



# Administrative Approval Action

Case File / Name: ASR-0013-2021  
DSLCL - 4800 Duraleigh Rd Subd

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the north side of Edwards Mill Road, east/west of Duraleigh Road at 4800 Duraleigh Road.

**REQUEST:** Development of a 17.17 acre/748,267 sf tract, as part of an 26.38 ac/1,149,371 sf parent tract, Lot 1 (as part of an approved SUB-0075-2020) zoned RX-5-CU into a ~+/-374,000/306 unit multi-unit apartment complex.

Board of Adjustment (BOA-0069-2020) - Approved January 11, 2021: A variance for relief from the 2'ft min ground floor elevation requirements per UDO Sec.3.2.3.G.1 & Sec.3.2.4.F.1 for apartment & townhomes building types. In addition a 70% min building width Primary Street build-to set forth in UDO Sec.3.2.3.E.2 for proposed townhomes on the south side of the proposed Neighborhood Street to allow for 45% min building width in the Primary Street; and an 70% building width in the Primary Street Build-to, per UDO Sec.3.2.3.E.2 for proposed townhomes on the east side of the proposed Neighborhood Local street to allow for 60% of building width in the Primary Street Build-to.

## DESIGN

### ADJUSTMENT(S)/

**ALTERNATES, ETC:** SUB-0075-2020: DSLCL - Preliminary Subdivision/Preliminary Subdivision

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 27, 2021 by JOHN A EDWARDS AND CO.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. The Post-Development Avg. calculation # listed & shown on the elevation sheets, for Building #3, is revised to match the average shown on the charts & Grading Sheet C4.01.
2. A label is provided for all maintenance repair rooms shown on the elevation illustration sheets, where applicable, on the Site Permit Review plans set.
3. The preliminary subdivision for Lots 1-3, SUB-0075-2020, is recorded with Wake Co. Register of Deeds and a copy of the approved, signed plat is included with the Site Permit Review plans set.



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## Public Utilities

4. A Water Model in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval prior to concurrent approval.

## Stormwater

5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

## Urban Forestry

8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
9. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

*The following items must be approved prior to recording the plat:*

## General

1. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.

## Engineering

2. A public infrastructure surety for 57 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

## Public Utilities

3. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Stormwater



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4. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.43 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Comply with all conditions of Z-47-2019 & BOA-0069-2020.
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

## Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

4. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
6. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



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## Urban Forestry

8. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 27 street trees along Mint Leaf Lane and 30 street trees along Cypress Tree Lane .
9. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

***The following are required prior to issuance of building occupancy permit:***

## General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
3. All street lights and street signs required as part of the development approval are installed.
4. Developer will construct a pedestrian connection from Duraleigh Road to the City of Raleigh Greenway Easement recorded in Deed Book 15580, page 938 of the Wake County Registry. This is accordance with Zoning Condition #11 from Ordinance 2020 141 ZC 802 (Z-47-17 - 4800 Duraleigh Road).
5. Developer to install sidewalk connection within 10' of future Crabtree Creek West Greenway Trail. Final section of sidewalk connection will be provided by City of Raleigh if the Crabtree Creek West Greenway Trail is not completed prior to final certificate of occupancy.

## Stormwater

6. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
7. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** November 4, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.



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## 4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alycia Bailey Taylor Date: 07/06/2021  
Development Services Dir/Designee  
Staff Coordinator:



VICINITY MAP  
NTS

ZONING CONDITIONS (Z-47-2019):

- USES SHALL BE LIMITED TO RESIDENTIAL AND ACCESSORY USES. BUILDING TYPES SHALL BE LIMITED TO TOWNHOUSES AND APARTMENTS.  
APARTMENTS ARE PROPOSED WITH THIS SITE PLAN. USES WILL BE FURTHER DEFINED IN SUBSEQUENT SITE PLANS BUT ULTIMATE USE TO BE RESIDENTIAL WITH TOWNHOUSES AND APARTMENTS.
- RESIDENTIAL DENSITY SHALL NOT EXCEED 14 UNITS PER ACRE.  
PARENT PARCEL TO HAVE MAXIMUM DENSITY OF 14 UNITS PER ACRE. INDIVIDUAL PARCEL DENSITY WILL VARY. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.
- APARTMENT BUILDING TYPES SHALL NOT BE PLACED WITHIN 150 FEET OF THE SOUTHERN AND EASTERN PROPERTY LINES.  
NO APARTMENT BUILDING TYPES ARE PROPOSED WITHIN 150 FEET OF SOUTHERN AND EASTERN PROPERTY LINES.
- BUILDINGS SHALL BE NO MORE THAN 68 FEET IN HEIGHT, AND SHALL BE A MAXIMUM OF 4 STORIES OR A 44 SPLIT. A 44 SPLIT IS A BUILDING THAT, FOR PURPOSES OF MEASURING HEIGHT, MAY CLASSIFY AS 6 STORIES UNDER THE UDO BUT IS A MAXIMUM OF 4 OCCUPABLE FLOORS ABOVE FINISHED GRADE ON THE UPHILL FACADE OF THE BUILDING, AND FOUR OCCUPABLE FLOORS ABOVE FINISHED GRADE ON THE DOWNHILL FACADE OF THE BUILDING.  
NO BUILDINGS PROPOSED WITH THIS SITE PLAN EXCEED THE PRESCRIBED BUILDING HEIGHT OR SPLIT.
- ALONG THE EASTERN AND SOUTHERN PROPERTY LINES, THE PROTECTIVE YARD WITHIN ZONE A OF THE NEIGHBORHOOD TRANSITION WILL MEET THE PLANTING REQUIREMENTS OF THE TYPE 3 (WIDE) YARD. ZONE A PROTECTIVE YARD ALONG THE EASTERN AND SOUTHERN PROPERTY LINES MEET TYPE 3 YARD PLANTING REQUIREMENTS. PLEASE NOTE SUBJECT ASR ONLY INCLUDES LOT 1 DEVELOPMENT. REQUIRED PLANTING SHOWN IS FOR LOT 1 ONLY (PORTION OF EASTERN PROPERTY LINE), AND REMAINING REQUIRED PLANTING IS ASSOCIATED WITH LOTS 2 & 3 AND WILL BE COMPLETED AS PART OF A SEPARATE ASR SUBMISSION.
- A PUBLIC PEDESTRIAN ACCESS EASEMENT SHALL BE PROVIDED FROM A PUBLIC STREET TO THE PROPERTY LINE SHARED WITH LOT 2 SHOWN ON BOOK OF MAPS 2016, PAGE 1715 (THE "CITY OF OAKS PARCEL"). PUBLIC PEDESTRIAN ACCESS EASEMENT SHOWN ON THIS SITE PLAN.
- NO RETAINING WALLS WILL BE PLACED WITHIN 50 FEET OF AN ADJACENT PARCEL CONTAINING A DETACHED HOUSE. MORE SPECIFICALLY LOTS 26, 28, AND 29 SHOWN ON BOOK OF MAPS 1991 PAGE 1302, AND LOTS 90, 91, 92, 93 AND 94 SHOWN ON BOOK OF MAPS 1983, PAGE 202 IN THE WAKE COUNTY REGISTRY (THE "ADJACENT RESIDENTIAL PARCELS").  
ALL RETAINING WALLS ARE MORE THAN 50' FROM PROPERTY LINES.
- ALONG THE ADJACENT RESIDENTIAL PARCELS, THE NEIGHBORHOOD TRANSITION YARD SHALL INCLUDE A NATURAL BUFFER OR TREE CONSERVATION AREA, IN A WIDTH OF TWENTY-FIVE (25) FEET, AVERAGED, AND A MINIMUM WIDTH OF FIFTEEN (15) FEET, FOR THE PORTION OF THE SITE THAT IS ADJACENT TO THE CITY OF OAKS PARCEL AND WHERE RESIDENTIAL BUILDINGS ARE ADJACENT TO THE CITY OF OAKS PARCEL, AND IN NO EVENT FEWER THAN 50% FROM THE INTERSECTION OF THE SOUTHWEST CORNER OF THE CITY OF OAKS PARCEL WITH THE SITE, THE NEIGHBORHOOD TRANSITION YARD SHALL INCLUDE A NATURAL BUFFER OR TREE CONSERVATION AREA, IN A WIDTH OF TWENTY-FIVE (25) FEET, AVERAGED.  
NEIGHBORHOOD TRANSITION YARD PROPOSED ADJACENT TO RESIDENTIAL PARCELS AND A MINIMUM OF 500' FEET FROM THE INTERSECTION OF THE SOUTHWEST CORNER OF THE CITY OF OAKS PARCEL AND THE SUBJECT PROPERTY. THE TRANSITION YARD INCLUDES A NATURAL BUFFER AND IS A MINIMUM OF 15 FEET WITH AN AVERAGE WIDTH OF AT LEAST 25 FEET. PLEASE NOTE SUBJECT ASR ONLY INCLUDES LOT 1 DEVELOPMENT. THE TRANSITION YARD IS SHOWN FOR LOT 1 ONLY, AND REMAINING PLANTING IS ASSOCIATED WITH LOTS 2 & 3 AND WILL BE COMPLETED AS PART OF A SEPARATE ASR SUBMISSION.
- ALONG THE ADJACENT RESIDENTIAL PARCELS, NEW PLANTING MATERIALS WITHIN THE NEIGHBORHOOD TRANSITION YARD SHALL NOT INCLUDE LEVY AND CYPRESS OR ANY OTHER SPECIES. NEW PLANTING MATERIALS SHALL INCLUDE ONE OR MORE OF: JAPANESE CEDAR (CRYPTOMERIA JAPONICA), NELY STEVENS HOLLY (ILEX X NELLEI R. STEVENS), AMERICAN HOLLY (ILEX OPACA), EASTERN RED CEDAR (JUNIPERUS VIRGINIANA), BRACKENS BROWN BEAUTY MAGNOLIA (MAGNOLIA BRACKENS BROWN BEAUTY), NATIVE OAK TREES, CHINESE FRINGE FLOWER (LOEPELOEIA CHINESE 'RUBY'), CHINDO VIBURNUM (VIBURNUM AMABUSU CHINDO), VIRGINIA SWEETSPICE (ITEA VIRGINICA), AND WINTERBERRY (LILLY VERTICILLATA). NEW PLANTING MATERIAL EXCLUDES RESTRICTED SPECIES ABOVE AND INCLUDES REQUESTED SPECIES REFER TO PLANTING PLAN FOR ADDITIONAL INFORMATION.
- NO BUILDING SHALL BE PLACED CLOSER THAN 55 FEET FROM ADJACENT RESIDENTIAL PARCELS.  
ADDITIONAL BUILDING PLACEMENT WILL BE DEFINED IN A SUBSEQUENT SITE PLAN BUT IN NO CASE WILL BE CLOSER THAN 55 FEET TO ADJACENT RESIDENTIAL PARCELS.
- DEVELOPER WILL CONSTRUCT A PEDESTRIAN CONNECTION FROM DURALEIGH ROAD TO THE CITY OF RALEIGH GREENWAY EASEMENT RECORDED IN DEED BOOK 15500, PAGE 938 OF THE WAKE COUNTY REGISTRY, AS LONG AS SUCH CONNECTION IS NOT REQUIRED BY THE CITY OF RALEIGH OR BY FEDERAL LAW TO BE ACCESSIBLE.  
PEDESTRIAN CONNECTION PROVIDED ON THIS SITE PLAN.
- ALL STORM WATER DRAINAGE FROM THE NEWLY DEVELOPED IMPERVIOUS SURFACES ON SITE WILL BE DIRECTED AWAY FROM THE ADJACENT RESIDENTIAL PARCELS TO PROPOSED STORM WATER CONTROL FACILITIES AND RELEASED TO CROATREE CREEK.  
FINAL STORM DRAIN DESIGN TO BE DETAILED IN SITE PERMITTING REVIEW PLANS, BUT IN NO INSTANCE WILL POINT DISCHARGE BE DIRECTED TO RESIDENTIAL PARCELS. ALL PROPOSED IMPERVIOUS WHICH CAN BE REASONABLY CAPTURED WILL BE DIRECTED TO THE STORMWATER CONTROL FACILITY PROPOSED IN SUB-0075-2020 BEFORE EVENTUAL DISCHARGE TO CROATREE CREEK OR DRAIN LEADING TO CROATREE CREEK.

