Administrative Approval Action

Case File / Name: ASR-0013-2020
4000 Sumner Blvd

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 13.74 acre site is zoned CX-4-CU and is located at the southeast corner of the intersection of Sumner Blvd. and Triangle Town Blvd, at 4000 and 4060 Sumner Blvd. This is Lot 2 of recently recorded subdivision case SUB-0055-2019 recorded in BM 2021 page 0531 in the Wake County registry.

REQUEST: This is a 305 unit multi-family residential apartment complex consisting of three apartment buildings and four garages of approximately 371,740 square feet total.

One Variance has been granted by the Board of Adjustment for this project, noted below.

1. BOA-0053-2020, Complete relief from the ground floor elevation requirement (3.2.4 F 1).

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 24, 2021 by Capital Land Investment Co..**

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Transit Stop location - That the final transit stop location and infrastructure is approved by the Transit Planner prior to approval of the SPR.

Engineering

2. That the existing right-of-way at Sumner Boulevard and Triangle Town Boulevard is abandoned and a resolution number shown on all plats.

Public Utilities

3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

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4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

5. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).

6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☑ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the Cit

Engineering

2. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.

Stormwater

3. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

5. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

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6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☑ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

Engineering

2. A fee-in-lieu for Transit Stop and amenities shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

4. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 16 street trees along Sumner Boulevard and 6 street trees along Triangle Oaks Drive.

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

Stormwater

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1. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: July 21, 2024
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor Date: 03/24/2021
Development Services Dir/Designee
Staff Coordinator: Michael Walters

4000 SUMNER BOULEVARD

MIXED USE

ADMINISTRATIVE SITE REVIEW PLAN DRAWINGS FOR A MIXED USE AND APARTMENT COMMUNITY

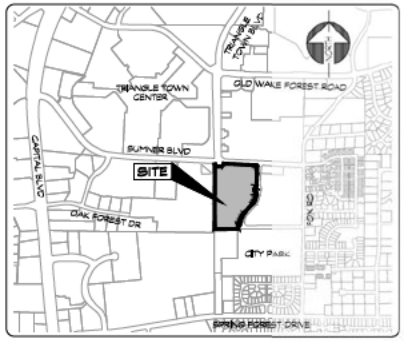
PLANS PREPARED BY:

PRIEST, CRAVEN & ASSOCIATES, INC.
PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3803 - B COMPUTER DRIVE, SUITE 104, RALEIGH, N.C. 27609
PHONE 919 / 781-0300 FAX 919 / 782-1288
EMAIL PCA@PRIESTCRAVEN.COM FIRM#: C-0488

RALEIGH, NC
ASR-0013-2020

OWNER/DEVELOPER:

HATHAWAY DEVELOPMENT
5901-C PEACHTREE DUNWOODY ROAD · SUITE 510
ATLANTA, GEORGIA 30328 · 770.448.7047



VICINITY MAP 1" = 1000'

SHEET LIST:

NO.	SHEET TITLE
C0.00	COVER SHEET
EX.00	EXISTING ZONING CONDITIONS Z-5-01
EX.01	EXISTING ZONING CONDITIONS Z-5-01
EX.02	EXISTING ZONING CONDITIONS Z-5-01 - SUMMARY
C0.01	GENERAL NOTES AND LEGEND
C1.00	EXISTING CONDITIONS PLAN
C2.00	PRELIMINARY SITE LAYOUT & TRANSPORTATION PLAN
C2.10	PRELIMINARY SUMNER BLVD. RESTRIPING PLAN
C3.00	PRELIMINARY SITE UTILITY PLAN
C3.10	PRELIMINARY FIRE ACCESS PLAN
C3.11	PRELIMINARY FIRE FLOW PLAN
C4.00	PRELIMINARY GRADING & DRAINAGE PLAN
C5.00	PRE-DEVELOPMENT STORMWATER MANAGEMENT PLAN
C5.01	POST-DEVELOPMENT STORMWATER MANAGEMENT PLAN
C5.02	STORMWATER MANAGEMENT PLAN WATERQ
C5.11	STORMWATER MANAGEMENT PLAN WATERQ
C9.00	CITY OF RALEIGH STANDARD DETAILS
C9.01	CITY OF RALEIGH STANDARD DETAILS
C9.02	CITY OF RALEIGH STANDARD DETAILS
C9.03	STANDARD DETAILS
C9.04	STANDARD DETAILS
LS1.00	PRELIMINARY CODE COMPLIANT LANDSCAPE PLAN
LS1.01	LANDSCAPE NOTES & DETAILS
TC1.00	TREE CONSERVATION PLAN
L1.00	DUKE ENERGY SITE LIGHTING PLAN
ASR-CD-01	BUILDING 1000 AVERAGE GRADE CALCULATIONS
ASR-CD-02	BUILDING 2000 AVERAGE GRADE CALCULATIONS
ASR-CD-03	BUILDING 3000 AVERAGE GRADE CALCULATIONS
ASR-CD-04	BUILDING 4000-4005 AVG GRADE CALCULATIONS
ASR-AA-01	BUILDING 1000 ELEVATIONS
ASR-AA-02	BUILDING 1000 ELEVATIONS
ASR-AA-03	BUILDING 1000 ELEVATIONS
ASR-AA-04	BUILDING 2000 ELEVATIONS
ASR-AA-05	BUILDING 2000 ELEVATIONS
ASR-AA-06	BUILDING 2000 ELEVATIONS
ASR-AA-07	BUILDING 3000 ELEVATIONS
ASR-AA-08	BUILDING 3000 ELEVATIONS
ASR-AB-01	TRASH ENCLOSURE
ASR-AB-02	GARAGE TYPE A & B - PLANS
ASR-AB-03	GARAGE TYPE A - ELEVATIONS
ASR-AB-04	GARAGE TYPE B - ELEVATIONS
R1.00	REFERENCE SHEETS
R1.01	REFERENCE SHEETS

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center | One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: _____ Planning Coordinator: _____

Building Type		Site Transaction History
☐ Detached	☐ General	Subdivision transaction #: SUB-0059-2019
☐ Attached	☐ Mixed use	Sketch transaction #: _____
☑ Apartment	☐ Open lot	Certificate of Appropriateness #: _____
☐ Townhouse	☐ Civic	Board of Adjustment #: _____
		Zoning Case #: Z-5-01
		Administrative Alternate #: _____

GENERAL INFORMATION

Development name: 4000 Sumner Blvd

Inside City limits? ☑ Yes ☐ No

Property address(es): 4000 and 4060 Sumner Blvd.

Site P.I.N.(s): 1726782806 and 1726798276

Please describe the scope of work. Include any additions, expansions, and change of use.

Construction of a new multi-family residential apartment complex, revisions to adjoining streets and supporting infrastructure. Construction of Shared Stormwater Device on Vacant (Future Retail) Lot.

Current Property Owner/Developer Contact Name:

NOTE: please attach purchase agreement when submitting this form.

Company: Fox Road, LLC | Title: Edythe Poyner, Manager

Address: 4412 Delta Lake Drive, Raleigh NC 27612

Phone #: 919-787-9165 | Email: edthe.poyner@gmail.com

Applicant Name: Nick Hathaway, Partner

Company: Hathaway Development | Address: 3300 Northeast Exp., Building G, Atlanta, GA 30341

Phone #: 770-448-7047 | Email: nhathaway@hathawaydevelopment.com

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DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-4-CU	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 0
Gross site acreage: 15.11	New gross floor area: 371,740
# of parking spaces required: 387	Total all gross (to remain and new): 371,740
# of parking spaces proposed: 496	Proposed # of buildings: 3 Apartment, 4 Garage
Overlay District (if applicable): N/A	Proposed # of stories for each: 4 story apartment, 1 story garage
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Multi-unit Living	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.06 Square Feet: 2,859	Proposed Impervious Surface: Acres: 6.13 Square Feet: 265,860

Is this a flood hazard area? ☐ Yes ☑ No

If yes, please provide:

Alluvial soils: _____

Flood site: _____

FEMA Map Panel #: _____

Neuse River Buffer: ☑ Yes ☐ No | Wetlands: ☑ Yes ☐ No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 305	Total # of hotel units: 0
# of bedroom units: 1br: 177 2br: 105 3br: 23 4br or more: 0	
# of lots: 2	Is your project a college court? ☐ Yes ☑ No

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and jointly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Hathaway Development and Priest Craven & Associates Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: Edythe Poyner Date: 12-13-19

Printed Name Edythe Poyner, Manager, Fox Road LLC

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GENERAL NOTES:

1. THIS MAP IS FOR PRELIMINARY PURPOSES AND IS NOT INTENDED AS A FINAL DESIGN.
2. BOUNDARY INFORMATION IS TAKEN FROM A BM2013 PG5500-503.
3. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A FIELD SURVEY BY TAYLOR LAND CONSULTANTS, PLLC.
4. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM FIELD SURVEYS BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
6. THERE ARE NO FEMA DESIGNATED FLOOD ZONES ON THIS PROPERTY.
7. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH.
8. DRAINAGE BASIN AND SUBSEQUENT NEUSE RIVER BUFFER LOCATIONS BASED ON A PREVIOUS STUDY BY OTHERS AND ON FILE WITH DWQ.
9. LOCATIONS AND SIZES SHOWN FOR STORM WATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
10. STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE LOCATION PURPOSES ONLY.
11. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
12. HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD 1-20.01 OR ANSI-A0N/1ŁŁ.
13. ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (BOC) UNLESS OTHERWISE NOTED.
14. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDENR.
15. PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN.
16. THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
17. ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (BOC) UNLESS OTHERWISE NOTED.

SOLID WASTE INSPECTION NOTE:

1. THE DEVELOPER ACKNOWLEDGES THE PLAN MUST BE IN COMPLIANCE WITH AND DESIGNED IN ACCORDANCE TO THE CITY OF RALEIGH'S SOLID WASTE DESIGN MANUAL.
2. THIS SITE WILL RECEIVE CENTRALLY LOCATED PRIVATE WASTE COLLECTION.

BOARD OF ADJUSTMENT VARIANCES:

1. BOA-0059-2020: PROPERTY OWNER REQUESTED A VARIANCE FOR COMPLETE RELIEF FROM THE 2' MINIMUM GROUND FLOOR ELEVATION REQUIREMENT SET FORTH IN SECTION 3.2.4.F.1 OF THE UDO TO CONSTRUCT THREE APARTMENT BUILDINGS AT OR BELOW AVERAGE CURB LEVEL. APPROVED ON 11/04/2020.

811 Know what's below. Call before you dig.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

VERTICAL DATUM - NAVD88
HORIZONTAL DATUM - NAD83

REVISIONS:	SUBMITTAL DATE: FEBRUARY 24, 2020	
10/7/20	1ST REVIEW COMMENTS	SHEET #
12/8/20	2ND REVIEW COMMENTS	
2/24/2021	3RD REVIEW COMMENTS	
		C0.00
RELEASED FOR CONSTRUCTION DATE:		

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOB SITE SAFETY, INCLUDING BUT NOT LIMITED TO TRENCH SAFETY, DURING ALL PHASES OF CONSTRUCTION.
2. THE LOCATION AND SIZE OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE, AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE NORTH CAROLINA ONE-CALL UTILITIES LOCATION SERVICE (ULOCO) AT 1-800-632-4949 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE SITE.
3. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION. ALL PROPOSED UTILITIES ON-SITE SHALL BE UNDERGROUND AND ALL EXISTING ON-SITE POWER LINES WILL BE PLACED UNDERGROUND.
4. TRAFFIC CONTROL ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THE TRAFFIC CONTROL PLAN, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," AND AS FURTHER DIRECTED BY LOCAL AND STATE INSPECTORS.
5. ALL MANUFACTURERS' PRODUCTS SPECIFIED IN THESE PLANS OR USED AS APPROVED ALTERNATES SHALL BE INSTALLED PER THE MANUFACTURERS' CURRENT SPECIFICATIONS.
6. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
7. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE THE MEETING WITH THE CITY OF RALEIGH, ENGINEER, AND OWNER.
8. CONTRACTOR IS RESPONSIBLE FOR VISIPINING OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION.
9. THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS, AND WIRE UTILITY STRUCTURES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES.
10. ROADWAYS MUST BE CAPABLE OF SUPPORTING FIRE APPARATUS DURING CONSTRUCTION.
11. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THE OVERALL DEVELOPMENT ARE TAKEN FROM WAKE COUNTY GIS INFORMATION.
12. NO TITLE SEARCH WAS PERFORMED BY THIS OFFICE FOR THIS PROPERTY. THIS PLAN MAY NOT SHOW ALL ENCUMBRANCES OR EASEMENTS THAT A TITLE SEARCH MAY DISCLOSE.
13. ALL PRIVATE STORM DRAINAGE EASEMENTS & STORMWATER MEASURES WILL BE MAINTAINED BY THE OWNERS ASSOCIATION.
14. ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (B-B), FACE OF CURB (F-F), OR EDGE OF PAVEMENT (EOP) ON NON-CURB AND GUTTER STREETS UNLESS OTHERWISE NOTED.
15. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.
16. ALL CONSTRUCTION AND MATERIALS TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF RALEIGH, DWQ, NCDENR, AND NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
17. HORIZONTAL RELATION OF WATER MAINS TO SEWERS: LATERAL SEPARATION OF SEWERS AND WATER MAINS. WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION - - IN WHICH CASE:

    THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN AND THERE IS A MINIMUM 3 FEET OF HORIZONTAL SEPARATION FROM THE CLOSEST EDGES OF THE PIPES.
18. VERTICAL RELATION OF WATER MAINS TO SEWERS CROSSING A WATER MAIN OVER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION – IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS.

    CROSSING A WATER MAIN UNDER A SEWER. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
19. VERTICAL RELATION OF SANITARY SEWER MAINS TO STORM SEWER WHEN A SANITARY SEWER IS CROSSING OVER OR UNDER A STORM SEWER, A VERTICAL SEPARATION OF 24 INCHES SHALL BE MAINTAINED UNLESS BOTH LINES ARE OF A FERROUS MATERIAL, ENCASED IN CONCRETE, OR VOID SPACE FILLED WITH CONCRETE. PER CITY OF RALEIGH STANDARDS.
20. GENERAL VERTICAL CLEARANCE WHEN OTHER UNDERGROUND UTILITIES ARE ENCOUNTERED, 18 INCHES OF SEPARATION SHALL BE MAINTAINED.
21. SEWER SERVICES

    TYPICAL SEWER SERVICE TO EACH LOT IS TO BE 4" PVC. BACKWATER VALVES TO BE INSTALLED AS REQUIRED. ALL SERVICES TO MEET THE APPLICABLE NC PLUMBING CODE.
22. WATER SERVICE TYPICAL WATER SERVICE TO EACH LOT TO BE AS SHOWN ON THE PLANS.
23. EXISTING UTILITIES EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ALL MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND GRADE OF ALL EXISTING UTILITIES AND COORDINATE ANY REQUIRED RELOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
24. ALL PRIVATE STORM SEWER LINES TO BE LOCATED WITHIN A PRIVATE DRAINAGE EASEMENT.
25. CURB, GUTTER, AND PAVEMENT TO BE FIELD ADJUSTED AS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AND TO PREVENT ANY PONDING OF WATER.
26. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH.
27. CONTRACTOR RESPONSIBLE FOR COORDINATING FRANCHISE UTILITIES AND OTHER SERVICES (I.E. GAS, ELECTRIC, CABLE, PHONE, MAIL, WASTE COLLECTION, ETC.).
28. CONTRACTOR RESPONSIBLE FOR COORDINATING LOCATION, SIZE, AND INSTALLATIONS OF SLEEVES REQUIRED FOR OTHER UTILITY INSTALLATION INCLUDING, BUT NOT LIMITED TO ELECTRIC, PHONE, CABLE, GAS, IRRIGATION, ETC
29. CURB RAMPS SHALL BE LOCATED AND INSTALLED PER THE CITY OF RALEIGH LATEST DETAILS. CONTRACTOR SHALL CONFIRM LOCATIONS, GRADE AND DETAILS WITH THE LOCAL INSPECTOR PRIOR TO PLACING CONCRETE.

