth@ncdot.gov.

Sincerely,

Brandon H. Jones, PE
Division Engineer

BHJ/cls

Cc: Corey Sudderth, Roadside Environmental Engineer
File



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
GOVERNOR

JAMES H. TROGDON, III
SECRETARY

March 28, 2022

Adam Fullerton
Kimley-Horn
421 Fayetteville Street, Suite 600
Raleigh, North Carolina 27601

SUBJECT: Street Trees for Perry Farms Forestville Road

To whom it may concern:

After reviewing the proposal for street trees in the right-of-way along Forestville Road, it was determined that NCDOT does not require or request for street trees to be planted at this location. Please let this letter serve as a denial of approval for street trees within the right of way at this location.

Should you have any questions, please contact me at 919-317-4743, or via e-mail at csudderth@ncdot.gov.

Sincerely,

Corey L. Sudderth
Division Roadside Environmental Engineer

Mailing Address:
NC DEPARTMENT OF TRANSPORTATION
ROADSIDE ENVIRONMENTAL UNIT
1513 MAIL SERVICE CENTER
RALEIGH, NC 27669-1513

Telephone: (919) 816-9290
Customer Service: 1-877-338-4388
Website: www.ncdot.gov

Location:
200 ROSCOE TRAIL
RALEIGH, NC 27607



Ability to Serve Letter

To whom this may concern,

Please accept this letter as confirmation that Wall Recycling, through its existing agreements with Sheetz, Inc., will provide services to the upcoming location(s) in Raleigh as follows.

Trash 8 cubic yard front load container 4x weekly Mon/Wed/Fri/Sat
Single stream 8 cubic yard front load container 3x weekly Mon/Weds/Fri

If the dumpsters become damaged and unusable, they will be replaced. If they require a cleaning, that will need to be outsourced for a service fee. We have reviewed the plans and can safely collect between the hours of 7am and 11pm as permitted by the noise ordinance in the city of Raleigh. Wall Recycling is a locally owned and operated company. We are a Full-Service Waste and Scrap Metal Recycling Company. We recycle 100% of the wood, metal, concrete, cardboard, yard waste, and plastic, brought into our yard and the trash is hauled to the state landfill.

Thank You,

Calista Williams

Calista Williams

Business Manager
Wall Recycling, LLC

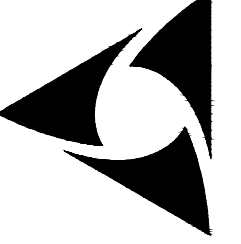
Waste: (919) 582-7777 | Scrap: (919) 887-2523

Mobile: (919) 302-1875 | Fax: (919) 828-7649

cjohnson@wallrecycling.com

Wall Recycling, LLC 2310 Gamer Road Raleigh, NC 27610 (919) 582-7777 (919) 828-7649 FAX wallrecycling.com

PAST DESIGN GROUP, PA
Engineering & Consulting



107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 846 4399 | Fax: 919 946 9395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:
SHEETZ, INC.
5700 SOUTH AVENUE
ALCOONA, PA 16022
DATE: 10.19.2023
PROJECT ENGINEER:
PROJECT CADD DESIGNER:
MWP
PROJECT SURVEYOR:
SHEETZ

SHEETZ AT FORESTVILLE RD - LOT 1
RALEIGH, WAKE COUNTY, NORTH CAROLINA
TIER 3 ADMINISTRATIVE SITE REVIEW
AGREEMENT AND APPROVAL LETTERS

NO.	REVISION	DATE

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

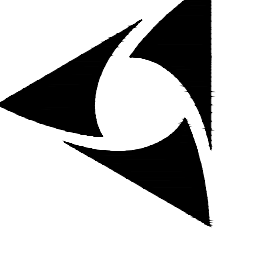
DRAWING SHEET
C-0.2
PROJECT NUMBER
677-23

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

C:\Public\10-Projects\600-699\677-23_Sheetz at Forestville Rd (Sheetz, Inc.)\50-Drawings\4-Design\677-23_C-0.2.dwg, Feb 14, 2024, 11:51am, BY: smcandy

SEE SHEET C-0.1 FOR LEGENDS & NOTES.

PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 946 4399 | Fax: 919 946 9351 | NC LICENSE NUMBER: C-3311



PREPARED FOR:
SHEETZ, INC.
5700 SOUTH AVENUE
ALCOON, PA 16022
DATE: 10.19.2023
PROJECT ENGINEER:
PJP
PROJECT CADD DESIGNER:
MMP
PROJECT SURVEYOR:
GRIEPLER

SHEETZ AT FORESTVILLE RD - LOT 1
TIER 3 ADMINISTRATIVE SITE REVIEW
EXISTING CONDITIONS AND DEMOLITION PLAN

RALEIGH, WAKE COUNTY, NORTH CAROLINA

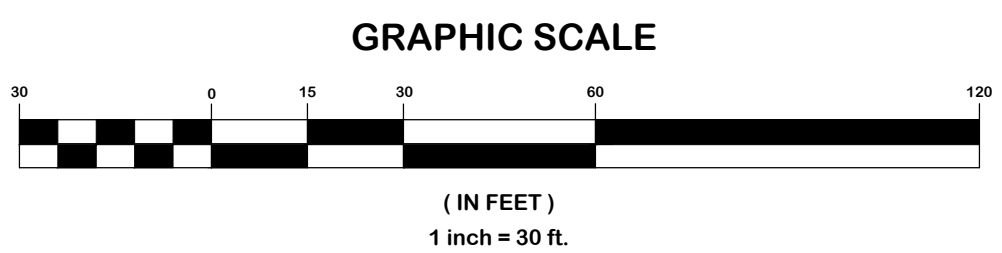
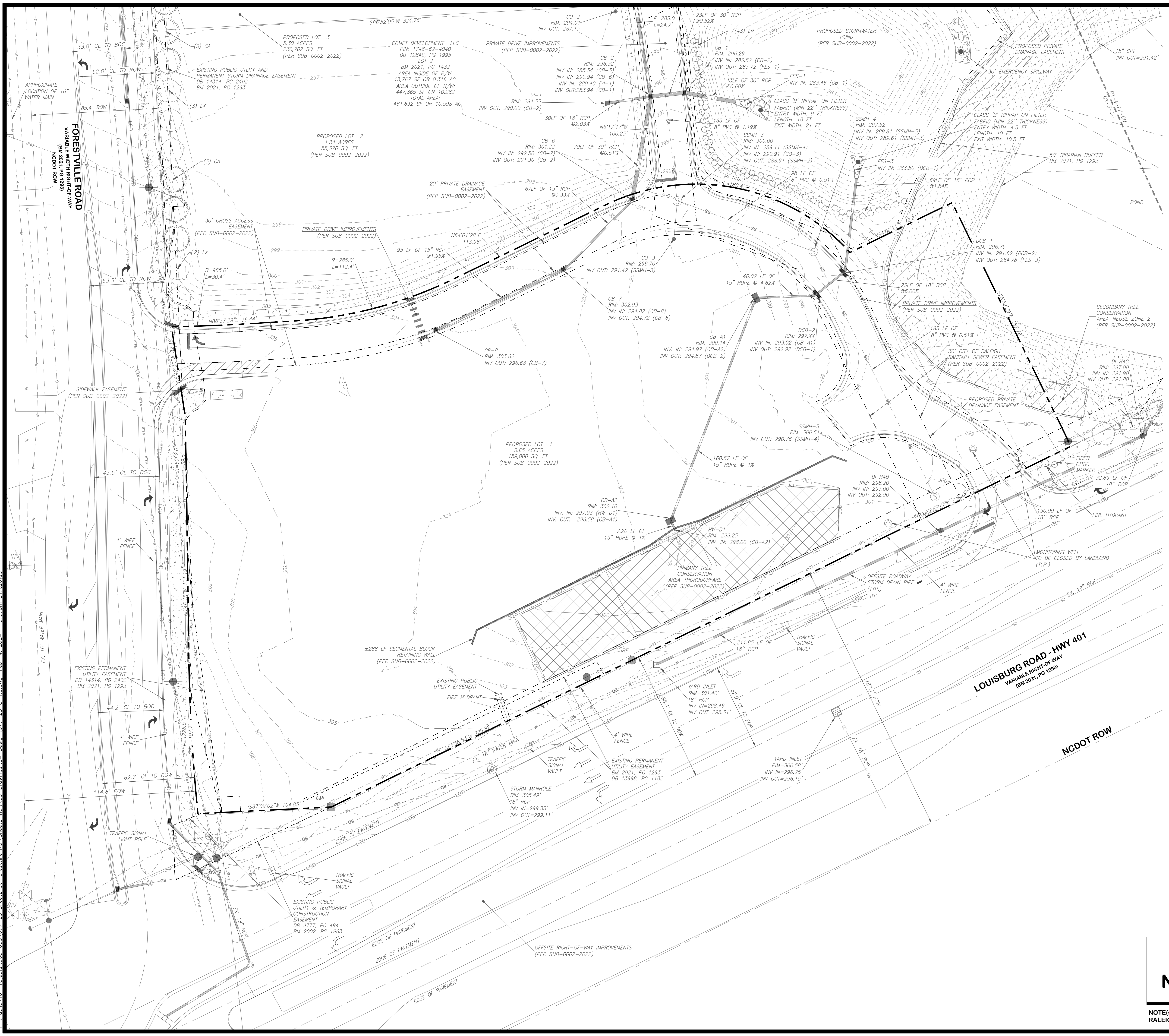
NO.	REVISION	DATE

DRAWING SHEET
C-1.0

PROJECT NUMBER
677-23

**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.



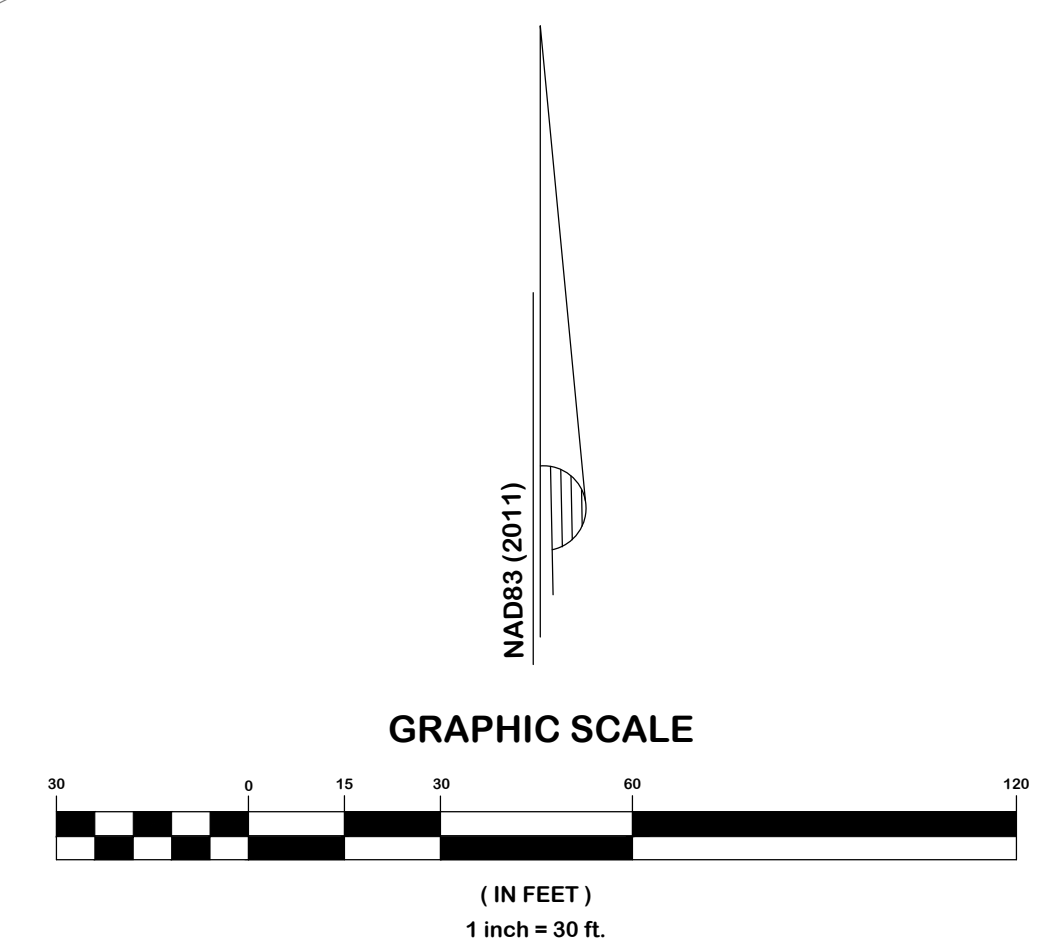
C:\Public\Projects\600-699\677-23_Sheets at Forestville Rd (Sheetz, Inc.)\50-Drawings\4-Design\677-23_C-1.0.dwg, Feb. 14, 2024, - 5:57pm, B.Y. azovoz

SEE SHEET C-0.1 FOR LEGENDS & NOTES.

SITE DATA TABLE	
SITE ADDRESS:	8601 LOUISBURG ROAD, LOT 1 WAKE FOREST, NC 27587
OWNER:	COMET DEVELOPMENT, LLC 127 N GREENE ST #102 GREENSBORO, NC 27401
PIN(S):	1748-62-4040 & 1748-61-2519
EXISTING ZONING:	CX-3-CU
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	RETAIL - VEHICLE FUEL SALES & RESTAURANT
BUILDING TYPE:	GENERAL
PARCEL AREA:	159,000 SF / 3.65 AC.
WATERSHED:	TOMS CREEK (MILL CREEK)
ADDITIONAL OVERLAY:	N/A
RIVERBASIN:	NEUSE
FLOODPLAIN DATA:	NO PORTION OF THE PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD ZONE PER INSURANCE RATE MAP (RATE MAP 3720174800K DATED JULY 19, 2022)
IMPERVIOUS AREA:	EXISTING OFF-SITE: 11,017 SF / 0.25 AC. (PER SPR-0043-2023) EXISTING ON-SITE: 21,698 SF / 0.50 AC. (PER SPR-0043-2023) PROPOSED OFF-SITE: 0 SF / 0 AC. PROPOSED ON-SITE: 63,445 SF / 1.46 AC. TOTAL: 96,160 SF / 2.21 AC. MAX ALLOWABLE: 123,710 SF / 2.84 AC. (PER SPR-0043-2023)
AMENITY SPACE:	REQUIRED = 10% OF TOTAL SITE AREA (159,000 SF x .10 = 15,900 SF REQUIRED) PROVIDED: 15,900 SF (10.00%)
TREE CONSERVATION AREA:	REQUIRED: 10% OF TOTAL DEVELOPMENT AREA = 1.03 AC. PROVIDED: 1.04 AC. (REFER TO CASE SPR-0043-2023)
PRINCIPAL BUILDING SETBACKS:	PRIMARY STREET (MIN): 5' SIDE STREET (MIN): 5' SIDE LOT LINE (MIN): 6' REAR LOT LINE (MIN): 6'
PARKING SETBACKS:	PRIMARY STREET (MIN): 10' SIDE STREET (MIN): 10' SIDE LOT LINE (MIN): 3' REAR LOT LINE (MIN): 3'
BUILDING FLOOR AREA:	EXISTING = 0 GFA PROPOSED = 6,139 GFA
BUILDING HEIGHT:	REQUIRED: 3 STORIES / 50' MAX. PROPOSED: 1 STORY / 28'-0"
MAXIMUM PARKING:	RESTAURANT: 1 SPACE PER 100 SF OF GFA 2,013 SF RESTAURANT / 100 SF = 20 SPACES RETAIL: 1 SPACE PER 200 SF OF GFA PLUS 1.5 SPACES FOR EVERY 600 SF OF OUTDOOR DISPLAY AREA 3,731 SF RETAIL / 200 SF = 19 SPACES 70 SF OUTDOOR DISPLAY / 600 SF = 0 SPACES MAX. ALLOWABLE: 39 SPACES TOTAL PROVIDED: 39 SPACES (INCLUDING 2 ADA (1 VAN))
REQUIRED BICYCLE PARKING:	RESTAURANT: 1 SHORT-TERM SPACE PER 50,000 GFA, 4 MIN. 1 LONG-TERM SPACE PER 25,000 GFA, 4 MIN. RETAIL: 1 SHORT-TERM SPACE PER 5,000 GFA, 4 MIN. & NONE FOR LONG-TERM TOTAL REQUIRED: 8 SHORT-TERM, 4 LONG-TERM TOTAL PROVIDED: 8 SHORT-TERM, 4 LONG-TERM

KEY ITEM	DESCRIPTION	WIDTH
P2 PAINT	WHITE STOPBAR	24"
CO THERMO	WHITE CROSSWALK LINE	8"
OC PAINT	WHITE STRAIGHT ARROW	
QF PAINT	WHITE COMBO. LEFT/RIGHT ARROW	

SIGNS		
R1-1	MUTCD "STOP" R1-1	30" X 30"
R1-1	MUTCD "STOP" R1-1	24" X 24"
R5-1	MUTCD "DO NOT ENTER" R5-1	24" X 24"



**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

PAST DESIGN GROUP, PA
Engineering & Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 846 4399 | Fax: 919 946 0951 | NC LICENSE NUMBER: C-3311

PREPARED FOR:
SHEETZ, INC.
5700 SOUTH AVENUE
ALTOONA, PA 16602
DATE: 10.19.2023
PROJECT ENGINEER:
PJP
PROJECT CADD DESIGNER:
MMP
PROJECT SURVEYOR:
GHELER

SHEETZ AT FORESTVILLE RD - LOT 1
RALEIGH, WAKE COUNTY, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW PLANS
SITE LAYOUT PLAN

NO.	REVISION	DATE

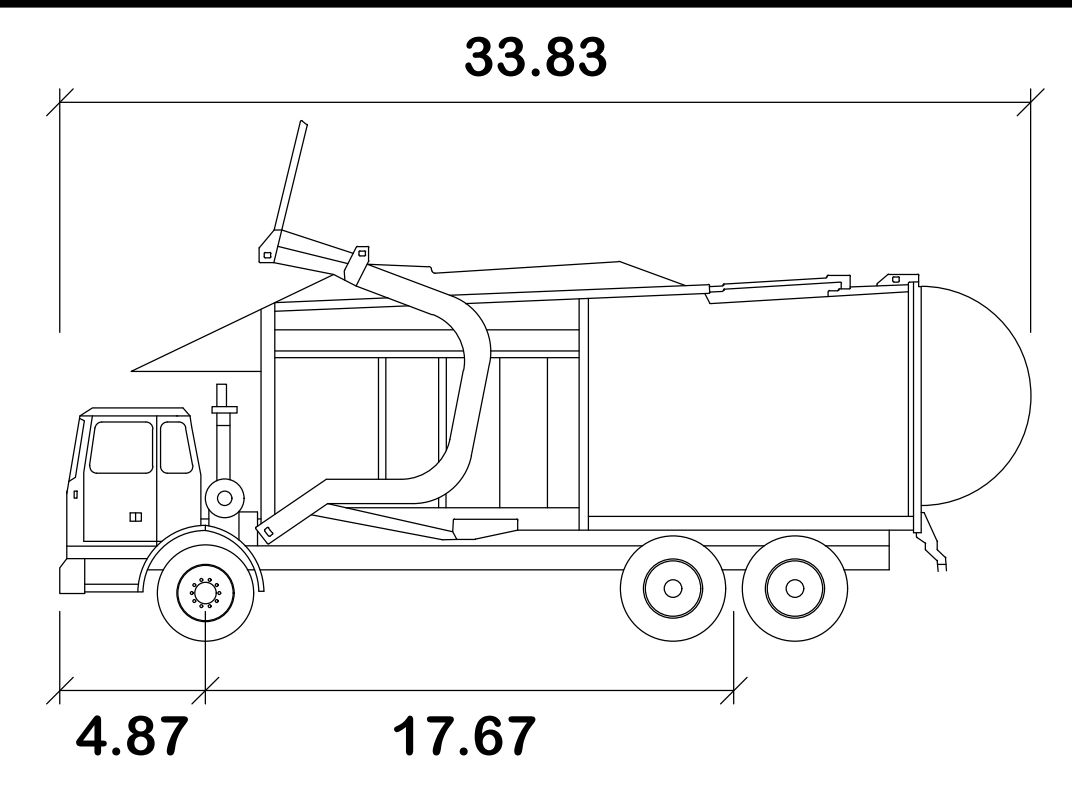
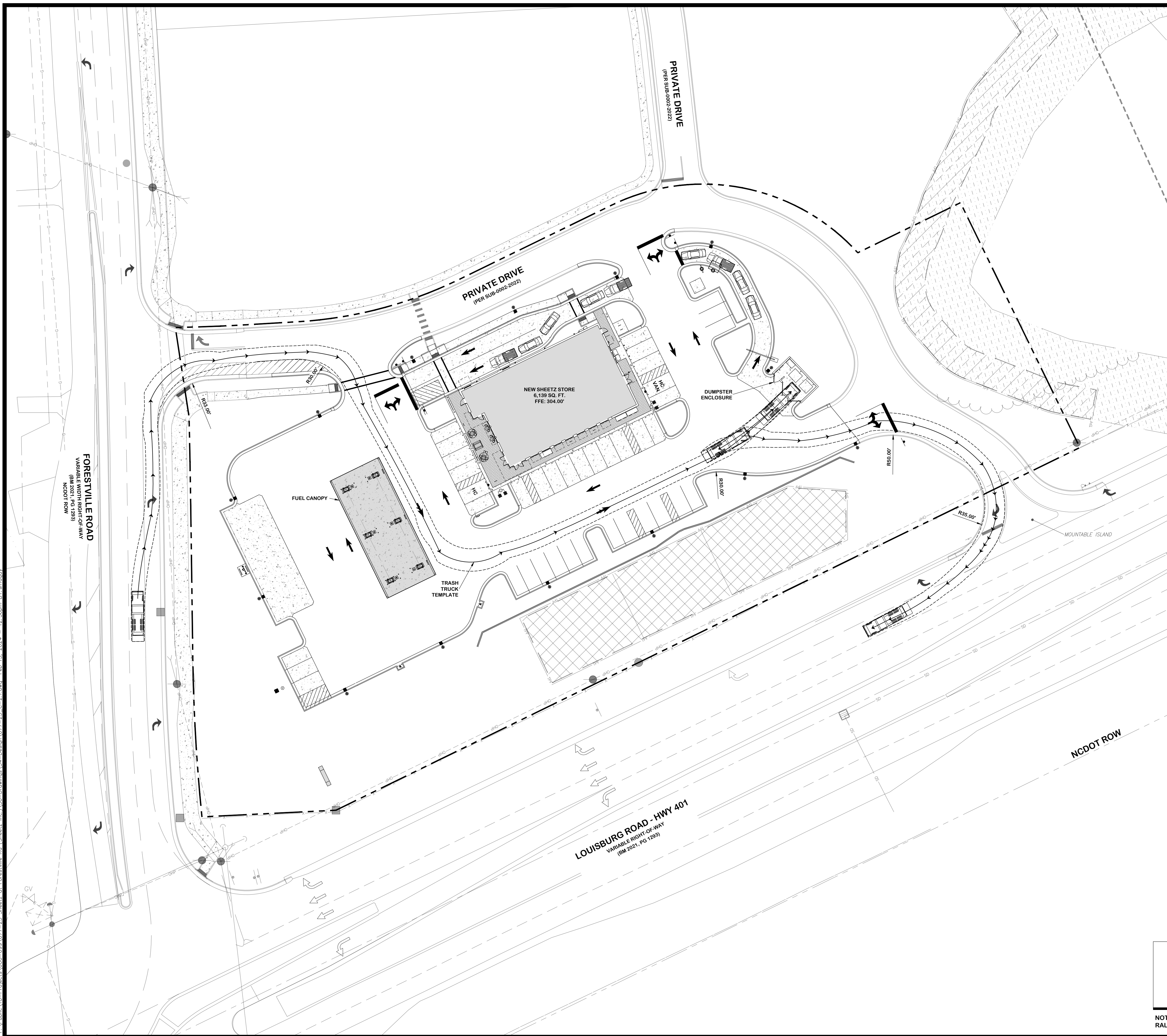
DRAWING SHEET
C-2.0

PROJECT NUMBER
677-23



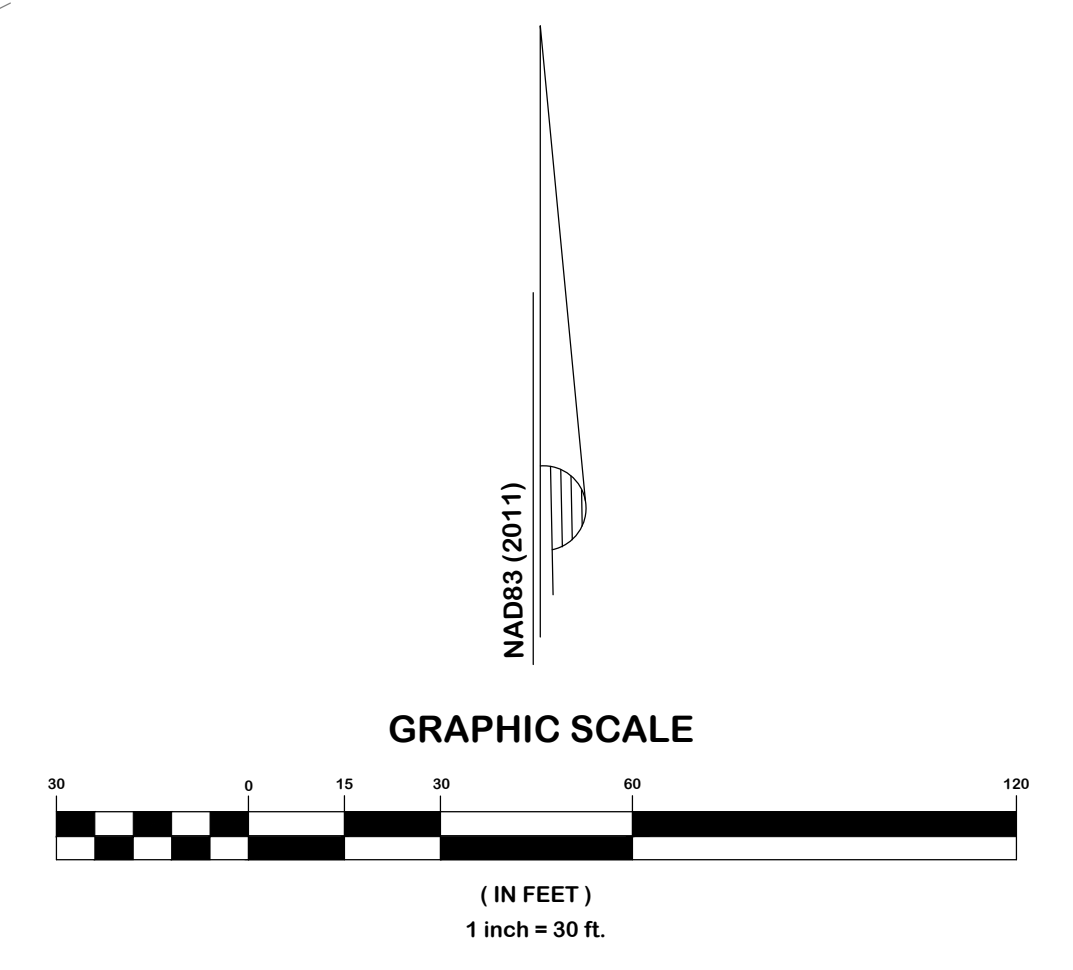
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Wayne Titan

	feet
Width	: 8.46
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0



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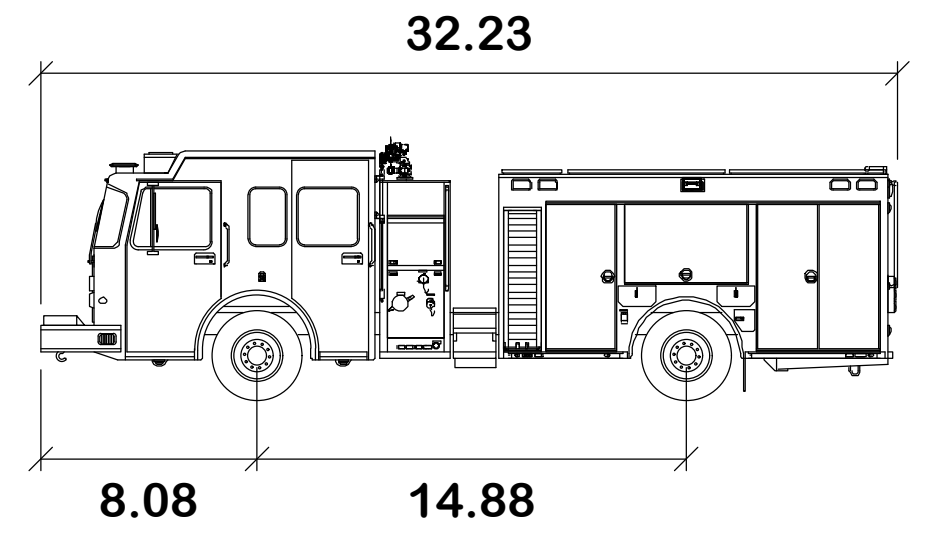
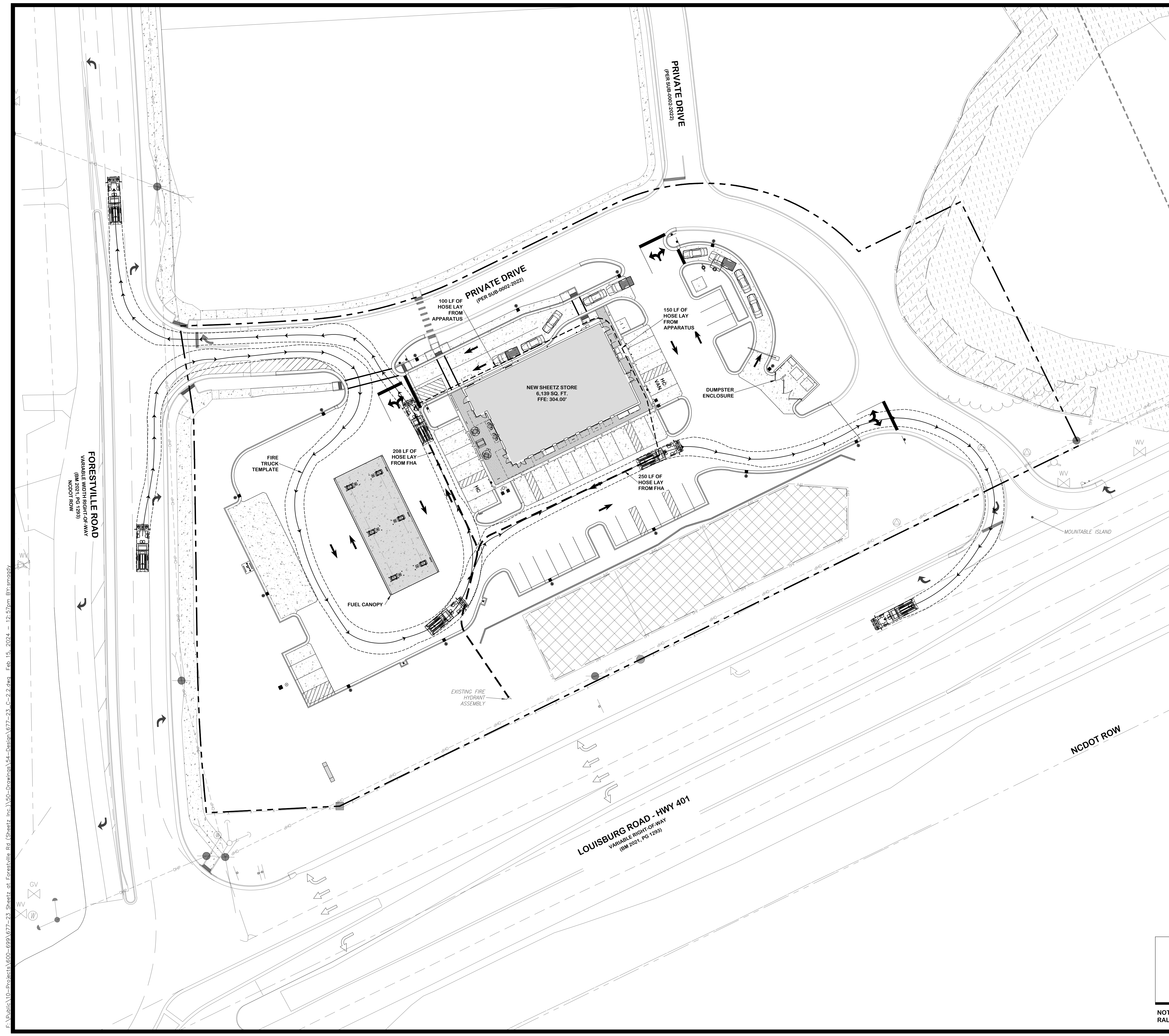
PAST DESIGN GROUP, PA
Engineering | Consulting
 107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
 Phone: 919 848 4399 | Fax: 919 848 4395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:	SHEETZ, INC.
PROJECT ENGINEER:	PJP
PROJECT CADD DESIGNER:	MMP
PROJECT SURVEYOR:	CSH/EL
DATE:	10.18.2023
PROJECT:	SHEETZ AT FORESTVILLE RD
DATE:	10.18.2023
PROJECT ENGINEER:	PJP
PROJECT CADD DESIGNER:	MMP
PROJECT SURVEYOR:	CSH/EL

SHEETZ AT FORESTVILLE RD - LOT 1
TIER 3 ADMINISTRATIVE SITE REVIEW
TRASH TRUCK INGRESS/EGRESS PLAN

NO.	REVISION	DATE

DRAWING SHEET
C-2.1
 PROJECT NUMBER
677-23



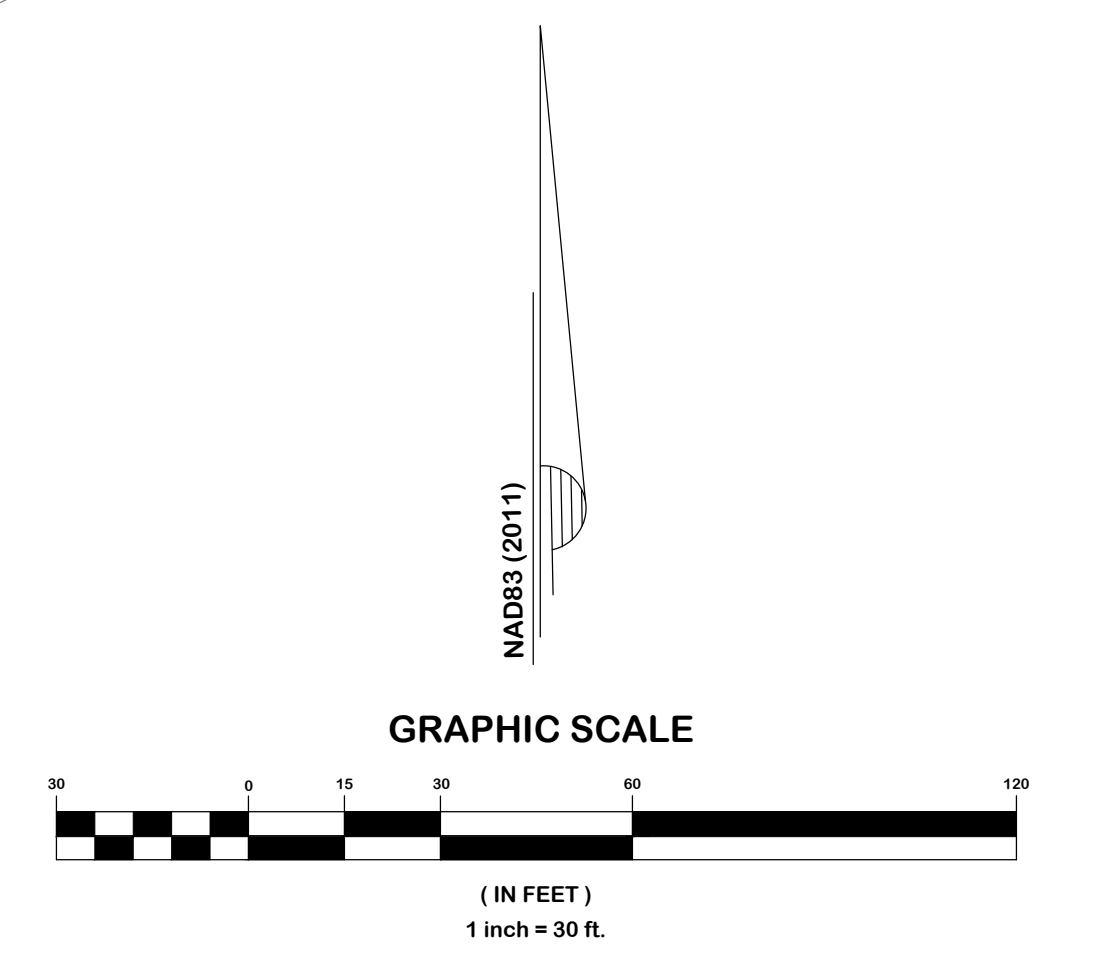
AFAR Pumper Pierce Velocity

	feet
Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0

PBST DESIGN GROUP, PA
 Engineering | Consulting
 107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
 Phone: 919 848 4399 | Fax: 919 848 4395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:	SHEETZ, INC.
PROJECT ENGINEER:	PJP
PROJECT CADD DESIGNER:	MMP
PROJECT SURVEYOR:	CSH/ELR
DATE:	10.18.2023
PROJECT:	SHEETZ AT FORESTVILLE RD - LOT 1

SHEETZ AT FORESTVILLE RD - LOT 1
 TIER 3 ADMINISTRATIVE SITE REVIEW
 FIRE TRUCK INGRESS/EGRESS PLAN



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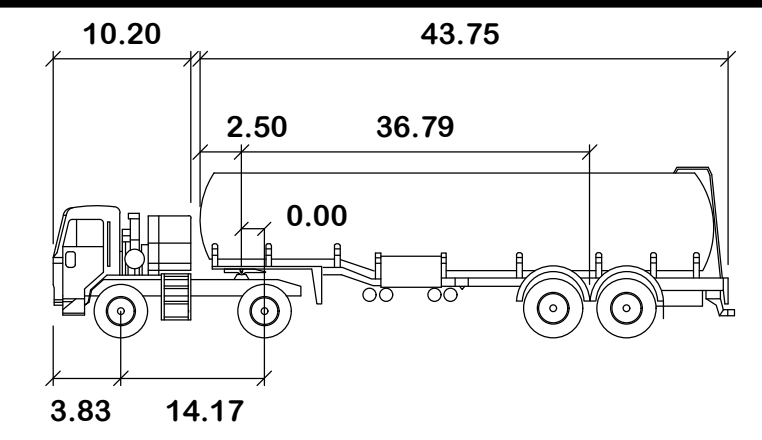
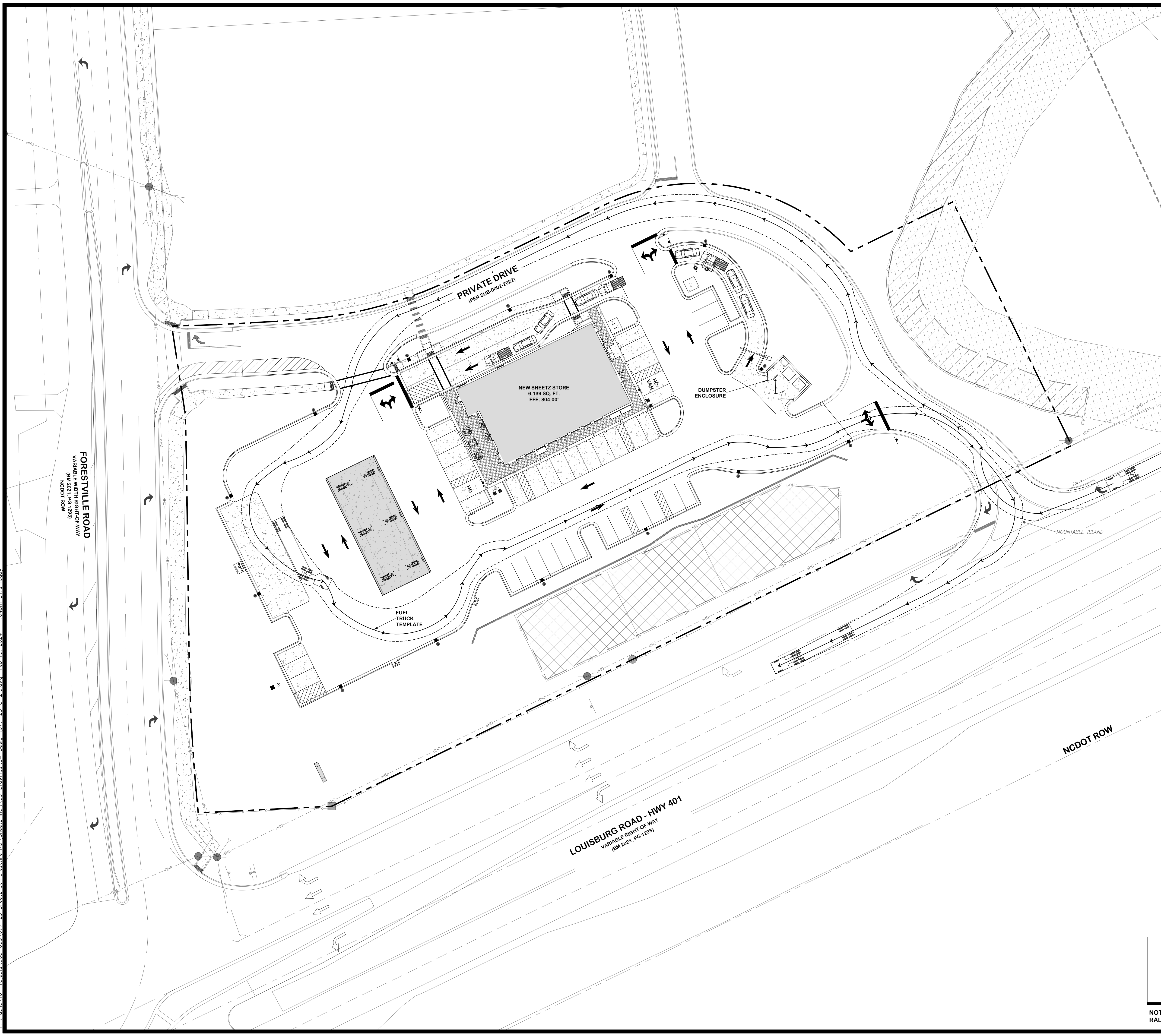
NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

NO.	REVISION	DATE

DRAWING SHEET
C-2.2
 PROJECT NUMBER
677-23

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SHEETZ FUEL TRI-STATE

	feet	
Tractor Width	: 8.00	Lock to Lock Time : 6.0
Trailer Width	: 8.50	Steering Angle : 28.4
Tractor Track	: 8.00	Articulating Angle : 70.0
Trailer Track	: 8.50	

PAST DESIGN GROUP, PA
Engineering | Consulting
 107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
 Phone: 919 846 4399 | Fax: 919 846 4395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:
 SHEETZ, INC.
 5700 SOUTH AVENUE
 ALTOONA, PA 16602

