



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	

GENERAL INFORMATION

Development name: Park City South - Phase 2A

Inside City limits? Yes No

Property address(es): **1025 S Saunders Street, Raleigh, NC**

Site P.I.N.(s): 1703442592, 1703444408, 1703443412, 1703444451, 1703442235, 1703442069, 1703444149, 1703443285, 1703443208, 1703442339, 1703442374, 1703443344, 1703444351, 1703442683, 1703446541

Please describe the scope of work. Include any additions, expansions, and change of use.
Project includes the demolition of existing buildings, parking areas, and associated infrastructure and the construction of a public road and a proposed multi-family residential building with a parking deck and associated infrastructure.

Current Property Owner/Developer Contact Name: Drew Yates (Kane Realty)

NOTE: please attach purchase agreement when submitting this form.

Company: CS Smith LLC and Paris Family Partnership LLC Title:

Address: 2321 Blue Ridge Rd, Suite 202, Raleigh, NC 27607

Phone #: 919-719-5416 Email: dyates@kanerealtycorp.com

Applicant Name: Tim Carter, PE

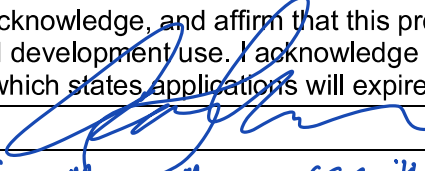
Company: Kimley-Horn and Associates, LLC Address: 421 Fayetteville St, Suite 600, Raleigh, NC 27601

Phone #: 919-677-2197 Email: tim.carter@kimley-horn.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): PD	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 1,858 SF
Gross site acreage: 2.56	New gross floor area: 416,235 SF
# of parking spaces required: 370	Total sf gross (to remain and new): 416,235 SF
# of parking spaces proposed: 370	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 20
Existing use (UDO 6.1.4): Retail, Vehicle Service, Vacant	
Proposed use (UDO 6.1.4): Multi-Family Residential, Retail	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: <u>0.33</u> Square Feet: <u>14,375</u>	Proposed Impervious Surface: Acres: <u>2.48</u> Square Feet: <u>108,029</u>
Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: <u>1703</u>	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 386	Total # of hotel units: 0
# of bedroom units: 1br 293 2br 86 3br 7 4br or more 0	
# of lots: 2	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>Kimley-Horn and Associates, Inc.</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: 	Date: <u>3/3/22</u>
Printed Name: <u>Corey Mason, Manager CS Smith and Paris family Partnership</u>	

Plotted By: Carter, Tim Sheet: SPT-PARK CITY SOUTH PHASE 2A - LAYOUT COVER SHEET - June 29, 2022 04:20:59pm K:\RAL\DOEA\011440033-park-city-south-phase-2a-planning-phase-2-15.cad file:planning-sheet.dwg
 This document, together with the concepts and designs presented herein, is an instrument of service prepared only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

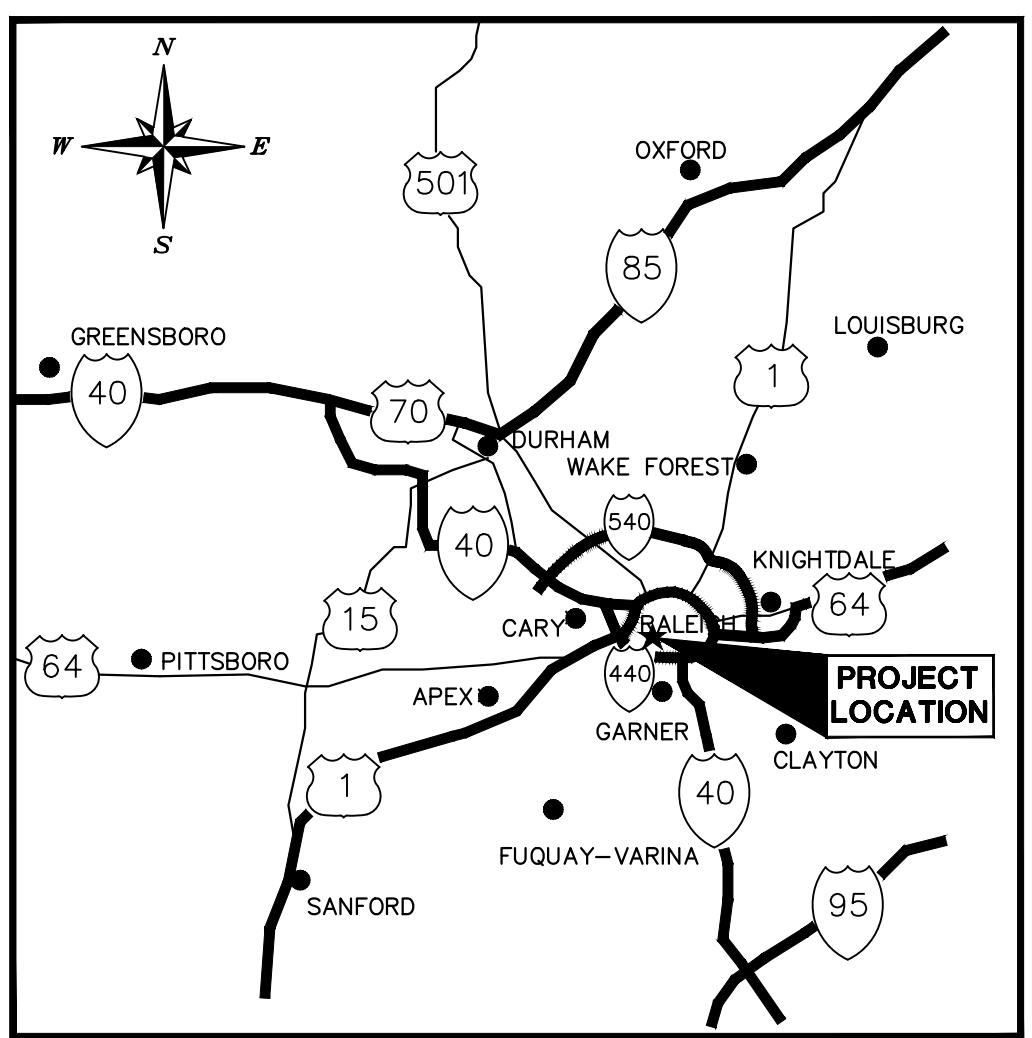
PARK CITY SOUTH – PHASE 2A PD DESIGN PRINCIPLES – POD C		
PROHIBITED USES	PD/UDO PRINCIPLE	ADDRESSED IN PHASE 2
	CAR WASH VEHICLE REPAIR GAS STATION FREIGHT AND SERVICE FACILITY TRAILER STORAGE AND DROP OFF LOT BUS BARN TRUCKING OPERATION TRUCK OR MOTOR FREIGHT TERMINAL FACILITY PAWN SHOPS ADULT ESTABLISHMENTS	NONE OF THESE USES ARE PROPOSED FOR THE PROJECT
	20 STORIES MAX	PROPOSED 20 STORIES
	POD C MAXIMUM DEVELOPMENT INTENSITY OFFICE/INDUSTRIAL – 700,000 SF RETAIL – 167,000 SF LODGING UNITS – 150 UNITS RESIDENTIAL DWELLING UNITS – 510	PROPOSED 386 RESIDENTIAL UNITS RETAIL/OFFICE = 4,498 SF
	NO MORE THAN 50% OF OFFICE/INDUSTRIAL MAY BE INDUSTRIAL INDUSTRIAL SPACE	NO INDUSTRIAL USES ARE PROPOSED FOR THIS POD
	AT LEAST 5% OF THE DWELLING UNITS CONSTRUCTED ON THE PROPERTY SHALL BE NO LARGER THAN 550 GSF	5% OF DWELLING UNITS ARE NO GREATER THAN 550 GSF
	NO PROTECTIVE YARDS (STREET OR TRANSITIONAL) REQUIRED	NO PROTECTIVE YARDS PROVIDED
	S. SAUNDERS – 0' DAWSON – 5' + TCA WIDTH	NO SETBACK ALONG S. SAUNDERS NO BUILDING OR PARKING IS LOCATED WITHIN 5' OF TCA ALONG DAWSON
	NO BUILDING SHALL BE LOCATED WITHIN A SIGHT DISTANCE TRIANGLE EASEMENT	NO BUILDING IS LOCATED WITHIN A SIGHT DISTANCE TRIANGLE EASEMENT
	NO BUILD TO REQUIREMENT FOR BUILDINGS THAT DO NOT FRONT S. SAUNDERS	THE BUILDING DOES NOT FRONT S. SAUNDERS
	THE GROUND STORY OF STRUCTURED PARKING MUST HAVE ACTIVE USES LOCATED BETWEEN THE PARKING STRUCTURE AND THE PUBLIC SIDEWALK	THE GROUND STORY SURROUNDING THE PARKING DECK IS PROPOSED TO BE RETAIL AND AMENITY SPACE FACING THE PUBLIC STREET
	EACH BUILDING FRONTING ALONG S SAUNDERS SHALL HAVE AT LEAST ONE ENTRANCE FACING S SAUNDERS. FOR A BUILDING THAT HAS A LENGTH GREATER THAN 150 FEET ALONG S SAUNDERS, ONE ADDITIONAL ENTRANCE FACING S SAUNDERS	POD C DOES NOT PROPOSE A BUILDING ALONG S SAUNDERS
	THERE SHALL BE A DIFFERENCE OF AT LEAST 2 STORIES IN HEIGHT BETWEEN THE TALLEST BUILDING AT SHORTEST BUILDING WITHIN IN POD	FOR ZONING PURPOSES, 1 BUILDING IS PROPOSED FOR THE SITE
	MINIMUM OF 10% TOTAL SITE AREA	POD C WILL PROVIDE 10% OF SITE AREA AS AMENITY AREA
	MINIMUM OF 10% OF TOTAL SITE AREA – APPLIED TO THE PROPERTY AS A WHOLE RATHER THAN ON A POD-BY-POD BASIS	POD C WILL PROVIDE THE REMAINDER OF THE ENTIRE SITE TCA REQUIREMENTS.
	A MINIMUM OF ONE PARKING SPACE IS REQUIRED PER DWELLING UNIT. NO VEHICLE PARKING REQUIRED FOR FIRST 16 DWELLING UNITS. ONE PARKING SPACE PER 500 SF FOR ALL NONRESIDENTIAL GSF, OR THE MINIMUM NUMBER OF PARKING SPACES SET FORTH IN UDO SECTION 7.1.2.C, WHICHEVER IS LESS. NO VEHICLE PARKING IS REQUIRED FOR THE FIRST 10,000 GSF. NO VEHICLE PARKING IS REQUIRED FOR THE FOLLOWING USES AND USE CATEGORIES UP TO 30,000 SQUARE FEET OF GROSS FLOOR AREA PROVIDED WHEN AT LEAST 20% OF THE GROUND FLOOR OF THE BUILDING IS DEVOTED TO SUCH USES: INDOOR RECREATION; PERSONAL SERVICE; RESTAURANT; RETAIL SALES; AND BANKS. NO COMBINATION OF THE ABOVE SHALL EXCEED 30,000 EXEMPTED SQUARE FEET OF GROSS FLOOR AREA. NO PARKING IS REQUIRED FOR AN INDOOR MOVIE THEATER. PARKING FOR OVERNIGHT LODGING REQUIRES ONLY ONE-HALF OF THE AMOUNT SPECIFIED IN UDO SEC. 7.1.2	POD C WILL COMPLY WITH THE PARKING REQUIREMENTS SET FORTH IN THE PD. COMPLIANCE IS SHOWN ON SHEET C2.0.
	S. SAUNDERS STREET: MAIN STREET WITH PARALLEL PARKING (NO UDO MODIFICATION) INTERIOR STREET SECTIONS A AND B: AS DESCRIBED PER THE PD (UDO MODIFICATION)	POD C COMPLIES WITH ALL STREET SECTIONS.
	BLOCK PERIMETER STANDARDS SHALL BE SATISFIED FOR THE DEVELOPMENT BASED UPON THE EXISTING AND PROPOSED PUBLIC STREET NETWORK.	THE PROPOSED SAUNDERS–DAWSON PUBLIC ROAD SATISFIES THE BLOCK PERIMETER REQUIREMENT FOR THE PUBLIC STREET NETWORK.
	AT LEAST ONE BICYCLE REPAIR STATION SHALL BE LOCATED WITHIN EACH OF THE PODS.	POD C WILL PROVIDE A BICYCLE REPAIR STATION WITHIN THE BUILDING TO MEET THIS REQUIREMENT.
	DUMPSTERS WILL BE LOCATED WITHIN THE BUILDINGS.	PHASE 2A COMPLIES.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