RETAINING WALL AND HEADWALL NOTES:

1. ALL RETAINING WALLS WITHIN THE SITE ARE AN EXTENSION OF THE BUILDING AND WILL BE CAST IN PLACE, TO BE DESIGNED BY OTHERS (INCLUDING MATERIAL, HEIGHT, WIDTH, ALIGNMENT, ELEVATIONS, FOOTINGS, ETC.). SPOT ELEVATIONS SHOWN ARE APPROXIMATE AND FOR REFERENCE ONLY.
2. A HANDRAIL OR FENCE SHALL BE INSTALLED ALONG THE TOP OF ALL RETAINING WALLS, HEADWALLS, AND DOWN THE TOPS OF ALL WINGWALLS WHERE THE DROP FROM THE TOP OF THE RETAINING WALL OR HEADWALL TO THE BASE OF THE WALL OR INVERT OF THE PIPE IS GREATER THAN OR EQUAL TO 36". HAND RAILING SHALL INCLUDE NO MORE THAN TWO HORIZONTAL MEMBERS (E.G., ONE NEAR THE BOTTOM, AND ONE AT THE TOP) AND SHALL INCLUDE VERTICAL PICKETING SPACED AT 6 INCHES ON CENTER.

STORM DRAINAGE

1. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS AND GRATE INLETS AND ALL UTILITIES CROSSING THE STORM SEWER.
2. THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
3. THE INSPECTOR SHALL INSPECT ALL PUBLIC AND PRIVATE CONSTRUCTION. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES. THE TOWN OF WAKE FOREST IS RESPONSIBLE FOR INSPECTION OF PUBLIC DRAINAGE EASEMENTS.
4. ALL RCP SEWER MAINS AND LATERALS SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE OR PER TOWN STANDARDS AND SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. CLASS V/V RCP TO BE USED IF INDICATED.
5. WHERE PROPOSED STORM SEWER PIPING TIE TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL FIELD ADJUST PROPOSED STORM SEWERS AS REQUIRED TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES.
6. SEE CURRENT CITY OF RALEIGH UDO FOR ADDITIONAL NOTES AND DETAILS.

EXISTING UTILITIES NOTES:

1. CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

PROPOSED UTILITY NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS SET FORTH BY THE CITY OF RALEIGH.
2. IN THE EVENT THAT A UTILITY ITEM IS NOT COVERED BY THESE PLANS, THEN THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH COVERING SUCH ITEMS SHALL APPLY.
3. WATER MAINS SHALL HAVE A MINIMUM COVER OF 36" BELOW PROPOSED GRADE.
4. ALL UNDERGROUND UTILITIES AND FIRE HYDRANTS MUST BE FUNCTIONALLY APPROVED PRIOR TO STRUCTURAL CONSTRUCTION.
5. CLEAN OUT SYMBOLS SHOWN ON THESE PLANS REPRESENT LOCATION OF SURFACE ACCESS POINT, CONTRACTOR SHALL LOCATE WYE APPROPRIATELY BASED ON PIPE DEPTH.
6. ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS, MANHOLE DIAMETER SHALL VARY DEPENDING ON PIPE DIAMETER AND DEPTH. SEE PROFILES AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS FOR MANHOLE SIZES.
7. THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE UTILITIES, ALL PUBLIC PIPE, STRUCTURES, AND FITTINGS SHALL BE INSPECTED BY THE LOCAL INSPECTOR PRIOR TO BEING COVERED. THE INSPECTOR MUST ALSO BE PRESENT DURING TAPPING, DISINFECTION, AND PRESSURE TESTING OF ALL MAINS. THE CONTRACTOR'S BID PRICE SHALL INCLUDE ALL INSPECTION FEES.

GRADING:

1. REFER TO SITE CONSTRUCTION PLANS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION. PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO INSTALLATION OF MEASURES.
2. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN AND AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDED AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RESEEDED, AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF GRASS.
3. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. FIELD ADJUSTMENTS TO BE MADE BY CONTRACTOR AS REQUIRED TO MAINTAIN ADEQUATE POSITIVE DRAINAGE THROUGHOUT PROJECT. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL USE INTERIM SILT FENCES, DIVERSION DITCHES, BERMS, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS AND TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
4. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEERS SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
5. GRADING CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
6. ALL MATERIALS USED FOR ALL FILLING OPERATIONS SHALL BE PLACED AT THE DIRECTION OF THE GEOTECHNICAL ENGINEER.
7. TOP OF WALL ("TW") AND BOTTOM OF WALL ("BW") GRADES SHOWN ON THESE PLANS REPRESENT FINISHED GROUND ADJACENT TO WALL. THE RETAINING WALL DESIGNER/CONTRACTOR SHALL PROVIDE ADDITIONAL WALL HEIGHT AS NECESSARY FOR FOOTINGS AND CAP BLOCKS.
8. ALL DEMOLITION DEBRIS SHALL BE HAULED OFF-SITE AS DIRECTED BY THE OWNER AND PROPERLY DISPOSED OF.
9. NO TREE WITHIN THE TREE PROTECTION AREA SHALL BE REMOVED OR DAMAGED WITHOUT PRIOR AUTHORIZATION OF THE TOWN. MINIMUM DIMENSIONAL REQUIREMENTS: THE EXTENT OF THE CRITICAL ROOT ZONE (CRZ) OF THE TREE OR TREES AT THE OUTER EDGES OF THE TREE SAVE AREA SHALL CONSTITUTE THE LIMITS OF CONSTRUCTION FOR THE PURPOSES OF THIS SUB-SECTION. THE CRZ IS THE CIRCULAR AREA OF GROUND SURROUNDING A TREE EXTENDING FROM THE CENTER OF TREE TO THE GREATER OF:
    1. 1.5 FEET PER CALIPER INCH DBH OF THE TREE,
    2. THE DRIPLINE (FURTHEST EXTENT OF TREE CANOPY) OF THE TREE, OR
    3. 6 FEET.

    IF ANY TREE(S) USED FOR PRESERVATION CREDIT IS IMPROPERLY PROTECTED OR DETERMINED TO BE HAZARDOUS, THE ADMINISTRATOR MAY REQUIRE NEW TREES BE PLANTED EQUAL TO THE NUMBER OF CREDIT TREES.
10. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS COMPLETE.
11. BUILDING PAD AND PAVING SUB GRADE INFORMATION TO BE PER GEOTECHNICAL ENGINEERS RECOMMENDATION AND DIRECTION.
12. PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES ARE TO BE USED IN CASE OF DISCREPANCY.
13. WHERE FILL IS TO BE PLACED ON EXISTING SLOPES STEEPER THAN 4:1, CONTRACTOR SHALL EXCAVATE BENCHES WITH A MAXIMUM DEPTH OF 5'.
14. THE CONTRACTOR SHALL STABILIZE ALL SLOPES STEEPER THAN 3:1 WITH MEASURES INDICATED WITHIN THESE PLANS.
15. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLAST ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS.
16. THE CONTRACTOR SHALL NOTE THAT THE PLACEMENT OF ANY FILL MATERIAL MUST BE CONDUCTED UNDER THE OBSERVATION OF A QUALIFIED LICENSED GEOTECHNICAL ENGINEER. AFTER COMPLETION OF THE EARTHWORK ACTIVITIES IT IS REQUESTED THAT THE OWNER, BE PROVIDED A FINAL GRADING REPORT THAT INCLUDES THE CORRESPONDING COMPACTIONS TEST RESULTS AND CERTIFIES THE TYPE OF FILL MATERIAL AND IT'S PROPER PLACEMENT.

SOIL EROSION AND SEDIMENT CONTROL

1. THE CONTRACTOR SHALL NOTE THAT A SOIL EROSION CONTROL PERMIT IS REQUIRED.
2. SEE EROSION CONTROL SHEETS FOR ADDITIONAL NOTES AND DETAILS.

PAVING/CURBING

1. CONTRACTOR TO MAKE APPROPRIATE FIELD ADJUSTMENT TO PROVIDE A SMOOTH TRANSITION FROM EXISTING CURB AND GUTTER/PAVEMENT TO PROPOSED CURB & GUTTER/PAVEMENT.
2. ALL PAVEMENT SUB GRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM D-1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE INDICATED IN CITY OF RALEIGH STANDARDS OR OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER. FILL SHALL BE PLACED AND COMPACTED PER GEOTECHNICAL ENGINEER. IN AREAS WHERE ROCK IS ENCOUNTERED AT FINAL SUB GRADE ELEVATION, THE EXPOSED ROCK SHALL BE TOPPED WITH A LEVELING COURSE OF SANDY CLAY OR CLAYEY SAND (PLASTICITY BETWEEN 4 AND 15) AS NEEDED OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER TO PROVIDE A SMOOTH SURFACE FOR PAVING.
3. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEERS SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
4. ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5 FEET. ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.
5. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE CONTRACTOR. THE OWNER SHALL APPROVE THE LABORATORY NOMINATED TO DO THE TESTING OF MATERIALS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE JURISDICTIONAL SPECIFICATIONS.
6. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON PUBLIC STREETS SHALL CONFORM TO MUTCD, NCDOT, AND CITY OF RALEIGH STANDARDS.
7. ALL PAINT FOR PAVEMENT MARKINGS SHALL ADHERE TO CITY OF RALEIGH AND NCDOT STANDARDS.
8. CONTRACTOR TO INSTALL SILL GUTTER IN AREAS AS REQUIRED TO PREVENT ANY PONDING OF WATER IN THE GUTTER. CONTRACTOR TO SET CURB STRING LINE AND IDENTIFY SILL GUTTER AREAS PRIOR TO CONSTRUCTION OF CURB AND GUTTER. PARTICULAR ATTENTION SHOULD BE PLACED ON INTERSECTION RADII.
9. SEE CURRENT CITY OF RALEIGH UDO FOR ADDITIONAL NOTES AND DETAILS.

SANITARY SEWER COLLECTOR LINES & SERV. NOTES:

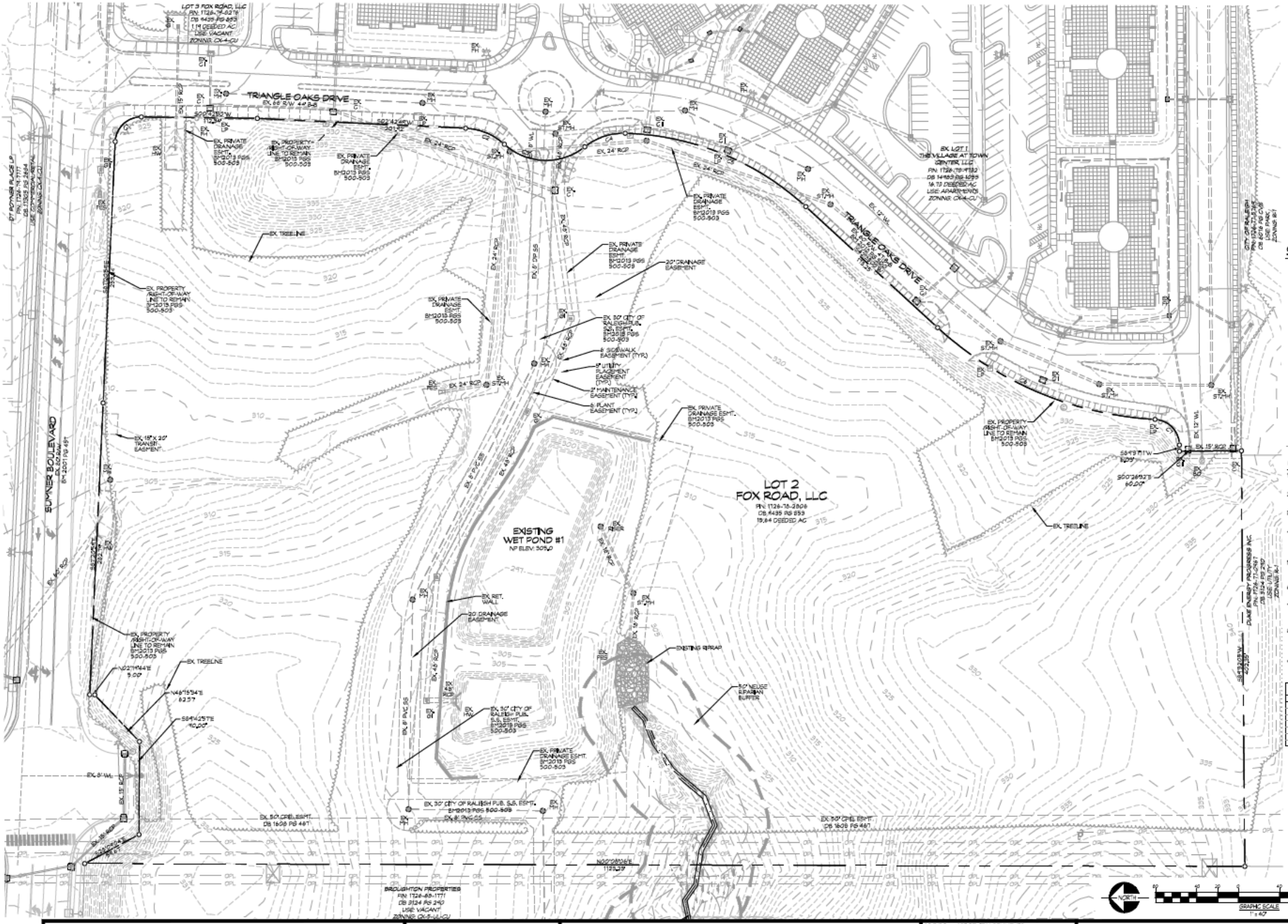
1. ALL SANITARY SEWER MAINS, LATERALS, AND SERVICES ARE TO BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR MUST BE CONSTRUCTED IN ACCORDANCE WITH ALL APPLICABLE NCDENR AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. THE MINIMUM SLOPE ON 4" SANITARY SERVICE AND COLLECTOR LINES IS 1.0%
3. ALL SANITARY SEWER COLLECTOR LINES SHALL HAVE A MINIMUM COVER OF 5 FEET (MEASURED FROM THE TOP OF FINISHED GRADE) IN TRAFFIC AREAS TO PIPE CROWN UNLESS D.I.P. IS PROVIDED IN CLASS 1 BEDDING WHERE MINIMUM COVER SHALL BE 3 FEET. MAINS AND SERVICES IN NON-TRAFFIC AREAS SHALL HAVE A MINIMUM COVER OF 3 FEET (MEASURED FROM TOP OF FINISHED GRADE) TO THE PIPE CROWN. ANY SANITARY SEWER MAINS OR SERVICES WITH A DEPTH GREATER THAN 12.0 FEET ARE TO BE D.I.P.
4. CLEANOUTS ARE TO BE INSTALLED ON ALL 4" SANITARY SERVICE LINES IN ACCORDANCE WITH NORTH CAROLINA PLUMBING CODE.
5. CONTRACTOR TO VERIFY INVERTS AND ELEVATIONS OF ALL UTILITIES WHERE 4" SANITARY SEWER SERVICE COLLECTOR LINES MUST CROSS STORM SEWER LINES, WATER MAINS, AND OR OTHER UNDERGROUND UTILITIES. CONTRACTOR TO LAY SEWER LINES/SERVICES IN THESE LOCATIONS AT A MAXIMUM / MINIMUM DEPTH AND MAXIMUM / MINIMUM SLOPE (PER CODE) TO MAINTAIN A MINIMUM CLEARANCE OF 18" (24" FOR STORM SEWER) BETWEEN UTILITIES (FROM TOP / BOTTOM OF 1ST PIPE TO TOP / BOTTOM OF 2ND PIPE). IF 18" (24" FOR STORM SEWER) OF SEPARATION BETWEEN SANITARY SEWER SERVICES AND OTHER UTILITIES CANNOT BE MAINTAINED, SEWER SERVICE LINES MAY NEED TO BE DUCTILE IRON PIPE AND/OR ENCASED IN CONCRETE AT THE CROSSINGS. CONTRACTOR TO WORK WITH CITY INSPECTORS TO ENSURE THAT ADEQUATE SEPARATION AND PROTECTION IS PROVIDED FOR SERVICE LINES AND OTHER UTILITIES. ALL SERVICE LINES TO BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR THE CITY OF RALEIGH AND NCDENR STANDARDS AND SPECIFICATIONS.
6. ANYTIME A WATER MAIN CROSSES UNDER A SANITARY SEWER COLLECTOR MAIN, BOTH THE WATER MAIN AND THE SEWER LINE MUST BE CONSTRUCTED OF D.I.P. CONTRACTOR TO ADJUST MATERIAL ACCORDINGLY.
7. SANITARY SERVICE CLEANOUT LOCATIONS SHOWN ARE APPROXIMATE AND MAY NEED TO BE ADJUSTED DURING CONSTRUCTION. CLEANOUT LOCATION AND CONSTRUCTION TO MEET THE APPLICABLE NORTH CAROLINA PLUMBING CODE AND/OR CITY OF RALEIGH AND NCDENR STANDARDS AND SPECIFICATIONS. CLEANOUT LOCATIONS SHOWN ON THESE PLANS REPRESENT THE SURFACE ACCESS POINT. CONTRACTOR SHALL INSTALL ALL WYES, ANGLES, BENDS, AND OTHER APPURTENANCES AS REQUIRED.

