

Administrative Approval Action

Case File / Name: ASR-0014-2023
DSLCL - CHALYN'S COTTAGES

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION:

The site is located at 2501 Poole Rd specifically PIN # 1713769914, the site is zoned Residential-4 (R-4) with the King Charles (South) Neighborhood Conservation District (-NCOD) and is in a Frequent Transit Area as designated by the Comprehensive Plan. The property is bordered to the east with a single-family residential dwelling (2507 Poole Road) and to the north by two properties, a single-family residential dwelling (329 South King Charles Road) and the southwest corner of Raleigh Country Club (400 Donald Ross Drive). The property fronts Poole Road to the south and South King Charles Road to the west.

REQUEST:

The application is requesting approval for a Townhome development project which includes 8 residential structures (16 dwelling units) designed per the Townhouse building type (UDO 1.4.1.C), outdoor amenity area, associated infrastructure, off-street parking, parking lot, and street trees. The applicant is using the Frequent Transit Development Option (UDO 2.7), including criteria for establishing affordable housing units, and King Charles (South) (UDO 5.4.3.F.6) as the development standards. The Frequent Transit Development Option permits the construction of more than 12 dwelling units when 20% of the units over 12 meet affordable housing standards. One affordable dwelling unit will be required with this development. Access to the off-street parking is shown off South King Charles Road. An internal pedestrian area is proposed to allow residents to walk directly to Poole Road. Submitted architectural plans (sheets A1 and A2) show the elevations of the proposed townhomes and the site plan (sheet C-3.00) shows the location of each proposed townhome building. The Administrative Approval and Approved Site Plans can be reviewed on the City's Development Approval webpage.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:

N/A

FINDINGS:

City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 20, 2024 by JOHN A EDWARDS AND CO.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Identify the number of retaining walls proposed with this development. Provide details of the walls. Permits will be issued at SPR application.



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- 2. If applicable, provide a lighting plan to meet UDO 7.4 including a photometric plan and cut sheets of the proposed lights. The lighting plan (if applicable) will need to be reviewed and approved prior to Site Permit Plan Approval.
- 3. A demolition permit shall be issued prior to Site Permit Review approval.
- 4. The extra services into units 11 & 12 must be removed prior to SPR approval. There shall be one service per building, not per unit.

Engineering

- 5. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Stormwater

- 6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 7. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 8. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

- 9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
- 10. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
-------------------------------------	--

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering



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1. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A fee-in-lieu for 1' of sidewalk along Poole Road and King Charles is paid to the City of Raleigh (UDO 8.1.10).
3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

4. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
6. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.



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Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

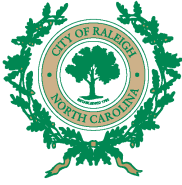
4. A public infrastructure surety for 16 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 11 street trees along King Charles Rd and 5 street trees along Poole Rd.
6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .217 acres of tree conservation area.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff.
3. Development shall comply with UDO Section 2.7.1.G4 and any other relevant sections and requirements related to affordable housing as a Frequent Transit Development Option (FTDO) development. A number of units equal to at least twenty percent (20%) shall be affordable for households earning sixty percent (60%) of the Area Median Income or less for a period of no less than 30 years from the date of issuance of a certificate of occupancy. The rent and income limits will follow the Affordable Housing Standards determined annually by the City of Raleigh Housing & Neighborhoods Department. An Affordable Housing Deed Restriction in a form approved by the City shall be filed and recorded in the property's chain of title by the property owner in the Wake County Register of Deeds prior to the project receiving a certificate of occupancy. The property owner of development approved under this section shall provide an annual report to the City to demonstrate compliance with the requirements of this section. The report shall utilize a form prescribed by the City and shall be submitted in accordance with a schedule set by the City. Affordable units used to meet the requirements of this section shall be constructed concurrently with the project's market rate units.

Stormwater



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- 4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- 5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 30, 2027

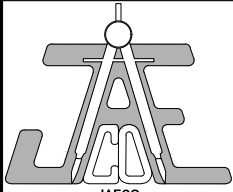
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ Date: 05/22/2024
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**



JAECO
Consulting Engineers and Land Surveyors

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LEGEND

- DENOTES CONCRETE
- DENOTES ADDRESS
- DENOTES DRIVEWAY
- HIGHWAY LINE
- RIGHT OF WAY LINE
- PROFILE LINE NOT SURVEYED
- EASEMENT LINE
- OVERHEAD POWERLINE
- CB
- PH
- LP
- MW
- SS/MH
- GW
- MV
- PP
- TP
- GM

EXISTING CONDITIONS PLAN

Number	Description	Date
1	PER CITY COMMENTS	05/11/23
2	PER CITY COMMENTS	06/19/23
3	PER CITY COMMENTS	10/24/23
4	PER CITY COMMENTS	03/20/24

PROJECT: 15241
DRAWING SCALE: 1" = 30'
DRAWN BY: CC
CHECKED BY: TT
DATE ISSUED: 01/11/23

C-1.00

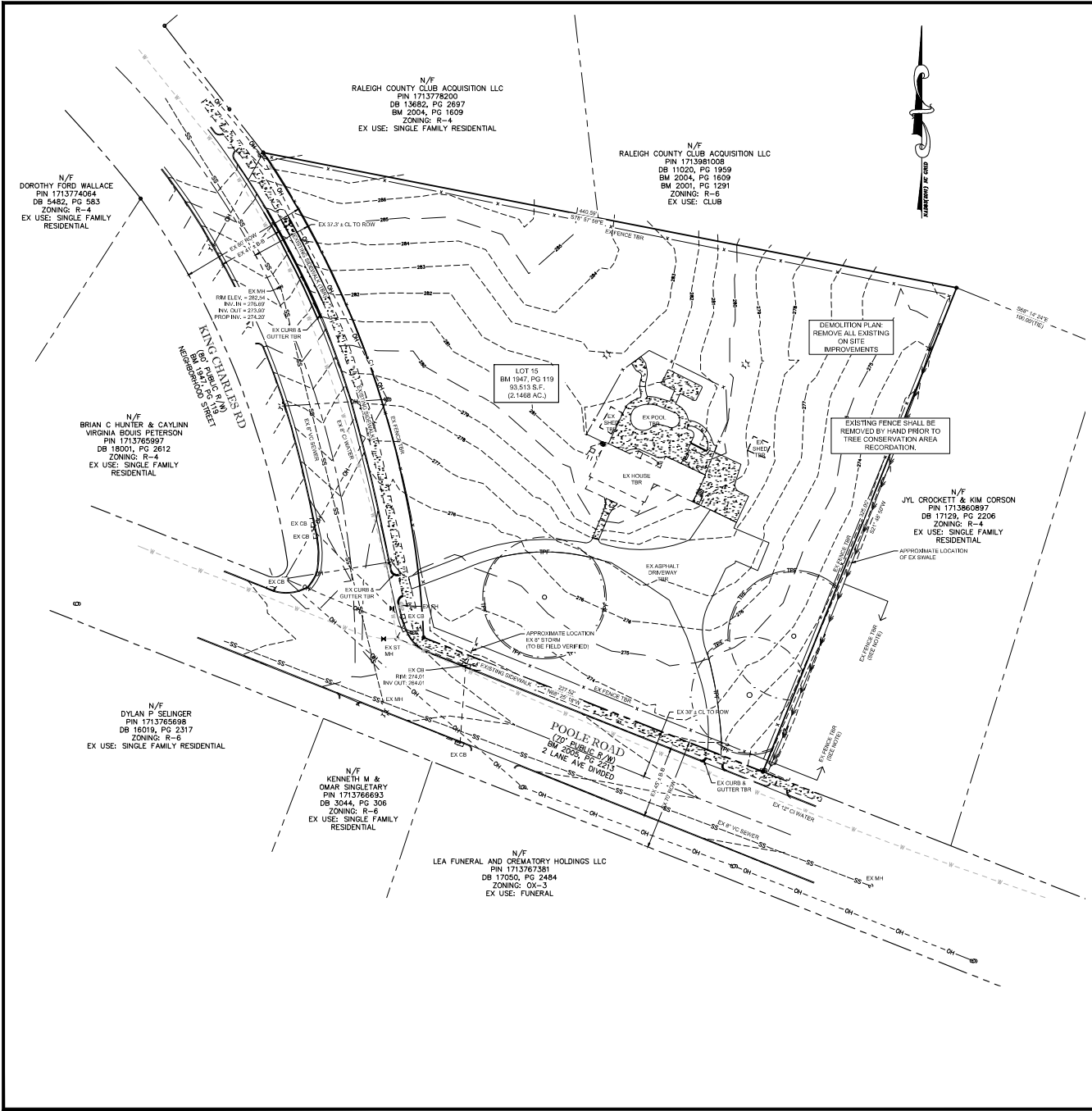
CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
CT	322.43	586.00	215.51	S 19° 17' 01" E