# 4800 DURALEIGH ROAD APARTMENTS ADMINISTRATIVE SITE REVIEW 4800 DURALEIGH ROAD RALEIGH, NC 27612

ASR-0013-2021  
ASSOCIATED WITH SUB-0075-2020

FEBRUARY 24, 2021  
REVISED APRIL 23, 2021

REVISED: MAY 27, 2021

SHEET INDEX

- C0.00 COVER SHEET
- C1.00 EXISTING CONDITIONS PLAN
- C2.00 SITE PLAN
- C2.01 INTERSECTION SIGHT DISTANCE
- C2.02 ACCESSIBLE ROUTE PLAN
- C2.03 RETAINING WALL IDENTIFICATION PLAN
- C2.04 VEHICULAR MANEUVERING PLAN
- C3.01 UTILITY PLAN
- C3.01 FIRE ACCESS PLAN
- C4.00 OVERALL GRADING PLAN
- C4.01 FINE GRADING PLAN
- C4.02 FINE GRADING PLAN
- C4.03 FINE GRADING PLAN
- C4.04 FINE GRADING PLAN
- C4.05 FINE GRADING PLAN
- C4.06 FINE GRADING PLAN
- C4.07 FINE GRADING PLAN
- C4.08 FINE GRADING PLAN
- C4.10 AVERAGE GRADE PLAN CALCULATIONS
- C5.00 STORMWATER PLAN
- C6.00 LANDSCAPE PLAN
- C6.01 TREE CONSERVATION PLAN
- C8.00 SITE DETAILS
- C8.01 SITE DETAILS
- C8.02 SITE DETAILS
- C8.03 TRASH COMPACTOR AND RECYCLING ENCLOSURE
- L1.01 LIGHTING PLAN
- L1.02 LIGHTING PLAN
- CA3.11 BUILDING ELEVATIONS, BLDG 1
- CA3.12 BUILDING ELEVATIONS, BLDG 1
- CA3.12A BUILDING ELEVATIONS, BLDG 2
- CA3.13 BUILDING ELEVATIONS, BLDG 3
- CA3.13A BUILDING ELEVATIONS, BLDG 3
- CA3.14 BUILDING ELEVATIONS, BLDG 4
- CA3.15 BUILDING ELEVATIONS, BLDG 5
- CA12.04 BUILDING ELEVATIONS, CLUBHOUSE (BLDG 6)
- CA12.05 BUILDING ELEVATIONS, MAINTENANCE BUILDING

BOARD OF ADJUSTMENT CASE # REFERENCE: BOA-0069-2020

BOA-0069-2020 - 11/11/2021

Decision: Approved the following:

- A variance for complete relief from the 2 foot minimum ground floor elevation requirement set forth in Section 3.2.3.G.1 of the Unified Development Ordinance for all proposed townhouse buildings;
- A variance for complete relief from the 2 foot minimum ground floor elevation requirement set forth in Section 3.2.4.F.1 of the Unified Development Ordinance for all proposed apartment buildings;
- A variance from the 70% minimum building width in primary street build-out set forth in Unified Development Ordinance 3.2.3.E.2, for all proposed townhouse buildings on the south side of the proposed Neighborhood Street to allow for a 45% minimum building width in primary street build-out;
- A variance from the 70% building width in primary street build-out set forth in Unified Development Ordinance 3.2.3.E.2, for all proposed townhouse buildings on the east side of the proposed Neighborhood Local to allow for a 60% minimum building width in primary street build-out.

BLOCK PERIMETER EXEMPTION:

- No Exemption required to the North per Exemption 8.3.2.A.1.b.v.c. Directly North and running East of the property is Crabtree Creek.
- No Exemption required to the East per exemption 8.3.2.A.1.b.v.c. Directly East are existing detached single family homes on less than 2 acres and any continuation of a public road to the East would impact these lots. Continuation through the City of Oaks Foundation property would also result in impact to single family homes on less than 2 acres.
- No Exemption required to the South per exemption 8.3.2.A.1.b.v.c. and 8.3.2.A.1.b.v.c. Directly South are existing detached single family homes on less than 2 acres as well as a corporate care facility. Any continuation of public road to the south would impact single family lots less than 2 acres. Extension of a public street across the corporate care property would consume more than 15% of the property. (Property is 633' wide. A 50' local street with associated utility easements would consume 20% of that property).

