

# Administrative Approval Action

Case File / Name: ASR-0014-2024  
DSLCL - GLENLAKE LOT 1

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 3.07 acre site zoned CX-7 CU (Z-77-21) is located on the northeast corner of the intersection of Edwards Mill Road and Parklake Avenue at 4501 Edwards Mill Road.

**REQUEST:** Construction of a one-story 8,152 square foot general building for a restaurant with surface parking.

DA-8-2024 (Glenlake Lot 1) - (1) to allow the proposed service area to be located in front of the building in lieu of being located to the side or rear of building as required per UDO Section 7.2.5.C.1; (2) for relief from the requirement to protect the entire critical root zone of each existing tree per UDO Section 7.2.7.E.6 in order to preserve existing street trees; (3) for complete relief from the Avenue 2-lane Divided street cross section along Parklake Avenue required per UDO Section 8.5.5.B; and (4) for complete relief from the Avenue 2-lane Undivided street cross section along Edwards Mill Road required per UDO Section 8.5.5.A.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 23, 2024 by HIGHWOODS REALTY LP.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. For ease of reference please add the case number (DA-8-2024) and a detailed description of the approvals to the cover sheet.

### **Stormwater**

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

### **Urban Forestry**



# Administrative Approval Action

**Case File / Name: ASR-0014-2024  
DSLCL - GLENLAKE LOT 1**

**City of Raleigh  
Development Services Department**  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

4. All tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit or demolition permit, whichever comes first.
5. