

# Administrative Approval Action

Case File / Name: ASR-0012-2024  
DSLCL - Sheetz at Forestville Rd - Lot 1

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This vacant 3.65 acre parcel is located at the northeast corner of Louisburg Road and Forestville Road, at 8601 Louisburg Road. It is identified as proposed Lot 1 on the Perry Farms Commercial Subdivision (case SUB-0002-2022) and zoned CX-3-CU.

**REQUEST:** The project proposes a 1-story, 6,139 square foot general building for vehicle fuel sales and a restaurant. The development includes the provision of a fuel canopy and fuel pumps, 39 vehicular parking spaces, 8 short-term and 4 long-term bicycle parking spaces, outdoor amenity area, and other site improvements.

DA-5-2024

The Design Review Commission approved relief from the transparency requirements to provide 38% transparent glazing in lieu of the minimum 80% transparent glazing for the south and west building facades; to provide 177 SF (43%) transparency in the 3-8 foot zone in lieu of the minimum 207 FT (50%) required on the ground story of the south building facade; to allow the service area to be located in front of the building in lieu of being placed to the side or rear of the building as required.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 20, 2024 by Pabst Design Group, PA.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Site Permitting Review plans:**

### General

1. Prior to approval, the approved minutes from the Design Review Commission for DA-5-2024 shall be added to the plan set.

### Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



# Administrative Approval Action

Case File / Name: ASR-0012-2024  
DSLCL - Sheetz at Forestville Rd - Lot 1

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Prior to the issuance of building permits, the subdivision creating the lot for this development (SUB-0002-2022, RCMP-0065-2024) shall be approved and recorded. Recordation information (book of maps and page number) shall be provided to the city.

## Engineering

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

## Stormwater

3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

## Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 28 street trees along Louisburg Rd.

*The following are required prior to issuance of building occupancy permit:*

## General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

## Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** August 7, 2027



# TIER 3 ADMINISTRATIVE SITE REVIEW PLANS FOR: SHEETZ AT FORESTVILLE ROAD - LOT 1

8601 LOUISBURG ROAD, LOT 1  
WAKE FOREST, NORTH CAROLINA 27587  
CITY OF RALEIGH CASE #: ASR-0012-2024  
ASSOCIATED CASES #: SUB-0002-2022  
SPR-0043-2023

### Administrative Site Review Application

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2. Please check the appropriate zoning type and include the plan number document when submitting.

**Office Use Only:** Case # \_\_\_\_\_ Plan # \_\_\_\_\_

**Site Plan:** Tier Two Site Plan  Tier Three Site Plan

**Building and Development Type:**  Residential  Commercial  Industrial  Office  Warehouse  Apartment  The House  Open lot

**Site Transaction History:**  Subdivision case # \_\_\_\_\_  Other case # \_\_\_\_\_

**GENERAL INFORMATION:** Development name: Sheetz at Forestville Rd - Lot 1  
Trade City lot?  Yes  No

Property address: 8601 LOUISBURG ROAD LOT 1 & 8625 LOUISBURG ROAD, WAKE FOREST, NC 27587  
Site # (in 1748-02-4040 / 1748-01-2519)

Proposed of a single-story gas station building of approximately 6,139 GFA retail vehicle fuel sales, restaurant, drive-thru, associated parking, sanitary sewer and water utilities, stormwater conveyance, and required landscaping.

Current Property Owners: Comet Development, LLC - c/o Sixth Corner (Sixth Party Authority)  
Address: 1217 N Greene St #102, Greensboro, NC 27401  
Phone: 336-363-3070 Email: brian.casey@raleighnc.gov

Applicant Name (if different from owner): See "who can apply" in instructions.  
Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder

Company: Sheetz, Inc. Address: 5700 Sixth Avenue, Altoona, PA 16602

Phone #: 919-264-8593 Email: bdwnst@sheetz.com  
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Brian Dwnst  
Company: Sheetz, Inc. Title: Engineering/Permit Project Manager  
Address: 5700 Sixth Avenue, Altoona, PA 16602  
Phone #: 919-264-8593 Email: bdwnst@sheetz.com

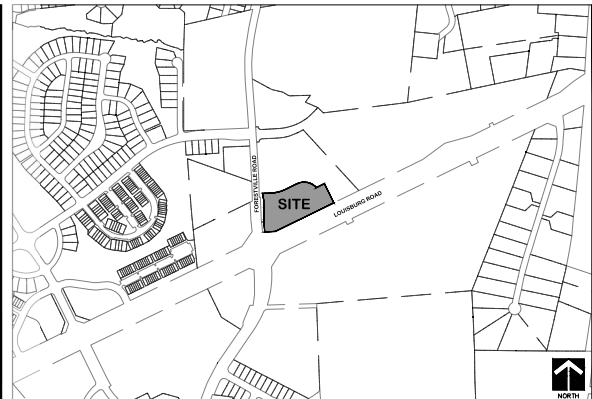
Applicant Name: Brian T. Digney, Assistant Vice President of Retail Estate  
Company: Sheetz, Inc. Address: 5700 Sixth Avenue, Altoona, PA 16602  
Phone #: 919-264-8593 Email: bdwnst@sheetz.com

DEVELOPMENT TYPE - SITE DATA TABLE	
Applicable to all developments	
<b>SITE DATA</b>	<b>BUILDING DATA</b>
Zoning: Cx3-CU (please provide the acreage of each)	Existing gross floor area (not to be demolished): 0.00
Cx3-CU	Existing gross floor area for demolition: 0.00
3.85 AC.	Net gross floor area: 6,139 SF
# of existing spaces proposed: 38	Net gross floor area: 6,139 SF
# of existing spaces proposed: 38	Total of gross floor area (net) 6,139 SF
Use: parking permitted (1) C.39	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 1
Existing use (UDO 8.1.4): Vacant	Proposed # of basement levels (UDO 8.1.5.A)(i): 0
Proposed use (UDO 8.1.4): 1748-01-2519	

**STORMWATER INFORMATION:**  
Impervious Area on Parcel(s): Impervious Area for Compliance (Percent 100%)  
Existing (sq. ft.): 21,990 Proposed total (sq. ft.): 55,143  
Existing (sq. ft.): 95,180 Proposed total (sq. ft.): 95,180

**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS:**  
Total # of existing units: 0 of 0 or more: 0  
# of new units: 0 of 0 or more: 0  
Is a transient lodging development?  Yes  No

Continue to Applicant Signature Block on Page Three.



VICINITY MAP  
1" = 500'

### APPLICANT SIGNATURE BLOCK

By referring to the Unified Development Ordinance (UDO) Section 10.2, the applicant certifies that the information provided for development approval only be used for the purpose of reviewing the application and does not constitute a guarantee, warranty, or endorsement of the quality, accuracy, or completeness of the information provided. The applicant understands that the information provided is subject to verification by the City of Raleigh and that the applicant is responsible for providing accurate and complete information.

The undersigned certifies that the proposed development is in compliance with the applicable zoning and subdivision ordinances and that the proposed development is in compliance with the applicable zoning and subdivision ordinances and that the proposed development is in compliance with the applicable zoning and subdivision ordinances.

I, the undersigned, hereby certify that I am the owner of the property and that I am authorized to execute this application and that the information provided is true and correct to the best of my knowledge and belief. I understand that the information provided is subject to verification by the City of Raleigh and that the applicant is responsible for providing accurate and complete information.

Signature: \_\_\_\_\_ Date: 08/01/2024  
Printed Name: Brian T. Digney, Assistant Vice President of Retail Estate

**DESIGN ALTERNATE REQUESTS (DA-5-2024):**

CASE NUMBER: DA-5-2024  
DESIGN REVIEW COMMISSION MEETING DATE: 6/6/2024  
DECISION: APPROVED AS REQUESTED

DESIGN ALTERNATE REQUESTS: WHEREAS, COMET DEVELOPMENT LLC, PROPERTY OWNER, REQUESTS THE FOLLOWING DESIGN ALTERNATES: (1) FOR RELIEF FROM THE TRANSPARENTLY REQUIREMENTS SET FORTH IN UDO SECTION 1.5.5.B.4 TO PROVIDE 38% TRANSPARENT GLAZING IN LIEU OF THE MINIMUM 80% TRANSPARENT GLAZING FOR THE SOUTH AND WEST BUILDING FACADES; (2) TO PROVIDE 175% (45%) TRANSPARENT STORY IN THE SFT TO SFT ZONE IN LIEU OF THE MINIMUM 207% (50%) REQUIRED ON THE GROUND STORY ON THE SOUTH BUILDING FACADE; AND (3) TO ALLOW THE PROPOSED SERVICE AREA TO BE LOCATED IN FRONT OF THE BUILDING IN LIEU OF BEING LOCATED TO THE SIDE OR REAR OF BUILDING AS REQUIRED PER UDO SECTION 7.2.5.C.1. ALL REQUESTS ARE IN CONJUNCTION WITH CONSTRUCTION OF A GENERAL BUILDING ON THE APPROXIMATELY 3.6 ACRE PROPERTY ZONED Cx3-CU LOCATED AT 8601 LOUISBURG ROAD (ASR-0012-2024).

**CONDITIONS OF APPROVAL: NONE**

### INDEX TO PLANS

C-0.0	COVER SHEET
C-0.1	LEGENDS & NOTES
C-0.2	AGREEMENT & APPROVAL LETTERS
C-1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C-2.0	SITE LAYOUT PLAN
C-2.1	TRASH TRUCK INGRESS / EGRESS PLAN
C-2.2	FIRE TRUCK INGRESS / EGRESS PLAN
C-2.3	FUEL TRUCK INGRESS / EGRESS PLAN
C-2.4	DELIVERY TRUCK INGRESS / EGRESS PLAN
C-3.0	UTILITY PLAN
C-4.0	GRADING & STORM DRAINAGE PLAN
D-1.0	SITE DETAIL SHEET
D-1.1	SITE DETAIL SHEET
D-1.2	SITE DETAIL SHEET
D-1.3	SITE DETAIL SHEET
D-1.4	SITE DETAIL SHEET
D-2.0	UTILITY DETAIL SHEET
D-2.1	UTILITY DETAIL SHEET
D-3.0	STORM DRAINAGE DETAIL SHEET
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAIL
LP-1.0	LIGHTING PLAN
LP-1.1	LIGHTING PLAN DETAIL SHEET
LP-1.2	LIGHTING PLAN DETAIL SHEET
A140	FLOOR PLAN
A200	CONCEPT EXTERIOR ELEVATIONS
A201	CONCEPT EXTERIOR ELEVATIONS
AWNING	GAS AWNING DETAILS

**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

- DEVELOPER:** SHEETZ, INC. 5700 SIXTH AVENUE ALTOONA, PA 16602 TEL: 919-264-8593 E-MAIL: bdwnst@sheetz.com
- CITY OF RALEIGH SEWER & WATER:** BRIAN CASEY PROJECT ENGINEER I RALEIGH WATER TEL: 919-614-2409 E-MAIL: brian.casey@raleighnc.gov
- CIVIL ENGINEER:** PABST DESIGN GROUP, PA 107 FAYETTEVILLE STREET, SUITE 200 RALEIGH, NC 27601 TEL: 919-848-4399 E-MAIL: dpabst@pabstdesign.com
- ELECTRIC SERVICE - WAKE EMC:** JIM HAYES 228 PARK AVENUE, YOUNGSVILLE NC 27596 TEL: 919-863-6466 E-MAIL: jim.hayes@wemc.com
- OWNER:** COMET DEVELOPMENT, LLC 8127 N GREENE STREET, SUITE 102 GREENSBORO, NC 27401 TEL: 336-363-3070 E-MAIL: scobst@cometdev.com
- GAS - DOMINION ENERGY:** MATTHEW KOEHL PO BOX 4009 GARY, NC 27513 TEL: 919-819-0485 E-MAIL: matthew.koehl@dominionenergy.com
- SURVEYOR:** BOHLER 4130 PARKLAKE AVENUE, SUITE 130 RALEIGH, NC 27612 TEL: 919-578-9000
- TELEPHONE & CABLE - CHARTER COMMUNICATIONS:** JOHN BINGLE 101 INNOVATION AVE MORRISVILLE NC 27650 TEL: 919-513-7151 E-MAIL: john.bingle@charter.com

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

### SITE DATA TABLE

**SITE ADDRESS:** 8601 LOUISBURG ROAD LOT 1 & 8625 LOUISBURG ROAD WAKE FOREST, NC 27587  
**OWNER:** COMET DEVELOPMENT, LLC  
**EXISTING ZONING:** Cx3-CU  
**EXISTING LAND USE:** VACANT  
**PROPOSED LAND USE:** RETAIL - VEHICLE FUEL SALES & RESTAURANT  
**BUILDING TYPE:** GENERAL  
**PARCEL AREA:** 150,000 SF / 3.65 AC.  
**WATERSHED:** TOMS CREEK (MILL CREEK)  
**RIVERBASIN:** NEUSE  
**FLOODPLAIN DATA:** NO PORTION OF THE PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD ZONE PER INSURANCE RATE MAP (SPECIAL MAP 37021400K DATED JULY 10, 2020).  
**IMPERVIOUS AREA:** EXISTING OFF-SITE: 11,917 SF / 0.25 AC. (PER SPR-0043-2023) EXISTING ON-SITE: 21,888 SF / 0.50 AC. (PER SPR-0043-2023) PROPOSED OFF-SITE: 0 SF / 0 AC. PROPOSED ON-SITE: 63,445 SF / 1.46 AC. TOTAL: 96,160 SF / 2.21 AC. MAX ALLOWABLE: 123,710 SF / 2.84 AC. (PER SPR-0043-2023)  
**AMENITY SPACE:** REQUIRED = 10% OF TOTAL SITE AREA (150,000 SF x .10 = 15,000 SF REQUIRED) PROVIDED: 15,000 SF (10.00%)  
**TREE CONSERVATION AREA:** REQUIRED: 10% OF TOTAL DEVELOPMENT AREA = 1.03 AC. PROVIDED: 1.04 AC. (REFER TO CASE SPR-0043-2023)  
**PRINCIPAL BUILDING SETBACKS:** PRIMARY STREET (MIN.): 5' SIDE STREET (MIN.): 5' SIDE LOT LINE (MIN.): 5' REAR LOT LINE (MIN.): 5'  
**PARKING SETBACKS:** PRIMARY STREET (MIN.): 10' SIDE STREET (MIN.): 10' SIDE LOT LINE (MIN.): 3' REAR LOT LINE (MIN.): 3'  
**BUILDING FLOOR AREA:** EXISTING = 0 GFA PROPOSED = 6,139 GFA  
**BUILDING HEIGHT:** REQUIRED: 3 STORES / 50' MAX. PROPOSED: 1 STORY / 26'-0"  
**MAXIMUM PARKING:** RESTAURANT: 1 SPACE PER 100 SF OF GFA. 2,013 SF RESTAURANT / 100 SF = 20 SPACES FOR EVERY 600 SF OF OUTDOOR DISPLAY AREA 3,731 SF RETAIL / 200 SF = 19 SPACES 70 SF OUTDOOR DISPLAY / 600 SF = 0 SPACES MAX. ALLOWABLE: 39 SPACES TOTAL PROVIDED: 39 SPACES (INCLUDING 2 ADA 11 VAN)  
**REQUIRED BICYCLE PARKING:** RESTAURANT: 1 SHORT-TERM SPACE PER 50,000 GFA, 4 MIN. 1 LONG-TERM SPACE PER 25,000 GFA, 4 MIN. RETAIL: 1 SHORT-TERM SPACE PER 5,000 GFA, 4 MIN. & NONE FOR LONG-TERM TOTAL REQUIRED: 8 SHORT-TERM, 4 LONG-TERM TOTAL PROVIDED: 8 SHORT-TERM, 4 LONG-TERM

- ### CONDITIONS OF Z-34-20:
- THE FOLLOWING CRITERIA SHALL BE PROHIBITED: ADULT ESTABLISHMENT; BAR, NIGHT CLUB TAVERN, LOUNGE, VEHICLE SALES/RENTAL, DETENTION CENTER, JAIL, PRISON, LIGHT MANUFACTURING; RESEARCH & DEVELOPMENT; VEHICLE REPAIR (MINOR); VEHICLE REPAIR (MAJOR); OVERNIGHT LODGING; SELF-SERVICE STORAGE.
  - THE MAXIMUM GROSS FLOOR AREA SHALL BE 50,000 SQUARE FEET.
- ### COMPLIANCE WITH CONDITIONS OF Z-34-20:
- PER THIS ADMINISTRATIVE SITE REVIEW APPLICATION, THE PROPOSED USES OF THE PROPERTY ARE VEHICLE FUEL SALES AND RESTAURANT WHICH ARE NOT LISTED AS PROHIBITED USES WITHIN THE FIRST CONDITION OF Z-34-20.
  - PER THE SITE DATA TABLE, THE PROPOSED BUILDING IS 6,139 SQUARE FEET, WHICH IS BELOW THE MAXIMUM ALLOWED BY THE CONDITIONS OF Z-34-20.
- ### GENERAL NOTES:
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- ### EXEMPTION NOTES:
- TREE CONSERVATION AREA AND STORMWATER REQUIREMENTS ARE PROVIDED UNDER SEPARATE CASE SUB-0002-2022 BY OTHERS.

**DRAWING SHEET**  
**C-0.0**  
PROJECT NUMBER: 677-23

**PABST DESIGN GROUP, PA**  
Engineering & Construction  
507 Park Avenue, Suite 100, Raleigh, NC 27601  
Phone: 919-848-4399 | Fax: 919-848-4398 | www.pabstdesign.com

**SHEETZ AT FORESTVILLE RD - LOT 1**  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
TIER 3 ADMINISTRATIVE SITE REVIEW  
COVER SHEET

NO. \_\_\_\_\_ REVISION: \_\_\_\_\_  
DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_



D:\North\10-27-2021\10-27-21-Sheet3.dwg: External Ref. (Sheet) in: M:\02-2020\10-27-21-Sheet3.dwg: C:\Users\adam.fuller\OneDrive\Documents\10-27-21-Sheet3.dwg: 3/28/2022 4:50:29 PM

**STATE OF NORTH CAROLINA**  
**DEPARTMENT OF TRANSPORTATION**

ROY COOPER, Governor      J. DEE HOUSTON, Secretary

March 28, 2022

Adam Fullerton  
Kimley-Horn  
421 Fayetteville Street, Suite 600  
Raleigh, North Carolina 27601

**Subject: Planning Permit for Perry Farms Louisburg Road**

To whom it may concern:

Please be advised that the planning plans have been conditionally approved for Perry Farms located on the corner of Louisburg Road and Forestville Road in Wake County, North Carolina. This letter is to issue the Planning Permit per North Carolina Department of Transportation policy. The following standard provisions are made part of this agreement:

- The permittee shall maintain a clear right-of-way distance for vehicles utilizing driveway connections.
- The Division of Highways will not be responsible for any damage to the plants, which may be done by third parties.
- Maintenance of the plantings will be the responsibility of the permittee. Should the plants not be maintained in a sufficient manner the plants could be subject to removal.
- Plants to be lost class quality of their species.
- A copy of this permit must be on the worksite at all times while the work is being performed.
- All trees and plants shall be pruned and maintained in such a manner as to not encroach upon the travel ways.

STATE OFFICE: 500 WEST GATEWAY CENTER, RALEIGH, NC 27603     
 DISTRICT OFFICE: 1000 W. GARDEN STREET, RALEIGH, NC 27601     
 REGIONAL OFFICE: 1000 W. GARDEN STREET, RALEIGH, NC 27601

- The traveling public shall be warned of construction with complete and proper signing and traffic control devices in accordance with the current Manual on Uniform Traffic Devices (MUTCD). No work shall be performed in the Right-of-Way unless the requirement is satisfied. NCDOT reserves the right to require a written traffic control plan for excavation operations.
- NCDOT does not guarantee the Right of Way on this road, nor will it be responsible for any claim for damages brought by any property owner by reason of the installation.
- Two-way traffic shall be maintained at all times.
- No lane of traffic shall be closed or restricted between the hours of 6:00 AM-9:00 AM and 4:00 PM-7:00 PM Monday-Friday. Any violation of these hours will result in termination of the encroachment agreement.
- NCDOT reserves the right to further limit, restrict, or suspend operations within the Right of Way if, in the opinion of NCDOT, safety or traffic conditions warrant such action.
- The Traffic Services Supervisor shall be notified at (919) 472-2514 for traffic plans including work on the Right of Way if there are existing NCDOT signs, traffic signals, or signal equipment in or near the proposed work zone. Costs to relocate, replace, or repair NCDOT sign, signals, or associated equipment shall be the responsibility of the Encroacher.
- The applicant will be required to notify the Roadside Environmental Technicians: Mark Comer at (919) 816-9270 prior to beginning and after completion of work.
- It shall be the responsibility of the Encroacher to determine the location of other utilities within the encroachment area. The Encroacher shall be responsible for contacting other utility owners and providing protection and safeguards to prevent damage or interruption to existing facilities and to maintain accessibility to existing utilities.
- At the end of each working day, equipment shall be parked a minimum of 30 feet from the edge of any travel lane and be barricaded in order not to have any equipment obstruction within the clear recovery zone.
- The applicant is responsible for identifying project impacts to waters of the United States (wetlands, intermittent streams, perennial streams and ponds) located within the NCDOT right-of-way. The discharge of dredged or fill material into waters of the United States requires authorization from the United States Army Corps of Engineers (USACE) and certification from the North Carolina Division of Water Quality (NCDWQ). The applicant is required to obtain permit permits or certification from these regulatory agencies if construction of the project impacts waters of the United States within the NCDOT right-of-way. Additional information can be obtained by contacting the USACE or NCDWQ.
- The applicant is responsible for complying with the Noise and Vibration Emission Control Rule as regulated by the NCDWQ. The Rule regulates activity within a 50-foot buffer along perennial streams, intermittent streams and ponds. Additional information can be obtained by contacting the NCDWQ.

18. The applicant is responsible for avoiding impacts to federally protected species during project construction. Identify the species, critical habitat, and other sensitive areas. Identify any species that have been identified within NCDOT right-of-way in Durham, Person, Granville, Wake, Franklin, Vance, and Warren counties. Additional information can be obtained by contacting the North Carolina Natural Heritage Program or the United States Fish and Wildlife Services.

19. In the event that plants require relocation or removal for highway construction, reconstruction, maintenance or safety, such removal or relocation will be done immediately by the permittee from public right-of-way upon notification by the Division of Highways, entirely at the expense of the permittee.

If you should need further assistance, please contact Corey Suddeth by phone at 919-816-9250 ext. 235 or by email at csuddeth@ncdot.gov.