TREE CONSERVATION NOTE:

This project is associated with subdivision SUB-0075-2020. All required tree conservation is included on the subdivision plan.

STORMWATER MANAGEMENT NOTE:

This project is associated with subdivision SUB-0075-2020. A wet pond is proposed as part of the subdivision, which will provide the required stormwater management for this site plan. The maximum impervious is defined on the subdivision set for each lot. The apartment development detailed herein proposes less impervious than the maximum allowance for lot 1, thus no additional stormwater management is required.

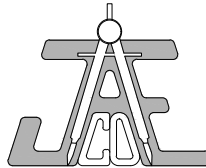
DEVELOPER:  
WP EAST ACQUISITIONS  
521 E. MOREHEAD ST, SUITE 350  
CHARLOTTE, NC 28202  
704-668-6544

CONSULTANT:  
DESIGN RESOURCE GROUP  
2459 WILKINSON BLVD, SUITE 200  
CHARLOTTE, NC 28208

JIM@DRGRP.COM  
704-641-0649

CIVIL ENGINEER:  
JAEKO  
333 WADE AVE  
RALEIGH, NC 27605

919-828-4428  
CAITLIN@JAEKO.COM



**Administrative Site Review Application**  
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 • Raleigh, NC 27601 (919) 696-2900

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.3. Please check the appropriate building types and indicate any plan checker document when submitting.

Office Use Only: Case # \_\_\_\_\_ Planter points: \_\_\_\_\_

Please review UDO Section 10.2.3, as amended by last change case TC-16-11 to determine the site plan fee. If assistance determining a Site Plan Fee is needed, a Site Plan Fee Verification request can be submitted online via the [Design and Construction DESIG](#) form. Please refer to the fee schedule document when submitting.

Site Plan Type: ☒ Two Two Site Plan ☐ Three Two Site Plan ☐ Three Three Site Plan

Building Type: ☐ Detached ☐ Attached ☐ Apartment ☐ Townhouse

Site Transaction History: Subdivision case #: SUB-0075-2020  
Supplemental plan case #: SC001-167-2020  
Certificate of Appropriateness #: \_\_\_\_\_  
Board of Adjustment #: BOA-0069-2020  
Zoning Case #: Z-47-2019  
Administrative Alternate #: \_\_\_\_\_

Development name: 4800 DURALEIGH APARTMENTS  
Inside City limits? Yes ☒ No ☐  
Property address: 4800 DURALEIGH ROAD, RALEIGH NC 27612  
Site PLAN(s): 0786-51-2559

Please describe the scope of work, include any additions, expansions, and change of use.  
PROPOSED APARTMENT COMPLEX WITH CLUBHOUSE AND ASSOCIATED SITE AND UTILITY IMPROVEMENTS. WET POND AND TREE CONSERVATION PART OF ASSOCIATED SUBDIVISION PLAN.

Current Property Owner/Developer Contact Name: CARLIS WILSON (Developer) Megan Aguiar (Subdivision Clerk) (Owner)  
NOTE: please attach purchase agreement when submitting Site Plans.  
Company: WP EAST ACQUISITIONS, LLC Title: VICE PRESIDENT  
Address: 1414 RALEIGH ROAD, SUITE 429, CHAPEL HILL, NC 27517  
Phone #: 919-355-0110 Email: CAITLIN.SHELLEY@WEEWOODPARTNERS.COM  
Applicant Name: JOHNNY EDWARDS/CAITLIN SHIELDS  
Company: JAEKO Address: 333 WADE AVE, RALEIGH NC 27605  
Phone #: 919-828-4428 Email: INFO@JAEKO.COM

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**DEVELOPMENT TYPE • SITE DATA TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning (detail if more than one, please provide the zoning of each): R15-G-U	Existing gross floor area (not to be demolished): 0
Gross site acreage: 26.39 AC	New gross floor area: 374,000 +/-
# of parking spaces proposed: 396	Total of gross (to remain and new): 374,000 +/-
Existing use: (detail if applicable) N/A	Proposed # of stories for each: VARIOUS (MAX 44 STORIES)
Proposed use: (UDO 6.1.4) APARTMENTS	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acre: 2.28 Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Allowed use: (UDO 10.2.3) CROATREE CREEK Flood study: INCLUDED IN SUB-0075-2020 FEMA Map Panel #: 370700001	Proposed Impervious Surface: Acre: 10.00 Square Feet: 500,880
Nearest River Buffer: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
Total # of dwelling units: 304 # of bedroom units: 104 # of lots: 1	Total # of total units: N/A # of lots: 1 Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**SIGNATURE BLOCK**

Development: \_\_\_\_\_  
In filing this plan as the primary event, I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I/We hereby designate: JAEKO \_\_\_\_\_ to serve as my agent regarding this application. To receive and respond to administrative communications, to respond plans on my behalf, and to represent me in any public meeting regarding this application.

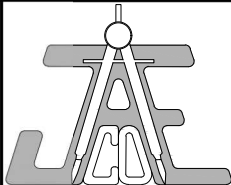
We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development plan. I acknowledge that this application is subject to the filing calendar and submitted policy, which states applications will expire after 180 days of receipt.

Signature: J. Edwards, J. Shields  
Printed Name: WP East Acquisitions, LLC Date: 2/23/21

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1. PRIMARY STREET DETERMINATION NOTE: PER TO 5A-1A, THE PRIMARY STREET DETERMINATION FOR LOT 1 SHALL BE DURALEIGH RD.

2. PER ZONING CONDITION 2, THE PARENT PARCEL DENSITY IS LIMITED TO A MAXIMUM OF 14 UNITS. THE INDIVIDUAL PARCEL DENSITY WILL VARY AND MAY EXCEED 14 UNITS AS LONG AS THE PARENT PARCEL DENSITY IS STILL IN COMPLIANCE WITH THE ZONING CONDITION.



JAEKO  
Consulting Engineers and Land Surveyors  
NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
Email: info@jaeco.com  
www.jaeco.com

