



Administrative Approval Action

Case File / Name: ASR-0013-2023

DSLCL - REDEEMING LOVE MISSIONARY BAPTIST CHURCH

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 7.82 acre site zoned R-6 and within a shod-1 overlay is located on the north side of Rock Quarry on the northwest corner of the intersection of Rock Quarry and Stoney Springs Drive at 3425 Rock Quarry Road.

REQUEST: Proposed improvements include the permitting and expansion of the church parking area and associated storm water control improvements along with the recombination of property lines to allow future development.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 25, 2023 by ESP Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. If outdoor lighting is desired, a lighting plan and foot candle chart for the site is required demonstrating compliance to 7.4.4 and 7.4.5 of the UDO
2. To abandon the existing 20' CORSE there will need to be a "Release of Easement" deed recorded. The plat of the original conveyance of the easement can be used as the required exhibit for the release.
3. The proposed recombination of property lines shall be recorded and a copy of the recorded map shall be provided to the City.

Engineering

4. A fee-in-lieu for required streetscape for Rock Quarry Rd frontage shall be paid to the City of Raleigh (UDO 8.1.10).

Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
9. A tree impact permit must be obtained for the approved streetscape tree installations in the right-of-way. This development proposes 14 street trees along Rock Quarry Road.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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<input checked="" type="checkbox"/>	Transit Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

2. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).



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3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Transportation

4. A transit deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Urban Forestry

5. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.817 acres of tree conservation area.
6. Prior to approval for plat recordation, if street trees have not been planted during the planting season (October 1 – April 30) and subsequently inspected then a public infrastructure surety for 14 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion of infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A fee-in-lieu for required streetscape for Rock Quarry Rd frontage shall be paid to the City of Raleigh (UDO 8.1.10).

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).



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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: October 4, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

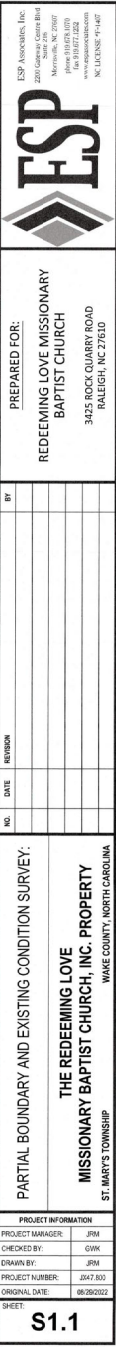
4-Year Completion Date:

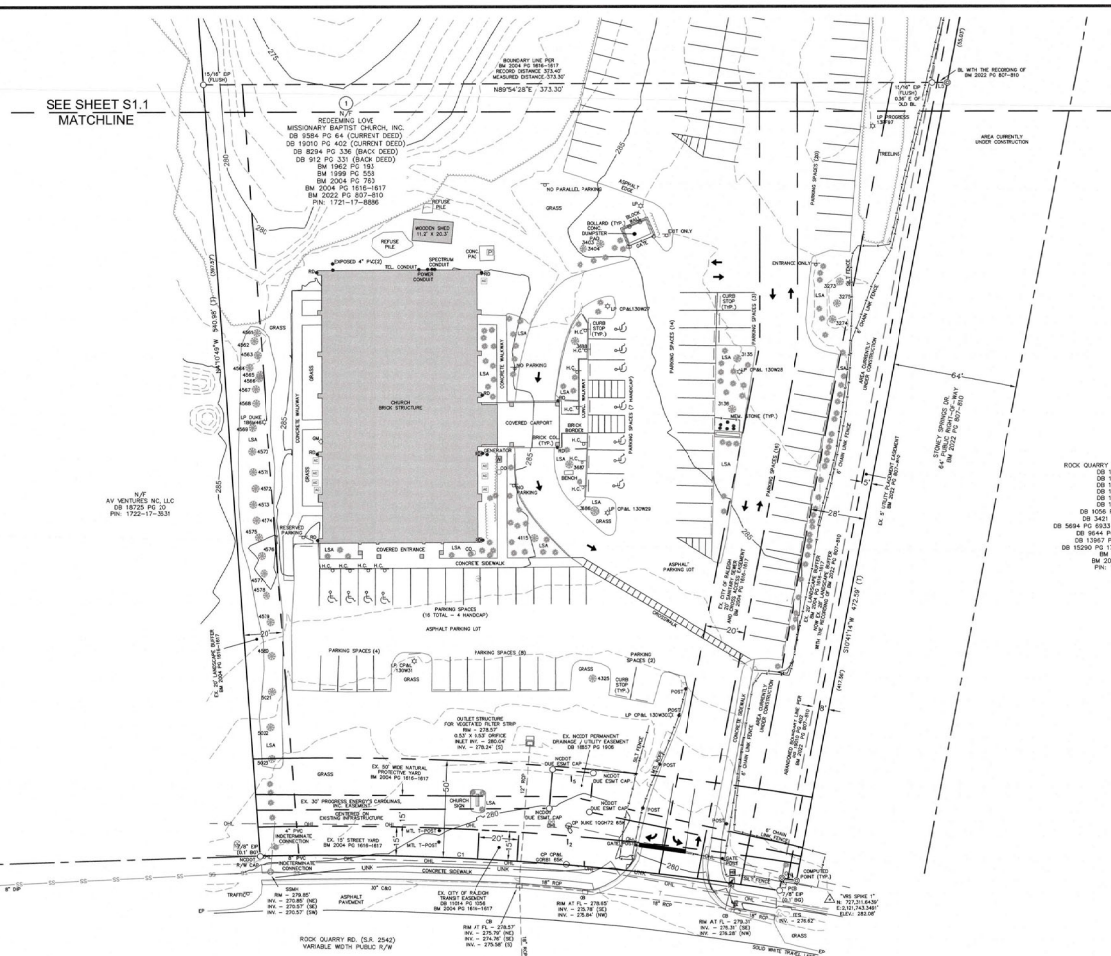
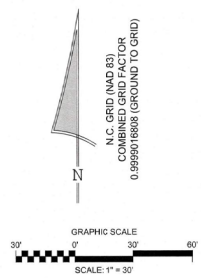
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 10/04/2023
Development Services Director/Designee
Staff Coordinator: Michael Walters

S1.0





Line #	Direction	Length
L1	N 80°40'29" W	8.00
L2	S 10°41'14" W	6.35
L3	N 4°21'20" W	31.27
L4	N 55°26'21" E	16.20
L5	N 89°54'28" E	8.14

Parcel Curve Table					
Curve #	Radius	Length	Bearing	Chord	Delta
C1	1461.89	266.95	N 86°06'00" W	266.58	10°27'45"
C2	568.00	139.92	N 3°37'50" E	139.58	14°06'49"

PROJECT INFORMATION		PREPARED FOR:	
PROJECT MANAGER:	JSM	REDEEMING LOVE MISSIONARY BAPTIST CHURCH	
CHECKED BY:	GWK	3425 POST QUARRY ROAD	
DRAWN BY:	250	RALEIGH, NC 27603	
PROJECT NUMBER:	10127.003		
ORIGINAL DATE:	10/26/2002		
SHEET:		BY	
S1.2			