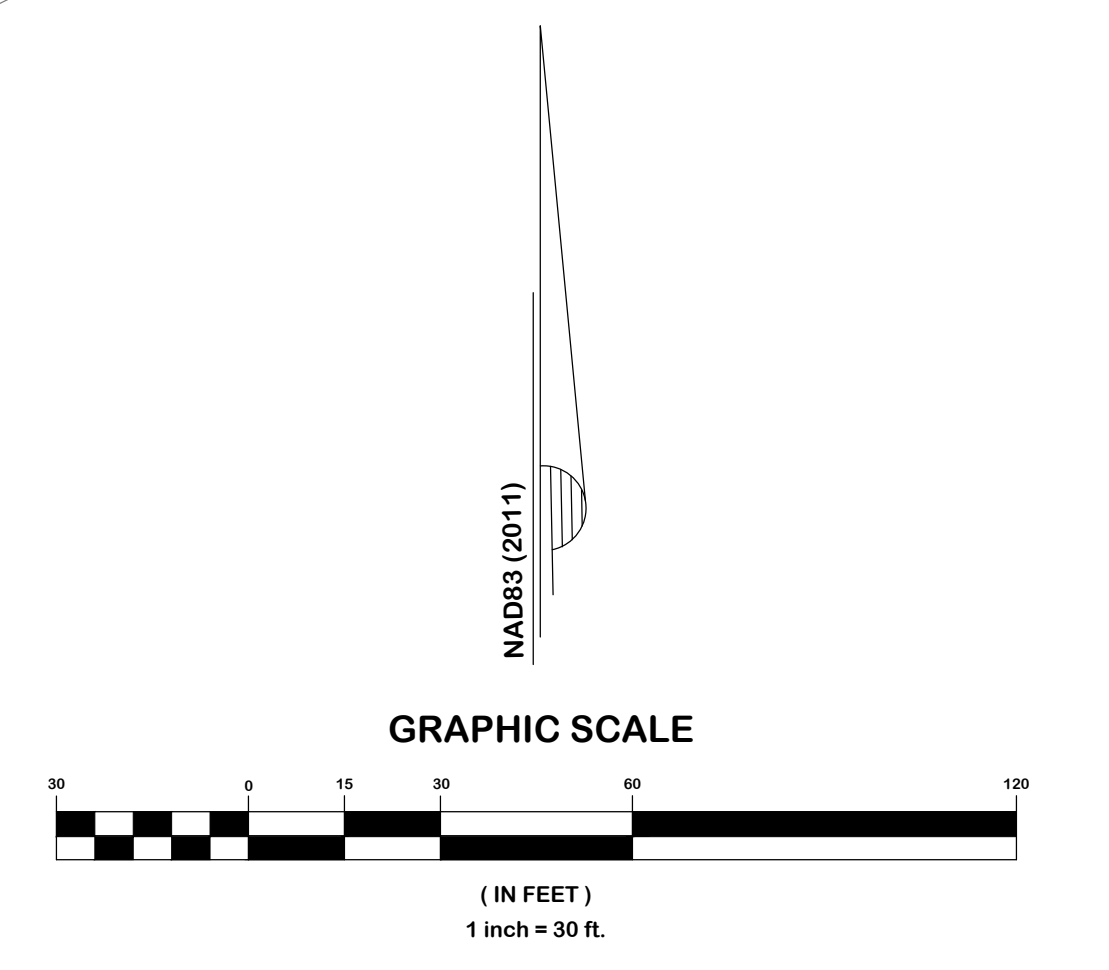
DATE: 10.19.2023

PROJECT ENGINEER:
 PJP

PROJECT CADD DESIGNER:
 MWP

PROJECT SURVEYOR:
 GWL

SHEETZ AT FORESTVILLE RD - LOT 1
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
TIER 3 ADMINISTRATIVE SITE REVIEW
FUEL TRUCK INGRESS/EGRESS PLAN



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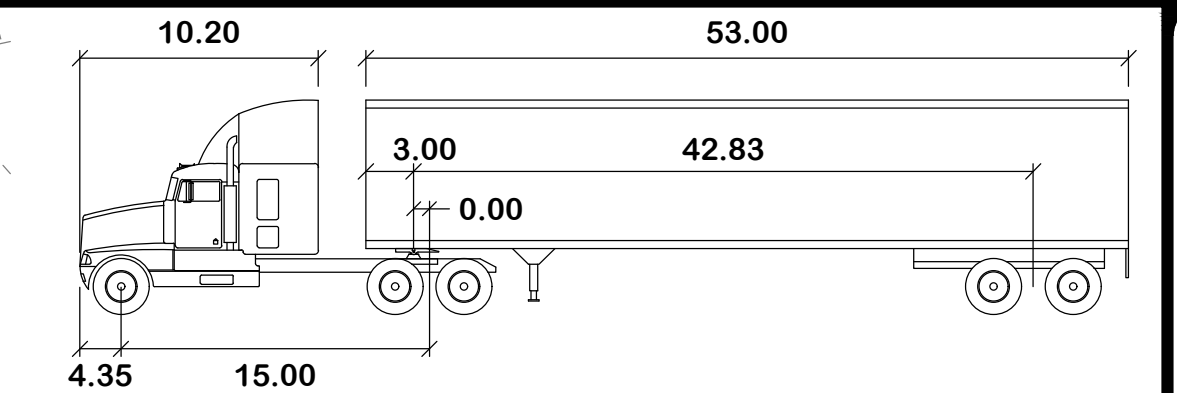
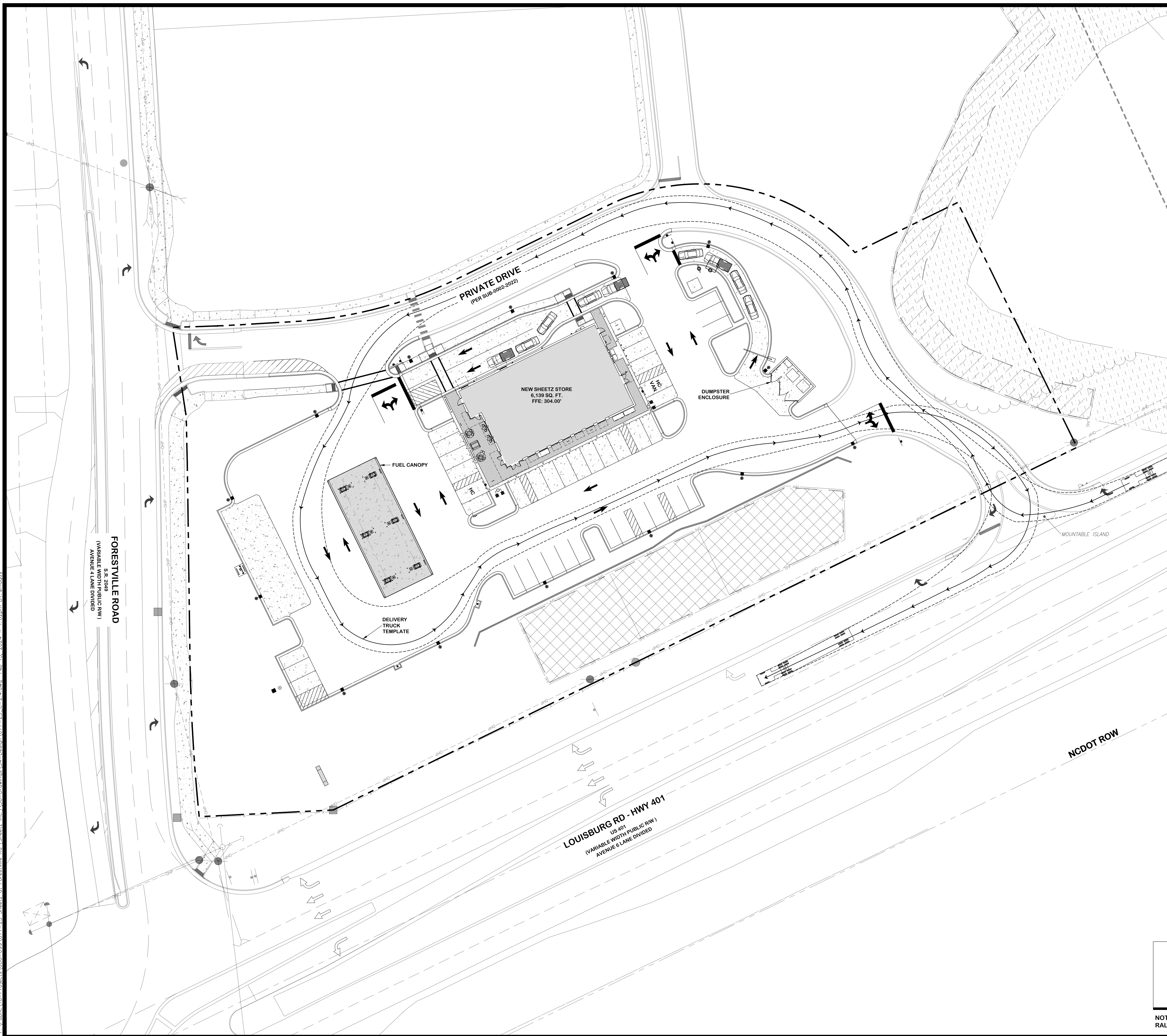
NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

NO.	REVISION	DATE

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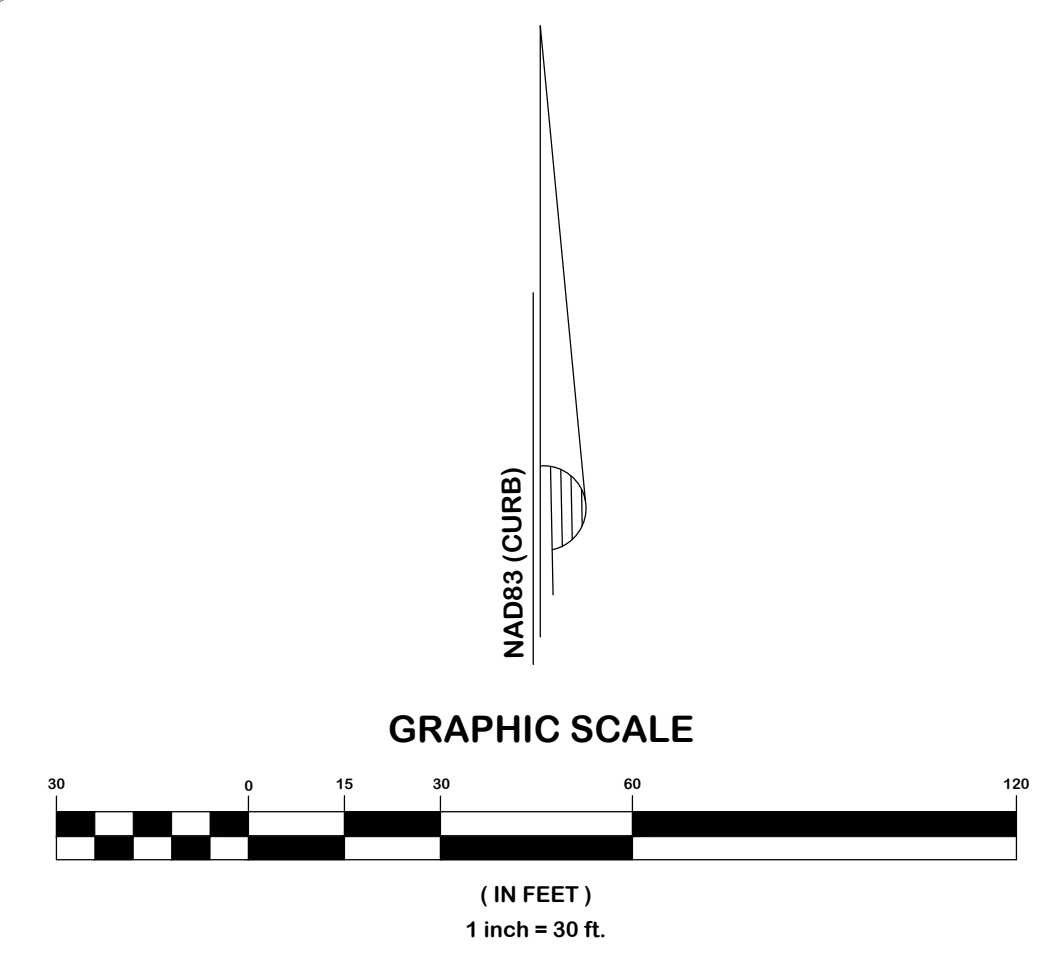
PROJECT NUMBER
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SHEETZ DELI VOLVO SPECS

	feet	
Tractor Width	: 8.00	Lock to Lock Time : 6.0
Trailer Width	: 8.50	Steering Angle : 28.4
Tractor Track	: 8.00	Articulating Angle : 70.0
Trailer Track	: 8.50	



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PAST DESIGN GROUP, PA
Engineering | Consulting
 107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
 Phone: 919 846 4399 | Fax: 919 846 4395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:
SHEETZ, INC.
5700 SOUTH AVENUE
ALTOONA, PA 16802

DATE: 10.19.2023

PROJECT ENGINEER:
PJP

PROJECT CADD DESIGNER:
MMP

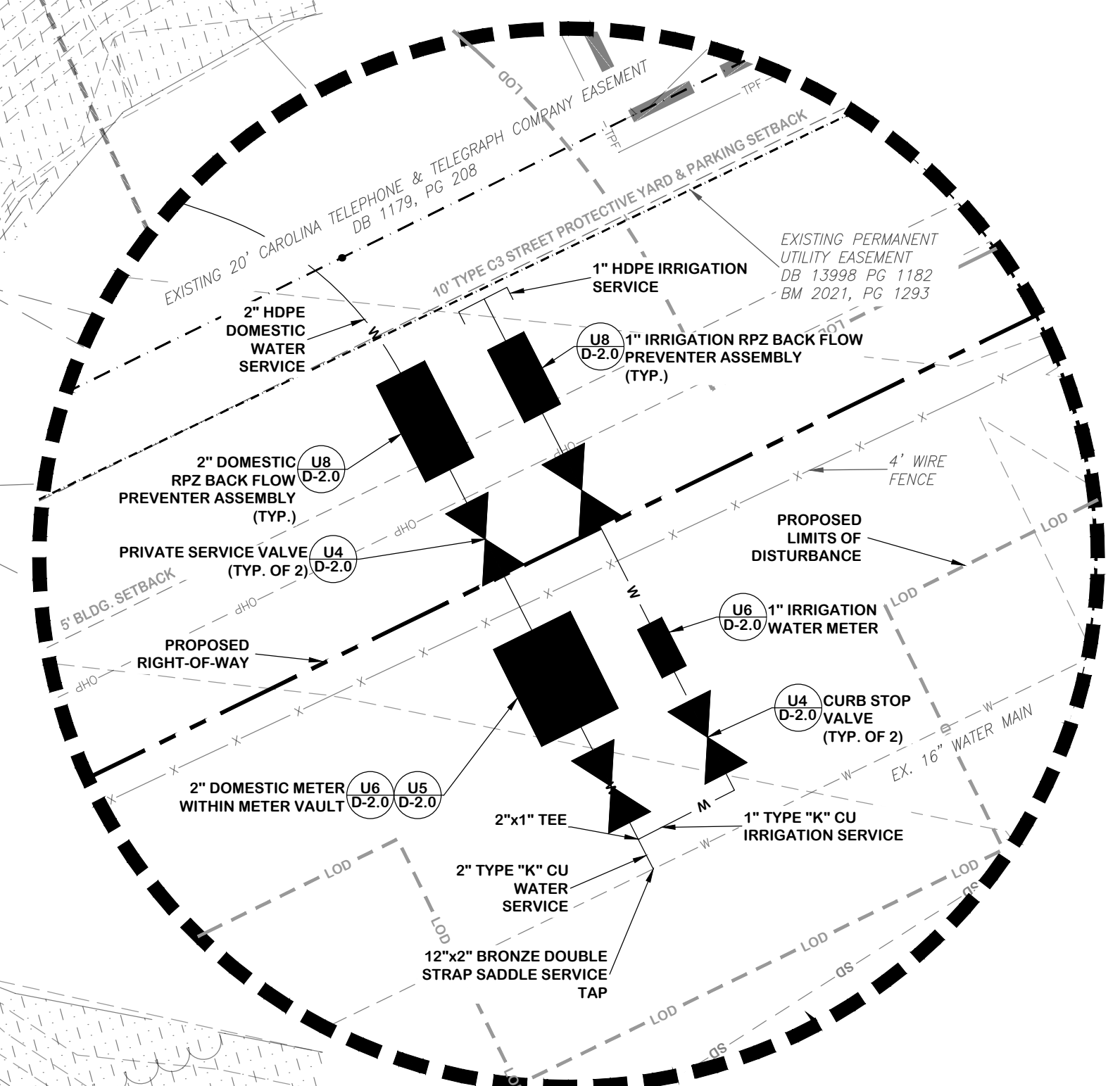
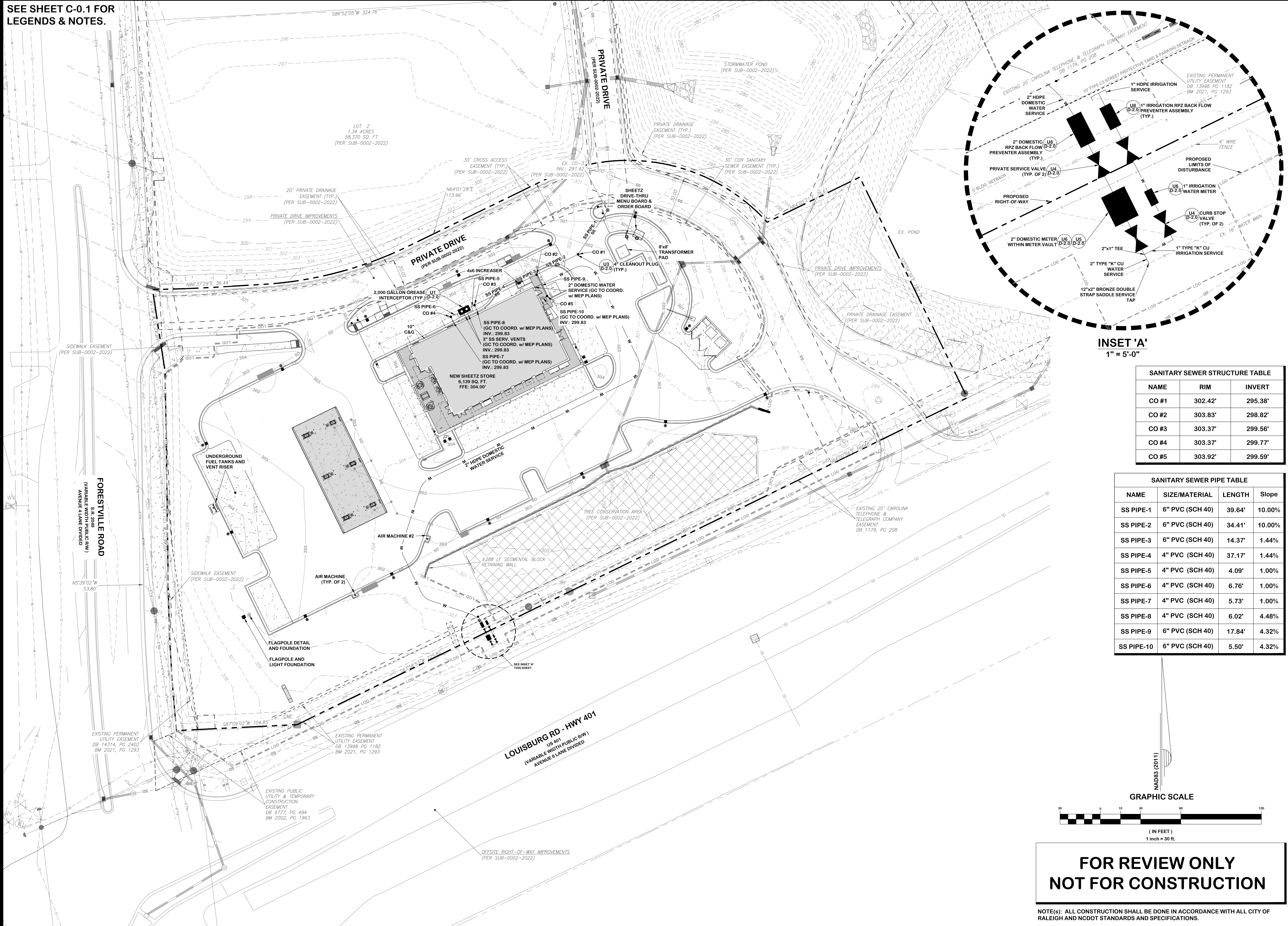
PROJECT SURVEYOR:
SHEETZ

SHEETZ AT FORESTVILLE RD - LOT 1
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
TIER 3 ADMINISTRATIVE SITE REVIEW
DELIVERY TRUCK INGRESS/EGRESS PLAN

NO.	REVISION	DATE

DRAWING SHEET
C-2.4
 PROJECT NUMBER
677-23

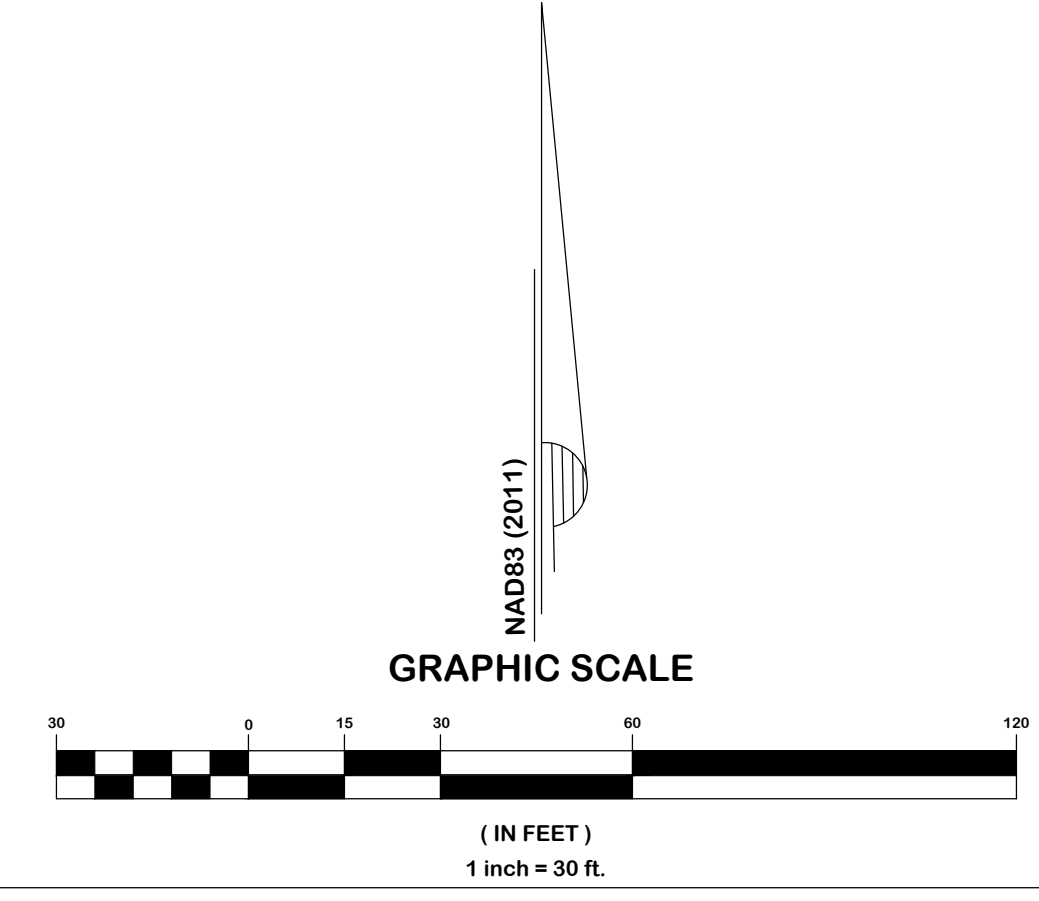
SEE SHEET C-0.1 FOR LEGENDS & NOTES.



INSET 'A'
1" = 5'-0"

SANITARY SEWER STRUCTURE TABLE		
NAME	RIM	INVERT
CO #1	302.42'	295.38'
CO #2	303.83'	298.82'
CO #3	303.37'	299.56'
CO #4	303.37'	299.77'
CO #5	303.92'	299.59'

SANITARY SEWER PIPE TABLE			
NAME	SIZE/MATERIAL	LENGTH	Slope
SS PIPE-1	6" PVC (SCH 40)	39.64'	10.00%
SS PIPE-2	6" PVC (SCH 40)	34.41'	10.00%
SS PIPE-3	6" PVC (SCH 40)	14.37'	1.44%
SS PIPE-4	4" PVC (SCH 40)	37.17'	1.44%
SS PIPE-5	4" PVC (SCH 40)	4.09'	1.00%
SS PIPE-6	4" PVC (SCH 40)	6.76'	1.00%
SS PIPE-7	4" PVC (SCH 40)	5.73'	1.00%
SS PIPE-8	4" PVC (SCH 40)	6.02'	4.48%
SS PIPE-9	6" PVC (SCH 40)	17.84'	4.32%
SS PIPE-10	6" PVC (SCH 40)	5.50'	4.32%



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PAST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 300, Raleigh, North Carolina 27601
Phone: 919 846 4399 | Fax: 919 946 6951 | NC LICENSE NUMBER: C-3311

PREPARED FOR:
SHEETZ, INC.
5700 SOUTH AVENUE
JALOCINA, PA 16022
DATE: 10.18.2023
PROJECT ENGINEER:
PJP
PROJECT CADD DESIGNER:
MMP
PROJECT SURVEYOR:
GSH/ER

SHEETZ AT FORESTVILLE RD - LOT 1
RALEIGH, WAKE COUNTY, NORTH CAROLINA
TIER 3 ADMINISTRATIVE SITE REVIEW
UTILITY PLAN

NO.	REVISION	DATE

DRAWING SHEET
C-3.0

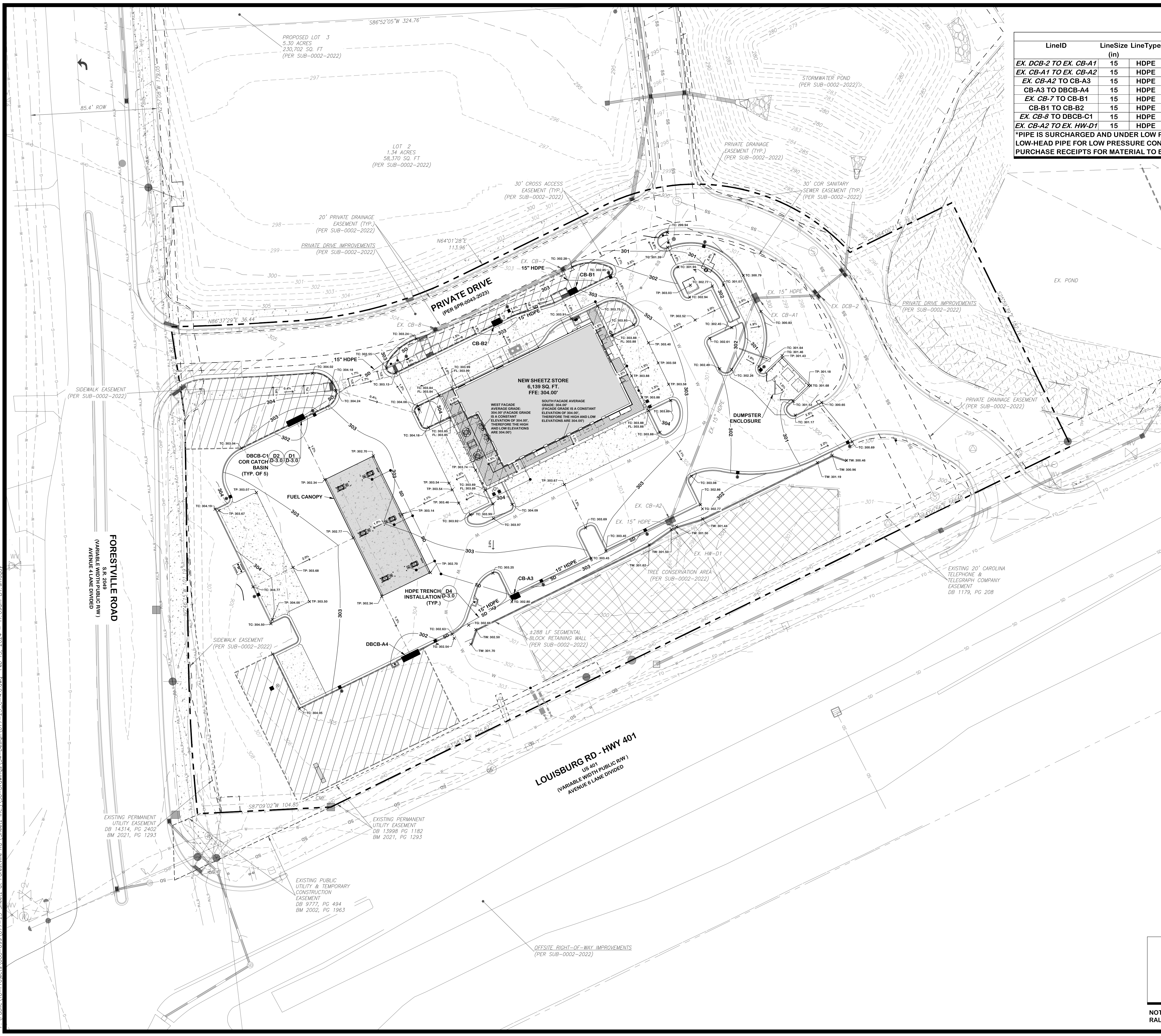
PROJECT NUMBER
677-23

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SEE SHEET C-0.1 FOR LEGENDS & NOTES.

STORM CHART								
LineID	LineSize (in)	LineType	InvertDn (ft)	InvertUp (ft)	LineLength (ft)	LineSlope (%)	Grnd/RimElev Dn (ft)	Grnd/RimElev Up (ft)
EX. DCB-2 TO EX. CB-A1	15	HDPE	293.02	294.87	40.02	4.62	297.XX	300.14
EX. CB-A1 TO EX. CB-A2	15	HDPE	294.97	296.58	160.87	1.00	300.14	302.16
EX. CB-A2 TO CB-A3	15	HDPE	296.68	297.84	116.33	1.00	302.16	302.39
CB-A3 TO DBCB-A4	15	HDPE	297.94	298.72	77.90	1.00	302.39	301.75
EX. CB-7 TO CB-B1	15	HDPE	294.82	296.26	16.35	8.81	30X.00	303.10
CB-B1 TO CB-B2	15	HDPE	299.26	299.82	55.52	1.00	303.10	302.82
EX. CB-8 TO DBCB-C1	15	HDPE	296.78	297.87	109.09	1.00	302.62	301.69
EX. CB-A2 TO EX. HW-D1	15	HDPE	297.93	298.00	7.20	1.00	302.16	299.25

*PIPE IS SURCHARGED AND UNDER LOW PRESSURE CONDITION. CONTRACTOR TO USE GASKETED, WATERTIGHT, LOW-HEAD PIPE FOR LOW PRESSURE CONDITIONS. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND PROVIDE PURCHASE RECEIPTS FOR MATERIAL TO ENGINEER.



PAST DESIGN GROUP, PA
 Engineering & Consulting
 107 Fayetteville Street, Suite 300, Raleigh, North Carolina 27601
 Phone: 919 946 4399 | Fax: 919 946 4395 | NC LICENSE NUMBER: C-3311

PREPARED FOR:
 SHEETZ, INC.
 5700 SOUTH AVENUE
 ALDOUNA, PA 16822
 DATE: 10.19.2023
 PROJECT ENGINEER:
 PJP
 PROJECT CADD DESIGNER:
 MWP
 PROJECT SURVEYOR:
 GWL

SHEETZ AT FORESTVILLE RD - LOT 1
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
TIER 3 ADMINISTRATIVE SITE REVIEW
GRADING AND STORM DRAINAGE PLAN

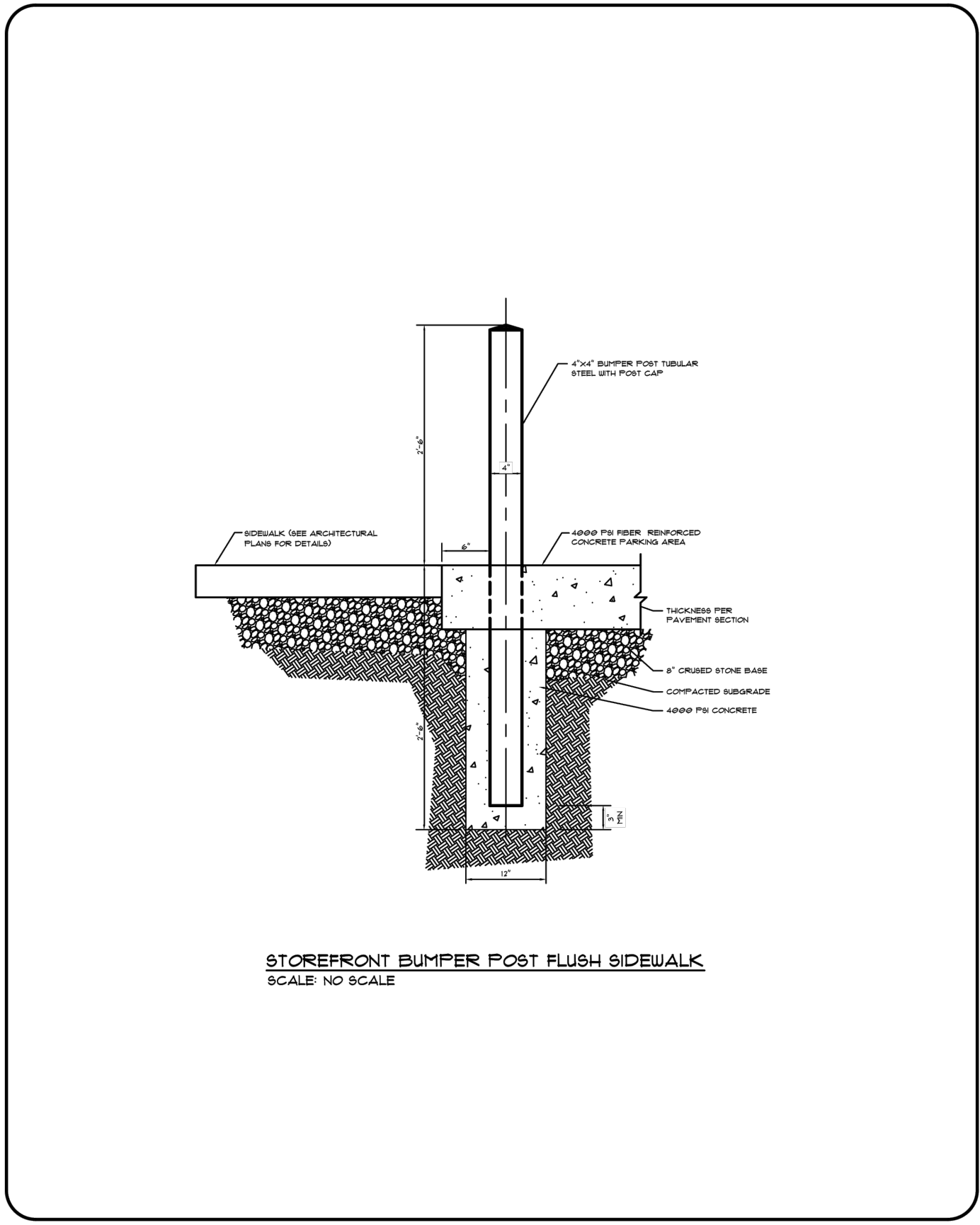
NO.	REVISION	DATE

DRAWING SHEET
C-4.0
 PROJECT NUMBER
677-23

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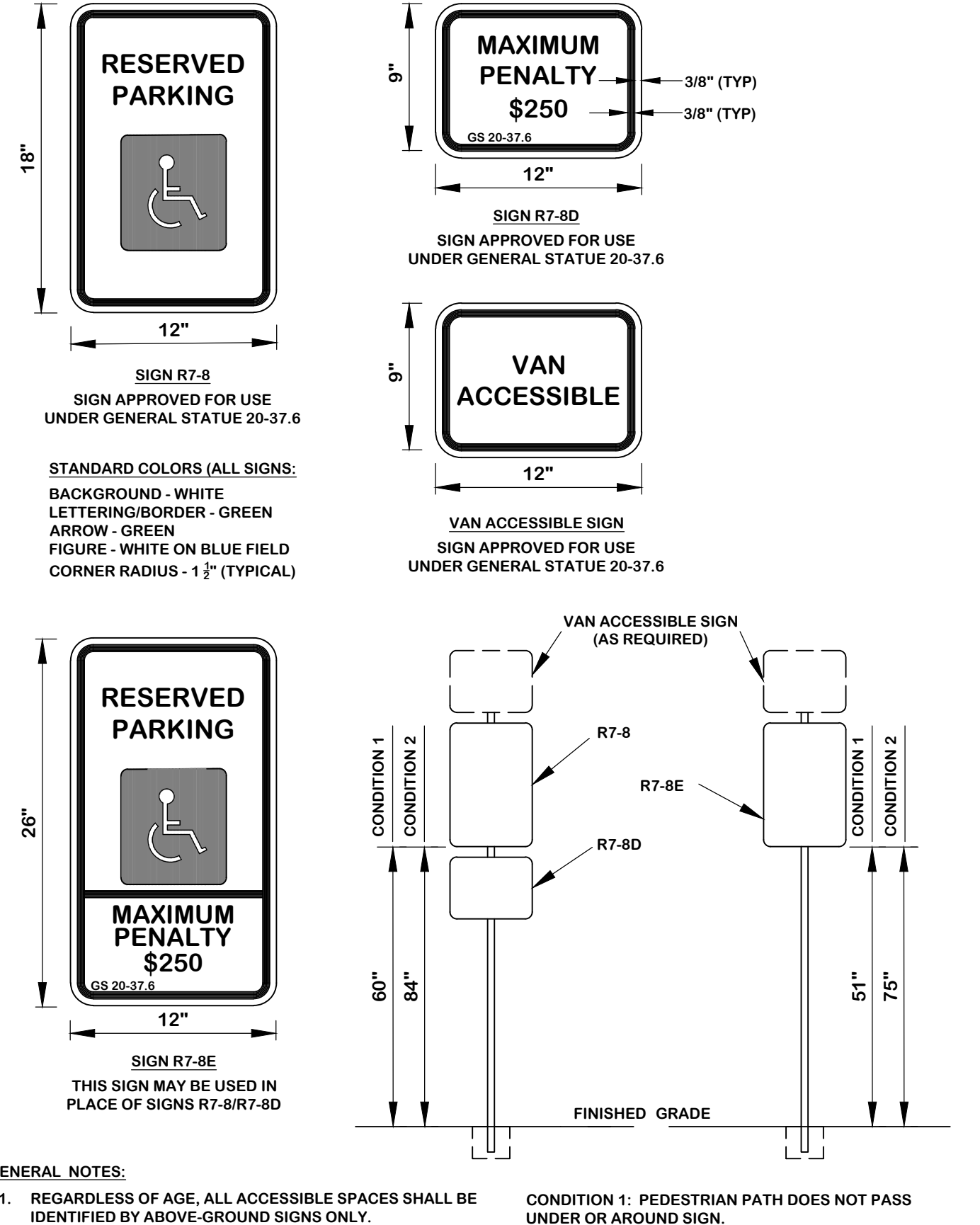
NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

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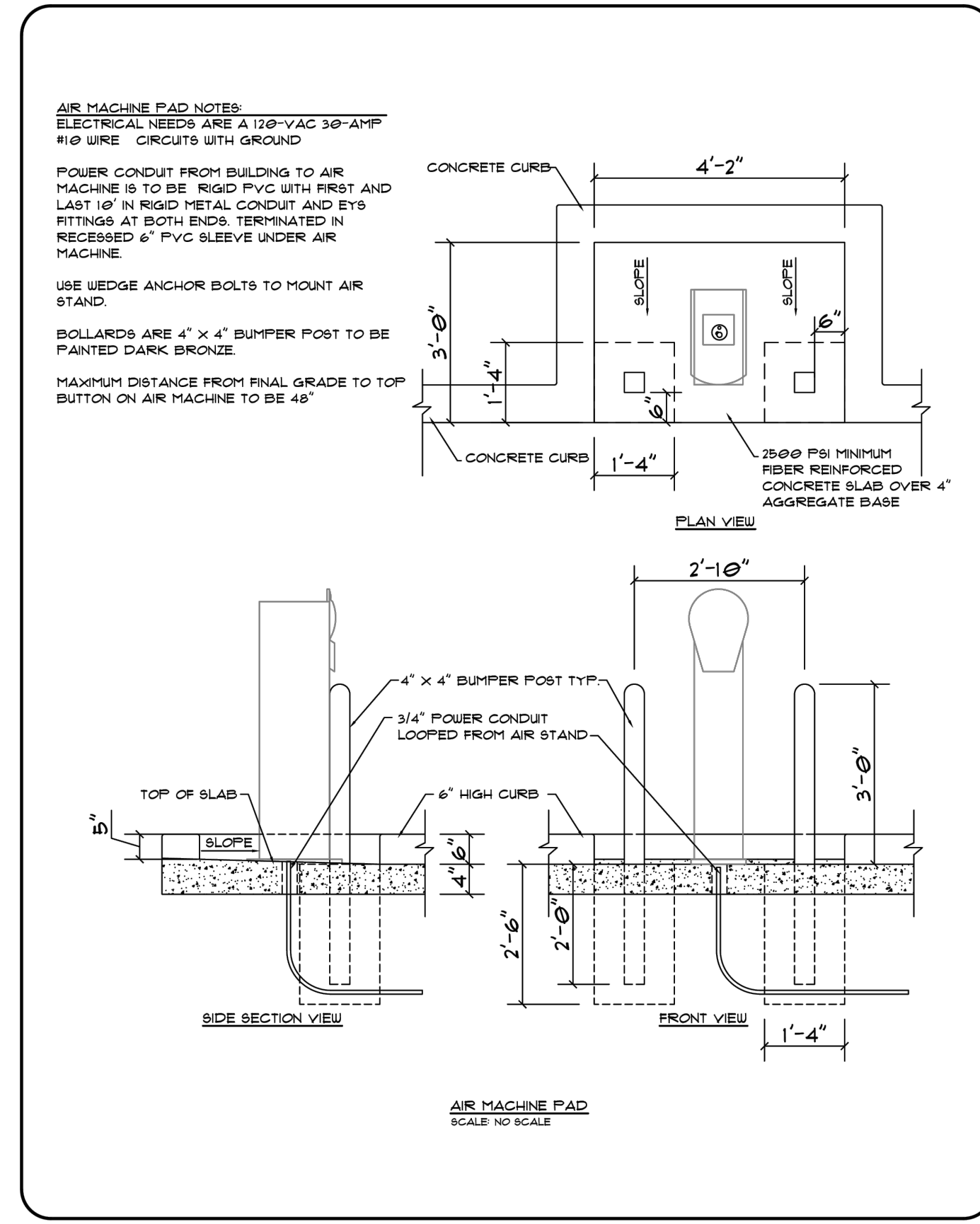
DATE	BY	DESCRIPTION	REVISIONS
SHEETZ			
STOREFRONT BUMPER POST DETAIL			SCALE
			DATE: 11/10/2023
			DRAWN BY: DAH
			01