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONTACTS.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE GUY WIRE RELOCATION/REMOVAL WITH LOCAL UTILITY.
- CITY OF RALEIGH REQUIRES BIDDING WATER & SEWER SERVICE TO EXISTING HOUSE. EX SERVICE CONNECTIONS SHALL BE REMOVED IN ACCORDANCE WITH RALEIGH PUBLIC UTILITIES HANDBOOK SEWER CONSTRUCTION STANDARDS AND WATER CONSTRUCTION STANDARDS. FIELD LOCATED SERVICES TO BE PROVIDED DURING SPW REVIEW.
- EXISTING WATER AND SEWER SIZES AND MATERIALS PER SCOPE 0130-2022

SURVEY NOTES:

- ALL DISTANCES ARE HORIZONTAL GROUND.
- ALL DIMENSIONS ARE IN FEET.
- AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
- BASE OF BEARINGS IS WITH CARRIAGE (RIGHT) NORTH. HORIZONTALS TO THE SITE WERE LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTIGUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NCRD, RALEIGH, NC.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ALL MATTERS THAT AFFECT THE SUBJECT PROPERTY.
- ALL REFERENCE ARE MADE TO THE WAKE COUNTY REPERT.
- HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 83.



N/F
RALEIGH COUNTY CLUB ACQUISITION LLC
PIN 1713778200
DB 13682, PG 2697
BM 2004, PG 1609
ZONING: R-4
EX USE: SINGLE FAMILY RESIDENTIAL

N/F
RALEIGH COUNTY CLUB ACQUISITION LLC
PIN 1713981008
DB 11020, PG 1959
BM 2004, PG 1609
BM 2001, PG 1291
ZONING: R-6
EX USE: CLUB

N/F
DOROTHY FORD WALLACE
PIN 1713774084
DB 5482, PG 583
ZONING: R-4
EX USE: SINGLE FAMILY RESIDENTIAL

N/F
BRIAN C HUNTER & CAYLINN VIRGINIA BOUIS PETERSON
PIN 1713765997
DB 18001, PG 2812
ZONING: R-4
EX USE: SINGLE FAMILY RESIDENTIAL

N/F
DYLAN P SELINGER
PIN 1713765698
DB 16019, PG 2317
ZONING: R-6
EX USE: SINGLE FAMILY RESIDENTIAL

N/F
KENNETH M & OMAR SINGLETARY
PIN 1713766693
DB 2044, PG 306
ZONING: R-6
EX USE: SINGLE FAMILY RESIDENTIAL

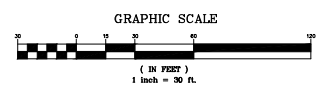
N/F
LEA FUNERAL AND CREMATORY HOLDINGS LLC
PIN 1713767393
DB 17050, PG 2484
ZONING: OX-3
EX USE: FUNERAL

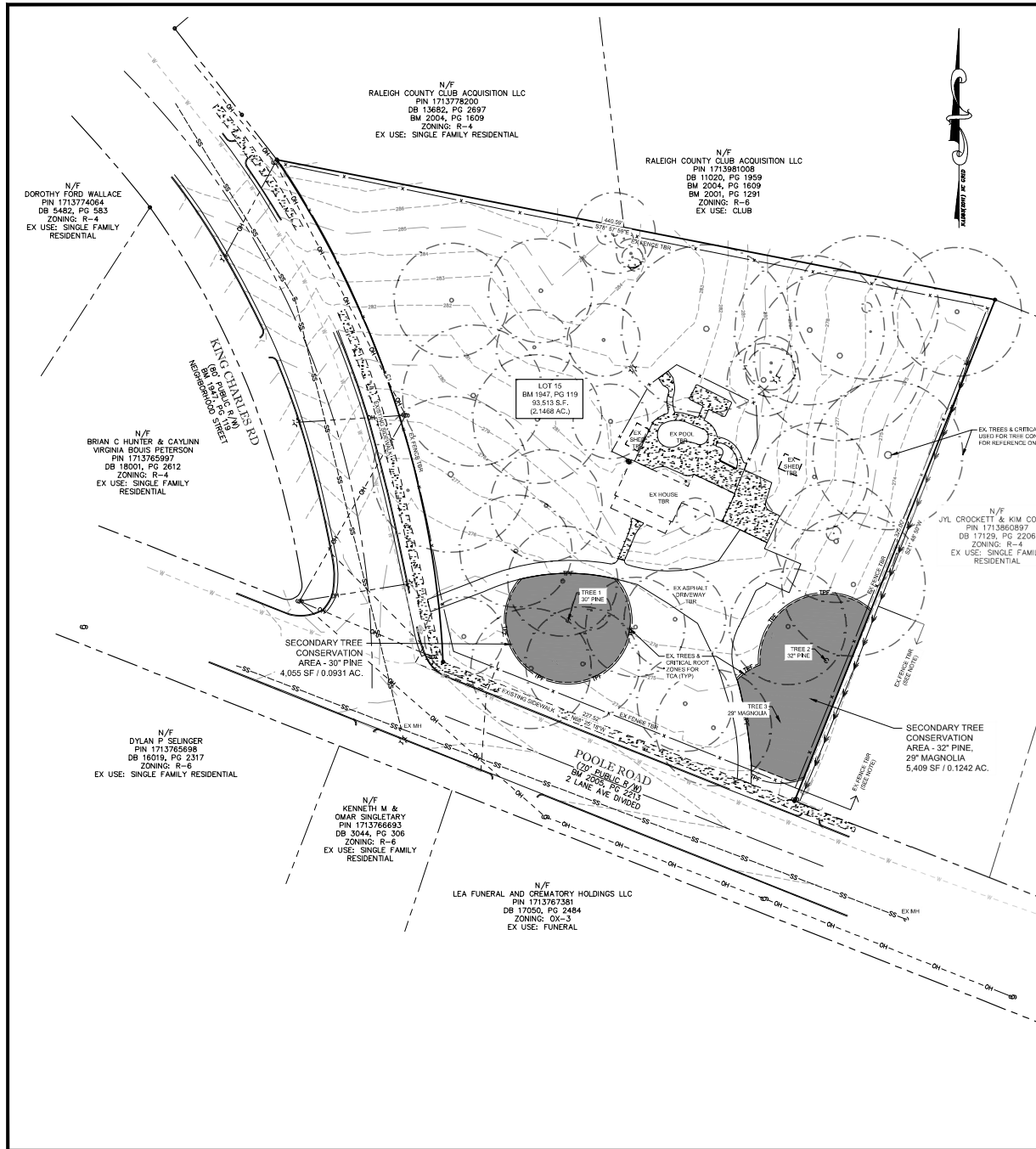
LOT 15
BM 1947, PG 119
93,513 S.F.
(2.1488 AC.)

DEMOLITION PLAN:
REMOVE ALL EXISTING
ON SITE
IMPROVEMENTS

EXISTING FENCE SHALL BE
REMOVED BY HAND PRIOR TO
TREE CONSERVATION AREA
RECORDATION.

N/F
JYL CROCKETT & KIM CORSON
PIN 1713860897
DB 17129, PG 2206
ZONING: R-4
EX USE: SINGLE FAMILY RESIDENTIAL





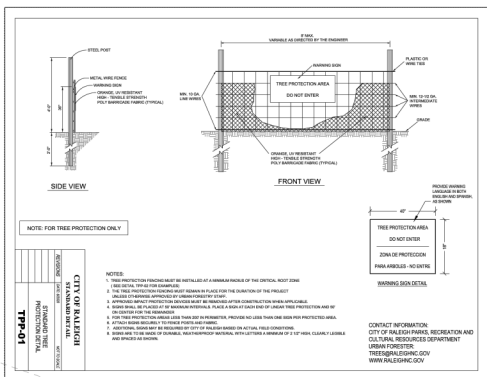
Tree Conservation Plan Data Sheet
 UDD Article 9.1 Tree Conservation
 (Include applicable information on the plan sheet)

Project Name: 2501 POOLE ROAD COTTAGE COURT

Gross Site Acres:	2.15	AC
Right-of-way to be dedicated with this project:	0.08	AC
Net Site Acres:	2.08	AC