Point #	Description
3355	MAPLE 9"
3356	UNKNOWN 7"
3273	UNKNOWN 4"
3274	UNKNOWN 3"
3275	MAPLE 10"
3403	MAPLE 3"
3404	UNKNOWN 13"
3686	MAPLE 3"
3687	MAPLE 9"
3688	UNKNOWN 9"
4115	UNKNOWN 10"
4325	UNKNOWN 8"
4561	CEDAR 3"
4562	PINE 5"
4563	CEDAR 15" TRIPLE
4564	PINE 11"
4565	MAPLE 5"
4566	CEDAR 7"
4567	MAPLE 5"
4568	CEDAR 14" DOUBLE
4569	CEDAR 18"
4570	CEDAR 17"
4571	CEDAR 20" DOUBLE
4572	CEDAR 7"
4573	CEDAR 15"
4574	CEDAR 15" DOUBLE
4575	PINE 18"
4576	CEDAR 21" DOUBLE
4577	PINE 18"
4578	CEDAR 6"
4579	CEDAR 19"
4580	CEDAR 23" DOUBLE
5021	CEDAR 20"
5022	CEDAR 21"
5023	CEDAR 18"
5074	POPLAR 3"
5075	POPLAR 8"
5076	POPLAR 3"
5077	POPLAR 3"
5078	SWEETGUM 5"
5079	SWEETGUM 5"
5080	POPLAR 3"
5081	PINE 7"
5082	PINE 8"
5083	PINE 7"
5084	PINE 9"
5085	PINE 12"
5086	PINE 6"
5087	ELM 4"
5088	SWEETGUM 3"
5089	SWEETGUM 4"
5090	PINE 12"
5091	PINE 12"
5092	PINE 7"
5093	MAPLE 3"
5094	HICKORY 4"
5095	POPLAR 3"
5096	PINE 18"
5097	PINE 5"
5098	PINE 13"
5099	SWEETGUM 5"
5100	SWEETGUM 5"
5601	MAPLE 3"
5602	MAPLE 3"
5603	MAPLE 3"
5604	SWEETGUM 8"
5605	SWEETGUM 7"
5606	HICKORY 3"
5607	SWEETGUM 4"
5608	MAPLE 3"
5609	SWEETGUM 10" DOUBLE
5610	MAPLE 3"
5611	HICKORY 3"
5612	SWEETGUM 5"
5613	MAPLE 15" CLUSTER
5614	PINE 10"
5615	HICKORY 3"
5616	HICKORY 5"
5617	PEAR 5"
5618	MAPLE 3"
5619	OAK 16" DOUBLE
5620	MAPLE 11"
5621	MAPLE 12" DOUBLE
5622	SWEETGUM 4"
5623	HOLLY 4"
5624	MAPLE 5"
5625	CHERRY 3"
5626	SWEETGUM 8"
5627	SWEETGUM 4"
5628	SWEETGUM 8"
5629	SWEETGUM 12"
5630	SWEETGUM 4"
5631	MAPLE 8" CLUSTER
5632	POPLAR 12"
5633	SWEETGUM 3"

Point #	Description
6834	SWEETGUM 4"
6835	SWEETGUM 4"
6836	SWEETGUM 6"
6837	POPLAR 4"
6838	OAK 12"
6839	POPLAR 17"
6840	POPLAR 10"
6841	POPLAR 16"
6842	MAPLE 13"
6843	SWEETGUM 14"
6844	POPLAR 24" CLUSTER
6845	POPLAR 4"
6846	SWEETGUM 6"
6847	HICKORY 4"
6848	UNKNOWN 8"
6849	UNKNOWN 9" DOUBLE
6850	MAPLE 5"
6851	SWEETGUM 10"
6852	SWEETGUM 4"
6853	MAPLE 6"
6854	PINE 7"
6855	PINE 4"
6856	PINE 11"
6857	POPLAR 4"
6858	MAPLE 3"
6859	MAPLE 2"
6860	SWEETGUM 5"
6861	OAK 3"
6862	OAK 6"
6863	OAK 3"
6864	SWEETGUM 3"
6865	SWEETGUM 3"
6866	SWEETGUM 3"
6867	UNKNOWN 3"
6868	OAK 7"
6869	PINE 11"
6870	PINE 12"
6871	SWEETGUM 10"
6872	MAPLE 3"
6873	SWEETGUM 12"
6874	SWEETGUM 3"
6875	MAPLE 4"
6876	MAPLE 3"
6877	MAPLE 4"
6878	PINE 11"
6879	PINE 12"
6880	PINE 6"
6881	PINE 4"
6882	OAK 3"
6883	SWEETGUM 4"
6884	SWEETGUM 4"
6885	SWEETGUM 3"
6886	SWEETGUM 3"
6887	UNKNOWN 3"
6888	OAK 7"
6889	PINE 11"
6890	PINE 12"
6891	SWEETGUM 10"
6892	MAPLE 3"
6893	SWEETGUM 12"
6894	SWEETGUM 3"
6895	MAPLE 4"
6896	SWEETGUM 9"
6897	PINE 10"
6898	SWEETGUM 3"
6899	MAPLE 3"
6900	PINE 10"
6901	PINE 10"
6902	PINE 9"
6903	HICKORY 8" CLUSTER
6904	PINE 4"
6905	OAK 8" DOUBLE
6906	PINE 8"
6907	SWEETGUM 3"
6908	PINE 5"
6909	MAPLE 4"
6910	MAPLE 6" CLUSTER
6911	SWEETGUM 7"
6912	PINE 9"
6913	PINE 12"
6914	PINE 9"
6915	PINE 9"
6916	SWEETGUM 4"
6917	PINE 8"
6918	PINE 8"
6919	PINE 6"
6920	SWEETGUM 4"
6921	SWEETGUM 3"
6922	PINE 6"
6923	PINE 8"
6924	PINE 5"
6925	OAK 3"
6926	PINE 10"
6927	SWEETGUM 3"
6928	MAPLE 3"
6929	HICKORY 7"
6930	SWEETGUM 10"
6931	OAK 3"
6932	OAK 7"
6933	HICKORY 4"

Point #	Description
6754	SWEETGUM 30" TRIPLE
6755	UNKNOWN 6"
6756	SWEETGUM 8"
6757	UNKNOWN 7"
6758	OAK 7"
6759	POPLAR 18"
6760	OAK 15" DOUBLE
6761	MAPLE 4"
6762	MAPLE 4"
6763	SWEETGUM 3"
6764	PINE 11"
6765	SWEETGUM 4"
6766	SWEETGUM 9" DOUBLE
6767	PINE 6"
6768	PINE 5"
6769	PINE 5"
6770	PINE 6"
6771	PINE 12"
6772	MAPLE 3"
6773	MAPLE 3"
6774	MAPLE 15" TRIPLE
6775	MAPLE 4"
6776	HICKORY 3"
6777	HICKORY 10"
6778	HICKORY 3"
6779	HICKORY 4"
6780	SWEETGUM 10"
6781	SWEETGUM 3"
6782	SWEETGUM 3"
6783	SWEETGUM 3"
6784	SWEETGUM 10"
6785	MAPLE 6"
6786	OAK 3"
6787	HICKORY 7"
6788	MAPLE 13" CLUSTER
6789	MAPLE 4"
6790	HICKORY 6"
6791	SWEETGUM 5"
6792	SWEETGUM 3"
6793	SWEETGUM 3"
6794	MAPLE 15" DOUBLE
6795	SWEETGUM 5"
6796	SWEETGUM 16"
6797	SWEETGUM 4"
6798	MAPLE 4"
6799	SWEETGUM 3"
6800	SWEETGUM 4"
6801	SWEETGUM 4"
6802	SWEETGUM 5"
6803	SWEETGUM 6"
6804	HICKORY 6"
6805	SWEETGUM 4"
6806	SWEETGUM 3"
6807	UNKNOWN 3"
6808	OAK 9"
6809	SWEETGUM 20"
6810	SWEETGUM 5"
6811	SWEETGUM 10"
6812	SWEETGUM 11"
6813	SWEETGUM 11"
6814	HICKORY 6"
6815	ASH 4"
6816	SWEETGUM 4"
6817	SWEETGUM 10"
6818	SWEETGUM 3"
6819	HICKORY 7"
6820	HICKORY 3"
6821	SWEETGUM 4"
6822	HICKORY 6"
6823	POPLAR 8"
6824	SWEETGUM 8"
6825	SWEETGUM 8"
6826	HICKORY 6"
6827	HICKORY 5"
6828	HICKORY 4"
6829	HICKORY 3"
6830	HICKORY 3"
6831	SWEETGUM 3"
6832	SWEETGUM 4"
6833	HICKORY 9"
6834	HICKORY 5"