Sincerely,  
*(CS)*  
Corey Suddeth, PE  
Division Engineer

BU/fo  
Corey Suddeth, Roadside Environmental Engineer  
Title:

**STATE OF NORTH CAROLINA**  
**DEPARTMENT OF TRANSPORTATION**

ROY COOPER, Governor      JAMES H. THOMPSON, III, Secretary

March 28, 2022

Adam Fullerton  
Kimley-Horn  
421 Fayetteville Street, Suite 600  
Raleigh, North Carolina 27601

**SUBJECT: Street Trees for Perry Farms Forestville Road**

To whom it may concern:

After reviewing the proposal for street trees in the right-of-way along Forestville Road, it was determined that NCDOT does not require or request for street trees to be planted at this location. Please let this letter serve as a denial of approval for street trees within the right of way at this location.

Should you have any questions, please contact me at 919-317-4743, or via e-mail at csuddeth@ncdot.gov.

Sincerely,  
*(CS)*  
Corey L. Suddeth  
Division Roadside Environmental Engineer

STATE OFFICE: 500 WEST GATEWAY CENTER, RALEIGH, NC 27603     
 DISTRICT OFFICE: 1000 W. GARDEN STREET, RALEIGH, NC 27601     
 REGIONAL OFFICE: 1000 W. GARDEN STREET, RALEIGH, NC 27601

**WALL RECYCLING**

Ability to Serve Letter

April 2, 2024

To whom this may concern,

Please accept this letter as confirmation that Wall Recycling, through its existing agreements with Sheetz, Inc., will provide services to the upcoming location(s) at the Northeast intersection of Forestville Rd and Louisburg Rd (2825 Forestville Rd, Raleigh, NC 27587) as follows.

Trash 8 cubic yard front load container 4x weekly Mon/Wed/Fri/Sat  
Single stream 8 cubic yard front load container 3x weekly Mon/Wed/Fri

If the dumpsters become damaged and unusable, they will be replaced. If they require a cleaning, that will need to be outsourced for a service fee. We have reviewed the plans and can safely collect between the hours of 7am and 11pm as permitted by the noise ordinance in the city of Raleigh. Wall Recycling is a locally owned and operated company. We are a Full-Service Waste and Scrap Metal Recycling Company. We recycle 100% of the wood, metal, concrete, cardboard, yard waste, and plastic, brought into our yard and the trash is hauled to the state landfill.

Thank You,  
*(CW)*  
Calista Williams  
Calista Williams  
Business Manager  
Wall Recycling, LLC

Waste: (919) 582-7777 | Scrap: (919) 887-2523  
Mobile: (919) 302-1875 | Fax: (919) 828-7649  
cschanson@wallrecycling.com

Wall Recycling, LLC 2210 Garner Road Raleigh, NC 27610 (919) 582-7777 (919) 828-7649 FAX: wallrecycling.com

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

NOTE(1): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

**PBS&T DESIGN GROUP, PA**  
Engineering | Consulting  
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601  
Phone: 919-848-1399 | Fax: 919-848-1398 | E-MAIL: info@pbsandt.com

DRAWING NO.	DATE	REVISION	APPROVED FOR PLOT

**SHEETZ AT FORESTVILLE RD - LOT 1**

RALEIGH, WAKE COUNTY, NORTH CAROLINA

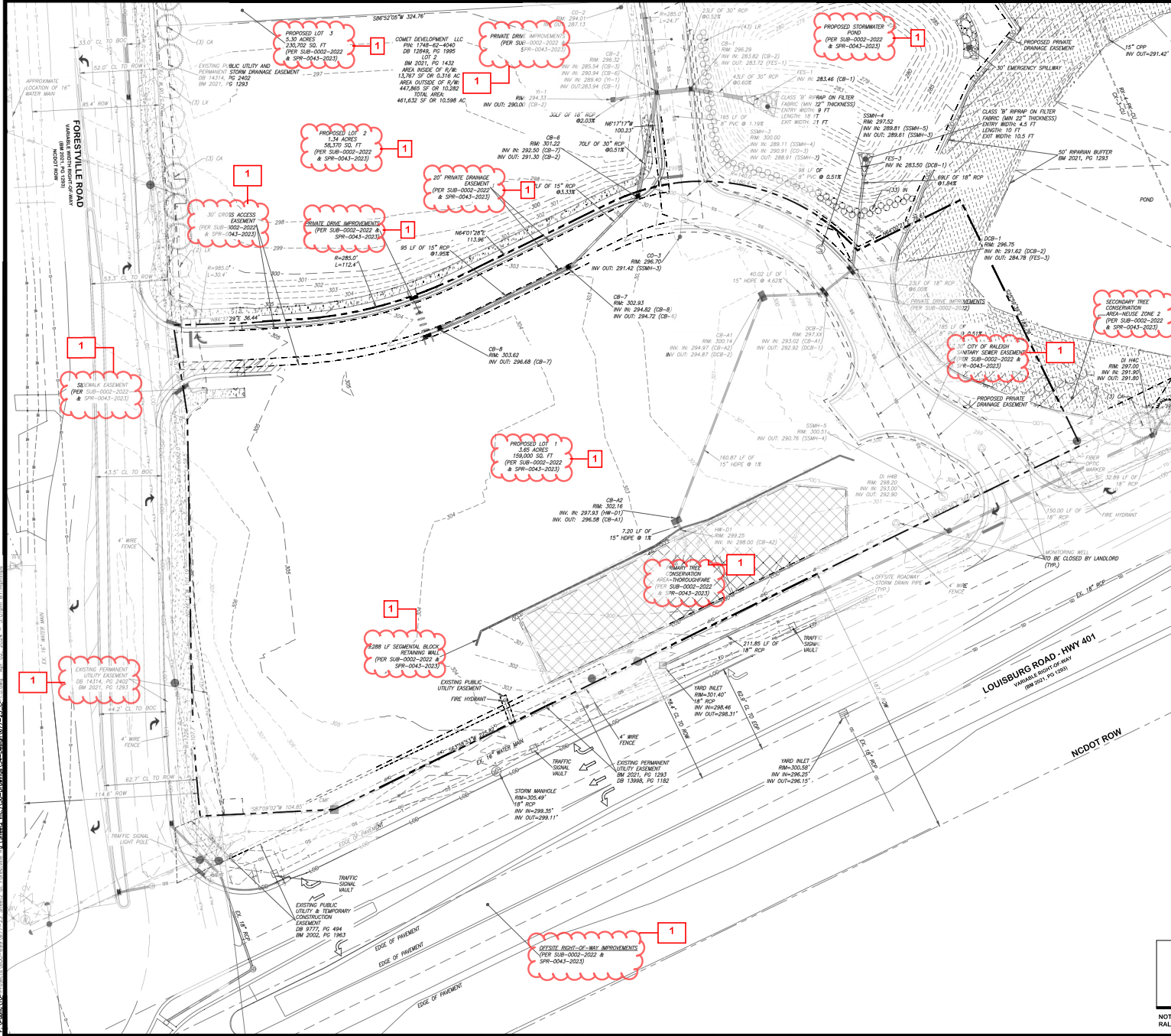
**TIER 3 ADMINISTRATIVE SITE REVIEW AGREEMENT AND APPROVAL LETTERS**

PROJECT NO.	DATE	REVISION	APPROVED FOR PLOT

**DRAWING SHEET C-0.2**

**PROJECT NUMBER 677-23**

SEE SHEET C-0.1 FOR LEGENDS & NOTES.



**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

**PASST DESIGN GROUP, PA**  
 Engineering | Consulting  
 507 Poplarwood Lane, Suite 100, Raleigh, NC 27603  
 Phone: 919.844.4499 | Fax: 919.844.4881 | Email: info@passt.com

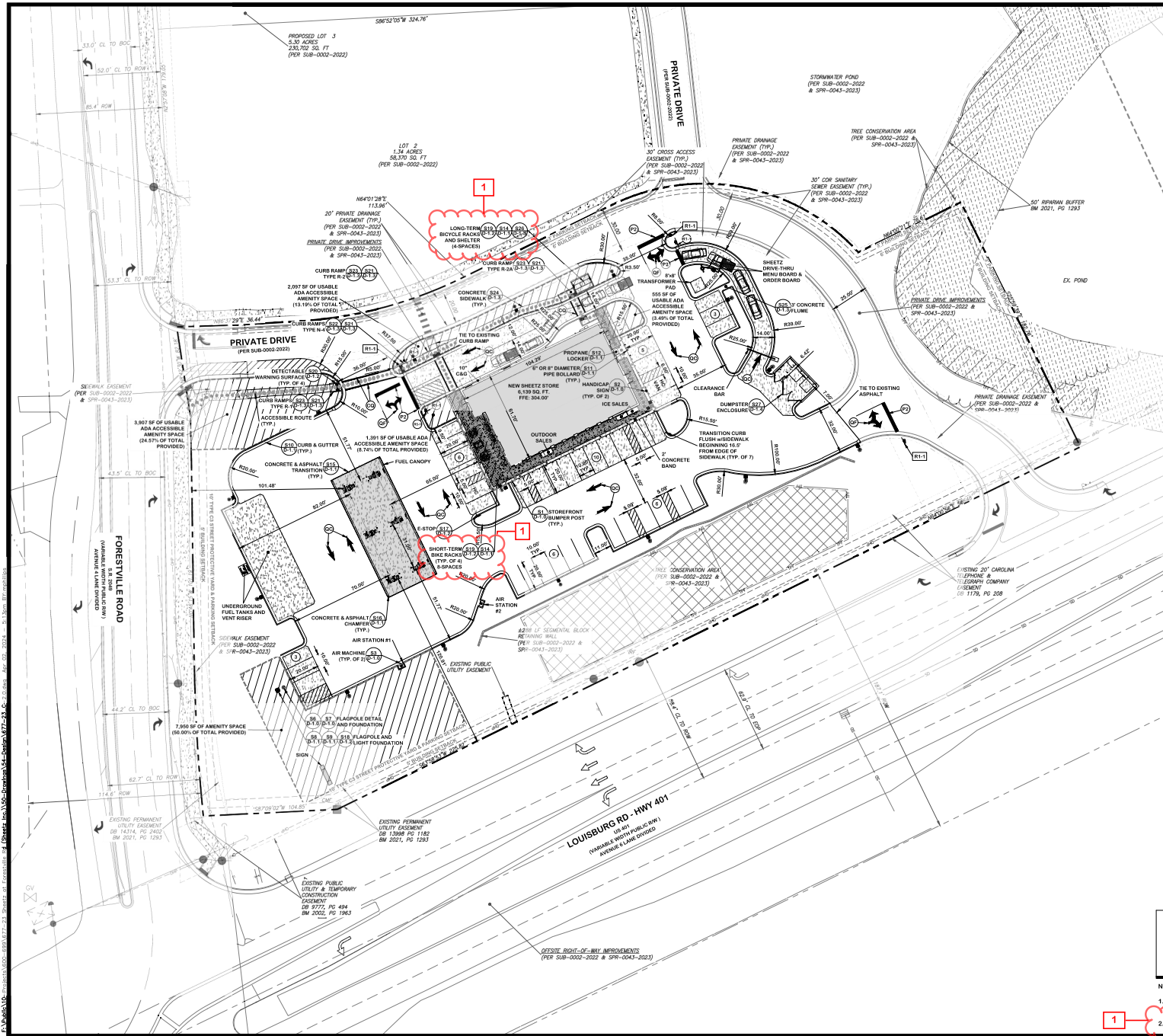
PROJECT NO.	17-00000000
DATE	10/15/2024
SHEET NUMBER	1
PROJECT CHAIR/ENGINEER	[Signature]
PROJECT SURVEYOR	[Signature]

**SHEETZ AT FORESTVILLE RD - LOT 1**  
 RALEIGH-WAKE COUNTY, NORTH CAROLINA  
 TIER 3 ADMINISTRATIVE SITE REVIEW  
 EXISTING CONDITIONS AND DEMOLITION PLAN

NO.	REVISION
1	REVISED PER COMMENTS

DRAWING SHEET  
**C-1.0**

PROJECT NUMBER  
**677-23**

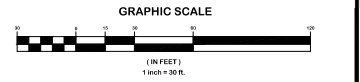


SEE SHEET C-0.1 FOR LEGENDS & NOTES.

SITE DATA TABLE	
SITE ADDRESS:	8601 LOUFSBURG ROAD LOT 1 & 8625 LOUFSBURG ROAD WAKE FOREST, NC 27081
OWNER:	COMET DEVELOPMENT, LLC
PLNS:	1748-62-040 & 1748-61-2519
EXISTING ZONING:	CA-3-C-U
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	RETAIL, VEHICLE FUEL SALES & RESTAURANT
BUILDING TYPE:	GENERAL
PARCEL AREA:	159,000 SF / 3.65 AC
WATERSHED:	TOMS CREEK (MILL CREEK)
ADDITIONAL OVERLAY:	NA
RIVERBASIN:	NEUSE
FLOODPLAIN DATA:	NO PORTION OF THE PROPERTY IS LOCATED WITHIN SPECIAL FLOOD HAZARD ZONE PER INSURANCE RATE MAP (RATE MAP 37201-R-0001 DATED JULY 19, 2022)
IMPERVIOUS AREA:	EXISTING OFF-SITE: 11,017 SF / 0.25 AC (PER SPP-0043-2023) EXISTING ON-SITE: 21,688 SF / 0.50 AC (PER SPP-0043-2023) PROPOSED OFF-SITE: 0 SF / 0 AC PROPOSED ON-SITE: 83,445 SF / 1.88 AC TOTAL: 96,105 SF / 2.21 AC MAX ALLOWABLE: 123,710 SF / 2.84 AC (PER SPP-0043-2023)
AMENITY SPACE:	REQUIRED = 10% OF TOTAL SITE AREA = 116,000 SF ± PROVIDED: 15,900 SF (10.00%)
TREE CONSERVATION AREA:	REQUIRED: 10% OF TOTAL DEVELOPMENT AREA = 1.03 AC. PROVIDED: 1.04 AC. (REFER TO CASE SPP-0043-2023)
PRINCIPAL BUILDING SETBACKS:	PRIMARY STREET (MIN.): 5' SIDE LOT LINE (MIN.): 8' REAR LOT LINE (MIN.): 6'
PARKING SETBACKS:	PRIMARY STREET (MIN.): 5' SIDE LOT LINE (MIN.): 3' REAR LOT LINE (MIN.): 3'
BUILDING FLOOR AREA:	EXISTING: 0 GFA PROPOSED = 6,139 GFA
BUILDING HEIGHT:	REQUIRED: 3 STORIES / 60' MAX. PROPOSED: 1 STORY / 20'0"
MAXIMUM PARKING:	RESTAURANT: 1 SPACE PER 100 SF OF GFA 2,013 SF RESTAURANT / 100 SF = 20 SPACES RETAIL: 1 SPACE PER 200 SF OF GFA PLUS 13 SPACES FOR EVERY 600 SF OF OUTDOOR DISPLAY AREA 3,271 SF RETAIL / 200 SF = 19 SPACES 70 SF OF OUTDOOR DISPLAY / 600 SF = 9 SPACES MAX ALLOWABLE: 39 SPACES TOTAL PROVIDED: 39 SPACES (INCLUDING 2 ADA (1 VAN))
REQUIRED BICYCLE PARKING:	RESTAURANT: 1 SHORT-TERM SPACE PER 50,000 GFA, 4 MIN. 1 LONG-TERM SPACE PER 25,000 GFA, 4 MIN. RETAIL: 1 SHORT-TERM SPACE PER 5,000 GFA, 4 MIN. & NONE FOR LONG-TERM TOTAL REQUIRED: 8 SHORT-TERM, 4 LONG-TERM TOTAL PROVIDED: 8 SHORT-TERM, 4 LONG-TERM

KEY ITEM	DESCRIPTION	WIDTH
⊗ PAINT	WHITE STOPBAR	24"
⊗ THERMO	WHITE WHITE CROSSWALK LINE	8"
⊗ PAINT	WHITE STRAIGHT ARROW	
⊗ PAINT	WHITE COMBO. LEFT/RIGHT ARROW	

SIGNS		
R1-1	MUTCD "STOP" R1-1	30" X 30"
R1-1	MUTCD "STOP" R1-1	24" X 24"
R5-1	MUTCD "DO NOT ENTER" R5-1	24" X 24"



**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

- NOTE(s):
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF WAKE FOREST ORDINANCES AND SPECIFICATIONS.
  - SIGNAGE WILL BE REVIEWED SEPARATELY FROM THE DEVELOPMENT PLAN.

**PAST DESIGN GROUP, PA**  
 Engineering | Consulting  
 507 Reynolds Road, Suite 200, Raleigh, North Carolina 27601  
 Phone: 919.944.4499 | Fax: 919.944.2981 | E-MAIL: CONTACT@PAST.COM

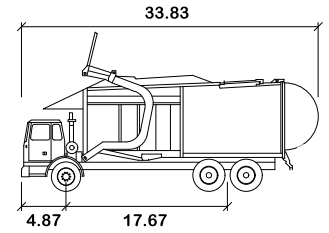
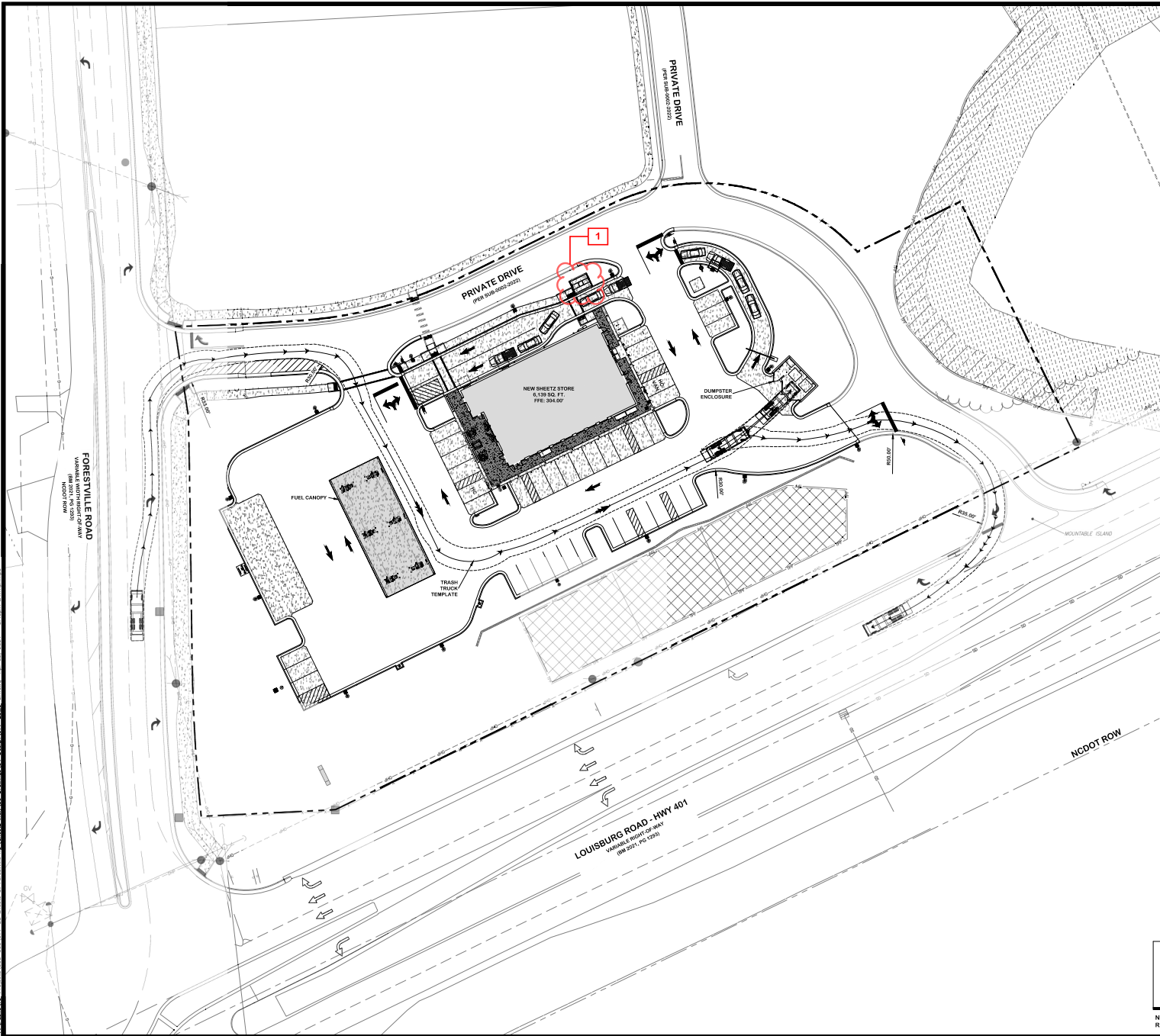
**SHEETZ AT FORESTVILLE RD - LOT 1**  
 TIER 3 ADMINISTRATIVE SITE REVIEW  
 SITE LAYOUT PLAN

RALEIGH, WAKE COUNTY, NORTH CAROLINA  
 PROJECT NUMBER: 677-23

REVISION: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 PROJECT MANAGER: \_\_\_\_\_  
 PROJECT SUPERVISOR: \_\_\_\_\_

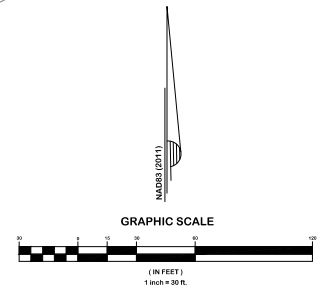
**DRAWING SHEET**  
**C-2.0**  
**PROJECT NUMBER**  
**677-23**





**Wayne Titan**

	feet
Width	: 8.46
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0



**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

**PASST DESIGN GROUP, PA**  
Engineering | Construction  
907 Poplarwood Lane, Suite 100, Raleigh, NC 27604  
Phone: 919.944.4499 | Fax: 919.944.4498 | Email: info@passt.com



DESIGNED BY	PROJECT MANAGER
DRAWN BY	CHECKED BY
DATE: 10/18/2011	PROJECT NUMBER:
SCALE: 1/8" = 1'-0"	PROJECT OWNER:
PROJECT CHIEF DESIGNER:	PROJECT SITE:

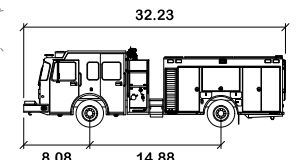
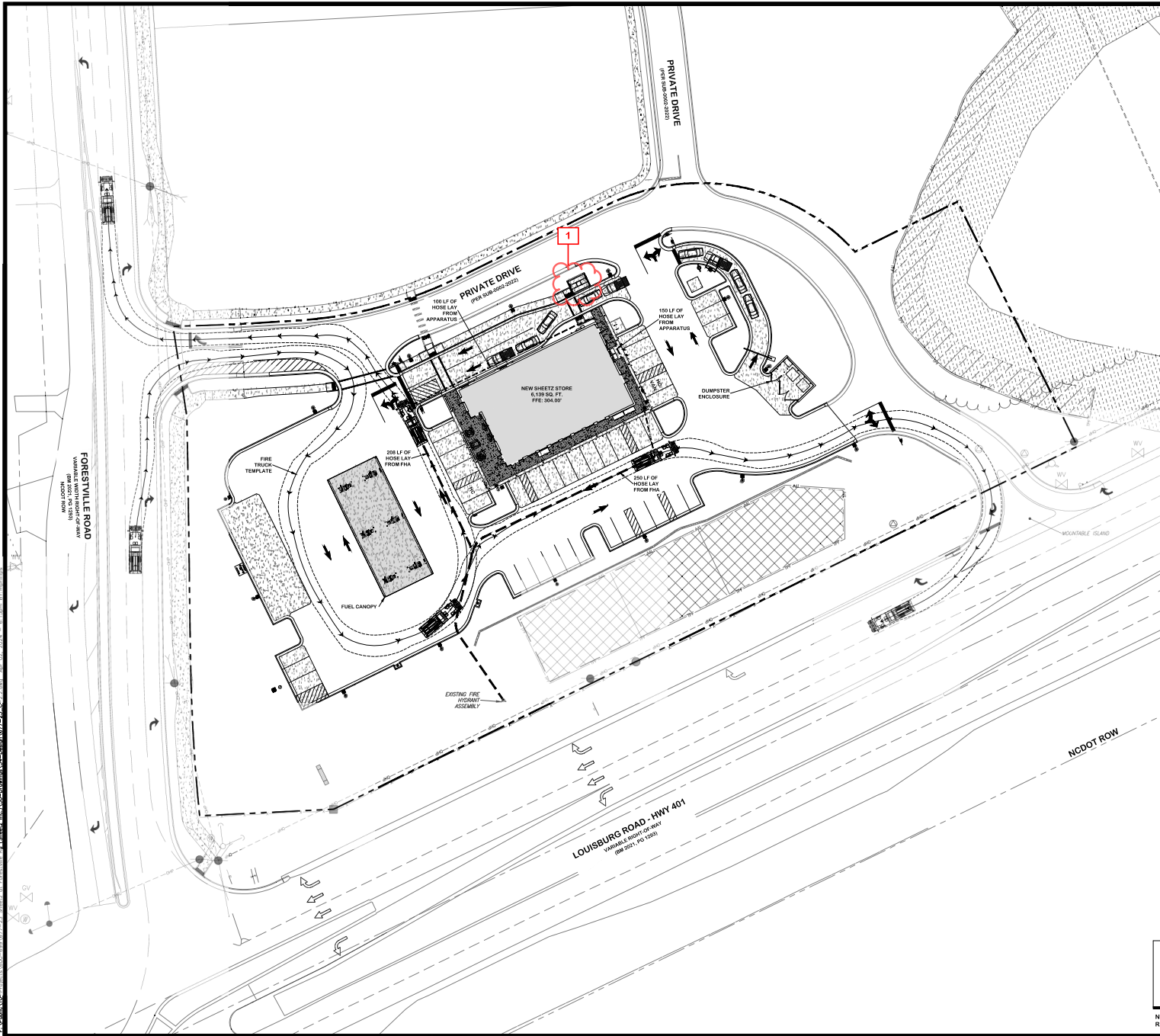
**SHEETZ AT FORESTVILLE RD - LOT 1**  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 3 ADMINISTRATIVE SITE REVIEW**  
**TRASH TRUCK INGRESS/EGRESS PLAN**

NO.	REVISION	DATE
1	REVISED PER CITY COMMENTS	10/18/2011

**DRAWING SHEET**  
**C-2.1**

**PROJECT NUMBER**  
**677-23**

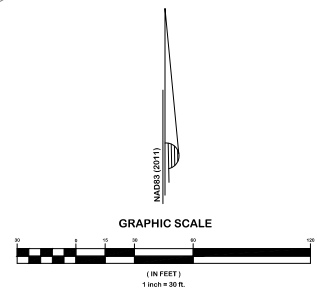
P:\Projects\677-23\Drawings\677-23-03.dwg (Sheetz at Forestville Rd - Lot 1) - 10/18/2011 10:45:00 AM - 677-23.dwg (Sheetz at Forestville Rd - Lot 1) - 10/18/2011 10:45:00 AM



**AFAR Pumper Pierce Velocity**

feet

Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 45.0



**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

**PASST DESIGN GROUP, PA**  
 Engineering | Consulting  
207 Regency Road, Suite 300, Raleigh, NC 27608  
 Phone: 919.944.4499 | Fax: 919.944.4498 | www.passtdesign.com

**SHEETZ AT FORESTVILLE RD - LOT 1**  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 3 ADMINISTRATIVE SITE REVIEW**  
**FIRE TRUCK INGRESS/EGRESS PLAN**

DATE: 10/18/2024  
 SHEET NUMBER: 001  
 PROJECT CHIEF DESIGNER: [Name]  
 PROJECT SURVEYOR: [Name]

PREPARED FOR: [Name]  
 3700 SHILOH POINT  
 ALDENOVA, VA 23020

NO. [ ] REVISION: [ ]  
 REVISED BY: [ ]  
 REVISED DATE: [ ]

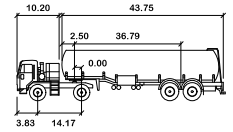
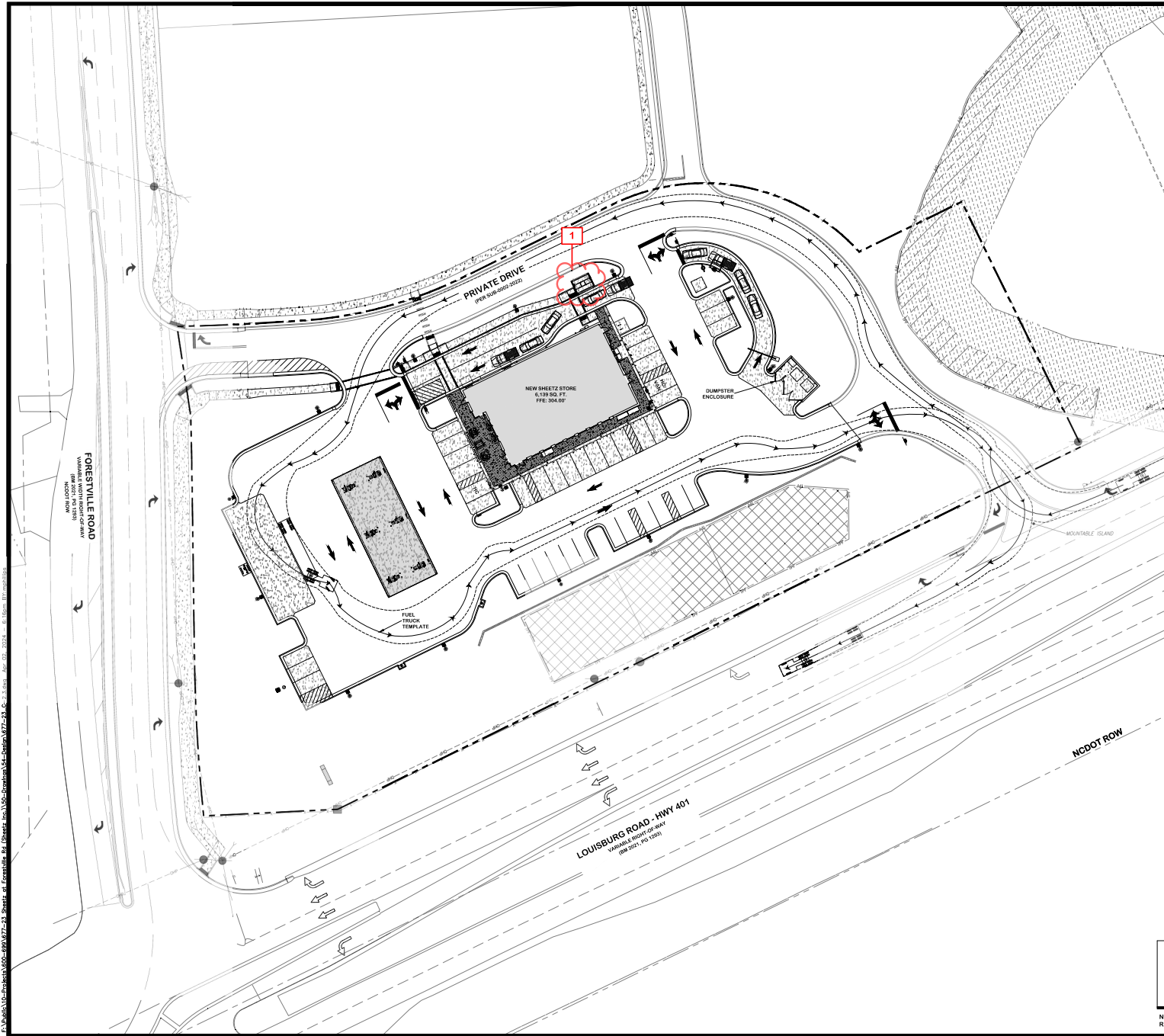
DATE: [ ]  
 PROJECT: [ ]

NO. [ ] DRAWING SHEET

NO. [ ] PROJECT NUMBER

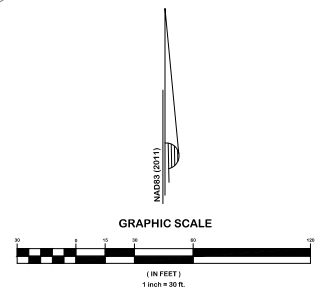
C-2.2

677-23



**SHEETZ FUEL TRI-STATE**

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

**PASST DESIGN GROUP, PA**  
 Engineering | Construction  
 927 Reynolds Road, Suite 100, Raleigh, NC 27604  
 Phone: 919.944.4499 | Fax: 919.944.4498 | Email: info@passt.com

---

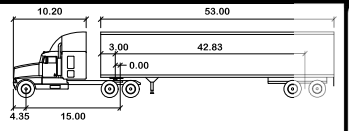
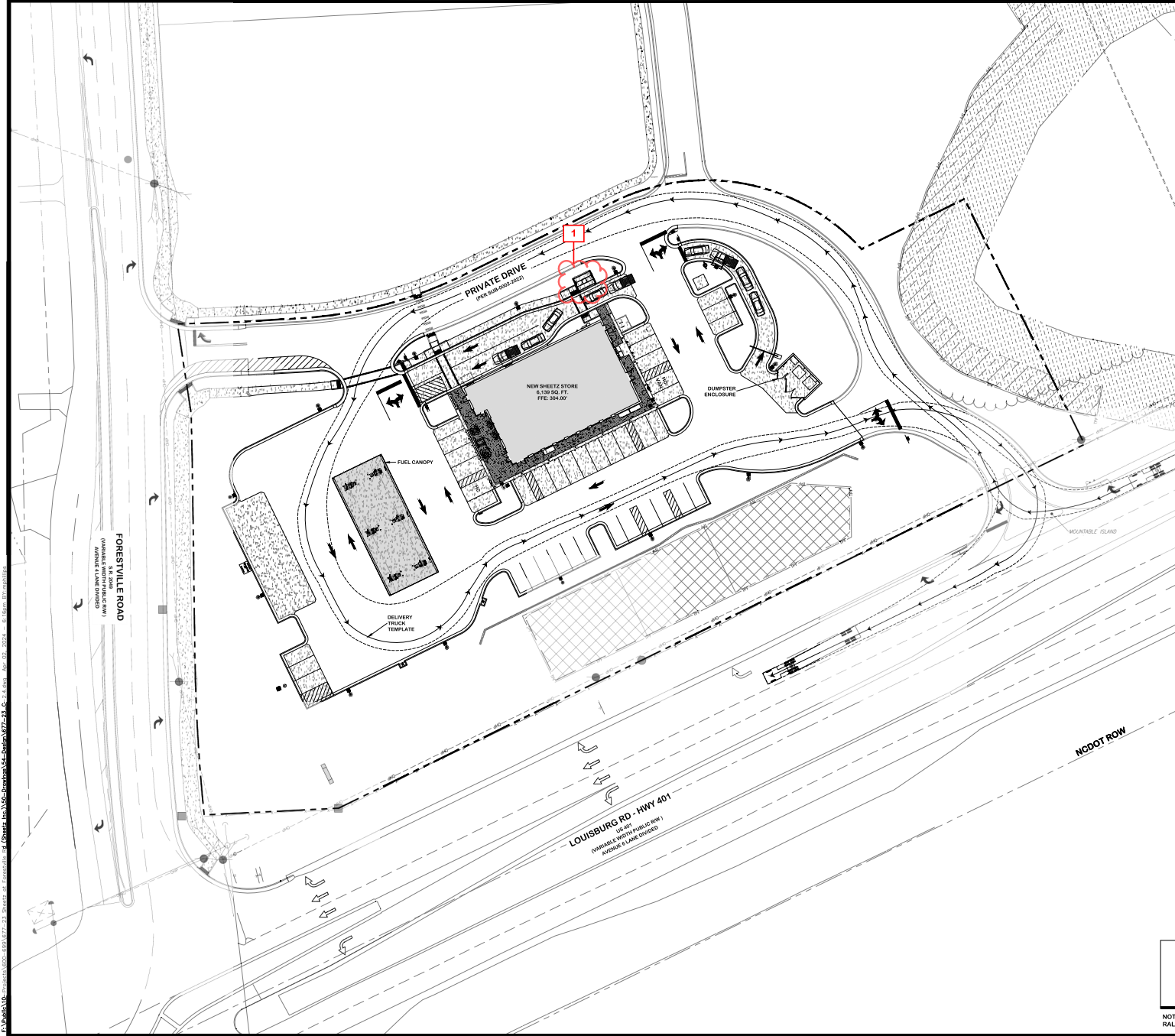
**SHEETZ AT FORESTVILLE RD - LOT 1**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 3 ADMINISTRATIVE SITE REVIEW**  
**FUEL TRUCK INGRESS/EGRESS PLAN**

---

NO.	REVISION	DATE	BY	CHECKED	APP. FOR

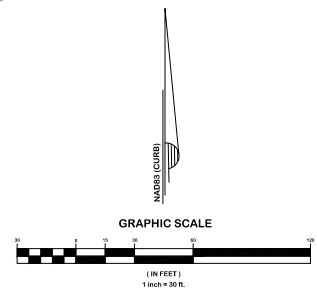
---

<b>DRAWING SHEET</b>	<b>C-2.3</b>
<b>PROJECT NUMBER</b>	
<b>677-23</b>	



**SHEETZ DELI VOLVO SPECS**

feet	
Tractor Width	: 8.00
Trailer Width	: 8.50
Tractor Track	: 8.00
Trailer Track	: 8.50
Lock to Lock Time	: 6.0
Steering Angle	: 28.4
Articulating Angle	: 70.0



**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

**PASST DESIGN GROUP, PA**  
Engineering | Consulting  
907 Reynolds Road, Suite 300, Raleigh, North Carolina 27601  
Phone: 919.944.4499 | Fax: 919.944.2989 | E: CONTACT@PASST.COM

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
PROJECT NUMBER	
PROJECT DRAWING	

**SHEETZ AT FORESTVILLE RD - LOT 1**  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 3 ADMINISTRATIVE SITE REVIEW**  
**DELIVERY TRUCK INGRESS/EGRESS PLAN**

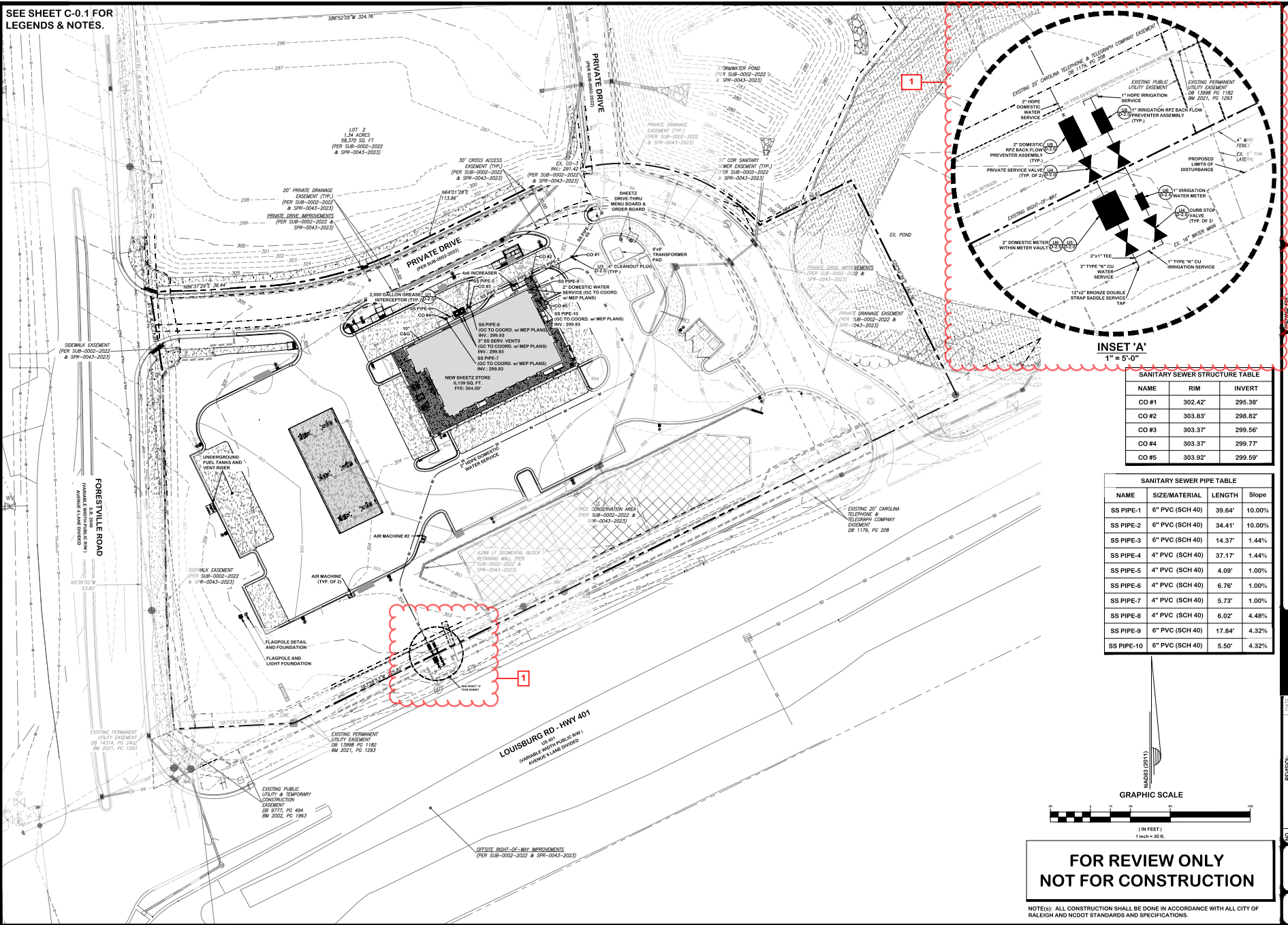
NO.	REVISION
1	REVISED PER CITY COMMENTS

**DRAWING SHEET**  
**C-2.4**

**PROJECT NUMBER**  
**677-23**

P:\WORK\677-23\677-23-03\677-23-03-001.dwg (Sheetz) - PASST Design Group, PA - C-2.4.rvt - 03/20/24 - 03/20/24 - 03/20/24 - 03/20/24

SEE SHEET C-0.1 FOR LEGENDS & NOTES.

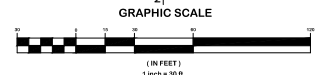


**SANITARY SEWER STRUCTURE TABLE**

NAME	RIM	INVERT
CO #1	302.42'	295.38'
CO #2	303.83'	298.82'
CO #3	303.37'	299.56'
CO #4	303.37'	299.77'
CO #5	303.92'	299.59'

**SANITARY SEWER PIPE TABLE**

NAME	SIZE/MATERIAL	LENGTH	Slope
SS PIPE-1	6" PVC (SCH 40)	39.64'	10.00%
SS PIPE-2	6" PVC (SCH 40)	34.41'	10.00%
SS PIPE-3	6" PVC (SCH 40)	14.37'	1.44%
SS PIPE-4	4" PVC (SCH 40)	37.17'	1.44%
SS PIPE-5	4" PVC (SCH 40)	4.09'	1.00%
SS PIPE-6	4" PVC (SCH 40)	6.76'	1.00%
SS PIPE-7	4" PVC (SCH 40)	5.73'	1.00%
SS PIPE-8	4" PVC (SCH 40)	6.02'	4.48%
SS PIPE-9	6" PVC (SCH 40)	17.84'	4.32%
SS PIPE-10	6" PVC (SCH 40)	5.50'	4.32%



**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

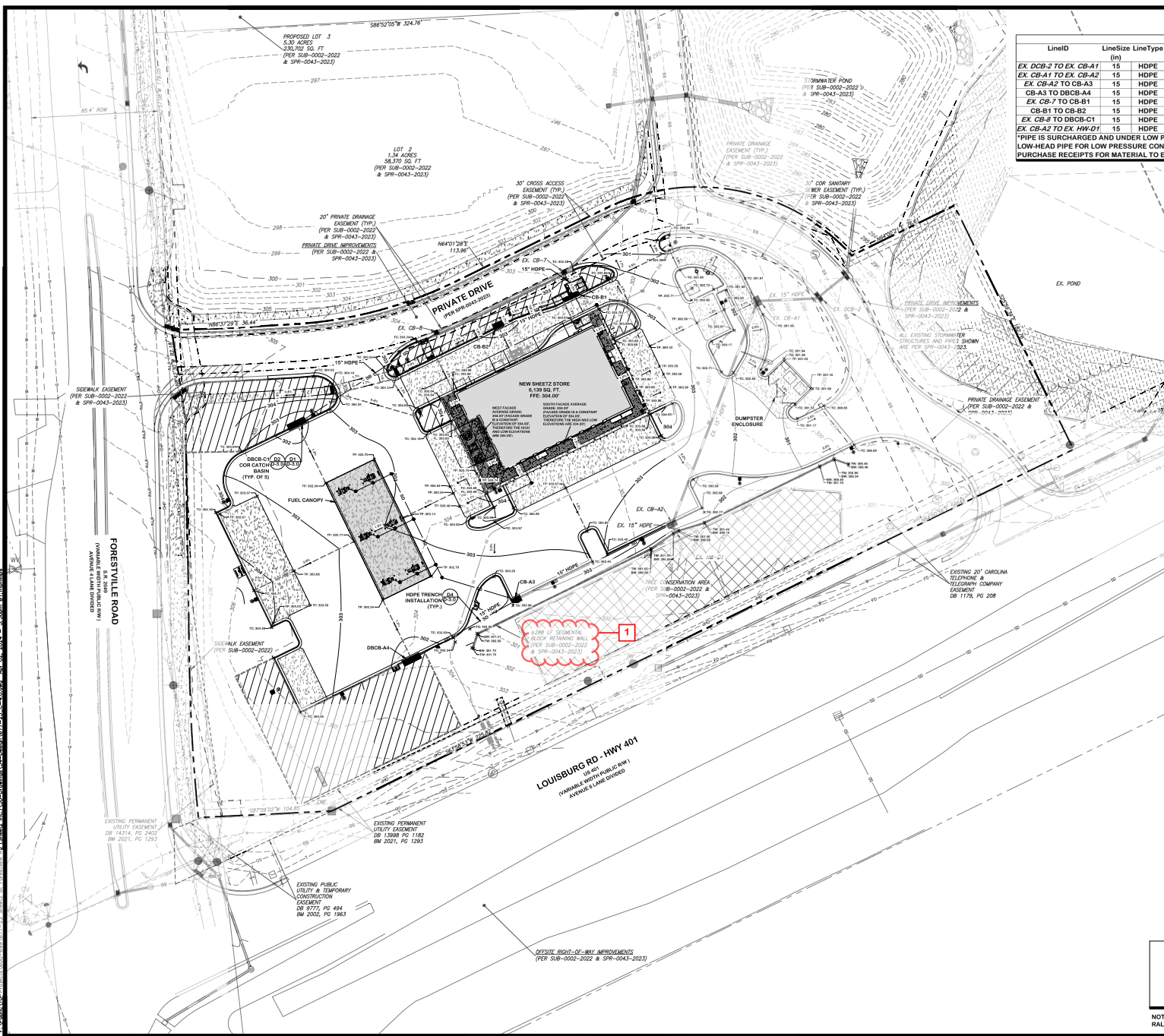
**PAST DESIGN GROUP, PA**  
 Engineering | Consulting  
 97 Reynolds Road, Suite 300, Raleigh, North Carolina 27617  
 Phone: 919.944.4499 | Fax: 919.944.2981 | E-MAIL: CONTACT@PASTDESIGN.COM

**SHEETZ AT FORESTVILLE RD - LOT 1**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
 TIER 3 ADMINISTRATIVE SITE REVIEW  
 UTILITY PLAN

NO.	REVISION

**DRAWING SHEET**  
**C-3.0**  
 PROJECT NUMBER  
**677-23**

P:\WORK\10-2024\10-2024-001\10-2024-001.dwg (Sheet) - 10/20/2024 10:58:00 AM - 10/20/2024 10:58:00 AM - 10/20/2024 10:58:00 AM - 10/20/2024 10:58:00 AM



SEE SHEET C-0.1 FOR LEGENDS & NOTES.