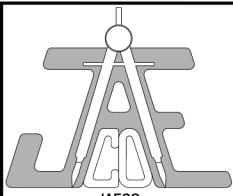
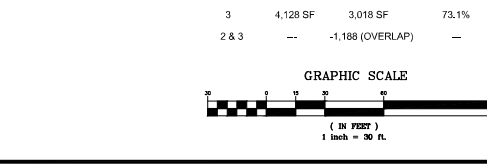
Number of Areas	Percent of Total	
UD0 9.1.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	0%	
2. Primary Tree Conservation Area - SHOD 2	0%	
3. Primary Tree Conservation Area - Parkway Portage	0%	
4. Primary Tree Conservation Area - CM	0%	
5. Primary Tree Conservation Area - MPOD	0%	
6. Primary Tree Conservation Area - Champion Tree 10' dbh species	0%	
7. Primary Tree Conservation Area - 45% Slopes	0%	
8. Primary Tree Conservation Area - Thoroughfare	0%	
Subtotal of Primary Tree Conservation Areas:	0%	
UD0 9.1.A.2 Tree Conservation Area - Greenway	0%	
UD0 9.1.A.8.1.a. & b. Secondary Tree Conservation Areas		
1. Primary Tree Conservation Area - (include perimeter buffers and their alternate compliance areas)	0%	
UD0 9.1.A.8.1.c. & d. Individual Tree Secondary Tree Conservation Areas		
(include individual trees and their alternate compliance areas)	0.2173	AC
Subtotal of Secondary Tree Conservation Areas:	0.2173	AC
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	0.2173	AC
UD0 9.1.B. Watershed Protection Overlay Districts		
UWPOD - Wooded Area (preserved)	0%	
UWPOD - Wooded Area (planted)	0%	
FWPOD - Wooded Area (preserved)	0%	
FWPOD - Wooded Area (planted)	0%	
SWPOD - Wooded Area (preserved)	0%	
SWPOD - Wooded Area (planted)	0%	

SECONDARY TREE CONSERVATION AREA - INDIVIDUAL TREES
 9,464 SF / 0.2173 AC.



CRITICAL ROOT ZONE CALCULATION

TREE	TOTAL CRZ	QUALIFYING CRZ	PERCENT
1	4,418 SF	4,055 SF	91.8%
2	5,026 SF	3,579 SF	71.2%
3	4,128 SF	3,018 SF	73.1%
2 & 3	--	-1,188 (OVERLAP)	--



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LEGEND

- DENOTES CONCRETE
- DENOTES ADDRESS
- DENOTES OVERWAY
- PROPERTY LINE
- RIGHT OF WAY LINE
- PROX. LINE NOT SURVEYED
- CASEY LINE
- OVERHEAD POWERLINE

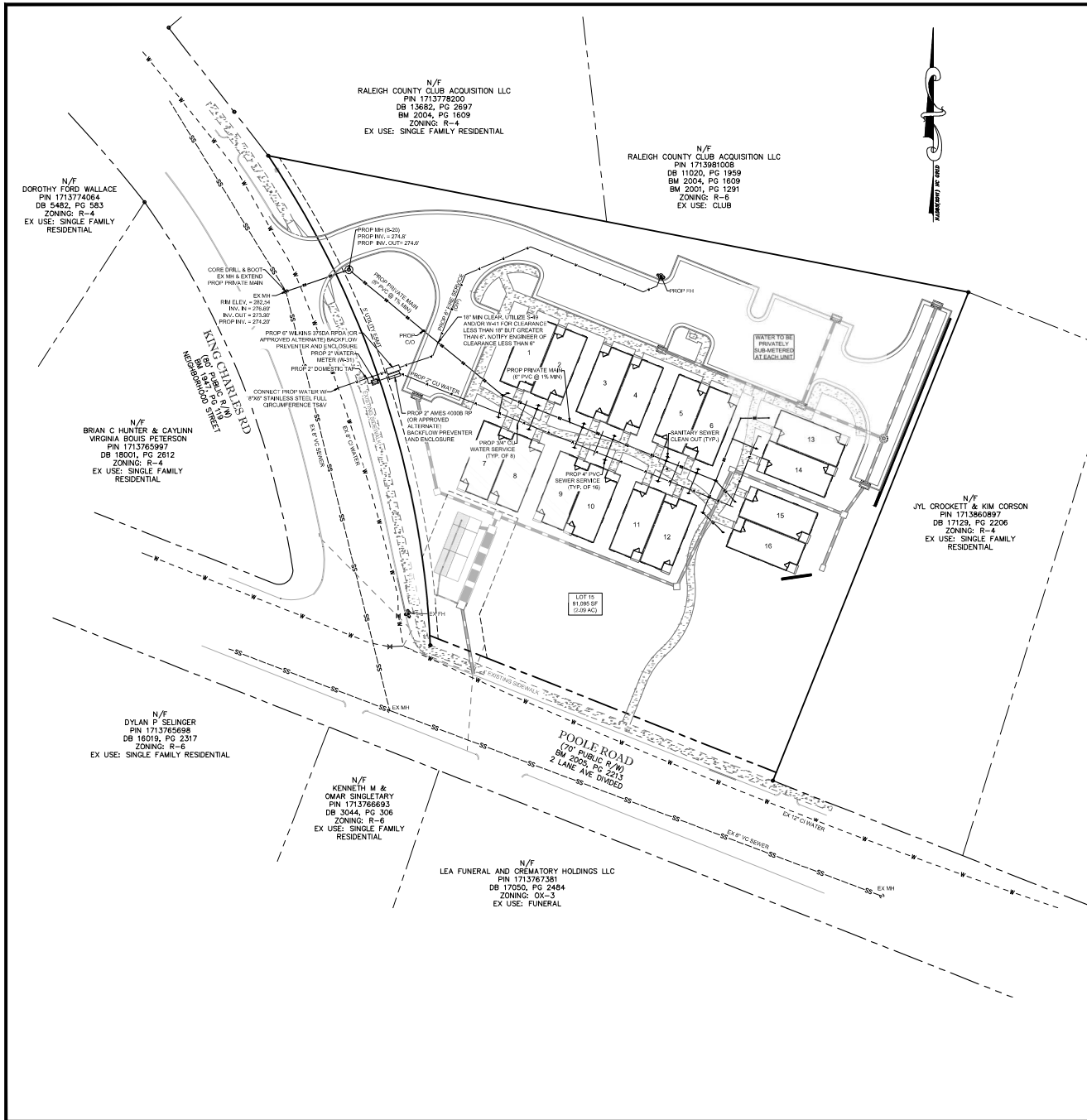
CB PH LP WW SSMH
 GW MV PP TP DM

TREE CONSERVATION PLAN

Number	Description	Date
1	PER CITY COMMENTS	05/11/23
2	PER CITY COMMENTS	06/19/23
3	PER CITY COMMENTS	03/04/23
4	PER CITY COMMENTS	03/20/24

PROJECT: 153401
 DRAWING SCALE: 1" = 30'
 DRAWN BY: CC
 CHECKED BY: TT
 DATE ISSUED: 01/12/23

C-2.00

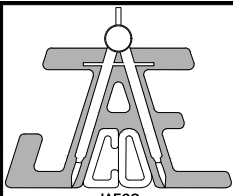


GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA 811 MISS UTILITY MARKOUT. EXISTING UTILITIES SHOULD BE ASSIGNED TO BE APPROPRIATE AND POTENTIALLY HAZARDOUS, ETC.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 1/2" INCH STORZ CONNECTION.
4. UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN 8' WIDE TURNING RADIUS OR 30' WHEELSPAN.
5. CITY OF RALEIGH RECORDS INDICATE EXISTING WATER & SEWER SERVICE TO EXISTING HOUSE. EX SERVICE CONNECTIONS SHALL BE RECONSTRUCTED IN ACCORDANCE WITH RALEIGH PUBLIC UTILITIES HANDBOOK SCHEDULE CONSTRUCTION STANDARD KIT AND WATER CONSTRUCTION STANDARD KIT. FIELD LOCATED SERVICES TO BE PROVIDED DURING SPR REVIEW.
6. EXISTING WATER AND SEWER SIZES AND MATERIALS PER 800P-0130-2022

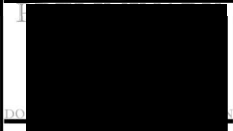
STANDARD UTILITY NOTES:

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
 - a) A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir (such as a source of drinking water). If subsurface lateral separation cannot be achieved, install sanitary sewer pipe (minimum specified & installed) to isolate the specifications. However, the minimum separation shall not be less than 20' from a private well or 50' from a public well.
 - b) When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the sewer should be in a separate trench with the elevation of the water main at least 15' above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - c) Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to isolate the specifications.
 - d) 10' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - e) Maintain 1/8" min. vertical separation at all watermain & RCP storm drain crossings; maintain 1/8" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete stable leaving 4" min. clearance (per CORPUD detail W-1 & S-41).
3. All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
4. Developer shall provide 30 days advance written notice to cover for any work required within an existing City of Raleigh Public Utilities Department prior to construction.
5. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be provided by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
6. 3.0' minimum cover is required on all water mains & sewer force mains; 4.0' minimum cover is required on all storm mains.
7. It is the developer's responsibility to obtain or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning, tap at main & removal of service from R/W or easement per CORPUD Handbook practices.
8. Install 3/4" copper water services with meters located at R/W or within a 2' x 2' Waterline Encasement immediately adjacent. **NOTE:** It is the applicant's responsibility to properly size the water service for each application to provide adequate flow & pressure.
9. Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at R/W or easement line & spaced every 75 linear feet maximum.
10. Pressure reducing valves are required on all water services exceeding 80 psi; backflow valves are required on all sanitary sewer services having building drains lower than 1.0' above the new sewer mainline.
11. All environmental permits applicable to the project must be obtained from NCDMVA, USACE &/or FEMA for any riparian buffer, wetland & floodable projects (respectively) prior to construction.
12. NCDOT Right-of-Way Encasement Agreements are required for any utility work (including main extensions & service taps) within state or a local R/W prior to construction.
13. Cross-connection / Oil Water Separator sizing calculations & installation specifications shall be approved by the RW FOG Program. Contributor must provide a signed O&G (Bldg Permit, Contact 919) 896-4191 or rog@raleighnc.gov for more information.
14. Cross-connection control protection devices are required based on degree of hazard (Hazard Index) as listed in Appendix of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The device shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approved list. The device shall be installed and water (both cold and hot) tested and certified in accordance with the manufacturer's recommendations at the local cross-connection control program, whichever is more stringent. A Certificate of Compliance shall also be obtained from the RW Cross-connection Coordinator for each device prior to issuance of a UO / Bldg Permit. Contact 919) 866-0203 or rog@raleighnc.gov for more information.
15. **NOTE:** For projects with reduced or oversized mains: If the City's reimbursement for an oversized main or urban main replacement project is \$250,000 or greater - the project must be publicly bid.



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 Raleigh NC 27610

Mark Thompson
 7201 Vermilion Ct
 Wake Forest, NC 27587
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thompsonfinancial@bellsouth.net

Call before you dig.

LEGEND

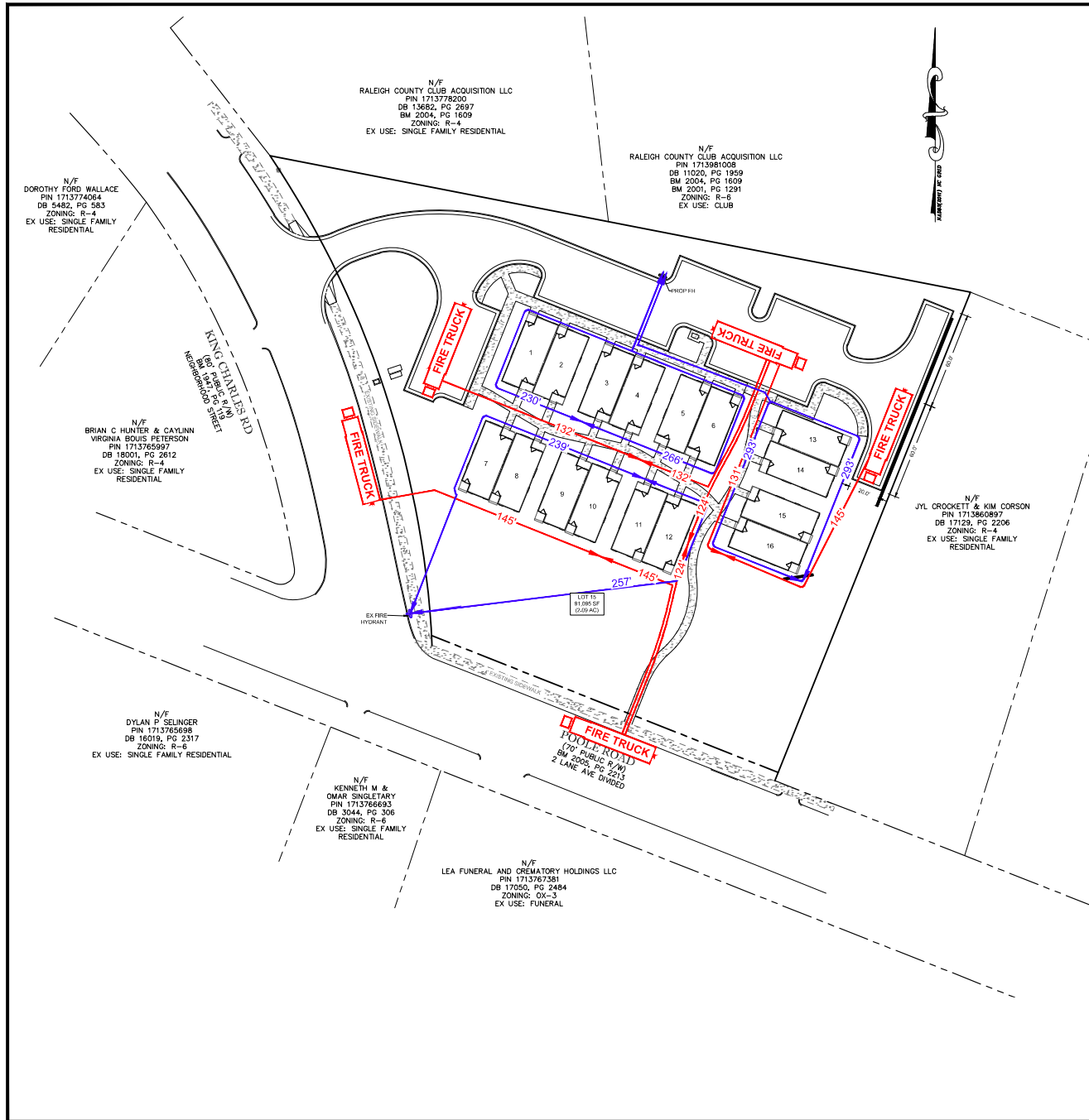
EX SEWER LINE	---	SS
EX WATERLINE	---	W
PROP WATER LINE	---	W
PROP SEWER LINE	---	SS
PROP BS MANHOLE	●	

UTILITY PLAN

Number	Description	Date
1	PER CITY COMMENTS	05/11/23
2	PER CITY COMMENTS	06/19/23
3	PER CITY COMMENTS	10/04/23
4	PER CITY COMMENTS	03/02/24

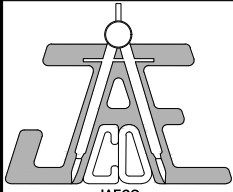
JAECO #: 15341
 DRAWING SCALE: 1" = 30'
 DRAWN BY: CC
 CHECKED BY: TT
 DATE ISSUED: 01/12/23

C-4.00



GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA "TYPICAL UTILITY" MARKOUT. EXISTING UTILITIES SHOULD BE ASSIGNED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NC DOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. FIRE HYDRANTS SHALL BE EQUIPPED WITH NPT THREADS AND WITH A SINCH STORZ CONNECTION.
4. UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.
5. CITY OF RALEIGH RECORDS INDICATE EXISTING WATER & SEWER SERVICE TO EXISTING HOUSE. EX SERVICE CONNECTIONS SHALL BE REMOVED IN ACCORDANCE WITH RALEIGH PUBLIC UTILITIES HANDBOOK SEWER CONSTRUCTION STANDARDS AND WATER CONSTRUCTION STANDARDS. ALL FIELD LOCATED SERVICES TO BE PROVIDED DURING SFR REVIEW.
6. EXISTING WATER AND SEWER SEWER AND MATERIALS PER SCOP-0103A-2022



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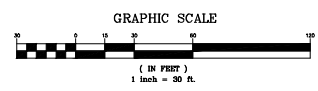
Call before you dig.