 SURVEY NOTE:

 EXISTING INFORMATION TAKEN FROM BOUNDARY/TOPOGRAPHIC SURVEY PROVIDED BY KCI ASSOCIATES OF NC, 4505 FALLS OF NEUSE RD., FLOOR 4, RALEIGH, NC 27609. PHONE: 919-783-9266 AND DATED DECEMBER 1, 2020.

PROJECT OWNER AND CONSULTANT	
OWNER:	CS SMITH LLC 2321 BLUE RIDGE RD, SUITE 202 RALEIGH, NC 27607 PHONE: (919) 443-0262 ATTN: COREY MASON corey@mergcap.com
SITE DEVELOPER:	KANE REALTY CORPORATION 4321 LASSITER AT NORTH HILLS AVE #250 RALEIGH, NC 27609 PHONE: (919) 719-5416 ATTN: DREW YATES dyates@kanerealtycorp.com
CIVIL ENGINEER:	KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE ST., SUITE 600 RALEIGH, NORTH CAROLINA 27601 PHONE: (919) 677-2197 ATTN: TIM CARTER, P.E. tim.carter@kimley-horn.com
LANDSCAPE ARCHITECT:	KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE ST., SUITE 600 RALEIGH, NORTH CAROLINA 27601 PHONE: (919) 678-4170 ATTN: MATT GROSS, PLA matt.gross@kimley-horn.com
SURVEYOR:	KCI ASSOCIATES OF NC 4505 FALLS OF NEUSE ROAD, FLOOR 4 RALEIGH, NC 27609 PHONE: (919) 783-9214 ATTN: ROB BAUMGARTNER, PLS rob.baumgartner@kci.com



PROJECT LOCATION
NTS

PARK CITY SOUTH – OVERALL MAXIMUM DESIGN INTENSITIES				
	ALLOWABLE INTENSITY	EXISTING INTENSITY	PROPOSED INTENSITY	TOTAL INTENSITY (EXISTING AND PROPOSED)
POD A	OFFICE/INDUSTRIAL – 700,000 SF RETAIL – 167,000 SF LODGING UNITS – 150 UNITS RESIDENTIAL DWELLING UNITS – 510	RETAIL/OFFICE – 16,800 SF RESIDENTIAL DWELLING UNITS – 336	0 SF	RETAIL/OFFICE – 16,800 SF RESIDENTIAL DWELLING UNITS – 336
POD B	OFFICE/INDUSTRIAL – 700,000 SF RETAIL – 167,000 SF LODGING UNITS – 240 UNITS RESIDENTIAL DWELLING UNITS – 510	0 SF	0 SF	0 SF
POD C	OFFICE/INDUSTRIAL – 700,000 SF RETAIL – 167,000 SF LODGING UNITS – 240 UNITS RESIDENTIAL DWELLING UNITS – 510	0 SF	RESIDENTIAL DWELLING UNITS – 386 RETAIL/OFFICE – 4,498 SF	RESIDENTIAL DWELLING UNITS – 386 RETAIL/OFFICE – 4,498 SF
POD D	OPEN SPACE AND RECREATIONAL USES	51,499 SF	0 SF	51,499 SF
OVERALL MAXIMUM	OFFICE/INDUSTRIAL – 1,042,600 SF RETAIL – 332,500 SF LODGING UNITS – 382 UNITS RESIDENTIAL DWELLING UNITS – 975 NO MORE THAN 50% OF OFFICE/INDUSTRIAL MAY BE INDUSTRIAL	RETAIL/OFFICE – 16,800 SF RESIDENTIAL DWELLING UNITS – 336	RETAIL/OFFICE – (4,498 SF) RESIDENTIAL DWELLING UNITS – 386	RETAIL/OFFICE – 21,298 SF RESIDENTIAL DWELLING UNITS – 722

NOTE: SITE LIGHTING PLANS WILL BE SUBMITTED WITH SPR PLANS

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Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

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<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #:	_____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #:	_____
		Zoning Case #:	_____
		Administrative Alternate #:	_____

GENERAL INFORMATION

Development name: Park City South - Phase 2A
 Inside City limits? Yes No
 Property address(es): 1025 S Saunders Street, Raleigh, NC
 Site P.I.N.(s): 1703442502, 1703442576, 1703443412, 1703444451, 1703442235, 1703442088, 1703441149, 1703443285, 1703444306, 1703442539, 1703442574, 1703443344, 1703444351, 1703442888, 1703444541