S1 STOREFRONT BUMPER POST



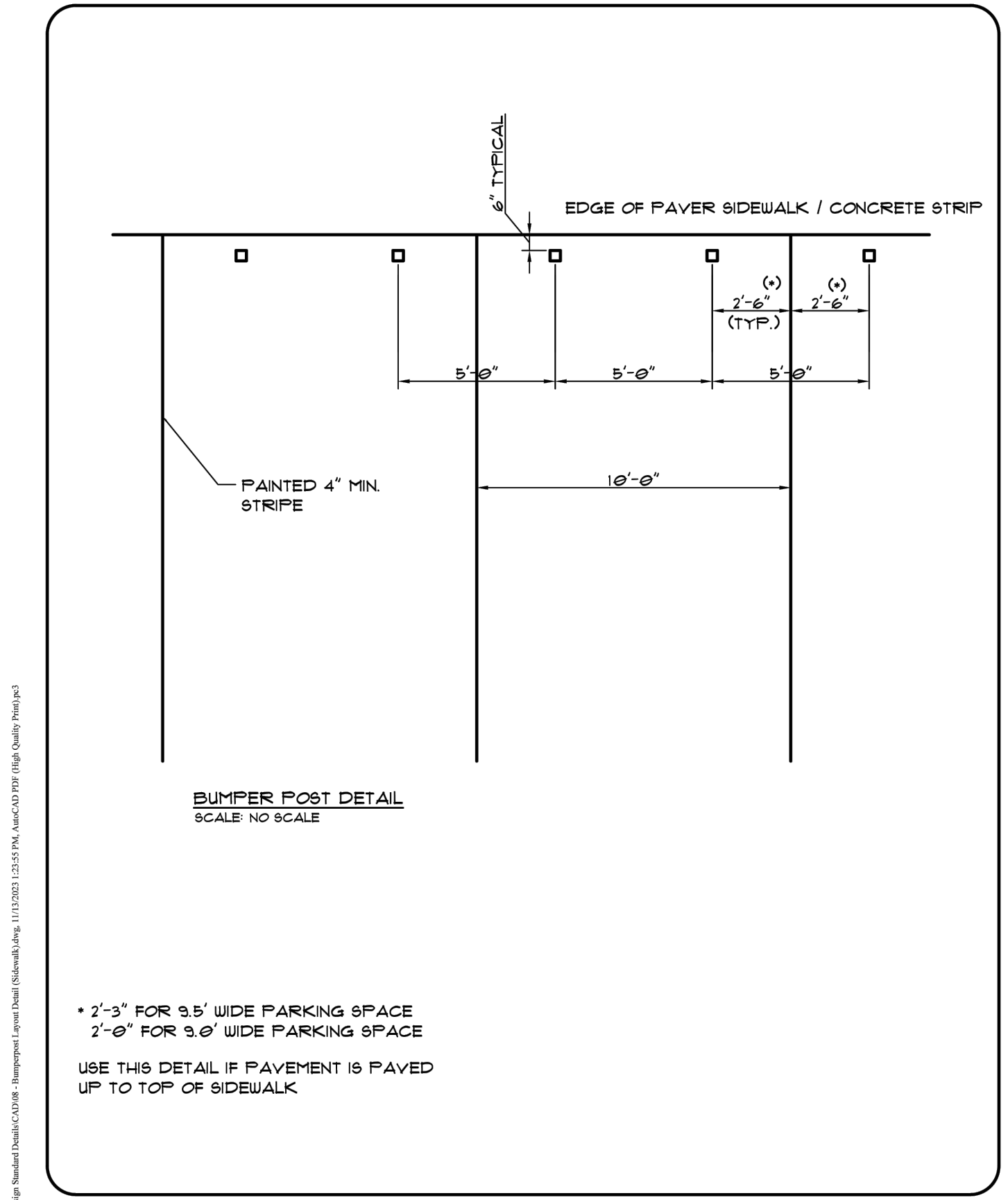
DATE	BY	DESCRIPTION	REVISIONS
SHEETZ			
HANDICAP SIGN			SCALE
			DATE: 11/10/2023
			DRAWN BY: DAH
			02

S2 HANDICAP SIGN



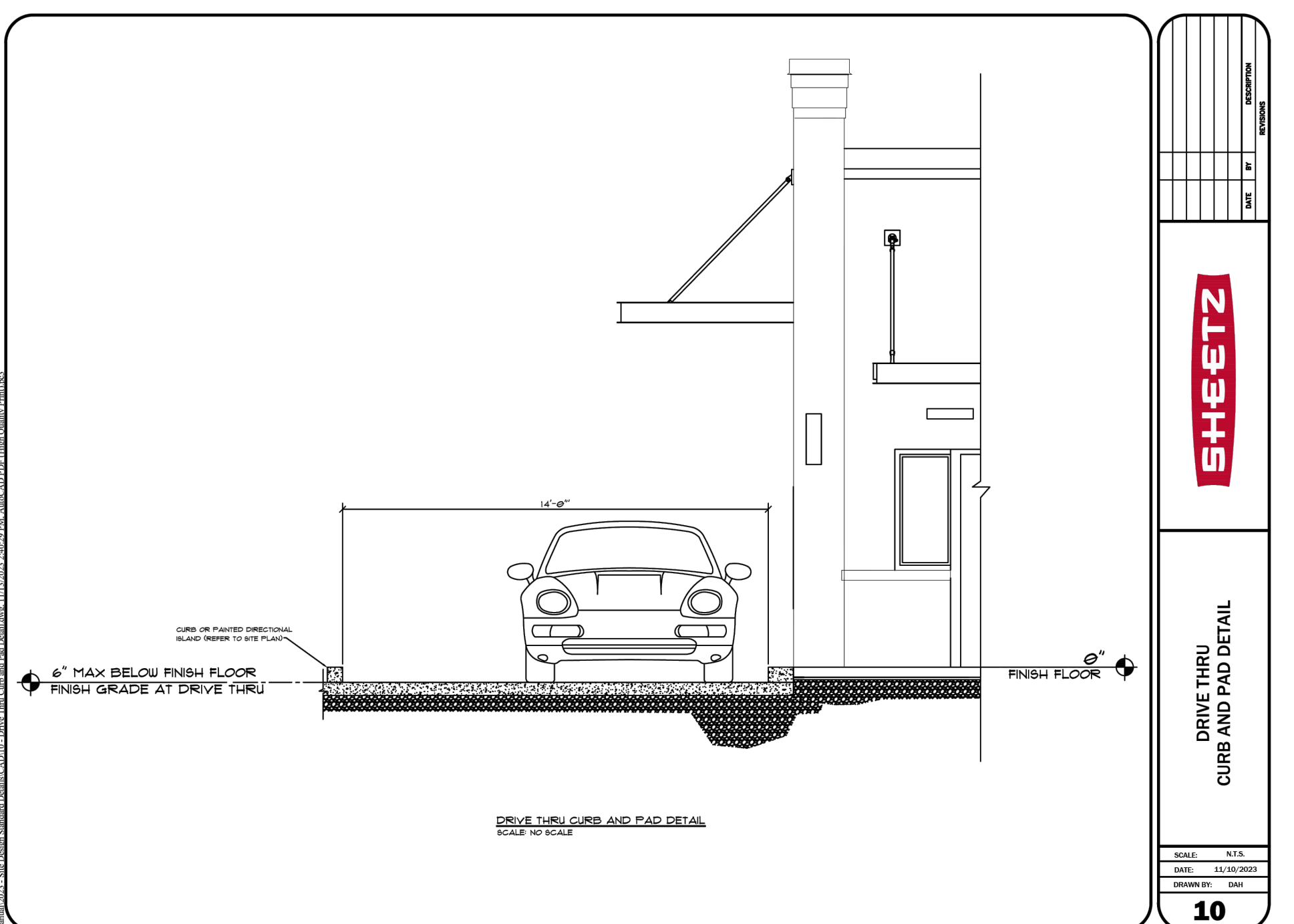
DATE	BY	DESCRIPTION	REVISIONS
SHEETZ			
AIR MACHINE PAD DETAILS			SCALE
			DATE: 11/10/2023
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			05

S3 AIR MACHINE PAD



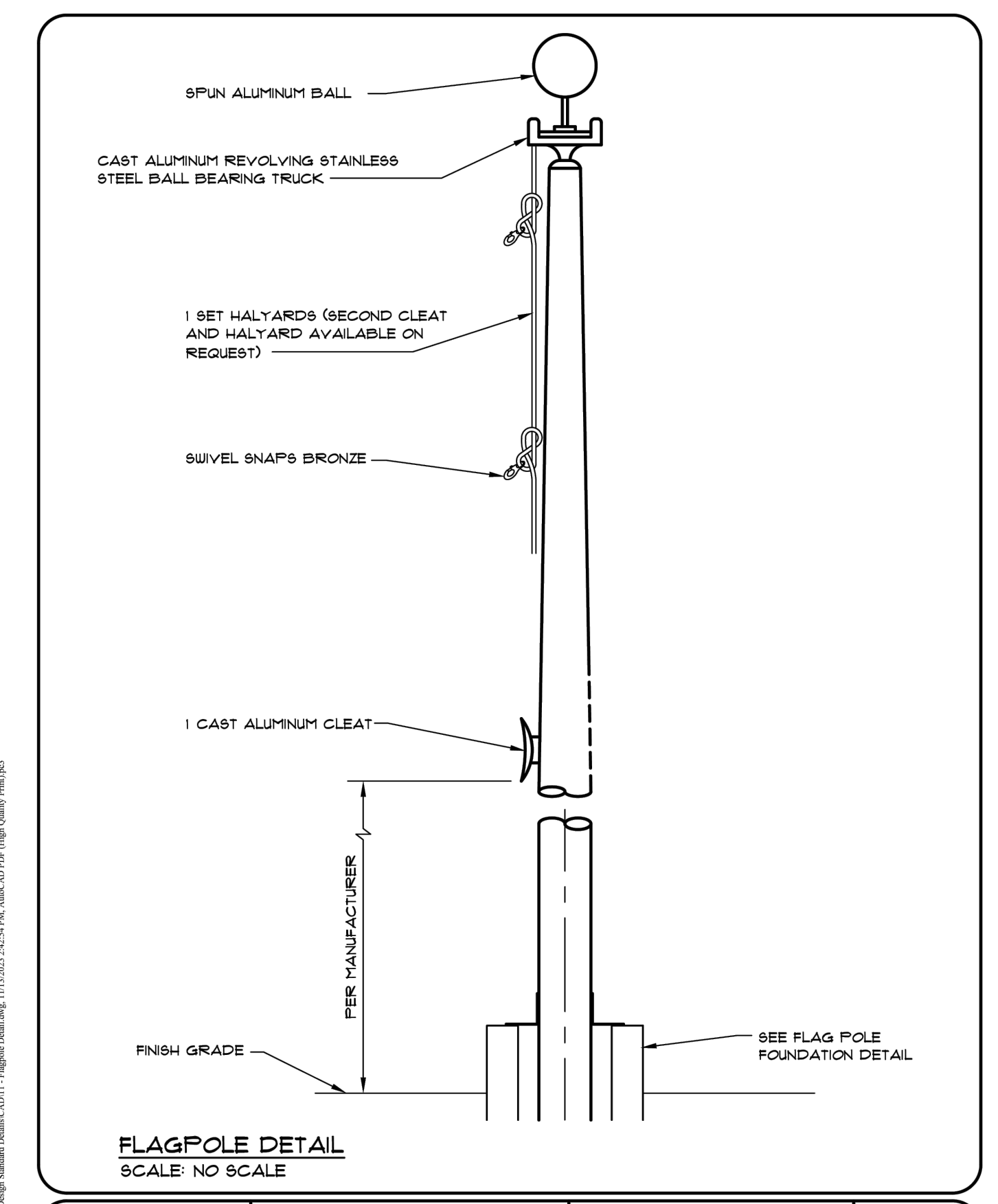
DATE	BY	DESCRIPTION	REVISIONS
SHEETZ			
BUMPERPOST LAYOUT DETAIL AT PAVER SIDEWALK			SCALE
			DATE: 11/10/2023
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			08

S4 BUMPERPOST LAYOUT AT PAVER SIDEWALK



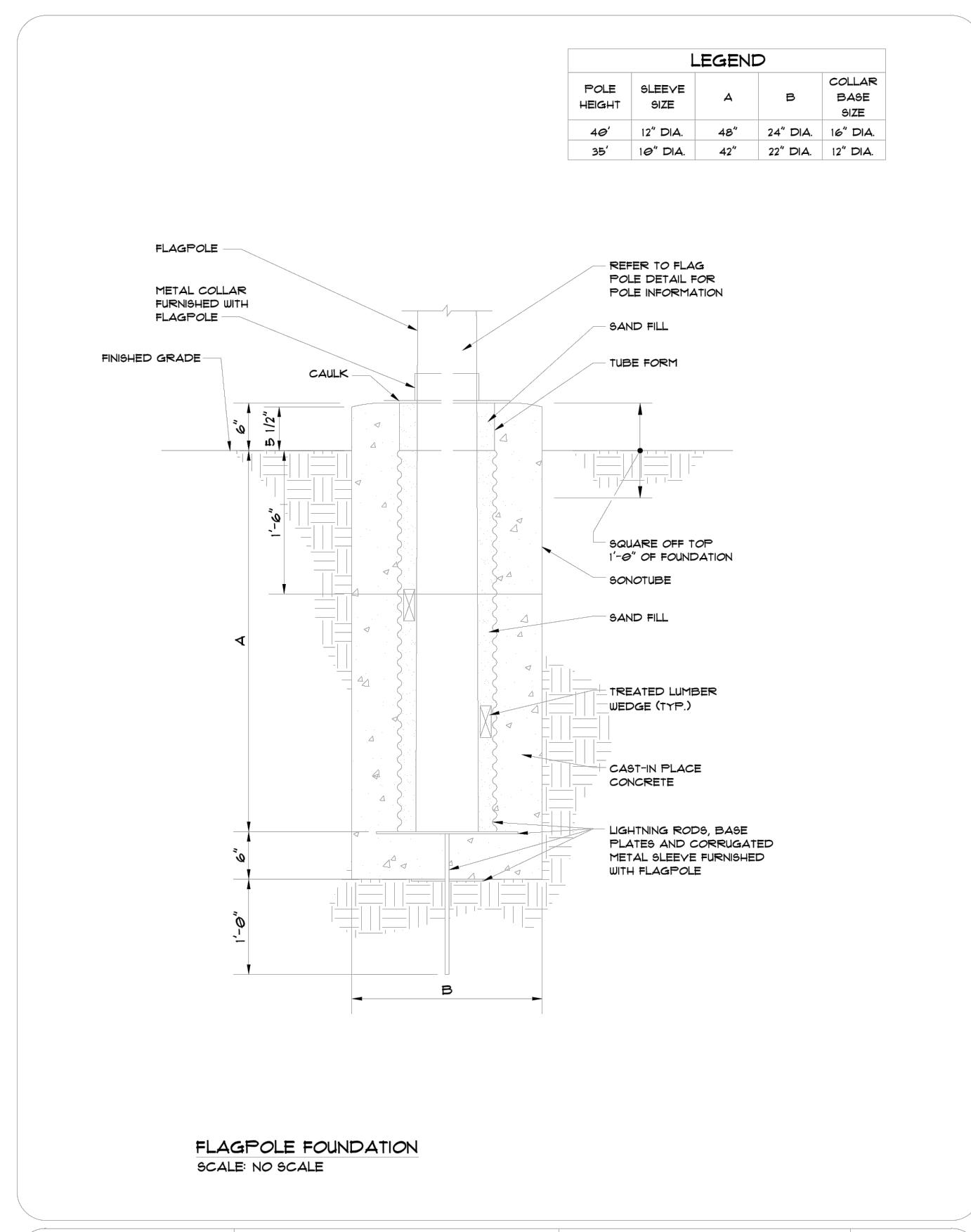
DATE	BY	DESCRIPTION	REVISIONS
SHEETZ			
DRIVE THRU CURB AND PAD DETAIL			SCALE
			DATE: 11/10/2023
			DRAWN BY: DAH
			10

S5 DRIVE THRU CURB AND PAD DETAIL



DATE	BY	DESCRIPTION	REVISIONS
SHEETZ			
FLAGPOLE DETAIL			SCALE
			DATE: 11/10/2023
			DRAWN BY: DAH
			11

S6 FLAGPOLE DETAIL



DATE	BY	DESCRIPTION	REVISIONS
SHEETZ			
FLAGPOLE FOUNDATION			SCALE
			DATE: 11/10/2023
			DRAWN BY: DAH
			12

S7 FLAGPOLE FOUNDATION

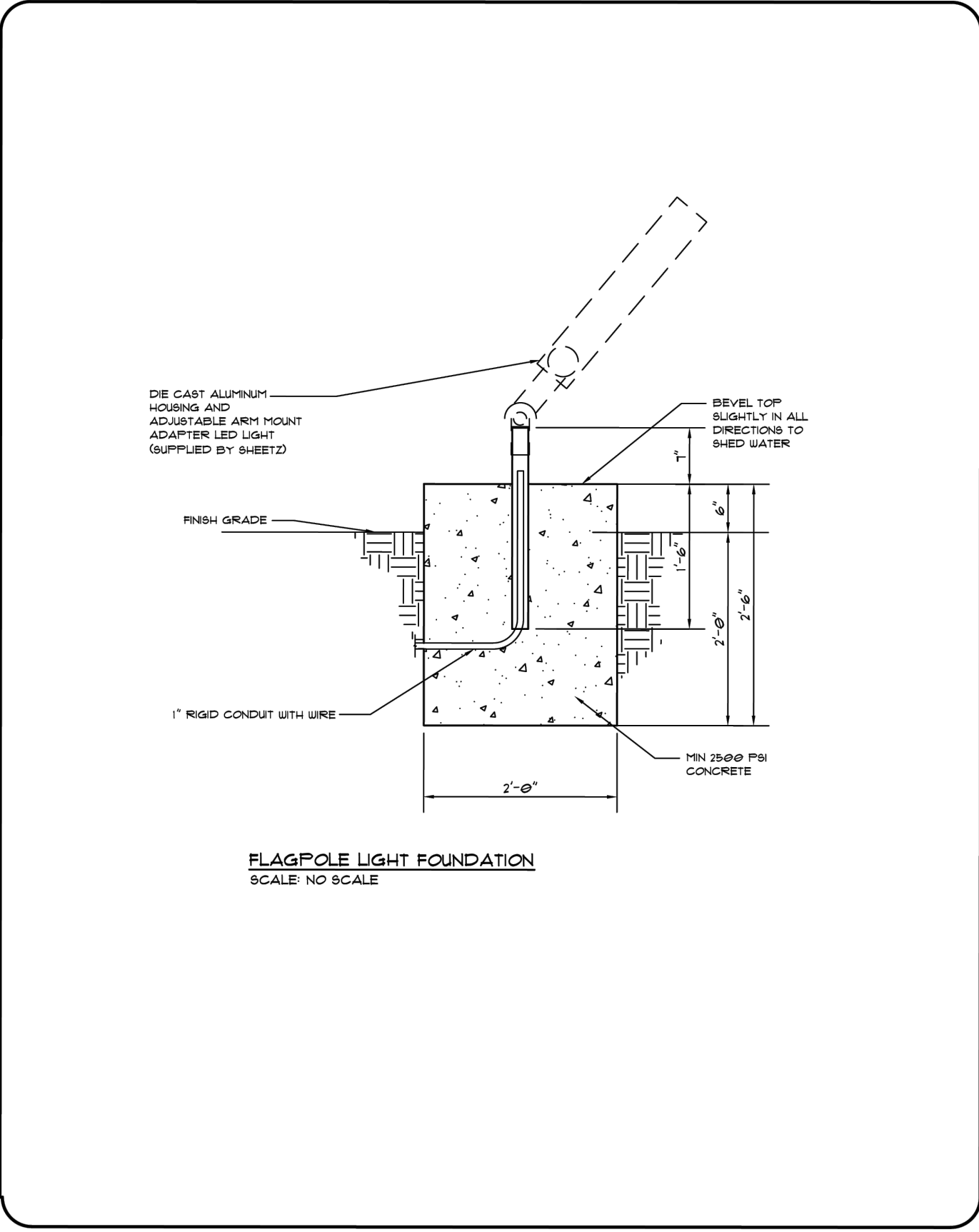
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NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

PREPARED FOR:	SHEETZ, INC.
PROJECT ENGINEER:	5700 SOUTH AVENUE ALCOONA, PA 16802
PROJECT CADD DESIGNER:	DATE: 11/10/2023
PROJECT SURVEYOR:	PROJECT CADD DESIGNER: MMP

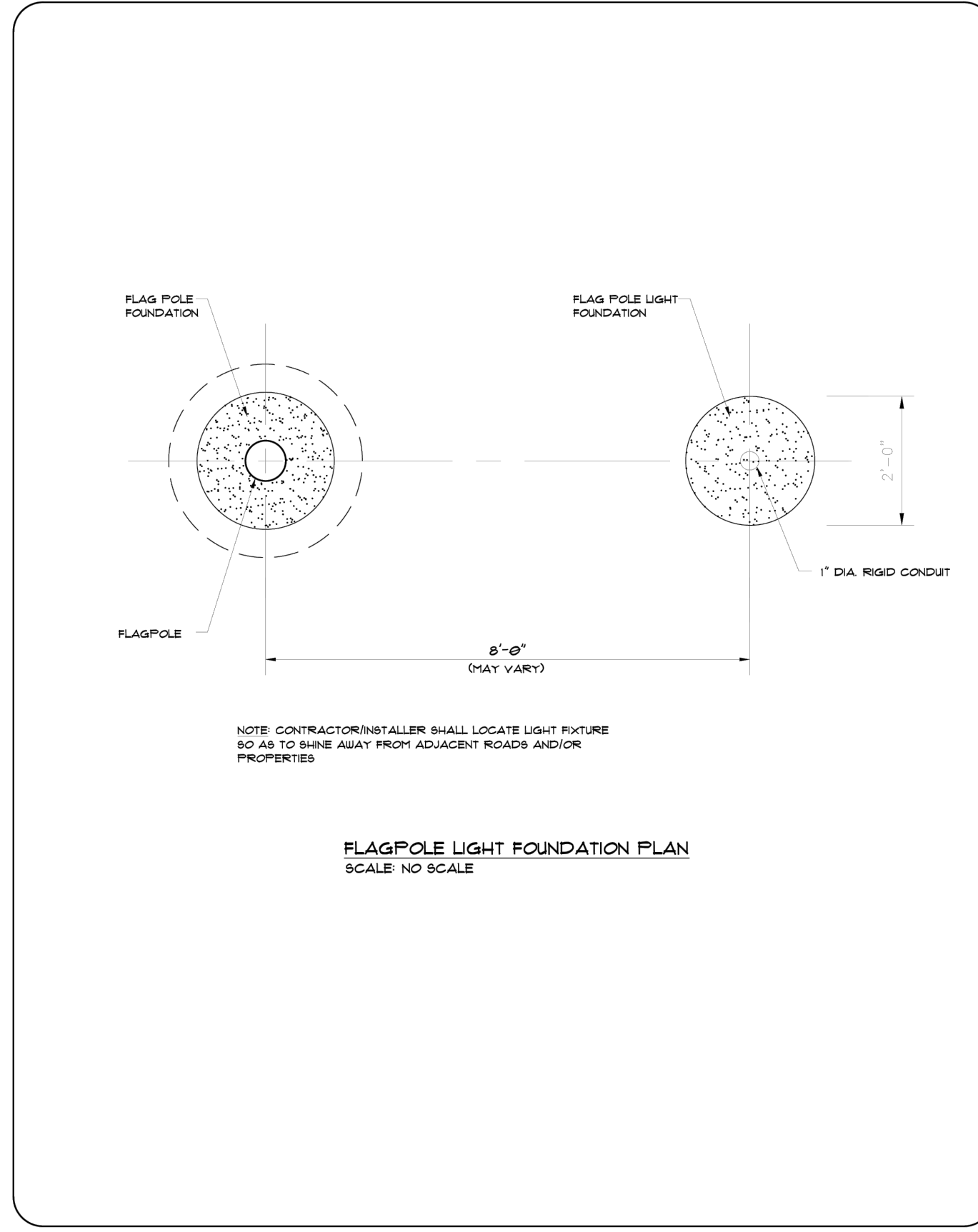
NO.	DATE	REVISION

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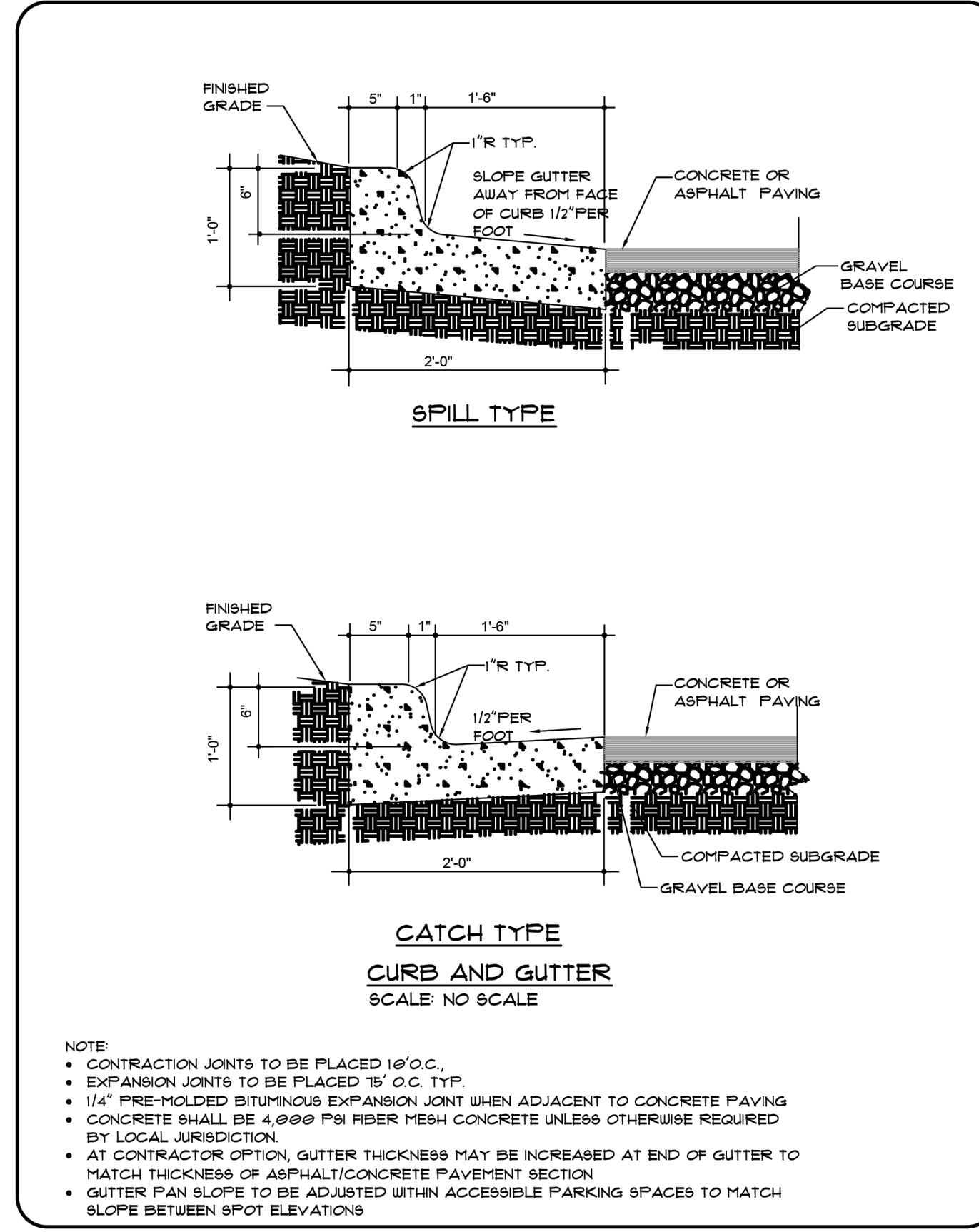
DATE BY DESCRIPTION REVISIONS		
SHEETZ		
FLAGPOLE LIGHT FOUNDATION		SCALE: NO SCALE
DATE: 11/10/2023		SCALE: NO SCALE
DRAWN BY: DAH		SCALE: NO SCALE
13		

S8 FLAGPOLE LIGHT FOUNDATION



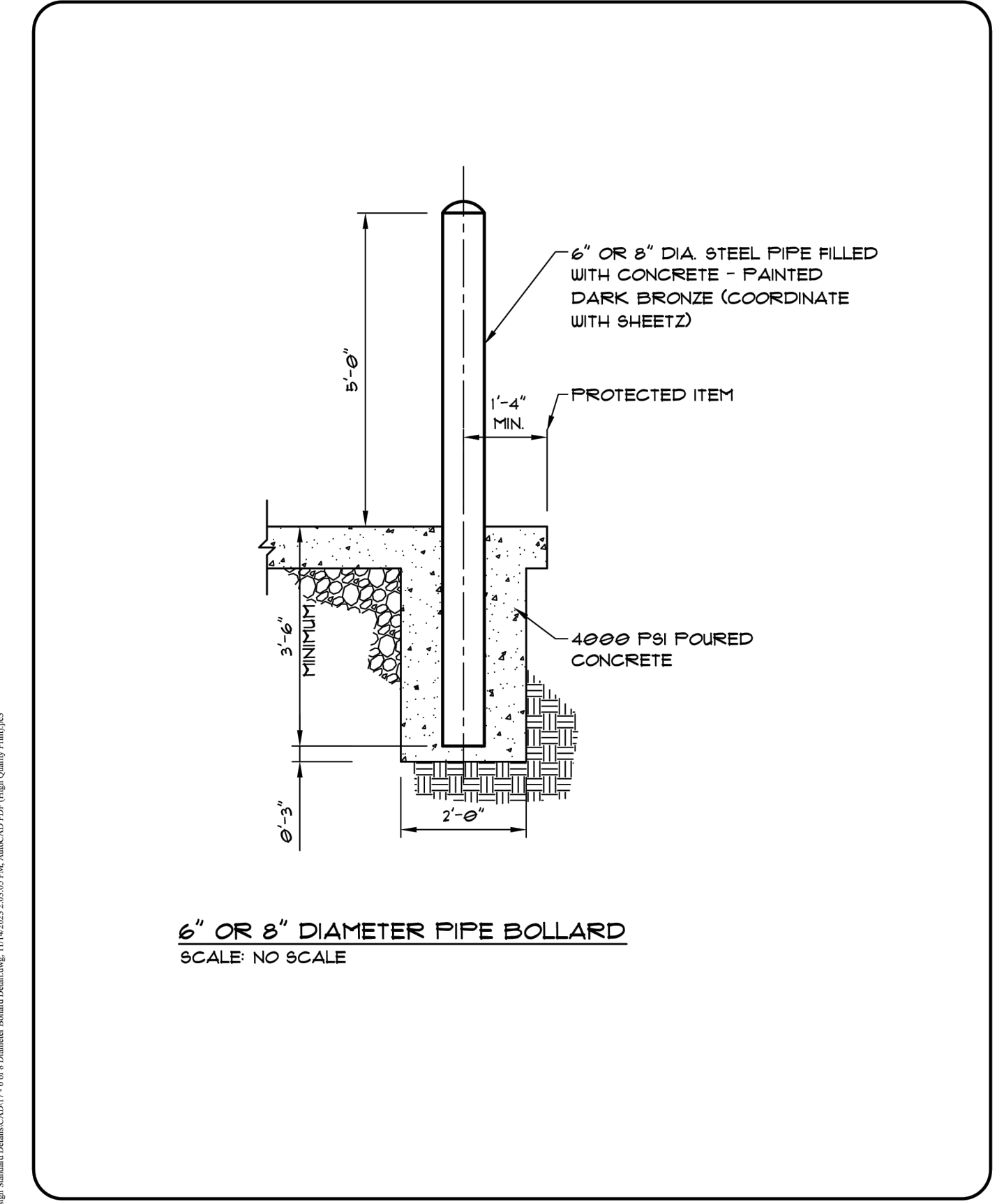
DATE BY DESCRIPTION REVISIONS		
SHEETZ		
FLAGPOLE AND LIGHT FOUNDATION LAYOUT PLAN		SCALE: NO SCALE
DATE: 11/10/2023		SCALE: NO SCALE
DRAWN BY: DAH		SCALE: NO SCALE
14		

S9 FLAGPOLE AND LIGHT FOUNDATION LAYOUT PLAN



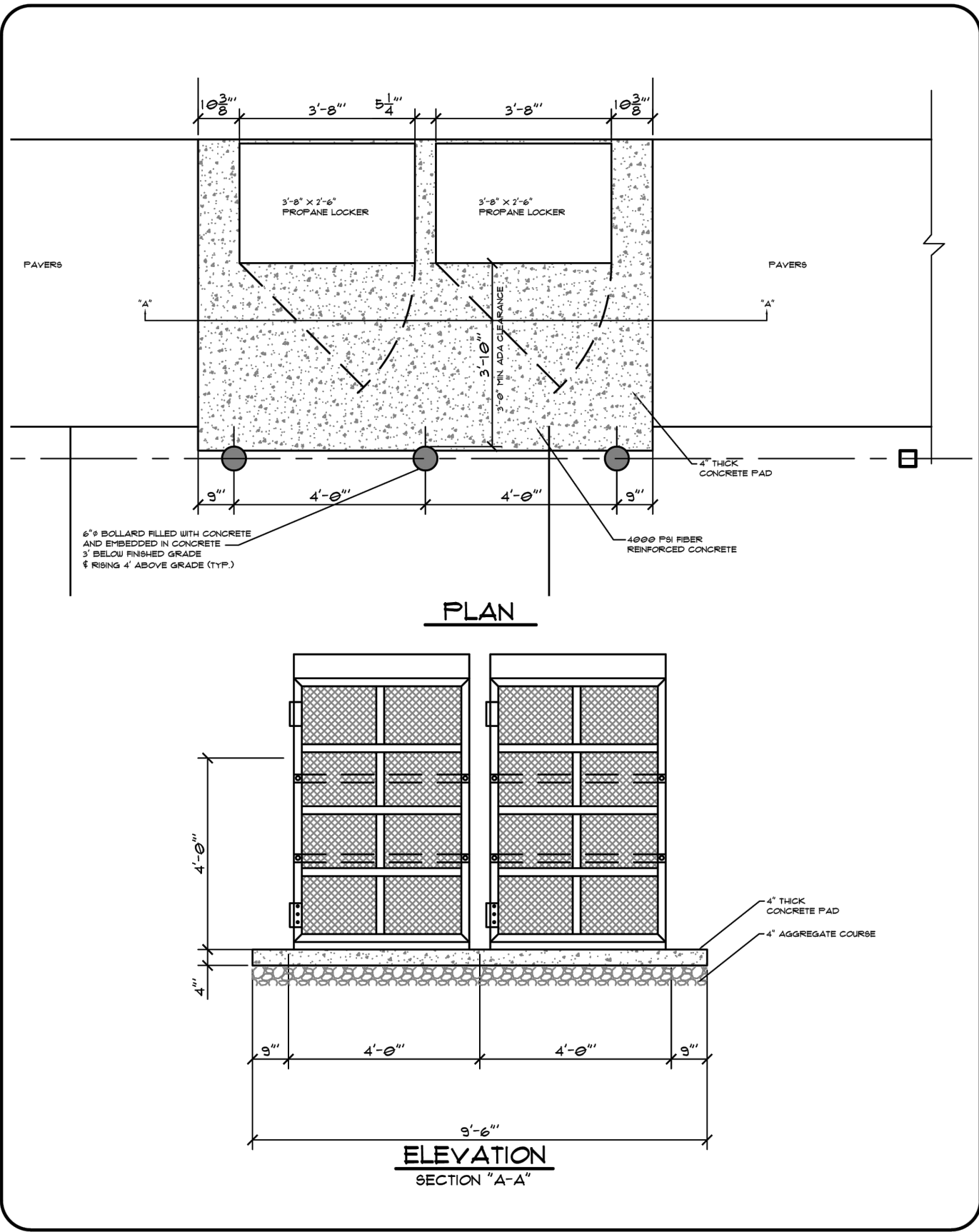
DATE BY DESCRIPTION REVISIONS		
SHEETZ		
CURB AND GUTTER DETAIL		SCALE: NO SCALE
DATE: 11/10/2023		SCALE: NO SCALE
DRAWN BY: DAH		SCALE: NO SCALE
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S10 CURB AND GUTTER



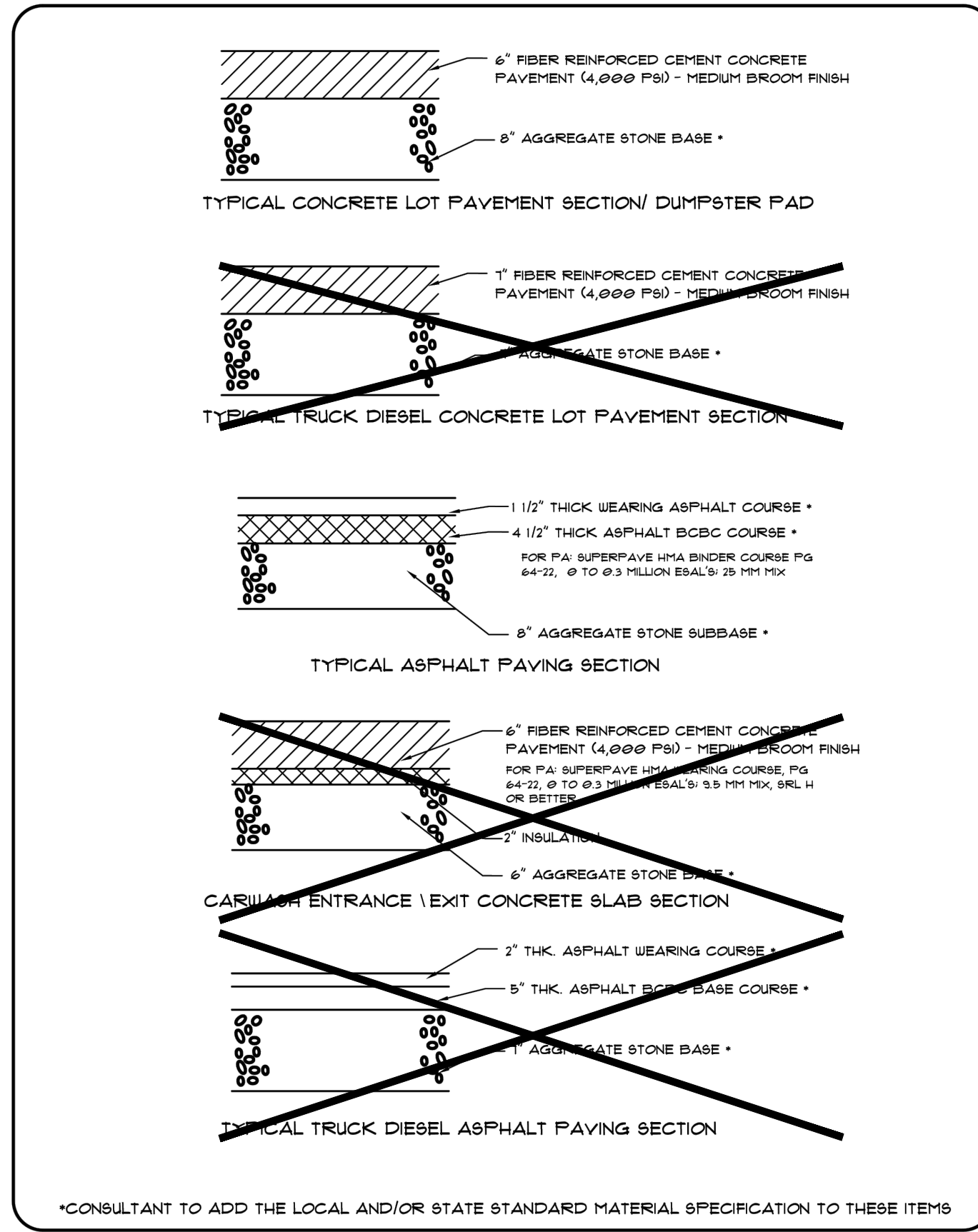
DATE BY DESCRIPTION REVISIONS		
SHEETZ		
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DATE: 11/10/2023		SCALE: NO SCALE
DRAWN BY: DAH		SCALE: NO SCALE
17		

S11 6\"/>



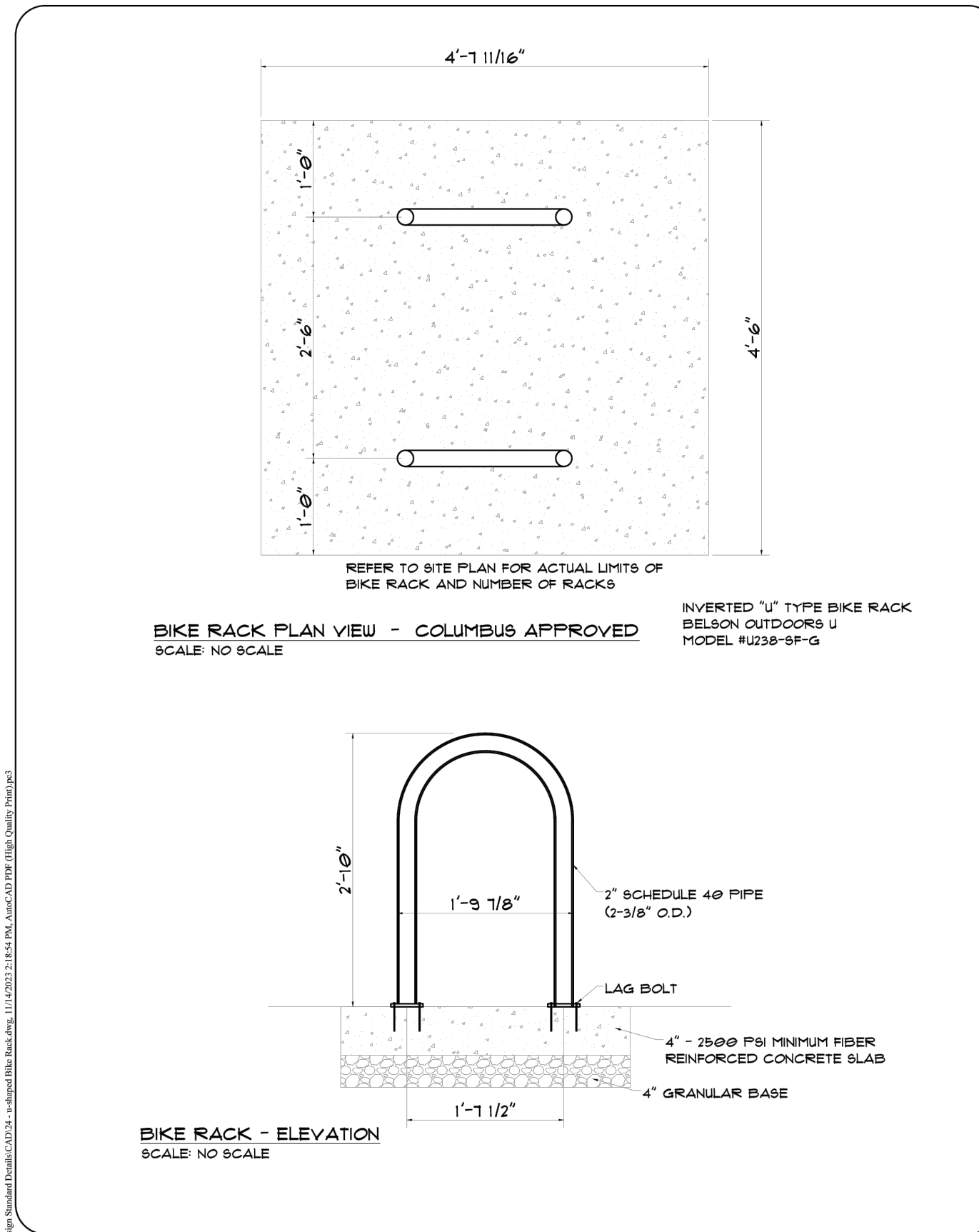
DATE BY DESCRIPTION REVISIONS		
SHEETZ		
PROPANE LOCKER (AT BUILDING)		SCALE: NO SCALE
DATE: 11/10/2023		SCALE: NO SCALE
DRAWN BY: DAH		SCALE: NO SCALE
19		