**STORM CHART**

LineID	LineSize (in)	LineType	Invert (ft)	Down (ft)	Up (ft)	LineLength (ft)	LineSlope (%)	Grnd/Rm Elev (ft)	Dn Elev (ft)	Up Elev (ft)
EX DCB-2 TO EX CB-A1	15	HDPE	293.02	294.87	40.02	4.62	297.00	297.00	300.14	300.14
EX CB-A1 TO EX CB-A2	15	HDPE	294.97	296.58	160.87	1.00	300.14	300.14	302.16	302.16
EX CB-A2 TO CB-A3	15	HDPE	296.69	297.94	116.33	1.00	302.16	302.16	302.39	302.39
CB-A3 TO DBCB-A4	15	HDPE	297.94	298.72	77.90	1.00	302.39	302.39	301.75	301.75
EX CB-7 TO CB-B1	15	HDPE	294.82	296.26	16.35	8.81	300.00	300.00	303.10	303.10
CB-B1 TO CB-B2	15	HDPE	299.26	299.82	55.52	1.00	303.10	303.10	302.82	302.82
EX CB-8 TO DBCB-C1	15	HDPE	296.79	297.87	109.09	1.00	302.82	302.82	301.69	301.69
EX CB-A2 TO EX HW-01	15	HDPE	297.93	298.00	7.20	1.00	302.16	302.16	299.25	299.25

\*PIPE IS SURCHARGED AND UNDER LOW PRESSURE CONDITION. CONTRACTOR TO USE GASKETED, WATERTIGHT, LOW-HEAD PIPE FOR LOW PRESSURE CONDITIONS. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND PROVIDE PURCHASE RECEIPTS FOR MATERIAL TO ENGINEER.

**PASST DESIGN GROUP, PA**  
 Engineering | Consulting  
 107 Reynolds Road, Suite 200, Raleigh, North Carolina 27601  
 Phone: 919.944.4399 | Fax: 919.944.2993 | Email: info@passt.com

**SHEETZ AT FORESTVILLE RD - LOT 1**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
 TIER 3 ADMINISTRATIVE SITE REVIEW  
 GRADING AND STORM DRAINAGE PLAN

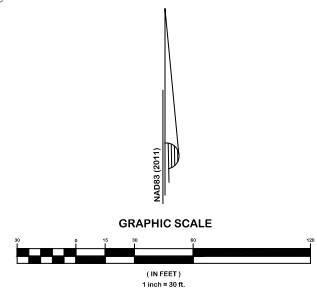
**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

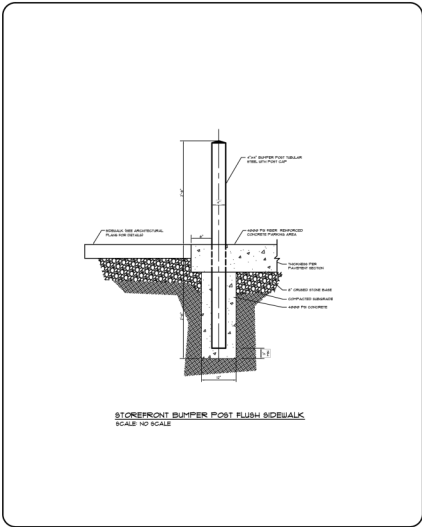
NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

NO. \_\_\_\_\_ REVISION \_\_\_\_\_  
 DATE \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 PROJECT NO. \_\_\_\_\_  
 SHEET NO. \_\_\_\_\_

**DRAWING SHEET C-4.0**

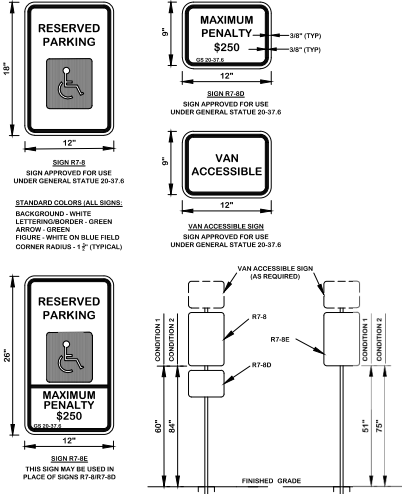
PROJECT NUMBER **677-23**





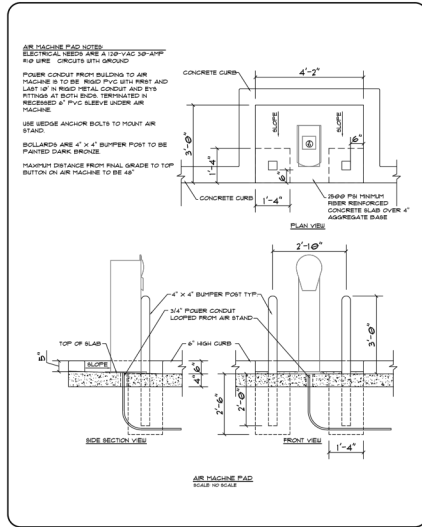
<b>SHEETZ</b>		STOREFRONT BUMPER POST DETAIL	DATE: 11/10/2023 DRAWN BY: DDA
		<b>01</b>	

**S1 STOREFRONT BUMPER POST**



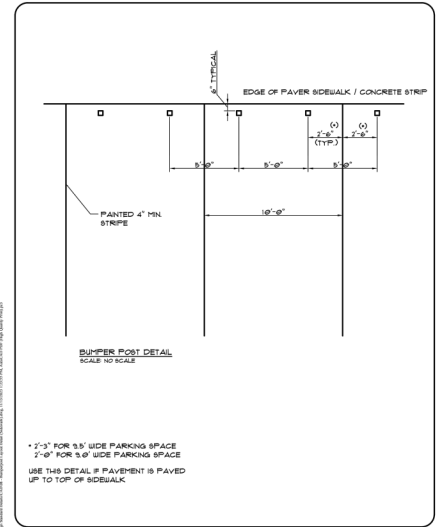
- GENERAL NOTES:**
- REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.
  - NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
  - ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY: BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
  - STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (VDOT)
- CONDITION 1:** PEDESTRIAN PATH DOES NOT PASS UNDER OR AROUND SIGN.
- CONDITION 2:** PEDESTRIAN PATH GOES BY, UNDER, OR AROUND SIGN.

**S2 HANDICAP SIGN**



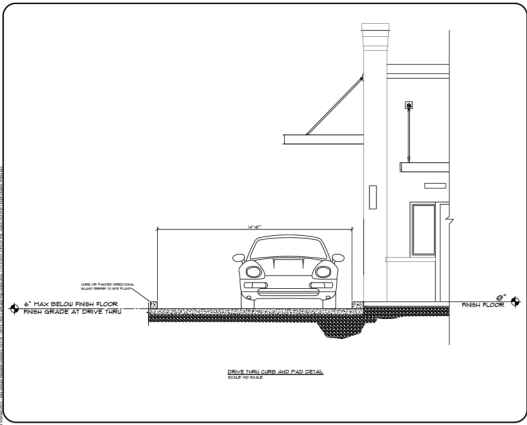
<b>SHEETZ</b>		AIR MACHINE PAD DETAILS	DATE: 11/10/2023 DRAWN BY: DDA
		<b>05</b>	

**S3 AIR MACHINE PAD**



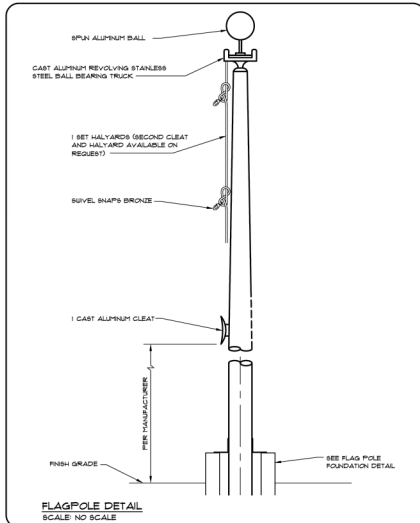
<b>SHEETZ</b>		BUMPERPOST LAYOUT DETAIL AT PAVER SIDEWALK	DATE: 11/10/2023 DRAWN BY: DDA
		<b>08</b>	

**S4 BUMPERPOST LAYOUT AT PAVER SIDEWALK**



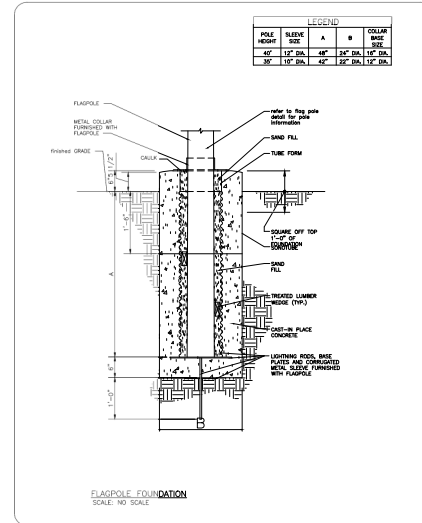
<b>SHEETZ</b>		DRIVE THRU CURB AND PAD DETAIL	DATE: 11/10/2023 DRAWN BY: DDA
		<b>10</b>	

**S5 DRIVE THRU CURB AND PAD DETAIL**



<b>SHEETZ</b>		FLAGPOLE DETAIL	DATE: 11/10/2023 DRAWN BY: DDA
		<b>11</b>	

**S6 FLAGPOLE DETAIL**



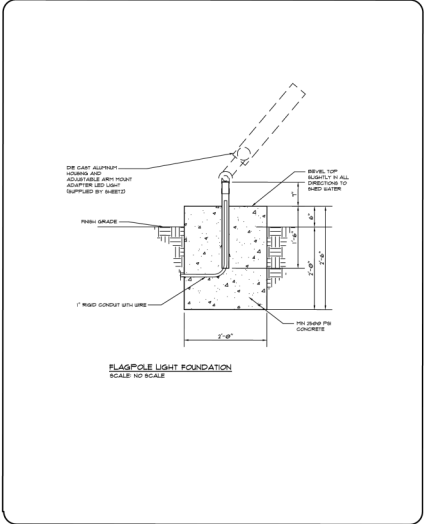
<b>SHEETZ</b>		FLAGPOLE FOUNDATION	DATE: 11/10/2023 DRAWN BY: DDA
		<b>12</b>	

**S7 FLAGPOLE FOUNDATION**

**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

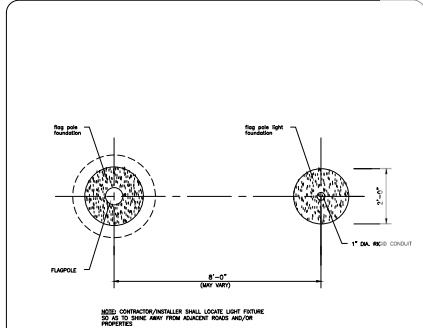
NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

NO.	REVISION	DATE
1	REVISION FOR CLIENT COMMENTS	



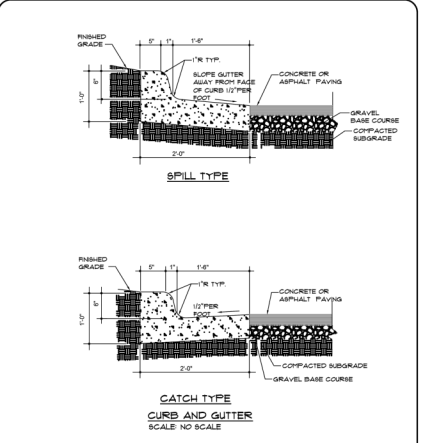
<b>SHEETZ</b>		FLAGPOLE LIGHT FOUNDATION	DATE: 11/10/2011 DRAWN BY: SHM	13
---------------	--	---------------------------	-----------------------------------	----

S8 FLAGPOLE LIGHT FOUNDATION



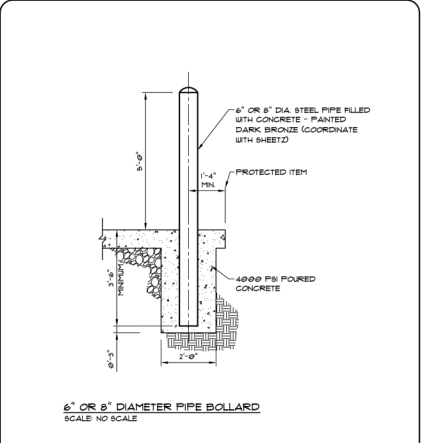
<b>SHEETZ</b>		FLAGPOLE AND LIGHT FOUNDATION LAYOUT PLAN	DATE: 11/10/2011 DRAWN BY: SHM	14
---------------	--	---	-----------------------------------	----

S9 FLAGPOLE AND LIGHT FOUNDATION LAYOUT PLAN



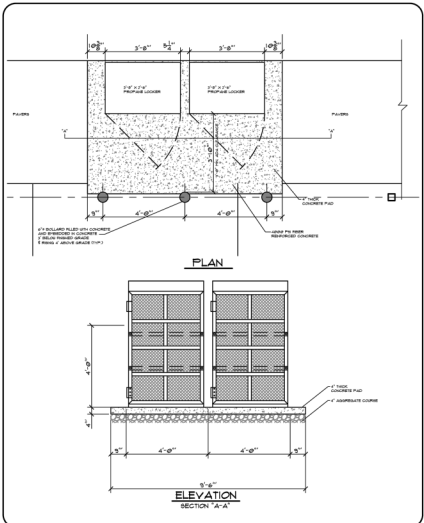
<b>SHEETZ</b>		CURB AND GUTTER DETAIL	DATE: 11/10/2011 DRAWN BY: SHM	15
---------------	--	------------------------	-----------------------------------	----

S10 CURB AND GUTTER



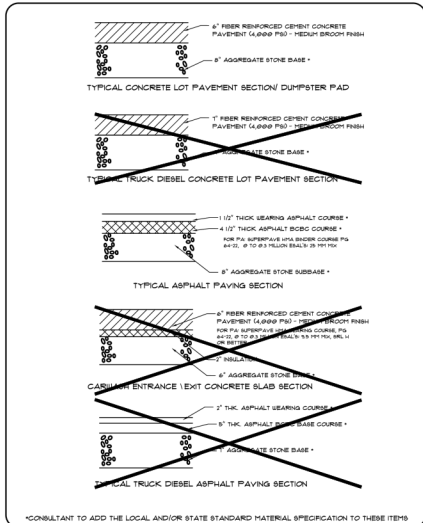
<b>SHEETZ</b>		6\"/>	DATE: 11/10/2011 DRAWN BY: SHM	17
---------------	--	-------	-----------------------------------	----

S11 6\"/>



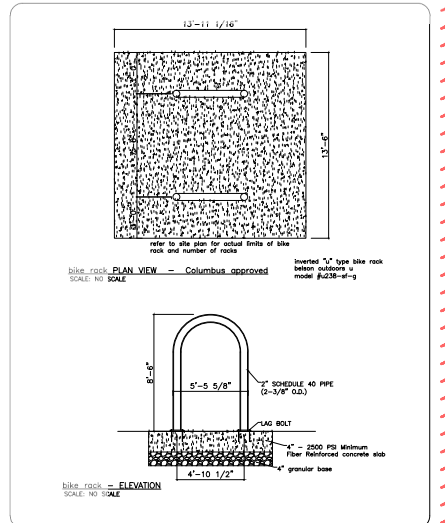
<b>SHEETZ</b>		PROPANE LOCKER (AT BUILDING)	DATE: 11/10/2011 DRAWN BY: SHM	19
---------------	--	------------------------------	-----------------------------------	----

S12 PROPANE LOCKER (AT BUILDING)



<b>SHEETZ</b>		SITE PAVEMENT DETAILS	DATE: 11/10/2011 DRAWN BY: SHM	20
---------------	--	-----------------------	-----------------------------------	----

S13 SITE PAVEMENT DETAILS



<b>SHEETZ</b>		U-SHAPED BIKE RACK	DATE: 11/10/2011 DRAWN BY: SHM	24
---------------	--	--------------------	-----------------------------------	----

S14 U-SHAPED BIKE RACK

**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

S15 CONCRETE AND ASPHALT TRANSITION DETAIL

PROJECT NO.	11100000000000000000
PROJECT NAME	RALEIGH WAKE COUNTY, NORTH CAROLINA
PROJECT DATE	11/10/2011
PROJECT DESIGNER	SHM
PROJECT SURVEYOR	SHM

**SHEETZ AT FORESTVILLE RD - LOT 1**

**TIER 3 ADMINISTRATIVE SITE REVIEW**  
**SITE DETAIL SHEET**

NO.	REVISION	DATE
1	REVISED PER CLIENT COMMENTS	11/10/2011

**DRAWING SHEET**

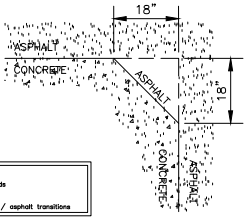
**D-1.1**

PROJECT NUMBER  
**677-23**



**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.



Additional  
set PAVE  
one corner pads  
parking areas  
bumpers  
other concrete / asphalt transitions

CONCRETE / ASPHALT chamfer  
SCALE: NO SCALE

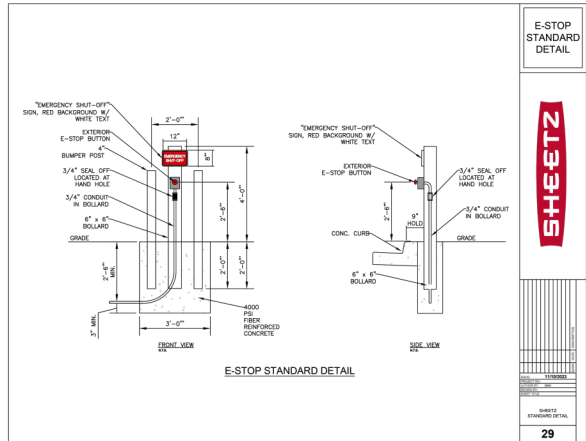
**SHEETZ**

CONCRETE / ASPHALT  
CHAMFER DETAIL

SCALE:  
DATE: 11/14/2024  
REVISIONS: 0001

28

S16 CONCRETE AND ASPHALT  
CHAMFER DETAIL



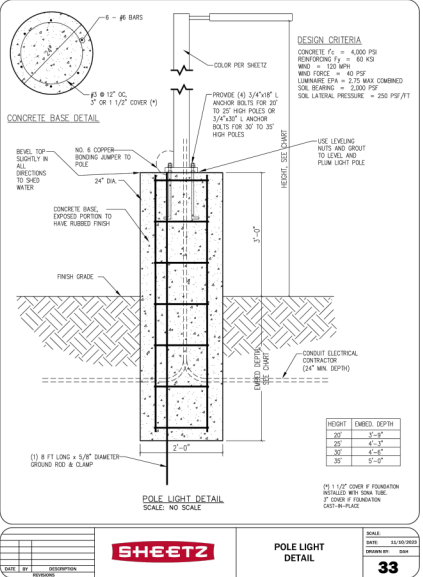
E-STOP  
STANDARD  
DETAIL

**SHEETZ**

SCALE:  
DATE: 11/14/2024  
REVISIONS: 0001

29

S17 E-STOP DETAIL



CONCRETE BASE DETAIL

POLE LIGHT DETAIL

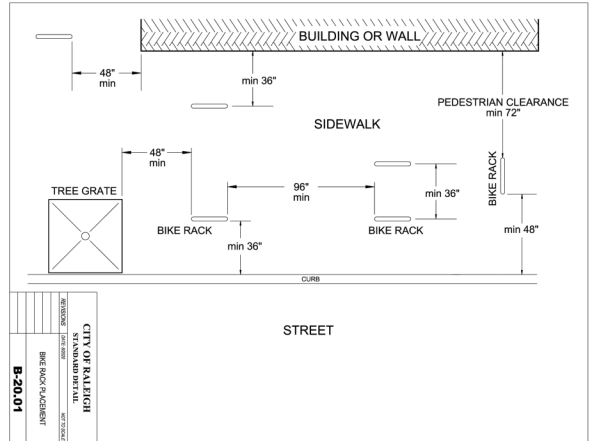
**SHEETZ**

POLE LIGHT  
DETAIL

SCALE:  
DATE: 11/14/2024  
REVISIONS: 0001

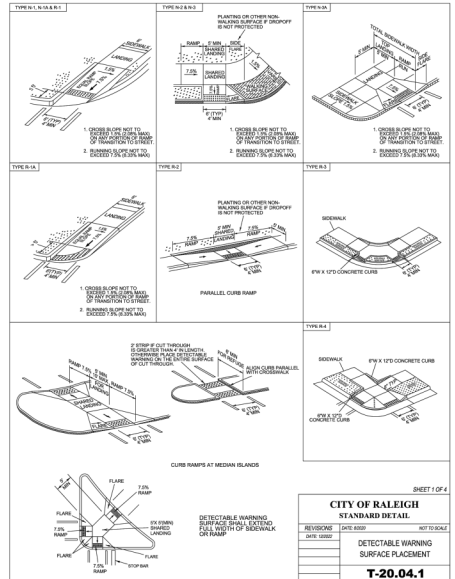
33

S18 POLE LIGHT  
DETAIL



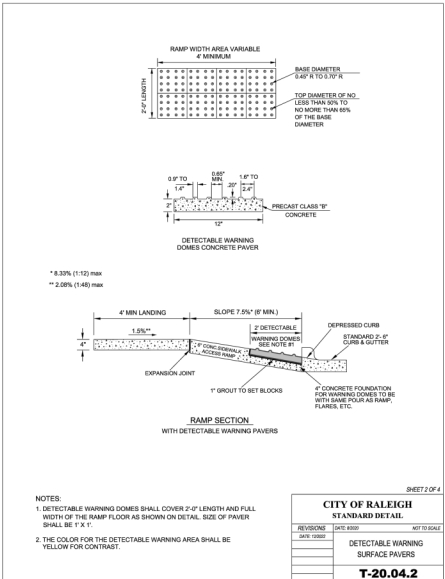
CITY OF RALEIGH  
STANDARD DETAIL  
B-20.01

S19 BIKE RACK  
PLACEMENT



CITY OF RALEIGH  
STANDARD DETAIL  
T-20.04.1

S20 DETECTABLE WARNING  
SURFACE PLACEMENT



CITY OF RALEIGH  
STANDARD DETAIL  
T-20.04.2

NOTES:  
1. DETECTABLE WARNING DOMES SHALL COVER 7'-0" LENGTH AND FALL NORTH OF THE RAMP FLOOR AS SHOWN ON DETAIL. SIZE OF PAVER SHALL BE 1' X 1'.  
2. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.



PROJECT: FORESTVILLE RD - LOT 1  
DATE: 11/14/2024  
DRAWN: J. WOOD  
CHECKED: J. WOOD  
PROJECT CAD DESIGNER:  
PROJECT SUPERVISOR:  
SCALE:

SHEETZ AT FORESTVILLE RD - LOT 1  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
TIER 3 ADMINISTRATIVE SITE REVIEW  
SITE DETAIL SHEET

CITY OF RALEIGH  
STANDARD DETAIL  
B-20.01

CITY OF RALEIGH  
STANDARD DETAIL  
T-20.04.1

CITY OF RALEIGH  
STANDARD DETAIL  
T-20.04.2

DRAWING SHEET  
D-1.2

PROJECT NUMBER  
677-23

**CITY OF RALEIGH  
CURB RAMPS  
GENERAL NOTES**

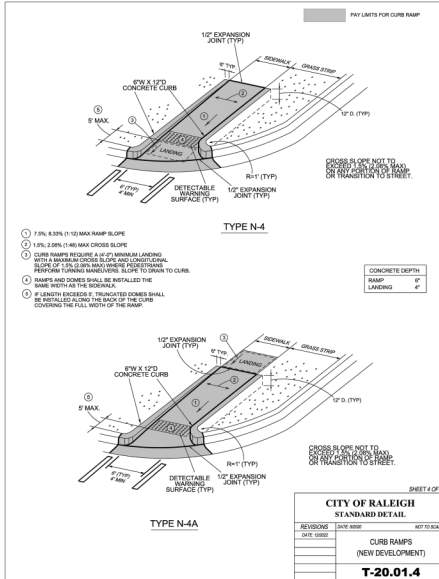
- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
- CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
- DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1"FT (12-1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 12" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

SHEET 8 OF 8

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
CURB RAMP NOTES		
<b>T-20.01.8</b>		

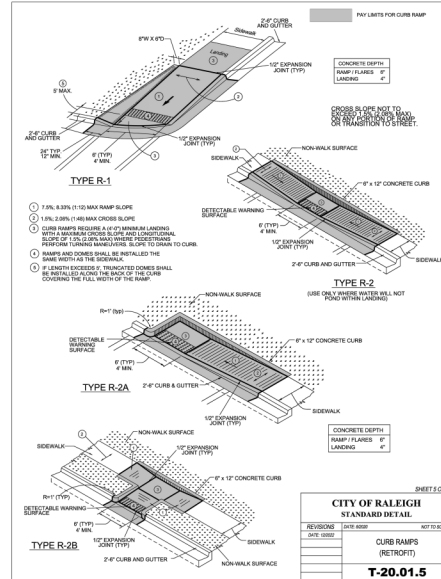
S21

**CURB RAMP  
NOTES**



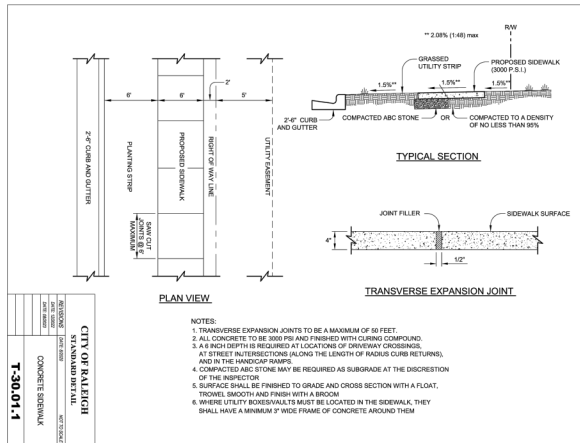
S22

**CURB RAMPS  
(NEW DEVELOPMENT)**



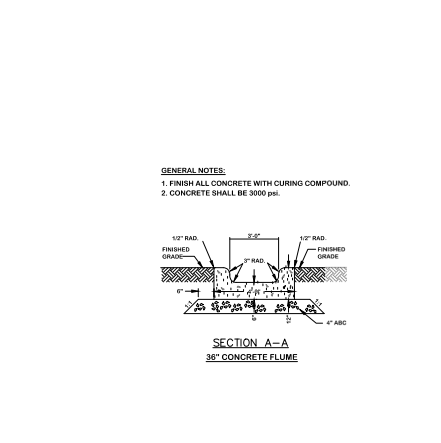
S23

**CURB RAMPS  
(RETROFIT)**



S24

**CONCRETE SIDEWALK**



S25

**CONCRETE FLUME**

**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE: ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

**DUO-GARD**  
TOGETHER BY DESIGN™

DUO-GARD  
4042 KOPPERNICK RD  
CANTON, MI 48107  
TOLL FREE: 1-800-872-4404  
PHONE: (734) 207-9700  
FAX: (734) 207-7956  
www.duo-guard.com

SELECT DESIRED MODEL:  
2 COLUMN MODEL

3' X 12' (Y=108 1/2") (X=150")

6' X 12' (Y=108 1/2") (X=150")

9' X 12' (Y=108 1/2") (X=150")

END ELEVATION

PLAN VIEW

FRONT ELEVATION

**MANUFACTURER NOTES:**

- FRAMEWORK TO BE WELDED AND MECHANICALLY FASTENED STEEL.
- ALL MECHANICAL CONNECTIONS TO BE MADE WITH CONCRETE FASTENERS.
- ROOF AND PURLIN SHALL BE SEWELLED, THEN CAPPED, WELDED AND GROUND SMOOTH PRIOR TO FINISHING.
- ROOF SLATING TO BE FINISHING GRANITE METAL.
- SEE SECTION 10 72 4 FOR DETAILED WRITTEN SPECIFICATIONS.
- DESIGN IS PRELIMINARY CONCEPTUAL, AND SUBJECT TO CHANGE BASED ON FINAL ENGINEERING PHASE AND CUSTOMER APPROVAL.
- BASE AND/OR PLATES SHALL BE STAINLESS STEEL, GRADE 304 FINISHED TO MATCH SHELTER (STEEL SHELTERS ONLY).
- AVAILABLE IN CUSTOM SIZES.
- PLEASE CONSULT DUO-GARD INDUSTRIES.

**NOTES:**

- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTOR'S NOTE FOR PRODUCT AND COMPANY INFORMATION VISIT [www.CADetails.com/info](http://www.CADetails.com/info) AND ENTER REFERENCE NUMBER: 765-042

**BIKE SHELTERS**

BIKE SHELTERS: RAZOR - 2 COLUMN

765-042

PROTECTED BY COPYRIGHT ©2012 CADDETAILS.COM/TO

REVISION DATE: 06/09/2011

CADetails.com

S26

**BICYCLE SHELTER**

**PAST DESIGN GROUP, PA**

Engineering | Consulting  
107 Parkside Lane, Suite 100, Raleigh, NC 27601  
Phone: 919.946.4399 | Fax: 919.946.4398 | www.pastdesign.com

**PREPARED FOR:**  
CITY OF RALEIGH  
100 SOUTH MAIN STREET  
RALEIGH, NC 27601

**DATE:** 10/15/2010

**PROJECT NUMBER:**  
107 PARKSIDE LANE, SUITE 100, RALEIGH, NC 27601

**PROJECT CHARGED DESIGNER:**  
MICHAEL SWANSON

**PROJECT SURVEYOR:**  
MICHAEL SWANSON

---

**SHEETZ AT FORESTVILLE RD - LOT 1**

**TIER 3 ADMINISTRATIVE SITE REVIEW**

**SITE DETAIL SHEET**

---

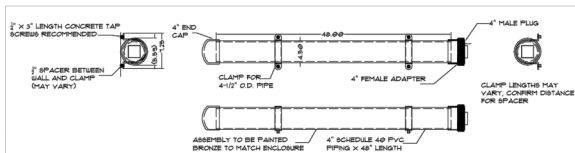
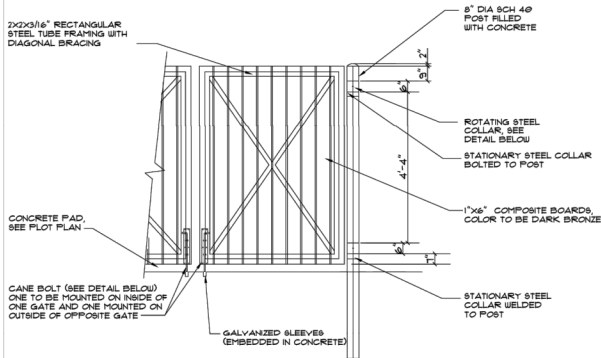
**DRAWING SHEET**

**D-1.3**

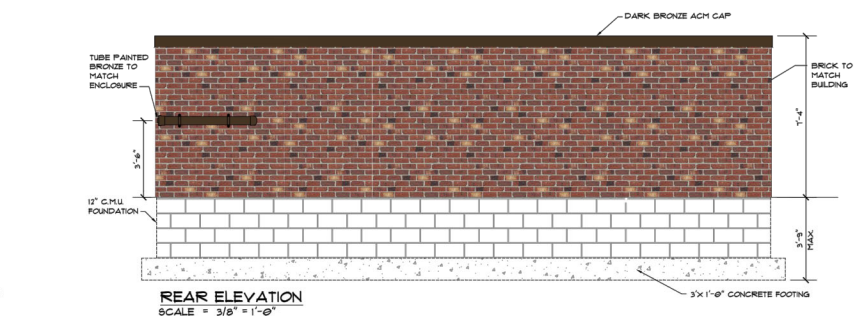
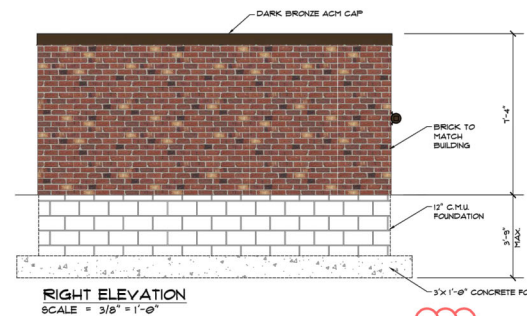
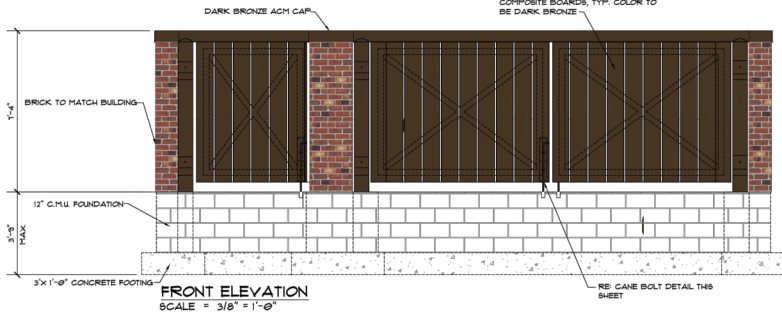
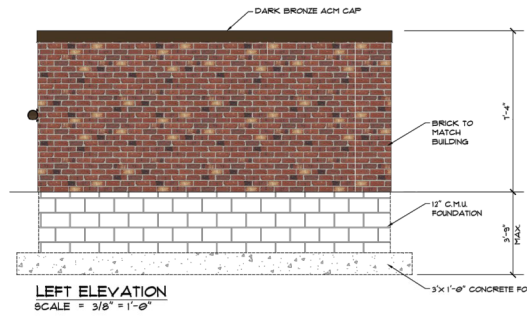
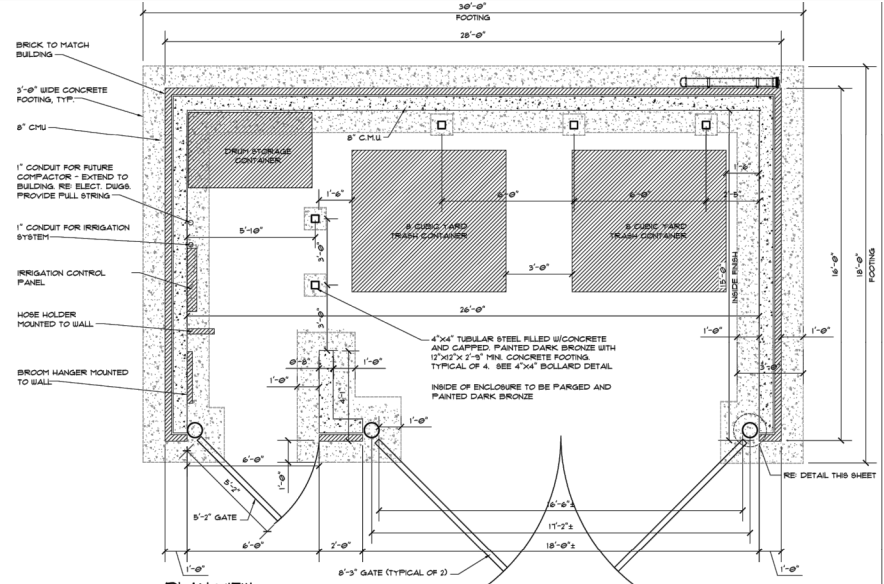
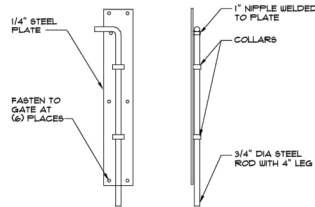
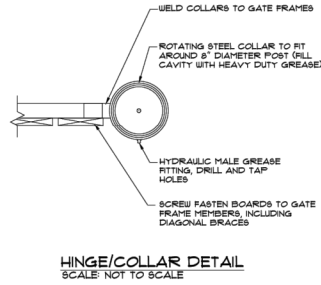
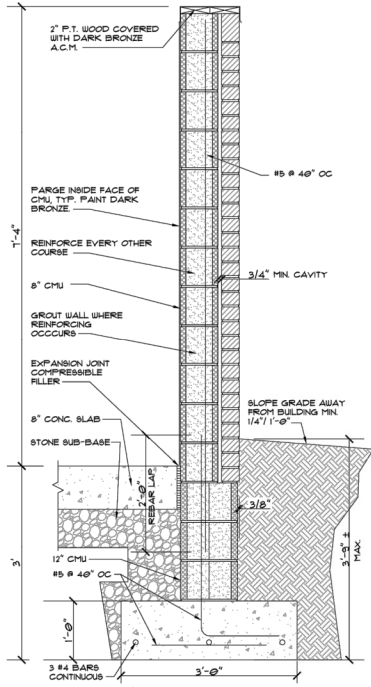
---

**PROJECT NUMBER**

**677-23**

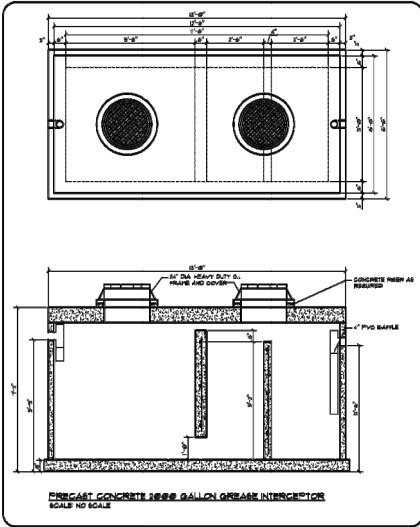


**GUAGE STICK DETAILS**  
SCALE: 1" = 1'-0"



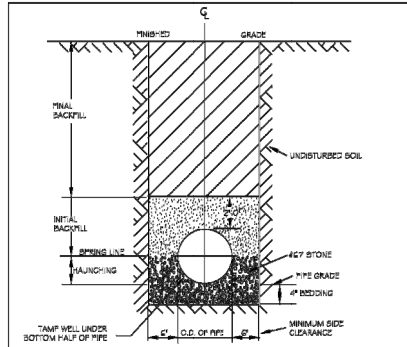
**1 S27 DUMPSTER ENCLOSURE**  
SCALE: 3/8" = 1'-0"

NO.	REVISION	DATE
1	REVISED PER CAD COMMENTS	10/13/2023



**SHEETZ** 2000 GALLON GREASE INTERCEPTOR

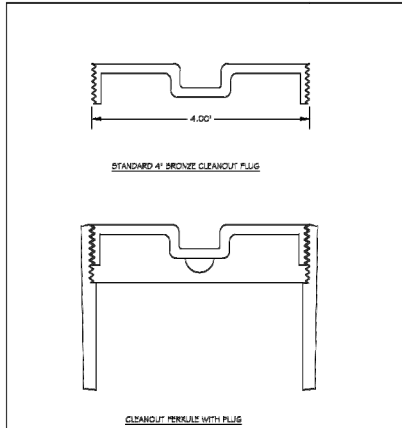
21



**TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE**

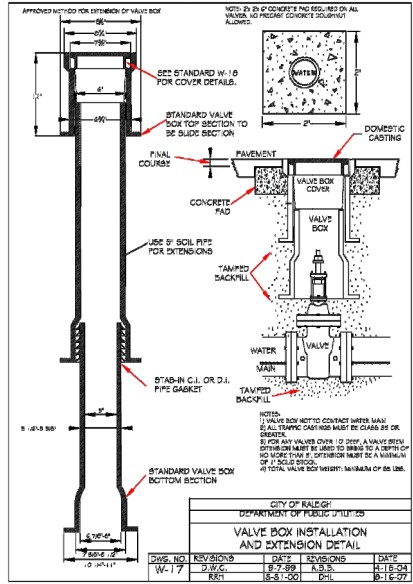
- NOTES:
1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  2. NO ROCKS OR BouldERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
  3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
  4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
5-5	NO NOTES	7-2-89	REV.	8-30-90	



**4" CLEANOUT PLUG**

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
4" CLEANOUT PLUG					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
8-84	D.W.C.	8-27-88		8-30-90	



**VALVE BOX INSTALLATION AND EXTENSION DETAIL**

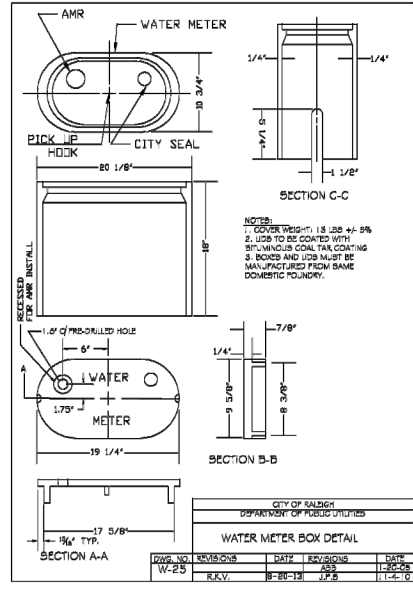
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
VALVE BOX INSTALLATION AND EXTENSION DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-17	REV.	8-31-90	REV.	8-16-97	

**U1 2000 GALLON GREASE INTERCEPTOR**

**U2 TRENCH BOTTOM DIMENSIONS & BACKFILLING**

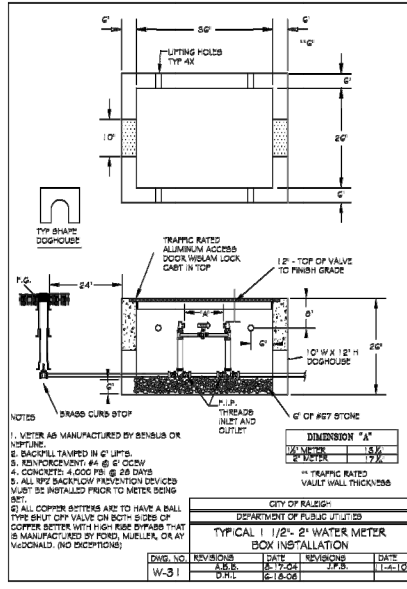
**U3 4" CLEANOUT PLUG**

**U4 VALVE BOX INSTALLATION AND EXTENSION DETAIL**



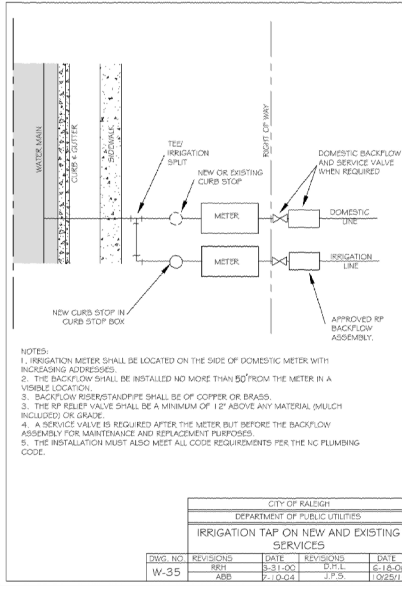
**WATER METER BOX DETAIL**

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
WATER METER BOX DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-25	R.K.V.	8-28-13	J.P.S.	11-6-10	



**2" WATER METER BOX INSTALLATION**

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
TYPICAL 1 1/2" - 2" WATER METER BOX INSTALLATION					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-31	D.W.C.	8-18-88	J.P.S.	11-21-10	



**IRRIGATION TAP ON NEW AND EXISTING SERVICES**

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
IRRIGATION TAP ON NEW AND EXISTING SERVICES					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-35	REV.	8-11-00	J.P.S.	8-18-08	

**U5 WATER METER BOX DETAIL**

**U6 2" WATER METER BOX INSTALLATION**

**U7 IRRIGATION TAP ON NEW AND EXISTING SERVICES**

**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

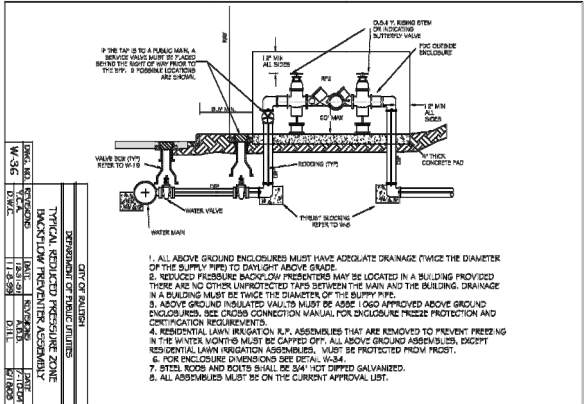
NOTES: ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

NO.	DATE	REVISION

**DRAWING SHEET D-2.0**

**PROJECT NUMBER 677-23**

P:\Projects\2024\1000-10000\1000-10000.dwg (10/24/24) 10/24/24 10:24:24 AM



**U8** **REDUCED PRESSURE ZONE BACK FLOW PREVENTER ASSEMBLY**

REVISIONS		CITY OF RALEIGH
NO.	DATE	DESCRIPTION
1	10/24/24	ISSUED FOR PERMIT
2	10/24/24	ISSUED FOR PERMIT
3	10/24/24	ISSUED FOR PERMIT
4	10/24/24	ISSUED FOR PERMIT
5	10/24/24	ISSUED FOR PERMIT
6	10/24/24	ISSUED FOR PERMIT
7	10/24/24	ISSUED FOR PERMIT
8	10/24/24	ISSUED FOR PERMIT
9	10/24/24	ISSUED FOR PERMIT
10	10/24/24	ISSUED FOR PERMIT

**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.



**PAST DESIGN GROUP, PA**  
Engineering & Construction  
1000 W. HARRIS ST., SUITE 100  
RALEIGH, NC 27603  
PHONE: 919.997.1000  
FAX: 919.997.1001  
WWW.PASTDESIGN.COM

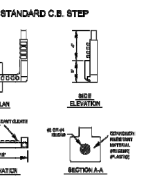
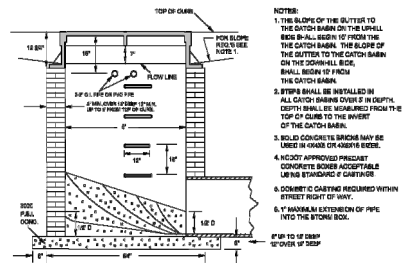
**SHEETZ AT FORESTVILLE RD - LOT 1**  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 3 ADMINISTRATIVE SITE REVIEW**  
**UTILITY DETAIL SHEET**

NO.	REVISION	DATE

**DRAWING SHEET**  
**D-2.1**  
PROJECT NUMBER  
**677-23**

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

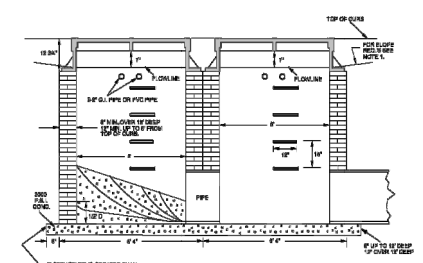
NOTE(1): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.