Please describe the scope of work, include any additions, expansions, and change of use.
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Current Property Owner/Developer Contact Name: Drew Yates (Kane Realty)
NOTE: please attach purchase agreement when submitting this form.
 Company: CS Smith LLC and Paris Family Partnership LLC | Title: _____
 Address: 2321 Blue Ridge Rd, Suite 202, Raleigh, NC 27607
 Phone #: 919-719-5416 | Email: dyates@kanerealtycorp.com
 Applicant Name: Tim Carter, PE
 Company: Kimley-Horn and Associates, LLC | Address: 421 Fayetteville St, Suite 600, Raleigh, NC 27601
 Phone #: 919-677-2197 | Email: tim.carter@kimley-horn.com



ADMINISTRATIVE SITE REVIEW
PARK CITY SOUTH

– PHASE 2A

ASR-0014-2022

MP-3-18

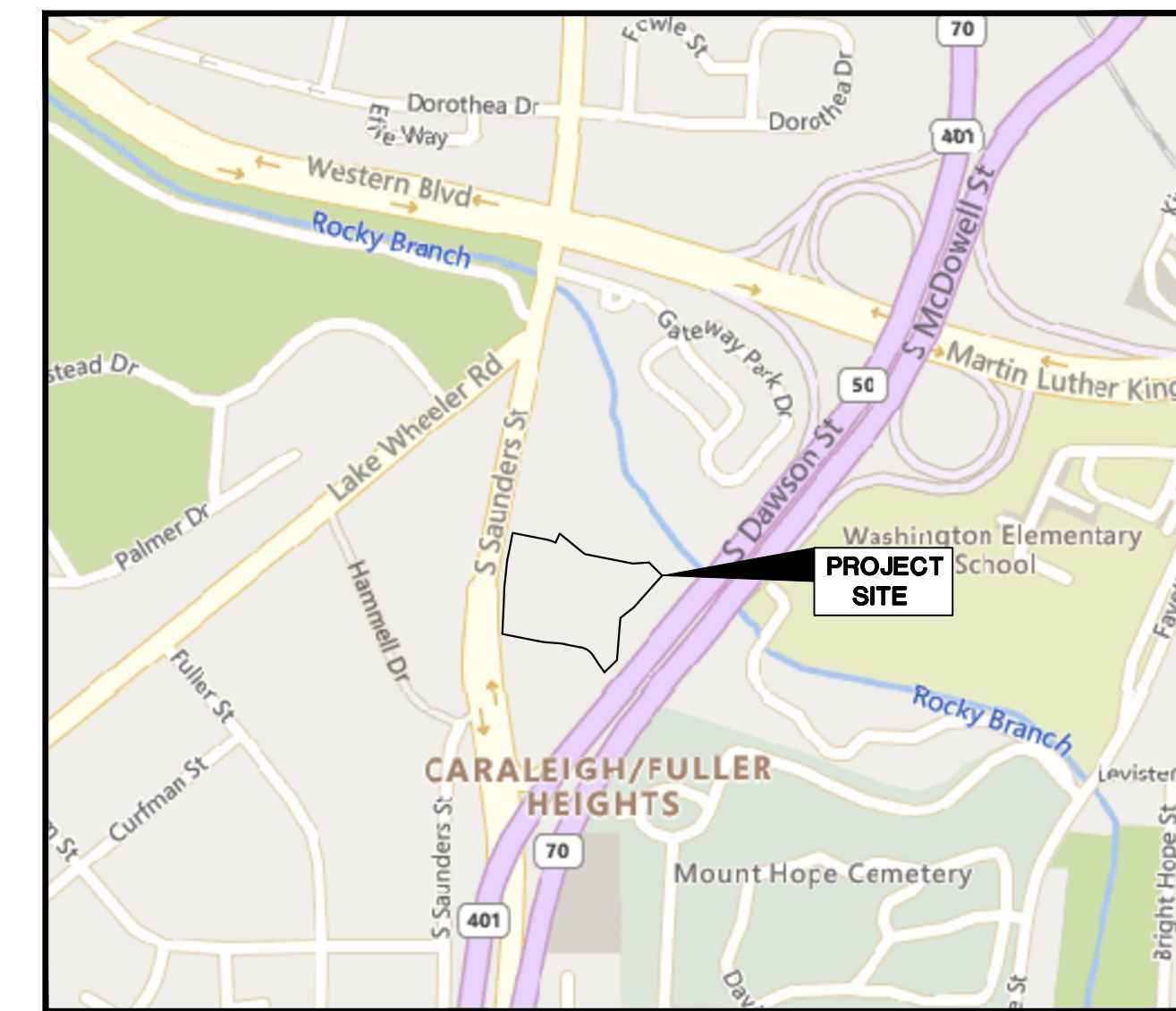
1025 S SAUNDERS ST.

RALEIGH, NORTH CAROLINA 27603

A DEVELOPMENT BY: KANE REALTY COPORATION

4321 LASSITER AT NORTH HILLS AVE #250

RALEIGH, NC 27609



VICINITY MAP
SCALE: 1" = 500'

SHEET LIST TABLE	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	TRAFFIC IMPACT ANALYSIS
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	PRELIMINARY SITE PLAN
C2.1	PAVING PLAN
C2.2	PLAT EXHIBIT
C3.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C4.0	PRELIMINARY UTILITY PLAN
C10.0	SAND FILTER DETAILS
TC1.0	TREE CONSERVATION PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
ARCH	ARCHITECTURAL ELEVATIONS

KHA PROJECT	011440033
DATE	03/02/2022
SCALE	AS SHOWN
DESIGNED BY	ZDS
DRAWN BY	ZDS
CHECKED BY	TRC

DEVELOPMENT TYPE + SITE DATE TABLE	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): PD	Existing gross floor area (not to be demolished): 0
Gross site acreage: 3.32	Existing gross floor area to be demolished: 1,858 SF
# of parking spaces required: 379	New gross floor area: 418,639 SF
# of parking spaces proposed: 379	Total sf gross (to remain and new): 418,639 SF
Overlay District (if applicable): NA	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Retail, Vehicle Service, Vacant	Proposed # of stories for each: 20
Proposed use (UDO 6.1.4): Multi-Family Residential, Retail	
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.33 Square Feet: 14,375	Proposed Impervious Surface: Acres: 2.48 Square Feet: 108,029
Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, please provide: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: 1703	
Neuse River Buffer: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 386	Total # of hotel units: 0
# of bedroom units: 1br 293 2br 86 3br 7 4br or more 0	
# of lots: 2	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown in this proposed development plan as approved by the City of Raleigh.	
I hereby designate _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use, I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <i>Corey Mason</i>	Date: 2/8/22
Printed name: Corey Mason, Manager CS Smith and Paris Family Partnership	

FEBRUARY 28, 2022 JOB NUMBER:
011440033

PREPARED IN THE OFFICE OF: **NC CERTIFICATE OF AUTHORIZATION: F-0102**

© 2022 Kimley-Horn and Associates, Inc.
 421 FAYETTEVILLE STREET – SUITE 600 – RALEIGH, NORTH CAROLINA 27601
 (919) 677-2000

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CITY COMMENTS	
1	06/24/22 ZDS

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 421 FAYETTEVILLE STREET, SUITE 600
 RALEIGH, NC 27601
 PHONE: 919-677-2000
 WWW.KIMLEY-HORN.COM
 #0102