S12 PROPANE LOCKER (AT BUILDING)



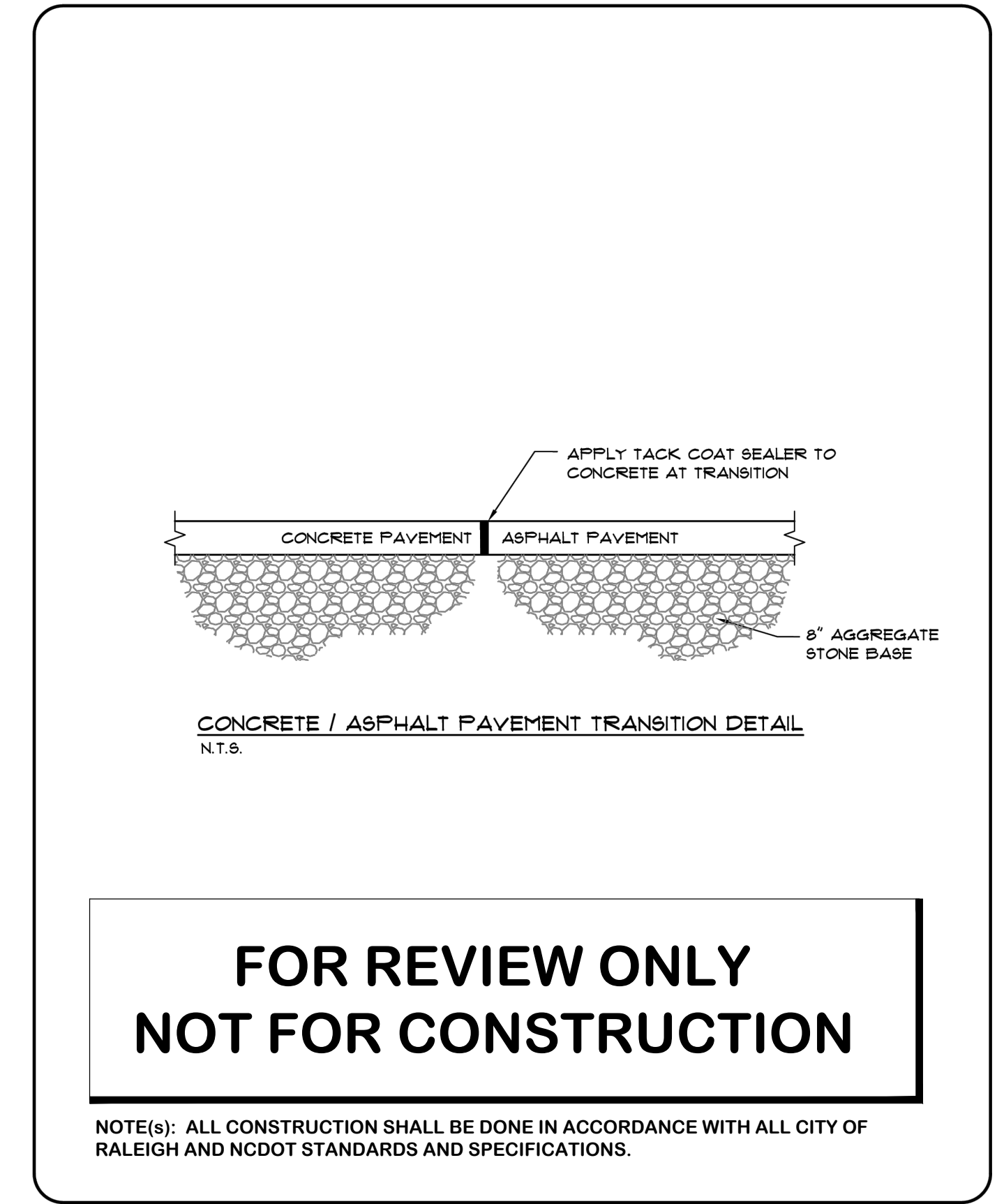
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SHEETZ		
SITE PAVEMENT DETAILS		SCALE: NO SCALE
DATE: 11/10/2023		SCALE: NO SCALE
DRAWN BY: DAH		SCALE: NO SCALE
20		

S13 SITE PAVEMENT DETAILS



DATE BY DESCRIPTION REVISIONS		
SHEETZ		
U-SHAPED BIKE RACK		SCALE: NO SCALE
DATE: 11/10/2023		SCALE: NO SCALE
DRAWN BY: DAH		SCALE: NO SCALE
24		

S14 U-SHAPED BIKE RACK



DATE BY DESCRIPTION REVISIONS		
SHEETZ		
CONCRETE AND ASPHALT TRANSITION DETAIL		SCALE: N.T.S.
DATE: 11/10/2023		SCALE: N.T.S.
DRAWN BY: DAH		SCALE: N.T.S.
27		

S15 CONCRETE AND ASPHALT TRANSITION DETAIL

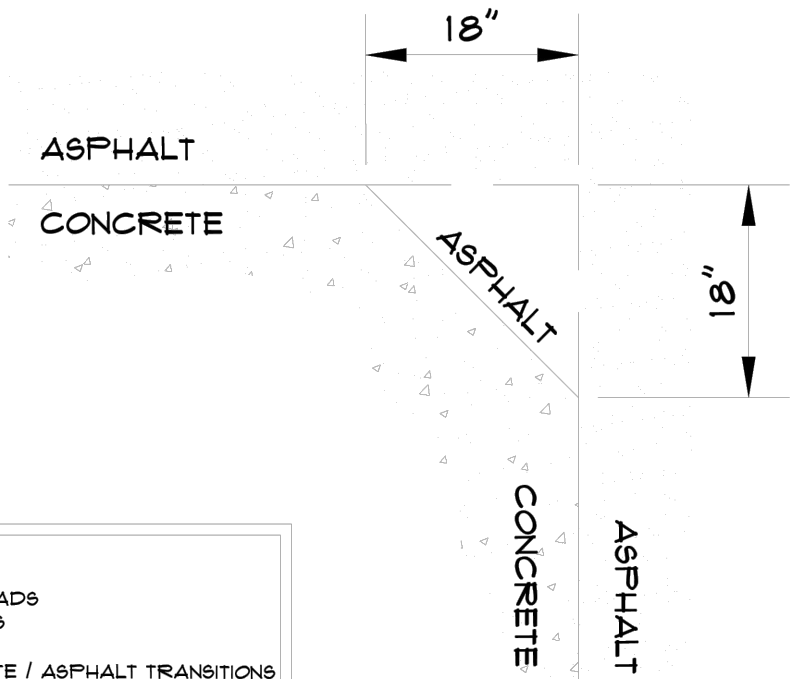
**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

C:\Public\Projects\600-699\677-23_Sheetz at Forestville Rd (Sheetz Inc)\50-Drawing\677-23_D-1_Series.dwg - Feb 14, 2024 - 4:52pm By: amzay

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LOCATIONS:
UST PADS
GAS CANOPY PADS
PARKING AREAS
DUMPSTER
OTHER CONCRETE / ASPHALT TRANSITIONS

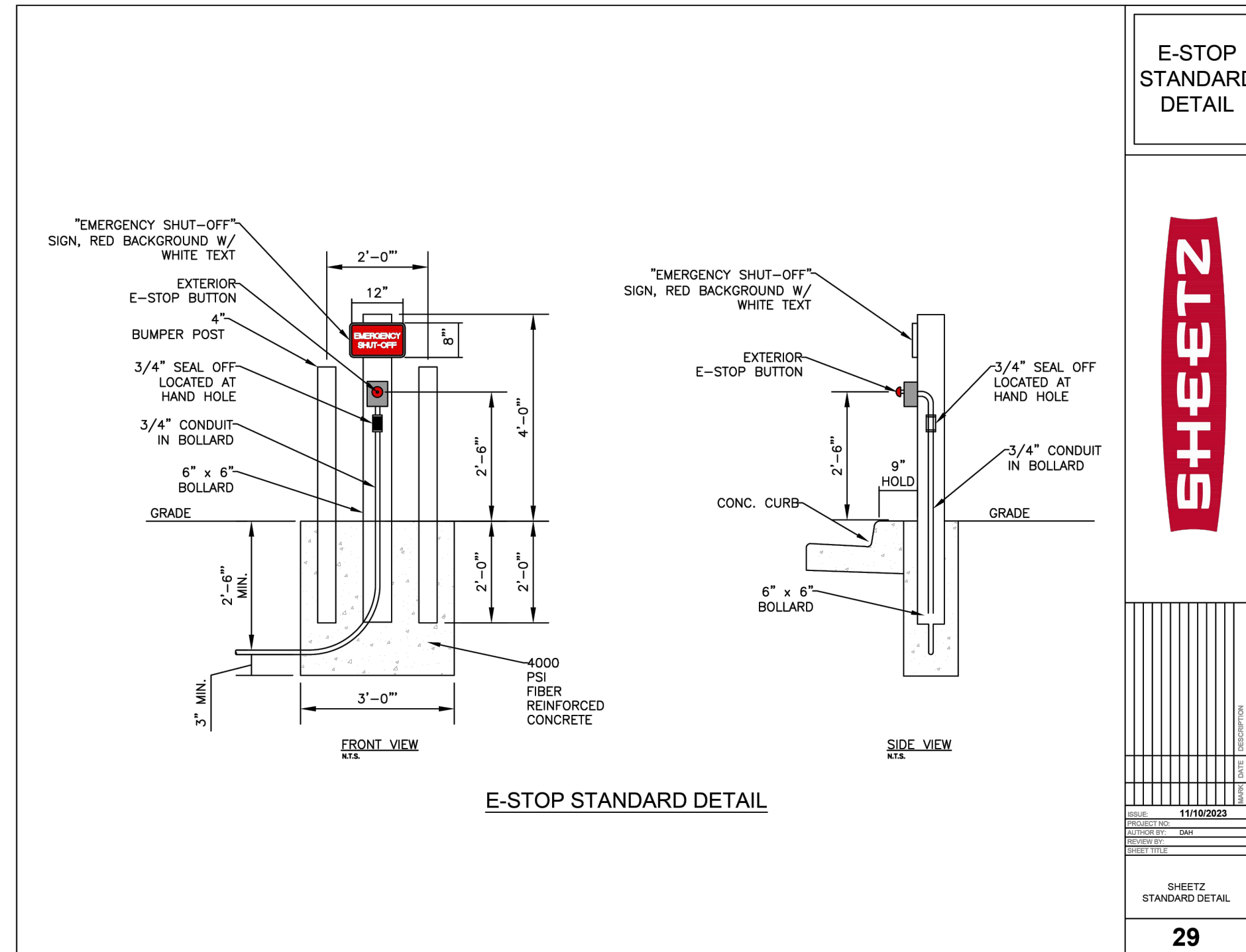
CONCRETE / ASPHALT CHAMFER
SCALE: NO SCALE

SHEETZ

CONCRETE/ASPHALT
CHAMFER DETAIL

SCALE:
DATE: 11/10/2023
DRAWN BY: DAH
28

S16 CONCRETE AND ASPHALT
CHAMFER DETAIL

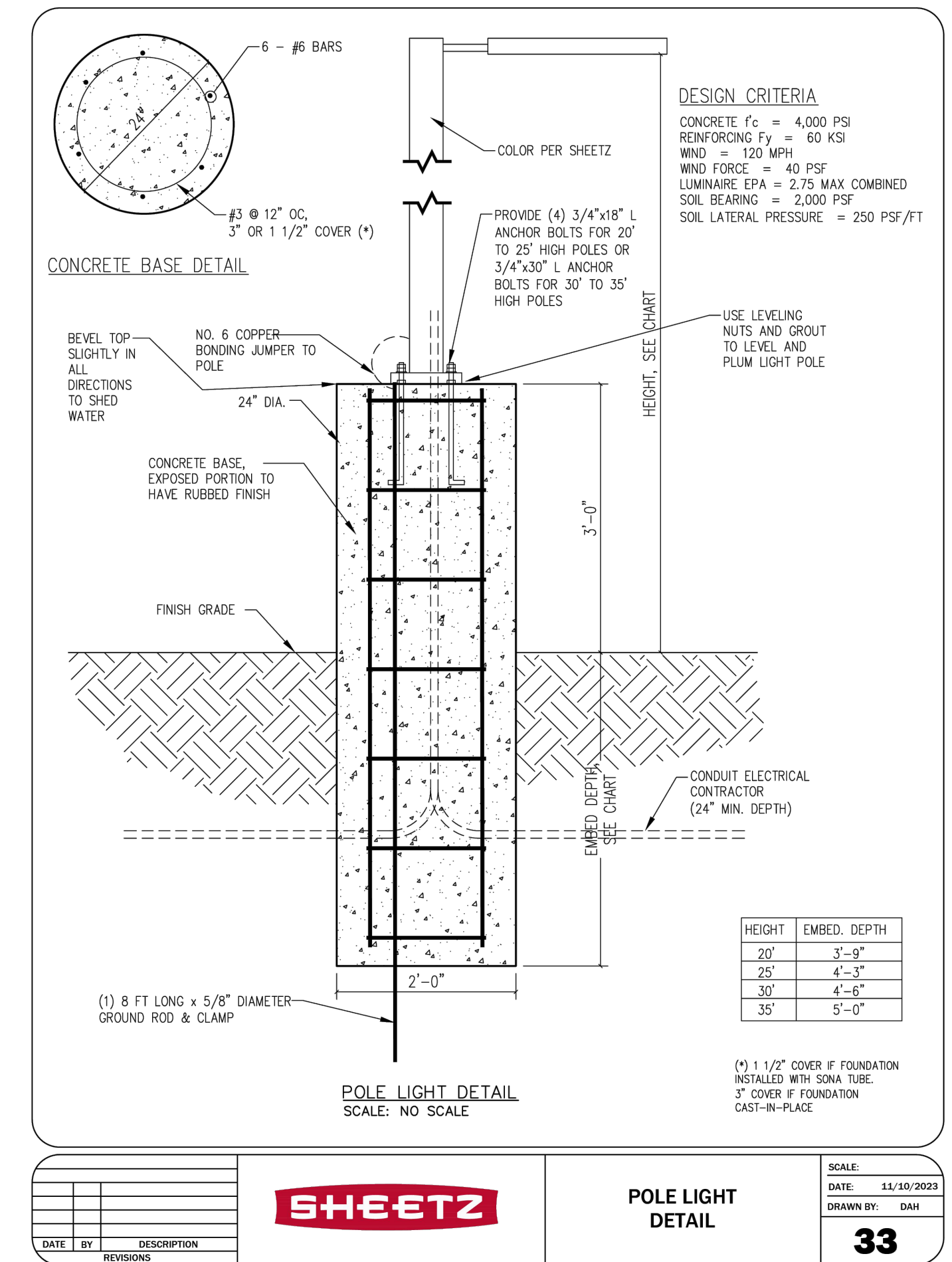


E-STOP
STANDARD
DETAIL

SHEETZ

SHEETZ
E-STOP STANDARD
DETAIL
29

S17 E-STOP DETAIL



CONCRETE BASE DETAIL

BEVEL TOP SLIGHTLY IN ALL DIRECTIONS TO SHED WATER

NO. 6 COPPER BONDING JUMPER TO POLE

CONCRETE BASE, EXPOSED PORTION TO HAVE RUBBED FINISH

FINISH GRADE

CONDUIT ELECTRICAL CONTRACTOR (24" MIN. DEPTH)

(1) 8 FT LONG x 5/8" DIAMETER GROUND ROD & CLAMP

HEIGHT, SEE CHART

USE LEVELING NUTS AND GROUT TO LEVEL AND PLUM LIGHT POLE

PROVIDE (4) 3/4" x 18" L ANCHOR BOLTS FOR 20' TO 25' HIGH POLES OR 3/4" x 30" L ANCHOR BOLTS FOR 30' TO 35' HIGH POLES

6 - #6 BARS

63 @ 12" OC, 3" OR 1 1/2" COVER (*)

COLOR PER SHEETZ

DESIGN CRITERIA
CONCRETE f_c = 4,000 PSI
REINFORCING F_y = 60 KSI
WIND = 120 MPH
WIND FORCE = 40 PSF
LUMINAIRE EPA = 2.75 MAX COMBINED
SOIL BEARING = 2,000 PSF
SOIL LATERAL PRESSURE = 250 PSF/FT

HEIGHT EMBED. DEPTH

20' 3'-9"

25' 4'-3"

30' 4'-6"

35' 5'-0"

(*) 1 1/2" COVER IF FOUNDATION INSTALLED WITH SODA TUBE. 3" COVER IF FOUNDATION CAST-IN-PLACE

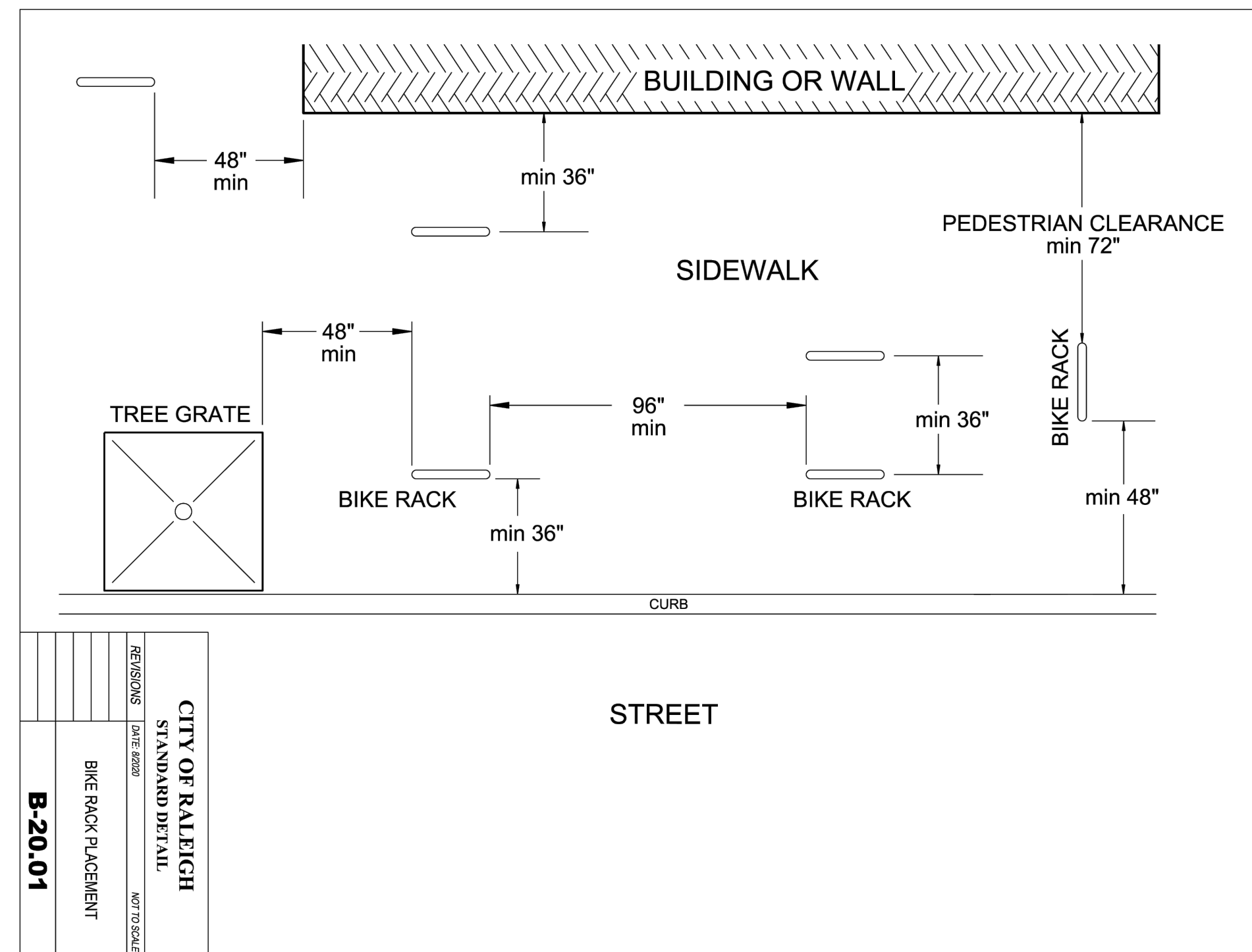
POLE LIGHT
DETAIL
SCALE: NO SCALE

SHEETZ

POLE LIGHT
DETAIL

SCALE:
DATE: 11/10/2023
DRAWN BY: DAH
33

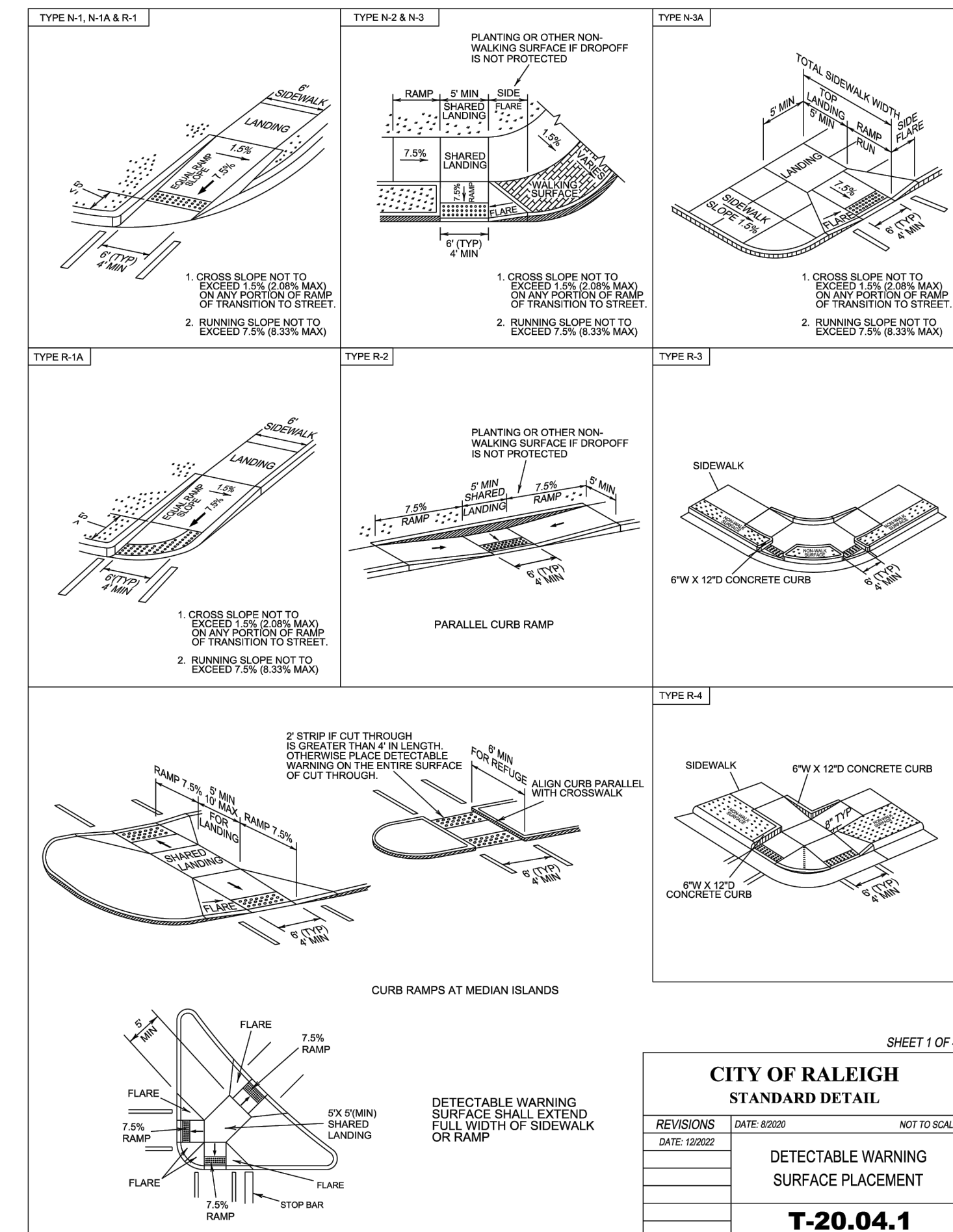
S18 POLE LIGHT
DETAIL



REVISIONS
DATE: 08/20/23
BY: DAH
B-20-01
BIKE RACK PLACEMENT
NOT TO SCALE

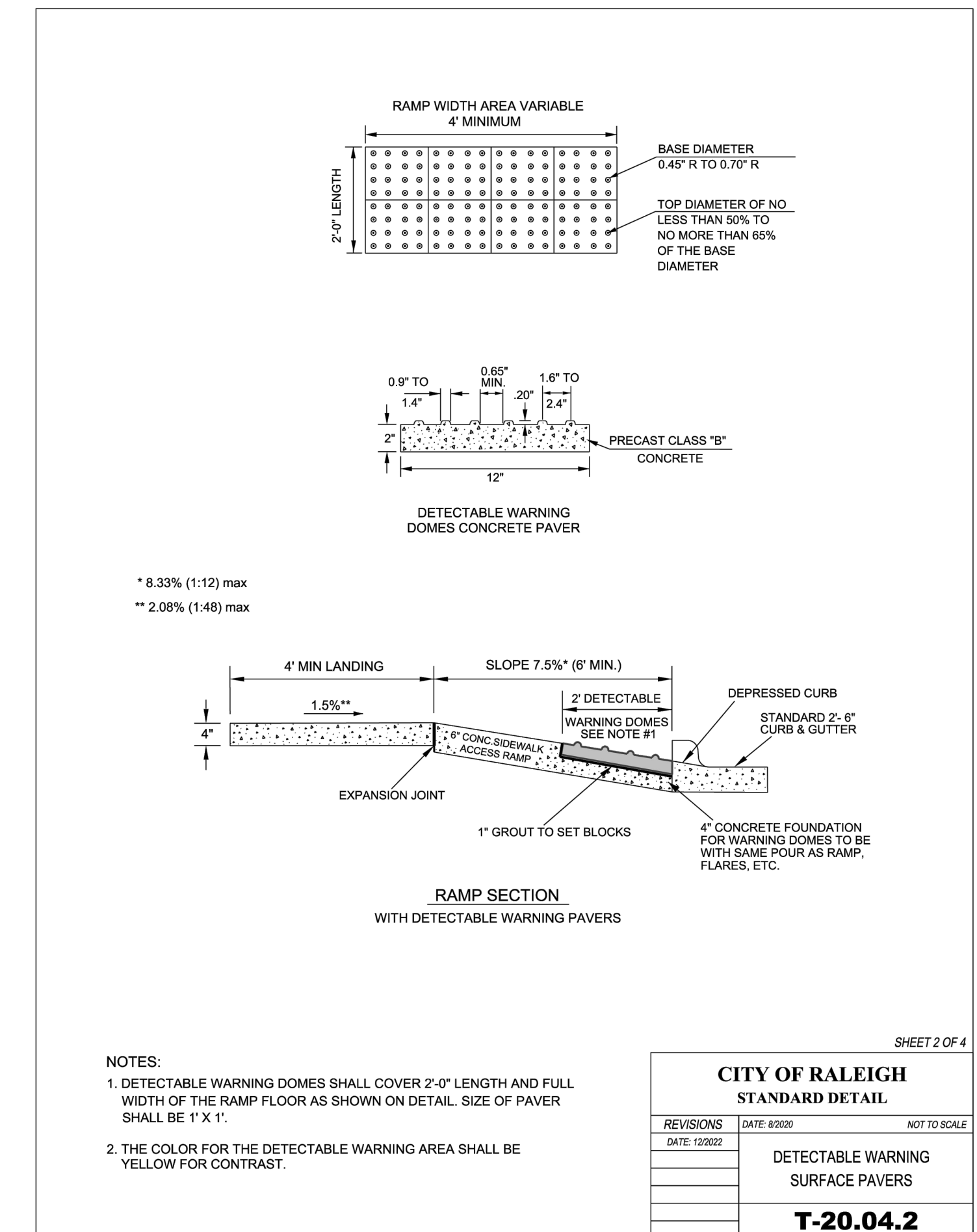
CITY OF RALEIGH
STANDARD DETAIL

S19 BIKE RACK
PLACEMENT



CITY OF RALEIGH
STANDARD DETAIL
REVISIONS
DATE: 02/02/22
BY: DAH
T-20-04.1
DETECTABLE WARNING
SURFACE PLACEMENT
NOT TO SCALE

S20 DETECTABLE WARNING
SURFACE PLACEMENT



* 8.33% (1:12) max
** 2.08% (1:48) max

CITY OF RALEIGH
STANDARD DETAIL
REVISIONS
DATE: 02/02/22
BY: DAH
T-20-04.2
DETECTABLE WARNING
SURFACE PAVERS
NOT TO SCALE

CITY OF RALEIGH
CURB RAMPS
GENERAL NOTES

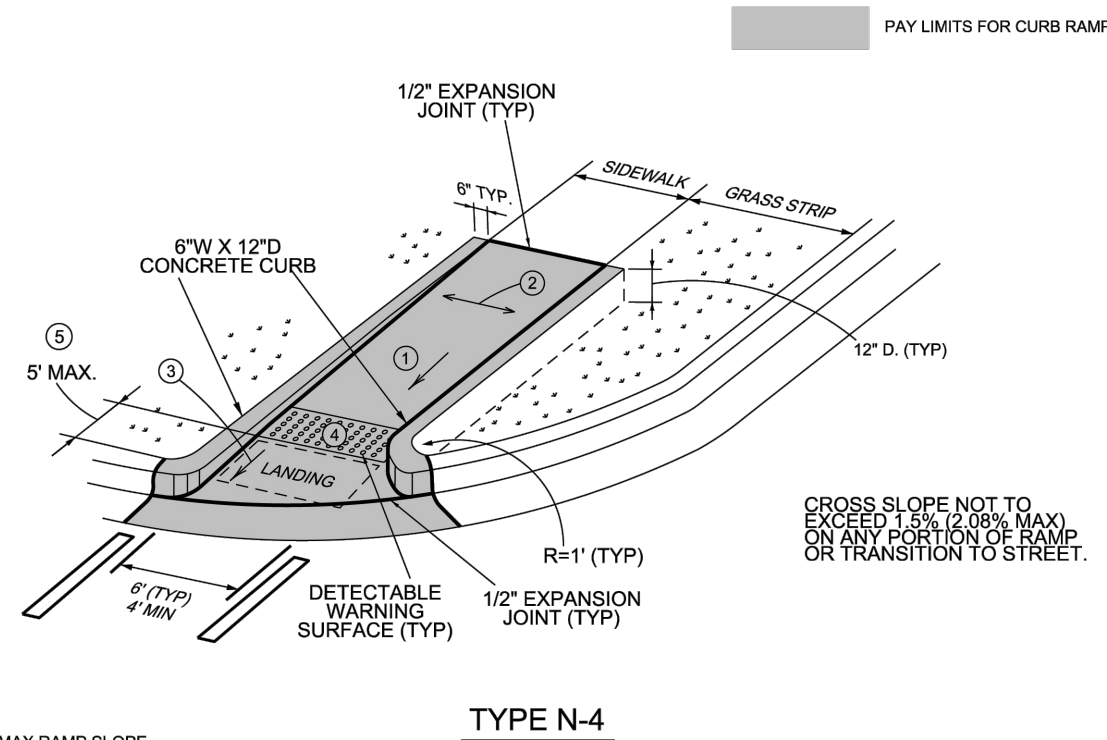
- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
- CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
- DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1" / FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

SHEET 3 OF 5

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 8/2002	NOT TO SCALE
		CURB RAMP NOTES
		T-20.01.8

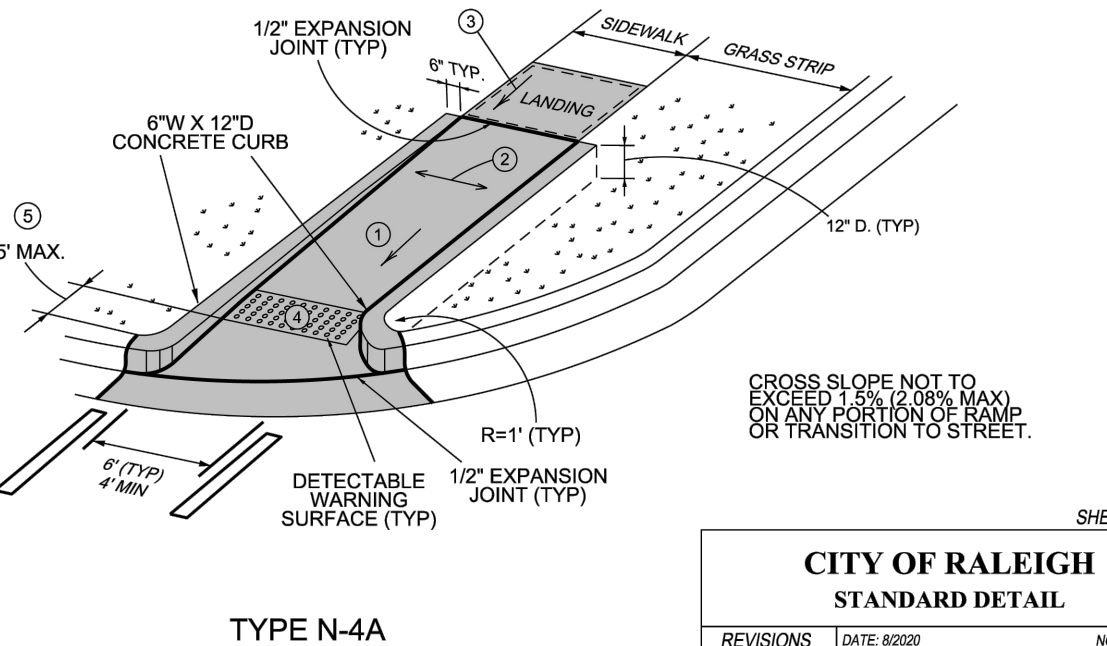
S21

CURB RAMP
NOTES



- TYPE N-4**
- 7.5% & 8.33% (1:12) MAX RAMP SLOPE
 - 1.5% & 2.08% (1:48) MAX CROSS SLOPE
 - CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5% (2.08% MAX) WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
 - RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
 - IF LENGTH EXCEEDS 5', TRUNCATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.

CONCRETE DEPTH	
RAMP	6"
LANDING	4"

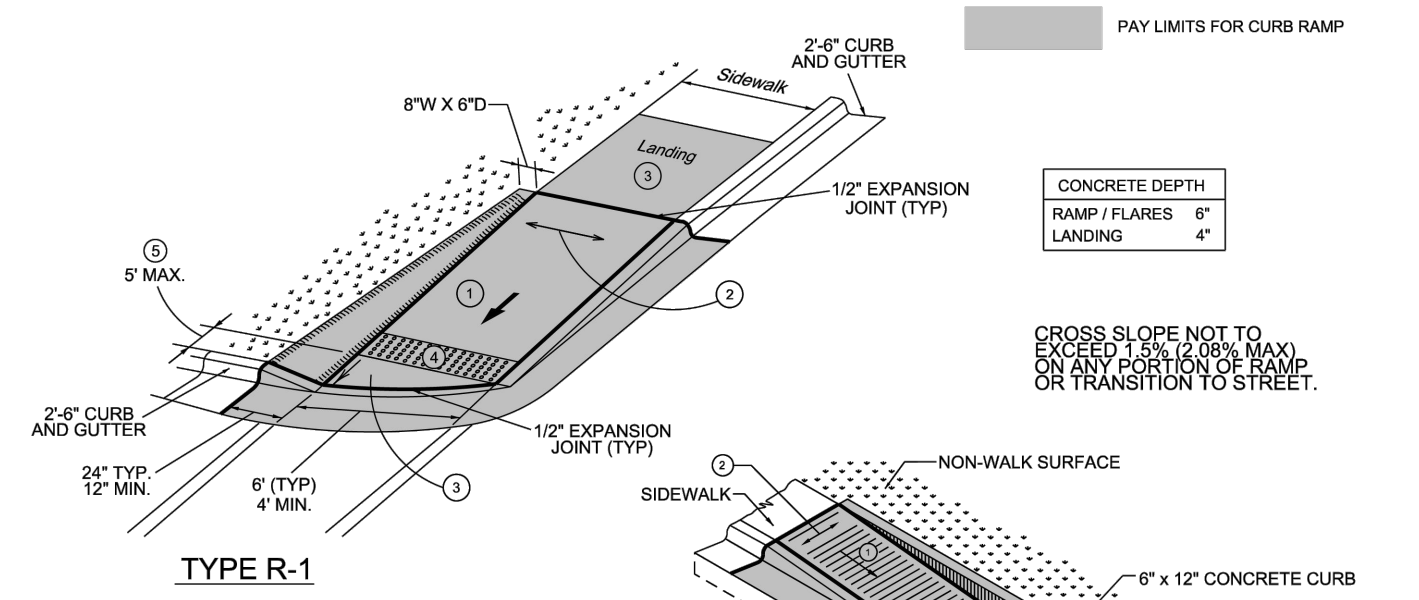


SHEET 4 OF 5

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 8/2002	NOT TO SCALE
		CURB RAMPS (NEW DEVELOPMENT)
		T-20.01.4

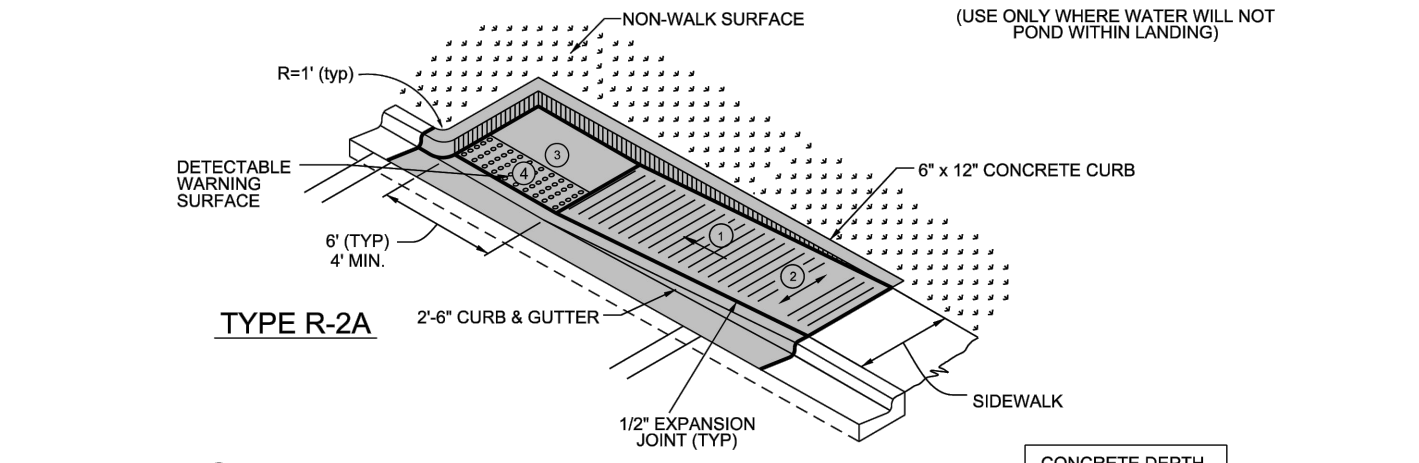
S22

CURB RAMPS
(NEW DEVELOPMENT)



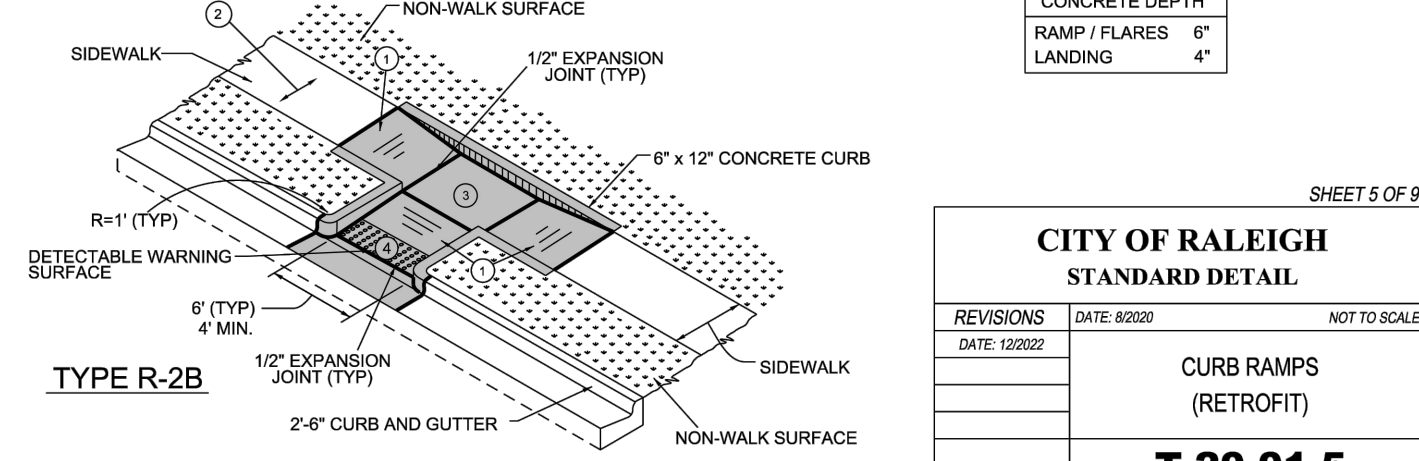
- TYPE R-1**
- 7.5% & 8.33% (1:12) MAX RAMP SLOPE
 - 1.5% & 2.08% (1:48) MAX CROSS SLOPE
 - CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5% (2.08% MAX) WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
 - RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
 - IF LENGTH EXCEEDS 5', TRUNCATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.

CONCRETE DEPTH	
RAMP / FLARES	6"
LANDING	4"



- TYPE R-2A**
- 7.5% & 8.33% (1:12) MAX RAMP SLOPE
 - 1.5% & 2.08% (1:48) MAX CROSS SLOPE
 - CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5% (2.08% MAX) WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.
 - RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
 - IF LENGTH EXCEEDS 5', TRUNCATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.