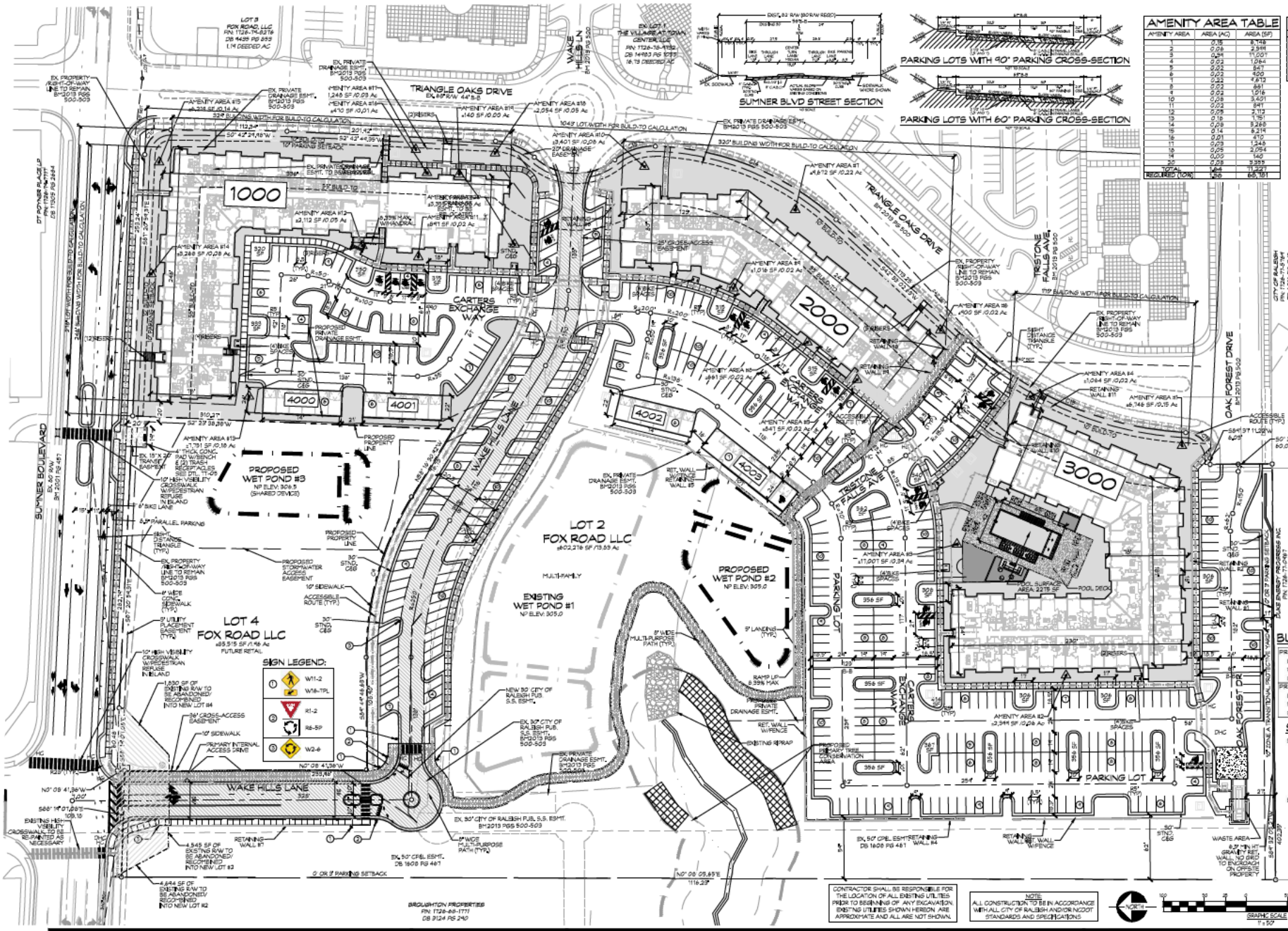
D.I.P. STORM NOTES:

1. ALL DIP STORM SEWER TO BE CONSTRUCTED TO CITY OF RALEIGH WATER MAIN STANDARDS AND SPECIFICATIONS AS DETAILED IN THE CITY OF RALEIGH PUBLIC UTILITY HANDBOOK.
2. LINING OF DIP STORM PIPES TO BE PER CITY OF RALEIGH WATER MAIN STANDARDS AND SPECIFICATIONS. CONTRACTOR TO VERIFY WITH PIPE SUPPLIER THAT THE LINING OF DIP STORM PIPES PROVIDES FOR A MANNINGS "n" VALUE OF 0.013 OR LESS TO MEET STORM SEWER DESIGN PARAMETERS.
3. CONTRACTOR TO PROVIDE WATERTIGHT JOINTS ON ALL STORM PIPING. CONTRACTOR TO PROVIDE WATERTIGHT JOINTS AND CONNECTIONS AT ALL PIPE CONNECTIONS TO STORM STRUCTURES.
4. PLACEMENT OF STORM PIPES, BACKFILLING, AND COMPACTION IN ALL TRENCHES TO BE PER THE DIRECTION OF THE GEOTECHNICAL ENGINEER.
5. PRIOR TO POURING CONCRETE ENCASEMENT ON D.I.P. STORM PIPES, CONTRACTOR TO PRESSURE TEST PIPE TO CITY OF RALEIGH WATER MAIN STANDARDS TO VERIFY THAT ALL PIPES AND JOINTS ARE WATERTIGHT WITH NO LEAKS.
6. CONTRACTOR TO POUR CONCRETE ENCASEMENT IN A MANNER THAT PROVIDES ADEQUATE SUPPORT FOR THE PIPES AND JOINTS TO REMAIN UNDAMAGED AND WATERTIGHT DURING THE ENCASEMENT POUR.

CITY OF RALEIGH STANDARD UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CITY OF RALEIGH HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
    A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
    B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
    C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
    D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
    E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CITY OF RALEIGH DETAILS W-41 & S-47)
    F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CITY OF RALEIGH HANDBOOK PROCEDURE
7. INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 20'X7' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR BASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLE


TRIANGLE OAKS DRIVE
SUMNER BOULEVARD
LOT 2
FOX ROAD, LLC
PIN: 1726-78-2809
DB 14435 PG 853
19.84 DEEDED AC
EXISTING
WET POND #1
NP ELEV: 305.0
EXISTING RIPRAP
EX. TREELINE
EX. PRIVATE DRAINAGE ESMT. BM2013 PGS 500-503
EX. PROPERTY RIGHT-OF-WAY LINE TO REMAIN BM2013 PGS 500-503
EX. 50' CITY OF RALEIGH PUB. S.S. ESMT. BM2013 PGS 500-503
20' DRAINAGE EASEMENT
EX. RET. WALL
EX. 15' X 20' TRANSIT EASEMENT
EX. 50' CPEL ESMT. DB 1608 PG 487
EX. 12' WL
EX. 8" WL
EX. 24" RCP
EX. 8" PVC SS
EX. 48" RCP
EX. RISER
EX. FIRE
EX. 15" RCP
EX. 18" RCP
EX. 8" OP SS
EX. 8" WL
EX. 12" WL
EX. 15" RCP
EX. 24" RCP
EX. 24" RCP
EX. 24



AMENITY AREA TABLE		
AMENITY AREA	AREA (AC)	AREA (SF)
1	0.18	8,148
2	0.06	2,598
3	0.34	17,001
4	0.03	1,084
5	0.02	843
6	0.02	800
7	0.22	9,610
8	0.02	881
9	0.02	1,016
10	0.08	3,601
11	0.02	841
12	0.05	2,112
13	0.18	7,751
14	0.06	3,268
15	0.14	6,216
16	0.01	410
17	0.03	1,345
18	0.05	2,054
19	0.03	140
20	0.08	3,359
TOTAL	1.44	77,227
REQUIRED (10%)	1.58	68,181

CURVE TABLE						
NO.	ARC LENG	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1	39.41	24.00	89.01	35.14	N49° 42'18"W
C2	41.39	60.00	34.53	40.58	N22° 28'38"E
C3	84.84	60.00	80.99	77.94	S7° 49'08"W
C4	42.11	60.00	40.21	41.31	N18° 50'01"W
C5	142.80	210.00	38.41	188.13	N22° 28'37"E
C6	235.01	334.50	39.92	229.96	S22° 55'21"W
C7	37.70	25.00	86.39	34.22	N48° 29'25"E

GENERAL NOTES:

1. THIS MAP IS FOR PRELIMINARY PURPOSES AND IS NOT INTENDED AS A FINAL DESIGN.
2. BOUNDARY INFORMATION IS TAKEN FROM A BM2013 PGS 500-503.
3. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A FIELD SURVEY BY TAYLOR LAND CONSULTANTS, PLLC.
4. PLANIMETRIC AND TOPOGRAPHIC INFORMATION FOR AREAS OUTSIDE OF THIS SITE ARE TAKEN FROM FIELD SURVEYS BY THIS OFFICE AND WAKE COUNTY GIS INFORMATION.
5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH, NCDOT, AND NCDEQ STANDARDS AND SPECIFICATIONS.
6. THERE ARE NO FEMA DESIGNATED FLOOD ZONES ON THIS PROPERTY.
7. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH.
8. CHANNEL BANK AND SUBSEQUENT NBUS RIVER BUFFER LOCATIONS BASED ON A PREVIOUS STUDY BY OTHERS AND ON FILE WITH DWQ.
9. LOCATIONS AND SIZES SHOWN FOR STORM WATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
10. STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE PERFORMED BY OTHERS, RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE LOCATION PURPOSES ONLY.
11. EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITY FIELD LOCATION PRIOR TO ANY CONSTRUCTION.
12. HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH RALEIGH ENGINEERING STANDARD DRAWING STD T-20.01 OR ANSI A108.1(A).
13. ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (BOC) UNLESS OTHERWISE NOTED.
14. NO NEW BUFFER IMPACTS SHALL OCCUR PRIOR TO APPROVAL FROM NCDENR.
15. PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN.
16. THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
17. ALL STREET DIMENSIONS SHOWN ON PLANS ARE FROM THE BACK OF CURB (BOC) UNLESS OTHERWISE NOTED.

CROSS ACCESS NOTE:

PER ZONING CONDITION (Z-5-01).

UPON SUBDIVISION OF THE SUBJECT TRACT INTO SMALLER PARCELS FOR DEVELOPMENT, ALL RESULTING PARCELS SHALL BE CROSS-CONNECTED TO A MINIMUM OF ONE OTHER ADJACENT PARCEL VIA EITHER A SHARED OR A CROSS-ACCESS FACILITY AND RELATED EASEMENT. A SHARED ACCESS FACILITY WOULD BE A SINGLE DRIVEWAY STRADDLING A COMMON PARCEL BOUNDARY LINE. A CROSS-ACCESS FACILITY WOULD BE LOCATED ENTIRELY ON ONE PARCEL AND CONTINUE ONTO THE ADJACENT PARCEL. ALL SHARED ACCESS AND CROSS-ACCESS FACILITIES SHALL CONNECT THROUGH TO BOTH PUBLIC STREETS AND THE INTERNAL PRIVATE PRIMARY VEHICULAR PEDESTRIAN WAYS.

BUILD-TO CALCULATIONS:

PRIMARY STREET (SUMNER BOULEVARD)	
LOT WIDTH AT PUBLIC RIGHT-OF-WAY	278 LF
REQUIRED - 70%	195 LF
PROVIDED - 88%	246 LF
PRIMARY STREET (TRIANGLE OAKS DRIVE)	
LOT WIDTH AT PUBLIC RIGHT-OF-WAY	1043 LF
REQUIRED - 70%	731 LF
PROVIDED - 79%	824 LF

SETBACK/BUILD-TO TABLE:

SETBACK TABLE	
FROM PRIMARY STREET (MIN)	5'
FROM SIDE STREET (MIN)	5'
FROM SIDE LOT LINE (MIN)	0 OR 6'
FROM REAR LOT LINE (MIN)	0 OR 6'
FROM ALLEY	4 OR 20' MIN.
BUILD-TO TABLE	
PRIMARY STREET (MIN/MAX)	10/55'
BUILDING WIDTH IN PRIMARY (MIN)	70%
SIDE STREET (MIN/MAX)	10/55'
BUILDING WIDTH IN SIDE (MIN)	35%

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

4000 SUMNER BOULEVARD

MULTI-FAMILY/MIXED USE

CITY OF RALEIGH — NORTH CAROLINA

SCALE:	1"=50'
DATE:	2/24/2020
PROJECT NUMBER:	2014-003.001
CLIENT:	HATHAWAY DEVELOPMENT
PLAN TYPE:	ASR-0013-2020

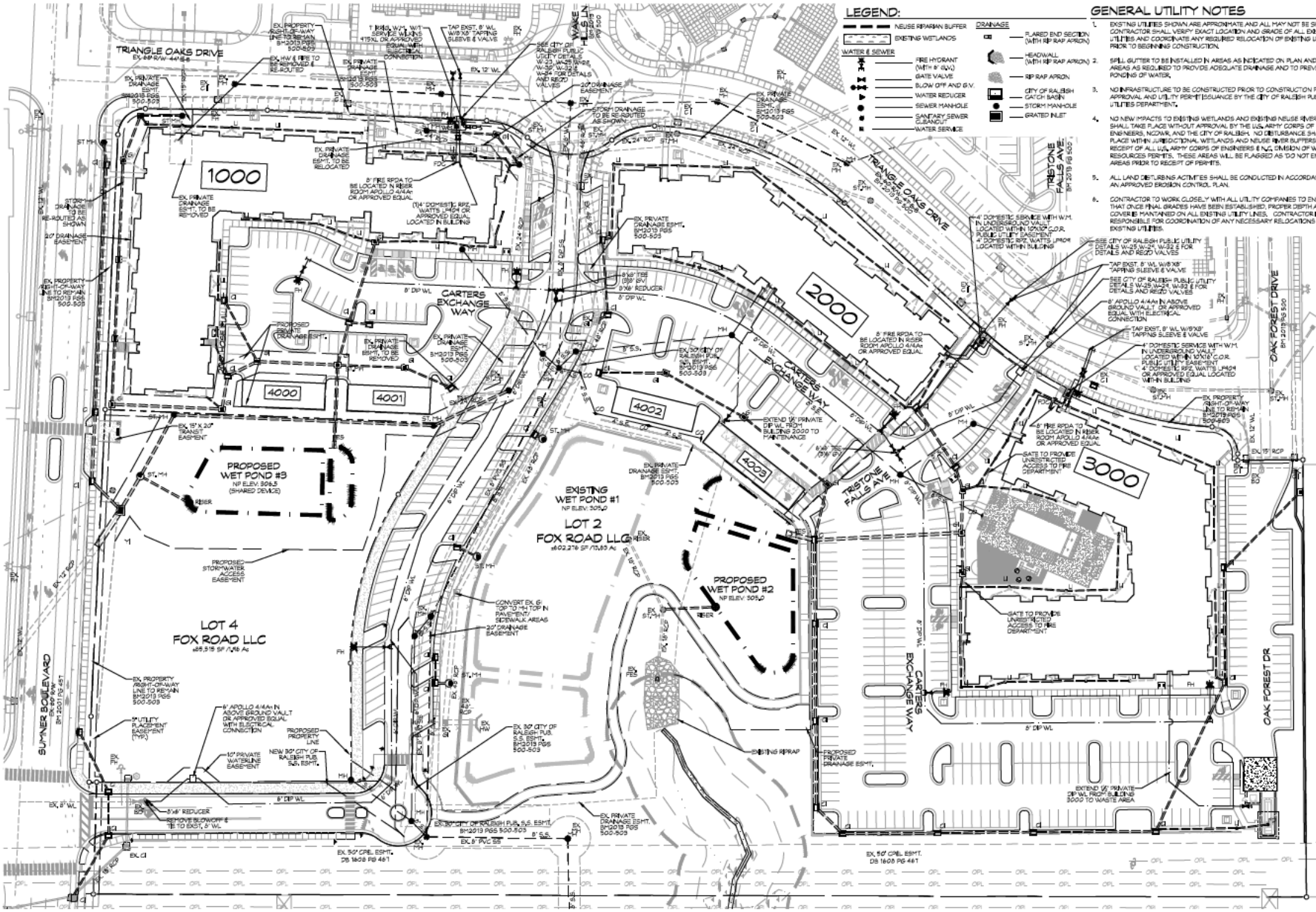
PRELIMINARY SITE LAYOUT & TRANSPORTATION PLAN

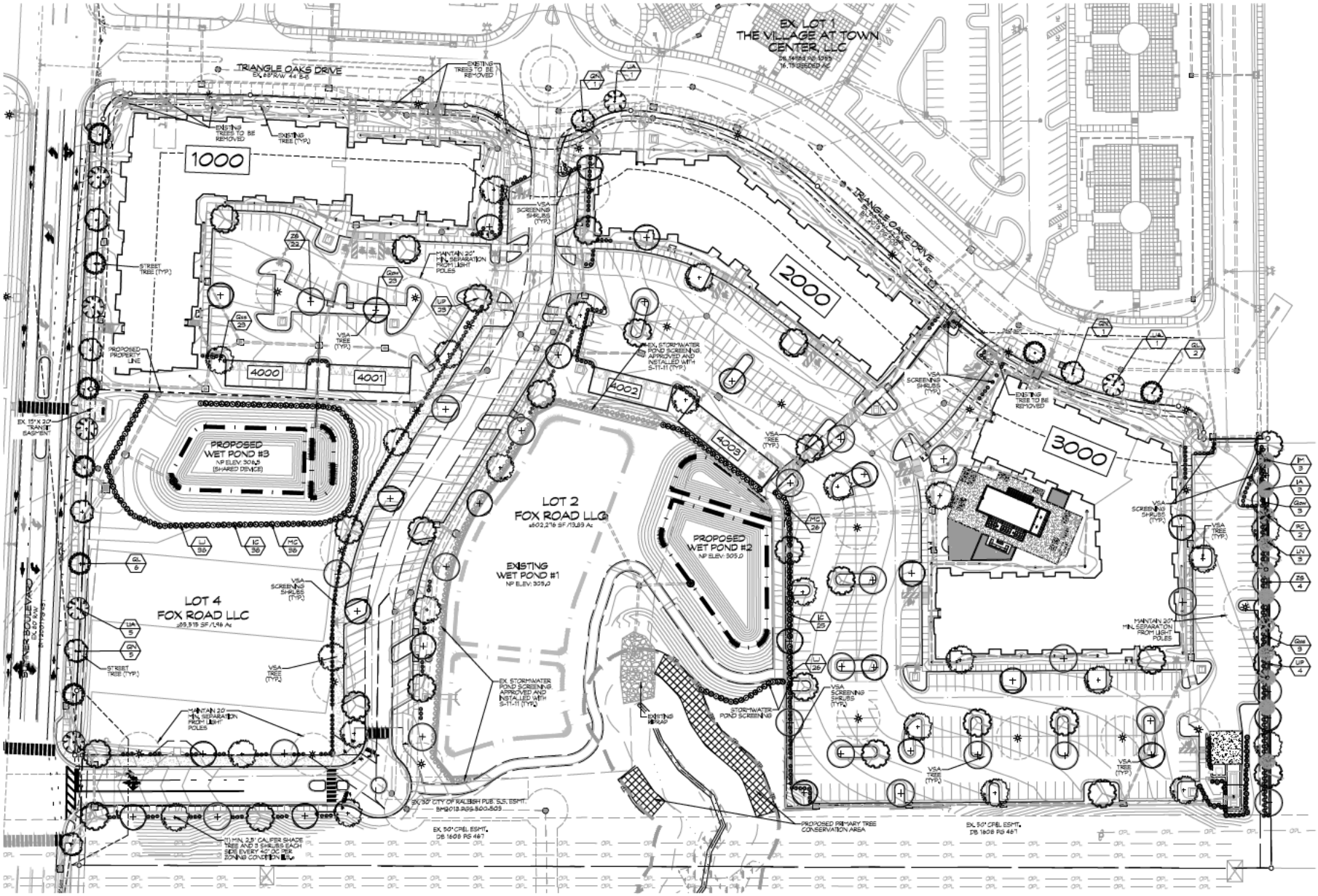
10/1/20	1ST REVIEW COMMENTS
12/8/20	2ND REVIEW COMMENTS
2/24/2021	3RD REVIEW COMMENTS

RELEASED FOR CONSTRUCTION DATE: (SEE COVER) NO YES

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3800-B Computer Drive, Suite 104 Raleigh, NC 27609 • Phone 919 / 781-6080, Fax 919 / 780-6281, Email PCA@PriestCravenInc.com / Firm #: C-0488

SHEET #
C2.00


TRIANGLE OAKS DRIVE
1000
2000
3000
4000
4001
4002
4003
CARTERS EXCHANGE WAY
TRISTONE FALLS AVE
OAK FOREST DRIVE
SUMNER BOULEVARD
PROPOSED WET POND #3
NP ELEV. 305.5
(SHARED DEVICE)
EXISTING WET POND #1
NP ELEV. 305.0
LOT 2
FOX ROAD LLC
±602,278 SF /13.83 Ac
PROPOSED WET POND #2
NP ELEV. 305.0
LOT 4
FOX ROAD LLC
±85,515 SF /1.96 Ac
EXISTING RIPRAP
8" DIP WL
EX. 8" WL
EX. 12" WL
EX. 15" RCP
EX. 50' CRL ESMT.
DB 1608 PG 461
EX. 50' CITY OF RALEIGH PUB. S.S. ESMT.
BM2013 PGS 500-503
EXTEND 1/4" PRIVATE DIP WL FROM BUILDING 3000 TO WASTE AREA
GATE TO PROVIDE UNRESTRICTED ACCESS TO FIRE DEPARTMENT
5" FIRE RPDA TO BE LOCATED IN RISER ROOM APOLLO 4/4AA OR APPROVED EQUAL
4" DOMESTIC SERVICE WITH W.M. IN UNDERGROUND VAULT LOCATED WITHIN 10'X10' C.O.R. PUBLIC UTILITY EASEMENT
4" DOMESTIC RPZ WATTS LF909 OR APPROVED EQUAL LOCATED WITHIN BUILDING
TAP EXIST. 8" WL W/8"X8" TAPPING SLEEVE & VALVE
SEE CITY OF RALEIGH PUBLIC UTILITY DETAILS W-25, W-24, W-32 & FOR DETAILS AND REQ'D VALVES
8" APOLLO 4/4AA IN ABOVE GROUND VAULT OR APPROVED EQUAL WITH ELECTRICAL CONNECTION
EX. PRIVATE DRAINAGE ESMT. BM2013 PGS 500-503
EX. PROPERTY RIGHT-OF-WAY LINE TO REMAIN BM2013 PGS 500-503
PROPOSED STORM/WATER ACCESS EASEMENT
CONVERT EX. I5 TOP TO MH TOP IN PAVEMENT/ SIDEWALK AREAS
20' DRAINAGE EASEMENT
PROPOSED PRIVATE DRAINAGE ESMT.
EX. 30' CITY OF RALEIGH PUB. S.S. ESMT. BM2013 PGS 500-503
EX. PRIVATE DRAINAGE ESMT. BM2013 PGS 500-503
EXTEND 1/4" PRIVATE DIP WL FROM BUILDING 2000 TO MAINTENANCE
EX. 15" X 20' TRANSIT EASEMENT
10' PRIVATE WATERLINE EASEMENT
NEW 30' CITY OF RALEIGH PUB. S.S. ESMT.
REMOVE BLOWOFF & TIE TO EXIST. 8" WL
8"x8" REDUCER
8" DIP WL
8" S.S.
EX. 8" WL
EX. 8" PVC SS
EX. CI
EX. FH
EX. MH
EX. ST. MH
EX. ST. CO
EX. ST. I
EX. ST. PH
EX. ST. V
EX. ST. TP
EX. ST. CV
EX. ST. FH
EX. ST. MH
EX. ST. PH
EX. ST. TP
EX. ST. V
EX. ST. CO
EX. ST. I



PLANT LEGEND:

SHADE TREES

- EXISTING STREET TREE
- EXISTING STREET TREE TO BE REMOVED
- Qss
- Qsw
- QL
- QN
- UA
- UP
- ZS

UNDERSTORY TREES

- IA
- IL
- IM
- LN

SHRUBS

- AG
- IC
- IK
- LJ
- MC

SEE SHEET LS1.01 FOR LANDSCAPE CALCULATIONS, NOTES & DETAILS

A FEE-IN-LIEU SHALL BE REQUIRED FOR 10 TREES ALONG TRIANGLE OAKS DRIVE. REFER TO LANDSCAPING CALCULATIONS.

MAINTAIN 20' MIN. SEPARATION BETWEEN POLES OF LIGHTING FIXTURES TO TRUNKS OF TREES PER UDO 9.1.10.A.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE AND ALL ARE NOT SHOWN.