CITY OF RALEIGH STANDARD DETAIL

APPROVED	DATE	REV	DESCRIPTION

7' OM CATCH BASIN  
SW-10.01

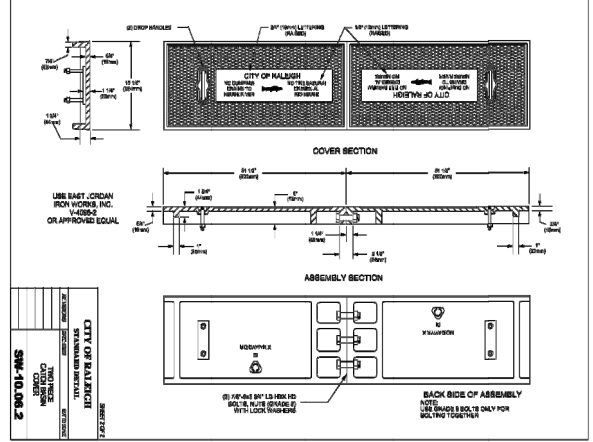


- NOTES:
1. THE SLOPE OF THE BUTTER TO THE CATCH BASIN ON THE UPHILL SIDE SHALL BE 10\"/>
  - 2. STEPS SHALL BE INSTALLED IN ALL CATCH BASINS OVER 2' IN DEPTH. DEPTH SHALL BE MEASURED FROM THE TOP OF CURB TO THE INVERT OF THE CATCH BASIN.
  - 3. SOLID CONCRETE BRICKS MAY BE USED IN GRADE OR UNDER GRADE.
  - 4. NCDOT APPROVED PRECAST CONCRETE BOXES ACCEPTABLE USING STANDARD 2' CATCH BASIN.
  - 5. DOMESTIC CASTING REQUIRED WITHIN STREET RIGHT OF WAY.
  - 6. 1/2\"/>

CITY OF RALEIGH STANDARD DETAIL

APPROVED	DATE	REV	DESCRIPTION

DOUBLE WIDTH CATCH BASIN  
SW-10.02



2' BOLT-ON ASSEMBLY

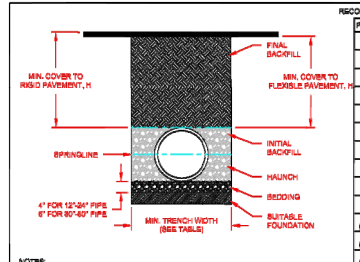
APPROVED	DATE	REV	DESCRIPTION

DOUBLE WIDTH CATCH BASIN  
SW-10.02

D1 5' OM CATCH BASIN

D2 DOUBLE WIDTH CATCH BASIN

D3 BOLTED COVER ASSEMBLY



RECOMMENDED MINIMUM TRENCH WIDTH

PIPE DIAM.	MIN. TRENCH WIDTH
4\"/>	

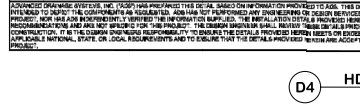
MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	CLASS II		CLASS III	
	85%	95%	85%	95%
4\"/>				

- NOTES:
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2221, "STANDARD PRACTICES FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS," LATEST EDITION.
  2. MEASURES SHALL BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  3. FOUNDATION, WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  4. BEDDING, SUITABLE MATERIAL SHALL BE CLASS II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4\"/>
  - 5. INITIAL BACKFILL, SUITABLE MATERIAL SHALL BE CLASS II OR III IN THE PIPE ZONE EXTENDING TO THE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2221, LATEST EDITION.
  - 6. MINIMUM COVER MINIMUM COVER, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12\"/>

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

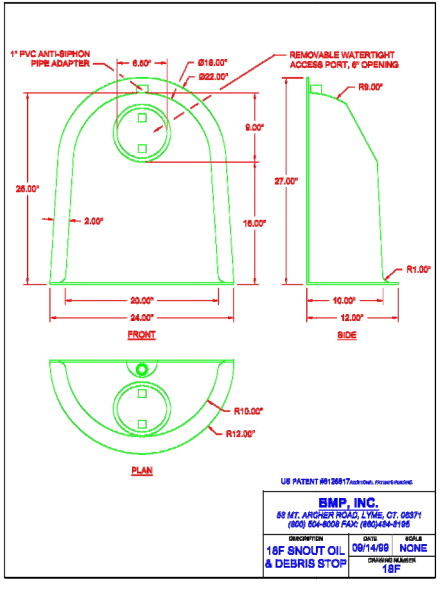
PIPE DIAM.	CLASS II		CLASS III	
	85%	95%	85%	95%
4\"/>				



RECOMMENDED MINIMUM TRENCH WIDTH

PIPE DIAM.	MIN. TRENCH WIDTH
4\"/>	

D4 HDPE BEDDING DETAIL

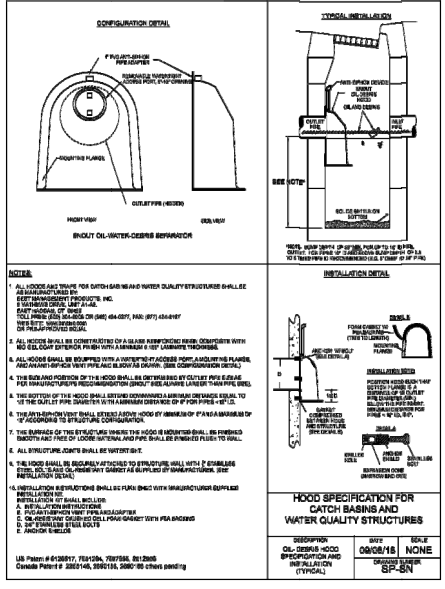


BMP, INC.  
88 MT. ARCHER ROAD, LENOX, GA 02871  
(800) 804-8008 FAX: (800) 424-8195

DESCRIPTION: 18\"/>

DATE: 06/14/99  
DRAWING NUMBER: 18F

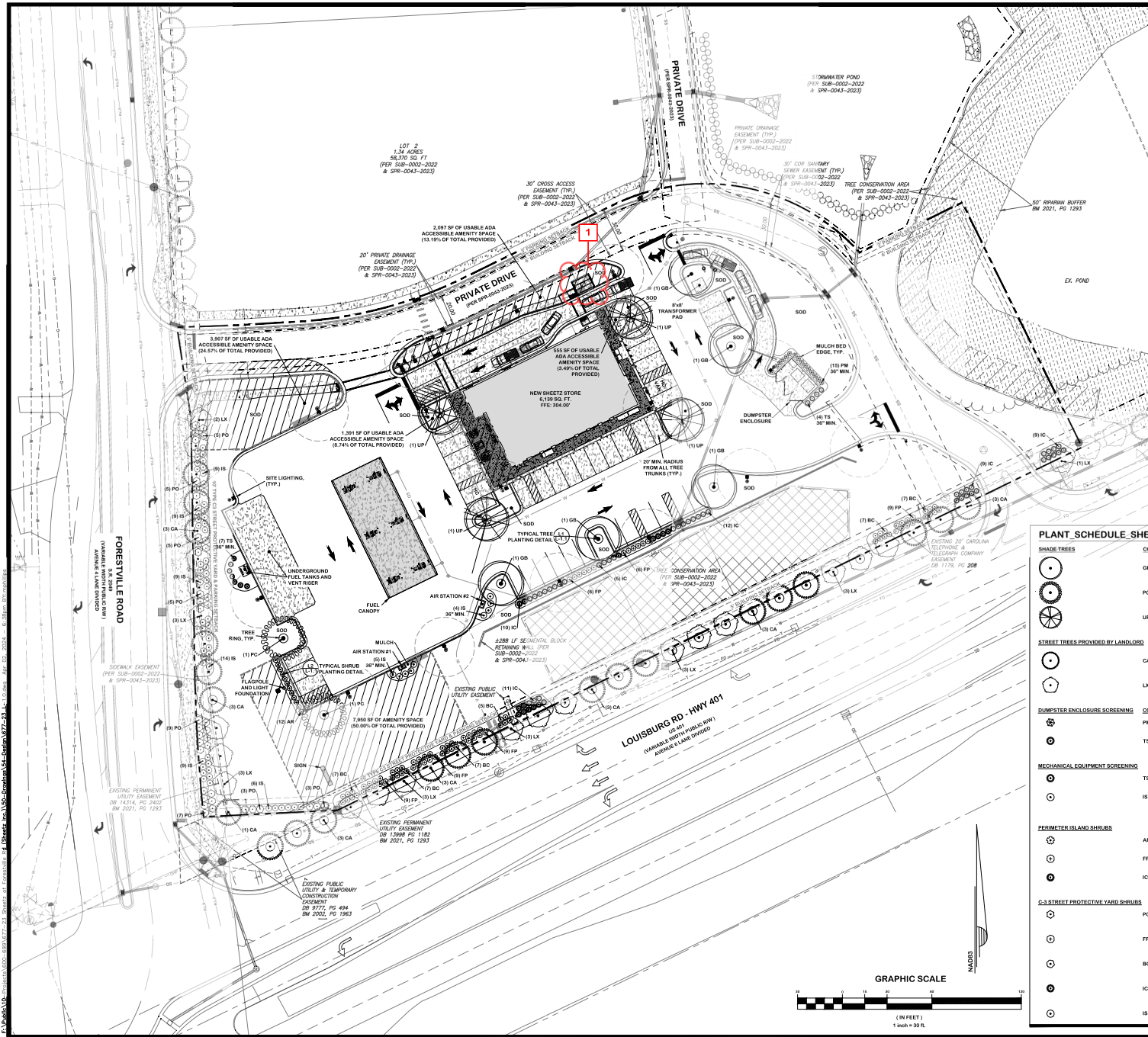
D5 STORM SNOUT



- NOTES:
1. ALL HOODS SHALL HAVE A 12\"/>
  - 2. ALL HOODS SHALL BE CONSTRUCTED OF A HEAVY REINFORCING STEEL, CONCRETE WITH NO EDGEOUT PROTRUSION FROM WITHIN A 6\"/>
  - 3. ALL HOODS SHALL BE EQUIPPED WITH A REMOVABLE ACCESS PORT AS SHOWN IN THIS DETAIL AND AN AIR SPHERE VENT PIPE AND AIRFLOW DEVICES. (SEE COMPLEMENTARY DETAILS)
  - 4. THE BOTTOM OF THE HOOD SHALL BE CONSTRUCTED OF A HEAVY REINFORCING STEEL OR CONCRETE WITH NO EDGEOUT PROTRUSION FROM WITHIN A 6\"/>
  - 5. THE AIRFLOW DEVICES SHALL BE INSTALLED AT THE BOTTOM OF THE HOOD AS SHOWN IN THIS DETAIL AND SHALL BE INSTALLED AT THE BOTTOM OF THE HOOD AS SHOWN IN THIS DETAIL AND SHALL BE INSTALLED AT THE BOTTOM OF THE HOOD AS SHOWN IN THIS DETAIL.
  - 6. ALL STRUCTURE JOINTS SHALL BE WELDED.
  - 7. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH A REMOVABLE FITTING. (SEE COMPLEMENTARY DETAILS)
  - 8. ALL HOODS SHALL BE INSTALLED AS SHOWN IN THIS DETAIL AND SHALL BE INSTALLED AS SHOWN IN THIS DETAIL.

D5 STORM SNOUT

NO.	REVISION	DATE



**LANDSCAPE CALCULATIONS:**

**TREE COVERAGE (UDO 7.1.7.F.2.)**  
 REQUIRED: 1 TREE PER EVERY 2,000 SF OF PARKING AREA  
 REQUIRED: 6,287 / 2,000 = 3.14 = 3 TREES  
 PROVIDED: 11

**PERIMETER ISLAND LF (UDO 7.1.7.C)**  
 REQUIRED: 30 SHRUBS PER 100 LF OF PERIMETER ISLAND THAT IS ALONG PRIMARY INTERNAL ACCESS DRIVES  
 REQUIRED: (170 LF / 100) x 30 = 51 SHRUBS  
 PROVIDED: 51 SHRUBS

**EACH INTERIOR ISLAND (AND TERMINAL INTERIOR ISLAND)**  
 MUST INCLUDE AT LEAST 1 SHADE TREE (UDO 7.1.7.F.1.)  
 REQUIRED: 11 SHADE TREES  
 PROVIDED: 11 SHADE TREES

**SCREENING (UDO 7.2.5.)**  
 DUMPSTER SCREENING REQUIRED: SCREENED FROM 3 SIDES BY A WALL AT LEAST 6' IN HEIGHT AND THE FOURTH SIDE BY A SOLID GATE AT LEAST 6' IN HEIGHT  
 PROVIDED: 3 WALLS GREATER THAN 6', 1 SOLID GATE GREATER THAN 6', AND 19 EVERGREEN SHRUBS AT 36" MIN. (CODE MET)

**MECHANICAL EQUIPMENT SCREENING REQUIRED: CONTINUOUS FOR GROUND MOUNTED EQUIPMENT. SCREENING SHOULD BE AS HIGH AS THE TALLEST POINT OF EQUIPMENT BEING SCREENED.**  
 PROVIDED: 16 EVERGREEN SHRUBS AT 36" MIN. (CODE MET)

**C3 STREET PROTECTIVE YARDS (UDO 7.2.4.D)**  
 REQUIRED: 30 SHRUBS PER 100 LF OF STREET FRONTAGE  
 LOUISBURG RD (HWY 401) - (388 LF / 100) x 30 = 116.4 = 117 SHRUBS  
 PROVIDED: 117 SHRUBS

**FORESTVILLE RD - (288 LF / 100) x 30 = 86.4 = 86 SHRUBS**  
 PROVIDED: 86 SHRUBS

**STREET TREES PROVIDED BY LANDLORD (UDO 8.5.6.B & C)**  
 REQUIRED: 1 TREE PER 40 LF (PER EXISTING OVERHEAD POWER TO REMAIN, 1 UNDERSTORY TREE PER 20 LF)  
 LOUISBURG RD (HWY 401) - 798 LF / 20 = 40 UNDERSTORY TREES  
 PROVIDED: 40 UNDERSTORY TREES

**FORESTVILLE RD - 756 LF / 20 = 38 UNDERSTORY TREES**  
 PROVIDED: 38 UNDERSTORY TREES PROVIDED BY OTHERS PER SPR-0043-2023

**FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION**

NOTES: ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.

**PLANT SCHEDULE SHEET L-1.0**

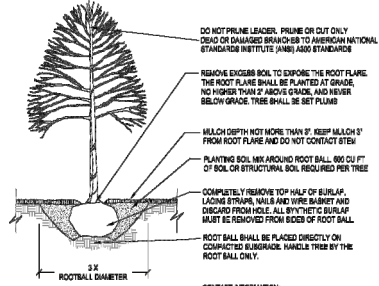
SHADE TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	CONTAINER
	GB	5	Ginkgo biloba 'Autumn Gold' Autumn Gold Madenhair Tree	3" MIN.	10' MIN.	BAB
	PC	2	Pistacia chinensis Chinese Pistache	3" MIN.	10' MIN.	BAB
	UP	4	Ulmus americana 'Princeton' Princeton American Elm	3" MIN.	10' MIN.	BAB
<b>STREET TREES PROVIDED BY LANDLORD</b>						
	CA	22	Cercis canadensis 'Alba' White Eastern Redbud	2" MIN.	8-10' MIN.	BAB
	LX	21	Lagerstromia x JMA TM Thunderstruck White Lightening Crepe Myrtle	2" MIN.	8-10' MIN.	BAB
<b>DUMPSTER ENCLOSURE SCREENING</b>						
CODE	QTY	BOTANICAL / COMMON NAME	INSTALL	MATURE HT.	MATURE WIDTH	
PM	19	Podocarpus macrophyllus 'Maui' Maui Shrubby Yew Podocarpus	36" MIN.	8-10'	3-4'	
TS	4	Thuja occidentalis 'Smaragd' Emerald Green Arborvitae	36" MIN.	10-12'	3-4'	
<b>MECHANICAL EQUIPMENT SCREENING</b>						
TS	7	Thuja occidentalis 'Smaragd' Emerald Green Arborvitae	36" MIN.	10-12'	3-4'	
IS	9	Hex glabra 'Shamrock' Shamrock Inkberry Holly	36" MIN.	4-5'	4-5'	
<b>PERIMETER ISLAND SHRUBS</b>						
AR	12	Abelia x 'Rosa Creek' Rosa Creek Abelia	18" MIN.	3-4'	3-4'	
FP	12	Gardenia jasminoides 'Frostproof' Frostproof Gardenia	18" MIN.	4-5'	4-5'	
IC	27	Hex vomitoria 'Condeux' Bordeaux Yewgen Holly	18" MIN.	3-4'	3-4'	
<b>C3 STREET PROTECTIVE YARD SHRUBS</b>						
PO	42	Prunus laurocerasus 'Otto Luyken' Otto Luyken English Laurel	18" MIN.	4-5'	6-6'	
FP	36	Gardenia jasminoides 'Frostproof' Frostproof Gardenia	18" MIN.	4-5'	3-4'	
BC	40	Drytilum 'Blue Cascade' Blue Cascade Drytilum	18" MIN.	2-3'	3-4'	
IC	29	Hex vomitoria 'Condeux' Bordeaux Yewgen Holly	18" MIN.	3-4'	3-4'	
IS	16	Hex glabra 'Shamrock' Shamrock Inkberry Holly	18" MIN.	4-5'	4-5'	

**PAST DESIGN GROUP, PA**  
 Engineering | Construction  
 507 Poplarwood Lane, Suite 100, Raleigh, NC 27603  
 Phone: 919.949.4499 | Fax: 919.949.4498 | Website: PastDesign.com

**SHEETZ AT FORESTVILLE RD - LOT 1**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
 TIER 3 ADMINISTRATIVE SITE REVIEW  
 LANDSCAPE PLAN

DATE: 10/15/2024  
 PROJECT NUMBER: 677-23  
 PROJECT OWNER: [REDACTED]  
 PROJECT MANAGER: [REDACTED]  
 PROJECT SURVEYOR: [REDACTED]

**DRAWING SHEET L-1.0**  
 PROJECT NUMBER 677-23



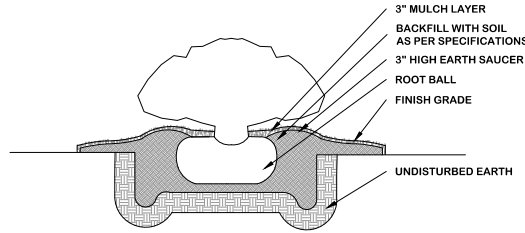
CONTACT INFORMATION:  
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL  
 RESOURCES DEPARTMENT | URBAN FORESTER:  
 TREES@RALEIGH.GOV  
 WWW.RALEIGH.GOV

- NOTES:**
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 3 OF THE CITY TREE MANUAL.
  2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. POSITIVE DRAINAGE AWAY FROM PIT.
  3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  4. A TREE IMPACT PERMIT IS REQUIRED.
  5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY
TREE PLANTING DETAIL		
<b>TPP-03</b>		

L1 TREE PLANTING DETAIL

**SHRUB PLANTING DETAIL**



**NOTES**

1. REMOVE THE BURLAP, BURLAP TIES AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS AND SYNTHETIC BURLAP - TYPE OF MATERIALS FROM THE ENTIRE ROOTBALL.
2. SCARIFY ROOTBALL AND BOTTOM/SIDES OF PLANT PIT.
3. EXCAVATE PLANTING PIT TWO TO THREE TIMES AS WIDE AS THE ROOTBALL. INSTALL ROOTBALL 1/4 TO 1/3 ABOVE EXISTING/PROPOSED GRADE. LOCATE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
4. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
5. THE SIZE OF THE ROOTBALL SHALL CONFORM TO THE AAN STANDARDS.
6. FERTILIZED ALL PLANTS WITH AGRIFORM FERTILIZER TABLETS OR EQUAL, TO BE APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATION.
7. ALL ROOTBALLS AFTER REMOVING FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANTING HOLE.
8. THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND AT LEAST ONCE A WEEK FOR THE FIRST TWO GROWING SEASONS.