4800 DURALEIGH ROAD  
APARTMENTS  
ASR-0013-2021  
4800 DURALEIGH ROAD  
RALEIGH, NC 27612

WP EAST ACQUISITIONS  
521 E. MOREHEAD ST, SUITE 350  
CHARLOTTE, NC 28202  
704-332-8995

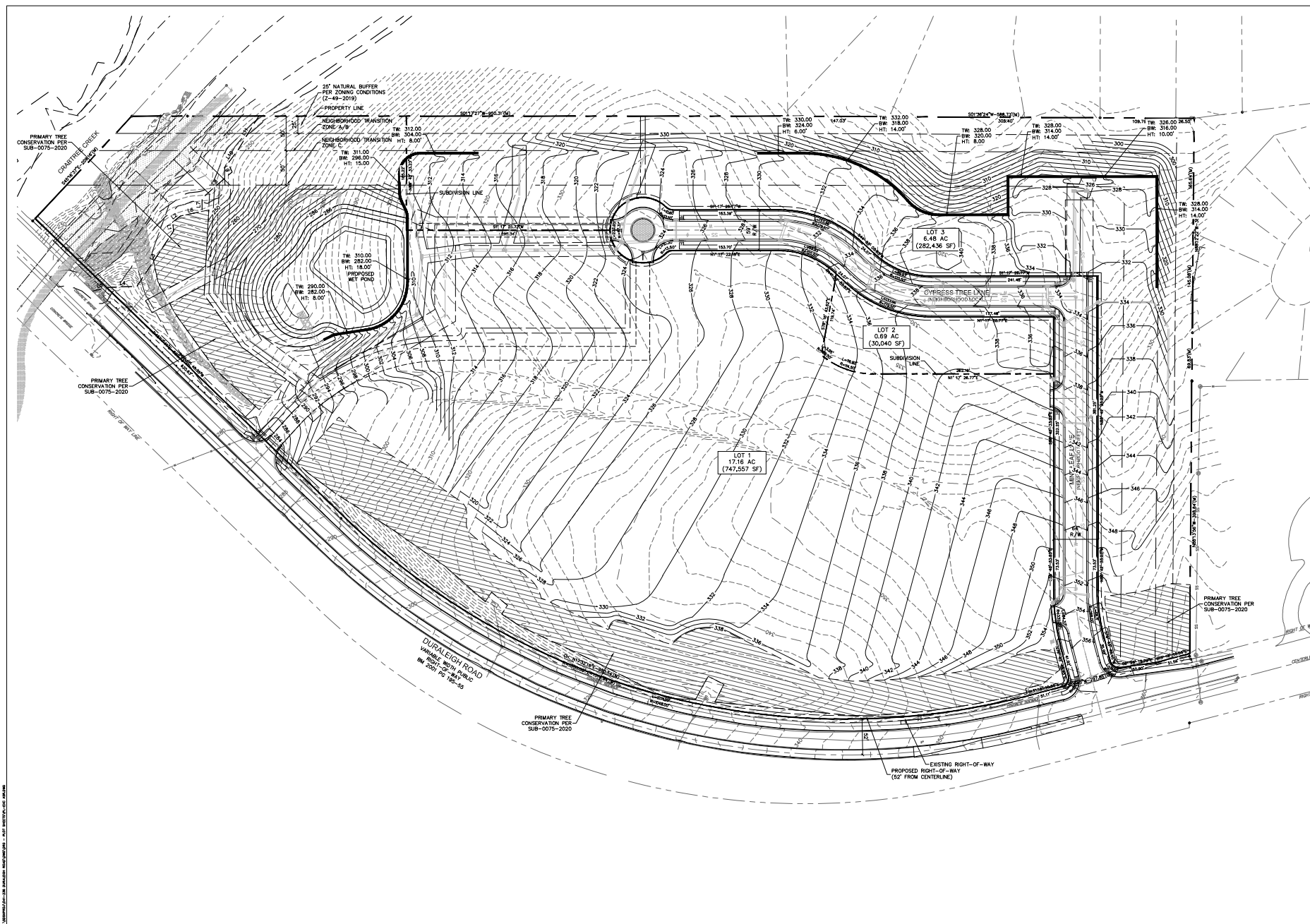
ABBREVIATIONS			
EX	EXISTING	NFV	NOT FIELD VERIFIED
APPROX	PROPOSED APPROXIMATE	TYP	TYPICAL
LOC	LOCATION	PP	FLOOD PLAN
SM	BOOK OF MAPS	FED	FEDERAL
DEED	DEED BOOK	AGENCY	AGENCY
ROW	RIGHT OF WAY	ENR	ENGINEERING
ENR	EXISTING RIGHT OF WAY	UNK	UNKNOWN
ENR	EXISTING RIGHT OF WAY	SWM	STORMWATER MANAGEMENT
ENR	EXISTING RIGHT OF WAY	ST	SQUARE FEET
ENR	EXISTING RIGHT OF WAY	AC	ACRE
ENR	EXISTING RIGHT OF WAY	LF	LINEAR FEET
ENR	EXISTING RIGHT OF WAY	UD	UNDERGROUND
ENR	EXISTING RIGHT OF WAY	GIS	GEOSPATIAL INFORMATION SYSTEM
ENR	EXISTING RIGHT OF WAY	NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
ENR	EXISTING RIGHT OF WAY	LEGEND	

LEGEND		
1	PER COR COMMENTS	04/23/21
2	PER COR COMMENTS	05/27/21

COVER SHEET		
Revision	Description	Date
1	PER COR COMMENTS	04/23/21
2	PER COR COMMENTS	05/27/21

JAEKO # 32101  
DRAWN BY: JDC  
CHECKED BY: JDC  
DATE ISSUED: 02/24/21

C0.0





ADMINISTRATIVE SITE  
REVIEW

4800 DURALEIGH ROAD  
RALEIGH, NORTH CAROLINA

WP EAST ACQUISITIONS  
921 E. MOREHEAD ST., SUITE 350  
CHARLOTTE, NC  
704.332.8995

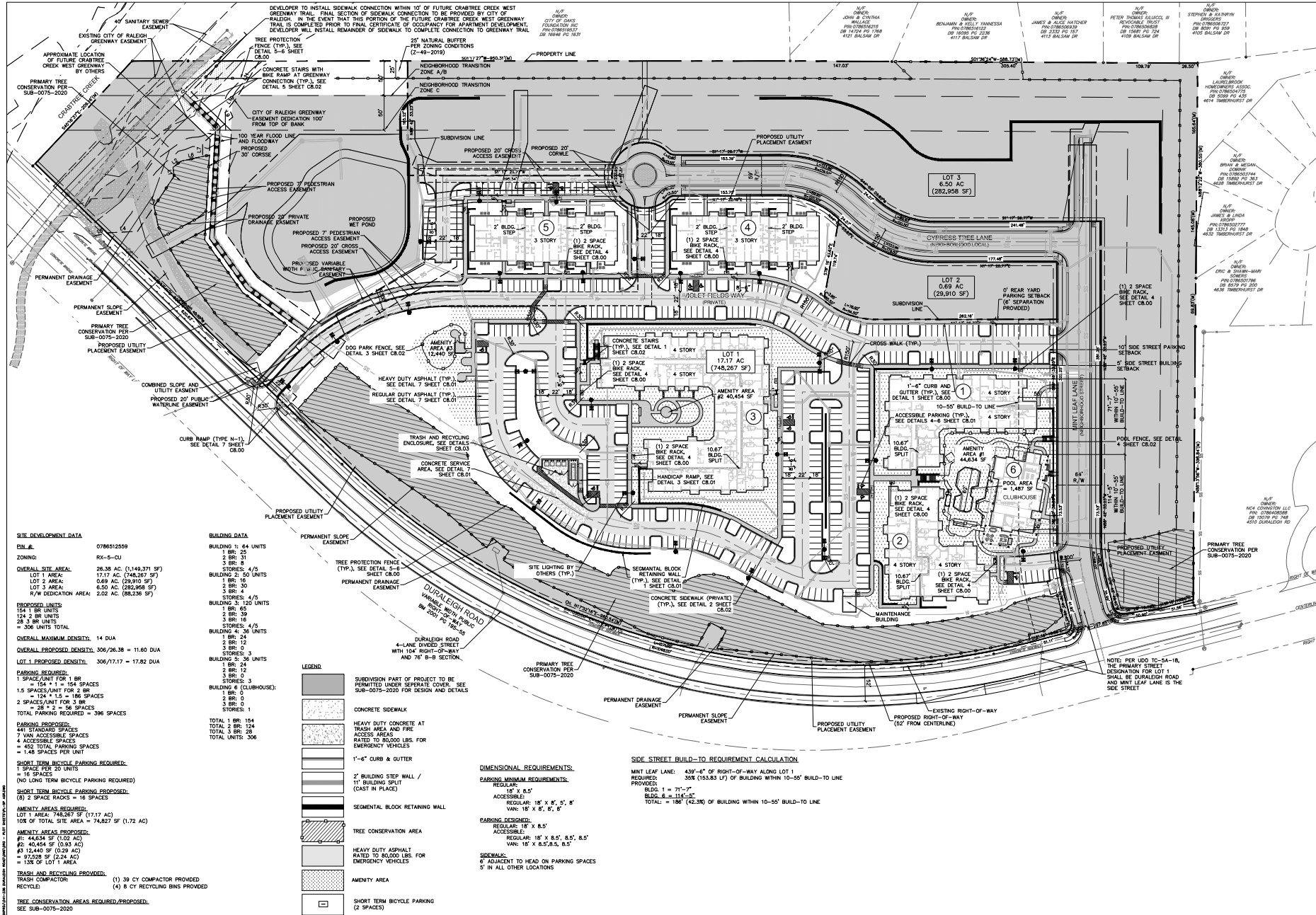
SITE PLAN

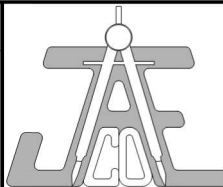
SCALE: 1"=60'

PROJECT #: 041-235  
DRAWN BY: JR  
CHECKED BY: JJS

MAY 27, 2021

REVISIONS:





**JAECO**  
Consulting Engineers and Land Surveyors

NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
Email: info@jaeco.com

www.jaeco.com

**PRELIMINARY**

**4800 DURALEIGH ROAD**  
**APARTMENTS**  
**ASR-0013-2021**  
**4800 DURALEIGH ROAD**  
**RALEIGH, NC 27612**

**WP EAST ACQUISITIONS**  
521 E. MOREHEAD ST., SUITE 350  
CHARLOTTE, NC 28202  
704-332-8995

#### ABBREVIATIONS

EX	EXISTING	N/F	NOT FIELD VERIFIED
APPROX	APPROXIMATE	TYP	TYPICAL
LOC	LOCATION	FP	FLOOD PLAN
SM	BOOK OF MAPS	FED	FEDERAL
DEED	DEED BOOK	EM	EMERGENCY
PG	PAGE	MAN	MANAGEMENT
ROW	RIGHT OF WAY	AG	AGENCY
EMAG	EX MAG NAL	SWM	STORMWATER
FCM	EX MAG NAL	UNK	UNKNOWN
SM	EX MAG NAL	ST	STORMWATER
SPS	EX MAG NAL	LF	LINEAR FEET
SS	EX MAG NAL	UD	UNIFORM
FW	EX MAG NAL	DEV	DEVELOPMENT
ELC	EX MAG NAL	GIS	GEOSPATIAL
FW	EX MAG NAL	IN	INFORMATION
TBD	TO BE DETERMINED	NCDOT	NORTH CAROLINA
TRBL	TO BE REMOVED	DEPT	DEPARTMENT
	TO BE RELOCATED	TRANS	TRANSPORTATION

#### LEGEND

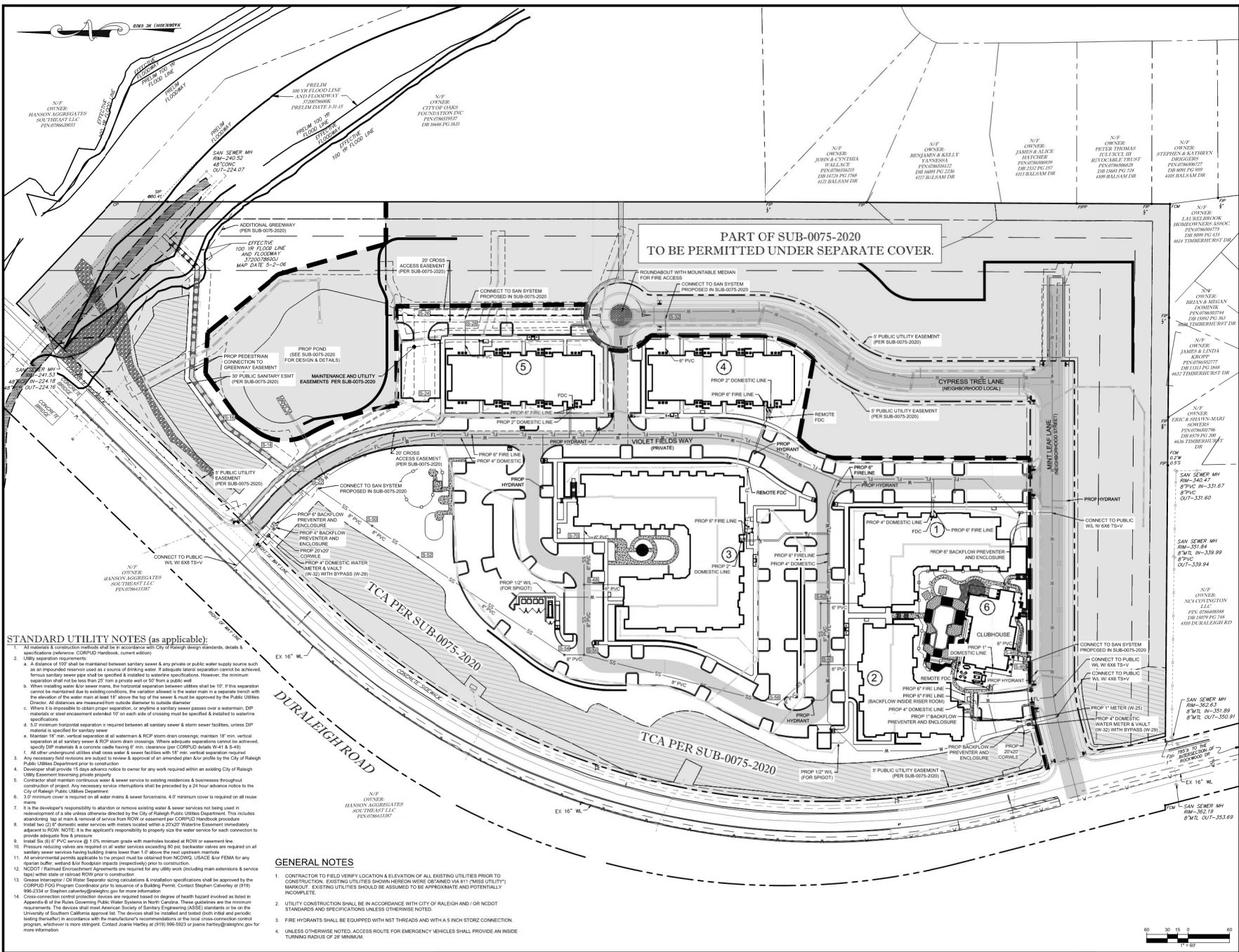
	PART OF SUB-0075-2020 (FOR REFERENCE ONLY)
	EX GREENWAY EASEMENT
	GREENWAY EASEMENT (PER SUB-0075-2020)
	PRIMARY TCA (PER SUB-0075-2020)
	PROP GREENWAY CONNECTION
	PROP WATER LINE
	PROP SEWER LINE
	EX WATER LINE
	EX SEWER LINE
	PROP MAJOR CONTOUR
	PROP MINOR CONTOUR
	PROP STORM DRAIN

#### UTILITY PLAN

Revision	Description	Date
1	PER COR COMMENTS	04/23/21
2	PER COR COMMENTS	05/27/21