LEGEND

- PROP FIRE TRUCK COVERAGE ——— XXX ———
- PROP FIRE HYDRANT COVERAGE ——— XXX ———

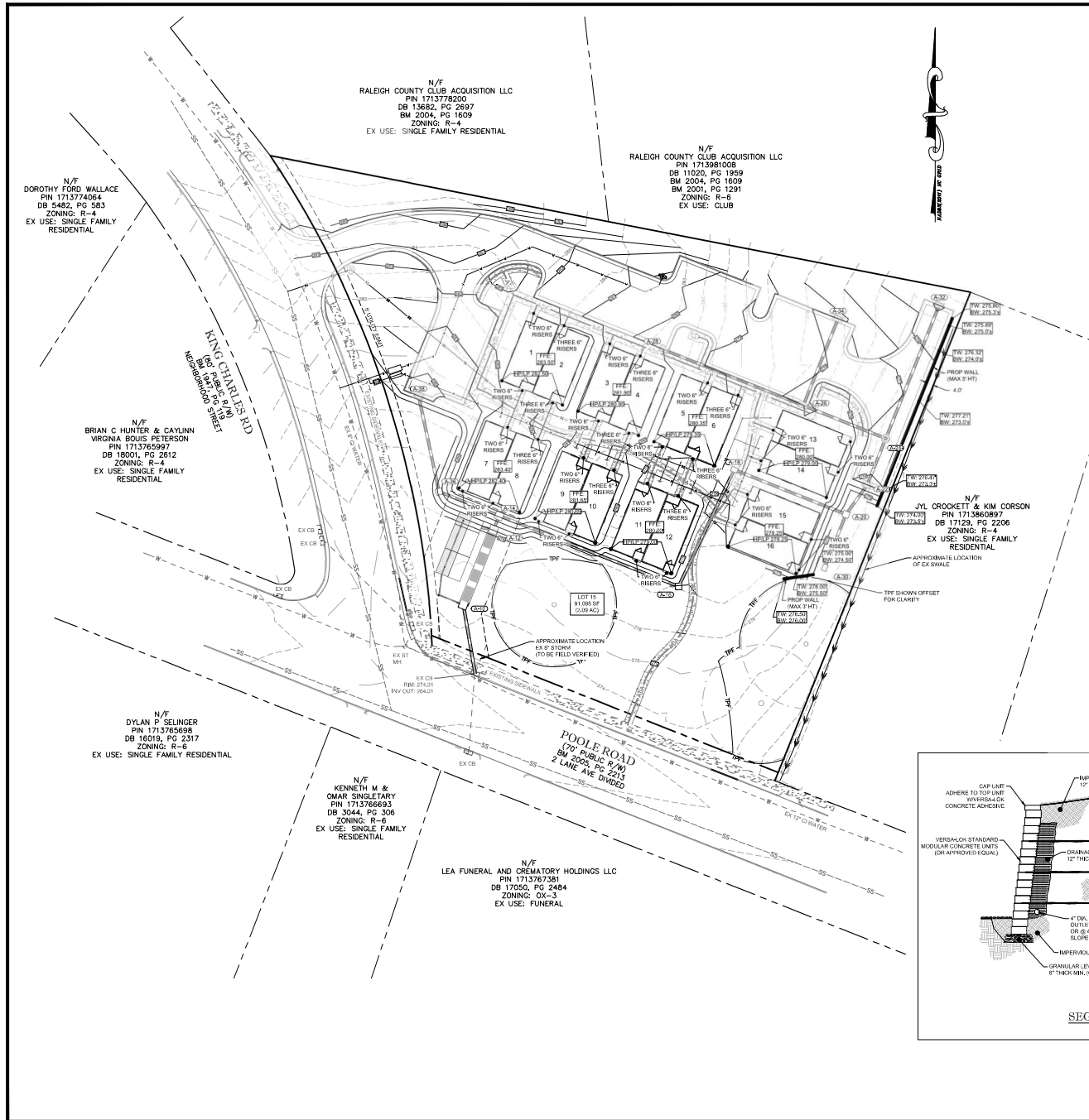
FIRE COVERAGE PLAN

Number	Description	Date
1	PER CITY COMMENTS	05/11/23
2	PER CITY COMMENTS	06/19/23
3	PER CITY COMMENTS	03/04/23
4	PER CITY COMMENTS	03/20/24



PROJECT: 133041
 DRAWING SCALE: 1" = 30'
 DRAWN BY: CC
 CHECKED BY: TT
 DATE ISSUED: 01/12/23

C-4.01



GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED FROM A "TMSB UTILITY" MARKOUT. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR GRINDCOOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- FIRE HYDRANTS SHALL BE EQUIPPED WITH NPT THREADS AND WITH A 5 INCH STORZ CONNECTION.
- UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INBICE TURNING RADIUS OF 30' MINIMUM.
- CITY OF RALEIGH RECORDS INDICATE EXISTING WATER & SEWER SERVICE TO EXISTING HOUSE. EX SERVICE CONNECTIONS SHALL BE REMOVED IN ACCORDANCE WITH RALEIGH PUBLIC UTILITIES HANDBOOK SEWER CONSTRUCTION STANDARDS AND WATER CONSTRUCTION STANDARDS. FIELD LOCATED SERVICES TO BE PROVIDED DURING SPR REVIEW.
- EXISTING WATER AND SEWER SIZES & MATERIALS PER SCOPE 4150-2002

ATTENTION CONTRACTORS:

The Contractor/Constructor responsible for the erection of water, sewer, and/or gas, as approved in their plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-3092 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-3092 to obtain field data prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of emergency fees, and require reinstallation of any water or sewer services not inspected as a result of this notification failure.

FAILURE to call for inspection, install a Downstream Plug, have Permit Mark set in the ground, or any other violation of the CITY OF RALEIGH STANDARDS will result in a Stop-work Order. Failure to comply from future work in the CITY OF RALEIGH.

SPOT KEY

BC	BOTTOM OF CURB
BR	BOTTOM OF RISER
BW	BOTTOM OF WALL
FFE	FINISHED FLOOR ELEVATION
G	GRADE
HP	HIGH POINT
LP	LOW POINT
TC	TOP OF CURB
TR	TOP OF RISER
TW	TOP OF WALL

BUILDING ELEVATIONS

PRIMARY STREET FRONTAGE	South		
	LOW	HIGH	AVG
Building #1 (units 1 & 2)	282.50	282.50	282.50
Building #2 (units 3 & 4)	280.90	280.90	280.90
Building #3 (units 5 & 6)	278.35	279.35	278.85
Building #4 (units 7 & 8)	282.40	282.40	282.40
Building #5 (units 9 & 10)	280.65	280.65	280.65
Building #6 (units 11 & 12)	279.00	279.00	279.00
Building #7 (units 13 & 14)	279.00	279.00	279.00
Building #8 (units 15 & 16)	278.25	278.25	278.25

Where property slope increases to the rear, building height is measured from the average post - Per section 15.7A.21(c-4.20) of the UOD, building height is measured from the average improved grade to the top of the highest point of a pitch or flat roof excluding the parapet.

Average grade is considered to be the average post-development grade along the building elevation most parallel and closest to the primary street setback. Where a site or lot is determined to have more than one primary street, average grade shall be determined along elevation most

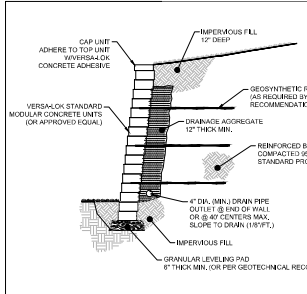
RETAINING WALL TABLE

#1	MAX HEIGHT	LENGTH
1	7'	30'
2	0'	120'

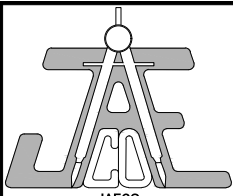
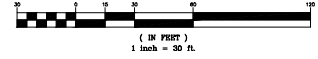
RETAINING WALL NOTES

- JACO is NOT RESPONSIBLE FOR STRUCTURAL DESIGN OF RETAINING WALLS. DETAILS SHOWN IN CONCRETE ONLY AND STRUCTURAL DESIGN SHALL BE PROVIDED BY NORTH CAROLINA LICENSED ENGINEER.
- BLOCK COLOR TO BE SPECIFIED BY OWNER, DO NOT MIX UNITS FROM DIFFERENT VENDORS ON SAME WALL.
- DO NOT USE SEGMENTAL GRAVITY WALLS WHEN VERY LIGHT OR SOFT SOIL OR MUCH BELOW WALL.
- DO NOT USE SEGMENTAL GRAVITY WALLS WHEN VERY LIGHT OR SOFT SOIL OR MUCH BELOW WALL.
- DETAILED WALL DESIGN DRAWINGS SHALL BE SUBMITTED TO A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA AND SUBMITTED TO THE LOCAL AUTHORITY PRIOR TO CONSTRUCTION.
- A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA SHALL PERFORM CONSTRUCTION OBSERVATIONS, VERIFY WALL IN SITU AND LETTER TO THE LOCAL AUTHORITY THAT THE PROPOSED WALLS ARE CONSTRUCTED PER THE ENGINEERED DRAWINGS IN CONFORMANCE WITH NORTH CAROLINA BUILDING CODE SECTIONS 160 AND 1605.
- MANUFACTURERS SHALL PROVIDE CALCULATIONS COMPLETED BY A LICENSED STRUCTURAL ENGINEER.
- SAFETY RAILING AND/OR WALL PROTECTION REQUIRED FOR ALL WALLS GREATER THAN OR EQUAL TO 30" MEASURED FROM GRADE BELOW TO ANY POINT WITHIN 18" HORIZONTAL TO THE EDGE.
- SAFETY RAILING, WHERE REQUIRED, SHALL COMPLY WITH NORTH CAROLINA BUILDING CODE SECTION 1610.
- CURT IN PLACE WALL SUBSTITUTION SHALL PROVIDE MASONRY VENEER WITH MATCHING TEXTURE, QUALITY, AND COLOR TO BE COMPATIBLE WITH ORIGINAL BUILDING.
- CONCRETE WATER-CURABLE CURE SHALL BE APPLIED AWAY FROM ADJACENT WALLS.
- CONTRACTOR SHALL NOTIFY ENGINEER OF CONFLICTS WITH CONCENTRATED FLOW.