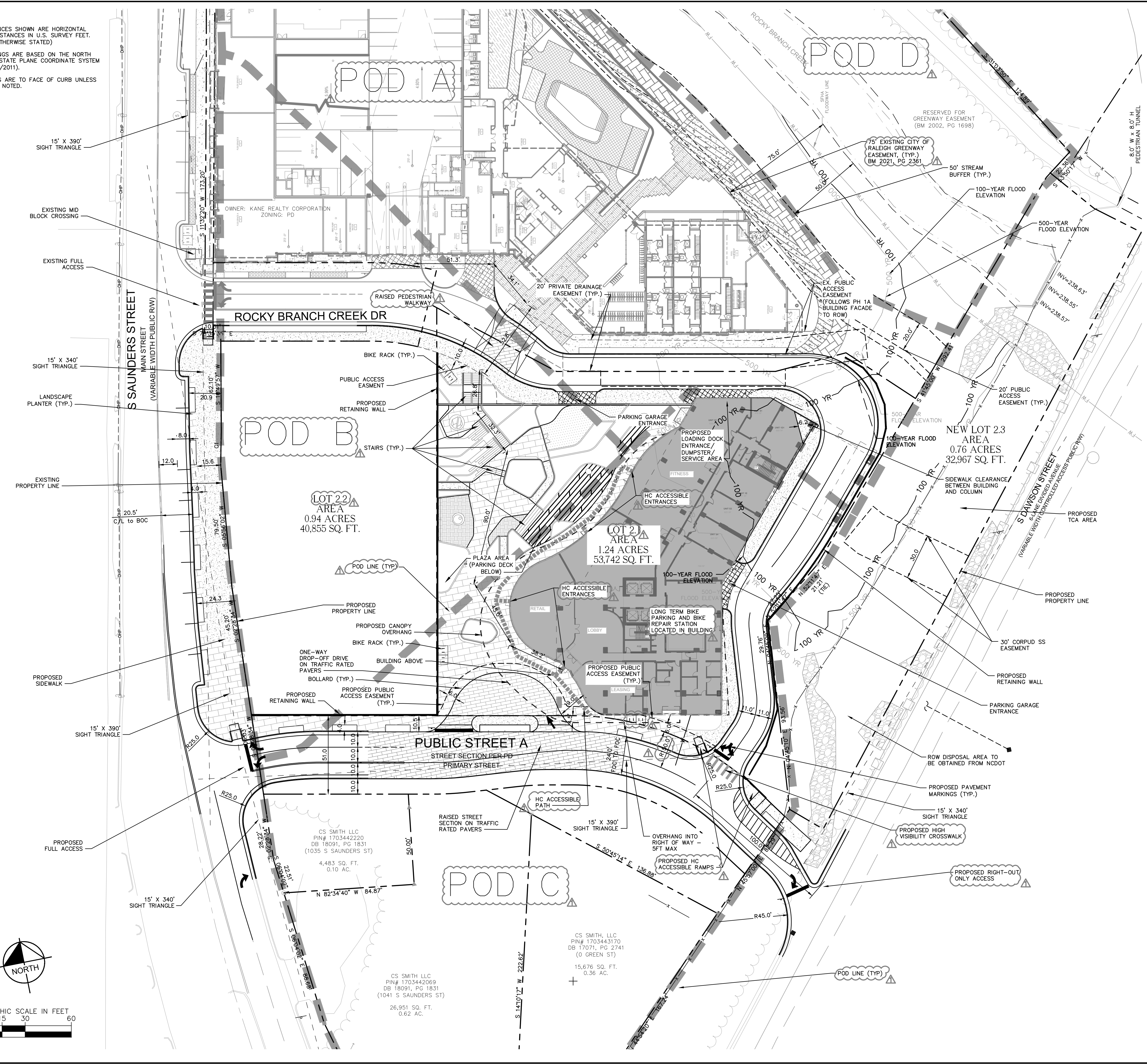
COVER SHEET

PARK CITY SOUTH
 PHASE 2A
 PREPARED FOR
 KANE REALTY
 CITY OF RALEIGH

SHEET NUMBER
C0.0

Plotted By: Carter, Tim Sheet: SOUTHPARK CITY SOUTH PHASE 2A, L:\DRAFT\C2.0 PRELIMINARY SITE PLAN June 29, 2022 06:38:44pm K:\REAL\DEVELOPMENT\144033_park_city_south_phase_2a\planning\phase1\p1_south_phase_2a\plan\site\c2.0 PRELIMINARY SITE PLAN.dwg
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- NOTE:
1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET. (UNLESS OTHERWISE STATED)
 2. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983/2011).
 3. DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.



SITE LEGEND

- PROPERTY LINE
- EASEMENT LINE
- FENCE
- STANDARD CURB AND GUTTER
- PARKING SPACE COUNT
- SIGN (SEE PLAN)
- LIGHT POLE
- WHEEL STOP
- ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
- DIRECTIONAL PAVEMENT ARROWS
- ACCESSIBLE RAMP
- DEPRESSED CURB RAMP
- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT
- STANDARD DUTY CONCRETE
- HEAVY DUTY CONCRETE
- BIKE PATH
- HC ACCESSIBLE PATH

NOTE: DISTANCE FROM PHASE 1 PARKING DECK IS 370' FROM THE PHASE 2B BUILDING

SITE DATA	
PROPERTY INFORMATION	
EXISTING ZONING:	PD
EXISTING USE:	AUTOMOTIVE, RETAIL, VACANT
GROSS SITE AREA:	6.32 AC (144,587 SF)
RIGHT-OF-WAY DEDICATION:	0.36 AC (16,588 SF)
NET SITE AREA:	2.94 AC (127,999 SF)
BUILDING SETBACKS:	
PRIMARY STREET =	0'
SIDE STREET =	0'
SIDE LOT LINE =	0'
REAR LOT LINE =	0'
PARKING SETBACKS:	
PRIMARY STREET =	0'
SIDE STREET =	0'
SIDE LOT LINE =	0'
REAR LOT LINE =	0'
PROJECT DATA	
PROPOSED USE:	RESIDENTIAL, RETAIL/OFFICE
PIN#	1703442592, 1703443476, 1703443412, 1703444451, 1703442235, 1703442069, 1703444149, 1703443285, 1703443208, 1703442339, 1703442334, 1703443344, 1703444351, 1703442683, 1703445451
PROPOSED # OF BUILDINGS	1
BUILDING GROSS FLOOR AREA:	418,639 SF
PARKING:	
REQUIRED:	RESTAURANT - 1 PER 500 SF RESIDENTIAL - 1 SPACE PER DWELLING UNIT NO PARKING REQUIRED FOR FIRST 16 DWELLING UNITS. 1*(4,498/500) + (386-16)*1 = 379 SPACES
PROVIDED:	298 SPACES IN LOT 2A DECK 61 SPACES IN LOT 1A DECK (PHASE 1A SPACES REQUIRED: 354 PHASE 1A SPACES PROVIDED: 693)
ACCESSIBLE PARKING:	
REQUIRED:	20 SPACES
PROVIDED:	20 SPACES TOTAL (4 VAN ACCESSIBLE)
SHORT TERM BIKE PARKING:	
REQUIRED:	OFFICE/RETAIL - 1 SPACE PER 5,000 SF, MINIMUM 4 RESIDENTIAL - 1 SPACE PER 20 UNITS, MINIMUM 4 1*(4,498/5,000) + 1*(386/20) = 24 SPACES
PROVIDED:	24 SPACES
LONG TERM BIKE PARKING:	
REQUIRED:	RETAIL/OFFICE - 1 SPACE PER 5,000 SF, MINIMUM 4 RESIDENTIAL - NONE
PROVIDED:	4 SPACES
AMENITY AREA:	
REQUIRED:	SEE LANDSCAPE PLANS FOR DETAILS (REQUIRED: 53,742 SF X 10' = 537,420 SF)
PROVIDED:	18,726 SF
SITE IMPERVIOUS AREA:	
EXISTING (PRE-DEV.)	= 14,375 SF (12.91%)
PROPOSED (POST-DEV.)	= 108,029 SF (97.03%)

KANE REALTY CORPORATION

Kimley-Horn

Merge Capital

PRELIMINARY SITE NOT FOR CONSTRUCTION

PARK CITY SOUTH PHASE 2A PRELIMINARY SITE PLAN

PREPARED FOR KANE REALTY CITY OF RALEIGH

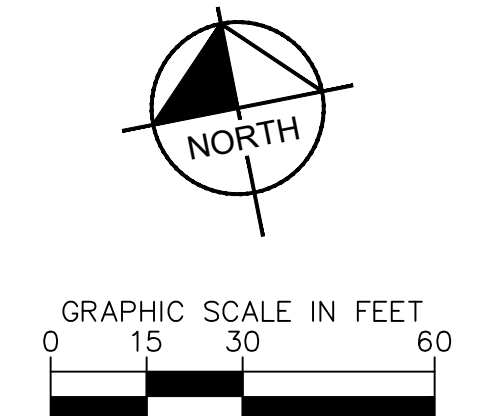
CITY COMMENTS

REVISIONS

DATE

NO.