Point #	Description
6835	HICKORY 6"
6836	SWEETGUM 4"
6837	HICKORY 14" DOUBLE
6838	HICKORY 3"
6839	SWEETGUM 3"
6840	HICKORY 3"
6841	SWEETGUM 3"
6842	HICKORY 3"
6843	SWEETGUM 3"
6844	SWEETGUM 8"
6845	HICKORY 8"
6846	SWEETGUM 4"
6847	CHERRY 4"
6848	MAPLE 4"
6849	HICKORY 5"
6850	HICKORY 8" CLUSTER
6851	SWEETGUM 9"
6852	SWEETGUM 5"
6853	SWEETGUM 7"
6854	PINE 5"
6855	OAK 3"
6856	SWEETGUM 7"
6857	POPLAR 9"
6858	PINE 11"
6859	PINE 5"
6860	PINE 10"
6861	SWEETGUM 7"
6862	SWEETGUM 7"
6863	OAK 3"
6864	MAPLE 3"
6865	MAPLE 3"
6866	MAPLE 3"
6867	MAPLE 3"
6868	SWEETGUM 3"
6869	SWEETGUM 7"
6870	MAPLE 3"
6871	MAPLE 4"
6872	OAK 4"
6873	HICKORY 3"
6874	POPLAR 30" TRIPLE
6875	MAPLE 22" TRIPLE
6876	OAK 3"
6877	PINE 10"
6878	PINE 9"
6879	OAK 5"
6880	PINE 14"
6881	HICKORY 6"
6882	MAPLE 4"
6883	OAK 5"
6884	OAK 4"
6885	OAK 10"
6886	OAK 3"
6887	UNKNOWN 5"
6888	OAK 4"
6889	OAK 4"
6890	OAK 6"
6891	OAK 9"
6892	OAK 3"
6893	SWEETGUM 6"
6894	HICKORY 3"
6895	OAK 4"
6896	OAK 4"
6897	HICKORY 5"
6898	MAPLE 9" DOUBLE
6899	SWEETGUM 16"
6900	HICKORY 3"
6901	HICKORY 3"
6902	OAK 5"
6903	SWEETGUM 3"
6904	SWEETGUM 6"
6905	UNKNOWN 3"
6906	MAPLE 12" TRIPLE
6907	SWEETGUM 4"
6908	SWEETGUM 5"
6909	HICKORY 4"
6910	SWEETGUM 6"
6911	SWEETGUM 4"
6912	HICKORY 3"
6913	HICKORY 5"
6914	SWEETGUM 6"
6915	HICKORY 7" DOUBLE
6916	OAK 4"
6917	CEDAR 3"
6918	SWEETGUM 6"
6919	OAK 3"
6920	OAK 4"
6921	PINE 3"
6922	OAK 3"
6923	SWEETGUM 6"
6924	SWEETGUM 5"
6925	SWEETGUM 7"
6926	SWEETGUM 5"
6927	SWEETGUM 9"
6928	PINE 6"
6929	SWEETGUM 4"
6930	SWEETGUM 3"
6931	OAK 4"
6932	SWEETGUM 5"
6933	OAK 5"

Point #	Description
6934	PINE 6"
6935	PINE 12"
6936	SWEETGUM 4"
6937	SWEETGUM 5"
6938	SWEETGUM 14" DOUBLE
6939	HICKORY 3"
6940	SWEETGUM 4"
6941	SWEETGUM 18" DOUBLE
6942	PINE 9"
6943	SWEETGUM 4"
6944	OAK 4"
6945	SWEETGUM 6"
6946	SWEETGUM 3"
6947	PINE 7"
6948	PINE 4"
6949	OAK 4"
6950	OAK 4"
6951	SWEETGUM 4"
6952	PINE 8"
6953	PINE 5"
6954	PINE 8"
6955	PINE 5"
6956	PINE 8"
6957	PINE 8"
6958	PINE 8"
6959	PINE 7"
6960	OAK 3"
6961	SWEETGUM 15" DOUBLE
6962	UNKNOWN 4"
6963	UNKNOWN 6"
6964	SWEETGUM 14"
6965	PINE 10"
6966	OAK 3"
6967	OAK 3"
6968	PINE 6"
6969	OAK 3"
6970	ELM 3"
6971	ELM 4"
6972	PINE 4"
6973	OAK 5"
6974	PINE 6"
6975	MAPLE 5"
6976	MAPLE 5"
6977	MAPLE 5"
6978	MAPLE 5"
6979	MAPLE 5"
6980	MAPLE 5"
6981	MAPLE 5"
6982	MAPLE 5"
6983	MAPLE 5"
6984	MAPLE 5"
6985	MAPLE 5"
6986	MAPLE 5"
6987	MAPLE 5"
6988	MAPLE 5"
6989	MAPLE 5"
6990	MAPLE 5"
6991	MAPLE 5"
6992	MAPLE 5"
6993	MAPLE 5"
6994	MAPLE 5"
6995	MAPLE 5"
6996	MAPLE 5"
6997	MAPLE 5"
6998	MAPLE 5"
6999	MAPLE 5"
7000	MAPLE 5"



ESP
Associates, Inc.
200 West 10th Street, Suite 200
Norfolk, NC 28501
Phone: 757/637-1222
Fax: 757/637-1222
www.espnc.com
N.C. LICENSE #1442

THE REDEEMING LOVE
MISSIONARY BAPTIST CHURCH, INC. PROPERTY
ST. MARTY'S TOWNSHIP
WAKE COUNTY, NORTH CAROLINA

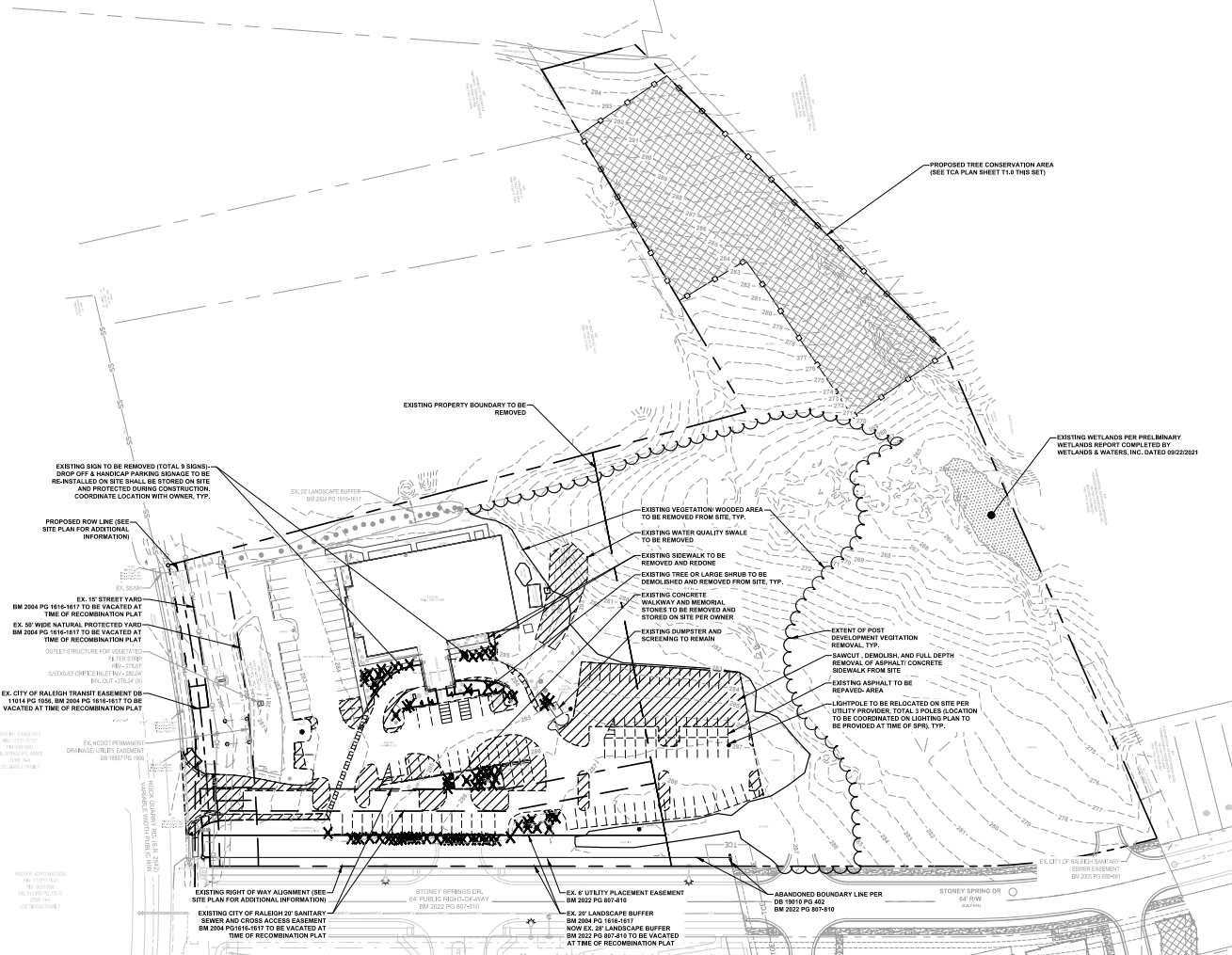
REDEEMING LOVE MISSIONARY BAPTIST CHURCH
3425 ROCK QUARRY ROAD
HALEIGH, NC 27540