SEGMENTAL RETAINING WALL DETAIL
(FOR APPROVED ALTERNATE) N.T.S.



GRAPHIC SCALE



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LEGEND

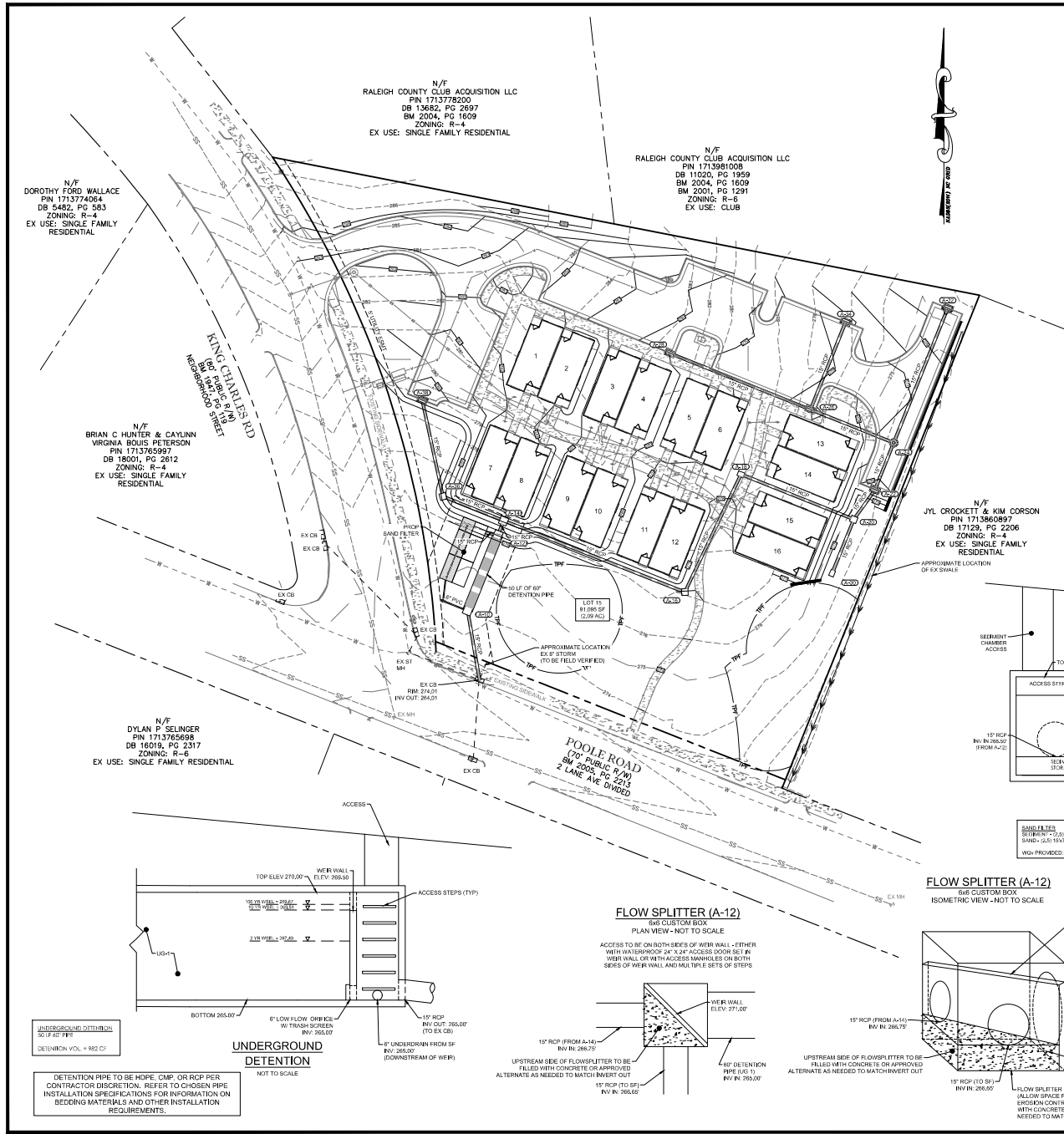
EX MAJOR CONTOUR	---
EX MINOR CONTOUR	----
PROF. CONTOUR	----
PROF. MINOR CONTOUR	----
PROF. ADA PATH	----

GRADING PLAN

Revisions	Number	Description	Date
1	PER CITY COMMENTS	05/11/23	
2	PER CITY COMMENTS	06/19/23	
3	PER CITY COMMENTS	10/04/23	
4	PER CITY COMMENTS	03/20/24	

JACO # 15501
 DRAWING SCALE: 1" = 30'
 DRAWN BY: CC
 CHECKED BY: IT
 DATE ISSUED: 01/12/23

C-5.00



GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED IN 11 TIMES UTILITY MARKOUT. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND /OR NC DOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- FIRE HYDRANTS SHALL BE EQUIPPED WITH NPT 1" THREADS AND WITH A 4 INCH STORV CONNECTION.
- UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.
- CITY OF RALEIGH RECORDS INDICATE EXISTING WATER & SEWER SERVICE TO EXISTING HOME. EX SERVICE CONNECTION SHALL BE REMOVED IN ACCORDANCE WITH RALEIGH UTILITY DEPARTMENT STANDARD SPECIFICATIONS AND WATER CONSTRUCTION STANDARD #31. FIELD LOCATED SERVICES TO BE PROVIDED DURING 10% PERMITS.
- EXISTING WATER AND SEWER SIZES AND MATERIALS PER SCOPE 0139-2022

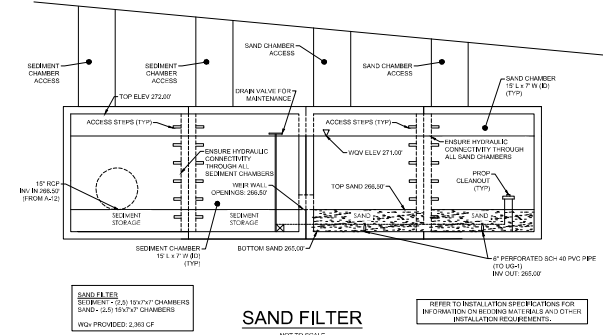
UNDERDRAIN NOTES:

- AT LEAST ONE CLEAN OUT SHALL BE PROVIDED AT THE LOW POINT OF EACH UNDERDRAIN.
- UNDERDRAIN SHALL BE #2 SCHEDULE 40 OR SIPS# SMOOTH WALL PVC.
- PIPE SOCKS ARE NOT PERMITTED.
- UNDERDRAINS SHALL BE LADY TAP.
- PIPES SHALL HAVE CURED FITTINGS WITH SCREW TYPE CAPS.
- THE ENDS OF THE UNDERDRAIN PIPES SHALL BE CAPPED.

SAND FILTER NOTES:

- SEASONAL HIGH WATER TABLE (SHWT) TO BE DETERMINED. IN THE EVENT SEPARATION BETWEEN SHWT & FACILITY BOTTOM BELIEVED TO BE AN IMPERMEABLE LAYER SHALL BE PROVIDED.
- THE SAND MEDIA SHALL BE CLEAN, WASHED, COURSE MASONRY SAND SUCH AS ASTM C31 OR EQUIVALENT. THE SAND PARTICLES SHALL BE LESS THAN 2MM AVERAGE DIAMETER.
- MAINTAIN SAND FILTER MEDIA SUCH THAT INFILTRATION RATES BE GREATER THAN OR EQUAL TO TWO INCHES PER HOUR (IPH).