BY



TRANSPARENCY CALCULATIONS

LEVEL 01 TOTAL WALL AREA = 1,044 SF (87'-0" WIDE X 12'-0" HIGH) LEVEL 1 TRANSPARENT AREA = 912 SF (76'-0" WIDE X 12'-0" HIGH) LEVEL 1 TRANSPARENCY % = 87% TRANSPARENCY % REQUIRED = 33% PER PD MP-3-18 (345 SF) (UDO 1.5.9)	
LEVEL 1 TRANSPARENT AREA BETWEEN 3'-0" - 8'-0" FROM SURFACE OF FINISHED GROUND FLOOR = 380 SF (76'-0" WIDE X 5'-0" HIGH) 50% OF REQUIRED TRANSPARENCY = 173 SF (50% x 345 SF) (UDO 1.5.9.B.1)	
LEVEL 02 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 02 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 02 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 03 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 03 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 03 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 04 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 04 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 04 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 05 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 05 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 05 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 06 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 06 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 06 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 07 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 07 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 07 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 08 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 08 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 08 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 09 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 09 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 09 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 10 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 10 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 10 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 11 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 11 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 11 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 12 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 12 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 12 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 13 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 13 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 13 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 14 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 14 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 14 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 15 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 15 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 15 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 16 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 16 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 16 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 17 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 17 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 17 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 18 TOTAL WALL AREA = 1,205 SF (113'-0" WIDE X 10'-8" HIGH) LEVEL 18 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 18 TRANSPARENCY % = 68% (20% REQUIRED)	
LEVEL 19 TOTAL WALL AREA = 2,091 SF (113'-0" WIDE X 18'-6" HIGH) LEVEL 19 TRANSPARENT AREA = 818 SF (81'-9" WIDE X 10'-0" HIGH) LEVEL 19 TRANSPARENCY % = 39% (20% REQUIRED)	
LEVEL 20 TOTAL WALL AREA = 1,775 SF (75'-0" WIDE X 20'-0" HIGH + 27'-6" WIDE X 10'-0" HIGH) LEVEL 20 TRANSPARENT AREA = 825 SF (75'-0" WIDE X 11'-0" HIGH) LEVEL 20 TRANSPARENCY % = 46% (20% REQUIRED)	

(UDO 1.5.9 & 3.2.6)

GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80%, AND EXTERNAL REFLECTANCE OF LESS THAN 15%. GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.

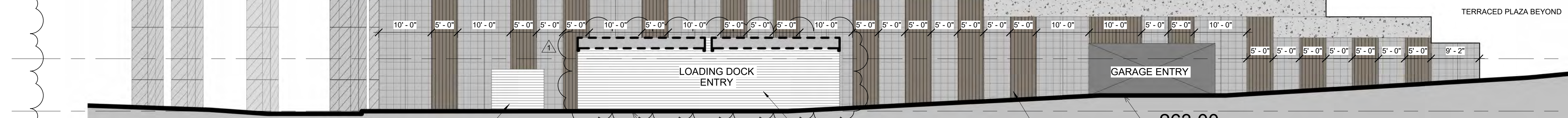
(UDO 1.5.9.B.4)

EXTERIOR FINISH LEGEND

	GLAZING #1: TYPICAL TOWER GLAZING UNIT
	GLAZING #2: FAÇADE TYPE 3, FAÇADE TYPE 5, WINDSCREEN GLAZING UNIT
	GLAZING #3: RAILING GLAZING UNIT
	METAL PANEL #1: FAÇADE TYPE 1A, 1B PANEL
	METAL PANEL #2: FAÇADE TYPE 2A, 2B PANEL
	METAL PANEL #3: ACM METAL PANEL AT LEVEL 21 EYEBROW
	METAL PANEL #4: ACM METAL PANEL AT LEVEL 01 CANOPY
	METAL PANEL #5: ACM METAL PANEL AT TRANSFER COLUMN & BEAM CLADDING
	METAL PANEL #6: ACM METAL PANEL SURROUND AT LEVEL 01 CANOPY ENTRY
	FRAMING #1: MULLIONS, SLAB EDGE COVERS, EXHAUST VENTS, TERRACE DOORS, AND GUARDRAIL FRAMES TO MATCH METAL PANEL #1
	FRAMING #2: PREFINISHED MULLIONS, SLAB EDGE COVERS, AND EXHAUST VENTS TO MATCH METAL PANEL #2
	STONE VENEER #1: CAST STONE BASE BELOW FAÇADE TYPE 3
	WOOD CLADDING #1: SOFFT AT LEVEL 01 CANOPY
	PARKING SCREENING

UPPER STORY FLOOR HEIGHT: MIN. 9'-0" (UDO 3.2.6 E2)

GROUND STORY FLOOR HEIGHT: MIN. 11'-0" (MP-3-18)



1 NORTH ELEVATION
3/32" = 1'-0"

PARAPET HEIGHT, 12'-0" MAX. ALLOWED (UDO 1.5.7.A.1)

UDO SEC. 3.3.3.F.1 - ALLOWABLE AREA PER TOWER ABOVE 12 STORIES: 30,000 SF PER ALLOWABLE FLOOR

LEVELS 13-20

RL	526'-6"	20'-0"
LEVEL 20	506'-6"	18'-6"
LEVEL 19	488'-0"	10'-8"
LEVEL 18	477'-4"	10'-8"
LEVEL 17	466'-8"	10'-8"
LEVEL 16	456'-0"	10'-8"
LEVEL 15	445'-4"	10'-8"
LEVEL 14	434'-8"	10'-8"
LEVEL 13	424'-0"	10'-8"
LEVEL 12	413'-4"	10'-8"
LEVEL 11	402'-8"	10'-8"
LEVEL 10	392'-0"	10'-8"
LEVEL 09	381'-4"	10'-8"
LEVEL 08	370'-8"	10'-8"
LEVEL 07	360'-0"	10'-8"
LEVEL 06	349'-4"	10'-8"
LEVEL 05	338'-8"	10'-8"
LEVEL 04	328'-0"	10'-8"
LEVEL 03	317'-4"	10'-8"
LEVEL 02	306'-8"	20'-8"
LEVEL 01	286'-0"	16'-0"
LEVEL P1	270'-0"	10'-0"
LEVEL P2	260'-0"	10'-0"
LEVEL P3	250'-0"	10'-0"

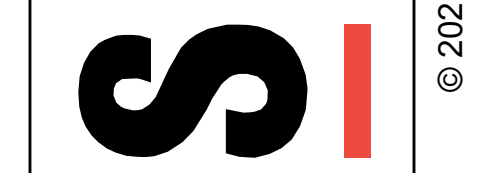
ROLL DOWN DOORS TO SCREEN ENCLOSED LOADING AREA (UDO 7.2.5.B.2)

BUILDING FOUNDATION WALL DOES NOT FRONT THE PUBLIC RIGHT OF WAY (UDO 7.2.8.E.)

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NORTH ELEVATION
PARK CITY SOUTH - PHASE 2A
RALEIGH, NC

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TRANSPARENCY CALCULATIONS

LEVEL 01 TOTAL WALL AREA = **1,656 SF** (138'-0" WIDE X 12'-0" HIGH)
 LEVEL 1 TRANSPARENT AREA = **1,325.5 SF** (120'-6" WIDE X 11'-0" HIGH)
 LEVEL 1 TRANSPARENCY % = 80%
 TRANSPARENCY % REQUIRED = 33% PER PD MP-3-18 (546.5 SF)
 (UDO 1.5.9)

LEVEL 1 TRANSPARENT AREA BETWEEN 3'-0" - 8'-0" FROM SURFACE OF FINISHED GROUND FLOOR = **602.5 SF** (120'-6" WIDE X 5'-0" HIGH)
 50% OF REQUIRED TRANSPARENCY = 273.25 SF (50% x 546.5 SF)
 (UDO 1.5.9.B.1)

LEVEL 02 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 02 TRANSPARENT AREA = **840 SF** (84'-0" WIDE X 10'-0" HIGH)
 LEVEL 02 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 03 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 03 TRANSPARENT AREA = **840 SF** (84'-0" WIDE X 10'-0" HIGH)
 LEVEL 03 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 04 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 04 TRANSPARENT AREA = **840 SF** (84'-0" WIDE X 10'-0" HIGH)
 LEVEL 04 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 05 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 05 TRANSPARENT AREA = **875 SF** (87'-6" WIDE X 10'-0" HIGH)
 LEVEL 05 TRANSPARENCY % = 73% (20% REQUIRED)

LEVEL 06 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 06 TRANSPARENT AREA = **875 SF** (87'-6" WIDE X 10'-0" HIGH)
 LEVEL 06 TRANSPARENCY % = 73% (20% REQUIRED)

LEVEL 07 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 07 TRANSPARENT AREA = **875 SF** (87'-6" WIDE X 10'-0" HIGH)
 LEVEL 07 TRANSPARENCY % = 73% (20% REQUIRED)

LEVEL 08 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 08 TRANSPARENT AREA = **840 SF** (84'-0" WIDE X 10'-0" HIGH)
 LEVEL 08 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 09 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 09 TRANSPARENT AREA = **840 SF** (84'-0" WIDE X 10'-0" HIGH)
 LEVEL 09 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 10 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 10 TRANSPARENT AREA = **840 SF** (84'-0" WIDE X 10'-0" HIGH)
 LEVEL 10 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 11 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 11 TRANSPARENT AREA = **875 SF** (87'-6" WIDE X 10'-0" HIGH)
 LEVEL 11 TRANSPARENCY % = 73% (20% REQUIRED)

LEVEL 12 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 12 TRANSPARENT AREA = **875 SF** (87'-6" WIDE X 10'-0" HIGH)
 LEVEL 12 TRANSPARENCY % = 73% (20% REQUIRED)