L2 SHRUB PLANTING DETAIL

PREPARED FOR: RALEIGH-WAKE COUNTY, NORTH CAROLINA  
 SHEET NO.: L-1.1  
 DATE: 10/15/2023  
 PROJECT NUMBER: 677-23  
 DRAWN AND DESIGNED: PROJECT MANAGER: CHECKER:

NO.	REVISION	DATE

DRAWING SHEET

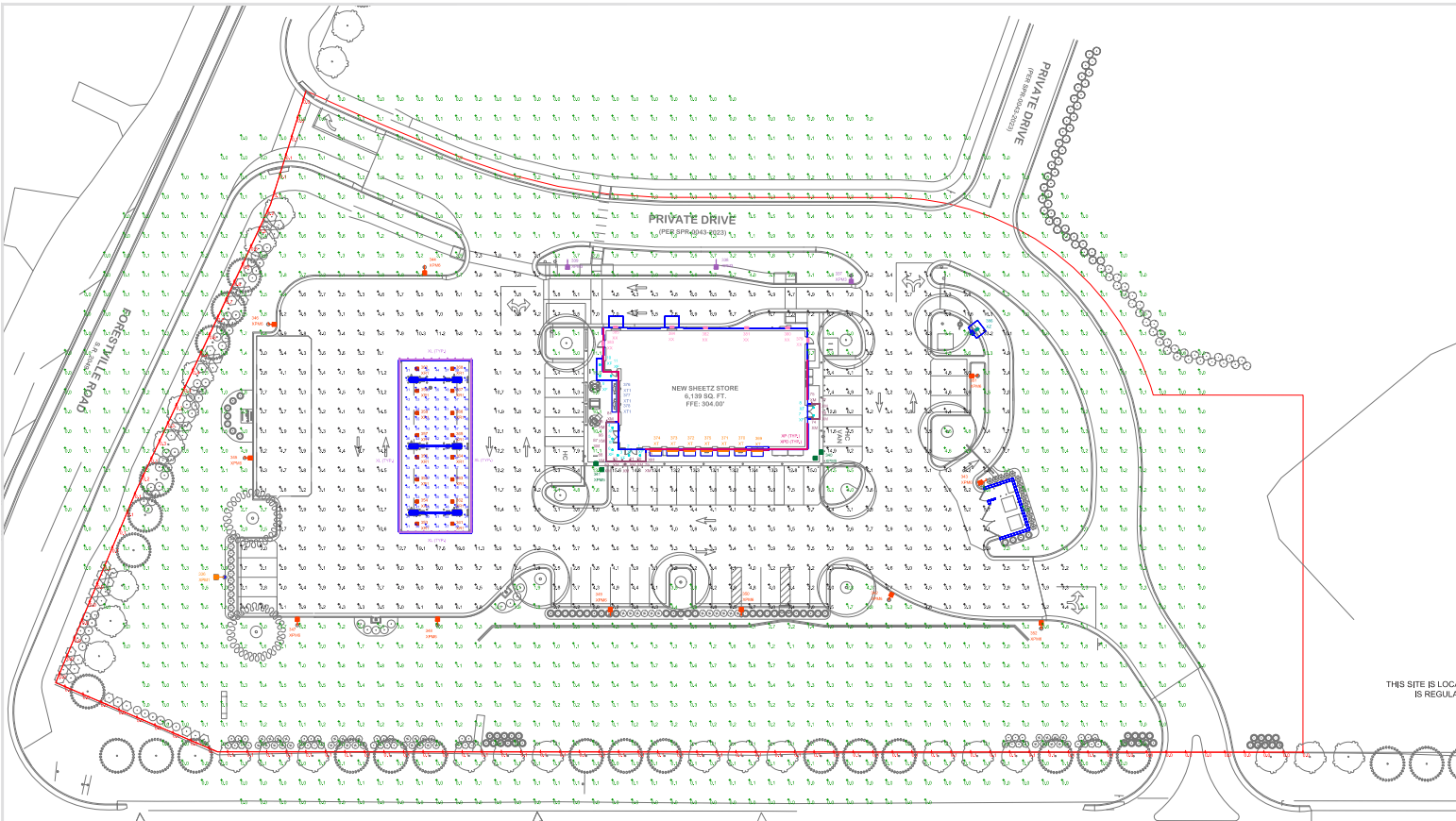
L-1.1

PROJECT NUMBER  
**677-23**

**FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION**



NOTE:  
- ALL AREA LIGHTS ON NEW 20 FT. POLE MOUNTED ON 3 FT. CONCRETE BASE



LUMINAIRE LOCATION SUMMARY				
LUM NO.	LABEL	MTG. HT.	TIB	
1-11	XF	11.33	0	
12	XL	18.062	5	
13	XL	18.415	5	
14	XL	18.77	5	
15	XL	18.123	5	
16	XL	19.476	5	
17	XL	19.83	5	
18	XL	20.183	5	
19	XL	20.537	5	
20	XL	20.89	5	
21	XL	18.062	5	
22	XL	18.415	5	
23	XL	18.77	5	
24	XL	19.123	5	
25	XL	19.476	5	
26	XL	19.83	5	
27	XL	20.183	5	
28	XL	20.537	5	
29	XL	20.89	5	
30-51	XL	21.079	0	
52-73	XL	17.887	0	
74-89	XM	12	0	
90-173	XP	18	0	
174-184	XP	19	0	
185-253	XP	18	0	
254-285	XPD	18	0	
286-288	XPD	19	0	
289-335	XPD	18	0	
336	XPM1	1	172.541	
337-339	XPM3	23	0	
340-341	XPM5	23	0	
342-352	XPM6	23	0	
353-389	XRT	18.04	0	
391-398	XRT1	17.48	0	
399-375	XT	13.5	0	
376-378	XT1	13.5	0	
379-382	XX	15.42	0	
383	XX	11.333	0	
384-385	XX	10	0	
386	XZ	11	0	

THIS SITE IS LOCATED IN A REGION WHERE LIGHTING IS REGULATED BY LOCAL ORDINANCES

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	5.16	33.2	1.4	3.69	23.71
PROPERTY LINE	0.13	0.8	0.0	N.A.	N.A.
UNDEFINED	0.82	28.4	0.0	N.A.	N.A.
UNDER CANOPY	48.42	64	24	2.02	2.67

LUMINAIRE SCHEDULE

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	11	XF	Single	1037	1.000	B1-U0-G0	13	143	LF Illumination LLC (Ledli)	LF MINI-5911-1AA-T-13C-9240-M-OMU-BLACK COLOR 90CRI
	62	XL	SINGLE	136	1,000	N.A.	4.12	255.44	Blair Companies	LINEAR STRIP LIGHT (BY OTHERS, SHOWN FOR CONTRIBUTION)
	16	XM	SINGLE	136	0,700	N.A.	4.12	65.92	Blair Companies	LB-110-00-XX-025-RD (JFR4-15)
	164	XP	Single	305	1,000	N.A.	3.66	600.24	P-LED	STREET WRAP FLEX BACK BEND 4000K
	82	XPD	Single	25	1,000	N.A.	0.305	25.01	P-LED	STREET WRAP FLEX BACK BEND 4000K
	1	XPM1	SINGLE	11000	1,010	B4-U0-G1	68	68	Cree Lighting	OSQ-M-L-C-AA-XX w/PGM-1 + OSQM-C-1L-40K7-33-UL-NM-XX
	3	XPM3	Single	15200	1,010	B3-U0-G3	97	291	Cree Lighting	OSQ-M-L-C-DA-XX + OSQM-C-1BL-40K7-3M-UL-NM-XX
	2	XPM5	2 @ 90 degrees	15200	1,010	B3-U0-G2	97	388	Cree Lighting	OSQ-M-L-C-DA-XX + OSQM-C-1BL-40K7-4M-UL-NM-XX
	11	XPM6	Single	15200	1,010	B3-U0-G2	97	1067	Cree Lighting	OSQ-M-L-C-DA-XX + OSQM-C-1BL-40K7-4M-UL-NM-XX
	16	XRT	Single	15700	1,010	B3-U3-G2	127	2032	Cree Lighting	CPS-20L-560K9-DF-UL-DM-XX-294H2
	7	XRT1	Single	1948	1,000	N.A.	20	140	SPI Lighting Inc.	SEM12146 [SFT-L-20W(NAN)] 120-277V/1 4000K/1 SMA (12W PROJECTION STEM, BLACK, 90CRI)
	3	XT1	Single	1472	1,000	N.A.	15	48	SPI Lighting Inc.	SEM12146 [SFT-L-16W(NAN)] 120-277V/1 4000K/1 SMA (12W PROJECTION STEM, BLACK, 90CRI)
	7	XX	Single	1921	1,000	B1-U0-G0	16	112	WILLIAMS OUTDOOR	WYMA-L17845-TL-08Z-COL-DIM-LUM (BRONZE COLOR 90CRI)
	1	XZ	SINGLE	13948	1,020	B3-U0-G1	132	132	GREE, INC.	BXCT9020L/CAN-228-RM-06-E-UL-XX-700 (BRIGHT RED FINISH, ORDERED SEPARATELY)

DISCLAIMER

ANY SITE PLANS, FLOOR PLANS, RENDERINGS, LIGHTING LAYOUTS AND PROMOTIVE PLANS ARE NOT LIMITED TO ANY PROJECTS CREATED OR PROVIDED BY RED LEONARD ASSOCIATES, INC. AND ARE INTENDED FOR ILLUSTRATION AND DESIGN PURPOSES ONLY. RED LEONARD ASSOCIATES HAS THE RIGHT TO USE THIRD PARTY LOGOS, SYMBOLS, AND CHARACTERS IF ACTUAL PROJECT CONDITIONS, ENGINEERING, AND ACCURACY OF MEASUREMENTS MAY DIFFER FROM THOSE ON ANY PARAMETERS. RED LEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR ANY PROJECTS NOT CREATED OR PROVIDED BY RED LEONARD ASSOCIATES, INC. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF, INSTALLATION AND/OR INTERFERENCE OF EXISTING INFRASTRUCTURE AND/OR PROJECTS AND/OR DESIGN PROBLEMS AND/OR RESULTS, BASED ON ELECTRICAL AND MECHANICAL AND/OR LANDSCAPING PLANS, LIGHTING PLANS, PAVING SELECTIONS AND/OR MATERIALS, COLOR AND/OR COORDINATE, TEXTURES, AND/OR ANYTHING ATTRIBUTED TO RED LEONARD ASSOCIATES, INC. NEITHER RED LEONARD ASSOCIATES, INC. NOR ANY OF ITS EMPLOYEES OR AGENTS WARRANTS OR REPRESENTS THAT THE INFORMATION PROVIDED IS ACCURATE, COMPLETE, OR UP-TO-DATE. RED LEONARD ASSOCIATES, INC. DOES NOT ASSUME LIABILITY FOR ANY INFORMATION OR DATA PROVIDED TO ANY CLIENT OR USER OF THIS DOCUMENT. RED LEONARD ASSOCIATES, INC. SHALL BE RESPONSIBLE FOR ANY OTHER PERSONS' VIEWING OF THIS PRODUCT IS RESPONSIBLE FOR OBTAINING CONSENT FROM ANY PARTY NOT LIMITED TO ALL LOCAL, FEDERAL, RESTRICTIONS, INSTRUCTIONS, PURCHASES AND INSTALLATIONS OF OBJECTS VIEWED WITHIN THE DOCUMENTS OF THIS PRODUCT. DIMENSIONS ARE NOT DRAWN TO SCALE. SEE ALL DIMENSIONS AND SPECIFICATIONS ON ALL DIMENSIONS AND SPECIFICATIONS. ACTUAL MEASUREMENTS MAY VARY. DIMENSIONS ARE NOT INTENDED FOR ENGINEERING OR CONSTRUCTION USE. THIS DOCUMENT, ANY RED LEONARD DRAWINGS, OR PRODUCTS IS NOT TO BE USED AND/OR REPRODUCED FOR ENGINEERING OR CONSTRUCTION PURPOSES, BUT FOR ILLUSTRATION PURPOSES ONLY. ANY COPIES OR REPRODUCTION OF THIS DOCUMENT OR PRODUCTS BY OTHERS, RED LEONARD ASSOCIATES IS NOT RESPONSIBLE FOR REPRODUCTION OF THIS DOCUMENT OR PRODUCTS. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY RED LEONARD WITHOUT WRITTEN AUTHORIZATION FROM JAMES J. RED LEONARD IS STRICTLY PROHIBITED.



REV.	BY	DATE	DESCRIPTION
R1	JAN	03/13/24	REVISED PER MARKUP
R2	JAN	03/14/24	RELOCATED AREA LIGHTS

1340 Kemper Meadow Dr. Forest Park, GA 30084  
513-674-6500 | redleonard.com

SCALE: 1" = 30'  
LAYOUT BY: JAK  
DATE: 03/11/24  
DWG NO: 0

PROJECT NAME:  
**SHEETZ**  
**WAKE FOREST, NC**  
DRAWN BY:  
**RL-9509-S1-R2**



QTY	LABEL	DESCRIPTION	REVISED BY	QTY	LABEL	DESCRIPTION
11	XF	BULLET MINI-S911-1AA-T-13C-8240-W-DMU-BLACK COLOR BOCR		164	XP	STREET WRAP FLEX BACK BEND 4000K
				82	XFD	STREET WRAP FLEX BACK BEND 4000K

**BULLET MINI**  
OUTDOOR RECESSED FIXED DOWNLIGHT

**LED**  
WET LOCATION - IP66

**INSTALLATION**

**ELECTRICAL**

**IMPORTANT WARRANTY INFO**

Shimstone Design Studio SHEET 2.0

**STREET WRAP™ FLEX BACK-BEND**

Shimstone Design Studio SHEET 2.0

**INSTALLATION**

**ELECTRICAL**

**IMPORTANT WARRANTY INFO**

Shimstone Design Studio SHEET 2.0

AREA	QTY	LABEL	DESCRIPTION
1	SPM1	OSQ-MAL-C-DA-XX + OSQ-M-C-TL-40K-33-UL-NM-XX	
3	SPM3	OSQ-MAL-C-DA-XX + OSQ-M-C-ML-40K-3M-UL-NM-XX	
2	SPM5	OSQ-MAL-C-DA-XX + OSQ-M-C-ML-40K-4M-UL-NM-XX	
11	SPM6	OSQ-MAL-C-DA-XX + OSQ-M-C-ML-40K-4M-UL-NM-XX	

**OSQ Series**  
OSQ™ LED Area Flood Luminaires featuring Patented NanoComb™ Technology - ViewCast

**CPY500™ Series**  
CPY500™ LED Convex Luminaires - ViewCast

**PERFORMANCE SUMMARY**

**ORDERING INFORMATION**

Shimstone Design Studio SHEET 2.0

**OSQ Series**  
OSQ™ LED Area Flood Luminaires featuring Patented NanoComb™ Technology - ViewCast

**CPY500™ Series**  
CPY500™ LED Convex Luminaires - ViewCast

**PERFORMANCE SUMMARY**

**ORDERING INFORMATION**

Shimstone Design Studio SHEET 2.0

QTY	LABEL	DESCRIPTION
19	X01	CPY-200-500W-DP-UL-DM-XX-Q9-HZ

**CPY500™ Series**  
CPY500™ LED Convex Luminaires - ViewCast

**PERFORMANCE SUMMARY**

**ORDERING INFORMATION**

Shimstone Design Studio SHEET 2.0

**CPY500™ Series**  
CPY500™ LED Convex Luminaires - ViewCast

**PERFORMANCE SUMMARY**

**ORDERING INFORMATION**

Shimstone Design Studio SHEET 2.0

QTY	LABEL	DESCRIPTION
7	X1T	SEW2146 1-SFT-L20W(FAN)H120-27V1-4000K 1 SMA (2IN PROJECTION STEM, BLACK, BOCR)
3	X1T1	SEW2146 1-SFT-L18W(FAN)H120-27V1-4000K 1 SMA (2IN PROJECTION STEM, BLACK, BOCR)

**Styk Exterior Wall - Stem**  
SEW2146 1 in

**DESCRIPTION**

**FEATURES & BENEFITS**

**SPECIFICATIONS**

Shimstone Design Studio SHEET 2.0

**Styk Exterior Wall - Stem**  
SEW2146 1 in

**DESCRIPTION**

**FEATURES & BENEFITS**

**SPECIFICATIONS**

Shimstone Design Studio SHEET 2.0



1340 Kemper Meadow Dr. Forest Park, OH 45424  
513-574-8900 redleonard.com

ANY SITE PLANS, FLOOR PLANS, REFLECTINGS, LIGHTING LAYOUTS AND PHOTOMETRIC DATA INCLUDING BUT NOT LIMITED TO ANY PROJECTS CREATED/PRODUCED BY RED LEONARD ASSOCIATES INC. ARE ONLY INTENDED FOR ILLUSTRATION AND QUANTIFICATION PURPOSES ONLY. RED LEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR WHAT IS CREATED/PRODUCED IN THESE REFLECTINGS. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF REGULATION OF AND/OR INTERFERENCE OF EXISTING INFRASTRUCTURE, LIGHTING, SOUNDING, AREA OR PRODUCTS SUCH AS EXISTING SIGNALS, INDICATORS AND SIGNALS STRUCTURES, LANDSCAPING, PANELS, LIGHTING FIXTURES, FUTURE SELECTIONS AND PLACEMENT, MATERIALS, COLORS, ACCENTS, TEXTURES, AND ANYTHING ATTRIBUTED TO PHOTO REGULATION THAT IS CREATED. FURTHERMORE, RED LEONARD ASSOCIATES INC. DOES NOT ASSUME LIABILITY FOR ANY PRODUCTS OR PROJECTS THAT ARE CREATED/PRODUCED AT THE CONCLUSION OF THE PROJECTS OR THE CUSTOMER'S FINAL APPROVALS, AS WELL AS ANY OTHER PROJECTS IN VIEW OF THIS PROJECT IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY NOT LIMITED TO ALL LOCAL, STATE, FEDERAL, RESTRICTIONS, REGULATIONS, PERMITS, AND INSTALLATIONS OF OBJECTS VIEWED ON THESE DOCUMENTS OR PROJECTS. SYMBOLS ARE NOT DRAWING TO SCALE. SIZE AND QUANTITY OF PRODUCTS, SIZE AND DIMENSIONS ARE APPROXIMATE. ACTUAL MEASUREMENTS MAY VARY. DRAWINGS ARE NOT INTENDED FOR ENGINEERING OR CONSTRUCTION USE. THIS DOCUMENT, ANY RED LEONARD DRAWINGS, OR PROJECTS NOT TO BE USED AND/OR INTERFERED WITH FOR CONSTRUCTION OR CONSTRUCTION PURPOSES, BUT FOR ILLUSTRATION PURPOSES ONLY. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY RED LEONARD WITHOUT WRITTEN AUTHORIZATION FROM JAMES V. SHEETZ IS STRICTLY PROHIBITED.

PROJECT NAME:  
**SHEETZ**  
**WAKE FOREST, NC**  
DRAWING NUMBER:  
**RL-950W-S1-R2**



QTY	LABEL	DESCRIPTION
7	XX	WWM-H4-170-40-FL-DBZ-CBL-DM-JRWV (BRONZE COLOR BOCRE)



Shimestone Design Studio  
SHEET 2.0

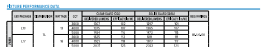
### VVM™ VARIABLE VOLTAGE DIMMING



USE PRODUCT # 3062 MODEL # 51554 TO CONTROL OTHER DIMMING PRODUCTS. ORDER DIMMING PRODUCTS SEPARATELY.

Shimestone Design Studio  
SHEET 2.0

### VVM™ VARIABLE VOLTAGE DIMMING



USE PRODUCT # 3062 MODEL # 51554 TO CONTROL OTHER DIMMING PRODUCTS. ORDER DIMMING PRODUCTS SEPARATELY.

QTY	LABEL	DESCRIPTION
1	XZ	BXC1900A/CAN-226-16-DM-06-CL-(L)-XX-T00 (DIFFUSE RED FINISH, ORDERED SEPARATELY)



### ADDITIONAL FIXTURE INFO

228 Series™  
LED Recessed Canopy Luminaire

**Product Description:**  
This, our ultra-low mounting luminaire, offers the best of all worlds with our rugged cast aluminum and polycarbonate construction. Available in three sizes, it's perfect for use in a variety of applications, including commercial, residential, and industrial. The luminaire's compact design allows it to be installed in a variety of locations, from high ceilings to low ceilings. The luminaire's low profile makes it a great choice for use in areas where aesthetics are a concern. The luminaire's low profile also makes it a great choice for use in areas where clearance is a concern. The luminaire's low profile also makes it a great choice for use in areas where clearance is a concern.

**Performance Summary**

**Accommodates:**

Option	Power Rating	Beam Spread	Color Temperature
Standard	100W	30°	3000K
Standard	150W	30°	4000K
Standard	200W	30°	5000K

**Ordering Information**

Product	Beam Spread	Power Rating	Color Temperature	Options
Standard	30°	100W	3000K	
Standard	30°	150W	3000K	
Standard	30°	200W	3000K	

USE PRODUCT # 3062 MODEL # 51554 TO CONTROL OTHER DIMMING PRODUCTS. ORDER DIMMING PRODUCTS SEPARATELY.

228 Series™ LED Recessed Canopy Luminaire

**Product Specifications**

**Dimensions & Materials:**

Model	Beam Spread	Power Rating	Color Temperature
228-100	30°	100W	3000K
228-150	30°	150W	3000K
228-200	30°	200W	3000K

**Notes:**

1. Please refer to the luminaire data sheet for detailed specifications.
2. The luminaire is designed for use in a variety of applications.
3. The luminaire is available in three sizes.
4. The luminaire is available in three color temperatures.
5. The luminaire is available in three beam spreads.
6. The luminaire is available in three power ratings.
7. The luminaire is available in three finishes.
8. The luminaire is available in three materials.
9. The luminaire is available in three colors.
10. The luminaire is available in three shapes.
11. The luminaire is available in three sizes.
12. The luminaire is available in three colors.
13. The luminaire is available in three shapes.
14. The luminaire is available in three sizes.
15. The luminaire is available in three colors.

USE PRODUCT # 3062 MODEL # 51554 TO CONTROL OTHER DIMMING PRODUCTS. ORDER DIMMING PRODUCTS SEPARATELY.