NOTE:
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS

NORTH

GRAPHIC SCALE
1" = 40'

4000 SUMNER BOULEVARD

MULTI-FAMILY/MIXED USE

CITY OF RALEIGH — NORTH CAROLINA

SCALE:	1=40'
DATE:	2/24/2020
PROJECT NUMBER:	2014-003.001
CLIENT:	HATHAWAY DEVELOPMENT
PLAN TYPE:	ASR-0013-2020

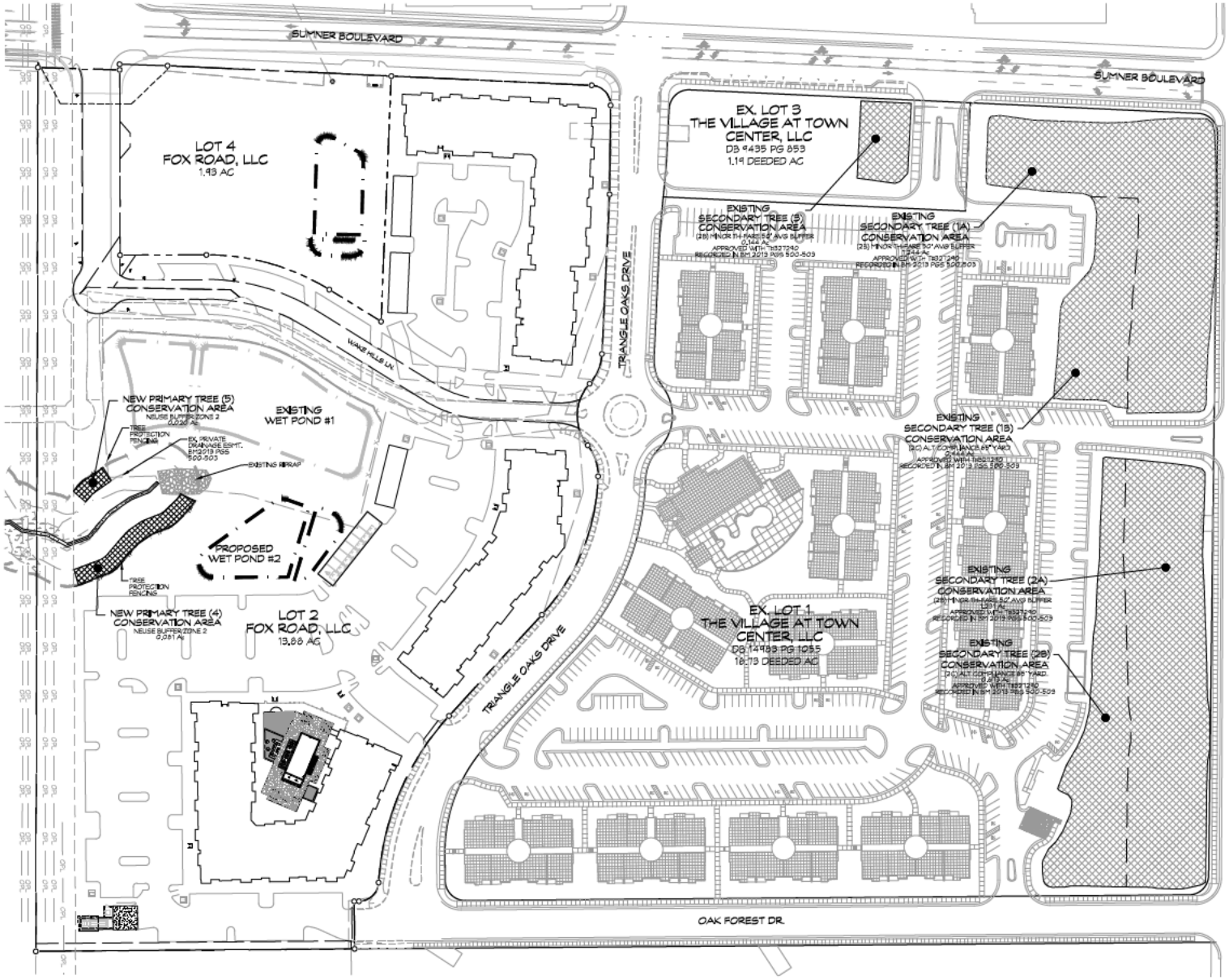
PRELIMINARY CODE COMPLIANT LANDSCAPE PLAN

10/1/20	1ST REVIEW COMMENTS
12/8/20	2ND REVIEW COMMENTS
2/24/2021	3RD REVIEW COMMENTS

RELEASED FOR CONSTRUCTION DATE: (SEE COVER) ☐ NO ☐ YES

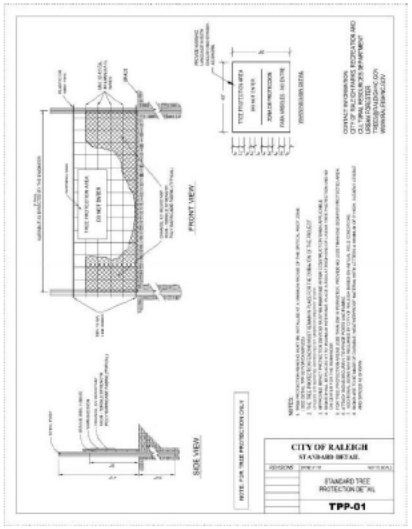
PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3800-B Computer Drive, Suite 104 Raleigh, NC 27609, Phone 919 / 781-6333, Fax 919 / 782-2281, Email PCA@PriestCravenInc.com / Firm #: C-0488

SHEET #
LS1.00



3.74 AC OF TREE CONSERVATION FOR THIS SITE WAS APPROVED WITH T#327290 AND RECORDED IN BM 2013 PGS 500-503

*AN ADDITIONAL 0.11 AC OF PRIMARY TREE CONSERVATION HAS BEEN ADDED DUE TO THE LOCATION OF A NEWLY FOUND, FIELD LOCATED NEUSE RIVER BUFFER.
*SEE SHEETS R1.00 & R1.01 FOR REFERENCE PLATS.



TREE CONSERVATION CALCULATIONS

TREE CONSERVATION PREVIOUSLY APPROVED WITH T#327290 AND RECORDED IN BM2013 PGS 500-503		
GROSS SITE ACRES (ORIGINAL TREE CONSERVATION PLAN):		37.06 AC
RIGHT-OF-WAY PREVIOUSLY DEDICATED WITH THIS PROJECT:		3.35 AC
NET SITE ACRES:		33.71 AC
PRIMARY TREE CONSERVATION AREAS		
NEW PRIMARY TREE CONSERVATION AREA - NEUSE BUFFER ZONE 2	0.11 AC	0.33%
EXISTING PRIMARY TREE CONSERVATION AREAS	0.00 AC	0.00%
SUBTOTAL OF PRIMARY TREE CONSERVATION AREAS	0.11 AC	0.33%
SECONDARY TREE CONSERVATION AREAS		
NEW SECONDARY TREE CONSERVATION AREAS	0.00 AC	0.00%
EXISTING APPROVED SECONDARY TREE CONSERVATION AREAS	3.74 AC	11.09%
SUBTOTAL OF SECONDARY TREE CONSERVATION AREAS	3.74 AC	11.09%
TOTAL OF ALL TREE CONSERVATION AREAS	3.85 AC	11.42%

[redacted]

NORTH
SCALE: 1" = 60'

4000 SUMNER BOULEVARD
MULTI-FAMILY/MIXED USE
CITY OF RALEIGH NORTH CAROLINA

SCALE:	1=60
DATE:	2/24/2020
PROJECT NUMBER:	2014-003.001
CLIENT:	HATHAWAY DEVELOPMENT
PLAN TYPE:	ASR-0013-2020

TREE CONSERVATION PLAN

10/1/20	1ST REVIEW COMMENTS
12/8/20	2ND REVIEW COMMENTS
2/24/2021	3RD REVIEW COMMENTS

RELEASED FOR CONSTRUCTION DATE: (SEE COVER) ☐ NO ☐ YES

PRIEST, CRAVEN & ASSOCIATES, INC.
LAND USE CONSULTANTS PLANNERS / LANDSCAPE DESIGNERS / SURVEYORS / ENGINEERS
3800-B Computer Drive, Suite 104 Raleigh, NC 27609, Phone 919 / 781-0000, Fax 919 / 782-0281, Email PCA@PriestCraven.com / Firm #: C-0488

SHEET #
TC1.00

2 ASR_BUILDING 1000 - EAST ELEVATION PART 2

SCALE: 3/32" = 1'-0"

1 ASR_BUILDING 1000 - EAST ELEVATION PART 1

SCALE: 3/32" = 1'-0"

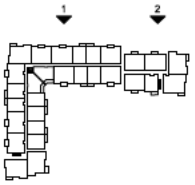
LEGEND

TAG	DESCRIPTION	COLOR	MANUFACTURER
AC-1	ALUMINUM CANOPY	PREFINISHED-BLACK	TBD
AS-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	YKK 45 FS
BR-1	BRICK VENEER BRICK MORTAR	WHITE TBD	TBD MORTAMIX
CL-1	CEMENTITIOUS LAP SIDING	WHITE	ALLURA OR EQ.
CL-2	CEMENTITIOUS LAP SIDING	MEDIUM GRAY	ALLURA OR EQ.
CP-1	CEMENTITIOUS PANEL	WHITE	ALLURA OR EQ.
CP-2	CEMENTITIOUS PANEL	MEDIUM GRAY	ALLURA OR EQ.
CP-3	CEMENTITIOUS PANEL	DARK GRAY	ALLURA OR EQ.

CT-1	CEMENTITIOUS TRIM	WHITE	ALLURA OR EQ.
CT-2	CEMENTITIOUS TRIM	MEDIUM GRAY	ALLURA OR EQ.
CT-3	CEMENTITIOUS TRIM	DARK GRAY	ALLURA OR EQ.
D-1	DECORATIVE BRACKET	DARK GRAY	TBD
DS-1	DOWNSPOUT & SCUPPER	MATCH ADJACENT	TBD
L1-1	EXTERIOR LIGHT FIXTURE	TBD	TBD
LV-1	ARCHITECTURAL LOUVER	WHITE	TBD
R-1	ROOF - ASPHALT SHINGLES	GRAY	TBD
R-2	ROOF - STANDING SEAM METAL	SILVER	TBD

RC-1	ROWLOCK COURSE	WHITE	TBD
SC-1	SOLDIER COURSE	WHITE	TBD
S-1	BUILDING SIGNAGE - INTERNALLY ILLUMINATED	WHITE	TBD
VR-1	42" VINYL PICKET RAILING	WHITE	TBD
VW-1	VINYL WINDOW	WHITE	VINWINTECH 2100

KEY PLAN



DYNAMIK DESIGN
5901 PEACHTREE DUNWOODY RD.
BUILDING C, SUITE 250
ATLANTA, GA 30328
TELEPHONE: 678-500-8930
DYNAMIKDESIGN.COM

CONSULTANT:

SEAL:

PROJECT NUMBER: HAT2018-02

SUMNER BOULEVARD MULTIFAMILY

4000 SUMNER BOULEVARD, RALEIGH, NC 27616

CLIENT:

HATHAWAY DEVELOPMENT

3300 NORTHEAST EXPY BLDG 5, SUITE 200 ATLANTA, GA 30341

△	DRAWING RELEASE	DATE

TITLE:

BUILDING 1000 ELEVATIONS

SHEET NUMBER:

ASR-A4-01

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2 ASR_BUILDING 1000 - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

1 ASR_BUILDING 1000 - NORTH ELEVATION
SCALE: 3/32" = 1'-0"

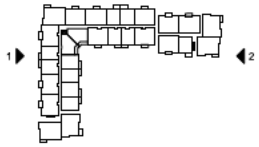
LEGEND

TAG	DESCRIPTION	COLOR	MANUFACTURER
AC-1	ALUMINUM CANOPY	PREFINISHED-BLACK	TBD
AS-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	YKK 45 FS
BR-1	BRICK VENEER BRICK MORTAR	WHITE TBD	TBD MORTAMIX
CL-1	CEMENTITIOUS LAP SIDING	WHITE	ALLURA OR EQ.
CL-2	CEMENTITIOUS LAP SIDING	MEDIUM GRAY	ALLURA OR EQ.
CP-1	CEMENTITIOUS PANEL	WHITE	ALLURA OR EQ.
CP-2	CEMENTITIOUS PANEL	MEDIUM GRAY	ALLURA OR EQ.
CP-3	CEMENTITIOUS PANEL	DARK GRAY	ALLURA OR EQ.

CT-1	CEMENTITIOUS TRIM	WHITE	ALLURA OR EQ.
CT-2	CEMENTITIOUS TRIM	MEDIUM GRAY	ALLURA OR EQ.
CT-3	CEMENTITIOUS TRIM	DARK GRAY	ALLURA OR EQ.
D-1	DECORATIVE BRACKET	DARK GRAY	TBD
DS-1	DOWNSPOUT & SCUPPER	MATCH ADJACENT	TBD
L1-1	EXTERIOR LIGHT FIXTURE	TBD	TBD
LV-1	ARCHITECTURAL LOUVER	WHITE	TBD
R-1	ROOF - ASPHALT SHINGLES	GRAY	TBD
R-2	ROOF - STANDING SEAM METAL	SILVER	TBD

RC-1	ROWLOCK COURSE	WHITE	TBD
SC-1	SOLDIER COURSE	WHITE	TBD
S-1	BUILDING SIGNAGE - INTERNALLY ILLUMINATED	WHITE	TBD
VR-1	42" VINYL PICKET RAILING	WHITE	TBD
VW-1	VINYL WINDOW	WHITE	VINWINTECH 2100

KEY PLAN



DYNAMIK DESIGN
5901 PEACHTREE DUNWOODY RD.
BUILDING C, SUITE 250
ATLANTA, GA 30328
TELEPHONE: 678-500-8930
DYNAMIKDESIGN.COM

CONSULTANT:

SEAL:

PROJECT NUMBER: HAT2018-02

SUMNER BOULEVARD MULTIFAMILY

4000 SUMNER BOULEVARD,
RALEIGH, NC 27616

CLIENT:

3300 NORTHEAST EXPY
BLDG 5
ATLANTA, GA 30341

HATHAWAY DEVELOPMENT

△	DRAWING RELEASE	DATE

TITLE:

BUILDING 1000 ELEVATIONS

SHEET NUMBER:

ASR-A4-02

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2 ASR_BUILDING 1000 - WEST ELEVATION PART 2

SCALE: 3/32" = 1'-0"

1 ASR_BUILDING 1000 - WEST ELEVATION PART 1

SCALE: 3/32" = 1'-0"

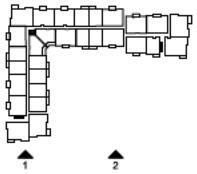
LEGEND

TAG	DESCRIPTION	COLOR	MANUFACTURER
AC-1	ALUMINUM CANOPY	PREFINISHED-BLACK	TBD
AS-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	YKK 45 FS
BR-1	BRICK VENEER BRICK MORTAR	WHITE TBD	TBD MORTAMIX
CL-1	CEMENTITIOUS LAP SIDING	WHITE	ALLURA OR EQ.
CL-2	CEMENTITIOUS LAP SIDING	MEDIUM GRAY	ALLURA OR EQ.
CP-1	CEMENTITIOUS PANEL	WHITE	ALLURA OR EQ.
CP-2	CEMENTITIOUS PANEL	MEDIUM GRAY	ALLURA OR EQ.
CP-3	CEMENTITIOUS PANEL	DARK GRAY	ALLURA OR EQ.