CONCRETE DEPTH	
RAMP / FLARES	6"
LANDING	4"

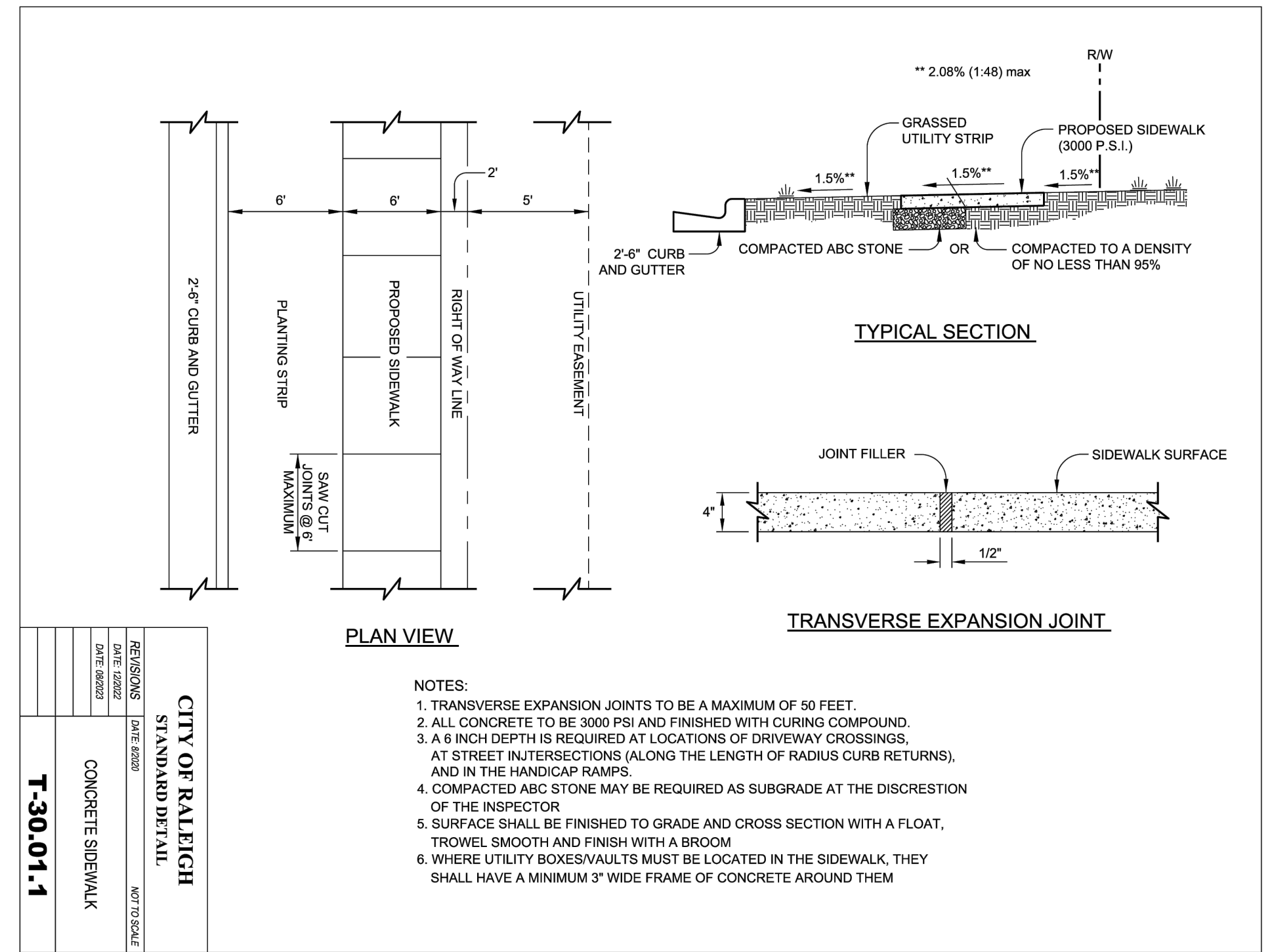


SHEET 5 OF 5

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 8/2002	NOT TO SCALE
		CURB RAMPS (RETROFIT)
		T-20.01.5

S23

CURB RAMPS
(RETROFIT)



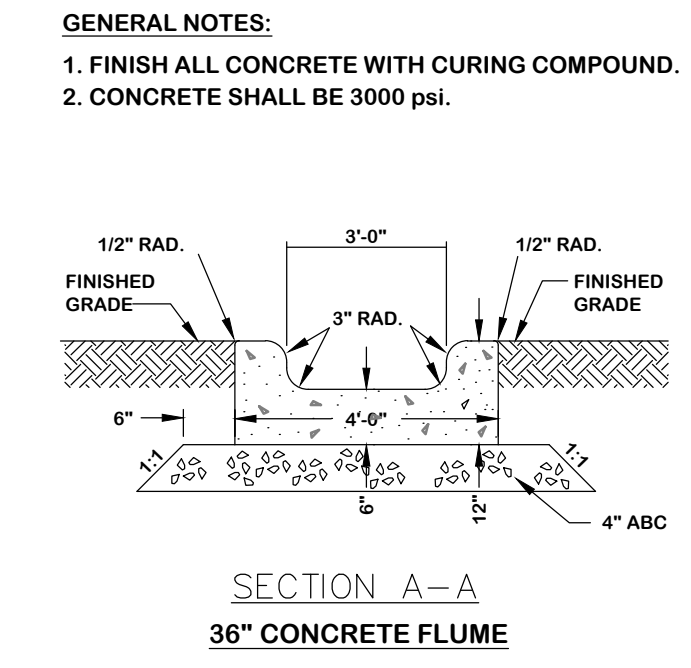
- NOTES:**
- TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
 - ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
 - A 6 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS (ALONG THE LENGTH OF RADIUS CURB RETURNS), AND IN THE HANDICAP RAMPS.
 - COMPACTED ABC STONE MAY BE REQUIRED AS SUBGRADE AT THE DISCRETION OF THE INSPECTOR.
 - SURFACE SHALL BE FINISHED TO GRADE AND CROSS SECTION WITH A FLOAT, TROWEL SMOOTH AND FINISH WITH A BROOM.
 - WHERE UTILITY BOXES/Vaults MUST BE LOCATED IN THE SIDEWALK, THEY SHALL HAVE A MINIMUM 3" WIDE FRAME OF CONCRETE AROUND THEM.

SHEET 6 OF 6

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 8/2002	NOT TO SCALE
		CONCRETE SIDEWALK
		T-30.01.1

S24

CONCRETE SIDEWALK



- GENERAL NOTES:**
- FINISH ALL CONCRETE WITH CURING COMPOUND.
 - CONCRETE SHALL BE 3000 PSI.

SECTION A-A
36" CONCRETE FLUME

S25

CONCRETE FLUME

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PAST DESIGN GROUP, PA
Engineering & Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 848 4399 | Fax: 919 848 4395 | NC LICENSE NUMBER: C-3311

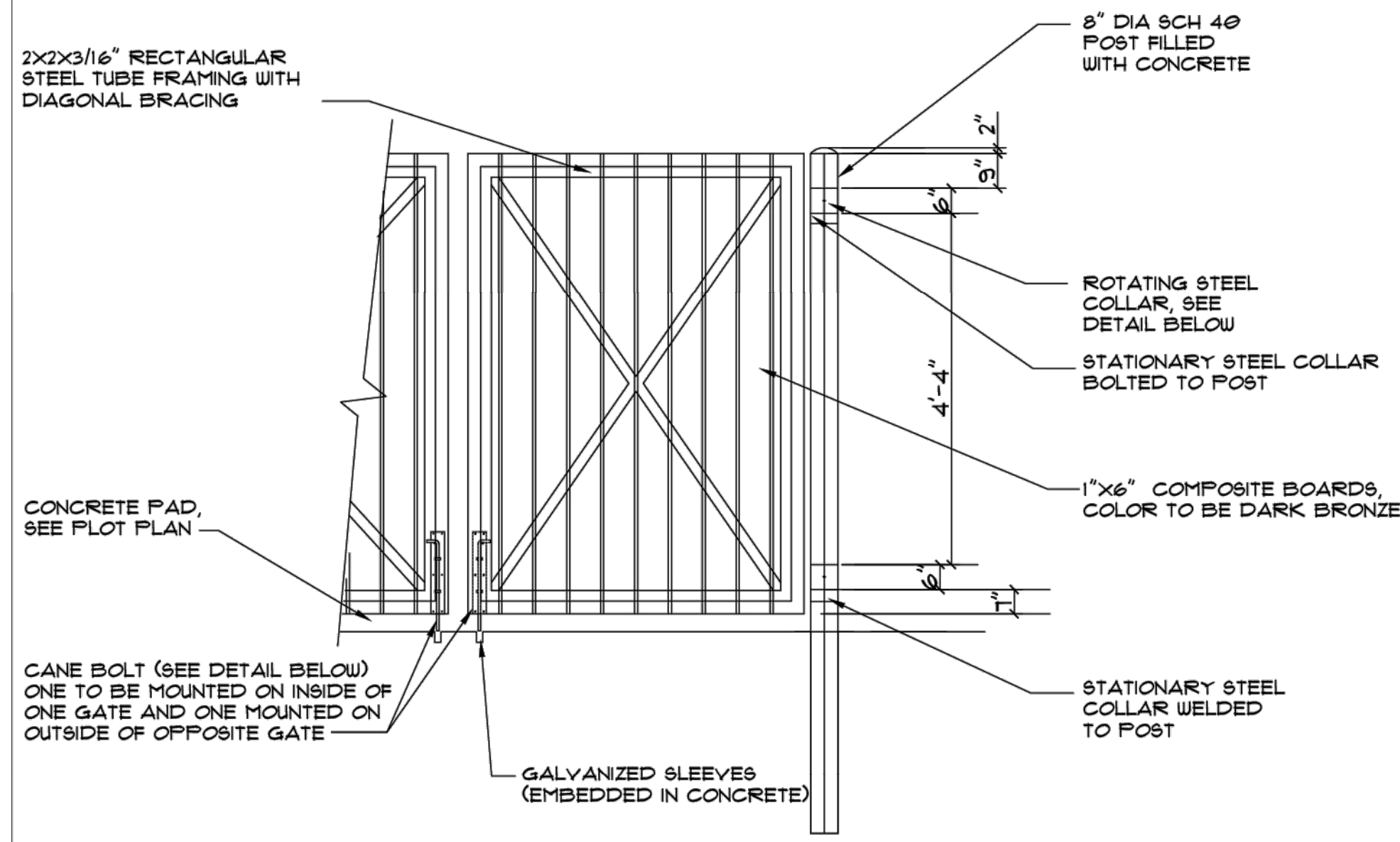
PREPARED FOR:
SHEETZ, INC.
5700 SOUTH AVENUE
ALCOONA, PA 16802
DATE: 10.19.2023
PROJECT ENGINEER:
PROJECT CADD DESIGNER:
MMP
PROJECT SURVEYOR:
SHEPHERD

SHEETZ AT FORESTVILLE RD - LOT 1
RALEIGH, WAKE COUNTY, NORTH CAROLINA
TIER 3 ADMINISTRATIVE SITE REVIEW
SITE DETAIL SHEET

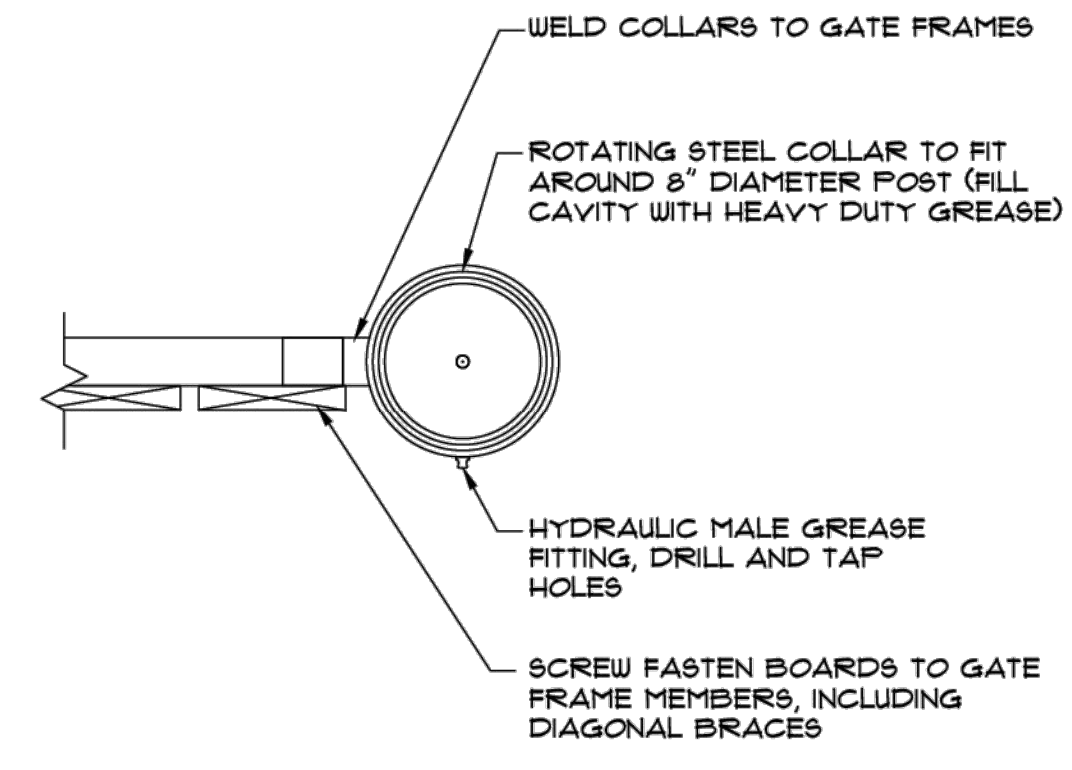
NO.	REVISION	DATE

DRAWING SHEET
D-1.3
PROJECT NUMBER
677-23

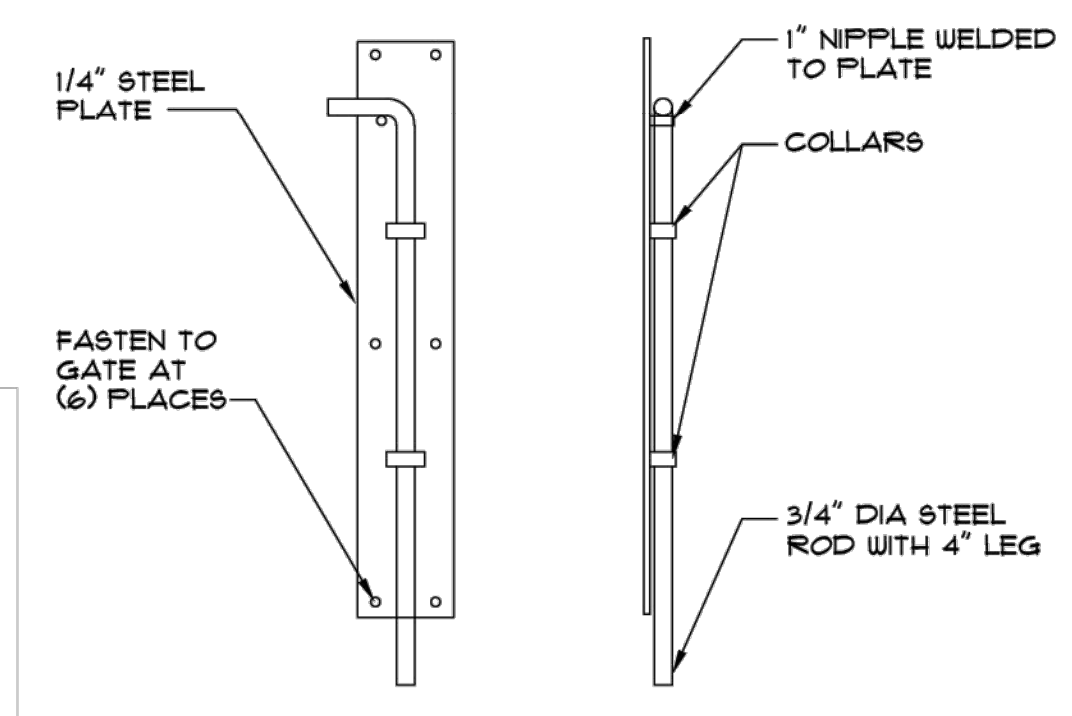
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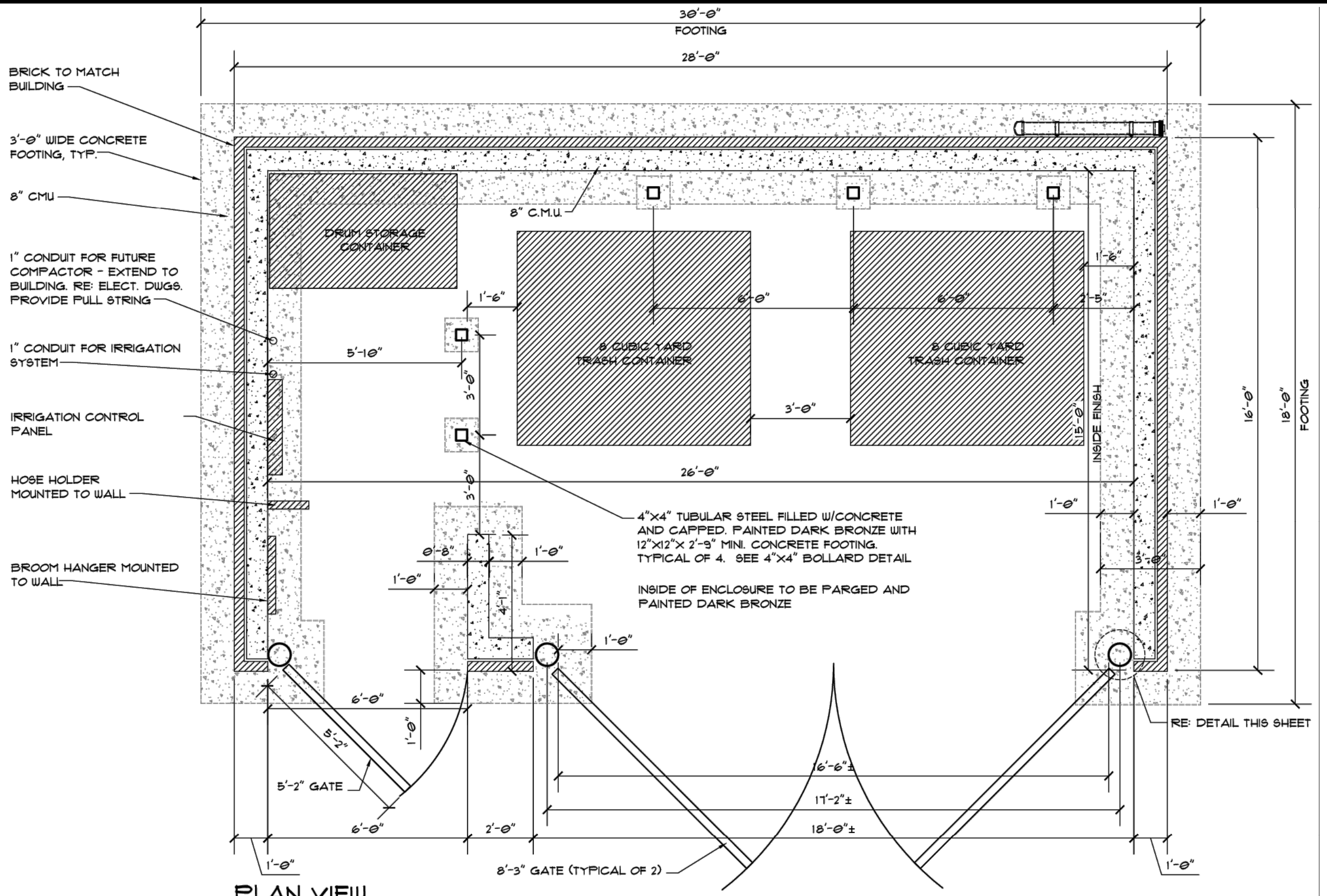
GATE AND POST DETAIL
FOR QUANTITIES OF GATES AND POSTS SEE PLOT PLAN



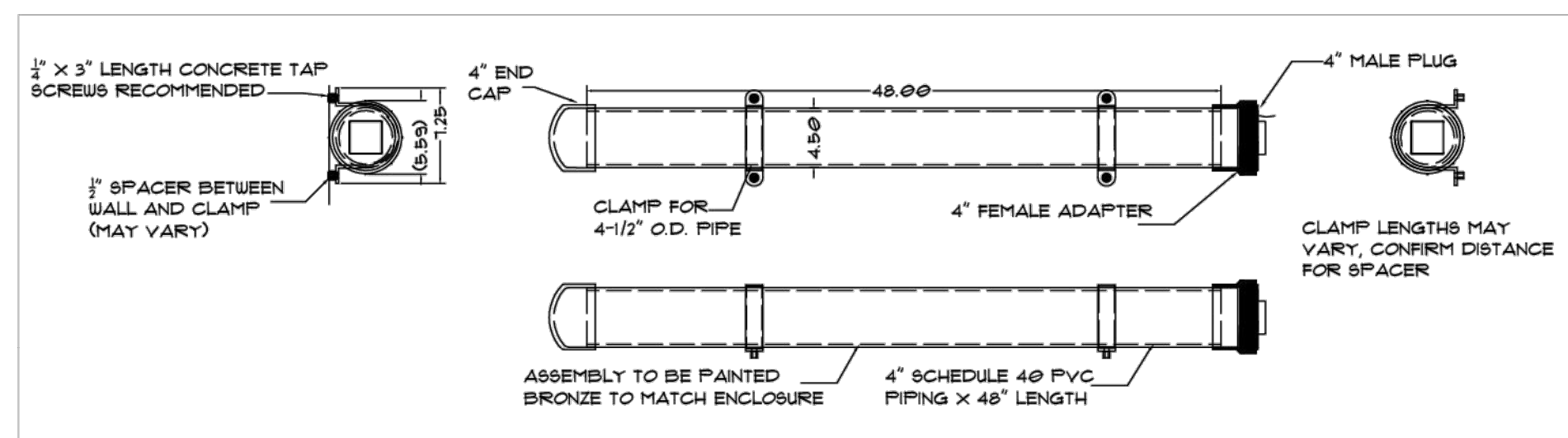
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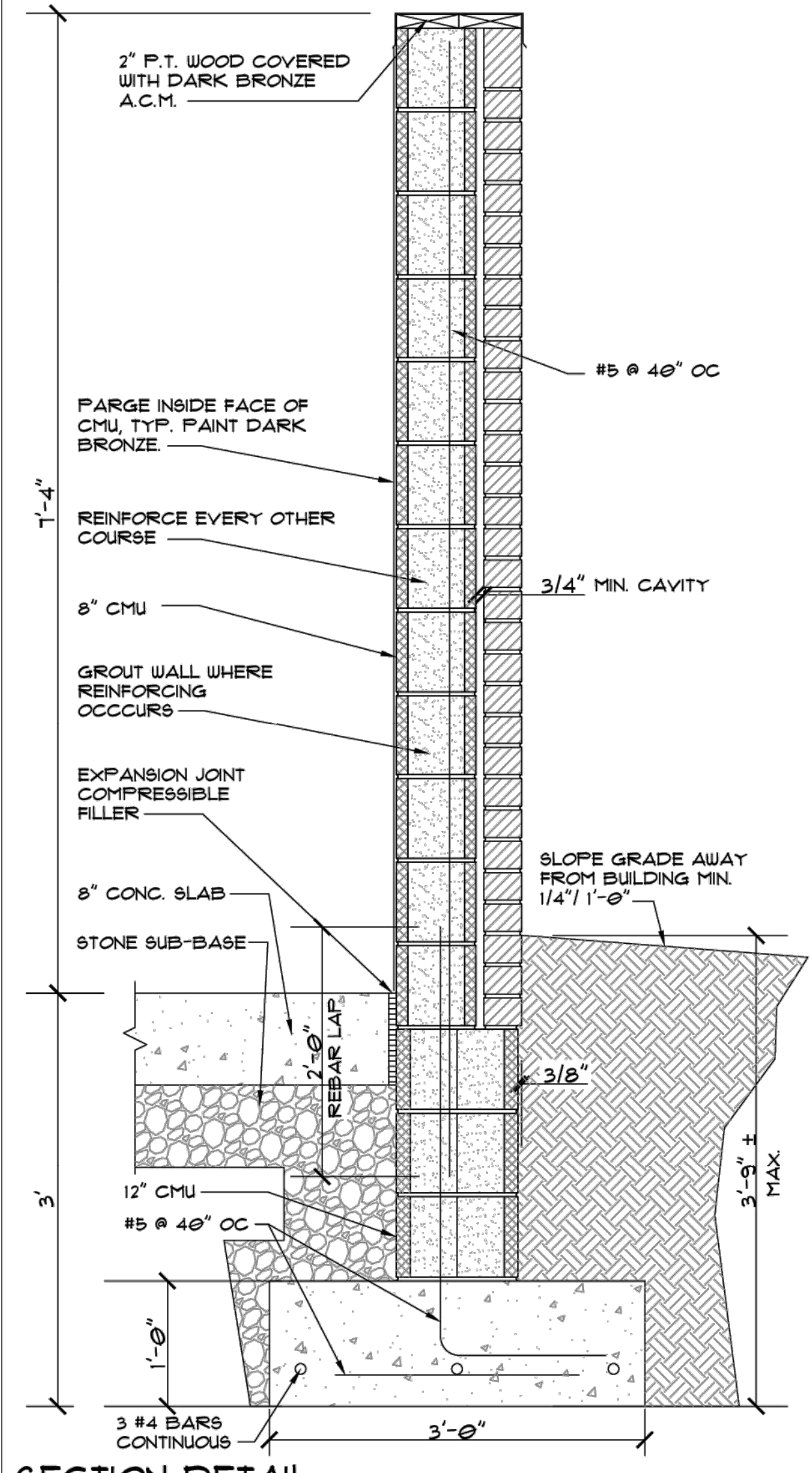
DUMPSTER GATE DETAILS
SCALE: NOT TO SCALE



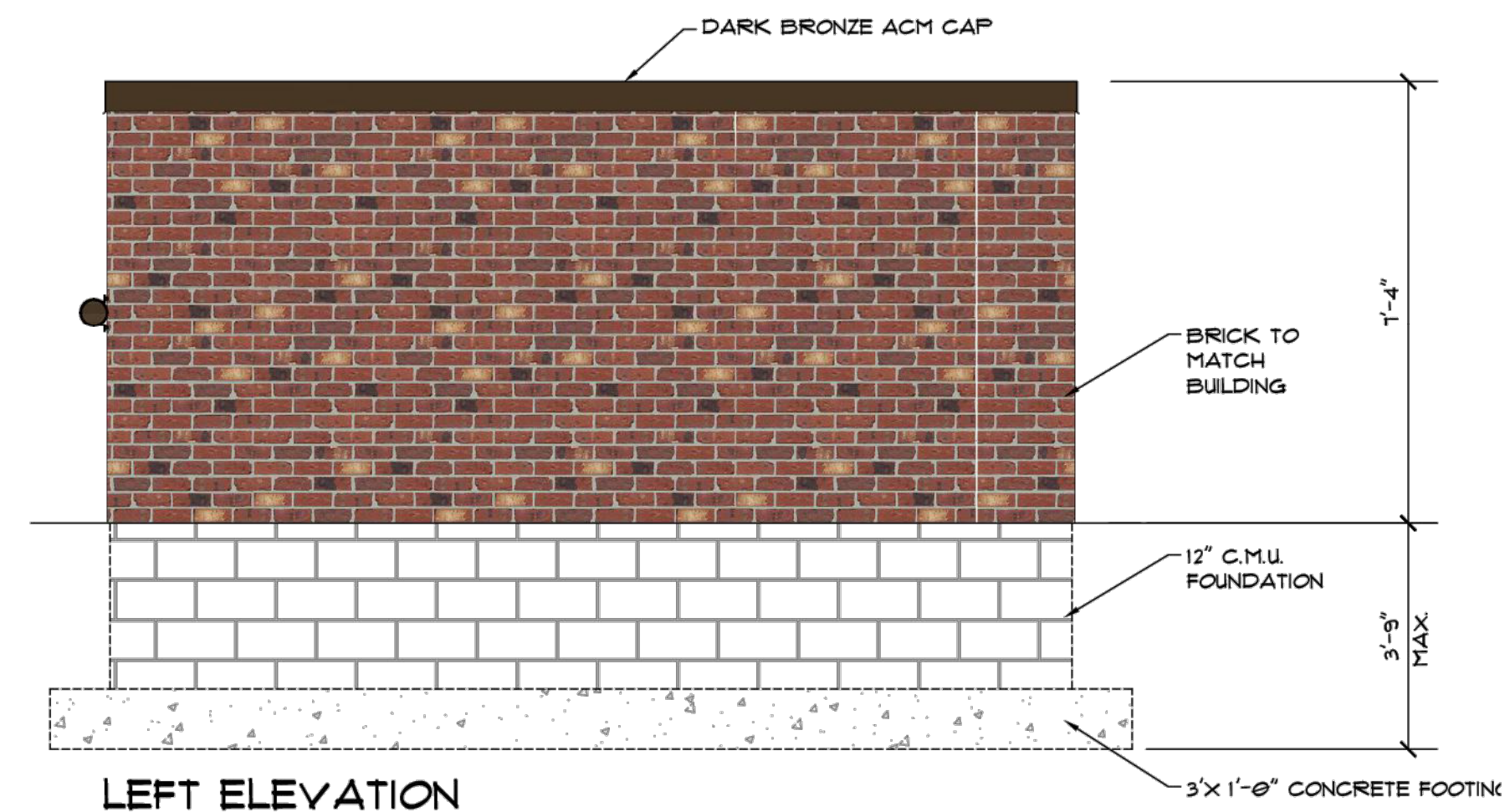
PLAN VIEW
SCALE = 3/8" = 1'-0"



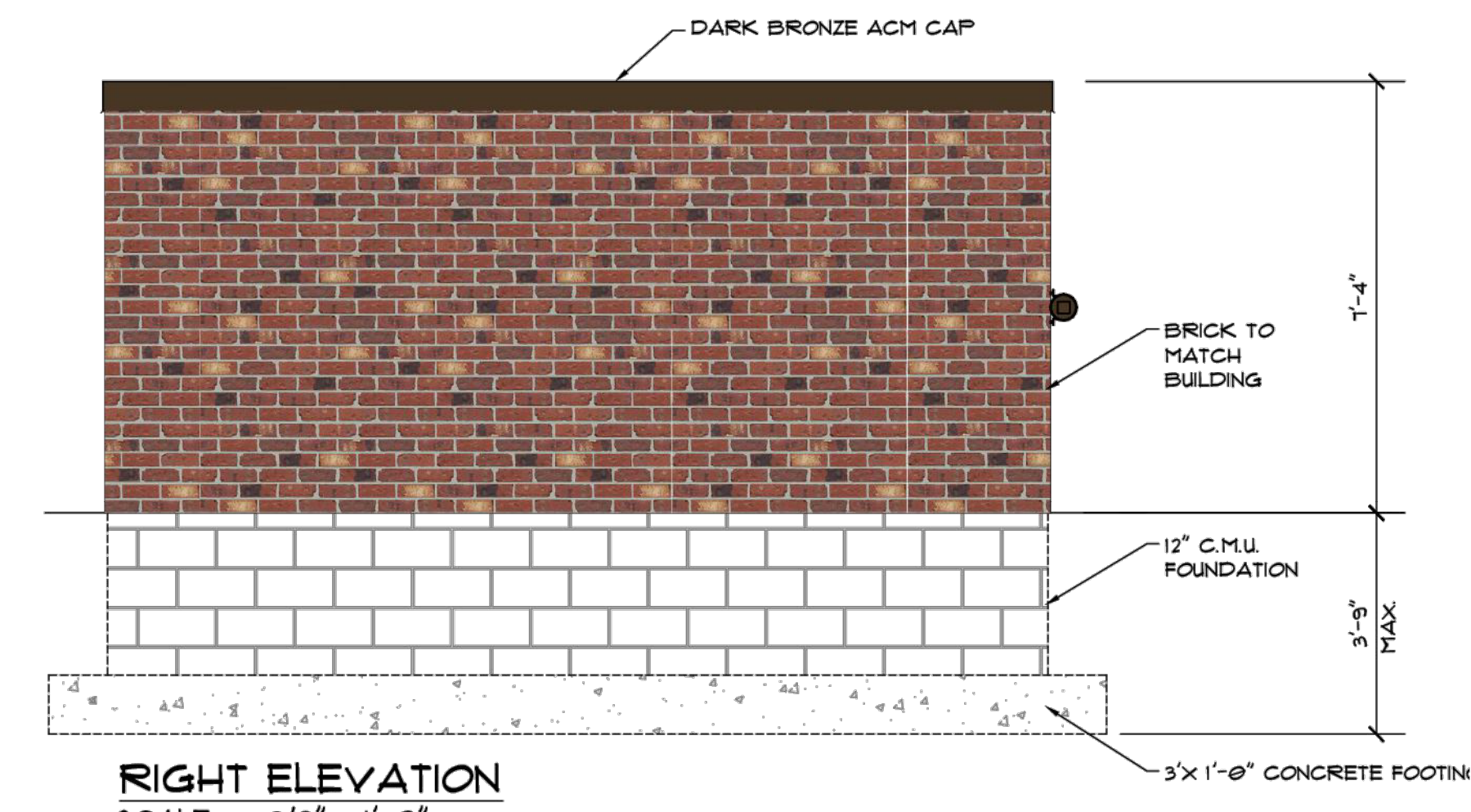
GAUGE STICK DETAILS
SCALE: 1" = 1'-0"



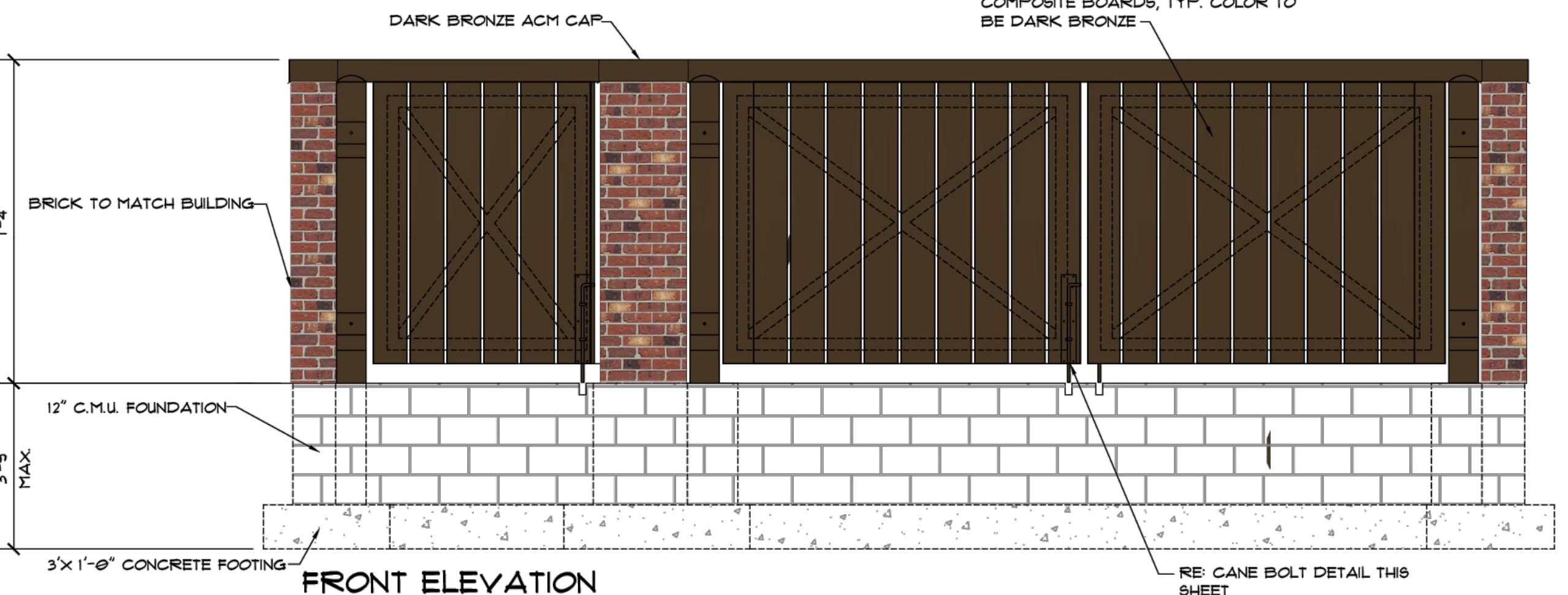
SECTION DETAIL
SCALE: 3/4" = 1'-0"



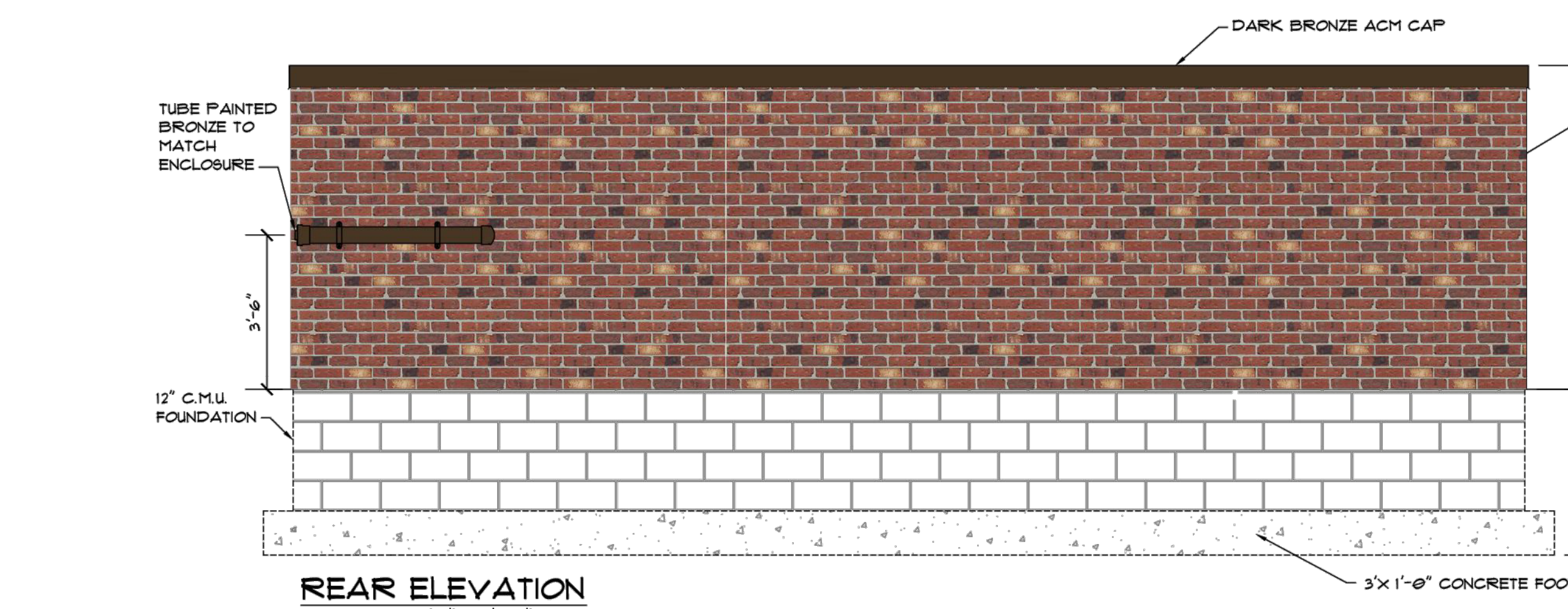
LEFT ELEVATION
SCALE = 3/8" = 1'-0"



RIGHT ELEVATION
SCALE = 3/8" = 1'-0"



FRONT ELEVATION
SCALE = 3/8" = 1'-0"