PREPARED FOR:
REDEEMING LOVE MISSIONARY BAPTIST CHURCH
HALEIGH, NC 27540

PARTIAL BOUNDARY AND EXISTING CONDITION SURVEY:
THE REDEEMING LOVE MISSIONARY BAPTIST CHURCH, INC. PROPERTY
ST. MARTY'S TOWNSHIP
WAKE COUNTY, NORTH CAROLINA

PROJECT INFORMATION
PROJECT MANAGER: JRM
CHECKED BY: GJK
DRAWN BY: JRM
PROJECT NUMBER: J447.636
ORIGINAL DATE: 08/26/2012
SHEET:

8/10/2021 1:05:07 PM - Redemptive Love Missionary Baptist Church - 11000 1st Street, Raleigh, NC 27601 - 11000 1st Street, Raleigh, NC 27601

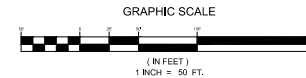


DEMOLITION NOTES

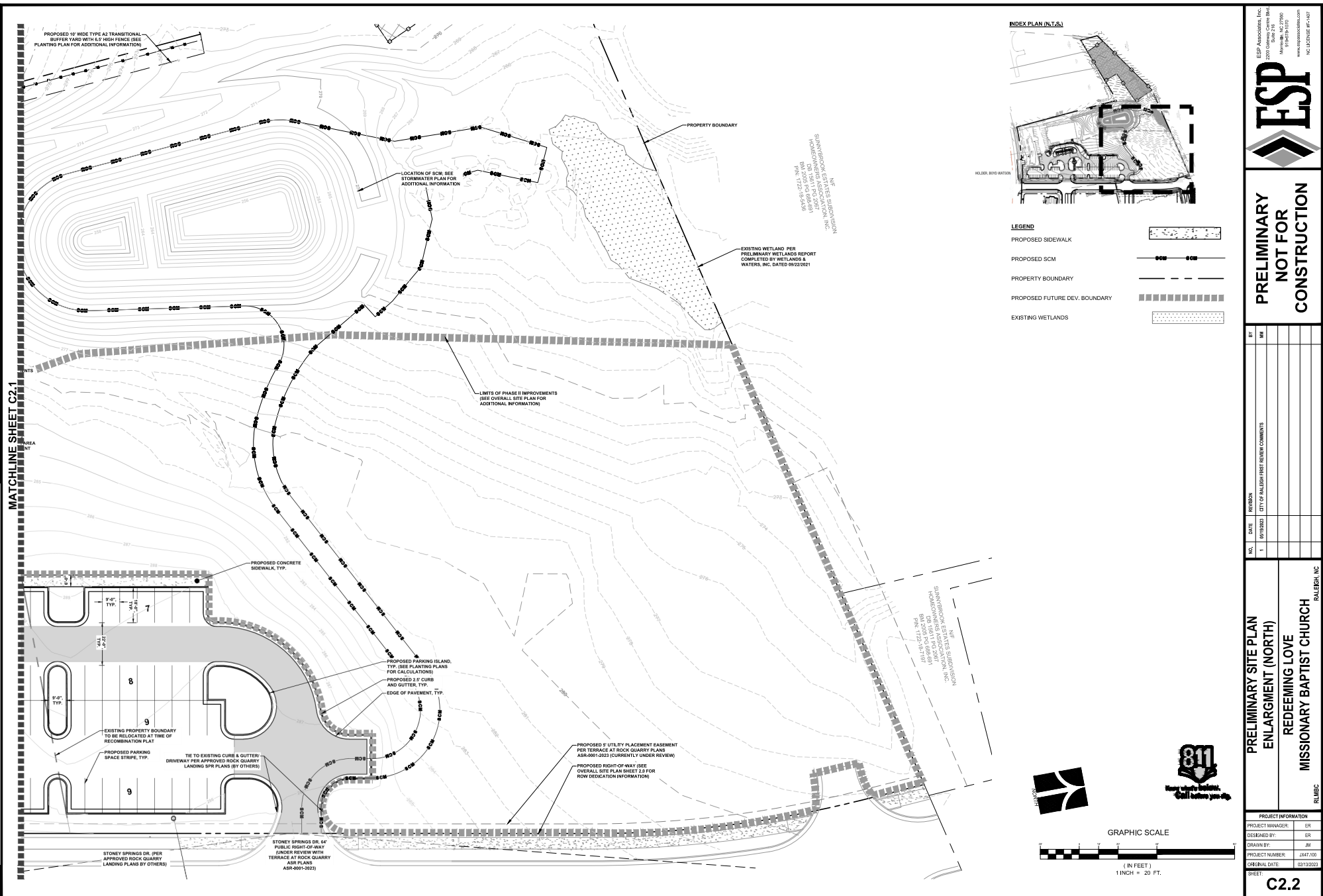
1. THE PURPOSE OF THIS PLAN IS FOR DEMOLITION ONLY.
2. ALL NECESSARY PERMITS FOR DEMOLITION SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING WORK. CONTRACTOR SHALL PROTECT ALL ADJACENT LANDS FROM DAMAGE DURING DEMOLITION WORK.
3. PRIOR TO THE BEGINNING OF CONSTRUCTION, CONTRACTOR SHALL TEST BORE DESIGNATED AREAS WITHIN EXISTING PARKING LOT TO ANALYZE EXISTING PAVEMENT SECTION AND ENSURE IT MEETS CODE REQUIREMENTS. ENGINEER OF RECORD AND OWNER SHALL BE NOTIFIED OF FINDINGS ONCE BORES ARE COMPLETED.
4. ANY OFF SITE AREAS DISTURBED SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION.
5. DEMOLITION MATERIALS SHALL NOT BE USED FOR FILL MATERIAL. UNSUITABLE FILL MATERIAL SHALL BE LEGALLY DISPOSED OF OFF SITE. ALL DEBRIS SHALL BE LEGALLY HAULED OFF SITE TO A DISPOSAL AREA APPROVED BY THE STATE OF NORTH CAROLINA FOR THE HANDLING OF DEMOLITION DEBRIS.
6. ALL MATERIAL, EXCEPT THAT BELONGING TO A PUBLIC OR PRIVATE UTILITY COMPANY, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY ALL UTILITY PROVIDERS WITH LINES AND APPURTENANCES TO BE AFFECTED BY CONSTRUCTION WHEN WATER, GAS, AND ELECTRIC LINES, PIPES, AND APPURTENANCES ARE READY FOR REMOVAL OR ADJUSTMENT AND SHALL BE RESPONSIBLE FOR DISCONNECTING ALL UTILITIES IN COMPLIANCE WITH THE WAKE COUNTY AND UTILITY PROVIDER REQUIREMENTS.
7. ALL STRUCTURES NOT LABELED FOR DEMOLITION SHALL BE PROTECTED FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL PHOTOGRAPH AND DOCUMENT CONDITION OF ALL STRUCTURES TO REMAIN, AND SHALL STORE PHOTOGRAPHS AND DOCUMENTATION. ANY STRUCTURES THAT ARE TO REMAIN THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION AT NO ADDITIONAL COST. THE OWNER AND LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED OF DAMAGE TO ANY EXISTING STRUCTURE.
8. ALL CURB AND GUTTER AND SIDEWALKS NOTED FOR REMOVAL SHALL BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED.
9. ALL ASPHALT CUTS SHALL BE MADE WITH A SAW WHEN PREPARING PAVED SURFACES FOR PATCHING OR WIDENING.
10. CONSTRUCTION ENTRANCE AND SILT FENCE PER THE APPROVED EROSION CONTROL PLANS SHALL BE IN PLACE PRIOR TO DEMOLITION OPERATIONS.
11. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE LIFE OF THE PROJECT.
12. AS SOON AS DEMOLITION WORK HAS BEEN COMPLETED AND APPROVED BY THE OWNER, INSTALLATION OPERATIONS SHALL BE PERFORMED AS DESCRIBED IN LAYOUT AND LANDSCAPE PLANS.