STRUCTURE ID	TYPE	STD. DETAIL	RIM	INVERT IN (IUS STR.)	INVERT OUT (DIS STR.)	PIPE OUT
A-10	CONTROL STRUCTURE	SEE SHOPS	274.67	262.00 (SF (OUT)) 264.30 (EX CB)	200.00 (A-12)	43.06LF 15" RCP @ 1.51%
A-12	FLOW SPLITTER	SEE SHOPS	279.00	268.75 (A-14)	266.00 (A-10) 266.65 (SF IN)	50.00LF 60" RCP @ 0.00% 7.86LF 15" RCP @ 1.96%
A-14	JB	SW-10.04 SW-10.25	281.80	271.85 (A-16) 262.30 (A-12)	266.00 (A-10)	9.30LF 15" RCP @ 1.07%
A-16	JB	SW-10.04 SW-10.25	279.00	267.20 (A-18)	267.50 (A-14)	119.16LF 15" RCP @ 1.01%
A-18	YB	SW-10.03	276.73	268.70 (A-20)	269.50 (A-16)	79.82LF 15" RCP @ 1.00%
A-20	JB	SW-10.04 SW-10.25	274.72	269.45 (A-22) 269.45 (A-20)	268.45 (A-18)	74.35LF 15" RCP @ 1.01%
A-24	MH	SW-10.05	278.63	271.00 (A-26) 270.50 (A-22)	270.45 (A-22)	31.00LF 15" RCP @ 1.13%
M08	CB	SW-10.01	279.00	273.55 (A-28) 273.25 (A-24)	273.05 (A-28)	14.82LF 15" RCP @ 2.01%
A-28	CB	SW-10.01	279.00	276.70 (A-30) 276.15 (A-26)	276.15 (A-26)	80.45LF 15" RCP @ 2.22%
A-30	YB	SW-10.03	274.49	276.15 (A-32)	264.51 (A-28)	15.45LF 15" RCP @ 1.07%
A-32	CB	SW-10.01	275.43	271.10 (A-34) 270.55 (A-30)	270.55 (A-30)	80.05LF 15" RCP @ 2.01%
A-34	CB	SW-10.01	274.13	273.55 (A-36) 273.25 (A-32)	273.25 (A-32)	58.00LF 15" RCP @ 1.00%
M-36	JB	SW-10.04 SW-10.25	279.00	272.20 (A-38) 271.50 (A-34)	271.50 (A-34)	40.35LF 15" RCP @ 1.00%
A-38	CB	SW-10.01	280.04	274.00 (A-40) 273.50 (A-36)	273.50 (A-36)	65.19LF 15" RCP @ 2.01%



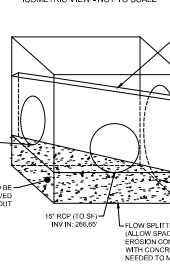
SAND FILTER

SCHEMATIC ONLY - REFER TO FINAL SHOP DRAWINGS BY PRECASTER FOR DETAILED INFORMATION ON LAYOUT AND INSTALLATION

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or other utility lines, is responsible for notifying the PUBLIC UTILITIES WORKS DEPARTMENT at 919.973.6222 and the PUBLIC UTILITIES DEPARTMENT at 919.973.6222. The contractor shall be responsible for notifying any other contractors. FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of emergency flow, and the installation of any water or sewer facilities not inspected as a result of this notification failure. FAILURE to call for inspection, install a Downstream Plug, have Downstream Plug on the pipe, or any other violation of CITY OF RALEIGH STANDARDS will result in a Downstream Plug being installed. Work done in the CITY OF RALEIGH.

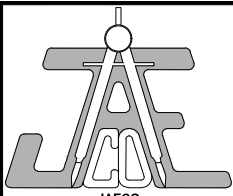
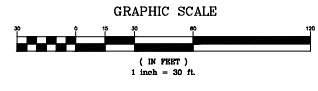
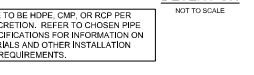
FLOW SPLITTER (A-12)
 8x6 CUSTOM BOX
 ISOMETRIC VIEW - NOT TO SCALE



FLOW SPLITTER (A-12)
 8x6 CUSTOM BOX
 PLAN VIEW - NOT TO SCALE



UNDERGROUND DETENTION
 NOT TO SCALE



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LEGEND

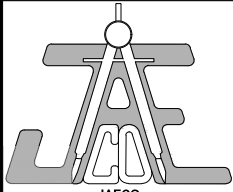
PROP SAND FILTER CHAMBER
 PROP SEDIMENT CHAMBER

Revision	Description	Date
1	PER CITY COMMENTS	05/24/23
2	PER CITY COMMENTS	06/19/23
3	PER CITY COMMENTS	10/24/23
4	PER CITY COMMENTS	03/02/24

STORMWATER PLAN

PROJECT: 15241
 DRAWING SCALE: 1" = 30'
 DRAWN BY: CC
 CHECKED BY: TT
 DATE ISSUED: 01/12/23

C-6.00



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LEGEND

PLANT TAG (SEE PLANT LIST)

 PLANT ABBREVIATION (KEY)

 QUANTITY

LANDSCAPE PLAN

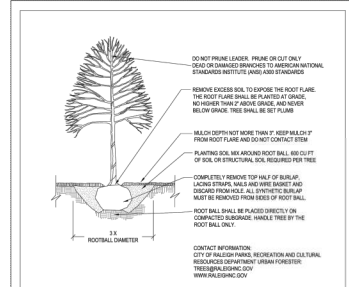
Number	Description	Date
1	PER CITY COMMENTS	05/11/23
2	PER CITY COMMENTS	06/19/23
3	PER CITY COMMENTS	12/04/23
4	PER CITY COMMENTS	03/20/24

PROJECT: 15241
DRAWING SCALE: 1" = 30'
DRAWN BY: CC
CHECKED BY: TT
DATE ISSUED: 01/12/23

C-7.00

PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	MATURE SP.	MATURE HT.	ROOT	REMARKS
TREES									
A*	10	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	3"	10'	40-50'	35-40'	BB	
C1	4	CalBriggsia x Islandia	Loxford Cypress	3"	10'	40-50'	35-40'	BB	
Hc	13	Halesia carolina 'Jersey Belle'	Carolina Silverbell	1.5"	6'	20-25'	15-20'	BB	Single Stem
Q1	5	Quercus Lyrata	Overcup Oak	3"	10'	60"	25-30'	BB	
SHRUBS									
PH	17	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel		18"			CONT	3' oc



- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. POSITIVE DRAINAGE AWAY FROM PITS.
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 15TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL UTILITIES AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IS ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN 60 DAYS.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD SYMBOLS	
	TREE PLANTING DETAIL
	TPP-03

LANDSCAPE CALCULATIONS

PARKING AREA (UDO 7.1.7.F, UDO 7.1.7.G)
 TOTAL PARKING AREA: 19,600 SF
 TREES REQUIRED: 9 (1 / 2000 SF)
 TREES PROVIDED: 10
 SHRUBS PROVIDED: 17 (30/100 LF)

STREETSCAPE (UDO 8.5.5.B, UDO 8.5.9.G)
 POOLE ROAD (2 LANE DIVIDED AVENUE) - 232.5 LF
 TREES REQUIRED: 5 SHADE TREES (40' OC)
 TREES PROVIDED: 5 SHADE TREES

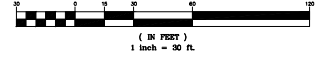
KING CHARLES ROAD - 310.6 LF
 TREES REQUIRED: 15 UNDERSTORY TREES DUE TO OVERHEAD LINES (20' OC)
 TREES PROVIDED: 11 UNDERSTORY TREES

SEE-IN-LIEU TO BE PROVIDED FOR 4 UNDERSTORY TREES ALONG KING CHARLES RD. PER URBAN FORESTRY REVIEWER.

LANDSCAPE NOTES

- BB AS LISTED UNDER 'ROOT' IN THE PLANT LIST INDICATES BALLED AND BURLAPPED. CONT. INDICATES CONTAINER GROWN PLANT.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS REQUIRED ON THE PLANTING PLAN.
- ALL TREES, SHRUBS, AND PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
- PRUNING- THIN BRANCHES AND FOLIAGE (NOT ALL END TIPS) RETAINING NORMAL PLANT SHAPE. NEVER CUT EVERGREEN LEADER.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO GRADE IN NURSERY.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- VERIFICATION OF LOCATIONS OF UNDERGROUND UTILITIES IS RECOMMENDED PRIOR TO PLANTING.
- MULCH TO BE 4" DEEP HARDWOOD BARK MULCH.
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL (TPP-03)
- STREET TREES SHALL BE INSTALLED & MAINTAINED IN ACCORDANCE WITH THE REQUIREMENT OF CHAPTER 2 OF THE CITY TREE MANUAL.