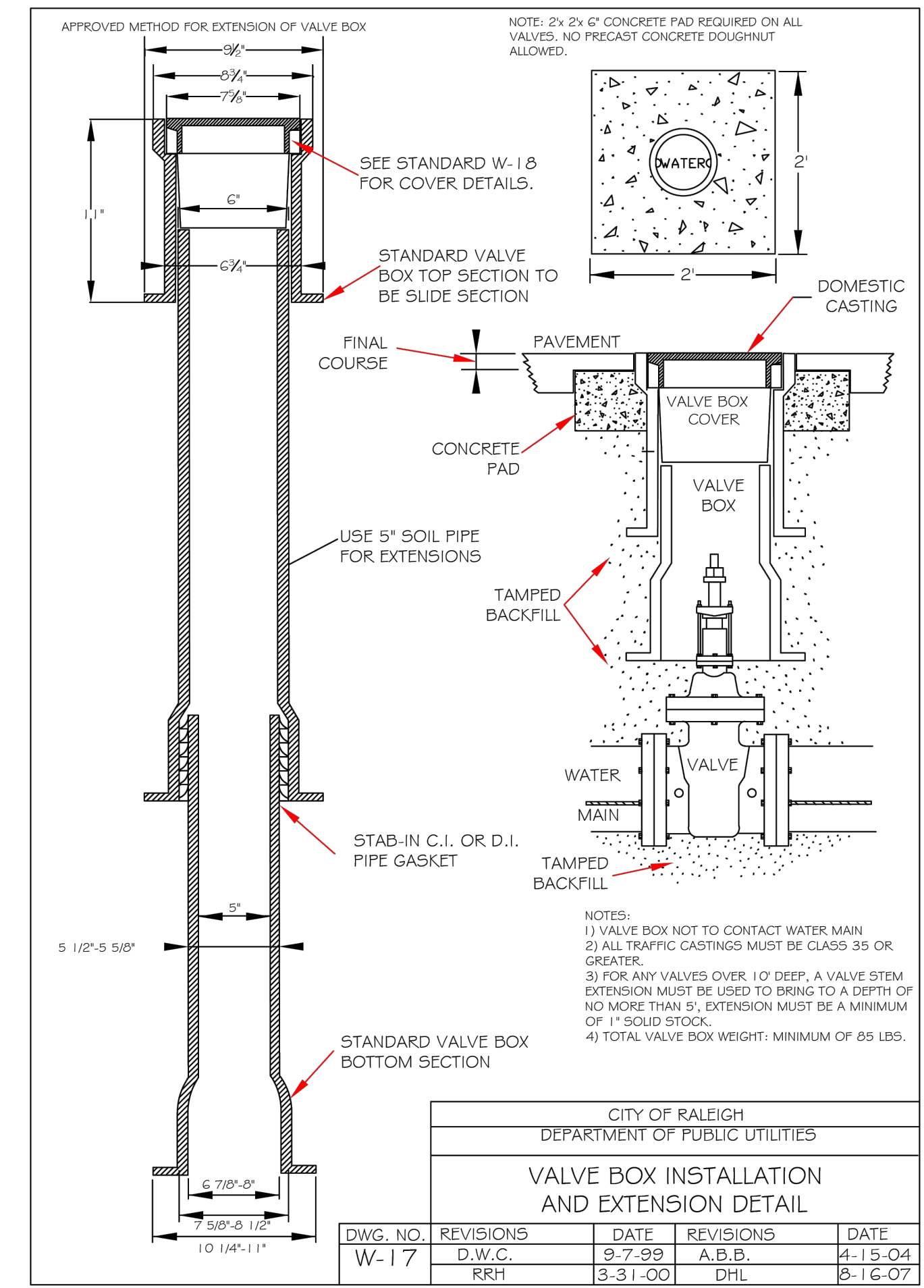
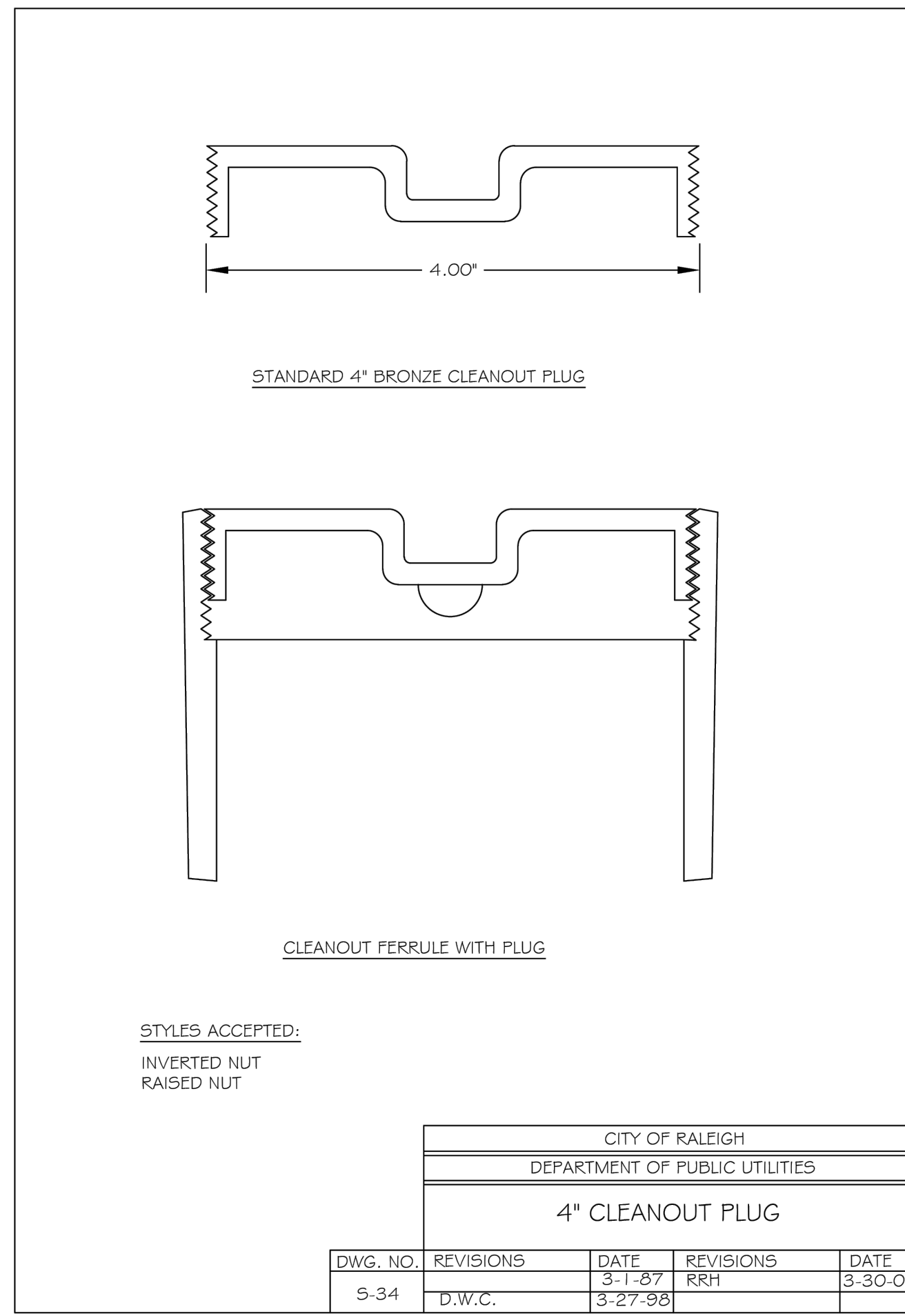
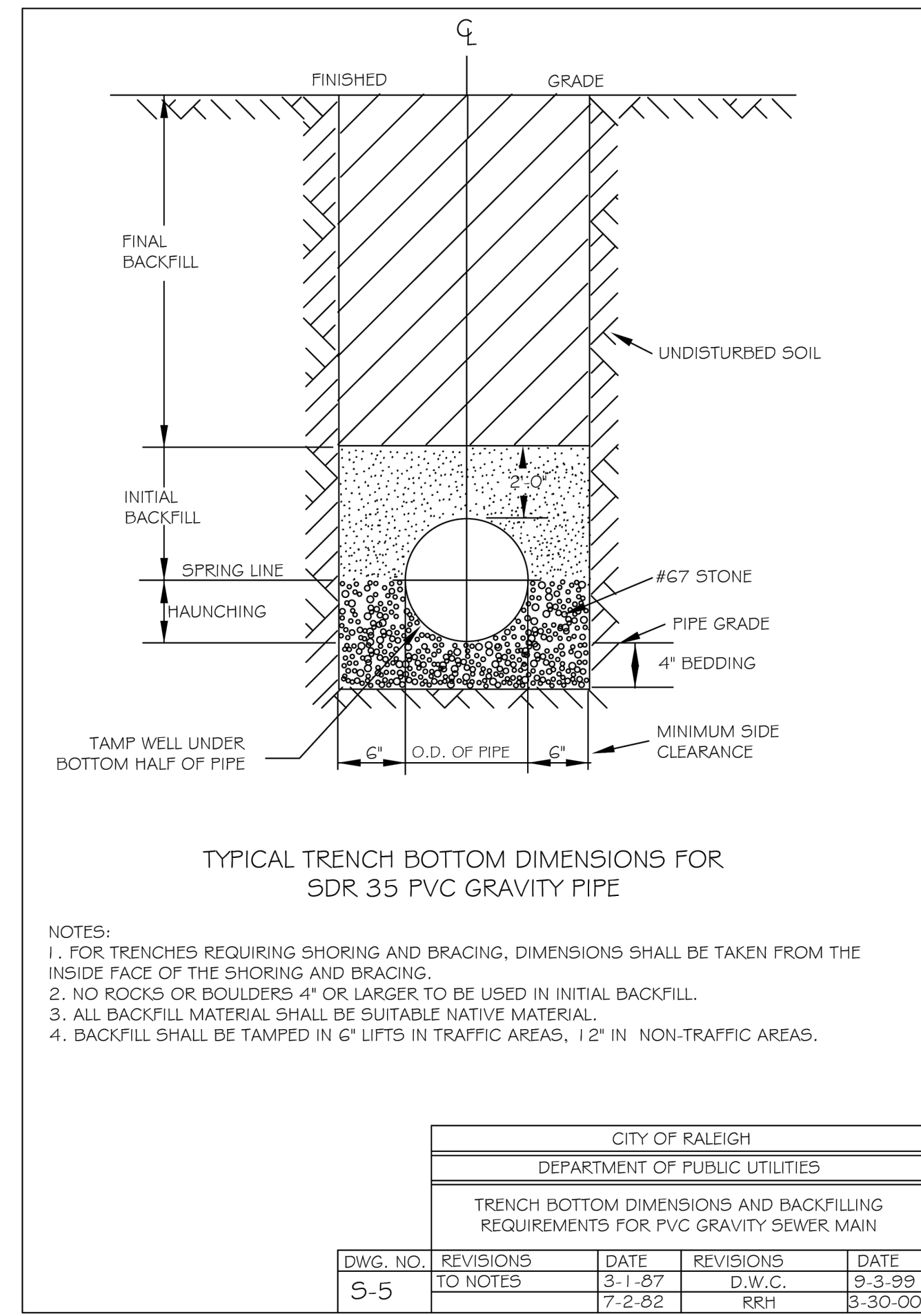
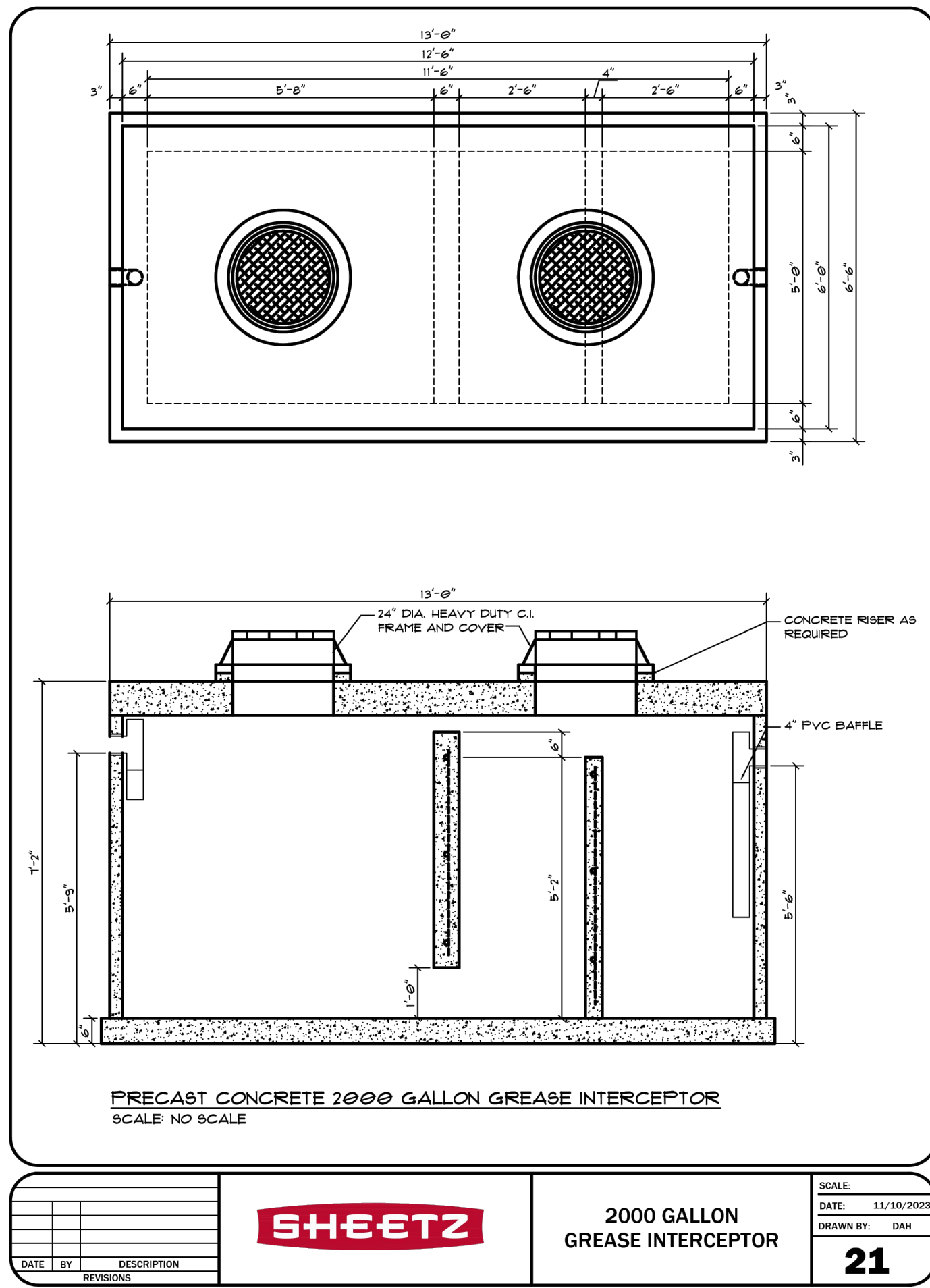


REAR ELEVATION
SCALE = 3/8" = 1'-0"

S26 DUMPSTER ENCLOSURE
SCALE: 3/8" = 1'-0"

NO.	REVISION	DATE

F:\Public\Projects\600-699\677-23_Sheetz at Forestville Rd (Sheetz, Inc)\50-Drawing\677-23_D-1_Series.dwg, Feb 14, 2024, 5:50pm, By: mazy

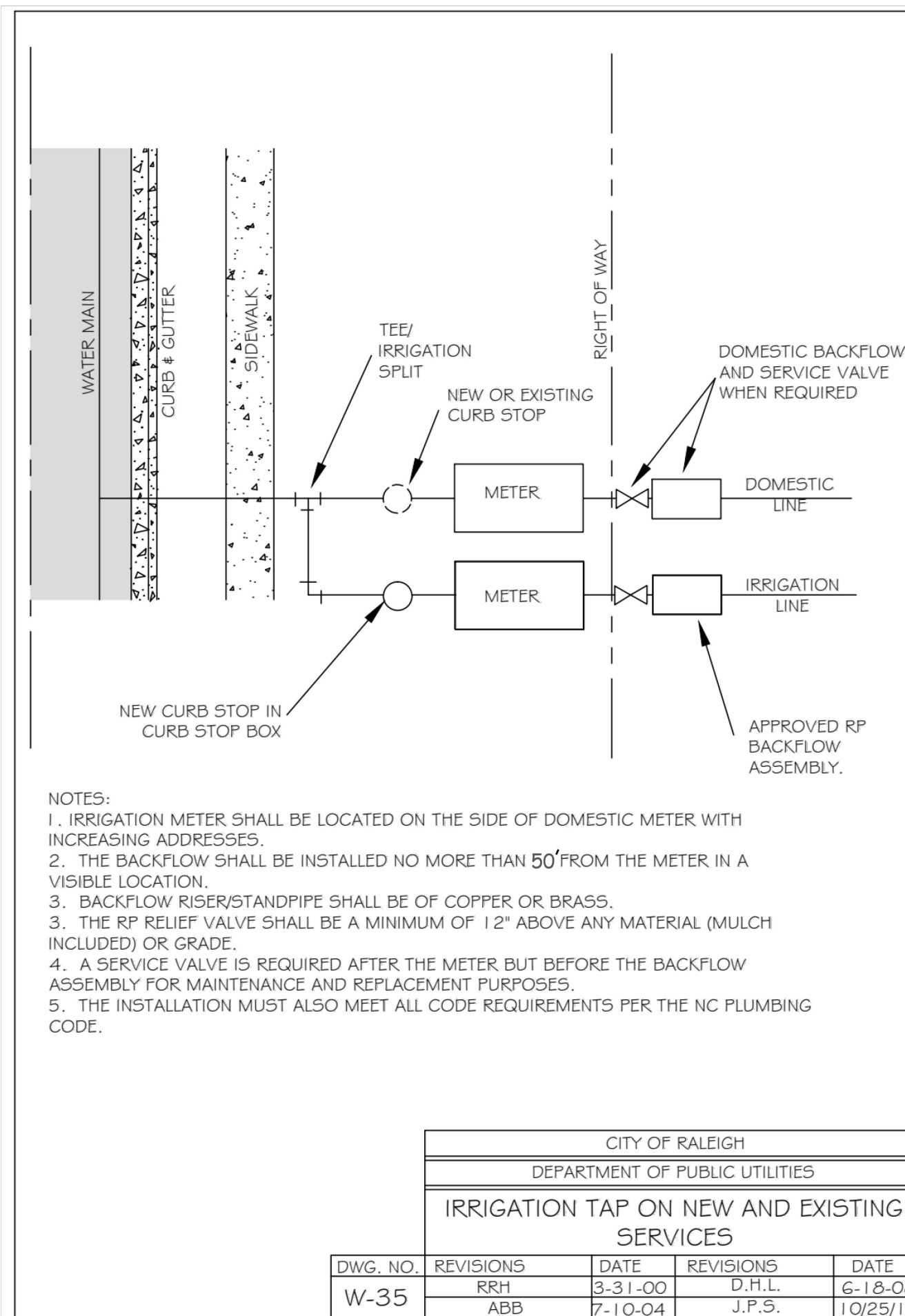
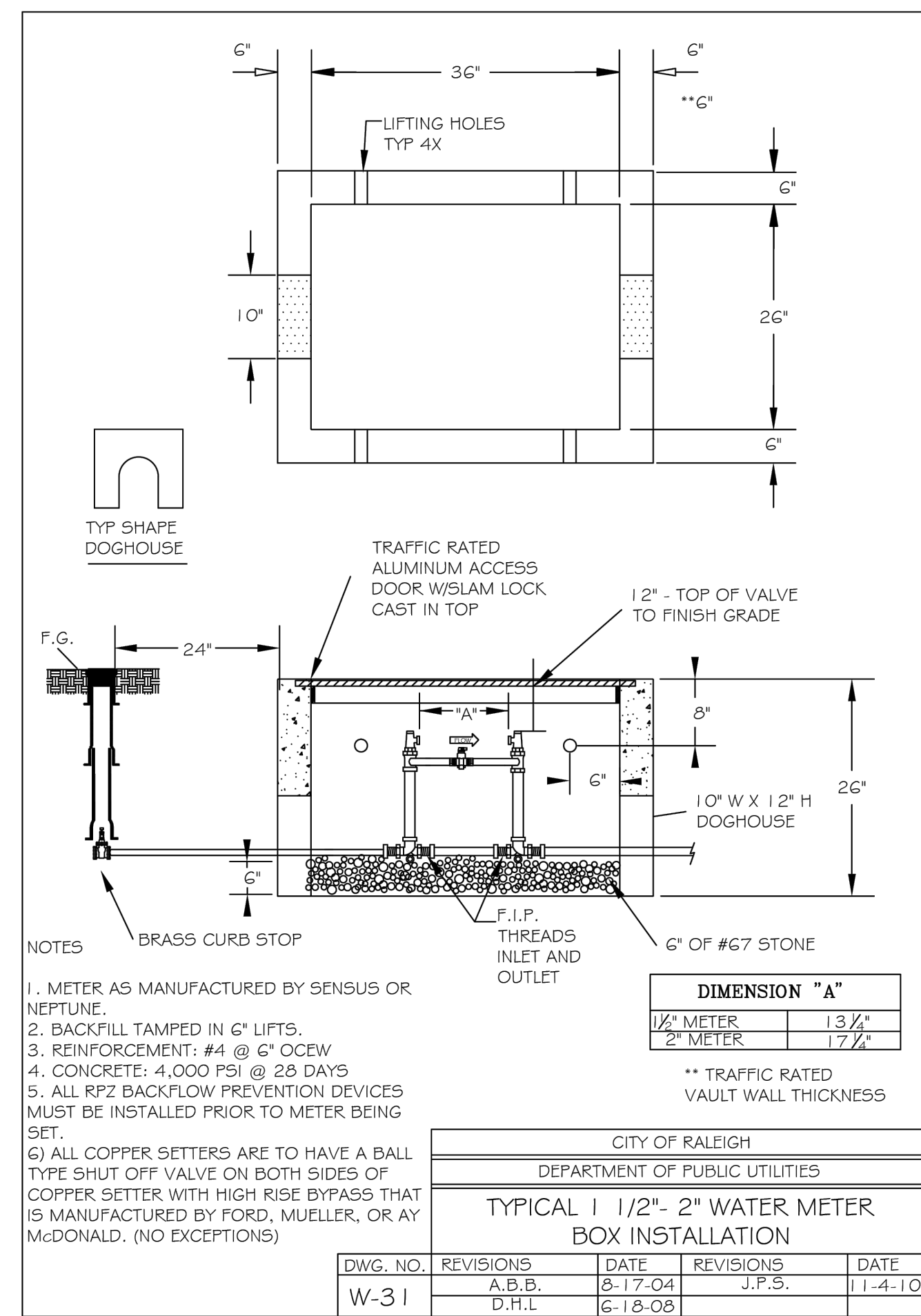
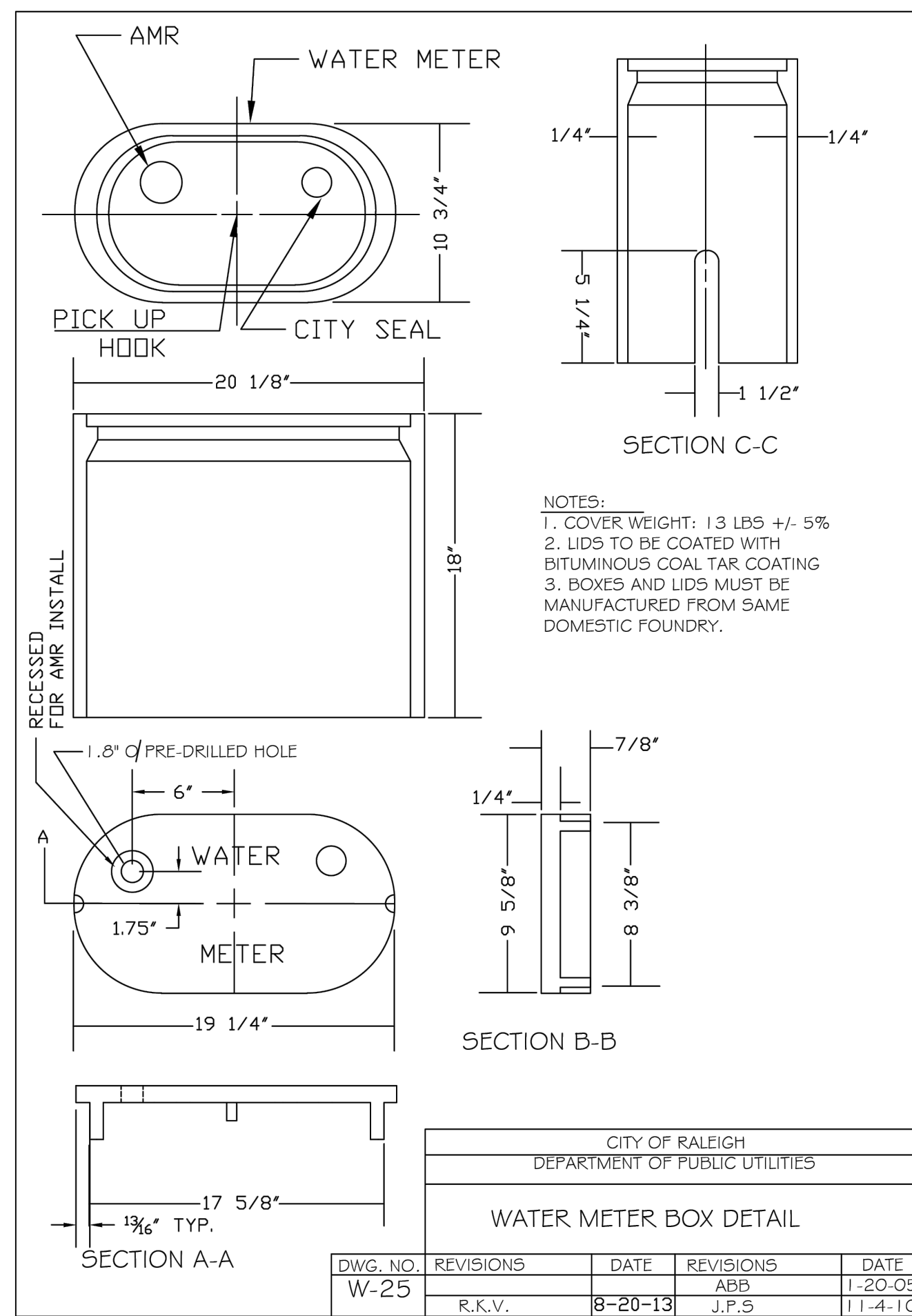


U1 2000 GALLON GREASE INTERCEPTOR

U2 TRENCH BOTTOM DIMENSIONS & BACKFILLING

U3 4" CLEANOUT PLUG

U4 VALVE BOX INSTALLATION AND EXTENSION DETAIL



U5 WATER METER BOX DETAIL

U6 2" WATER METER BOX INSTALLATION

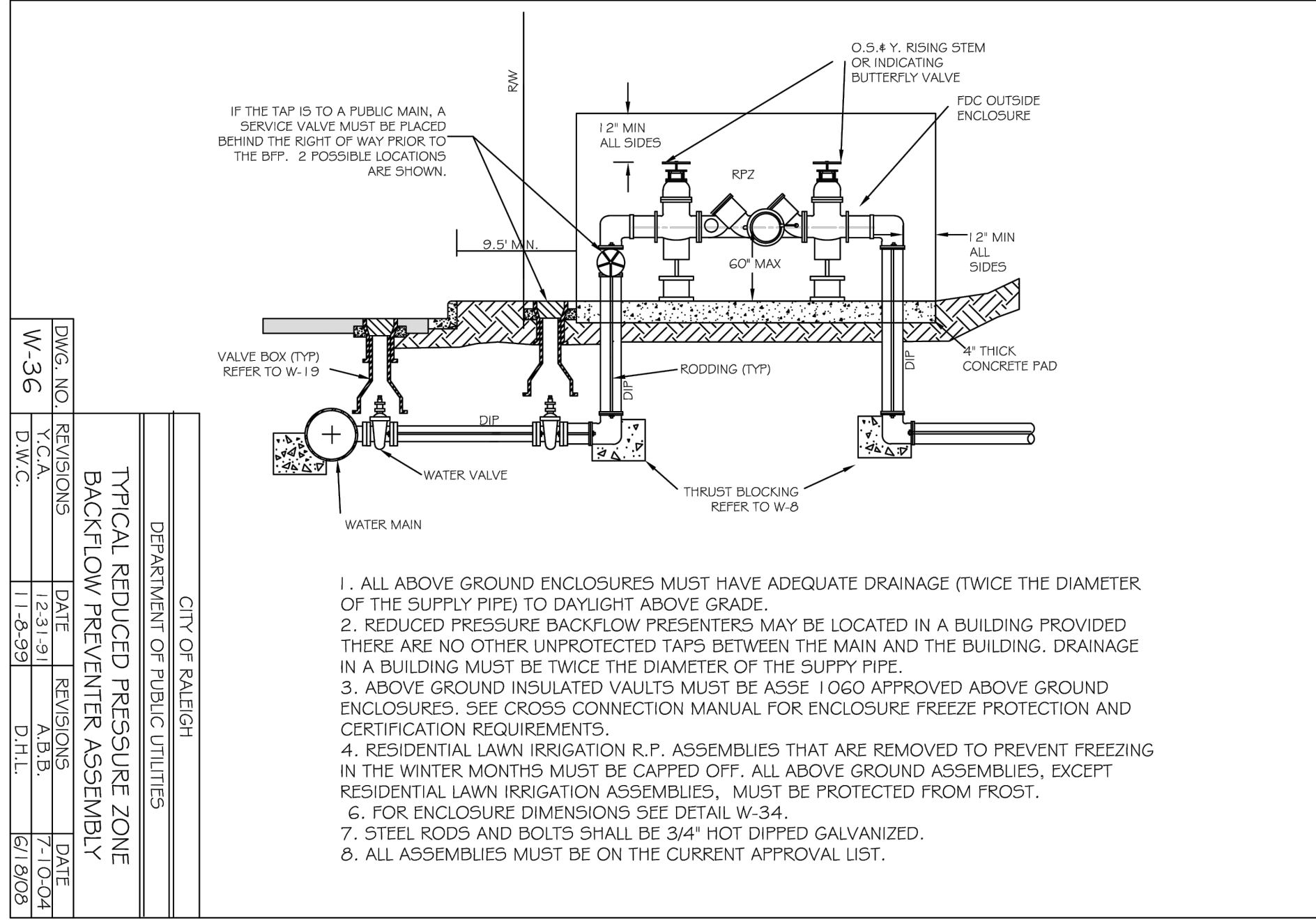
U7 IRRIGATION TAP ON NEW AND EXISTING SERVICES

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NO.	REVISION	DATE

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U8 **REDUCED PRESSURE ZONE BACK FLOW PREVENTER ASSEMBLY**

1. ALL ABOVE GROUND ENCLOSURES MUST HAVE ADEQUATE DRAINAGE (TWICE THE DIAMETER OF THE SUPPLY PIPE) TO DAYLIGHT ABOVE GRADE.
2. REDUCED PRESSURE BACKFLOW PREVENTERS MAY BE LOCATED IN A BUILDING PROVIDED THERE ARE NO OTHER UNPROTECTED TAPS BETWEEN THE MAIN AND THE BUILDING. DRAINAGE IN A BUILDING MUST BE TWICE THE DIAMETER OF THE SUPPLY PIPE.
3. ABOVE GROUND INSULATED VAULTS MUST BE ASSE 1060 APPROVED ABOVE GROUND ENCLOSURES. SEE CROSS CONNECTION MANUAL FOR ENCLOSURE FREEZE PROTECTION AND CERTIFICATION REQUIREMENTS.
4. RESIDENTIAL LAWN IRRIGATION R.P. ASSEMBLIES THAT ARE REMOVED TO PREVENT FREEZING IN THE WINTER MONTHS MUST BE CAPPED OFF. ALL ABOVE GROUND ASSEMBLIES, EXCEPT RESIDENTIAL LAWN IRRIGATION ASSEMBLIES, MUST BE PROTECTED FROM FROST.
6. FOR ENCLOSURE DIMENSIONS SEE DETAIL W-34.
7. STEEL RODS AND BOLTS SHALL BE 3/4" HOT DIPPED GALVANIZED.
8. ALL ASSEMBLIES MUST BE ON THE CURRENT APPROVAL LIST.

CITY OF RALEIGH	
DEPARTMENT OF PUBLIC UTILITIES	
TYPICAL REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY	
DATE	DATE
7-10-04	
DATE	DATE
6/7/009	
D.H.L.	
11-25-99	
D.W.C.	
1-25-99	
D.W.C.	
1-25-99	
D.W.C.	

PREPARED FOR:	
SHEETZ, INC.	
5700 SOUTH AVENUE	
ALTOONA, PA 16802	
DATE:	
10.18.2023	
PROJECT ENGINEER:	
FJP	
PROJECT CAD/DRAWER:	
MJP	
PROJECT SURVEYOR:	
SHEPHERD	

SHEETZ AT FORESTVILLE RD - LOT 1
 RALEIGH, WAKE COUNTY, NORTH CAROLINA
TIER 3 ADMINISTRATIVE SITE REVIEW
UTILITY DETAIL SHEET

NO.	REVISION	DATE

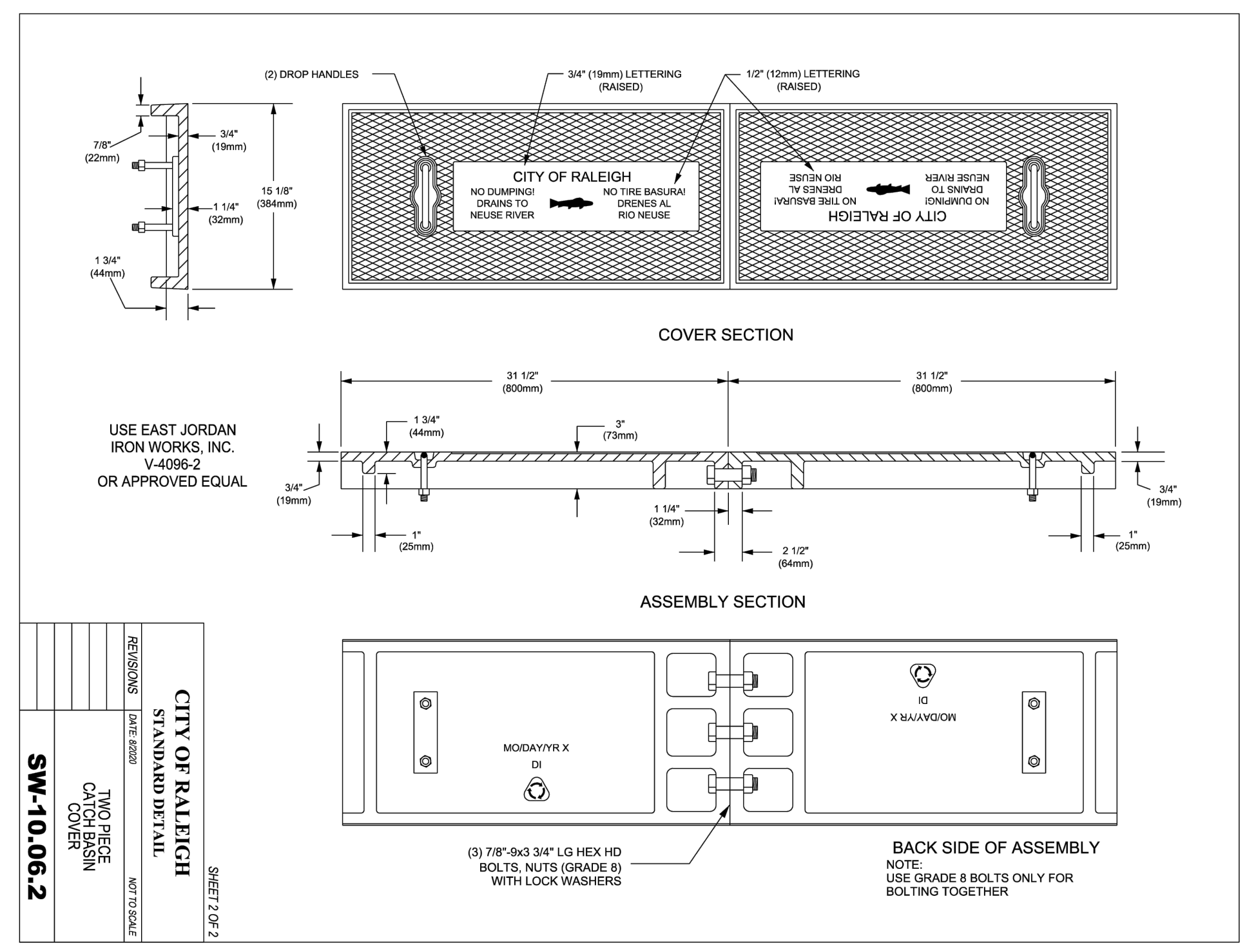
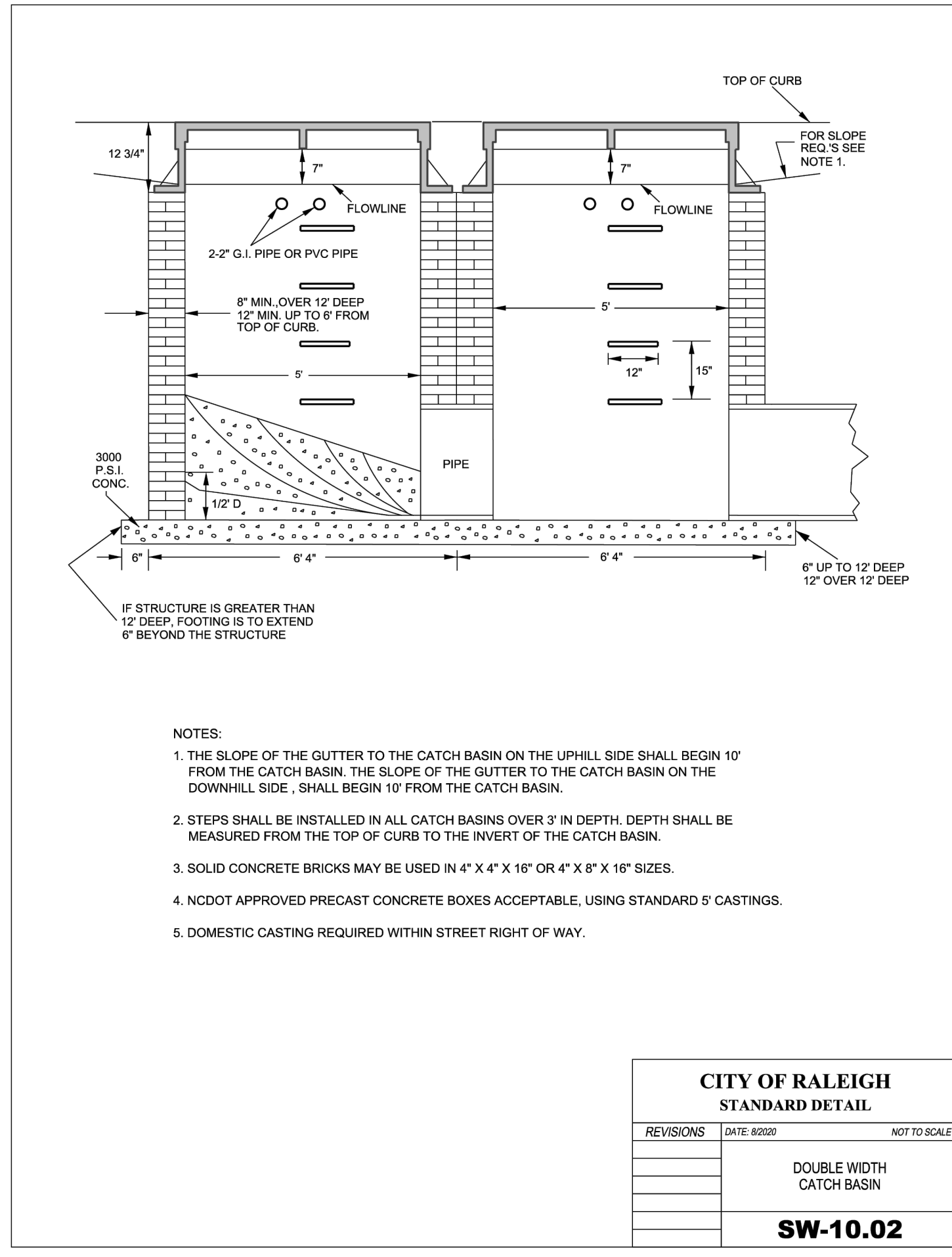
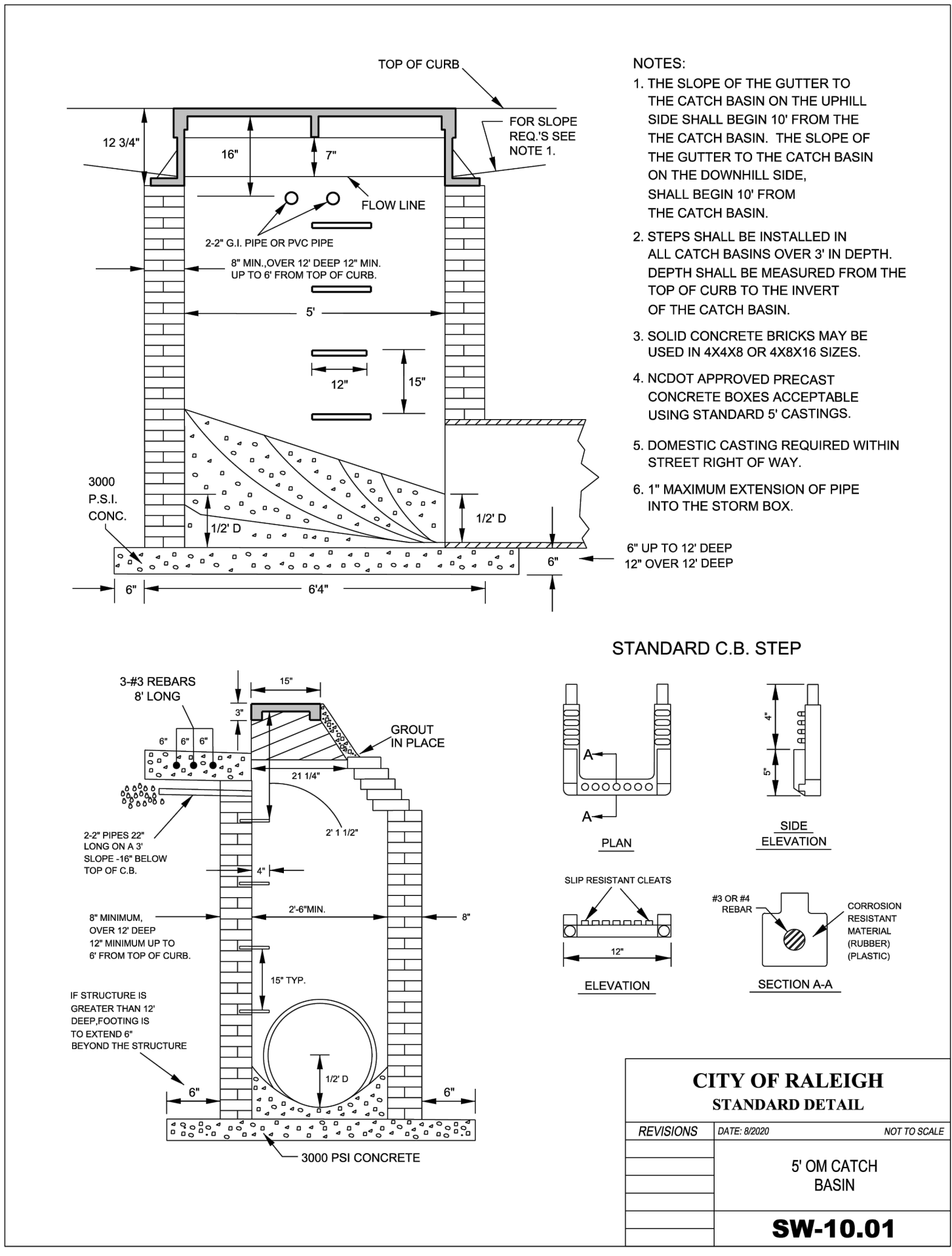
DRAWING SHEET
D-2.1
PROJECT NUMBER
677-23

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NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

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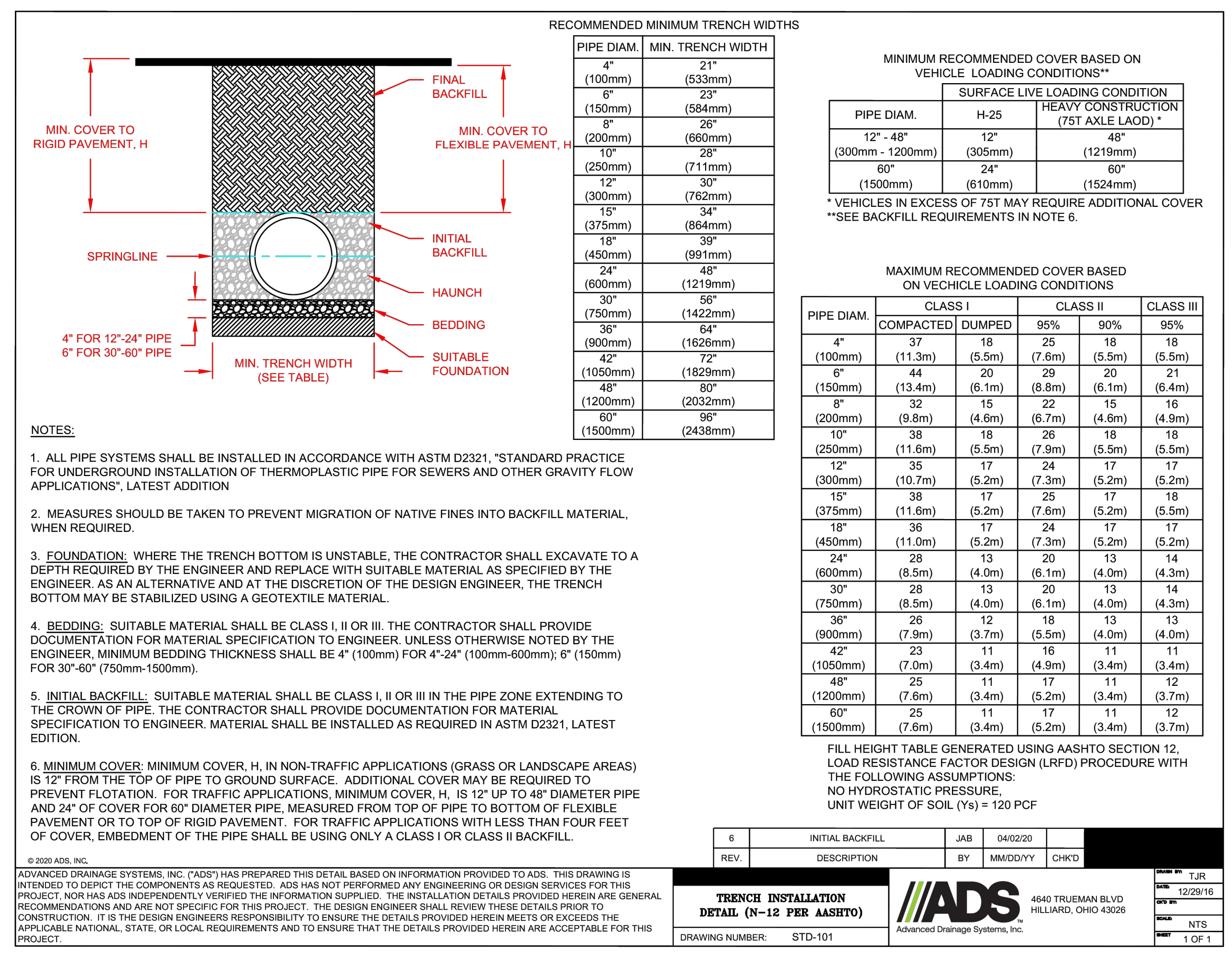
NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.