LEGEND

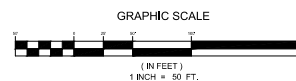
- PROPOSED TREE PROTECTION FENCE
- TREE CONSERVATION AREA
- EXISTING FEATURE TO BE REMOVED
- EXISTING TREE OR INDIVIDUAL SHRUB TO BE REMOVED
- EXISTING WETLAND FEATURE



PRELIMINARY NOT FOR CONSTRUCTION			
DEMOLITION PLAN			
REDEEMING LOVE MISSIONARY BAPTIST CHURCH			
RALEIGH, NC			
PROJECT INFORMATION			
PROJECT MANAGER:	ER	DATE:	08/10/2021
DRAWN BY:	JP	DATE:	08/10/2021
PROJECT NUMBER:	1047-100	DATE:	08/10/2021
ORIGINAL DATE:	08/10/2021	DATE:	08/10/2021
SHEET:	C1.1	DATE:	08/10/2021



BRIDGE ON ROCK QUARRY ROAD OVER I-40



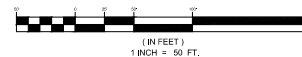
- GRADING NOTES:**
1. THIS PROPERTY IS SUBJECT TO ANY AND ALL APPLICABLE DEED RESTRICTIONS, EASEMENTS, RIGHTS-OF-WAYS, UTILITIES AND COVENANTS WHICH ARE OF RECORD.
 2. WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND STANDARD CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. THE CONTRACTOR MUST HAVE A COMPLETE SET OF PLANS AND SPECIFICATIONS ON THE JOB SITE ANY TIME WORK IS BEING PERFORMED.
 3. CONTRACTOR IS RESPONSIBLE FOR CONTRACTOR'S EXPENSE FOR ENSURING AND OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR DRAINAGE, BUILDING, DRIVEWAY, ERECTION, SURVEYOR SPECIAL USE, WATER AND SEWER PERMITS AND APPROVALS.
 4. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR DRAINAGE, BUILDING, DRIVEWAY, ERECTION, SURVEYOR SPECIAL USE, WATER AND SEWER PERMITS AND APPROVALS.
 5. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR CONTACTING ALL APPROPRIATE UTILITIES AND ENSURING THAT UTILITIES ARE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACCORDING TO STATE LAW. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION.
 6. CONTRACTOR SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE TO THE APPROPRIATE UTILITY SERVICE PROVIDER PRIOR TO ANY INTERRUPTION OF AN EXISTING UTILITY.
 7. WHEN UNDERGROUND OBSTRUCTIONS NOT SHOWN ON THE CONSTRUCTION DRAWINGS ROAD, PAVING, ETC. ARE ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY REPORT THE DISCOVERY TO THE OWNER'S ENGINEER. ALL CHANGES MUST BE APPROVED IN WRITING BY THE ENGINEER BEFORE CONSTRUCTION CAN PROCEED.
 8. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION.
 9. CLEARING AND GRUBBING SHALL BE PERFORMED WITHIN THE LIMITS SHOWN ON THE PLANS, ALL TREES, BRUSH, ROOTS, STUMPS, TRUNKS, OR OTHER VEGETATION CUT DURING THE CLEARING OPERATIONS SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY TO REMOVE. ALL TREES AND LIMBS AND LIMBS REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR OR SATISFACTORY DISPOSED OF OFFSITE WITH APPROVAL FROM THE CITY.
 10. ROAD SHOULDER, SWALES, BACK-FILL FOR CURB AND/or UTILITY BANKS SHALL BE COMPLETELY DESIGNED BY THE CONTRACTOR AND SAVED AS SOON AS POSSIBLE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF THESE AREAS UNTIL A PERMANENT STABLE GRADE IS IN PLACE.
 11. CUT AND FILL SLOPES OF ANY AREA SHALL NOT EXCEED THE RATIO OF 2:1, UNLESS NOTED OTHERWISE.
 12. STREETS SHALL BE GRADED IN ACCORDANCE WITH THE LINES AND GRADE SET BY THE ENGINEER.
 13. SIDEWALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3,000 PSI CONCRETE AND SHALL BE 4-INCHES THICK, CONSTRUCTED ON A PREPARED GRADE BASE WHERE A SIDEWALK INTERSECTS WITH A DRIVEWAY ACCESS. THE SIDEWALK SECTION SHALL BE 4-INCHES THICK. SIDEWALKS SHALL BE BUILT TO THE CURB OR MANHOLE DEPTH OR OTHERWISE SHOWN ON THE STANDARD SPECIFICATIONS SURFACE OF THE GRADE BASE SHALL BE STEEL TROWEL AND LIGHT BROOM FINISHED AND CURBED WITH ACCEPTABLE CONCRETE CURING COMPOUND. SIDEWALKS SHALL BE CONSTRUCTED TO THE CURB OR MANHOLE DEPTH OR OTHERWISE SHOWN ON THE STANDARD SPECIFICATIONS. NOT MORE THAN FORTY-FIVE (45) FEET, THE SIDEWALK SHALL HAVE A LATERAL SLOPE OF ONE-QUARTER (1/4) INCH PER FOOT.
 14. FILL EMBANKMENTS SHALL BE FORMED OF SUITABLE MATERIAL PLACED IN SUCCESSIVE LAYERS NOT TO EXCEED MORE THAN 36 INCHES PER LAYER. THE MATERIAL SHALL BE CAPABLE OF WITHSTANDING THE FULL DESIGN LOADS OF MECHANICAL AND TRUCKS. BRUSH OR OTHER UNSUITABLE MATERIALS OR SUBSTANCES SHALL BE PLACED IN THE EMBANKMENT, EACH SUCCESSIVE 36 INCH LAYER SHALL BE COMPACTED TO THE DESIGN GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE SOILS, SLOTTED MATERIAL, PLACED AND THOROUGHLY WATERED AND COMPACTED AS DIRECTED BY THE PROJECT'S GEOLOGICAL ENGINEER.
 15. ALL BACKFILL SHALL BE 80% OF LOW PLASTICITY FILL FROM ROOTS, FILL FROM VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL, AND ALL OTHER MATERIALS. ALL WASTE AND MATERIAL SHALL BE CAPABLE OF WITHSTANDING THE FULL DESIGN LOADS OF MECHANICAL AND TRUCKS. THE MATERIAL SHALL HAVE NO TENDENCY TO FLOW OR BLOW IN A PLASTIC MANNER UNDER THE TAMPING BLOW OR PROROLLING OR FLOW OR BLOW UNDER EMBANKMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE SOILS, SLOTTED MATERIAL, PLACED AND THOROUGHLY WATERED AND COMPACTED AS DIRECTED BY THE PROJECT'S GEOLOGICAL ENGINEER.
 16. THE CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED ACCORDING TO THE LINES AND GRADES ESTABLISHED BY THE ENGINEER.
 17. IN ORDER TO ENSURE PROPER DRAINAGE, CURB SHALL HAVE A MINIMUM OF 0.5% SLOPE, UNLESS SLOPE IS CURB INDICATED ON THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PROPER DRAINAGE AT ALL INTERSECTIONS. SPECIAL CARE MUST BE TAKEN AT LOCATIONS WHERE SPILL CURB IS LOCATED.
 18. ALL PROPOSED GRADES SHOWN ON THIS PLAN ARE FINAL GRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING TO