ANY SITE PLAN, FLOOR PLAN, REVISION, LIGHTING LAYOUT AND PHOTOMETRIC PLANS INCLUDING BUT NOT LIMITED TO ANY PROJECTS CREATED OR PROVIDED BY RED LEONARD ASSOCIATES INC. ARE ONLY INTENDED FOR ILLUSTRATION AND DESIGN PURPOSES ONLY. RED LEONARD ASSOCIATES HAS THE RIGHT TO USE THESE ARCHITECTURAL, SCENERY, AND LANDSCAPE ACTUAL, PROJECT CONCEPTS, DRAWINGS, AND ACCURACY OF MEASUREMENTS MAY DIFFER FROM THOSE OF ANY CONTRACTOR. RED LEONARD ASSOCIATES INC. ASSUMES NO LIABILITY FOR WHAT IS CREATED/PRODUCED IN THESE DRAWINGS. THIS INCLUDES BUT IS NOT LIMITED TO THE USE OF MEASUREMENTS OF ANY KIND (INTERIOR OR EXTERIOR), DIMENSIONS, AREA, VOLUME, WEIGHT, COLOR, FINISH, AND ANYTHING ATTRIBUTED TO PHOTOGRAPHY THAT IS CREATED, FURTHERMORE, RED LEONARD ASSOCIATES INC. DOES NOT ASSUME LIABILITY FOR ANY PROJECTS NOT COMPLETED BY RED LEONARD ASSOCIATES INC. OR AT THE CONCLUSION OF THE PROJECT, THE CUSTOMER OR ITS AFFILIATES, AS WELL AS ANY OTHER PERSONS REVIEWING THIS DOCUMENT, IS RESPONSIBLE FOR VERIFYING COMPLIANCE WITH ANY CITY, STATE, COUNTY, FEDERAL, AND LOCAL REGULATIONS AND ORDINANCES OF JURISDICTIONS WHERE THE PROJECT IS LOCATED. THIS DOCUMENT IS THE PROPERTY OF RED LEONARD ASSOCIATES INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF RED LEONARD ASSOCIATES INC. THIS DOCUMENT IS NOT TO BE USED AND/OR INTENDED FOR ANY CONSTRUCTION PURPOSES NOR FOR ILLUSTRATION PURPOSES ONLY. ANY USE OF THIS DOCUMENTATION AND/OR OTHER ARTICLES PRODUCED BY RED LEONARD ASSOCIATES INC. WITHOUT THE WRITTEN PERMISSION OF RED LEONARD ASSOCIATES INC. IS STRICTLY PROHIBITED.

PROJECT NAME:  
**NEW SHEETZ STORE**

**RALEIGH**

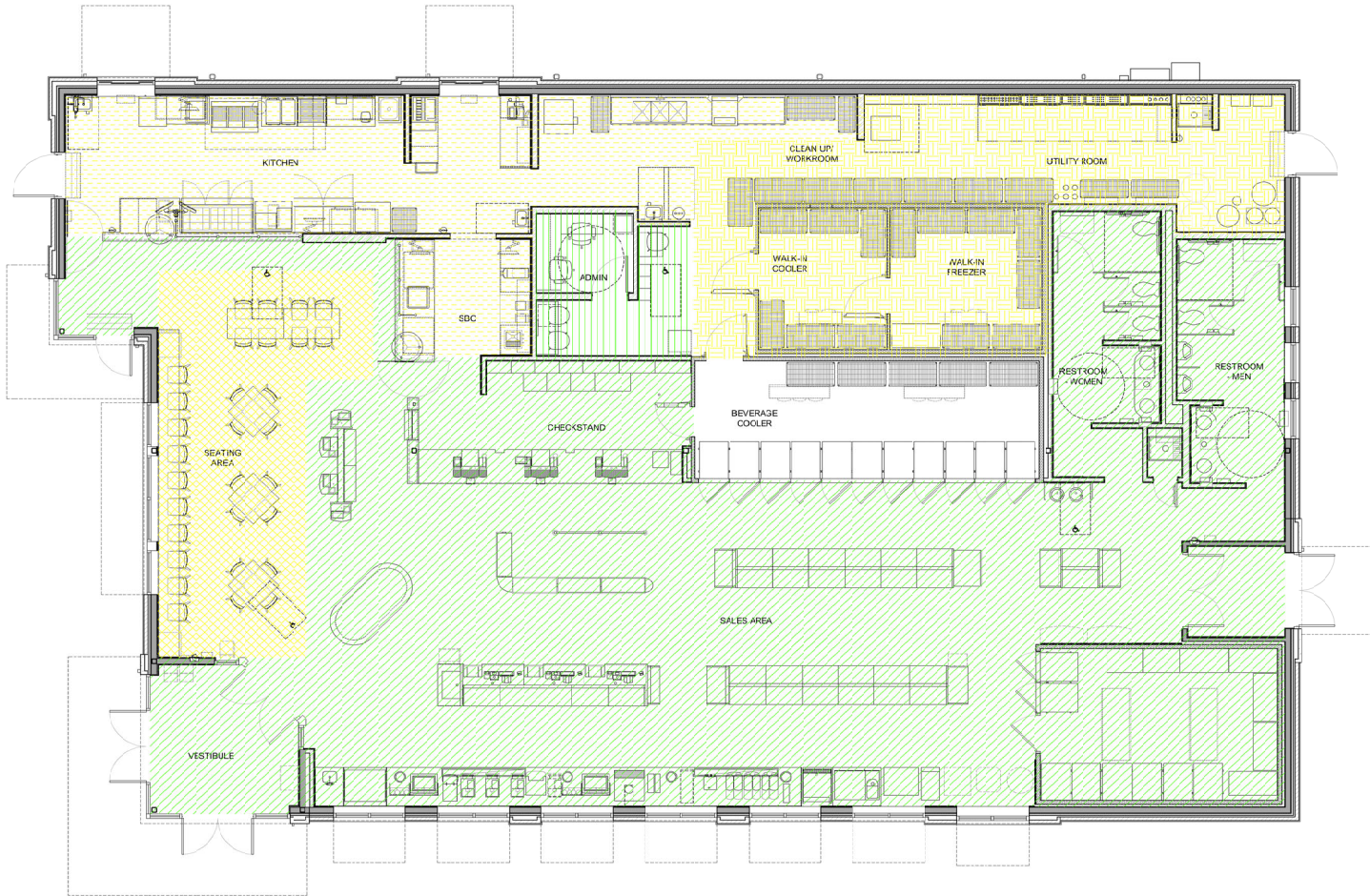
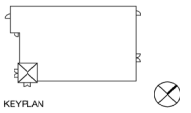
Int. of Forastville Road  
and Louisburg Road  
Raleigh  
North Carolina

OWNER:  
SHEETZ, INC.

570C SIXTH AVE  
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL



**FLOOR PLAN**  
1/4" = 1'-0"

MEANS OF EGRESS (Table 1004.5) Function of Space		Occupant Load Factor	Area / Factor	Load
[Green Hatched]	Mercantile	60 SF / Occupant	3,264 / 60	= 55
[Yellow Hatched]	Assembly without Fixed Seats, Unconcentrated	15 SF / Occupant	450 / 15	= 30
[Light Green Hatched]	Kitchens	200 SF / Occupant	799 / 200	= 4
[Light Yellow Hatched]	Business:	150 SF / Occupant	159 / 150	= 2
[Light Blue Hatched]	Accessory Storage Areas, Mechanical Equipment Room	300 SF / Occupant	799 / 300	= 3
[Light Purple Hatched]	Accessory Storage Areas, Refrigerated Storage	300 SF / Occupant	313 / 300	= 1
		Total Occupants =		36

[Yellow Box]	RESTAURANT
[Green Box]	RETAIL

**PARKING**

RESTAURANT: 1 SPACE PER 100 OF GFA  
2,008 SF RESTAURANT/ 100 SF = 20 SPACES

RETAIL: 1 SPACE PER 200 OF GFA PLUS 1.5 SPACES FOR EVERY 600  
SF OF OUTDOOR DISPLAY AREA  
3,733 SF RETAIL/ 200 SF = 19 SPACES  
70 SF OUTDOOR DISP. AREA/ 400 SF = 0 SPACES

MAX. ALLOWABLE 33 SPACES  
TOTAL PROVIDED: 35 SPACES (INCLUDING 2 ADA (1 VAN))

ISSUE:	01.22.2024
DATE:	214537
AUTHOR BY:	JNW
REVIEW BY:	RJH
VERSION:	6119 v1.5

EQUIPMENT PLAN

**A140**

PRELIMINARY ELEVATIONS

PROJECT NAME:  
NEW SHEETZ STORE

# RALEIGH

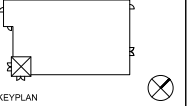
Int. of Forestville Road  
and Lousburg Road  
Raleigh  
North Carolina

OWNER:  
SHEETZ, INC.

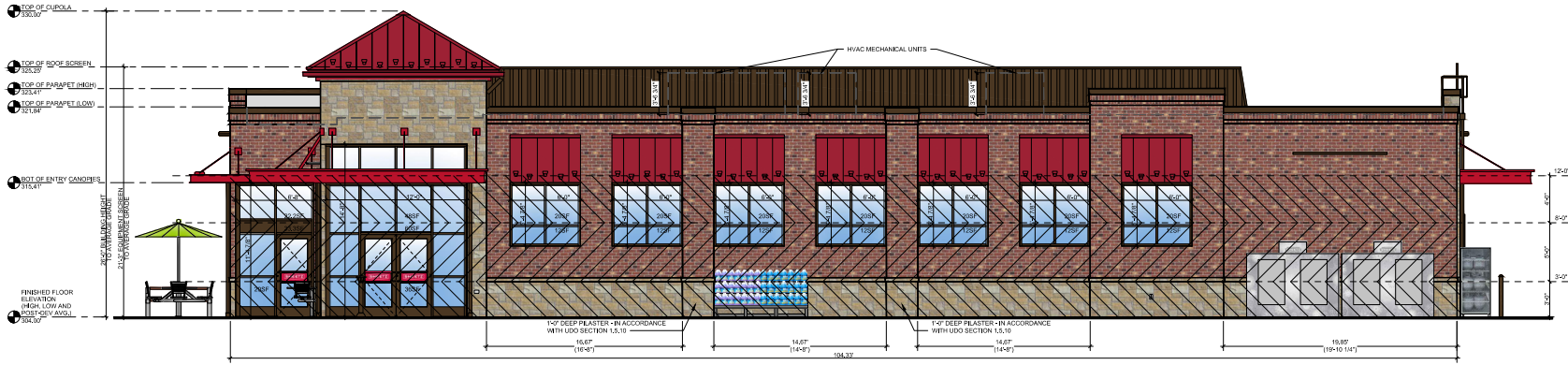
5700 56TH AVE.  
ALTOONA, PA 16602

CONSULTANT

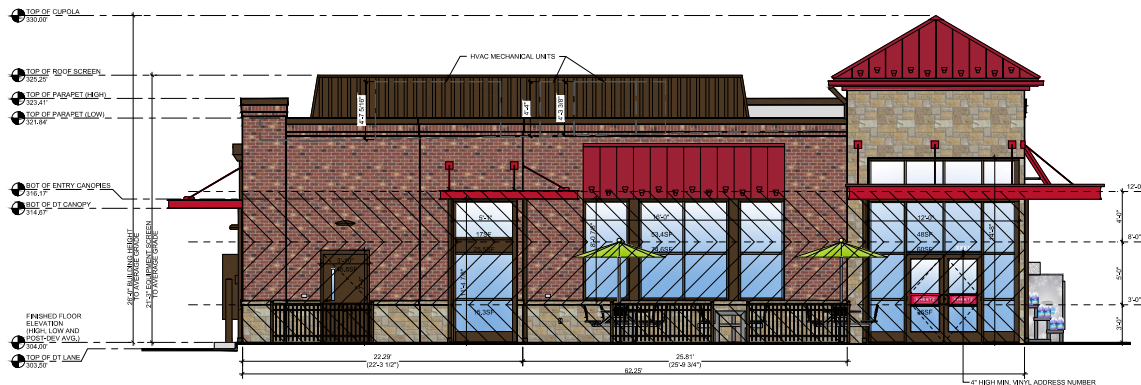
PROFESSIONAL



KEYPLAN



1 FRONT ELEVATION (SOUTH - LOUISBURG RD - HWY 401)  
1/8" = 1'-0"



2 LEFT ELEVATION (WEST - FORESTVILLE RD)  
1/8" = 1'-0"

SOUTH ELEVATION (FRONT) TRANSPARENCY CALCULATIONS PER UDO SEC. 3.2.5.F & 1.5.9.B.1			
	PER UDO	PROPOSED VALUES	DESIGN ADJUSTMENT REQUESTED VALUES
FRONTAGE (FT)	N/A	104.33 FT	N/A
MAX HEIGHT (FT)	12.00 FT	12.00 FT	N/A
OVERALL AREA (SF)	N/A	1252.00 SF	N/A
0'-12' REQUIRED TRANSPARENCY AREA (SF) SEC. 3.2.5.F	1,252.00 SF X 33% =	413.16 SF	N/A
0'-12' PROVIDED TRANSPARENCY AREA (SF)	N/A	443.50 SF	N/A
0'-12' PERCENTAGE OF TRANSPARENCY	443.50 SF / 1,252.00 SF =	33% MIN.	35.42%
3'-8' REQUIRED TRANSPARENCY AREA (SF) SEC. 1.5.9.B.1	413.16 SF X 50% =	206.58 SF	N/A
3'-8' PROVIDED TRANSPARENCY AREA (SF)	N/A	177.30 SF	29.28 SF REDUCTION
3'-8' PERCENTAGE OF REQUIRED TRANSPARENCY	177.30 SF / 413.16 SF =	50% MIN.	42.91%

WEST ELEVATION (LEFT) TRANSPARENCY CALCULATIONS PER UDO SEC. 3.2.5.F & 1.5.9.B.1			
	PER UDO	PROPOSED VALUES	DESIGN ADJUSTMENT REQUESTED VALUES
FRONTAGE (FT)	N/A	62.25 FT	N/A
MAX HEIGHT (FT)	12.00 FT	12.00 FT	N/A
OVERALL AREA (SF)	N/A	747.00 SF	N/A
0'-12' REQUIRED TRANSPARENCY AREA (SF) SEC. 3.2.5.F	747.00 SF X 33% =	246.51 SF	N/A
0'-12' PROVIDED TRANSPARENCY AREA (SF)	N/A	358.20 SF	N/A
0'-12' PERCENTAGE OF TRANSPARENCY	358.20 SF / 747.00 SF =	33% MIN.	47.95%
3'-8' REQUIRED TRANSPARENCY AREA (SF) SEC. 1.5.9.B.1	246.51 SF X 50% =	123.26 SF	N/A
3'-8' PROVIDED TRANSPARENCY AREA (SF)	N/A	176.90 SF	N/A
3'-8' PERCENTAGE OF REQUIRED TRANSPARENCY	176.90 SF / 246.51 SF =	50% MIN.	71.76%

ISSUE: 04.03.2024  
SITE ID NO.: 214537  
AUTHOR BY: JNW  
REVIEW BY: R.J.H.  
VERSION: 6139\_v1.5

EXTERIOR ELEVATIONS

A200

PRELIMINARY ELEVATIONS

Convenience Architecture  
and Design P.C.  
351 Sheetz Way, Claysburg, PA 16825  
phone (814) 238-0013  
email tcolumbu@sheetz.com  
web site www.sheetz.com

PROJECT NAME:  
NEW SHEETZ STORE

# RALEIGH

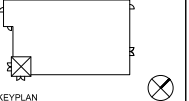
Int. of Forestville Road  
and Lousburg Road  
Raleigh  
North Carolina

OWNER:  
SHEETZ, INC.

5700 SIXTH AVE.  
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL



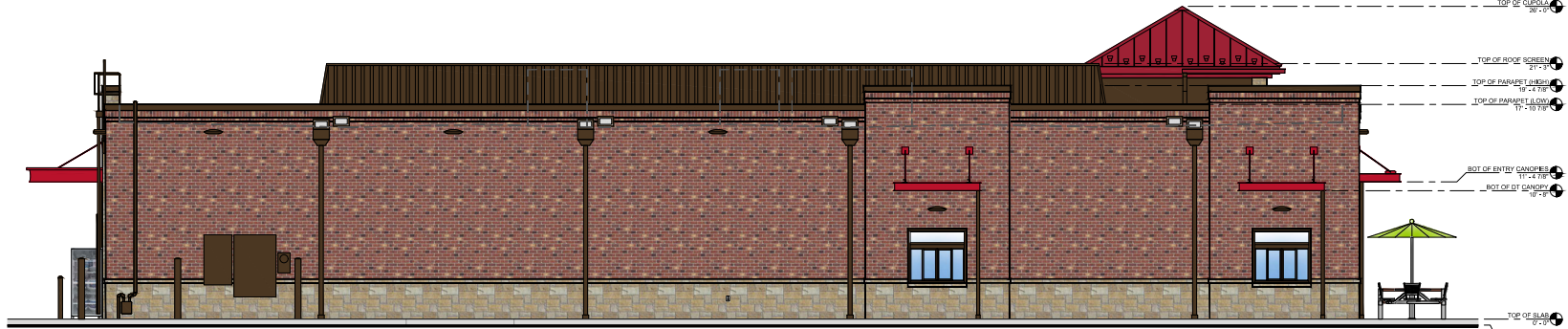
KEYPLAN

ISSUE:	04.03.2024
SITE ID NO.:	214537
AUTHOR BY:	JNW
REVIEW BY:	RJM
VERSION:	6139_v1.5

EXTERIOR  
ELEVATIONS

# A201

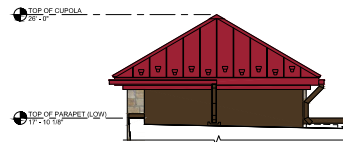
PRELIMINARY ELEVATIONS



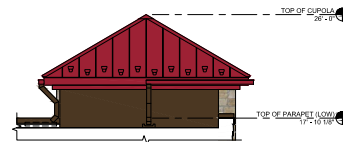
3 REAR ELEVATION (NORTH)  
1/4" = 1'-0"



4 RIGHT ELEVATION (EAST)  
1/4" = 1'-0"



5 CUPOLA ELEVATION FROM ROOF  
1/4" = 1'-0"



6 CUPOLA ELEVATION FROM ROOF  
1/4" = 1'-0"

PROJECT NAME:  
**SHEETZ STORE  
RALEIGH**

Int. of Forestville Road  
and Louisburg Road  
Raleigh  
North Carolina

OWNER:  
**SHEETZ, INC.**

5700 SIXTH AVE.  
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

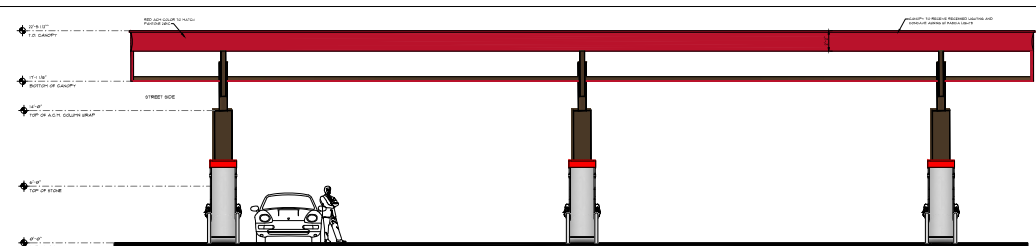
KEYPLAN

07/25/24 ALL SHEETZ CANOPY SIGNAGE REMOVED  
 08/01/24 ADDED UNDER CANOPY TRAZER  
 MARK DATE DESCRIPTION

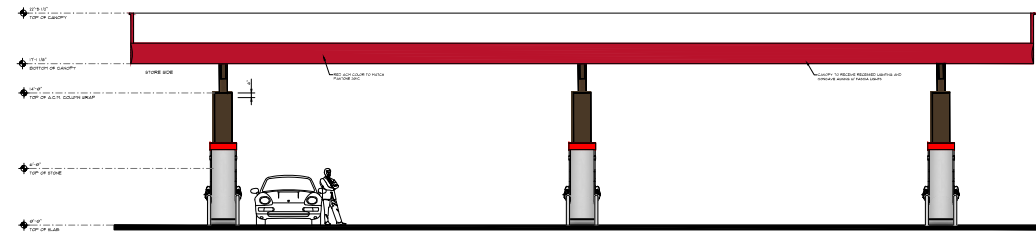
ISSUE: **11/21/2023**  
PROJECT NO:  
AUTHOR BY: DAH  
REVIEW BY:  
SHEET TITLE

GAS AWNING

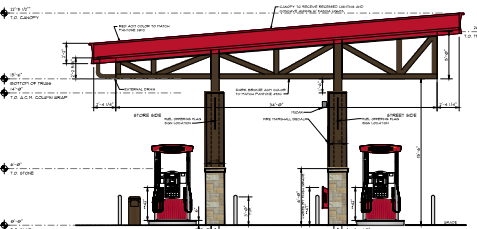
**AWNING**



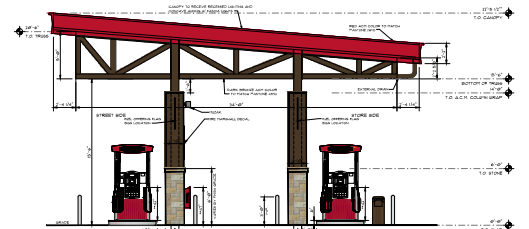
**SIDE 'B' ELEVATION**  
SCALE 3/16" = 1'-0"



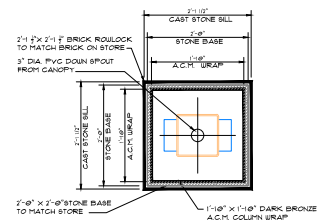
**SIDE 'D' ELEVATION**  
SCALE 3/16" = 1'-0"



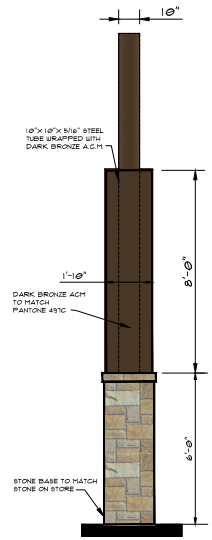
**SIDE 'A' LEFT SIDE ELEVATION**  
SCALE 3/16" = 1'-0"



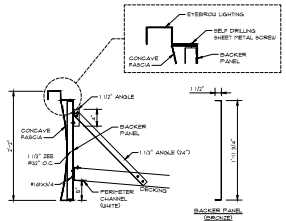
**SIDE 'C' RIGHT SIDE ELEVATION**  
SCALE 3/16" = 1'-0"



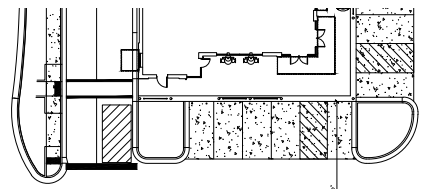
**STONE COLUMN BASE DETAIL**  
SCALE 1/4" = 1'-0"



**COLUMN ELEVATION**  
SCALE 1/2" = 1'-0"



**CONCAVE FASCIA MOUNTING DETAIL**  
SCALE 1/4" = 1'-0"



**PLAN VIEW FOR LOGO LOCATIONS**