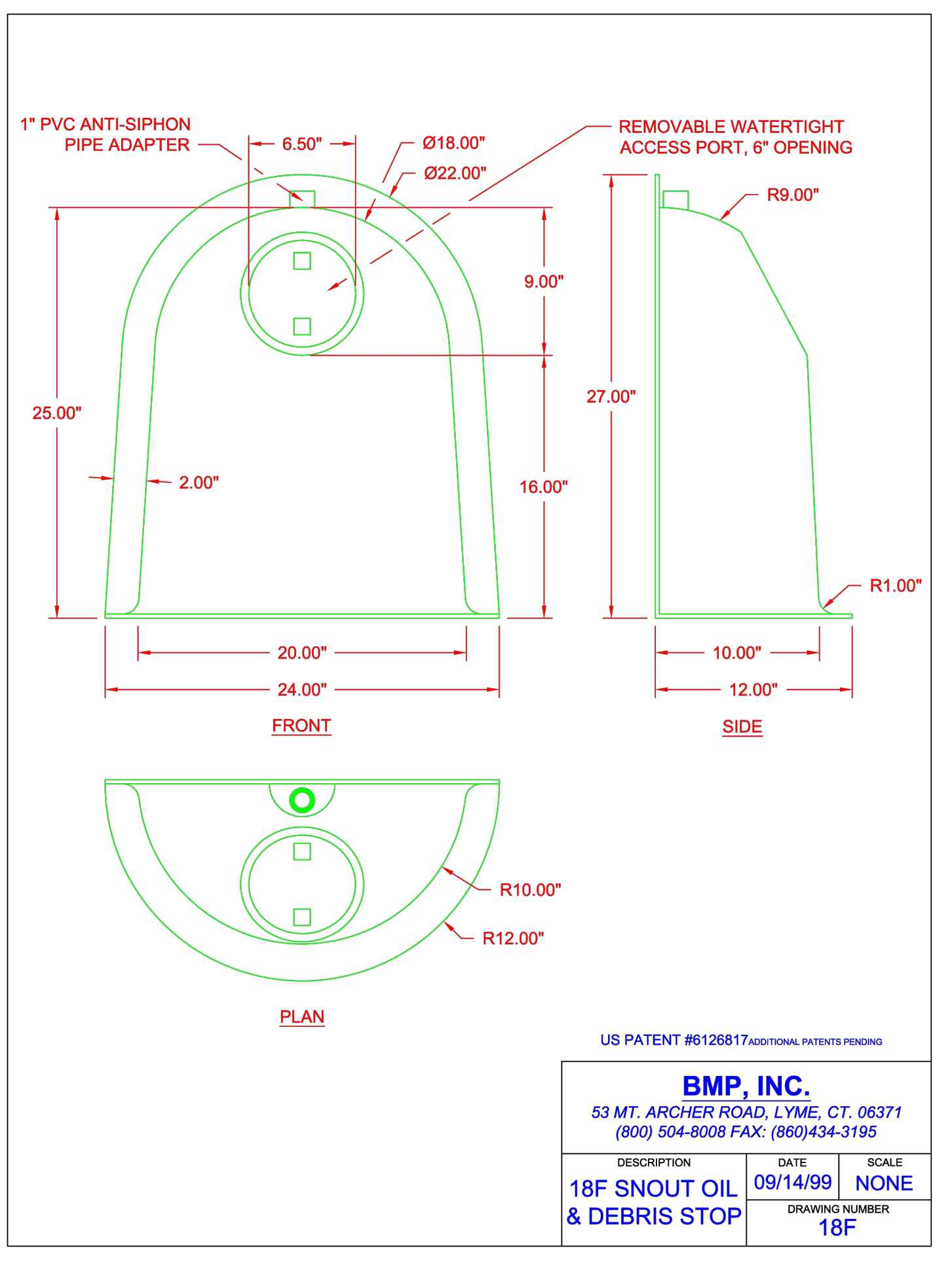
D1 5' OM CATCH BASIN

D2 DOUBLE WIDTH CATCH BASIN

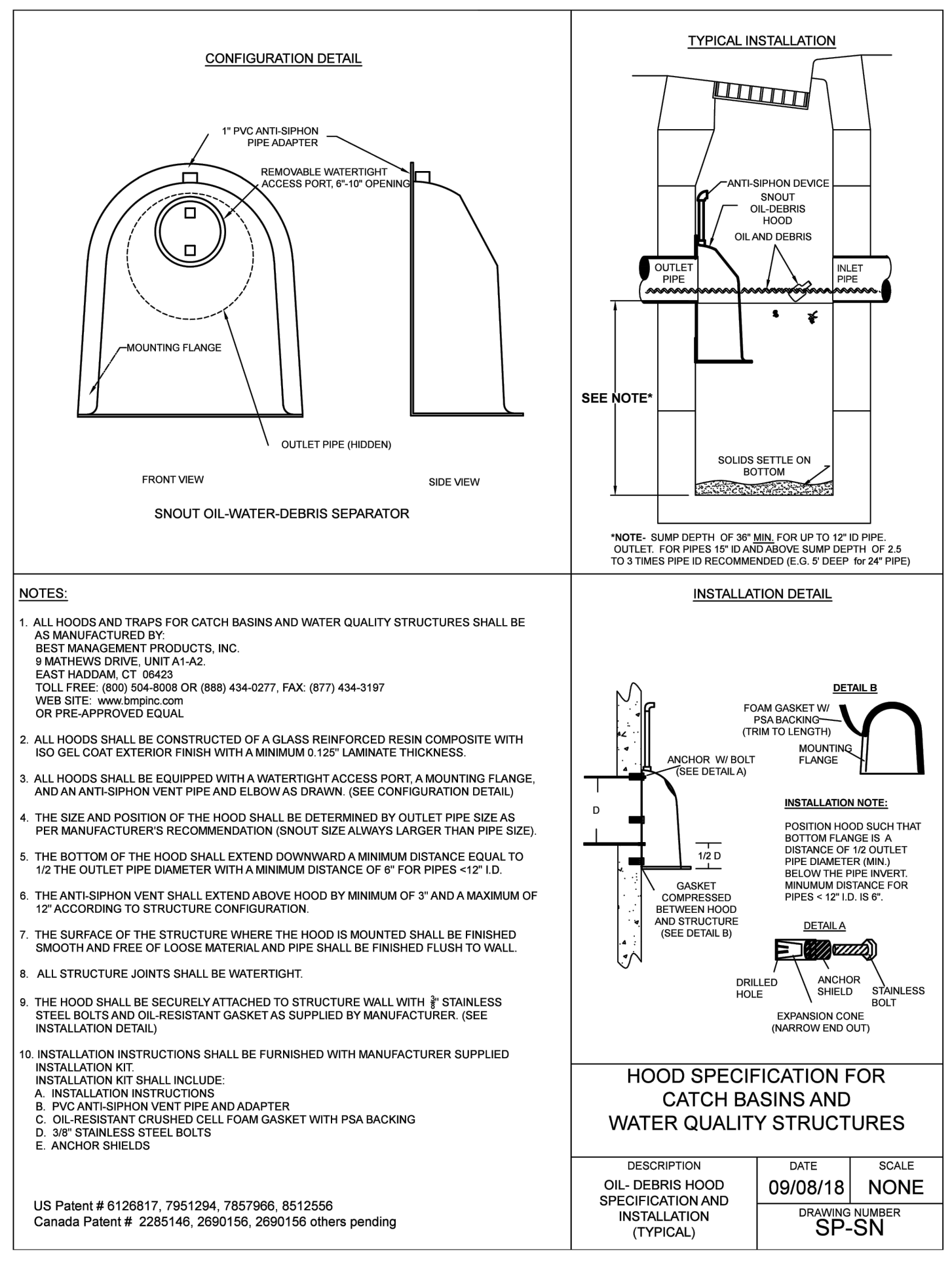
D3 BOLTED COVER ASSEMBLY



D4 HDPE BEDDING DETAIL

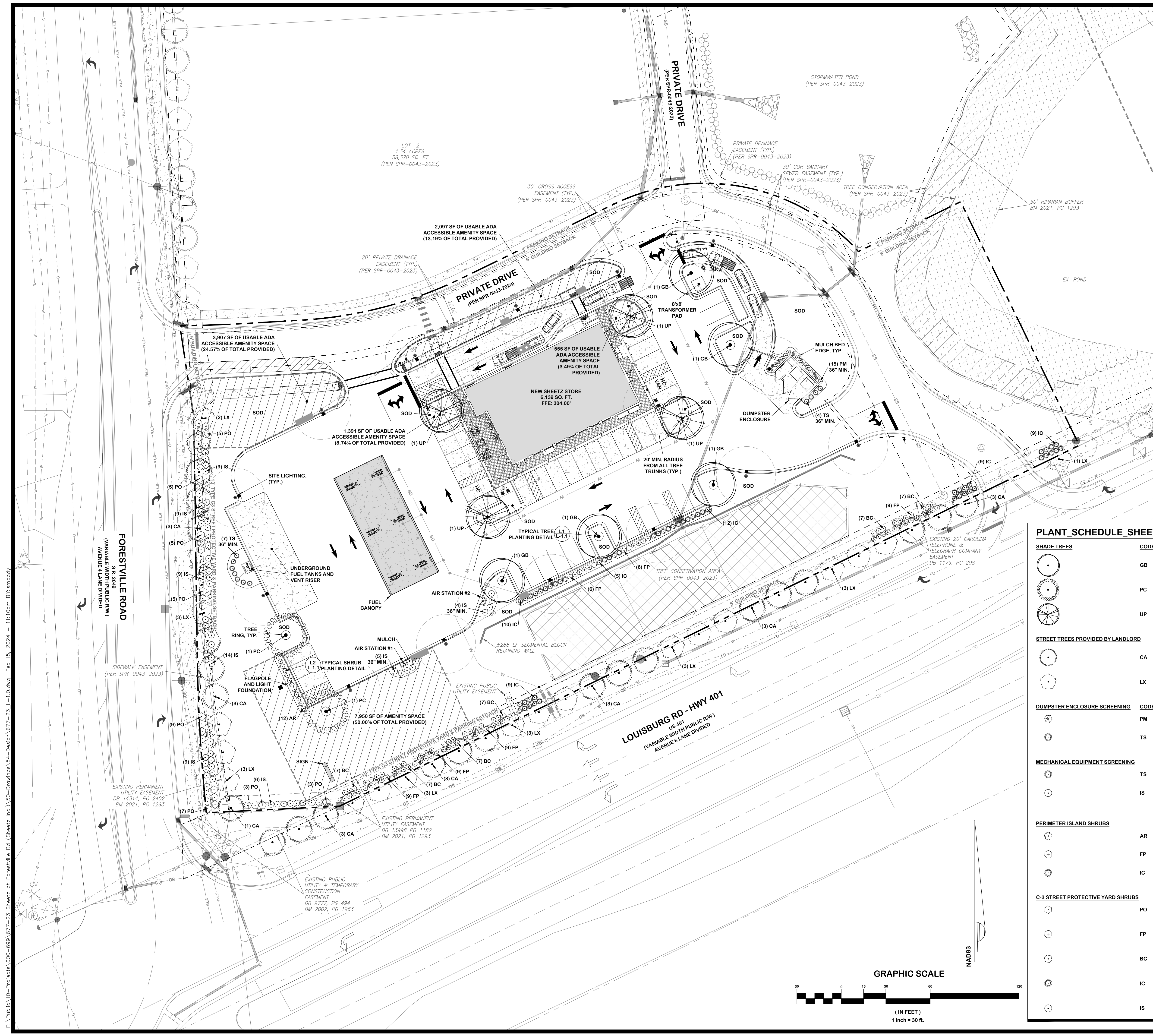


D5 STORM SNOOT



D5 STORM SNOOT

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LANDSCAPE CALCULATIONS:

TREE COVERAGE (UDO 7.1.7.F.2.)
 REQUIRED: 1 TREE PER EVERY 2,000 SF OF PARKING AREA
 PROVIDED: 6,267 / 2,000 = 3.13 = 3 TREES

PERIMETER ISLAND LF (UDO 7.1.7.C)
 REQUIRED: 30 SHRUBS PER 100 LF OF PERIMETER ISLAND THAT IS ALONG PRIMARY INTERNAL ACCESS DRIVES.
 PROVIDED: 51 SHRUBS

EACH INTERIOR ISLAND (AND TERMINAL INTERIOR ISLAND) MUST INCLUDE AT LEAST 1 SHADE TREE (UDO 7.1.7.F.1.)
 PROVIDED: 11 SHADE TREES

SCREENING (UDO 7.2.5.)
 DUMPSTER SCREENING REQUIRED: SCREENED FROM 3 SIDES BY A WALL AT LEAST 6' IN HEIGHT AND THE FOURTH SIDE BY A SOLID GATE AT LEAST 6' IN HEIGHT
 PROVIDED: 3 WALLS GREATER THAN 6', 1 SOLID GATE GREATER THAN 6', AND 19 EVERGREEN SHRUBS AT 36" MIN. (CODE MET)

MECHANICAL EQUIPMENT SCREENING REQUIRED: CONTINUOUS FOR GROUND MOUNTED EQUIPMENT. SCREENING SHOULD BE AS HIGH AS THE TALLEST POINT OF EQUIPMENT BEING SCREENED
 PROVIDED: 16 EVERGREEN SHRUBS AT 36" MIN. (CODE MET)

C3 STREET PROTECTIVE YARDS (UDO 7.2.4.D)
 REQUIRED: 30 SHRUBS PER 100 LF OF STREET FRONTAGE
 PROVIDED: 117 SHRUBS

FORESTVILLE RD - (288 LF / 100) x 30 = 86.4 = 86 SHRUBS
 PROVIDED: 86 SHRUBS

STREET TREES PROVIDED BY LANDLORD (UDO 8.5.6.B & C)
 REQUIRED: 1 TREE PER 40 LF (PER EXISTING OVERHEAD POWER TO REMAIN, 1 UNDERSTORY TREE PER 20 LF)
 PROVIDED: 40 UNDERSTORY TREES

FORESTVILLE RD - 756 LF / 20 = 38 UNDERSTORY TREES
 PROVIDED: 38 UNDERSTORY TREES PROVIDED BY OTHERS PER SPR-0043-2023

**FOR REVIEW ONLY
 NOT FOR CONSTRUCTION**

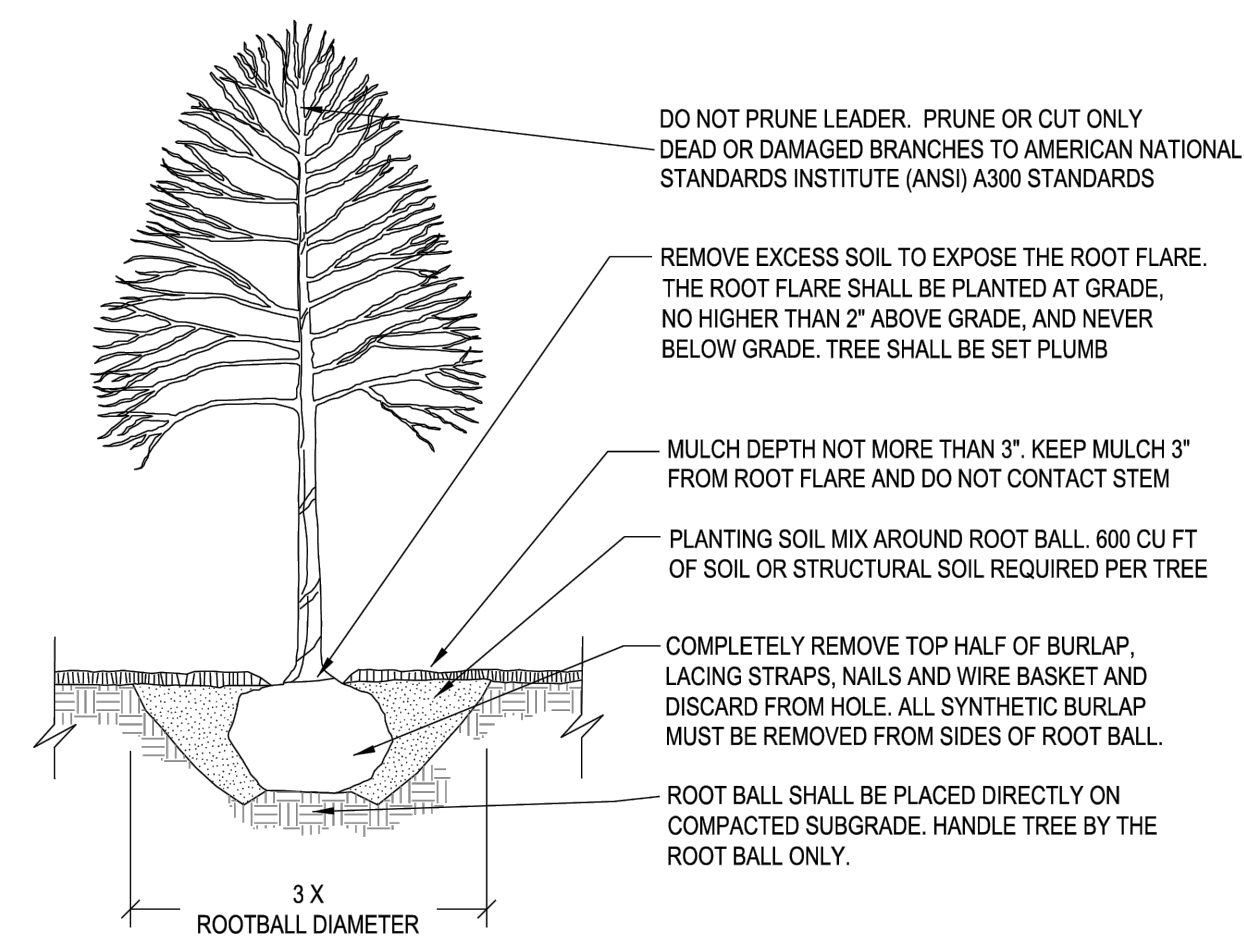
NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

PLANT_SCHEDULE_SHEET_L-1.0

SHADE TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	CONTAINER
	GB	5	Ginkgo biloba 'Autumn Gold' Autumn Gold Maidenhair Tree	3" MIN.	10' MIN.	B&B
	PC	2	Pistacia chinensis Chinese Pistache	3" MIN.	10' MIN.	B&B
	UP	4	Ulmus americana 'Princeton' Princeton American Elm	3" MIN.	10' MIN.	B&B
STREET TREES PROVIDED BY LANDLORD						
	CA	22	Cercis canadensis 'Alba' White Eastern Redbud	2" MIN.	8-10' MIN.	B&B
	LX	21	Lagerstroemia x 'M4' TM Thunderstruck White Lightening Crepe Myrtle	2" MIN.	8-10' MIN.	B&B
DUMPSTER ENCLOSURE SCREENING						
	PM	19	Podocarpus macrophyllus 'Maki' Maki Shrubby Yew Podocarpus	36" MIN.	8-10'	3-4'
	TS	4	Thuja occidentalis 'Smaragd' Emerald Green Arborvitae	36" MIN.	10-12'	3-4'
MECHANICAL EQUIPMENT SCREENING						
	TS	7	Thuja occidentalis 'Smaragd' Emerald Green Arborvitae	36" MIN.	10-12'	3-4'
	IS	9	Ilex glabra 'Shamrock' Shamrock Inkberry Holly	36" MIN.	4-5'	4-5'
PERIMETER ISLAND SHRUBS						
	AR	12	Abelia x 'Rose Creek' Rose Creek Abelia	18" MIN.	3-4'	3-4'
	FP	12	Gardenia jasminoides 'Frostproof' Frostproof Gardenia	18" MIN.	4-5'	4-5'
	IC	27	Ilex vomitoria 'Condeaux' Bordeaux Yaupon Holly	18" MIN.	3-4'	3-4'
C-3 STREET PROTECTIVE YARD SHRUBS						
	PO	42	Prunus laurocerasus 'Otto Luyken' Otto Luyken English Laurel	18" MIN.	4-5'	6-8'
	FP	36	Gardenia jasminoides 'Frostproof' Frostproof Gardenia	18" MIN.	4-5'	3-4'
	BC	42	Dietylum 'Blue Cascade' Blue Cascade Distylium	18" MIN.	2-3'	3-4'
	IC	27	Ilex vomitoria 'Condeaux' Bordeaux Yaupon Holly	18" MIN.	3-4'	3-4'
	IS	16	Ilex glabra 'Shamrock' Shamrock Inkberry Holly	18" MIN.	4-5'	4-5'

NO.	REVISION	DATE

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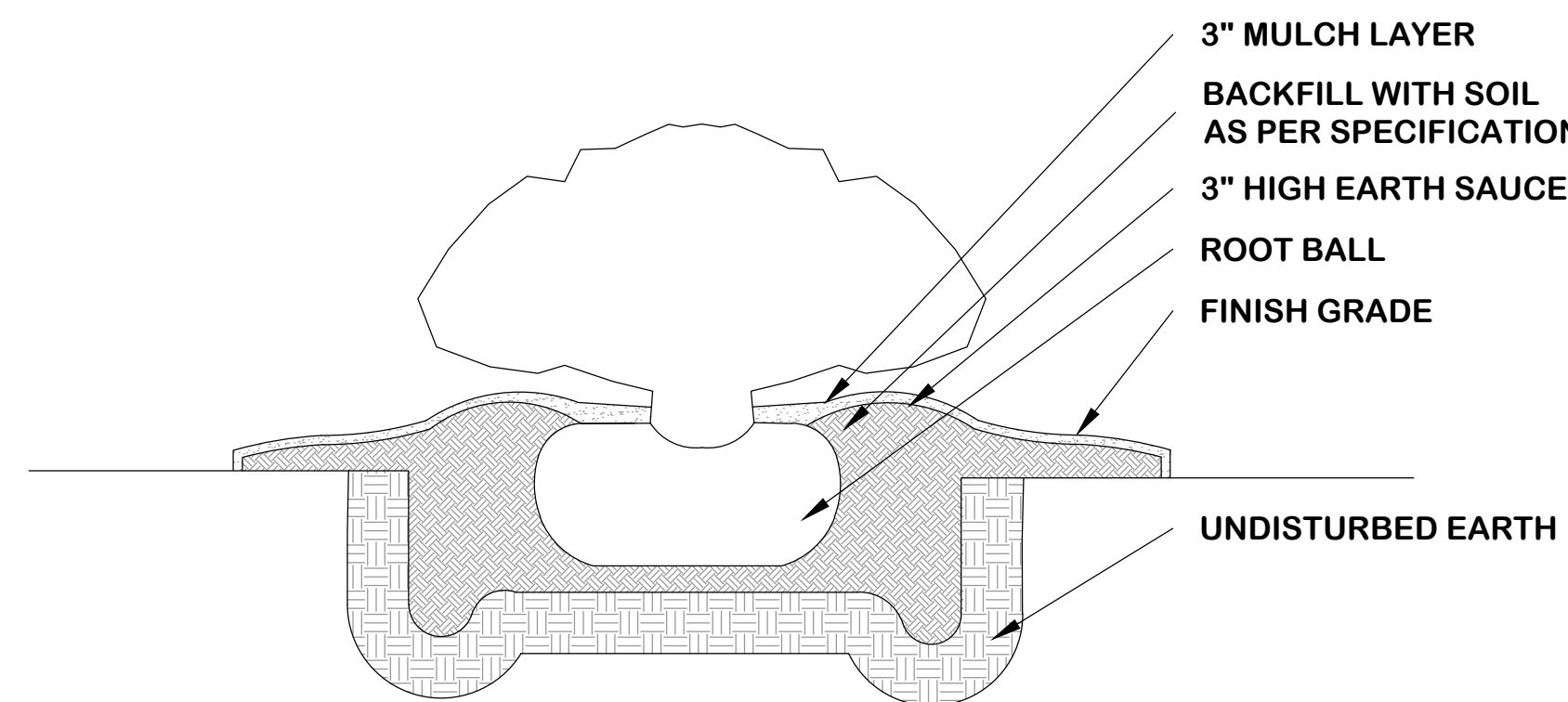
CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE: 09/09	NOT TO SCALE
10/2019		
TREE PLANTING DETAIL		
TPP-03		

L1 TREE PLANTING
DETAIL

SHRUB PLANTING DETAIL



NOTES

- REMOVE THE BURLAP, BURLAP TIES AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS AND SYNTHETIC BURLAP - TYPE OF MATERIALS FROM THE ENTIRE ROOTBALL.
- SCARIFY ROOTBALL AND BOTTOM/SIDES OF PLANT PIT.
- EXCAVATE PLANTING PIT TWO TO THREE TIMES AS WIDE AS THE ROOTBALL. INSTALL ROOTBALL 1/4 TO 1/3 ABOVE EXISTING/PROPOSED GRADE. LOCATE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
- ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
- THE SIZE OF THE ROOTBALL SHALL CONFORM TO THE AAN STANDARDS.
- FERTILIZED ALL PLANTS WITH AGRIFORM FERTILIZER TABLETS OR EQUAL, TO BE APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATION.
- ALL ROOTBALLS AFTER REMOVING FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANTING HOLE.
- THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND AT LEAST ONCE A WEEK FOR THE FIRST TWO GROWING SEASONS.

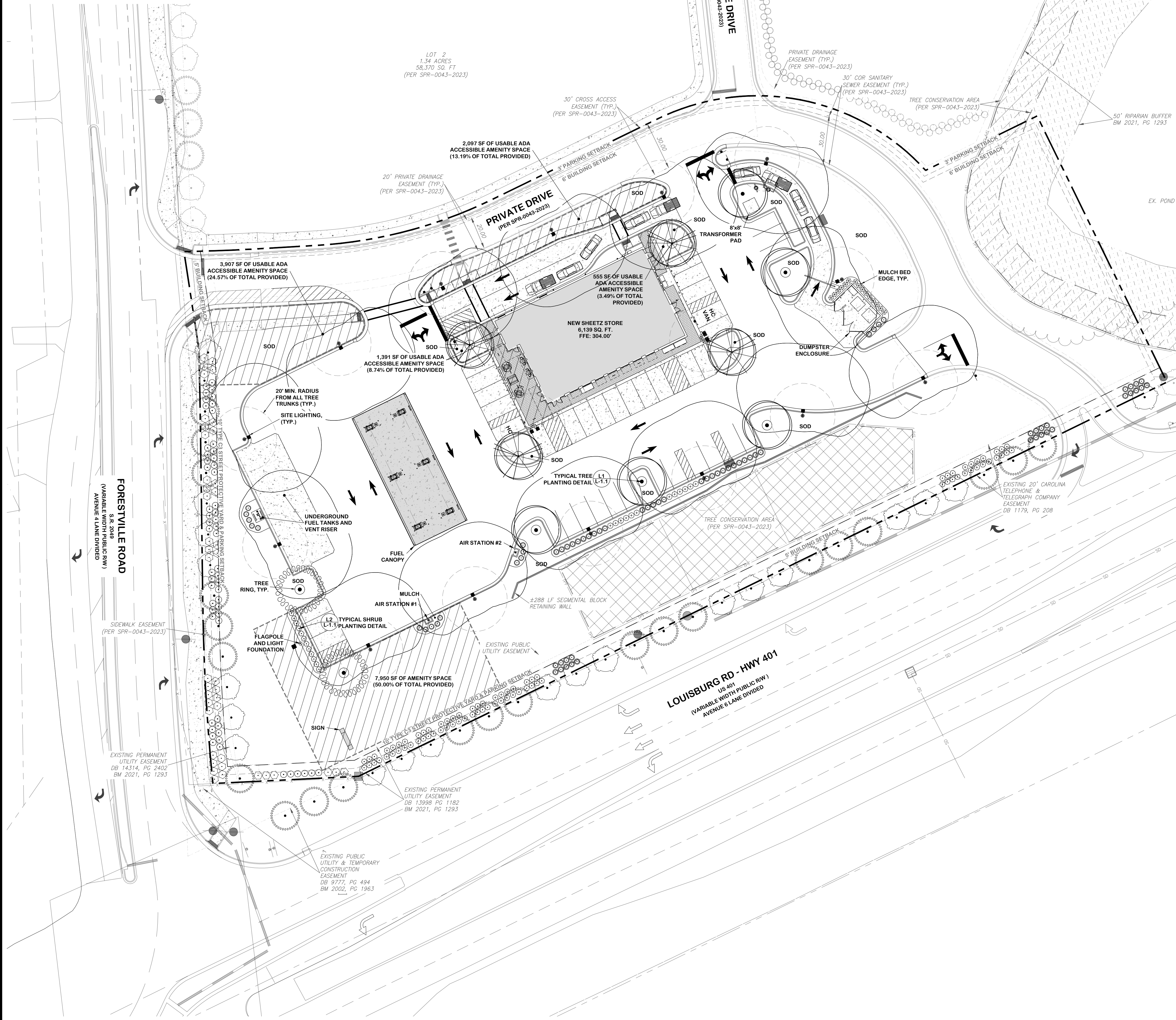
L2 SHRUB PLANTING
DETAIL

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

NO.	REVISION	DATE

LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF QTY
254A		GE LIGHTING LED205 4 1/POLE (1) "2054" LED205_4_1/POLE	(1) 4000K	13620	25' MT HT SiteLighter II	0.85 1

SEE SHEET C-0.1 FOR LEGENDS AND NOTES.

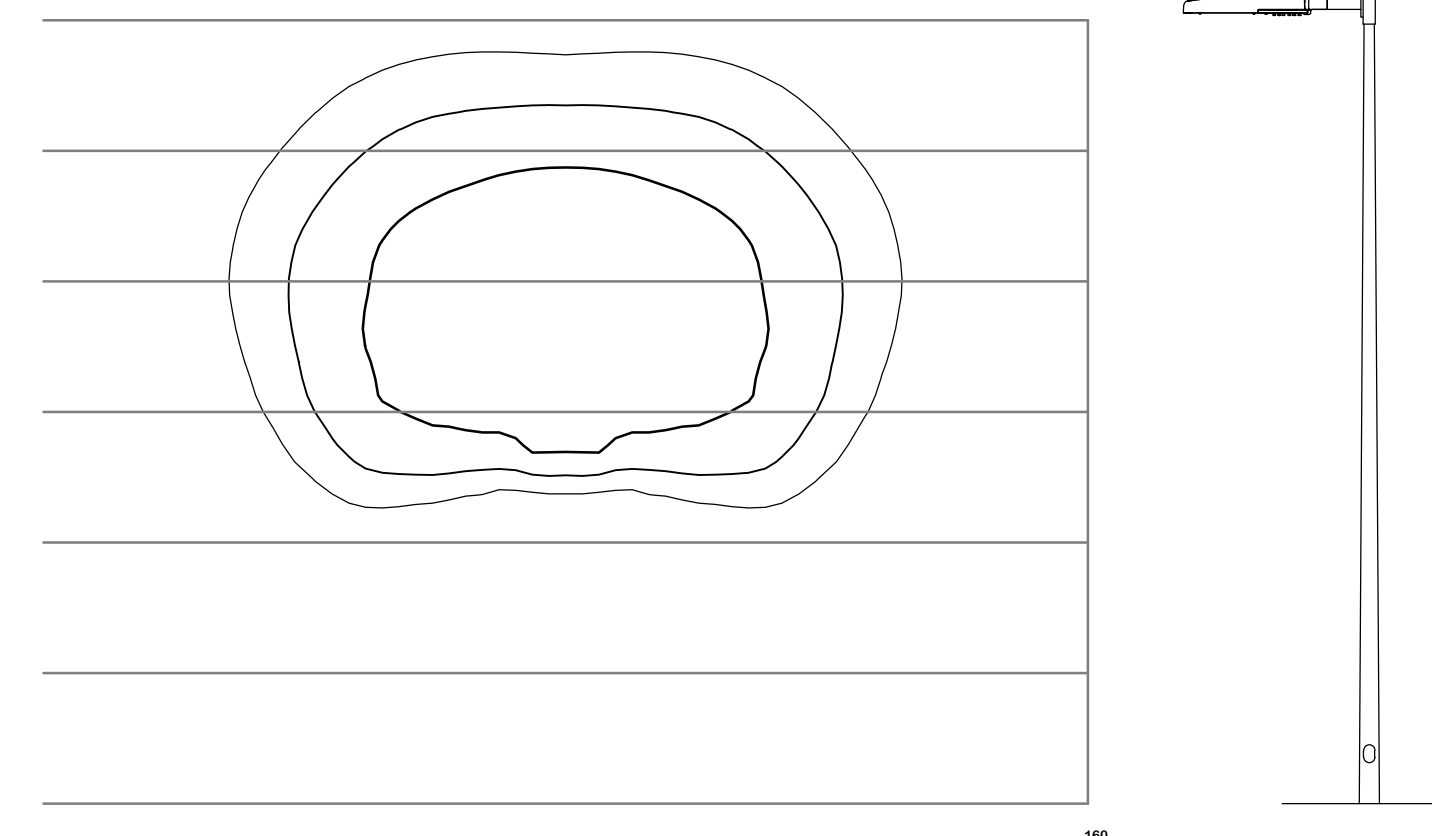


ISOFOOTCANDLE CURVES

FIXTURE: LED205, EAMM
MOUNTING HEIGHT: 25 FT
LIGHT SOURCE: 180 LED'S, 4000K
PATTERN: TYPE IV, B2-US-G3(zero light at or above 90 degrees)

ASSY# L12KLED205LRMC
POLE ASSY# PLFG30BLC (BLACK)

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.

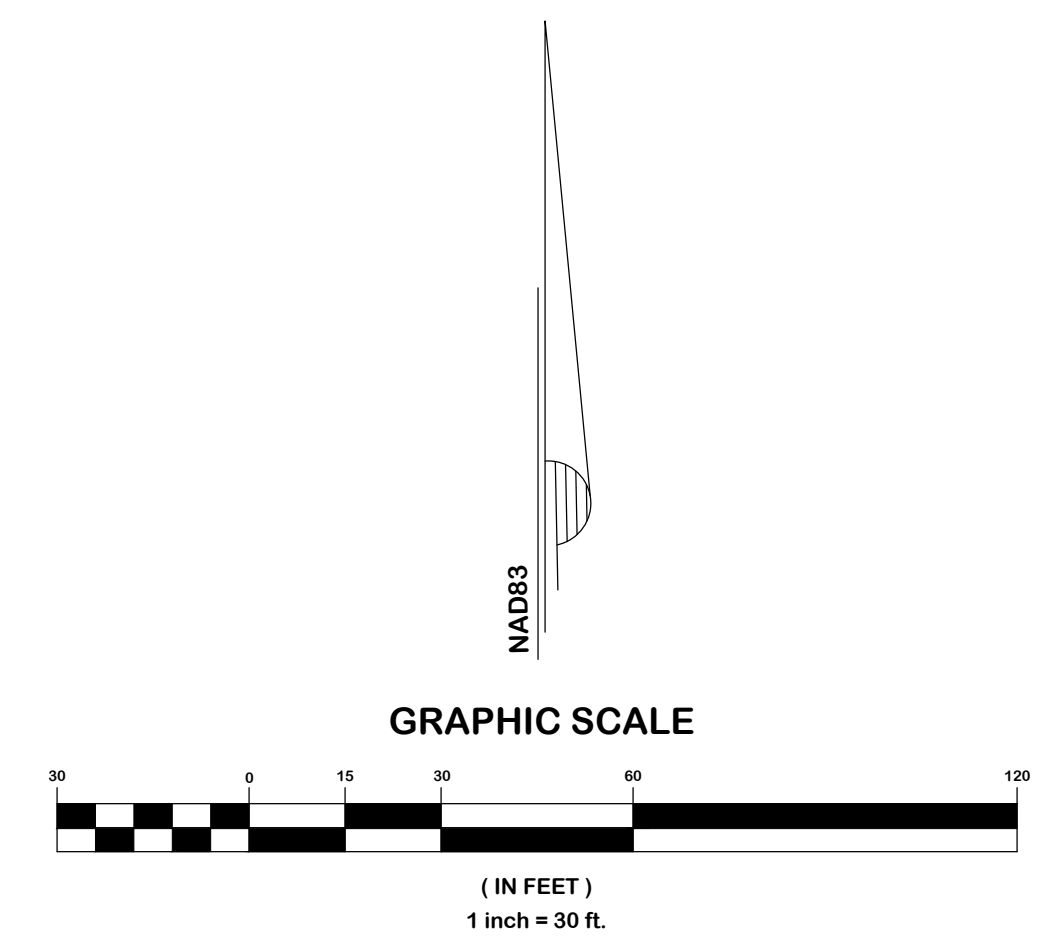


LEGEND (OUTER to INNER): 0.100, 0.200, 0.450, 0.750, 1.10

L1

LIGHTING DESIGN TOLERANCE

THE CALCULATED FOOTCANDLE LIGHT LEVELS IN THIS LIGHTING DESIGN ARE PREDICTED VALUES AND ARE BASED ON SPECIFIC INFORMATION THAT HAS BEEN SUPPLIED TO PROGRESS ENERGY. ANY INACCURACIES IN THE SUPPLIED INFORMATION, DIFFERENCES IN LUMINAIRE INSTALLATION, LIGHTED AREA GEOMETRY INCLUDING ELEVATION DIFFERENCES, REFLECTIVE PROPERTIES OF SURROUNDING SURFACES, OBSTRUCTIONS (IF OLIVE OR OTHERWISE) IN THE LIGHTED AREA, OR LIGHTING FROM SOURCES OTHER THAN LISTED IN THIS DESIGN MAY PRODUCE DIFFERENT RESULTS FROM THE PREDICTED VALUES. NORMAL TOLERANCES OF VOLTAGE, LAMP OUTPUT, AND BALLAST AND LUMINAIRE MANUFACTURE WILL ALSO AFFECT RESULTS.



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NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

PAST DESIGN GROUP, PA
Engineering | Consulting
107 Forestville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919 846 4399 | Fax: 919 946 9351 | NC LICENSE NUMBER: C-3311

PREPARED FOR:
SHEETZ, INC.
5700 SOUTH AVENUE
ALTOONA, PA 16602

DATE: 10.19.2023

PROJECT ENGINEER:
PJP

PROJECT CAD/DRAWN:
MMP

PROJECT SURVEYOR:
GHELER

SHEETZ AT FORESTVILLE RD - LOT 1

RALEIGH, WAKE COUNTY, NORTH CAROLINA

**TIER 3 ADMINISTRATIVE SITE REVIEW
LIGHTING PLAN**

NO.	REVISION	DATE

DRAWING SHEET
LP-1.0

PROJECT NUMBER
677-23

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Convenience Architecture and Design P.C.

351 Sheetz Way, Claysburg, PA 16625

phone (814) 239-6013
email tcolumbu@sheetz.com
web site www.sheetz.com

PROJECT NAME:
NEW SHEETZ STORE

RALEIGH

Int. of Forestville Road and
Louisburg Road
Raleigh
North Carolina

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

NEW SHEETZ STORE# XXX
LOCATION
LOCATION
ADDRESS LINE 1
CITY, ST XXXXX

PROJECT LOCATION

PROJECT CONTACTS

PROJECT DRAWING INDEX

ARCHITECTURAL	THOMAS M. COLUMBUS JR., AIA, NCARB, LEED AP CONVENIENCE ARCHITECTURE AND DESIGN P.C. 351 SHEETZ WAY CLAYSBURG, PA 16625 T: 814-239-6013 E: tcolumbu@sheetz.com
STRUCTURAL	RANDAL S. DIVINEY, PE DIVINEY & ASSOCIATES STRUCTURAL ENGINEERS, LLC 310 PENN ST, SUITE 200 HOLLIDAYSBURG, PA 16848 T: 814-317-5037 E: rdviney@dastructures.com
MECHANICAL ELECTRICAL PLUMBING	DAVE BACCI, PE H.F. LENZ COMPANY 1407 SCALP AVENUE JOHNSTOWN, PA 15904 T: 412-371-9101 E: dbacci@hflenz.com

NUMBER	TITLE
GENERAL	
G001	COVER SHEET
G002	ACCESSIBILITY DETAILS
G003	APPENDIX B
STRUCTURAL	
S001	STRUCTURAL NOTES
S002	STRUCTURAL SCHEDULES AND SPECIAL INSPECTIONS
S101	FOUNDATION PLAN
S102	ROOF FRAMING PLAN
S301	STRUCTURAL SECTIONS AND DETAILS
S601	STRUCTURAL TYPICAL DETAILS
S602	STRUCTURAL TYPICAL DETAILS
ARCHITECTURAL	
A001	NOTES, SYMBOLS, & ABBREVIATIONS
A002	PERFORMANCE SPECIFICATIONS
A003	PERFORMANCE SPECIFICATIONS
A004	PERFORMANCE SPECIFICATIONS
A005	PERFORMANCE SPECIFICATIONS
A006	PERFORMANCE SPECIFICATIONS
A100	SIDEWALK PLAN
A110	FRAMING PLAN
A111	PARTITION TYPES
A112	MISCELLANEOUS DETAILS
A120	REFLECTED CEILING PLAN
A121	CEILING DETAILS
A130	ROOF PLAN
A131	ROOF DETAILS
A140	EQUIPMENT PLAN
A141	EQUIPMENT ELEVATIONS
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS
A300	BUILDING SECTIONS
A310	WALL SECTIONS
A311	WALL SECTIONS
A312	WALL SECTIONS
A400	ENLARGED TOILET ROOM PLAN, ELEVATIONS AND DETAILS
A600	DOOR, WINDOW & STOREFRONT SCHEDULES, ELEVATIONS & DETAILS
A700	INTERIOR FINISH SCHEDULE
A710	INTERIOR GRAPHICS PLAN
A711	INTERIOR GRAPHICS SCHEDULE
A712	INTERIOR FLOOR FINISHES PLAN & DETAILS
A720	INTERIOR ELEVATIONS
A721	INTERIOR ELEVATIONS
A722	INTERIOR ELEVATIONS
A900	MILLWORK, FURNITURE & FIXTURE PLAN
A901	ENLARGED MILLWORK PLANS, ELEVATIONS & DETAILS

BUILDING DATA

BUILDING CODE ANALYSIS
SUMMARY OF PROJECT
This project is a 6,139 GSF Convenience Retail Store and Automotive Fuel Sales Facility located at the intersection of XXXXX Road and XXXX Road in City, State. This plan review summary analysis is limited to the building only and does not include the gasoline distribution system and/or the associated exterior gas canopy.
See sheet S001 for Structural Design Data, Seismic Information, Wind Loads, Special Inspection Requirements, etc.

APPLICABLE CODES
2018 International Building Code
2018 International Mechanical Code with Amendments
2018 International Plumbing Code with Amendments
2018 International Fire Code with Amendments
2017 National Electrical Code, NFPA 70
2018 International Fuel Gas Code with Amendments
2018 International Energy Conservation Code with Amendments
2017 ICC/ANSI A117.1 Standard for Accessible Buildings and Facilities
2010 ADA Standards for Accessible Design

USE OR OCCUPANCY
Mixed Use (Non-Separated)
309.1 Group M Occupancy/303.3 Group A-2 Occupancy
(A-2 occupancy changes to M occupancy per exception 2 under 303.1.2 of the Building Code)
Retail Store with Seating: Total interior seats: 30
Handicap seats required: 2
Handicap seats provided: 2
Exterior Seating: Total exterior seats: 18
Handicap seats required: 1
Handicap seats provided: 1

GENERAL BUILDING LIMITATIONS
Tables 504.3, 504.4 & 506.2
Type V-B Non-Sprinklered Construction
Groups M
Max. stories: 1 Provided: 1
Max. height: 40' Provided: 18' (Less roof structure)
26'-0" w/ roof structure
Max. floor area: 9,000 sq. ft. Provided: 6,139 sq. ft.