CONSTRUCTION AND INSPECTION

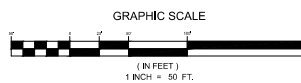
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GRAPHIC SCALE



		ESP Association, Inc. 3200 Galleria Center Blvd. Suite 100 Morrisville, NC 27560 919-879-1050 www.essentialinc.com NC LICENSE #F-1467	
PRELIMINARY NOT FOR CONSTRUCTION			
NO.	DATE	REVISION	BY
1	6/16/2023	CITY OF WALKER FIRST REVIEW COMMENTS	MM
PRELIMINARY GRADING PLAN		REDEEMING LOVE MISSIONARY BAPTIST CHURCH	
PROJECT INFORMATION		RALPH, NC	
PROJECT MANAGER:		ER	
DESIGNED BY:		MM	
DRAWN BY:		MM	
PROJECT NUMBER:		JX47-200	
ORIGINAL DATE:		02/15/2023	
SHEET:		C3.0	



COMPACTED SOIL (CLAY) LINER SPECIFICATIONS

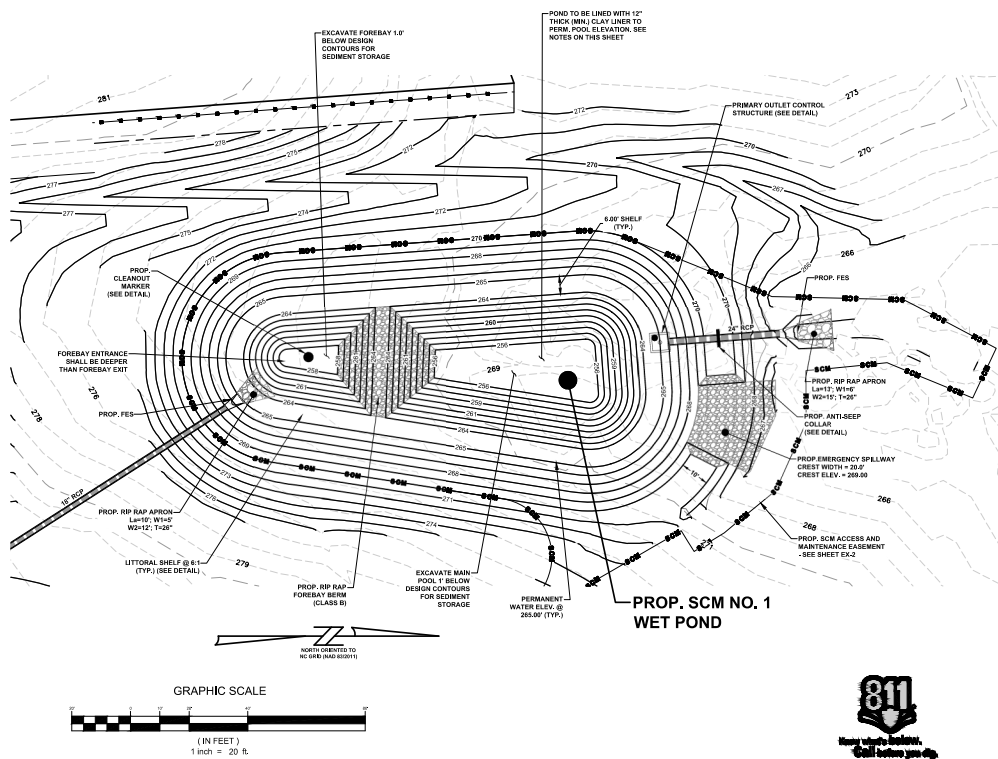
THE BMP POND SHALL INCLUDE A COMPACTED SOIL LINER. THE EARTHWORK CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, SUPERVISION, AND EQUIPMENT TO COMPLETE THE COMPACTED SOIL LINER FOR THE POND, INCLUDING MIXING, SEVERAL, RAKING, DISCH, COMPACTING, DRYING, WETTING, REMOVAL OF RAINWATER AND REMOVAL OF ALL PREVIOUSLY PLACED MATERIAL RENDERED UNSUITABLE DUE TO WEATHER CONDITIONS OR CONSTRUCTION OPERATIONS. FINAL GRADING AND SEALING AND ALL NECESSARY AND INCIDENTAL ITEMS AS DETAILED OR REQUIRED TO COMPLETE THE COMPACTED SOIL LINER.

SOIL LINER FILL MATERIALS ARE POTENTIALLY ON-SITE. ON-SITE SOILS THAT MEET THE FOLLOWING REQUIREMENTS SHALL BE CLASSIFIED AS SOIL LINER FILL MATERIAL, AND FOR USE IN CONSTRUCTION OF THE COMPACTED SOIL LINER:

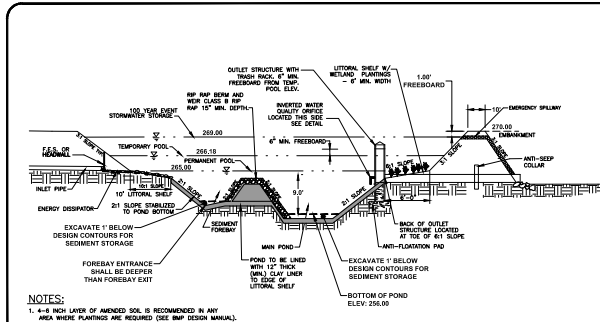
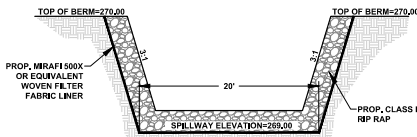
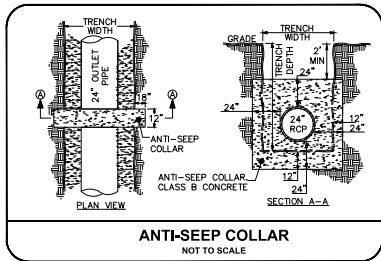
1. LIQUID LIMIT, PLASTICITY INDEX, AND PERCENT PASSING THE NO. 200 SIEVE WILL BE CONSIDERED FOR PROPER CLASSIFICATION. THE SOIL LINER MATERIAL SHALL HAVE A PLASTICITY INDEX GREATER THAN 20 OR AS SUBSEQUENTLY SPECIFIED BASED ON LABORATORY TESTING, AND HAVE A SOIL PERMEABILITY OF 10-4 CM/SEC OR LOWER AS DETERMINED BY SOIL PERMEABILITY (ASTM D5944).
2. SOIL LINER FILL MATERIALS SHALL BE REASONABLY FREE OF GYPSUM, FERROUS, AND/OR CALCAREOUS CONCRETIONS AND NODULES OR OTHER DELETERIOUS SUBSTANCES. SOIL LINER MATERIAL SHALL BE RAKED OR SIEVED BY THE EARTHWORK CONTRACTOR, IF NECESSARY, TO REMOVE ALL AGGREGATE GREATER THAN 1 INCH IN DIAMETER, NO MORE THAN 5 PERCENT OF THE SOIL LINER FILL MATERIAL SHOULD BE RETAINED IN THE NO. 4 SIEVE.
3. ALL CLAY CLOS WILL BE BROKEN DOWN WITH TILERS AND/OR DISCS TO PROVIDE A HOMOGENEOUS CLAY SOIL. (PRIOR TO CONSTRUCTION THAT IS FREE OF CLAY CLOS GREATER THAN 1 INCHES IN DIAMETER.