LEVEL 13 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 13 TRANSPARENT AREA = **875 SF** (87'-6" WIDE X 10'-0" HIGH)
 LEVEL 13 TRANSPARENCY % = 73% (20% REQUIRED)

LEVEL 14 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 14 TRANSPARENT AREA = **840 SF** (84'-0" WIDE X 10'-0" HIGH)
 LEVEL 14 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 15 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 15 TRANSPARENT AREA = **840 SF** (84'-0" WIDE X 10'-0" HIGH)
 LEVEL 15 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 16 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 16 TRANSPARENT AREA = **840 SF** (84'-0" WIDE X 10'-0" HIGH)
 LEVEL 16 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 17 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 17 TRANSPARENT AREA = **875 SF** (87'-6" WIDE X 10'-0" HIGH)
 LEVEL 17 TRANSPARENCY % = 73% (20% REQUIRED)

LEVEL 18 TOTAL WALL AREA = **1,195 SF** (112'-0" WIDE X 10'-8" HIGH)
 LEVEL 18 TRANSPARENT AREA = **875 SF** (87'-6" WIDE X 10'-0" HIGH)
 LEVEL 18 TRANSPARENCY % = 73% (20% REQUIRED)

LEVEL 19 TOTAL WALL AREA = **2,072 SF** (112'-0" WIDE X 18'-6" HIGH)
 LEVEL 19 TRANSPARENT AREA = **875 SF** (87'-6" WIDE X 10'-0" HIGH)
 LEVEL 19 TRANSPARENCY % = 42% (20% REQUIRED)

LEVEL 20 TOTAL WALL AREA = **1,984 SF** (80'-0" WIDE X 20'-0" HIGH + 32'-0" WIDE X 12'-0" HIGH)
 LEVEL 20 TRANSPARENT AREA = **977 SF** (88'-10" WIDE X 11'-0" HIGH)
 LEVEL 20 TRANSPARENCY % = 49% (20% REQUIRED)

(UDO 1.5.9 & 3.2.6)

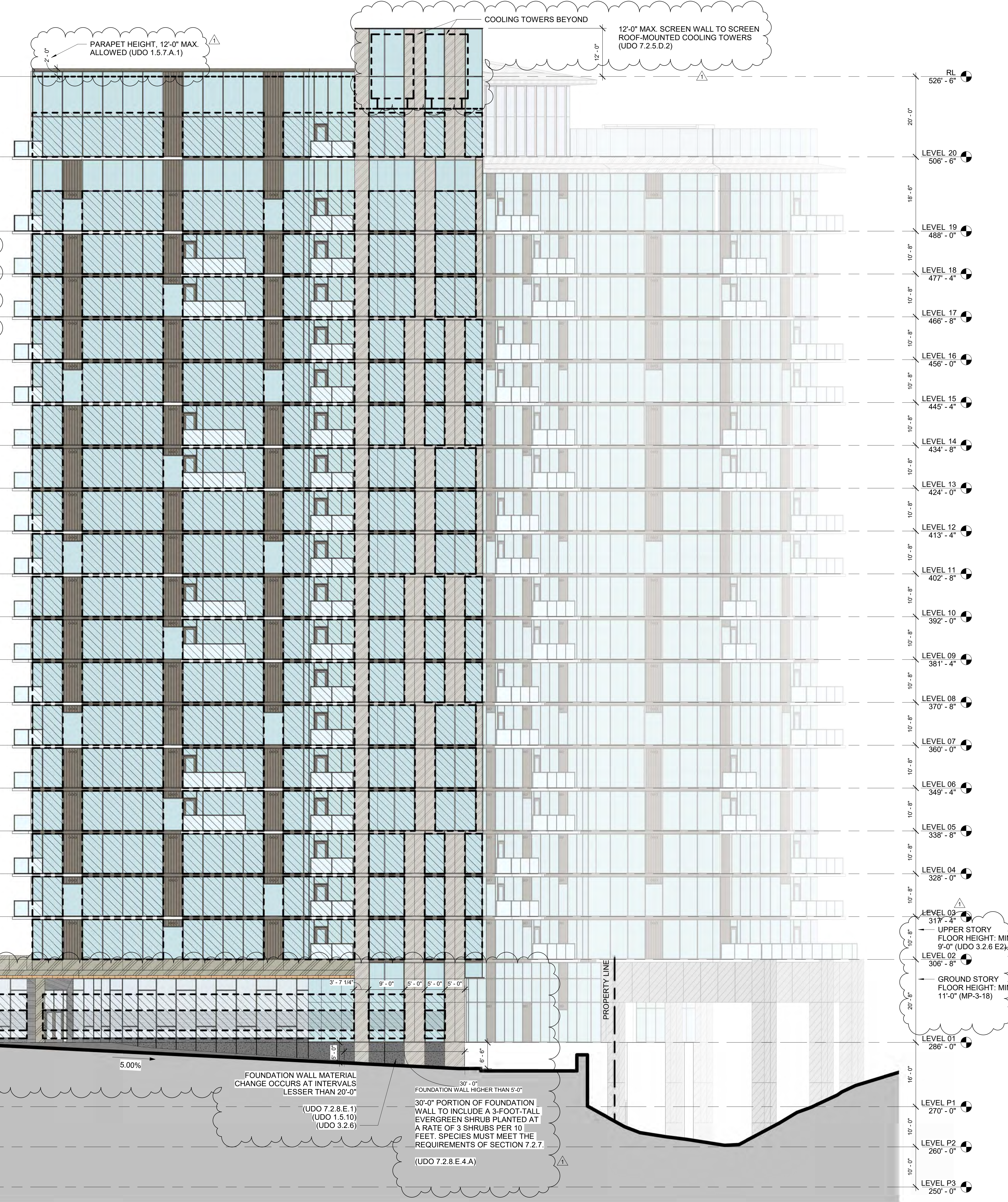
GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%. GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.

(UDO 1.5.9.B.4)

UDO SEC. 3.3.3.F1 - ALLOWABLE AREA PER TOWER ABOVE 12 STORIES: 30,000 SF PER ALLOWABLE FLOOR

LEVEL 13: 21,196 SF
 LEVEL 14: 21,196 SF
 LEVEL 15: 21,196 SF
 LEVEL 16: 21,196 SF
 LEVEL 17: 21,196 SF
 LEVEL 18: 21,196 SF
 LEVEL 19: 21,196 SF
 LEVEL 20: 14,897 SF

LEVELS 13-20



EXTERIOR FINISH LEGEND	
	GLAZING #1: TYPICAL TOWER GLAZING UNIT
	GLAZING #2: FAÇADE TYPE 3, FAÇADE TYPE 5, WINDSCREEN GLAZING UNIT
	GLAZING #3: RAILING GLAZING UNIT
	METAL PANEL #1: FAÇADE TYPE 1A, 1B PANEL
	METAL PANEL #2: FAÇADE TYPE 2A, 2B PANEL
	METAL PANEL #3: ACM METAL PANEL AT LEVEL 21 EYEBROW
	METAL PANEL #4: ACM METAL PANEL AT LEVEL 01 CANOPY
	METAL PANEL #5: ACM METAL PANEL AT TRANSFER COLUMN & BEAM CLADDING
	METAL PANEL #6: ACM METAL PANEL SURROUND AT LEVEL 01 CANOPY ENTRY
	FRAMING #1: MULLIONS, SLAB EDGE COVERS, EXHAUST VENTS, TERRACE DOORS, AND GUARDRAIL FRAMES TO MATCH METAL PANEL #1
	FRAMING #2: PREFINISHED MULLIONS, SLAB EDGE COVERS, AND EXHAUST VENTS TO MATCH METAL PANEL #2
	STONE VENEER #1: CAST STONE BASE BELOW FAÇADE TYPE 3
	WOOD CLADDING #1: SOFFT AT LEVEL 01 CANOPY
	PARKING SCREENING