TYPE OF CONSTRUCTION
Table 601
Type V-B construction
Structural frame: 0 hours
Bearing walls: 0
Nonbearing walls: 0
Floor construction: 0
Roof construction: 0

INTERIOR FINISHES
Table 903.11
Required flame spread rating - Groups M
Exit access corridors and other exitways: Class B 26-75 flame spread
Rooms and enclosed spaces: Class C 76-200 flame spread

Function of Space	Occupant Load Factor	Area / Factor	Load
Mercantile:	60 SF / Occupant	3,264 / 60	= 55
Assembly without Fixed Seats, Unconcentrated	15 SF / Occupant	450 / 15	= 30
Kitchen:	200 SF / Occupant	750 / 200	= 4
Business:	150 SF / Occupant	150 / 150	= 2
Accessory Storage Areas, Mechanical Equipment Room	300 SF / Occupant	495 / 300	= 2
Accessory Storage Areas, Refrigerated Storage	300 SF / Occupant	617 / 300	= 3
			Total Occupants = 96

EGRESS WIDTH PER OCCUPANT
Section 1005
Width factor is 0.2 for Groups M & B
Egress width required: 96 occupants x 0.2 = 19.2"
Required: (2) 36" Egress doors. Provided: (5) >36" egress doors.

FIRE PROTECTION
This building is not required to have a sprinkler system.

TABLE 2902.1	WATER CLOSET		LAVATORY		DRINKING FOUNTAIN	MOP SINK
	M	F	M	F		
PROVIDED	2 WC	2 URINAL	3 WC	2	2	2
REQUIRED	1	1	1	1	1	1

MECHANICAL	FIRE PROTECTION	PLUMBING	ELECTRICAL
M001	F001	P001	E001
M111	F002	P010	E011
MEP130	F003	P101	E101
MEP501	F004	P102	E111
MEP502	F005	P103	E112
MEP503	F006	P104	E121
	F007	P105	E122
	F008	P106	E301
	F009	P107	E302
	F010	P108	E401
	F011	P109	E501
	F012	P110	E601
	F013	P111	E602
	F014	P112	E603
	F015	P113	E604
	F016	P114	E605
	F017	P115	E606

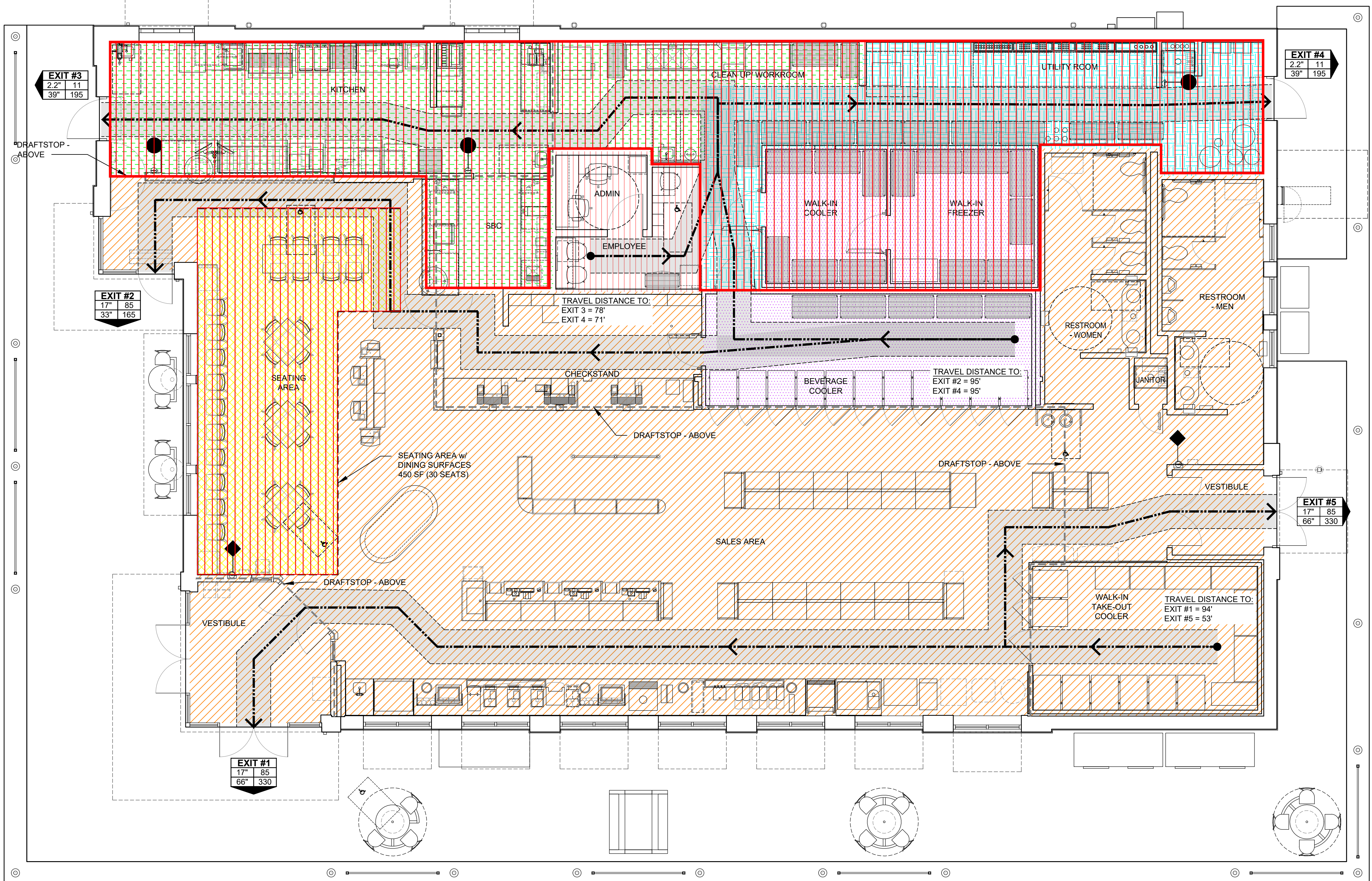
SYMBOL LEGEND

MEANS OF EGRESS CAPACITY		
Required Width	Exit Number	Egress Lighting Path Symbol
Provided Width	Occupant Load	Fire Extinguisher
Exit Direction	Maximum Occupant Load	Fire Extinguisher Cabinet
Draftstop		
Exit Access Travel Distance		

CONSULTANT

PROFESSIONAL

KEYPLAN



LIFE SAFETY PLAN
3/16" = 1'-0"

ISSUE: 10.02.2023
SITE ID NO: #####
AUTHOR BY:
REVIEW BY:
VERSION: 6139_v1.5

COVER SHEET

G001

6139 PROTOTYPE - FY24_v1.5

PROJECT NAME:
NEW SHEETZ STORE

RALEIGH

Int. of Forestville Road
and Louisburg Road
Raleigh
North Carolina

OWNER:
SHEETZ, INC.

5700 SIXTH AVE.
ALTOONA, PA 16602

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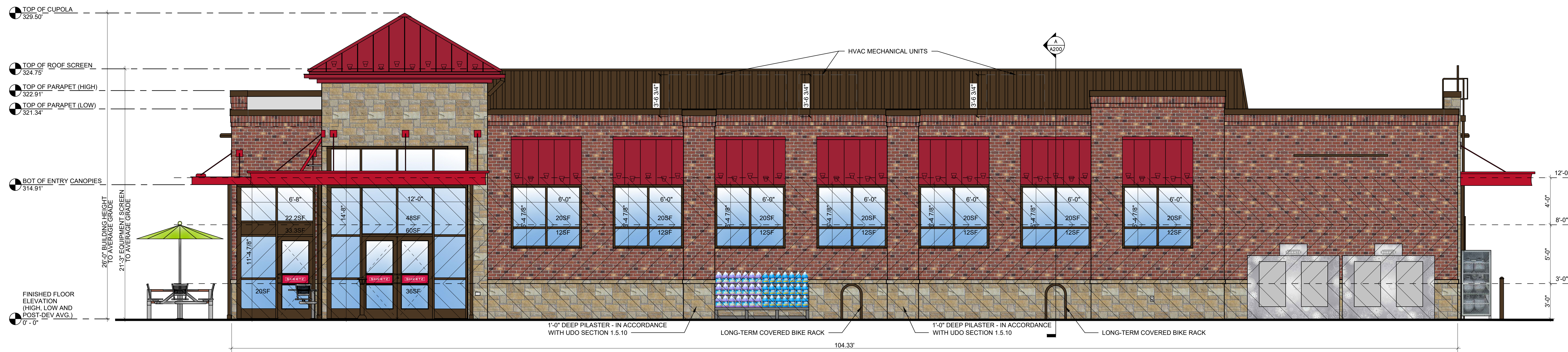
KEYPLAN

ISSUE: **01.22.2024**
SITE ID NO: 214537
AUTHOR BY: JNW
REVIEW BY: RJH
VERSION: 6139_v1.5

EXTERIOR
ELEVATIONS

A200

PRELIMINARY ELEVATIONS



1 FRONT ELEVATION (SOUTH - LOUISBURG RD - HWY 401)
1/4" = 1'-0"



2 LEFT ELEVATION (WEST - FORESTVILLE RD)
1/4" = 1'-0"

A COVERED BIKE RACK CROSS SECTION
1/4" = 1'-0"

SOUTH ELEVATION (FRONT) TRANSPARENCY CALCULATIONS PER UDO SEC. 3.2.5.F (MIN 33%)		PER UDO	DESIGN ADJUSTMENT REQUESTED VALUES
FRONTAGE (FT)		N/A	104.33 FT
MAX HEIGHT (FT)		12 FT	12 FT
OVERALL AREA (SF)		N/A	1,252 SF
0'-12' REQUIRED TRANSPARENCY AREA (SF)	1,252SF X 33% =	417 SF	417 SF
0'-12' PROVIDED TRANSPARENCY AREA (SF)		N/A	478.8 SF
0'-12' PERCENTAGE OF TRANSPARENCY	478.8SF / 1,252SF =	33% MIN.	38.2%
3'-8' REQUIRED TRANSPARENCY AREA (SF)	417SF X 50% =	209 SF	209 SF
3'-8' PROVIDED TRANSPARENCY AREA (SF)		N/A	177.3 SF
3'-8' PERCENTAGE OF REQUIRED TRANSPARENCY	177.3SF / 417SF =	50% MIN.	42.5%

WEST ELEVATION (LEFT) TRANSPARENCY CALCULATIONS PER UDO SEC. 3.2.5.F (MIN 33%)		VALUE	DESIGN ADJUSTMENT REQUESTED VALUES
FRONTAGE (FT)		N/A	62.25 FT
MAX HEIGHT (FT)		12 FT	12 FT
OVERALL AREA (SF)		N/A	747 SF
0'-12' REQUIRED TRANSPARENCY AREA (SF)	747SF X 33% =	249 SF	249 SF
0'-12' PROVIDED TRANSPARENCY AREA (SF)		N/A	391.2 SF
0'-12' PERCENTAGE OF TRANSPARENCY	391.2SF / 747SF =	33% MIN.	52%
3'-8' REQUIRED TRANSPARENCY AREA (SF)	249SF X 50% =	125 SF	125 SF
3'-8' PROVIDED TRANSPARENCY AREA (SF)		N/A	177 SF
3'-8' PERCENTAGE OF REQUIRED TRANSPARENCY	177SF / 249SF =	50% MIN.	71%

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CONSULTANT

PROFESSIONAL

KEYPLAN

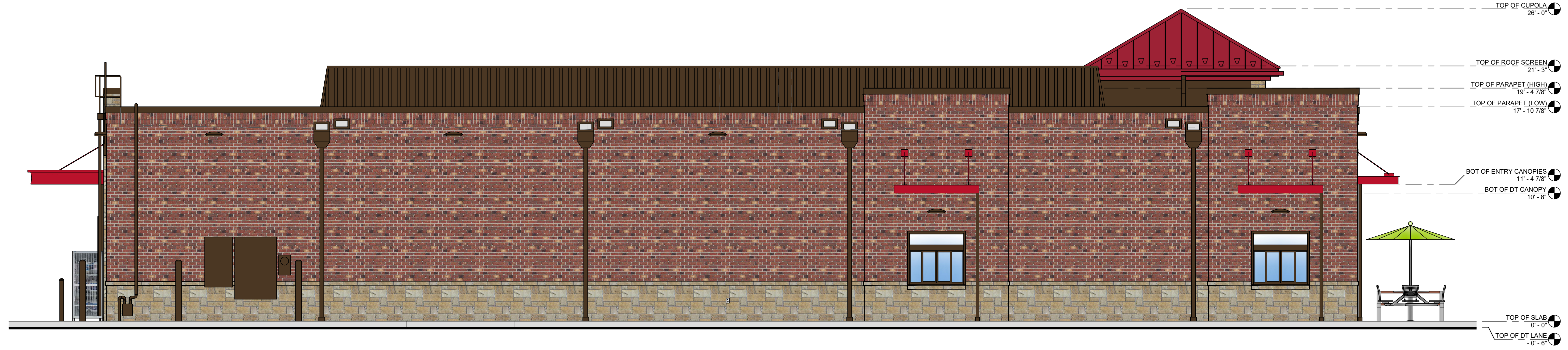
MARK	DATE	DESCRIPTION

ISSUE: **01.22.2024**
SITE ID NO: 214537
AUTHOR BY: JNW
REVIEW BY: RJH
VERSION: 6139_v1.5

EXTERIOR
ELEVATIONS

A201

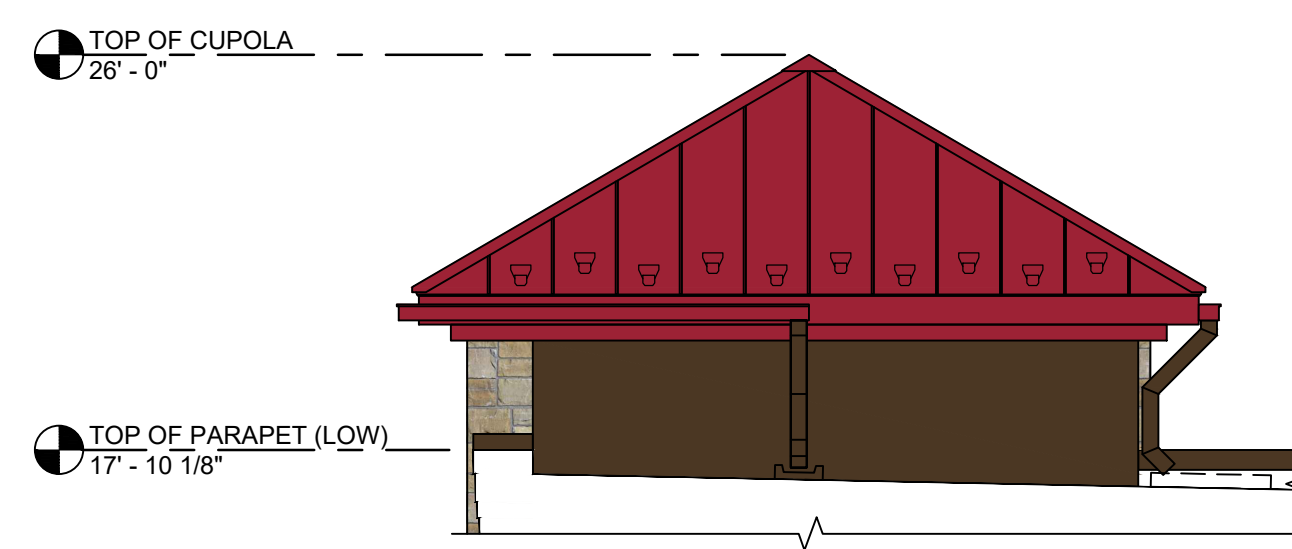
PRELIMINARY ELEVATIONS



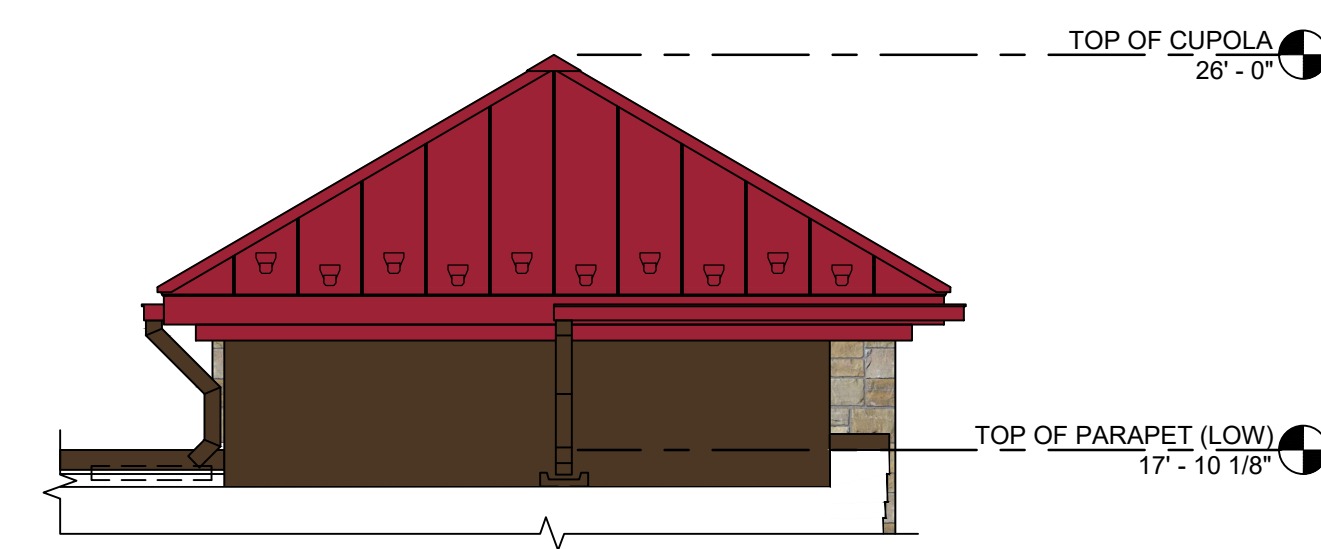
3 REAR ELEVATION (NORTH)
1/4" = 1'-0"



4 RIGHT ELEVATION (EAST)
1/4" = 1'-0"



5 CUPOLA ELEVATION FROM ROOF
1/4" = 1'-0"



6 CUPOLA ELEVATION FROM ROOF
1/4" = 1'-0"

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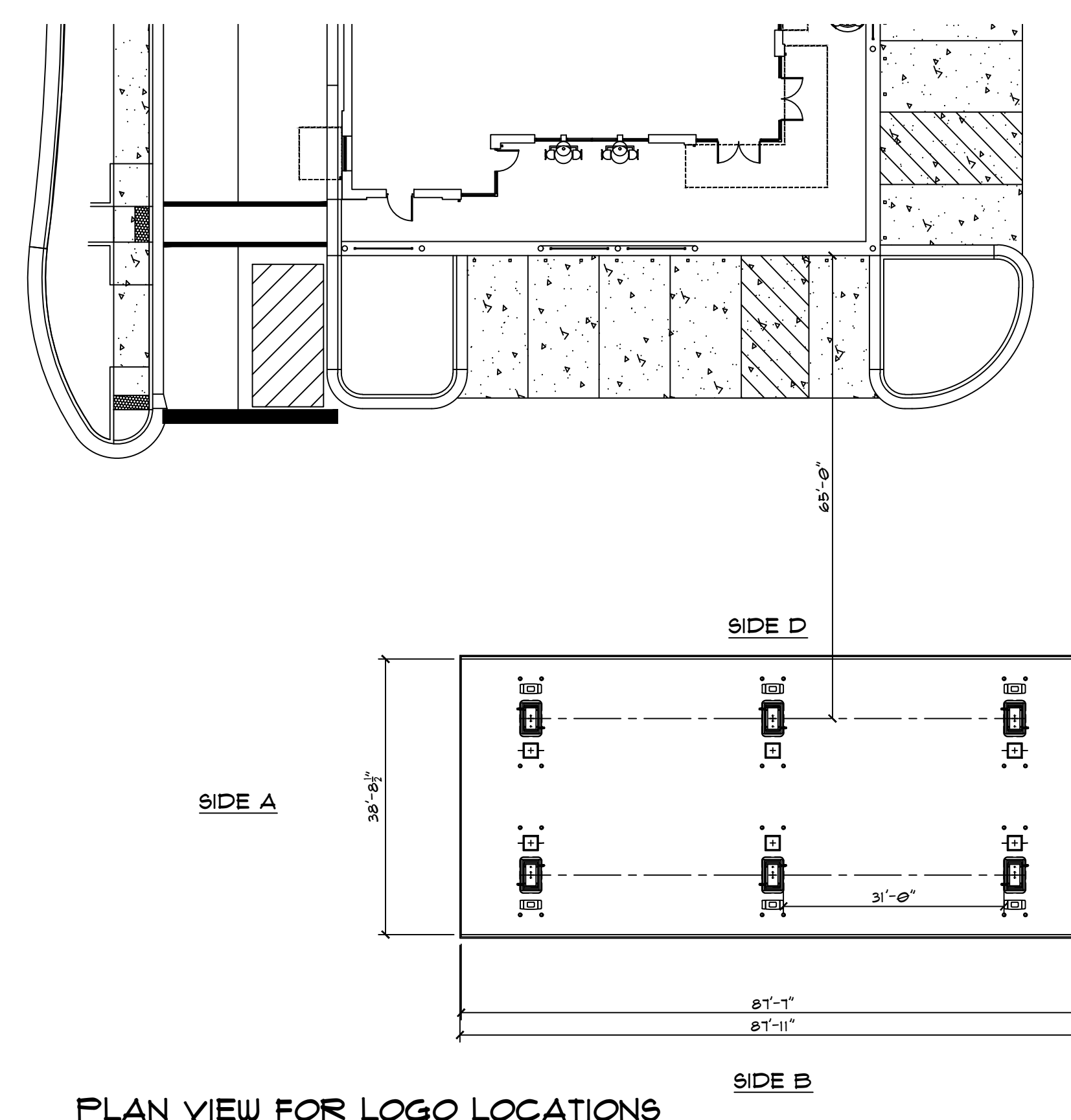
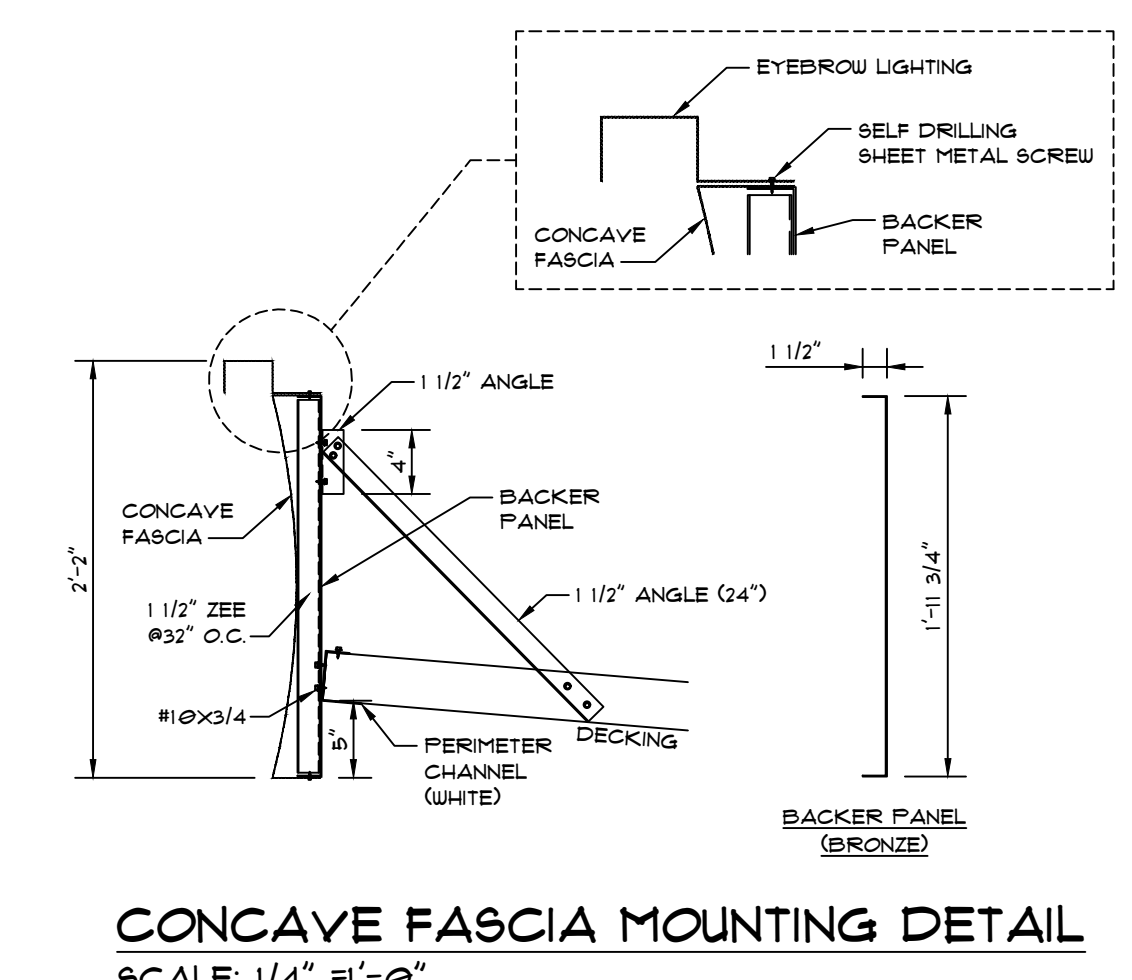
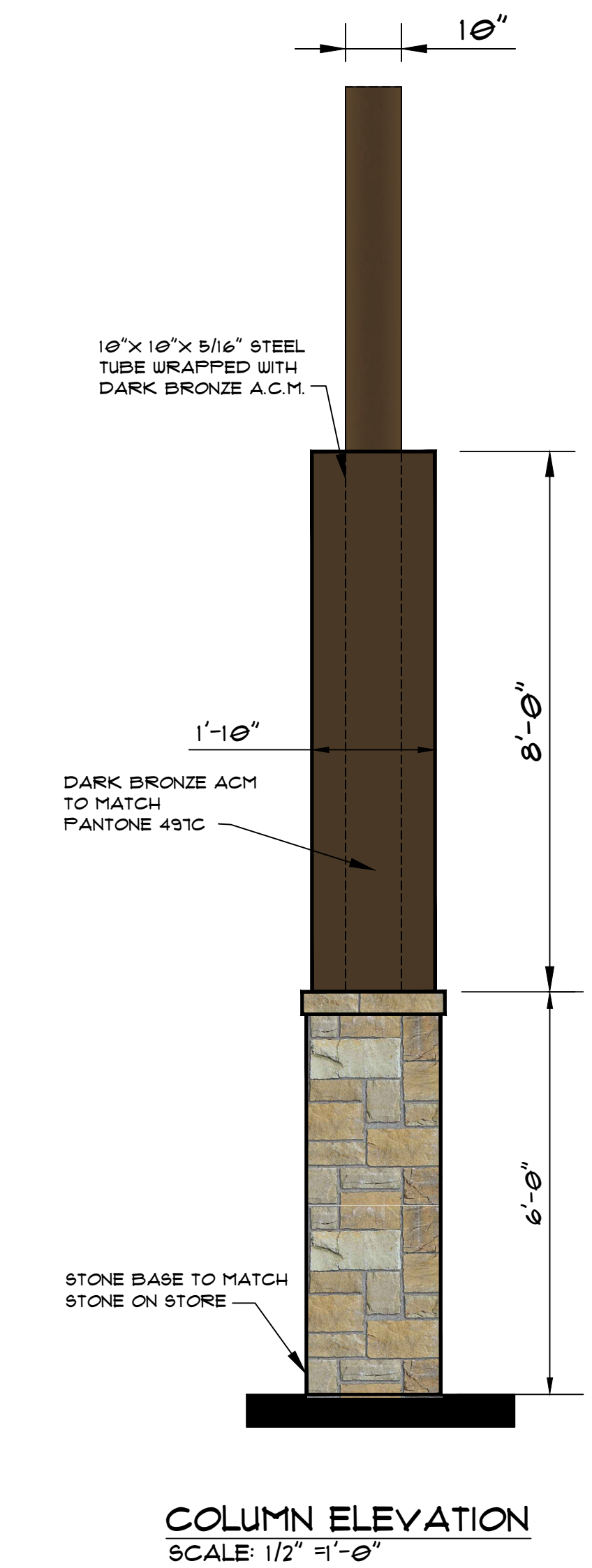
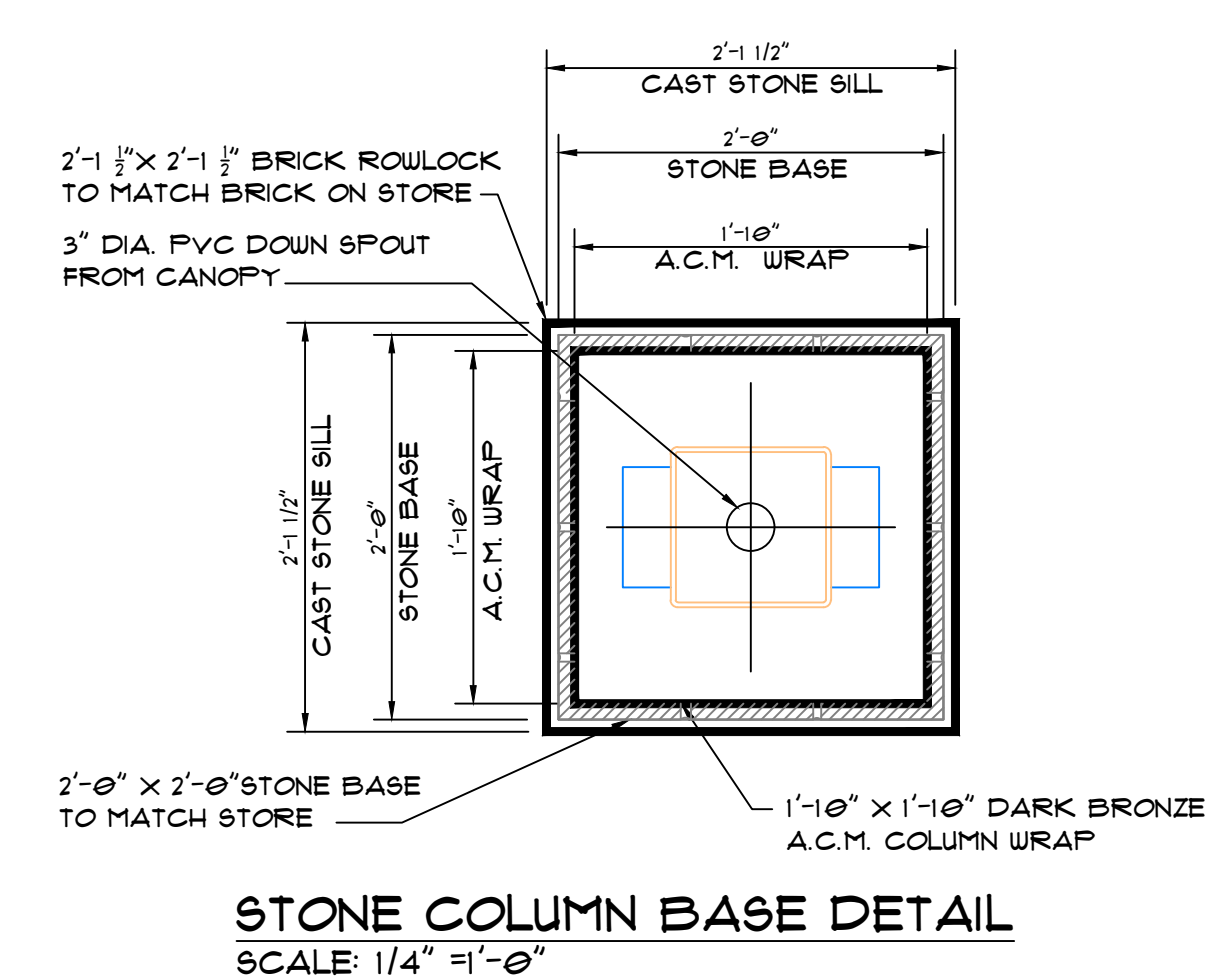
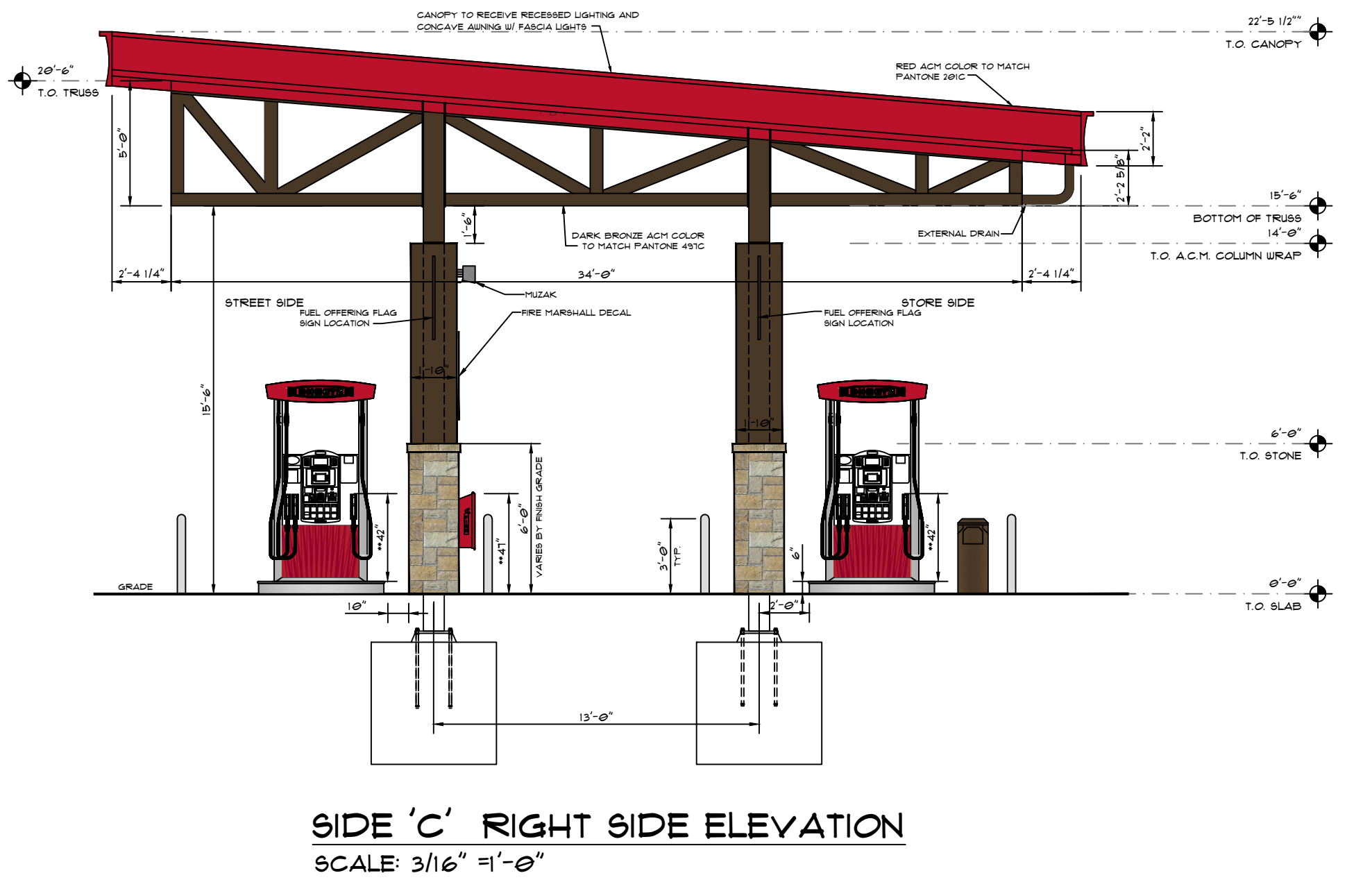
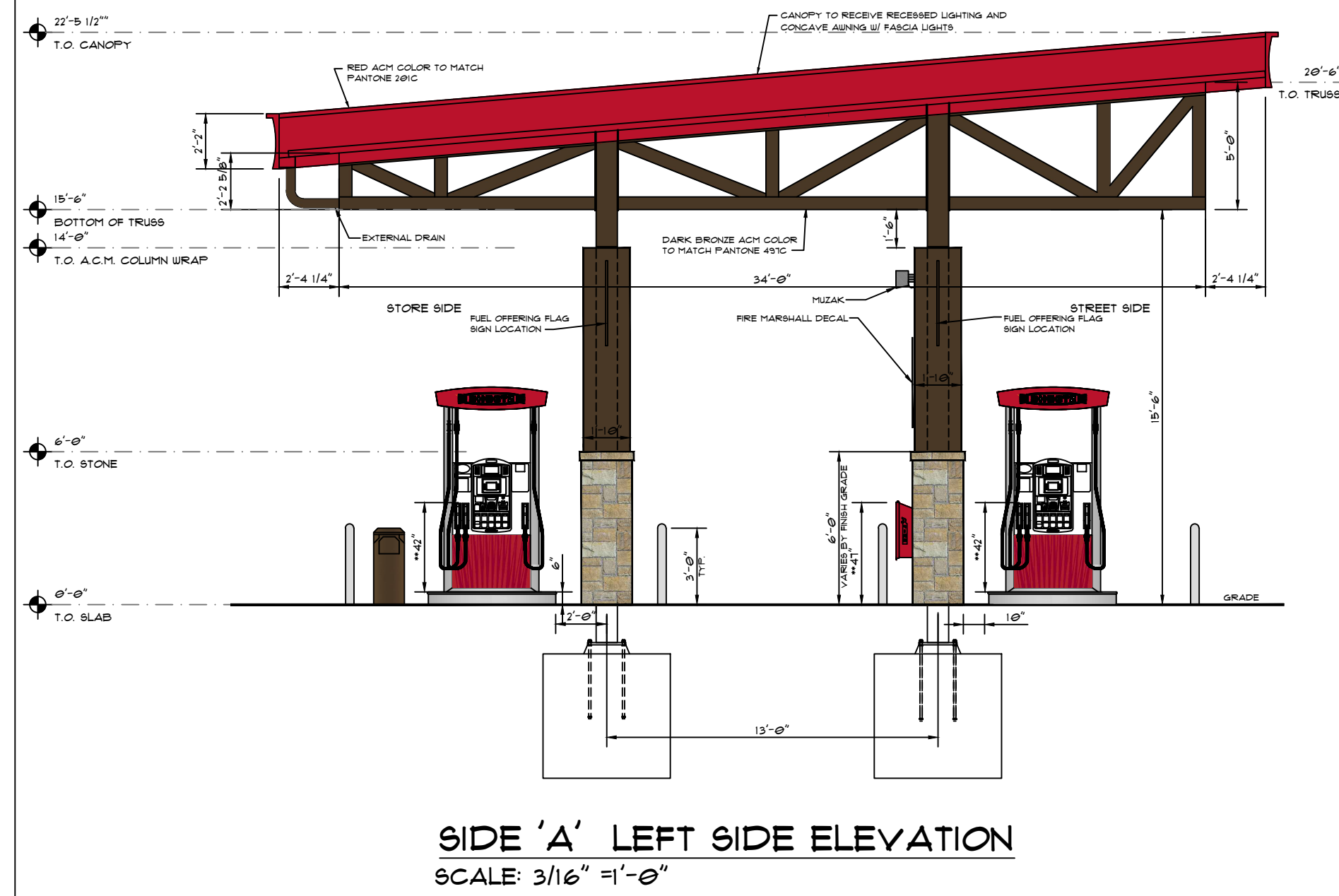
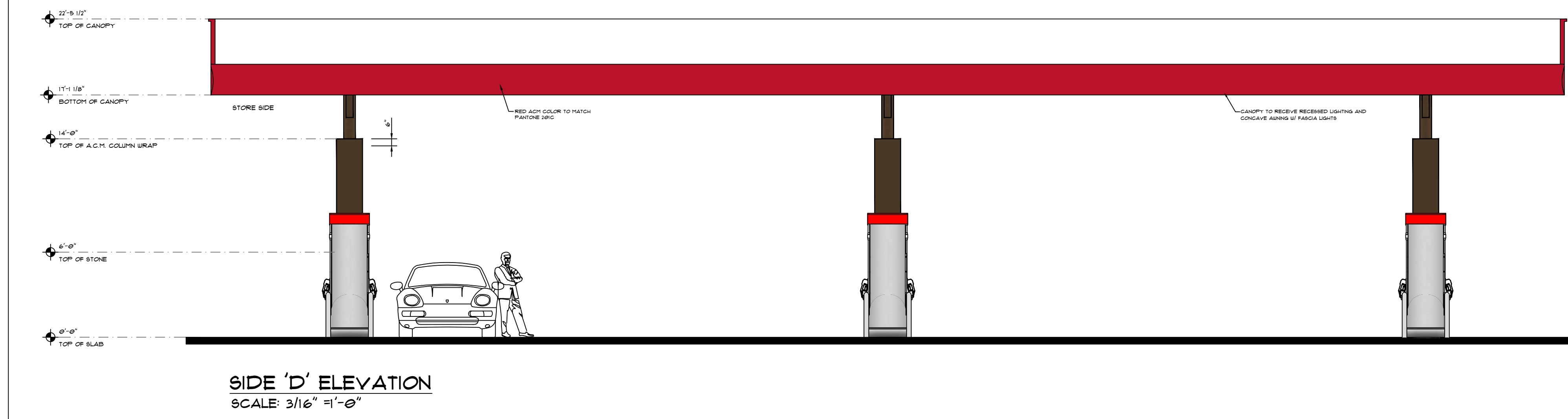
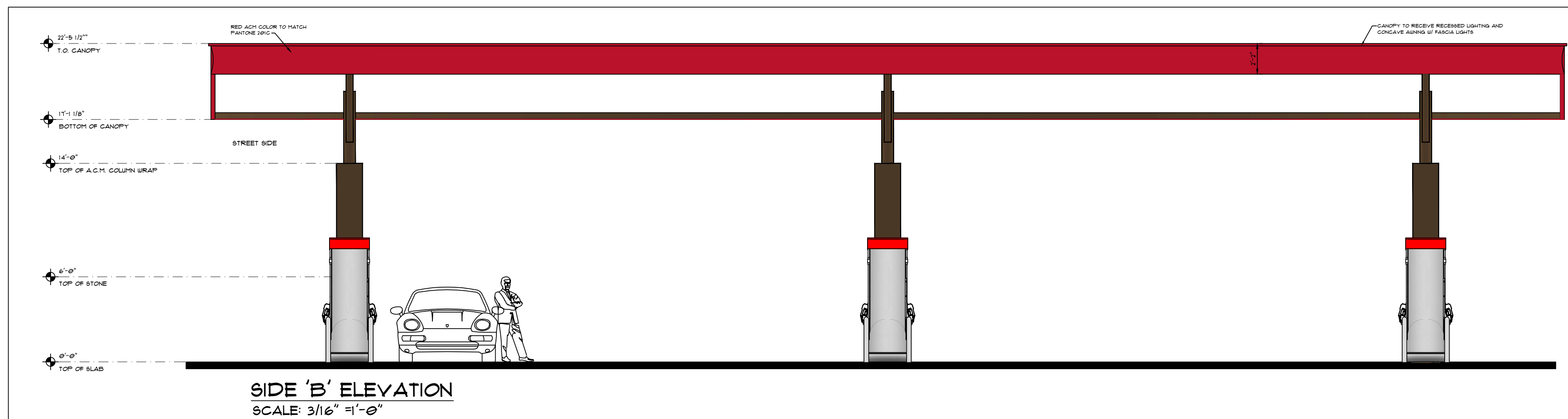
PROFESSIONAL

KEYPLAN

ISSUE: **11/21/2023**
PROJECT NO:
AUTHOR BY: DAH
REVIEW BY:
SHEET TITLE

GAS AWNING

AWNING



MARK	DATE	DESCRIPTION
DNC	01/11/2024	ADDED UNDER CANOPY PRICER
	01/25/24	ALL SHEETZ CANOPY SIGNAGE REMOVED

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