JAECO 201-01  
DRAWING SCALE: 1" = 60'  
DRAWN BY: ID  
CHECKED BY: JRC  
DATE ISSUED: 02/24/21

**C3.00**

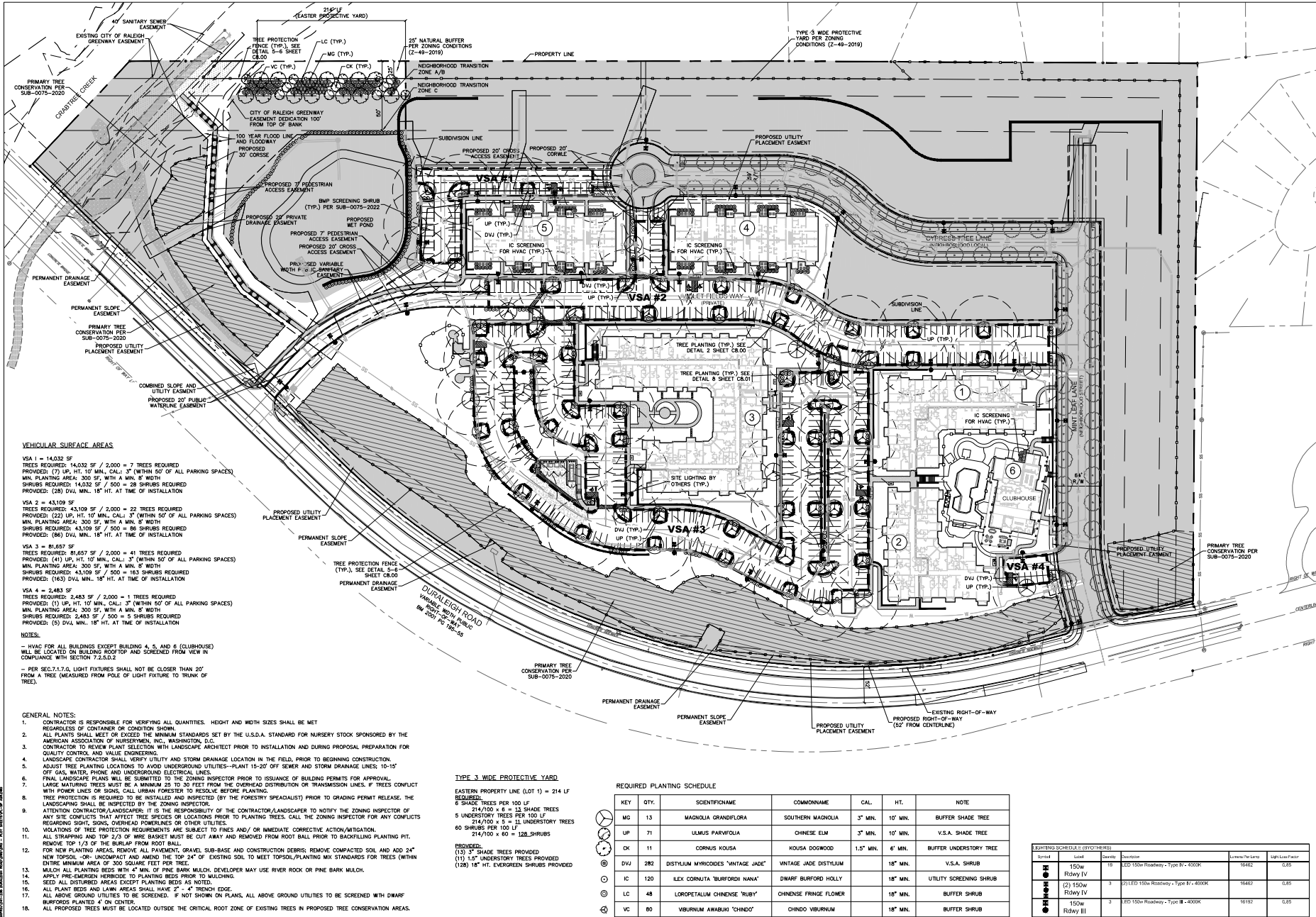


#### STANDARD UTILITY NOTES (as applicable):

- At minimum, construction methods shall be in accordance with City of Raleigh design standards, details & specifications reference: CORPUD Handbook, current edition.
- Utility separation requirements:
  - A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, minimum sanitary sewer pipe shall be specified & installed to satisfy these specifications. However, the minimum separation shall not be less than 20' from a private well or 30' from a public well.
  - When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the vertical clearance in the water main to a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
  - When it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or pipe encasement encased 10' on each side of crossing must be specified & installed to satisfy specifications.
  - A 1/2" minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - Maintain 18" min. vertical separation of all watermain & RCP storm drain crossings; maintain 18" min. vertical separation of all sanitary sewer & RCP storm drain crossings. Where adequate separation cannot be achieved, specify DIP materials & a concrete casing having 8" min. clearance (per CORPUD details W-4 & S-4-01).
- All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an attached plan & profile by the City of Raleigh Public Utilities Department prior to construction.
- Developer shall provide 15 days advance notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer forcemains; 4.0' minimum cover is required on all storm mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning top at man & removal of service from ROW or easement per CORPUD details W-4 & S-4-01.
- Install two (2) 6" domestic water services with meters located within a 25'x25' Water to Easement immediately adjacent to ROW. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install Six (6) 6" PVC service @ 1.0% minimum grade with manholes located at ROW or easement line.
- Pressure reducing valves are required on all water services exceeding 80 psi. Backwater valves are required on all sanitary sewer services having building drains lower than 12" above the read upstream manhole.
- All environmental permits applicable to the project must be obtained from NCEM, USACE & FEMA for any riparian buffer, wetland &/or floodplain impacts respectively prior to construction.
- NCSDOT: Raised Encasement Agreements are required for any utility work (including main extensions & service taps) within state or national ROW prior to construction.
- Geose Interceptor: On Water Separator along easements & installation specifications shall be approved by the CORPUD Flood Control Coordinator prior to issuance of a Building Permit. Contact Stephen Cokerley at (919) 966-2334 or Stephen.Cokerley@raleigh.gov for more information.
- Cross-construction credit protection devices are required based on degree of hazard required to be listed in Appendix B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The developer shall meet American Society of Sanitary Engineering (ASSE) standards for cross-construction credit protection. In accordance with ASSE standards, the developer shall install cross-construction credit protection program, whichever is more stringent. Contact James Hartley at (919) 966-5953 or james.hartley@raleigh.gov for more information.

#### GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA 811 (TIES UTILITY) MARKOUT. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- FIRE HYDRANTS SHALL BE EQUIPPED WITH NPT T-HEADS AND WITH A 5 INCH STORZ CONNECTION.
- UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.





BUILDING 1 - SOUTH ELEVATION CA 3  
1/16" = 1'-0"



BUILDING 1 - EAST ELEVATION CA 2  
1/16" = 1'-0"



BUILDING 1 - NORTH ELEVATION CA 1  
1/16" = 1'-0"

# GENERAL ELEVATION NOTES

- The architectural drawings must be used in conjunction with the civil, structural, MEP, and fire protection drawings and specifications. The contractor is responsible for all coordination between the drawings. Discrepancies should be brought to the attention of the architect.
- Rough finish and grades to be coordinated with the civil documents.
- All exterior grades shall be sloped away from the building for positive drainage.
- Provide resident between all dissimilar materials unless otherwise noted.
- Provide resident between window and door frames and adjacent wall material.
- Window and door frames are to be prefabricated to match the location or not to be field joints to align vertically and horizontally to the nearest 1/8".
- Provide vertical control points on all exterior walls and provide horizontal control points on all exterior walls as indicated on the elevations and as noted for architect's review.
- All horizontal and vertical panel joints are to match that of the panel in which they are being installed. Joints to be provided at each floor line per manufacturer's instructions.
- All panel edges to be matched up on site with brick and fiber cement panel samples for final approval.
- See A2.00 series drawings for wall section markers.

## AVERAGE GRADE PLANE CALCULATIONS

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

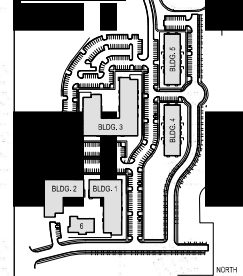
High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

High	Low	Average
322.25	341.58	341.915
Average of wall elevations: 341.915		

## LOCATION PLAN



PROJECT	2020	05/27/2021
ISSUE		
REVISIONS		
CONTENT	BUILDING ELEVATIONS, BLDG 1	

CA3.11

WOOD PARTNERS

4800 DURALEIGH ROAD

Raleigh, North Carolina 27612

NOT FOR CONSTRUCTION

J DAVIS

WOOD PARTNERS

2020 Coastal Street, Suite 100, Raleigh, NC 27601



### GENERAL ELEVATION NOTES

1. The architectural drawings must be used in conjunction with the civil, structural, MEP, and fire protection drawings and specifications. The contractor is responsible for all coordination between the drawings. Discrepancies should be brought to the attention of the architect.
2. Rough finish and grades to be coordinated with the civil documents.
3. All exterior grades shall be sloped away from the building for positive drainage.
4. Provide sealant between all dissimilar materials unless otherwise noted.
5. Provide sealant between window and door frames and adjacent wall material.

and in the event of a conflict, the architect's intent shall prevail. All materials are to be provided to match the color and texture of the existing materials. All materials are to be provided to match the color and texture of the existing materials. All materials are to be provided to match the color and texture of the existing materials.

6. All horizontal and vertical panel joints are to match that of the panel in which they are being installed. Joints to be provided at each floor line per manufacturer's instructions.
7. All panel edges to be matched up on site with brick and floor corner panel samples for final approval.
8. See A2.20 series drawings for wall section markers.