1 SOUTH ELEVATION
 3/32" = 1'-0"

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SOUTH ELEVATION
 PARK CITY SOUTH - PHASE 2A
 RALEIGH, NC

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TRANSPARENCY CALCULATIONS

LEVEL 02 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 02 TRANSPARENT AREA = 1562 SF (156'-2" WIDE X 10'-0" HIGH)	
LEVEL 02 TRANSPARENCY % = 69% (20% REQUIRED)	
LEVEL 03 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 03 TRANSPARENT AREA = 1562 SF (156'-2" WIDE X 10'-0" HIGH)	
LEVEL 03 TRANSPARENCY % = 69% (20% REQUIRED)	
LEVEL 04 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 04 TRANSPARENT AREA = 1562 SF (156'-2" WIDE X 10'-0" HIGH)	
LEVEL 04 TRANSPARENCY % = 69% (20% REQUIRED)	
LEVEL 05 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 05 TRANSPARENT AREA = 1513 SF (151'-4" WIDE X 10'-0" HIGH)	
LEVEL 05 TRANSPARENCY % = 67% (20% REQUIRED)	
LEVEL 06 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 06 TRANSPARENT AREA = 1513 SF (151'-4" WIDE X 10'-0" HIGH)	
LEVEL 06 TRANSPARENCY % = 67% (20% REQUIRED)	
LEVEL 07 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 07 TRANSPARENT AREA = 1513 SF (151'-4" WIDE X 10'-0" HIGH)	
LEVEL 07 TRANSPARENCY % = 67% (20% REQUIRED)	
LEVEL 08 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 08 TRANSPARENT AREA = 1562 SF (156'-2" WIDE X 10'-0" HIGH)	
LEVEL 08 TRANSPARENCY % = 69% (20% REQUIRED)	
LEVEL 09 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 09 TRANSPARENT AREA = 1562 SF (156'-2" WIDE X 10'-0" HIGH)	
LEVEL 09 TRANSPARENCY % = 69% (20% REQUIRED)	
LEVEL 10 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 10 TRANSPARENT AREA = 1562 SF (156'-2" WIDE X 10'-0" HIGH)	
LEVEL 10 TRANSPARENCY % = 69% (20% REQUIRED)	
LEVEL 11 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 11 TRANSPARENT AREA = 1513 SF (151'-4" WIDE X 10'-0" HIGH)	
LEVEL 11 TRANSPARENCY % = 67% (20% REQUIRED)	
LEVEL 12 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 12 TRANSPARENT AREA = 1513 SF (151'-4" WIDE X 10'-0" HIGH)	
LEVEL 12 TRANSPARENCY % = 67% (20% REQUIRED)	
LEVEL 13 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 13 TRANSPARENT AREA = 1513 SF (151'-4" WIDE X 10'-0" HIGH)	
LEVEL 13 TRANSPARENCY % = 67% (20% REQUIRED)	
LEVEL 14 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 14 TRANSPARENT AREA = 1562 SF (156'-2" WIDE X 10'-0" HIGH)	
LEVEL 14 TRANSPARENCY % = 69% (20% REQUIRED)	
LEVEL 15 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 15 TRANSPARENT AREA = 1562 SF (156'-2" WIDE X 10'-0" HIGH)	
LEVEL 15 TRANSPARENCY % = 69% (20% REQUIRED)	
LEVEL 16 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 16 TRANSPARENT AREA = 1562 SF (156'-2" WIDE X 10'-0" HIGH)	
LEVEL 16 TRANSPARENCY % = 69% (20% REQUIRED)	
LEVEL 17 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 17 TRANSPARENT AREA = 1513 SF (151'-4" WIDE X 10'-0" HIGH)	
LEVEL 17 TRANSPARENCY % = 67% (20% REQUIRED)	
LEVEL 18 TOTAL WALL AREA = 2,256 SF (211'-6" WIDE X 10'-8" HIGH)	
LEVEL 18 TRANSPARENT AREA = 1513 SF (151'-4" WIDE X 10'-0" HIGH)	
LEVEL 18 TRANSPARENCY % = 67% (20% REQUIRED)	
LEVEL 19 TOTAL WALL AREA = 3,913 SF (211'-6" WIDE X 18'-6" HIGH)	
LEVEL 19 TRANSPARENT AREA = 1513 SF (151'-4" WIDE X 10'-0" HIGH)	
LEVEL 19 TRANSPARENCY % = 39% (20% REQUIRED)	
LEVEL 20 TOTAL WALL AREA = 2,292 SF (52'-3" WIDE X 20'-0" HIGH + 34'-0" WIDE X 20'-0" HIGH + 51'-6" WIDE X 11'-0" HIGH)	
LEVEL 20 TRANSPARENT AREA = 1,194 SF (108'-6" WIDE X 11'-0" HIGH)	
LEVEL 20 TRANSPARENCY % = 43% (20% REQUIRED)	

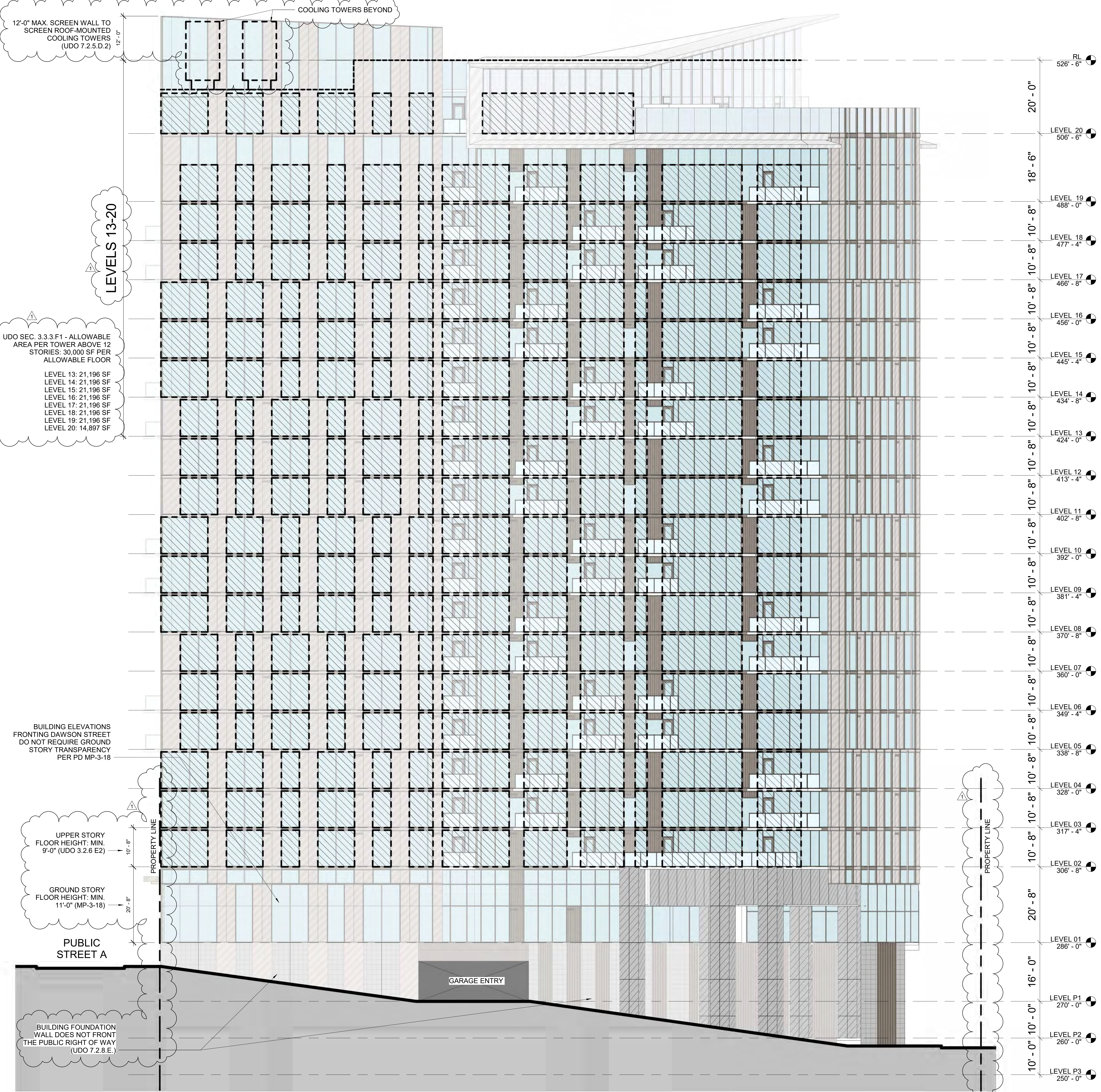
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(UDO 1.5.9.B.4)

EXTERIOR FINISH LEGEND

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	PARKING SCREENING

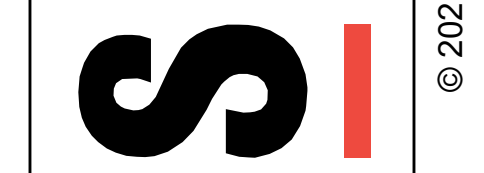


1 EAST ELEVATION
3/32" = 1'-0"

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EAST ELEVATION
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JOB	221055.00
SHEET	A2-03 - ASR