CONSTRUCTION:

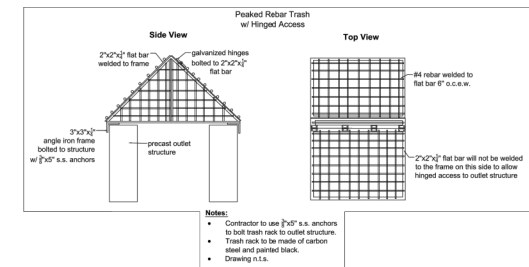
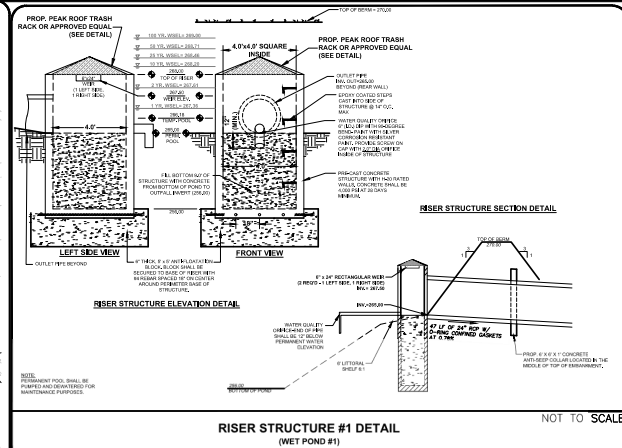
1. CONSTRUCTION METHODS, SAMPLING AND TESTINO WILL BE RECOMMENDED BY THE GEOTECHNICAL ENGINEERS. TYPICAL TESTS TO BE INCLUDED WILL BE MOISTURE CONTENT, IN-PLACE DENSITY, ATTERBERG LIMITS AND PERMEABILITY TESTING.
2. PRIOR TO SOIL LINER PLACEMENT, THE PREPARED SURGRADE SHALL BE PROTECTED WITH A LOADED DUMP TRUCK (MIN. 25 TONS) OR SIMILAR RUBBER TIED PNEUMATIC VEHICLE, A MINIMUM OF TWO PASSES IN EACH DIRECTION.
3. LOOSE SOIL LINER FILL LIFT THICKNESS, PRIOR TO CONSTRUCTION, SHALL BE A MAXIMUM OF 6 INCHES. THINNER LIFTS ARE PERMISSIBLE TO ACHIEVE DESIGN GRADE AND/OR SOIL LINER PROTECTIVE SPECIFICATIONS.
4. EQUIPMENT OR TRUCK TRAFFIC SHALL NOT BE PERMITTED DURING THE PERIOD BETWEEN SCARPING AND COMPACTION OF A LIFT UNLESS APPROVED BY THE ENGINEER.
5. SOIL LINER FILL SHALL NOT BE PLACED OR COMPACTED DURING SUSTAINED PERIODS WITH AIR TEMPERATURE BELOW 32 DEGREES F. IF THE SOIL LINER FILLERIES OR LIES THE FILL SECTION SHALL BE RE-SCARPED AND RE-COMPACTED.
6. THE COMPACTED SOIL LINER SHALL BE CONSTRUCTED TO THE MINIMUM THICKNESS SPECIFIED BY THE PROJECT PLANS.
7. AFTER COMPLETION OF A SEGMENT OF COMPACTED SOIL LINER, BUT BEFORE INSTALLATION OF THE TOPSOIL PROTECTIVE LAYER, THE SURFACE OF THE SOIL LINER SHALL BE SURVEYED BY THE CONTRACTOR TO ENSURE THE SPECIFIED THICKNESS OF COMPACTED SOIL LINER.



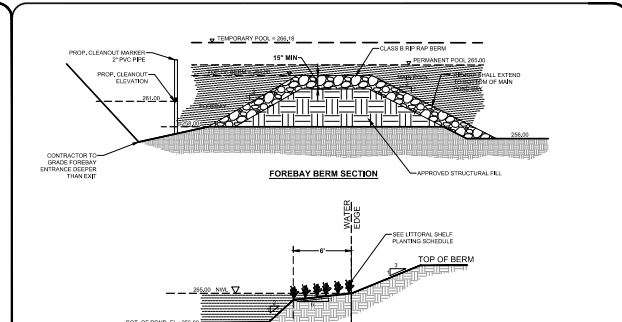
SCM NO. 1 - WET POND



NOTES:
1. 4-6 INCH LAYER OF AMENDED SOIL IS RECOMMENDED IN ANY AREA WHERE PLANTINGS ARE REQUIRED. (SEE BMP DESIGN MANUAL).



WET POND NO. 1 TRASH RACK DETAIL
NOT TO SCALE



WET POND NO. 1 LITTORAL SHELF AND BERM DETAIL
NOT TO SCALE

ESP Associates, Inc.
2007 W. 10th Street, Suite 100
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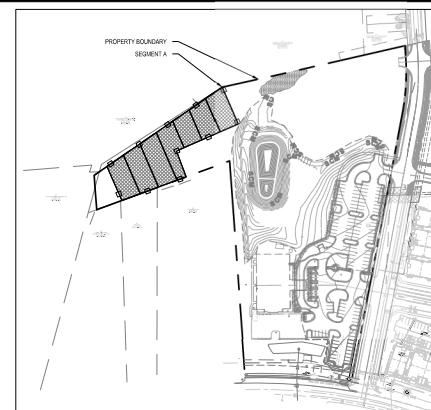
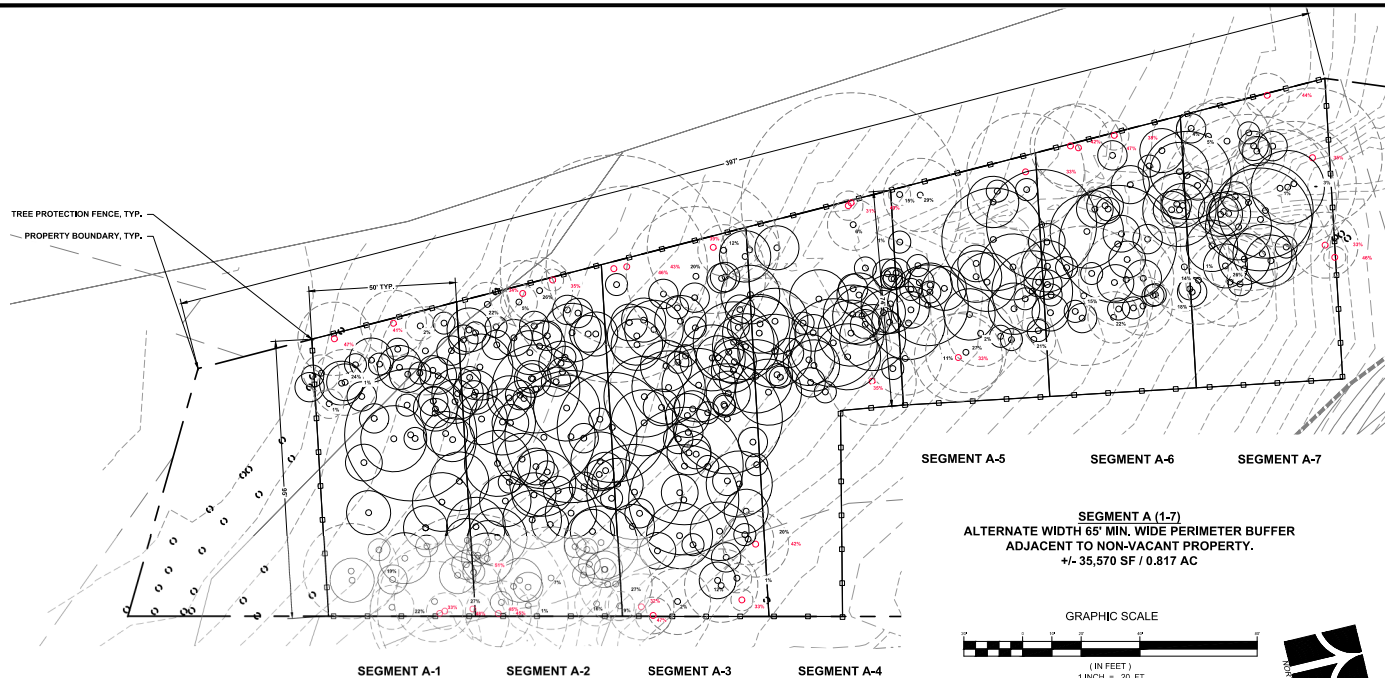
PRELIMINARY
NOT FOR
CONSTRUCTION