### AVERAGE GRADE PLANE CALCULATIONS

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

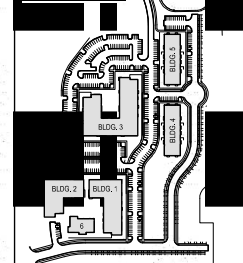
High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

High	Low	Average
322.25	341.58	344.915
Average of wall planes: 344.915		

### LOCATION PLAN



PROJECT	2020	11/10/2021
ISSUE		
REVISIONS		
CONTENT	BUILDING ELEVATIONS, BLDG 1	

CA3.11A

WOOD PARTNERS

4800 DURALEIGH ROAD

Raleigh, North Carolina 27612

NOT FOR CONSTRUCTION





BUILDING 2 - SOUTH ELEVATION CA 3  
1/16" = 1'-0"



BUILDING 2 - EAST ELEVATION CA 2  
1/16" = 1'-0"



BUILDING 2 - NORTH ELEVATION CA 1  
1/16" = 1'-0"

# GENERAL ELEVATION NOTES

- The architectural drawings must be used in conjunction with the civil, structural, MEP, and fire protection drawings and specifications. The contractor is responsible for all coordination between the drawings. Discrepancies should be brought to the attention of the architect.
- Rough finish and grades to be coordinated with the civil documents.
- All exterior grades shall be sloped away from the building for positive drainage.
- Provide sealant between all dissimilar materials unless otherwise noted.
- Provide sealant between window and door frames and adjacent wall material.
- Sealant is to be provided to match the existing sealant in the existing building. Sealant is to be applied vertically and horizontally around the window and door frames.
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## AVERAGE GRADE PLANE CALCULATIONS

High	Low	Average
322.25	341.58	346.915
Average of wall planes: 346.915		

High	Low	Average
321.33	325.33	323.33
Average of wall planes: 323.33		

High	Low	Average
322.08	318.08	320.08
Average of wall planes: 320.08		

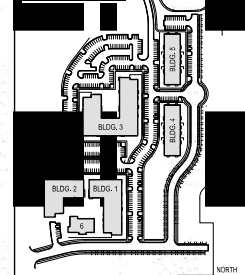
  

High	Low	Average
322.25	322.25	322.25
Average of wall planes: 322.25		

High	Low	Average
324.18	324.18	324.18
Average of wall planes: 324.18		

## LOCATION PLAN



PROJECT	2008	DATE	05.27.2021
ISSUE			
REVISIONS			
CONTENT	BUILDING ELEVATIONS, BLDG 2		

CA3.12



# GENERAL ELEVATION NOTES

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- All exterior grades shall be sloped away from the building for positive drainage.
- Provide sealant between all dissimilar materials unless otherwise noted.
- Provide sealant between window and door frames and adjacent wall material.

1. All horizontal and vertical panel joints are to be provided to match that of the panel in which they are being installed. Joints to be provided at each floor line per manufacturer's instructions.

2. All panel edges to be matched up on site with brick and floor corner panel samples for final approval.

3. See A2.20 series drawings for wall section markers.

and in the event of a vertical joint, the joint is to be provided to match that of the panel in which they are being installed. Joints to be provided at each floor line per manufacturer's instructions.

4. Provide horizontal control lines as indicated on the elevations and as noted for architect's review.

8. All horizontal and vertical panel joints are to be provided to match that of the panel in which they are being installed. Joints to be provided at each floor line per manufacturer's instructions.

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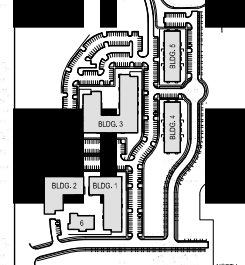
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8. All horizontal and vertical panel joints are to be provided to match that of the panel in which they are being installed. Joints to be provided at each floor line per manufacturer's instructions.

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10. See A2.20 series drawings for wall section markers.

# LOCATION PLAN



PROJECT	2000	DATE	05.27.2021
ISSUE			
REVISIONS			
CONTENT	BUILDING ELEVATIONS - BLDG 3		



BUILDING 3 - SOUTH ELEVATION CA 3  
1/16" = 1'-0"



BUILDING 3 - EAST ELEVATION CA 2  
1/16" = 1'-0"



BUILDING 3 - NORTH ELEVATION CA 1  
1/16" = 1'-0"

# GENERAL ELEVATION NOTES

- The architectural drawings must be used in conjunction with the civil, structural, MEP, and fire protection drawings and specifications. The contractor is responsible for all coordination between the drawings. Discrepancies should be brought to the attention of the architect.
- Rough finish and grades to be coordinated with the civil documents.
- All exterior grades shall be sloped away from the building for positive drainage.
- Provide sealant between all dissimilar materials unless otherwise noted.
- Provide sealant between window and door frames and adjacent wall material.
- Sealant is to be provided to match that of the panel in which they are being installed. Joints to be provided at each floor line per manufacturer's instructions.
- All panel sizes to be matched up on site with brick and floor corner panel samples for final approval.
- See A2.20 series drawings for wall section markers.

## AVERAGE GRADE PLANE CALCULATIONS

High	Low	Average
322.25	341.58	346.915
Average of wall planes: 346.915		

High	Low	Average
321.33	321.33	321.33
Average of wall planes: 321.33		

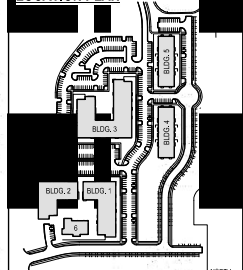
  

High	Low	Average
322.25	322.25	322.25
Average of wall planes: 322.25		

High	Low	Average
324.18	324.18	324.18
Average of wall planes: 324.18		

## LOCATION PLAN



PROJECT	2003	DATE	05.27.2021
ISSUE			
REVISIONS			
CONTENT	BUILDING ELEVATIONS, BLDG 3		

CA3.13



BUILDING 3 - EAST ELEVATION (COURTYARD) CA 3  
1/16" = 1'-0"



BUILDING 3 - NORTH ELEVATION (COURTYARD) CA 2  
1/16" = 1'-0"

### GENERAL ELEVATION NOTES

- The architectural drawings must be used in conjunction with the civil, structural, MEP, and fire protection drawings and specifications. The contractor is responsible for all coordination between the drawings. Discrepancies should be brought to the attention of the architect.
- Rough finish and grades to be coordinated with the civil documents.
- All exterior grades shall be sloped away from the building for positive drainage.
- Provide sealant between all dissimilar materials unless otherwise noted.
- Provide sealant between window and door frames and adjacent wall material.

and all window and door frames are to be prefinished to match the finish of the wall. All window and door frames are to be prefinished to match the finish of the wall. All window and door frames are to be prefinished to match the finish of the wall.

- All horizontal and vertical panel joints are to match that of the panel in which they are being installed. Joints to be provided at each floor line per manufacturer's instructions.
- All panel edges to be matched up on site with brick and floor corner panel samples for final approval.
- See A2.20 series drawings for wall section markers.

### AVERAGE GRADE PLANE CALCULATIONS

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
321.33	321.33	321.33
Average of wall planes: 321.33		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

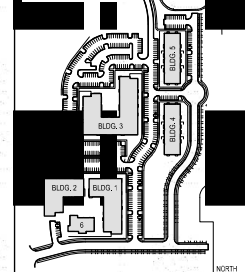
High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

High	Low	Average
322.25	321.58	321.915
Average of wall planes: 321.915		

### LOCATION PLAN



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CA3.13A

WOOD PARTNERS

4800 DURALEIGH ROAD

Raleigh, North Carolina 27612

NOT FOR CONSTRUCTION



BUILDING 4 - WEST ELEVATION 4  
1/16" = 1'-0"



BUILDING 4 - NORTH ELEVATION 3  
1/16" = 1'-0"



BUILDING 4 - SOUTH ELEVATION 2  
1/16" = 1'-0"



BUILDING 4 - EAST ELEVATION 1  
1/16" = 1'-0"

**GENERAL ELEVATION NOTES**

- The architectural drawings must be used in conjunction with the civil, structural, MEP, and fire protection drawings and specifications. The contractor is responsible for all coordination between the drawings. Discrepancies should be brought to the attention of the architect.
- Rough finish and grades to be coordinated with the civil documents.
- All exterior grades shall be sloped away from the building for positive drainage.
- Provide sealant between all dissimilar materials unless otherwise noted.
- Provide sealant between window and door frames and adjacent wall material.

and all joints are to be finished to match the existing conditions. All exterior grades shall be sloped away from the building for positive drainage. Provide sealant between all dissimilar materials unless otherwise noted. Provide sealant between window and door frames and adjacent wall material.

**AVERAGE GRADE PLANE CALCULATIONS**

High	Low	Average
322.25	341.58	331.915
Average of wall planes: 348.915		

High	Low	Average
322.25	341.58	331.915
Average of wall planes: 348.915		

High	Low	Average
322.25	341.58	331.915
Average of wall planes: 348.915		

High	Low	Average
322.25	341.58	331.915
Average of wall planes: 348.915		

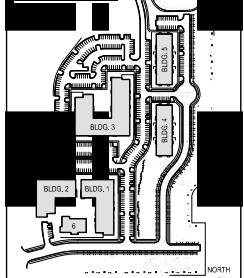
High	Low	Average
322.25	341.58	331.915
Average of wall planes: 348.915		

High	Low	Average
322.25	341.58	331.915
Average of wall planes: 348.915		

High	Low	Average
322.25	341.58	331.915
Average of wall planes: 348.915		

Per Section 15.7.A.2 (TC-40) of UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof including the parapet.