CT-1	CEMENTITIOUS TRIM	WHITE	ALLURA OR EQ.
CT-2	CEMENTITIOUS TRIM	MEDIUM GRAY	ALLURA OR EQ.
CT-3	CEMENTITIOUS TRIM	DARK GRAY	ALLURA OR EQ.
D-1	DECORATIVE BRACKET	DARK GRAY	TBD
DS-1	DOWNSPOUT & SCUPPER	MATCH ADJACENT	TBD
L1-1	EXTERIOR LIGHT FIXTURE	TBD	TBD
LV-1	ARCHITECTURAL LOUVER	WHITE	TBD
R-1	ROOF - ASPHALT SHINGLES	GRAY	TBD
R-2	ROOF - STANDING SEAM METAL	SILVER	TBD

RC-1	ROWLOCK COURSE	WHITE	TBD
SC-1	SOLDIER COURSE	WHITE	TBD
S-1	BUILDING SIGNAGE - INTERNALLY ILLUMINATED	WHITE	TBD
VR-1	42" VINYL PICKET RAILING	WHITE	TBD
VW-1	VINYL WINDOW	WHITE	VINWINTECH 2100

KEY PLAN



DYNAMIK DESIGN
5901 PEACHTREE DUNWOODY RD.
BUILDING C, SUITE 250
ATLANTA, GA 30328
TELEPHONE: 678-500-8930
DYNAMIKDESIGN.COM

CONSULTANT:

SEAL:

PROJECT NUMBER: HAT2018-02

SUMNER BOULEVARD MULTIFAMILY

4000 SUMNER BOULEVARD,
RALEIGH, NC 27616

CLIENT:

HATHAWAY DEVELOPMENT

3300 NORTHEAST EXPY
BLDG E
ATLANTA, GA 30341

△	DRAWING RELEASE	DATE

TITLE:

BUILDING 1000 ELEVATIONS

SHEET NUMBER:

ASR-A4-03

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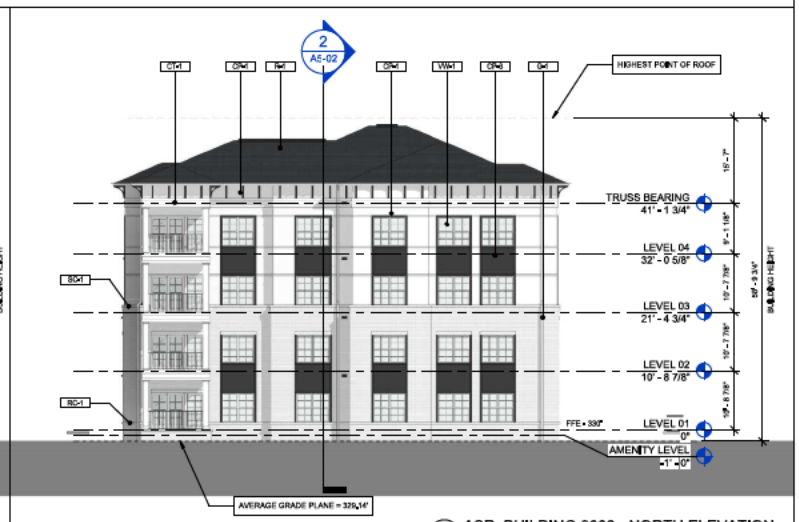
3 ASR_BUILDING 2000 - SOUTHEAST ELEVATION
SCALE: 3/32" = 1'-0"

2 ASR_BUILDING 2000 - EAST ELEVATION
SCALE: 3/32" = 1'-0"



1 ASR_BUILDING 2000 - NORTH ELEVATION
SCALE: 3/32" = 1'-0"

LEGEND

TAG	DESCRIPTION	COLOR	MANUFACTURER
AC-1	ALUMINUM CANOPY	PREFINISHED-BLACK	TBD
AS-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	YKK 45 FS
BR-1	BRICK VENEER BRICK MORTAR	WHITE TBD	TBD MORTAMIX
CL-1	CEMENTITIOUS LAP SIDING	WHITE	ALLURA OR EQ.
CL-2	CEMENTITIOUS LAP SIDING	MEDIUM GRAY	ALLURA OR EQ.
CP-1	CEMENTITIOUS PANEL	WHITE	ALLURA OR EQ.
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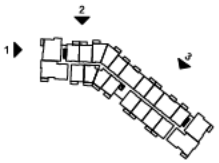
D-1	DECORATIVE BRACKET	DARK GRAY	TBD
DS-1	DOWNSPOUT & SCUPPER	MATCH ADJACENT	TBD
L1-1	EXTERIOR LIGHT FIXTURE	TBD	TBD
LV-1	ARCHITECTURAL LOUVER	WHITE	TBD
R-1	ROOF - ASPHALT SHINGLES	GRAY	TBD
R-2	ROOF - STANDING SEAM METAL	SILVER	TBD

RC-1	ROWLOCK COURSE	WHITE	TBD
SC-1	SOLDIER COURSE	WHITE	TBD
S-1	BUILDING SIGNAGE - INTERNALLY ILLUMINATED	WHITE	TBD
VR-1	42" VINYL PICKET RAILING	WHITE	TBD
VW-1	VINYL WINDOW	WHITE	VINWINTECH 2100

KEY PLAN



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TELEPHONE: 678-500-8930
DYNAMIKDESIGN.COM

CONSULTANT:

SEAL:

PROJECT NUMBER: HAT2018-02

SUMNER BOULEVARD MULTIFAMILY

4000 SUMNER BOULEVARD, RALEIGH, NC 27616

CLIENT:

HATHAWAY DEVELOPMENT
3300 NORTHEAST EXPY BLDG 5
ATLANTA, GA 30341

△	DRAWING RELEASE	DATE

TITLE:

BUILDING 2000 ELEVATIONS

SHEET NUMBER:

ASR-A4-04

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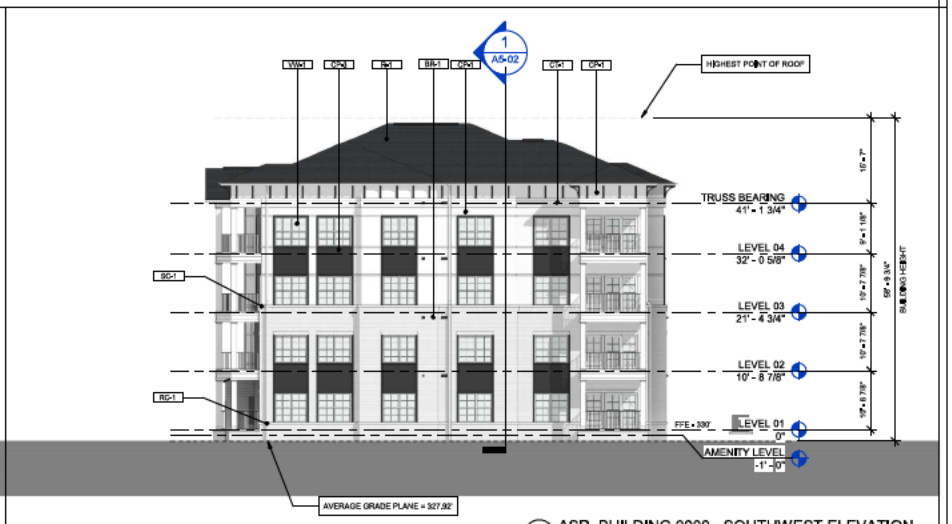
3 ASR_BUILDING 2000 - NORTHWEST ELEVATION

SCALE: 3/32" = 1'-0"

2 ASR_BUILDING 2000 - WEST ELEVATION

SCALE: 3/32" = 1'-0"



1 ASR_BUILDING 2000 - SOUTHWEST ELEVATION

SCALE: 3/32" = 1'-0"

LEGEND

TAG	DESCRIPTION	COLOR	MANUFACTURER
AC-1	ALUMINUM CANOPY	PREFINISHED-BLACK	TBD
AS-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	YKK 45 FS
BR-1	BRICK VENEER BRICK MORTAR	WHITE TBD	TBD MORTAMIX
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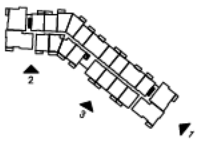
D-1	DECORATIVE BRACKET	DARK GRAY	TBD
DS-1	DOWNSPOUT & SCUPPER	MATCH ADJACENT	TBD
L1-1	EXTERIOR LIGHT FIXTURE	TBD	TBD
LV-1	ARCHITECTURAL LOUVER	WHITE	TBD
R-1	ROOF - ASPHALT SHINGLES	GRAY	TBD
R-2	ROOF - STANDING SEAM METAL	SILVER	TBD

RG-1	ROWLOCK COURSE	WHITE	TBD
SC-1	SOLDIER COURSE	WHITE	TBD
S-1	BUILDING SIGNAGE - INTERNALLY ILLUMINATED	WHITE	TBD
VR-1	42" VINYL PICKET RAILING	WHITE	TBD
VW-1	VINYL WINDOW	WHITE	VINWINTECH 2100

KEY PLAN



DYNAMIK DESIGN
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BUILDING C, SUITE 250
ATLANTA, GA 30328
TELEPHONE: 678-500-8930
DYNAMIKDESIGN.COM

CONSULTANT:

SEAL:

PROJECT NUMBER: HAT2018-02

SUMNER BOULEVARD MULTIFAMILY

4000 SUMNER BOULEVARD, RALEIGH, NC 27616

CLIENT:

HATHAWAY DEVELOPMENT

3300 NORTHEAST EXPY BLDG 5 ATLANTA, GA 30341

△	DRAWING RELEASE	DATE

TITLE:

BUILDING 2000 ELEVATIONS

SHEET NUMBER:

ASR-A4-05

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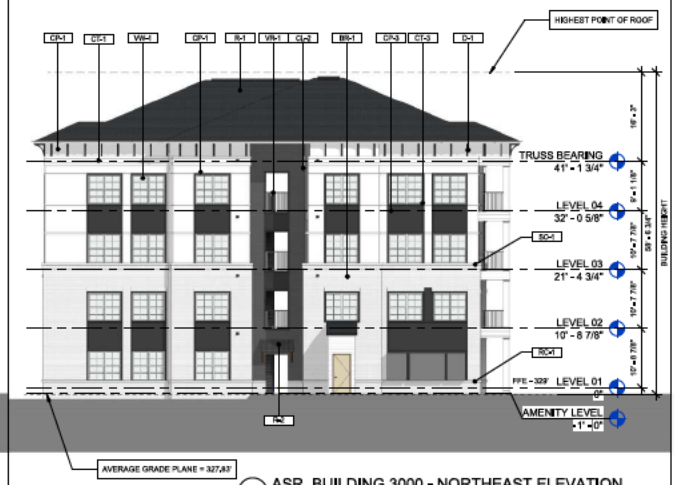
3 ASR_BUILDING 3000 - SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

2 ASR_BUILDING 3000 - SOUTHEAST ELEVATION
SCALE: 3/32" = 1'-0"



1 ASR_BUILDING 3000 - NORTHEAST ELEVATION
SCALE: 3/32" = 1'-0"

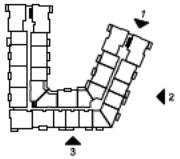
LEGEND

TAG	DESCRIPTION	COLOR	MANUFACTURER
AC-1	ALUMINUM CANOPY	PREFINISHED-BLACK	TBD
AS-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	YKK 45 FS
BR-1	BRICK VENEER BRICK MORTAR	WHITE TBD	TBD MORTAMIX
CL-1	CEMENTITIOUS LAP SIDING	WHITE	ALLURA OR EQ.
CL-2	CEMENTITIOUS LAP SIDING	MEDIUM GRAY	ALLURA OR EQ.
CP-1	CEMENTITIOUS PANEL	WHITE	ALLURA OR EQ.
CP-2	CEMENTITIOUS PANEL	MEDIUM GRAY	ALLURA OR EQ.
CP-3	CEMENTITIOUS PANEL	DARK GRAY	ALLURA OR EQ.

CT-1	CEMENTITIOUS TRIM	WHITE	ALLURA OR EQ.
CT-2	CEMENTITIOUS TRIM	MEDIUM GRAY	ALLURA OR EQ.
CT-3	CEMENTITIOUS TRIM	DARK GRAY	ALLURA OR EQ.
D-1	DECORATIVE BRACKET	DARK GRAY	TBD
DS-1	DOWNSPOUT & SCUPPER	MATCH ADJACENT	TBD
LT-1	EXTERIOR LIGHT FIXTURE	TBD	TBD
LV-1	ARCHITECTURAL LOUVER	WHITE	TBD
R-1	ROOF - ASPHALT SHINGLES	GRAY	TBD
R-2	ROOF - STANDING SEAM METAL	SILVER	TBD

RC-1	ROWLOCK COURSE	WHITE	TBD
SC-1	SOLDIER COURSE	WHITE	TBD
S-1	BUILDING SIGNAGE - INTERNALLY ILLUMINATED	WHITE	TBD
VR-1	42" VINYL PICKET RAILING	WHITE	TBD
VW-1	VINYL WINDOW	WHITE	VINWITECH 2100

KEY PLAN



DYNAMIK DESIGN
5901 PEACHTREE DUNWOODY RD.
BUILDING C, SUITE 250
ATLANTA, GA 30328
TELEPHONE: 678-500-8930
DYNAMIKDESIGN.COM

CONSULTANT:

SEAL:

PROJECT NUMBER: HAT2018-02

SUMNER BOULEVARD MULTIFAMILY

4000 SUMNER BOULEVARD,
RALEIGH, NC 27616

CLIENT:

3300 NORTHEAST EXPY
BLDG 5
ATLANTA, GA 30341

HATHAWAY DEVELOPMENT

△	DRAWING RELEASE	DATE

TITLE:

BUILDING 3000 ELEVATIONS

SHEET NUMBER:

ASR-A4-06

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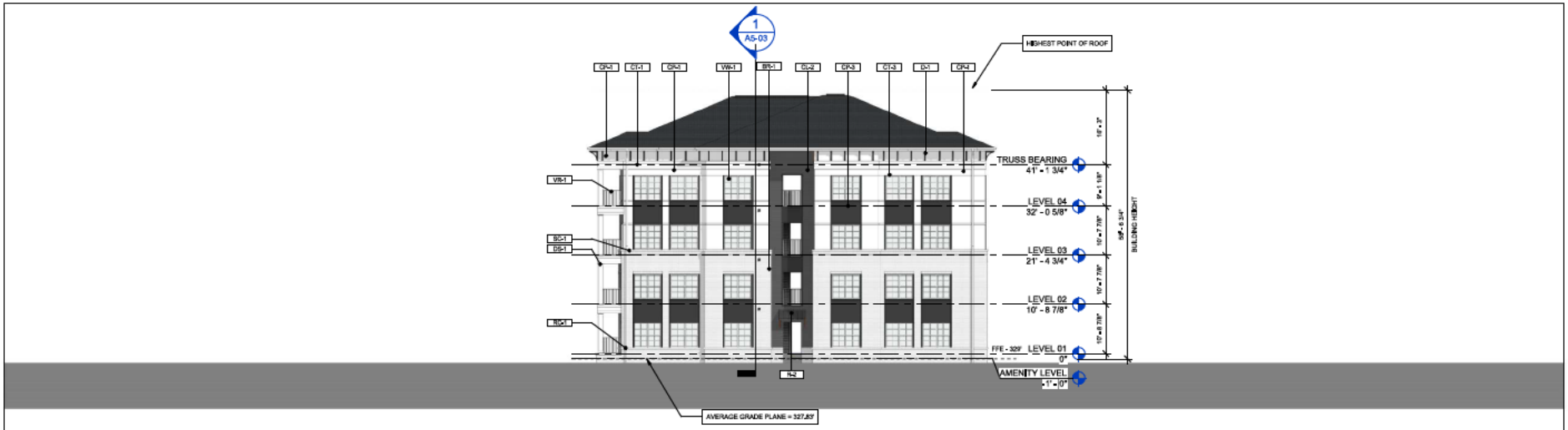
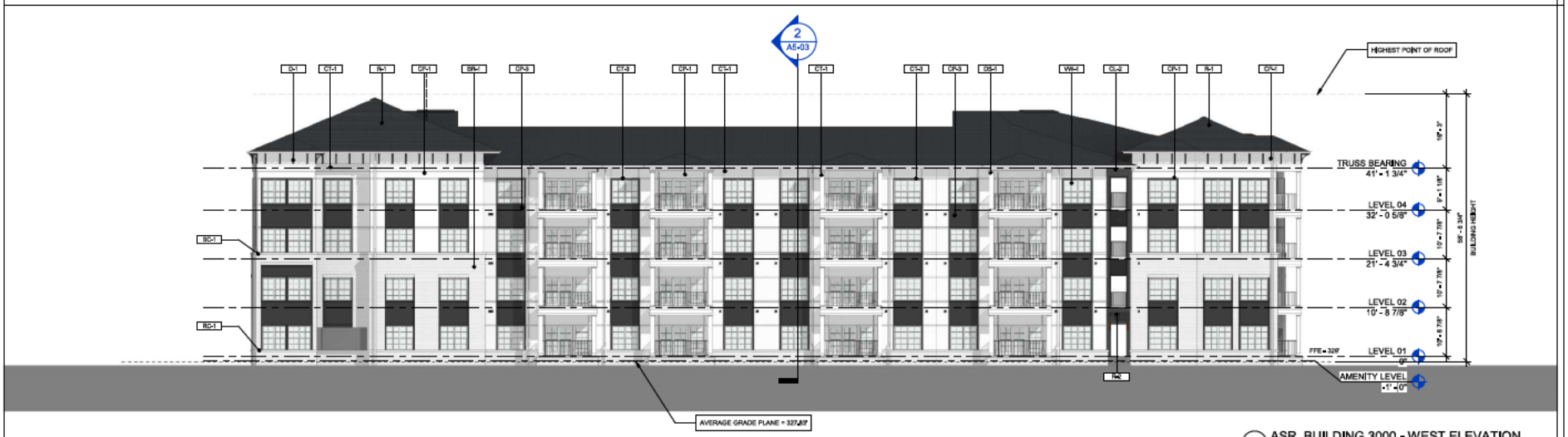


2 ASR_BUILDING 3000 - NORTH ELEVATION

SCALE: 3/32" = 1'-0"



1 ASR_BUILDING 3000 - WEST ELEVATION

SCALE: 3/32" = 1'-0"

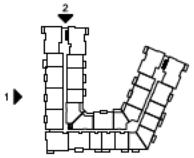
LEGEND

TAG	DESCRIPTION	COLOR	MANUFACTURER
AC-1	ALUMINUM CANOPY	PREFINISHED-BLACK	TBD
AS-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	YKK 45 FS
BR-1	BRICK VENEER BRICK MORTAR	WHITE TBD	TBD MORTAMIX
CL-1	CEMENTITIOUS LAP SIDING	WHITE	ALLURA OR EQ.
CL-2	CEMENTITIOUS LAP SIDING	MEDIUM GRAY	ALLURA OR EQ.
CP-1	CEMENTITIOUS PANEL	WHITE	ALLURA OR EQ.
CP-2	CEMENTITIOUS PANEL	MEDIUM GRAY	ALLURA OR EQ.
CP-3	CEMENTITIOUS PANEL	DARK GRAY	ALLURA OR EQ.

CT-1	CEMENTITIOUS TRIM	WHITE	ALLURA OR EQ.
CT-2	CEMENTITIOUS TRIM	MEDIUM GRAY	ALLURA OR EQ.
CT-3	CEMENTITIOUS TRIM	DARK GRAY	ALLURA OR EQ.
D-1	DECORATIVE BRACKET	DARK GRAY	TBD
DS-1	DOWNSPOUT & SCUPPER	MATCH ADJACENT	TBD
L1-1	EXTERIOR LIGHT FIXTURE	TBD	TBD
LV-1	ARCHITECTURAL LOUVER	WHITE	TBD
R-1	ROOF - ASPHALT SHINGLES	GRAY	TBD
R-2	ROOF - STANDING SEAM METAL	SILVER	TBD

RC-1	ROWLOCK COURSE	WHITE	TBD
SC-1	SOLDIER COURSE	WHITE	TBD
S-1	BUILDING SIGNAGE - INTERNALLY ILLUMINATED	WHITE	TBD
VR-1	42" VINYL PICKET RAILING	WHITE	TBD
VW-1	VINYL WINDOW	WHITE	VINWINTECH 2100

KEY PLAN



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CONSULTANT:

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PROJECT NUMBER: HAT2018-02

SUMNER BOULEVARD MULTIFAMILY

4000 SUMNER BOULEVARD, RALEIGH, NC 27616

3300 NORTHEAST EXPY BLDG 5, ATLANTA, GA 30341

CLIENT: HATHAWAY DEVELOPMENT

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TITLE:

BUILDING 3000 ELEVATIONS

SHEET NUMBER:

ASR-A4-07

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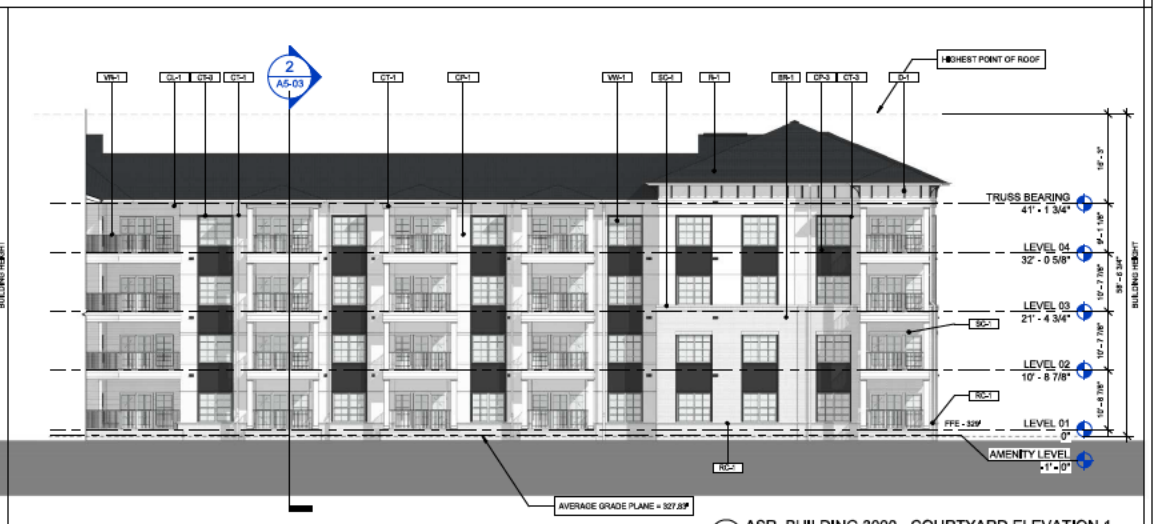
3 ASR_BUILDING 3000 - COURTYARD ELEVATION 3

SCALE: 3/32" = 1'-0"

2 ASR_BUILDING 3000 - COURTYARD ELEVATION 2

SCALE: 3/32" = 1'-0"



1 ASR_BUILDING 3000 - COURTYARD ELEVATION 1

SCALE: 3/32" = 1'-0"

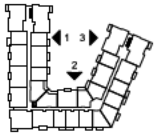
LEGEND

TAG	DESCRIPTION	COLOR	MANUFACTURER
AC-1	ALUMINUM CANOPY	PREFINISHED-BLACK	TBD
AS-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	YKK 45 FS
BR-1	BRICK VENEER BRICK MORTAR	WHITE TBD	TBD MORTAMIX
CL-1	CEMENTITIOUS LAP SIDING	WHITE	ALLURA OR EQ.
CL-2	CEMENTITIOUS LAP SIDING	MEDIUM GRAY	ALLURA OR EQ.
CP-1	CEMENTITIOUS PANEL	WHITE	ALLURA OR EQ.
CP-2	CEMENTITIOUS PANEL	MEDIUM GRAY	ALLURA OR EQ.
CP-3	CEMENTITIOUS PANEL	DARK GRAY	ALLURA OR EQ.

CT-1	CEMENTITIOUS TRIM	WHITE	ALLURA OR EQ.
CT-2	CEMENTITIOUS TRIM	MEDIUM GRAY	ALLURA OR EQ.
CT-3	CEMENTITIOUS TRIM	DARK GRAY	ALLURA OR EQ.
D-1	DECORATIVE BRACKET	DARK GRAY	TBD
DS-1	DOWNSPOUT & SCUPPER	MATCH ADJACENT	TBD
L1-1	EXTERIOR LIGHT FIXTURE	TBD	TBD
LV-1	ARCHITECTURAL LOUVER	WHITE	TBD
R-1	ROOF - ASPHALT SHINGLES	GRAY	TBD
R-2	ROOF - STANDING SEAM METAL	SILVER	TBD

RC-1	ROWLOCK COURSE	WHITE	TBD
SC-1	SOLDIER COURSE	WHITE	TBD
S-1	BUILDING SIGNAGE - INTERNALLY ILLUMINATED	WHITE	TBD
VR-1	42" VINYL PICKET RAILING	WHITE	TBD
WW-1	VINYL WINDOW	WHITE	VINWINTECH 2100

KEY PLAN



DYNAMIK DESIGN
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DYNAMIKDESIGN.COM

CONSULTANT:

SEAL:

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SUMNER BOULEVARD MULTIFAMILY

4000 SUMNER BOULEVARD,
RALEIGH, NC 27616

CLIENT:

3300 NORTHEAST EXPY
BLDG 5
ATLANTA, GA 30341

HATHAWAY DEVELOPMENT

△	DRAWING RELEASE	DATE

TITLE:

BUILDING 3000 ELEVATIONS

SHEET NUMBER:

ASR-A4-08

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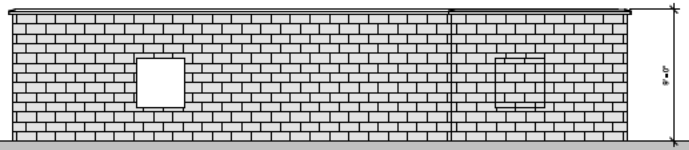
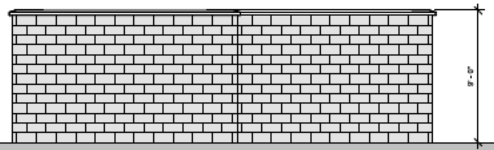
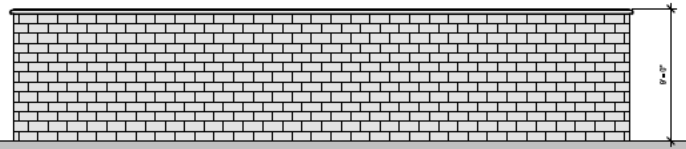


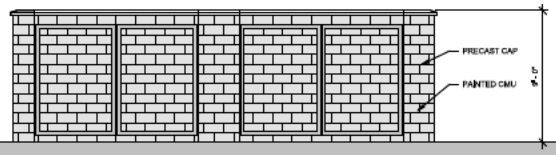
5 ELEVATION D
SCALE: 1/4" = 1'-0"



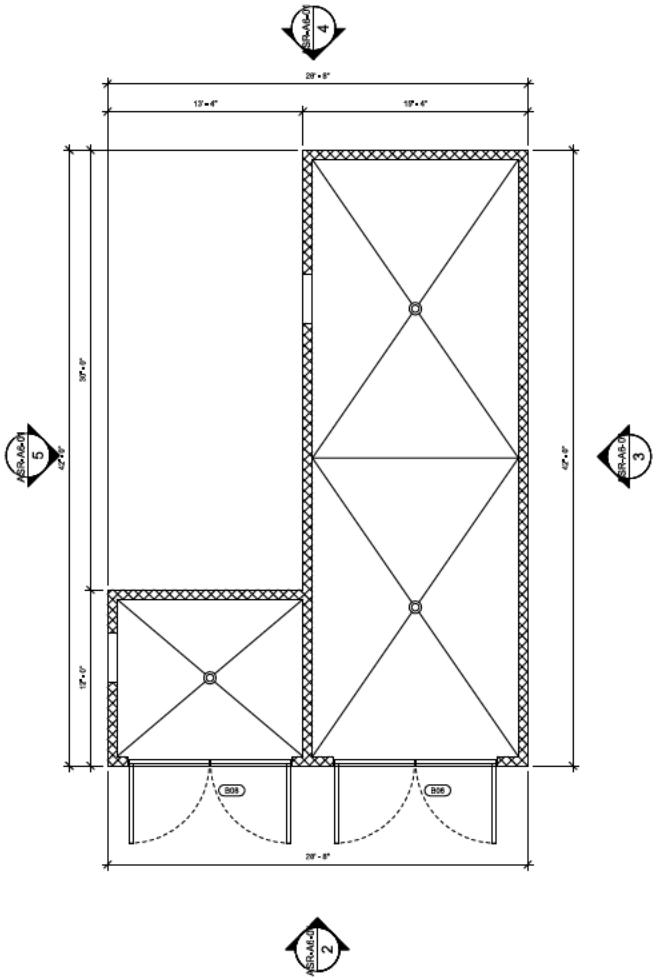
4 ELEVATION C
SCALE: 1/4" = 1'-0"



3 ELEVATION B
SCALE: 1/4" = 1'-0"



2 ELEVATION A
SCALE: 1/4" = 1'-0"



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. REFER TO SHEET CD-30 FOR WALL ASSEMBY TYPES AND ADDITIONAL INFORMATION.
2. REFER TO SHEET A8-10 FOR DOOR SCHEDULE.
3. ALL SLOPES TO BE 1/4" U.O.N.
4. REFER TO INTERIOR DRAWINGS FOR AMENITY LIGHTING AND FINISH SPECIFICATIONS.
5. DOOR LOCATIONS NOT DIMENSIONED SHALL BE LOCATED AT MIDPOINT OF WALL OR 4" CLEAR OF ROOM FROM ADJACENT WALL CORNER TO HINGE SIDE, TYPICAL.