CITY OF RALEIGH FIRST FUTURE COMMENTS
 DATE: 01/15/2023
 REVISION: 1
 NO. 1





PRELIMINARY SCM PLAN - WET POND
 REDEMING LOVE
 MISSIONARY BAPTIST CHURCH
 RALEIGH, NC

PROJECT INFORMATION
 PROJECT MANAGER: ERI
 DESIGNED BY: [blank]
 DRAWN BY: [blank]
 PROJECT NUMBER: J447-100
 ORIGINAL DATE: 02/13/2023
 SHEET:

C4.1



VICINITY MAP
1" = 150'

- NOTES:**
- SEE SEPARATE TREE CONSERVATION REPORT PREPARED BY ESP DATED 05/19/2023 FOR CALCULATION OF EACH SEGMENT
 - TREES NOTED IN RED ARE NOT INCLUDED IN BASAL AREA CALCULATION (30% OR MORE OF ITS CRITICAL ROOT ZONE DISTURBED PER UDO § 14.6J)
 - SEE SHEET C2.0 FOR TREE PROTECTION FENCE LAYOUT
-  CRITICAL ROOT ZONE OF TREES 3" DBH OR GREATER
-  TREE WITH IMPACT TO CRITICAL ROOT ZONE (SEE PLANS FOR CALCULATIONS)
-  TREE WITH 30% IMPACT OR GREATER
(NOT INCLUDED IN BASAL AREA CALCULATIONS - SEE TREE REPORT)
-  TREE OUTSIDE OF TREE CONSERVATION AREA
(NOT INCLUDED IN BASAL AREA CALCULATIONS - SEE TREE REPORT)



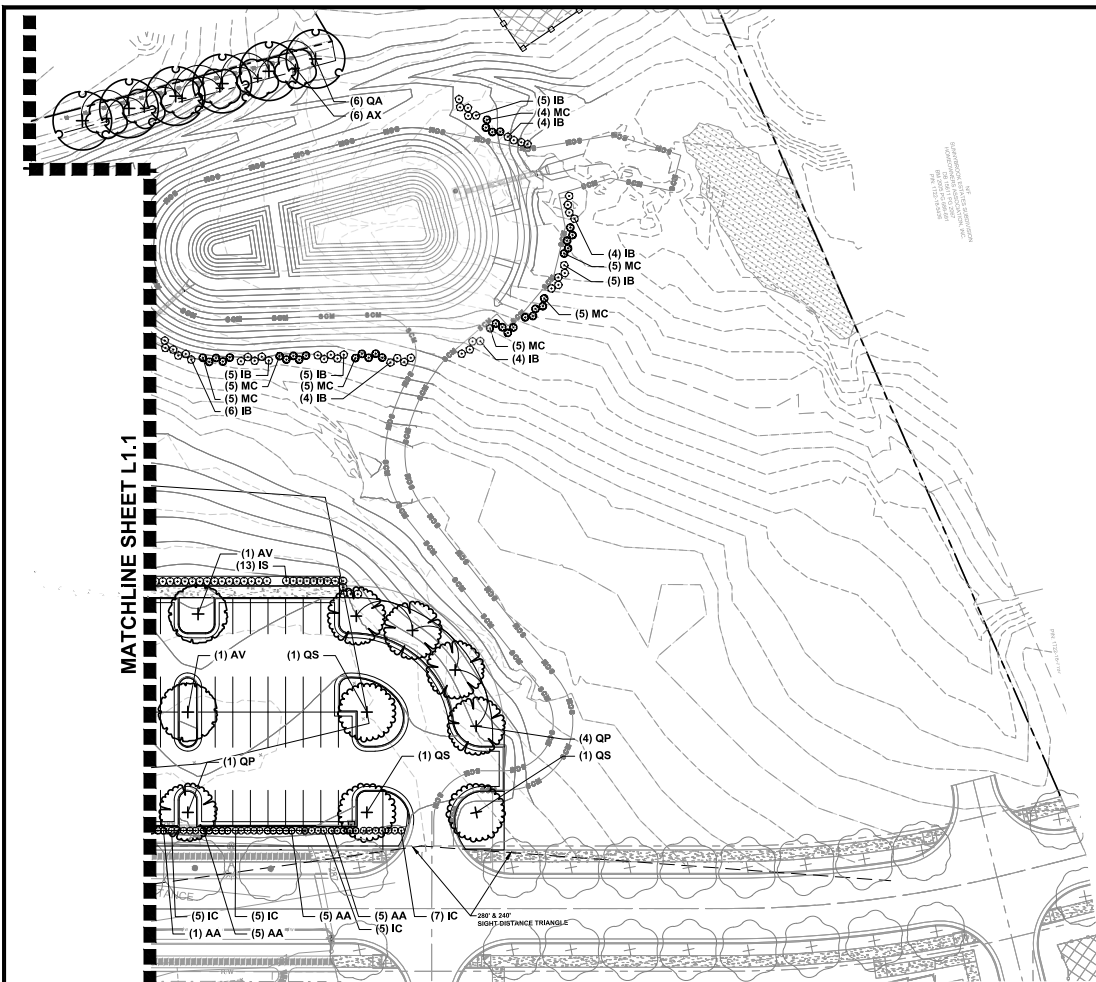


TERMINAL ISLAND

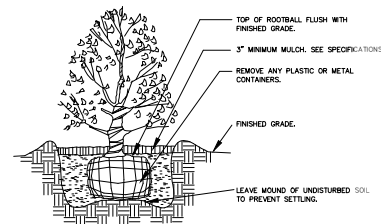
STREET TREES UNDER POWERLINES
REQUIRED 1 TREE / 20 L.F.
PROPOSED + 200 L.F. FRONTAGE / 20 = 10 TREES
PROVIDED 14 TREES

(IN FEET)
1 INCH = 50 FT.

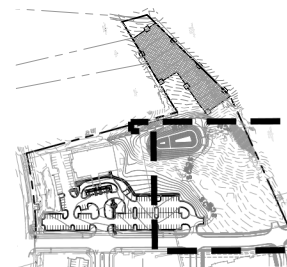
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PLANTING PLAN (NORTH)

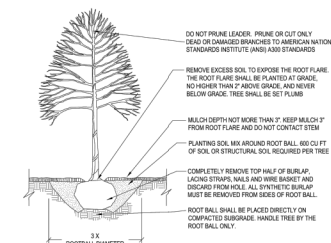


INDEX PLAN



GENERAL NOTES

1. SEE SHEET L1.1 (THIS PLAN SET) FOR PLANTING SCHEDULE.



NOTES

1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
4. A TREE IMPACT PERMIT IS REQUIRED.
5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH
STANDARD DETAIL
TREES
NOT TO SCALE
TREE PLANTING DETAIL
TPP-03

PLANTING PLAN ENLARGEMENT (NORTH)

REDEEMING LOVE
MISSIONARY BAPTIST CHURCH

RALEIGH, NC

RLMBC

PROJECT INFORMATION	
PROJECT MANAGER:	ERI
DESIGNED BY:	AP
DRAWN BY:	AP
PROJECT NUMBER:	JAN17-00
ORIGINAL DATE:	03/13/2023
SHEET:	

L1.2

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Suite 510
Raleigh, NC 27601
www.eandp.com
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CONSTRUCTION**

NO.	DATE	REVISION	BY	MM
1	03/13/2023	CITY OF RALEIGH FIRST REVIEW COMMENTS		