**LOCATION PLAN**



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BUILDING 5 - NORTH ELEVATION 3  
1/16" = 1'-0"



BUILDING 5 - SOUTH ELEVATION 2  
1/16" = 1'-0"



BUILDING 5 - WEST ELEVATION 1  
1/16" = 1'-0"

### GENERAL ELEVATION NOTES

- The architectural drawings must be used in conjunction with the civil, structural, MEP, and fire protection drawings and specifications. The contractor is responsible for all coordination between the drawings. Discrepancies should be brought to the attention of the architect.
- Rough finish and grades to be coordinated with the civil documents.
- All exterior grades shall be sloped away from the building for positive drainage.
- Provide sealant between all dissimilar materials unless otherwise noted.
- Provide sealant between window and door frames and adjacent wall material.
- Window and door units are to be prefabricated to match the location or are to be field pieces to align vertically and horizontally to the adjacent wall.
- Provide vertical control points on all exterior walls and doors. Provide horizontal control points on all exterior walls and doors. Provide vertical control points on all exterior walls and doors. Provide horizontal control points on all exterior walls and doors. Provide vertical control points on all exterior walls and doors. Provide horizontal control points on all exterior walls and doors.
- All horizontal and vertical panel joints are to match that of the panel in which they are being installed. Joints to be provided at each floor line per manufacturer's instructions.
- All panel edges to be matched up on site with brick and floor corner panel samples for final approval.
- See A2.20 series drawings for wall section markers.

### AVERAGE GRADE PLANE CALCULATIONS

High	Low	Average
322.25	341.58	348.915
Average of wall planes: 348.915		

High	Low	Average
324.00	321.33	322.665
322.25	320.50	321.375
320.50	320.50	320.50
Average of wall planes: 321.375		

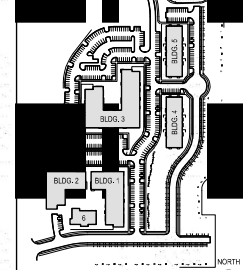
  

High	Low	Average
322.00	318.00	320.00
322.25	318.00	320.125
320.50	318.00	319.875
Average of wall planes: 320.00		

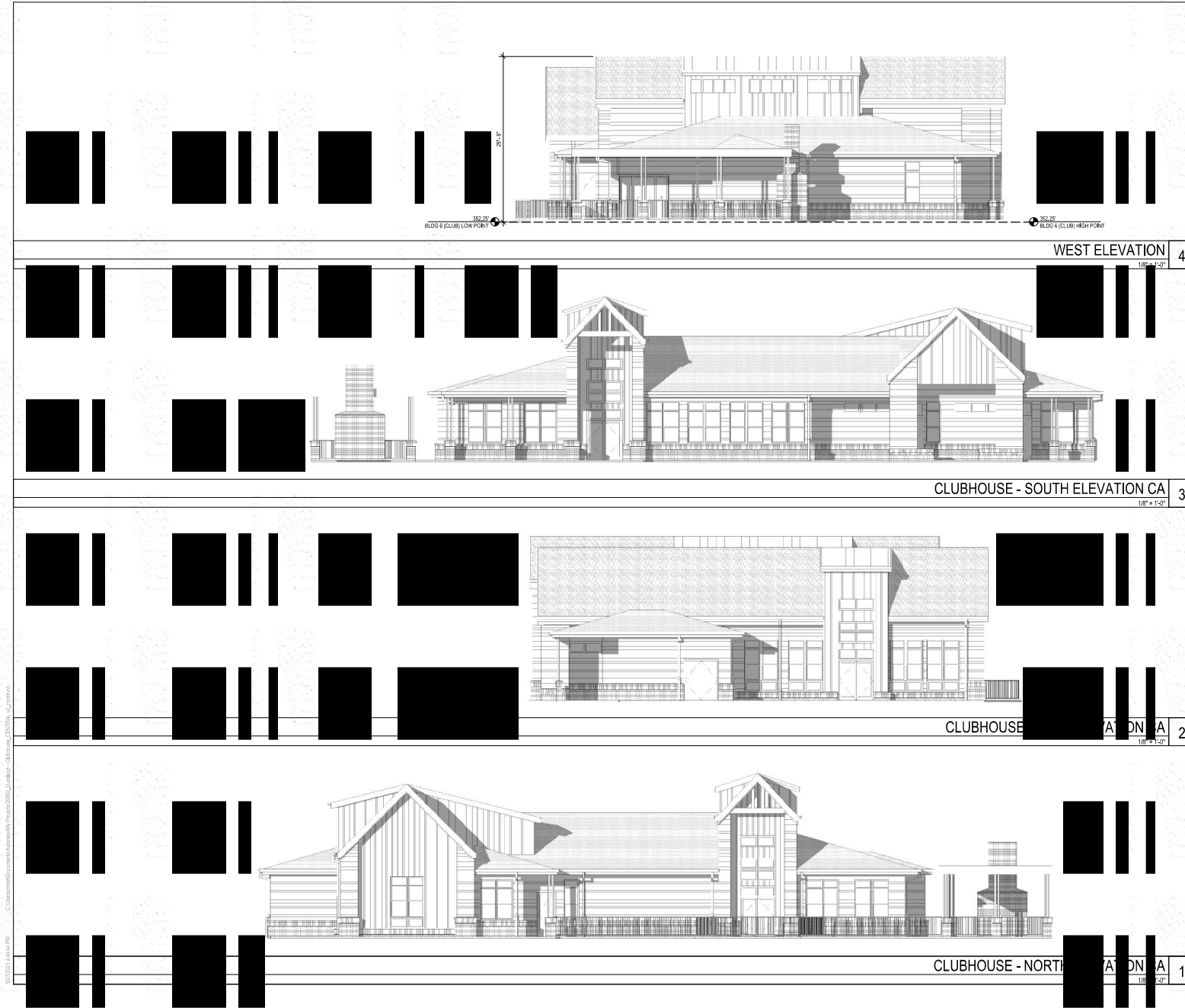
  

High	Low	Average
324.18	334.18	329.18
324.18	334.18	329.18
Average of wall planes: 329.18		

### LOCATION PLAN



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- ### GENERAL ELEVATION NOTES
- The architectural drawings must be used in conjunction with the civil, structural, MEP, and fire protection drawings and specifications. The contractor is responsible for all coordination between the drawings. Discrepancies should be brought to the attention of the architect.
  - Rough finish and grades to be coordinated with the civil documents.
  - All exterior grades shall be sloped away from the building for positive drainage.
  - Provide sealant between all dissimilar materials unless otherwise noted.
  - Provide sealant between window and door frames and adjacent wall material.

- All horizontal and vertical panel joints are to match that of the panel in which they are being installed. Joints to be provided at each floor line per manufacturer's instructions.
- All panel edges to be matched up on site with brick and floor corner panel samples for final approval.
- See A2.20 series drawings for wall section markers.

### AVERAGE GRADE PLANE CALCULATIONS

High	Low	Average
352.25	341.58	346.915
Average of wall planes: 346.915		

### Building 2

High	Low	Average
352.25	341.58	346.915
Average of wall planes: 346.915		

### Building 3

High	Low	Average
352.25	341.58	346.915
Average of wall planes: 346.915		

### Building 4

High	Low	Average
352.25	341.58	346.915
Average of wall planes: 346.915		

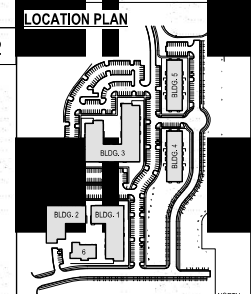
### Building 5

High	Low	Average
352.25	341.58	346.915
Average of wall planes: 346.915		

Per Section 1.5.7.A.2 (TC-40) of UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof including the parapet.

Average Grade shall be considered to be average post-development grade.

the building elevation must control and shall be used to determine the property slope contours to the average post-development grade.



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