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TRANSPARENCY CALCULATIONS

LEVEL 01 TOTAL WALL AREA = **2,480 SF** (206'-8" WIDE X 12'-0" HIGH)
 LEVEL 1 TRANSPARENT AREA = **2,073.5 SF** (188'-6" WIDE X 11'-0" HIGH)
 LEVEL 1 TRANSPARENCY % = 84%
 TRANSPARENCY % REQUIRED = 33% PER PD MP-3-18 (818 SF)
 (UDO 1.5.9)

LEVEL 1 TRANSPARENT AREA BETWEEN 3'-0" - 8'-0" FROM SURFACE OF FINISHED GROUND FLOOR = **942.5 SF** (188'-6" WIDE X 5'-0" HIGH)
 50% OF REQUIRED TRANSPARENCY = 409 SF (50% x 818 SF)
 (UDO 1.5.9.B.1)

LEVEL 02 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 02 TRANSPARENT AREA = **1,542 SF** (171'-4" WIDE X 9'-0" HIGH)
 LEVEL 02 TRANSPARENCY % = 63% (20% REQUIRED)

LEVEL 03 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 03 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 03 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 04 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 04 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 04 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 05 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 05 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 05 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 06 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 06 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 06 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 07 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 07 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 07 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 08 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 08 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 08 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 09 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 09 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 09 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 10 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 10 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 10 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 11 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 11 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 11 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 12 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 12 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 12 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 13 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 13 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 13 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 14 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 14 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 14 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 15 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 15 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 15 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 16 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 16 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 16 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 17 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 17 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 17 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 18 TOTAL WALL AREA = **2,443 SF** (229'-0" WIDE X 10'-8" HIGH)
 LEVEL 18 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 18 TRANSPARENCY % = 70% (20% REQUIRED)

LEVEL 19 TOTAL WALL AREA = **4,236.5 SF** (229'-0" WIDE X 18'-6" HIGH)
 LEVEL 19 TRANSPARENT AREA = **1,713 SF** (171'-4" WIDE X 10'-0" HIGH)
 LEVEL 19 TRANSPARENCY % = 40% (20% REQUIRED)

LEVEL 20 TOTAL WALL AREA = **3,820 SF** (71'-0" WIDE X 20'-0" HIGH + 120'-0" WIDE X 20'-0" HIGH)
 LEVEL 20 TRANSPARENT AREA = **1,724 SF** (156'-9" WIDE X 11'-0" HIGH)
 LEVEL 20 TRANSPARENCY % = 45% (20% REQUIRED)

(UDO 1.5.9 & 3.2.6)

GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%. GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.

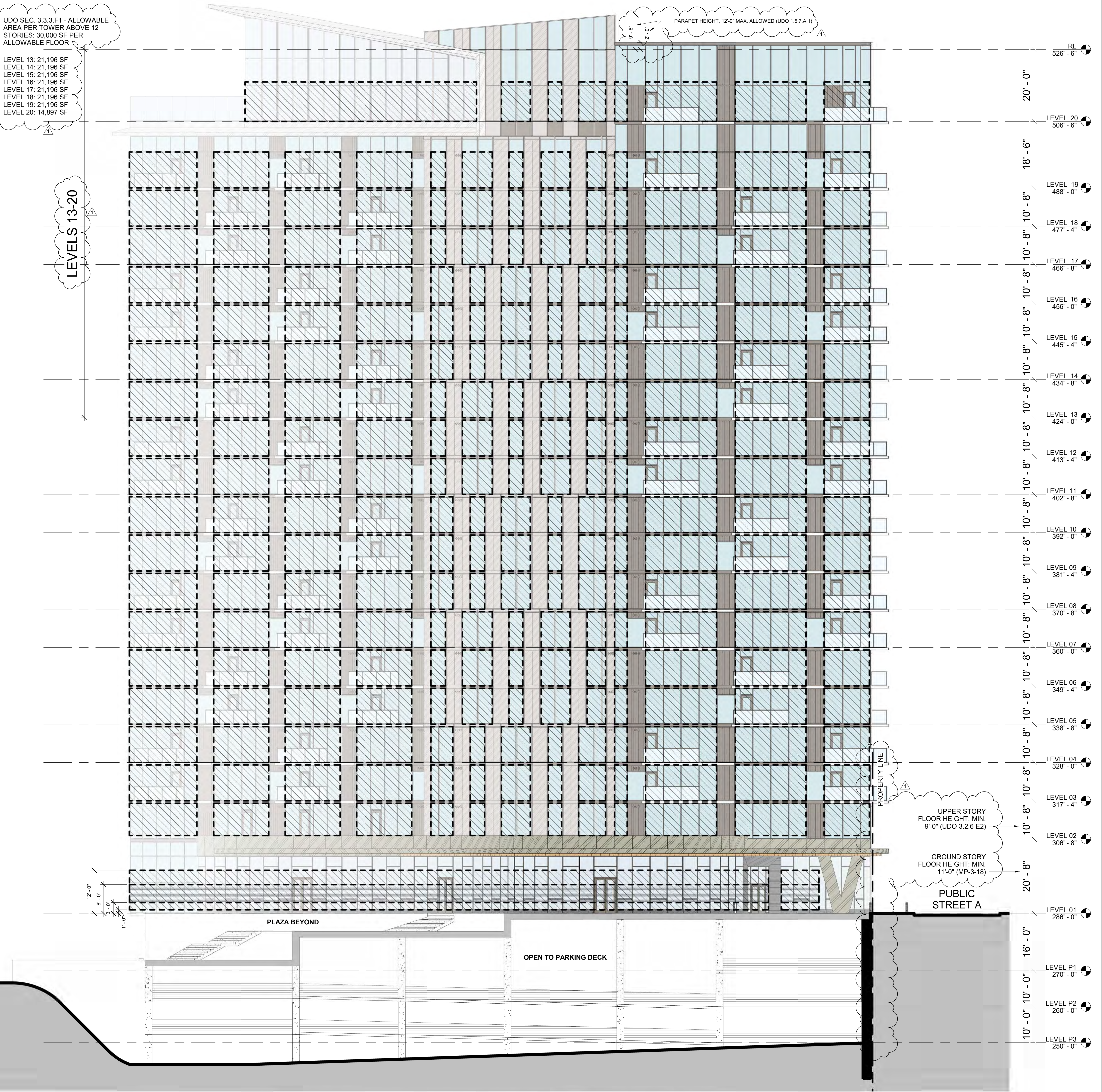
(UDO 1.5.9.B.4)

UDO SEC. 3.3.3.F1 - ALLOWABLE AREA PER TOWER ABOVE 12 STORIES: 30,000 SF PER ALLOWABLE FLOOR

LEVEL 13: 21,196 SF
 LEVEL 14: 21,196 SF
 LEVEL 15: 21,196 SF
 LEVEL 16: 21,196 SF
 LEVEL 17: 21,196 SF
 LEVEL 18: 21,196 SF
 LEVEL 19: 21,196 SF
 LEVEL 20: 14,897 SF

LEVELS 13-20

PARAPET HEIGHT, 12'-0" MAX. ALLOWED (UDO 1.5.7.A.1)



EXTERIOR FINISH LEGEND	
	GLAZING #1: TYPICAL TOWER GLAZING UNIT
	GLAZING #2: FAÇADE TYPE 3, FAÇADE TYPE 5, WINDSCREEN GLAZING UNIT
	GLAZING #3: RAILING GLAZING UNIT
	METAL PANEL #1: FAÇADE TYPE 1A, 1B PANEL
	METAL PANEL #2: FAÇADE TYPE 2A, 2B PANEL
	METAL PANEL #3: ACM METAL PANEL AT LEVEL 21 EYEBROW
	METAL PANEL #4: ACM METAL PANEL AT LEVEL 01 CANOPY
	METAL PANEL #5: ACM METAL PANEL AT TRANSFER COLUMN & BEAM CLADDING
	METAL PANEL #6: ACM METAL PANEL SURROUND AT LEVEL 01 CANOPY ENTRY
	FRAMING #1: MULLIONS, SLAB EDGE COVERS, EXHAUST VENTS, TERRACE DOORS, AND GUARDRAIL FRAMES TO MATCH METAL PANEL #1
	FRAMING #2: PREFINISHED MULLIONS, SLAB EDGE COVERS, AND EXHAUST VENTS TO MATCH METAL PANEL #2
	STONE VENEER #1: CAST STONE BASE BELOW FAÇADE TYPE 3
	WOOD CLADDING #1: SOFFT AT LEVEL 01 CANOPY
	PARKING SCREENING

1 WEST ELEVATION
 3/32" = 1'-0"

REV. NO.	DATE	REMARKS
1	06/27/22	ASR SUB. #2

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KANIE
 REALTY CORPORATION

WEST ELEVATION
 PARK CITY SOUTH - PHASE 2A
 RALEIGH, NC

DATE: _____
 JOB: 221055.00
 SHEET: A2-04 - ASR

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