LEGEND

	CMU WALL
	CONCRETE WALL
	ROOF ACCESS HATCH - 1 HR. RATED
1520	ROOM NUMBER
A1	RESIDENTIAL UNIT TYPE
A1-XX	LOCATION OF ENLARGED ARCH. PLAN, RCP AND INTERIOR ELEVATIONS
XX	WALL PARTITION
XXX	DOOR CALLOUT
XX	WINDOW TYPE CALLOUT
ST-XX	STOREFRONT TYPE CALLOUT
FEC	FIRE EXTINGUISHER CABINET

BUILDING KEY PLAN

DYNAMIK DESIGN
5901 PEACHTREE DUNWOODY RD.
BUILDING C, SUITE 250
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CONSULTANT:

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SUMNER BOULEVARD MULTIFAMILY

4000 SUMNER BOULEVARD, RALEIGH, NC 27616

CLIENT:

HATHAWAY DEVELOPMENT
3300 NORTHEAST EXPY
BLDG E
ATLANTA, GA 30341

△	DRAWING RELEASE	DATE

TITLE:

TRASH ENCLOSURE

SHEET NUMBER:

ASR-A6-01

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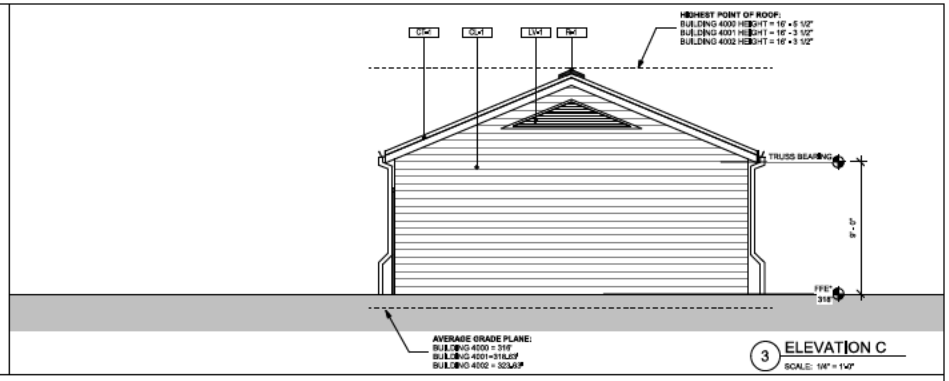
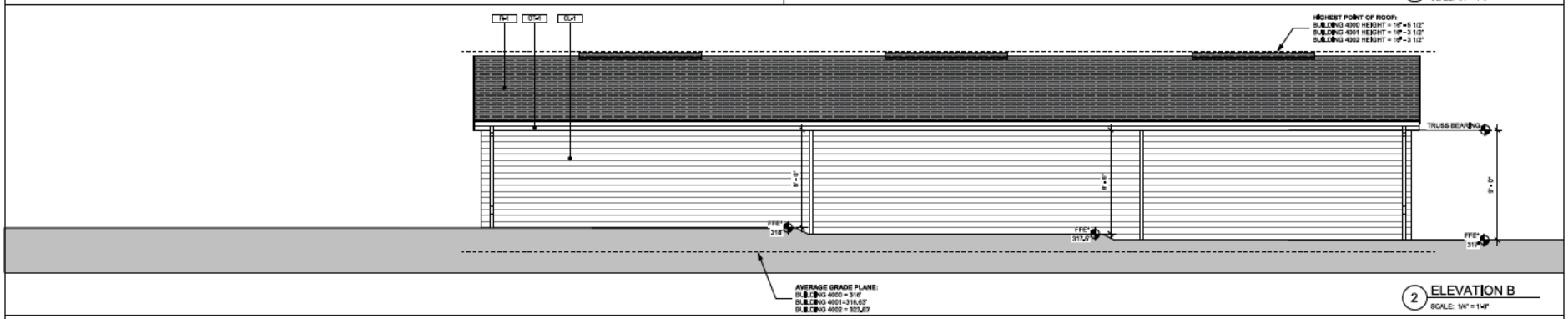
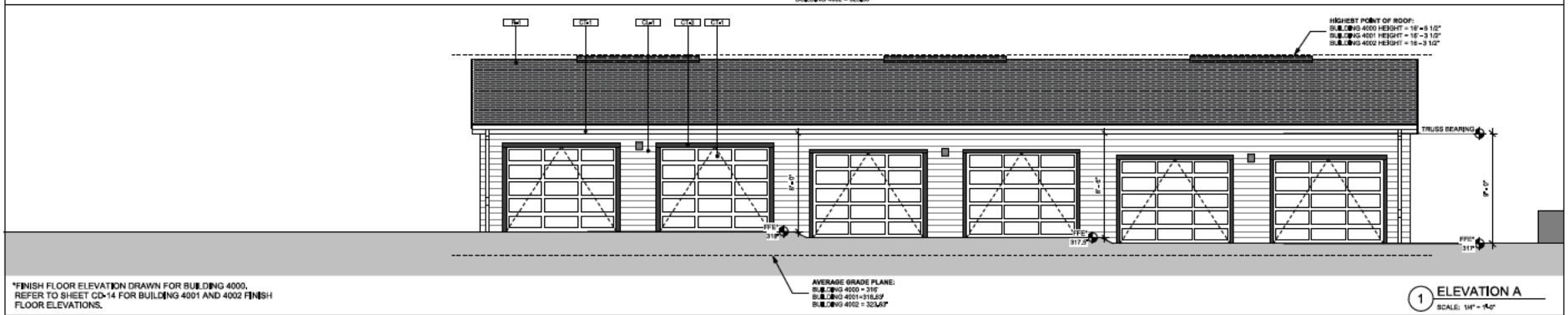


3 ELEVATION C
SCALE: 1/4" = 1'-0"



2 ELEVATION B
SCALE: 1/4" = 1'-0"



*FINISH FLOOR ELEVATION DRAWN FOR BUILDING 4000. REFER TO SHEET CD-14 FOR BUILDING 4001 AND 4002 FINISH FLOOR ELEVATIONS.

1 ELEVATION A
SCALE: 1/4" = 1'-0"

LEGEND

TAG	DESCRIPTION	COLOR	MANUFACTURER
AC-1	ALUMINUM CANOPY	PREFINISHED-BLACK	TBD
AS-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	YKK 45 FS
BR-1	BRICK VENEER BRICK MORTAR	WHITE TBD	TBD MORTAMIX
CL-1	CEMENTITIOUS LAP SIDING	WHITE	ALLURA OR EQ.
CL-2	CEMENTITIOUS LAP SIDING	MEDIUM GRAY	ALLURA OR EQ.
CP-1	CEMENTITIOUS PANEL	WHITE	ALLURA OR EQ.
CP-2	CEMENTITIOUS PANEL	MEDIUM GRAY	ALLURA OR EQ.
CP-3	CEMENTITIOUS PANEL	DARK GRAY	ALLURA OR EQ.

CT-1	CEMENTITIOUS TRIM	WHITE	ALLURA OR EQ.
CT-2	CEMENTITIOUS TRIM	MEDIUM GRAY	ALLURA OR EQ.
CT-3	CEMENTITIOUS TRIM	DARK GRAY	ALLURA OR EQ.
D-1	DECORATIVE BRACKET	DARK GRAY	TBD
DS-1	DOWNSPOUT & SCUPPER	MATCH ADJACENT	TBD
L1-1	EXTERIOR LIGHT FIXTURE	TBD	TBD
LV-1	ARCHITECTURAL LOUVER	WHITE	TBD
R-1	ROOF - ASPHALT SHINGLES	GRAY	TBD
R-2	ROOF - STANDING SEAM METAL	SILVER	TBD

RC-1	ROWLOCK COURSE	WHITE	TBD
SC-1	SOLDIER COURSE	WHITE	TBD
S-1	BUILDING SIGNAGE - INTERNALLY ILLUMINATED	WHITE	TBD
VR-1	42" VINYL PICKET RAILING	WHITE	TBD
VW-1	VINYL WINDOW	WHITE	VINWINTECH 2100

KEY PLAN

DYNAMIK DESIGN
5901 PEACHTREE DUNWOODY RD.
BUILDING C, SUITE 250
ATLANTA, GA 30328
TELEPHONE: 678-506-8930
DYNAMIKDESIGN.COM

CONSULTANT:

SEAL:

PROJECT NUMBER: HAT2018-02

SUMNER BOULEVARD MULTIFAMILY

4000 SUMNER BOULEVARD, RALEIGH, NC 27616

CLIENT:

HATHAWAY DEVELOPMENT
3300 NORTHEAST EXPY BLDG 5
ATLANTA, GA 30341

△	DRAWING RELEASE	DATE

TITLE:

GARAGE TYPE A - ELEVATIONS

SHEET NUMBER:

ASR-A6-03

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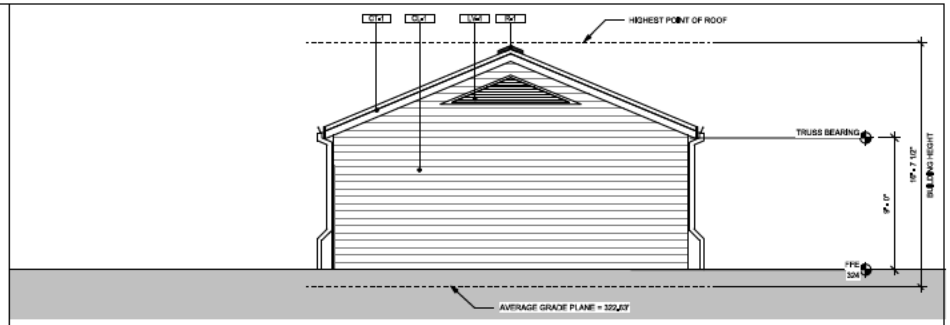
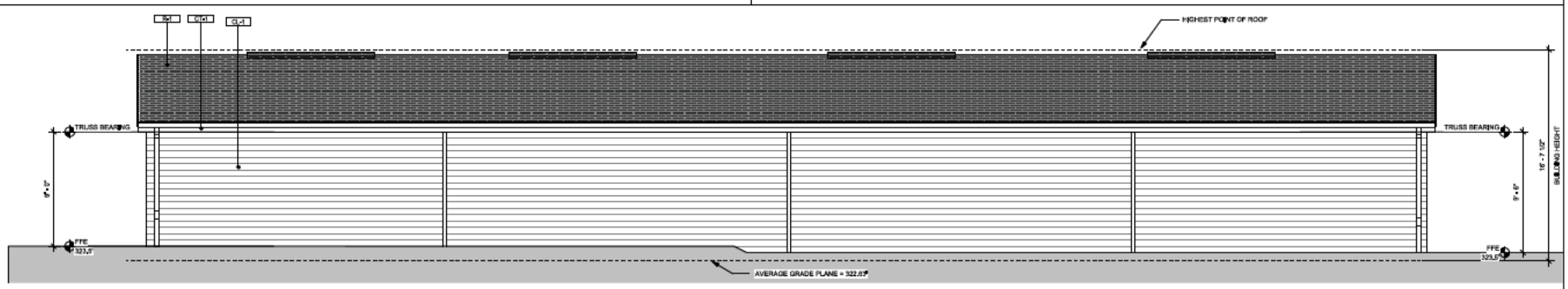
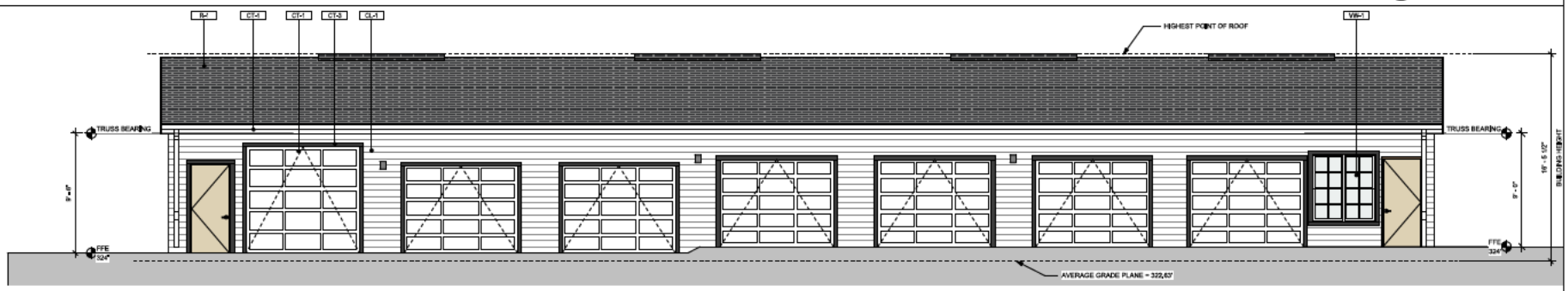


3 ELEVATION C
SCALE: 1/4" = 1'-0"



2 ELEVATION B
SCALE: 1/4" = 1'-0"



1 ELEVATION A
SCALE: 1/4" = 1'-0"

LEGEND

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AC-1	ALUMINUM CANOPY	PREFINISHED-BLACK	TBD
AS-1	ALUMINUM STOREFRONT	CLEAR ANODIZED	YKK 45 FS
BR-1	BRICK VENEER BRICK MORTAR	WHITE TBD	TBD MORTAMIX
CL-1	CEMENTITIOUS LAP SIDING	WHITE	ALLURA OR EQ.
CL-2	CEMENTITIOUS LAP SIDING	MEDIUM GRAY	ALLURA OR EQ.
CP-1	CEMENTITIOUS PANEL	WHITE	ALLURA OR EQ.
CP-2	CEMENTITIOUS PANEL	MEDIUM GRAY	ALLURA OR EQ.
CP-3	CEMENTITIOUS PANEL	DARK GRAY	ALLURA OR EQ.

CT-1	CEMENTITIOUS TRIM	WHITE	ALLURA OR EQ.
CT-2	CEMENTITIOUS TRIM	MEDIUM GRAY	ALLURA OR EQ.
CT-3	CEMENTITIOUS TRIM	DARK GRAY	ALLURA OR EQ.
D-1	DECORATIVE BRACKET	DARK GRAY	TBD
DS-1	DOWNSPOUT & SCUPPER	MATCH ADJACENT	TBD
L1-1	EXTERIOR LIGHT FIXTURE	TBD	TBD
LV-1	ARCHITECTURAL LOUVER	WHITE	TBD
R-1	ROOF - ASPHALT SHINGLES	GRAY	TBD
R-2	ROOF - STANDING SEAM METAL	SILVER	TBD

RC-1	ROWLOCK COURSE	WHITE	TBD
SC-1	SOLDIER COURSE	WHITE	TBD
S-1	BUILDING SIGNAGE - INTERNALLY ILLUMINATED	WHITE	TBD
VR-1	42" VINYL PICKET RAILING	WHITE	TBD
VW-1	VINYL WINDOW	WHITE	VINWINTECH 2100

KEY PLAN

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SUMNER BOULEVARD MULTIFAMILY

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RALEIGH, NC 27616

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ATLANTA, GA 30341

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TITLE:

GARAGE TYPE B - ELEVATIONS

SHEET NUMBER:

ASR-A6-04

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