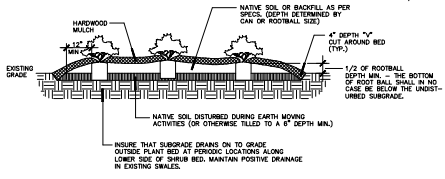
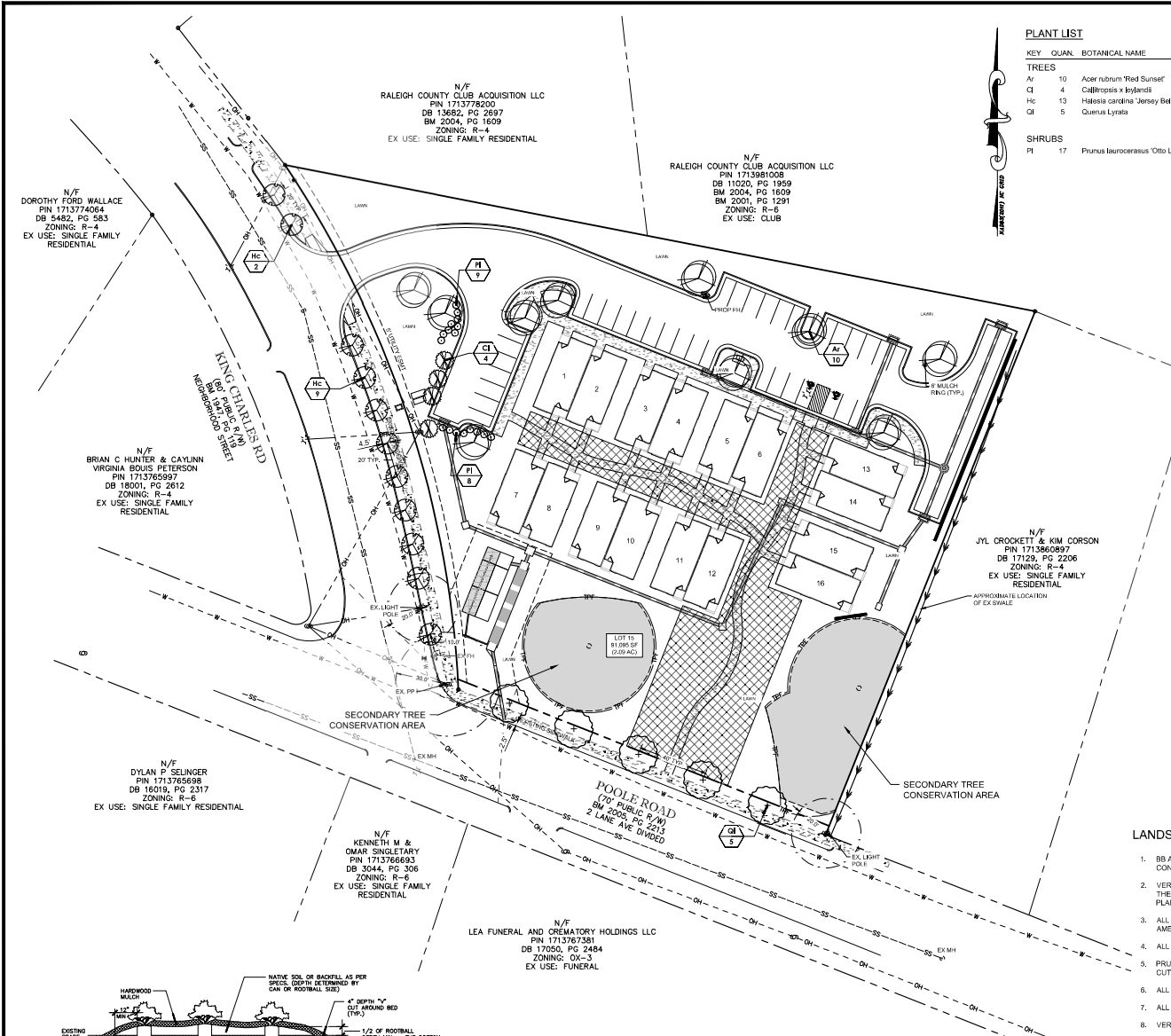
GRAPHIC SCALE



GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON ARE ASSUMED TO BE ACCURATE UNLESS OTHERWISE NOTED. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROPRIATE AND POTENTIALLY INCOMPLETE.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 1/2" INCH STORZ CONNECTION.
- UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- CITY OF RALEIGH RECORDS INDICATE EXISTING WATER & SEWER SERVICE TO EXISTING HOUSE. EX. SERVICE CONNECTIONS SHALL BE REMOVED IN ACCORDANCE WITH RALEIGH PUBLIC UTILITIES HANDBOOK. SEWER CONSTRUCTION STANDARDS AND WATER CONSTRUCTION STANDARDS (S1, R1) LOCATED SERVICES TO BE PROVIDED DURING SITE REVIEW.
- EXISTING WATER AND SEWER SIZES AND MATERIALS PER SCOPE 4110-2022

NOTE: STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

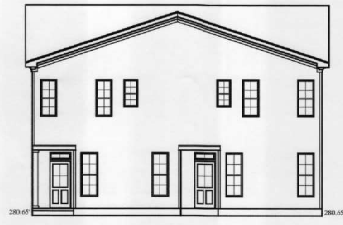


SHRUB PLANTING DETAIL

NOT TO SCALE



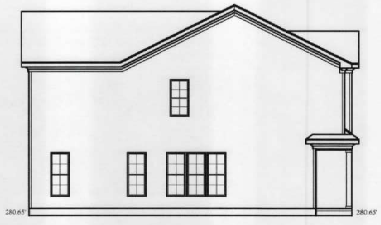
UNIT 10 UNIT 9
NORTH ELEVATION



UNIT 9 UNIT 10
SOUTH ELEVATION



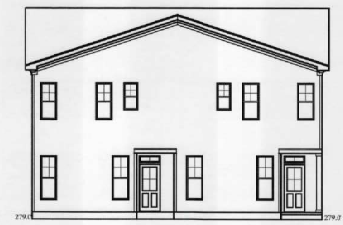
UNIT 10
WEST ELEVATION



UNIT 9
EAST ELEVATION



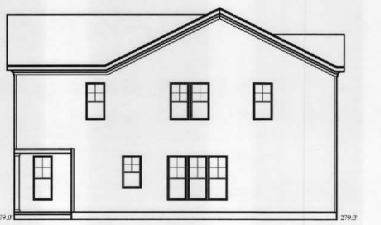
UNIT 12 UNIT 11
NORTH ELEVATION



UNIT 9 UNIT 10
SOUTH ELEVATION



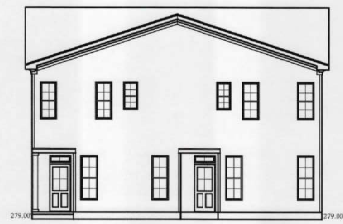
UNIT 10
WEST ELEVATION



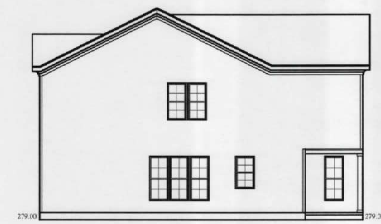
UNIT 9
EAST ELEVATION



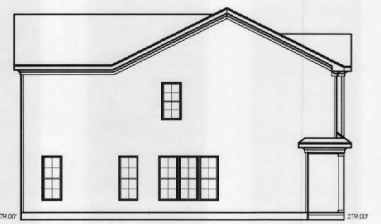
UNIT 13 UNIT 14
WEST ELEVATION



UNIT 4 UNIT 13
EAST ELEVATION



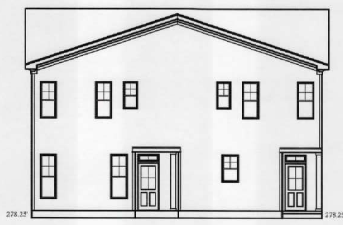
UNIT 14
SOUTH ELEVATION



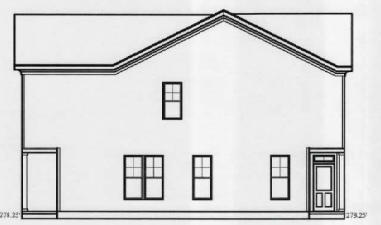
UNIT 13
NORTH ELEVATION



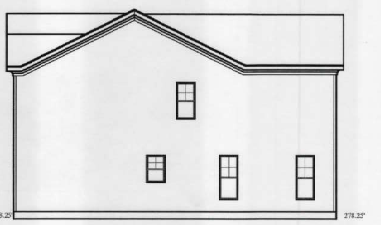
UNIT 15 UNIT 16
WEST ELEVATION



UNIT 16 UNIT 15
EAST ELEVATION



UNIT 15
NORTH ELEVATION

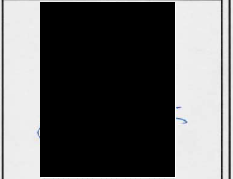


UNIT 16
SOUTH ELEVATION



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No.	Description	Date

Chailyn's Cottages
Poole Rd.
Raleigh NC



Project number
Date 11-30-23
Drawn by RKR
Checked by EJS

A2
Scale As Indicated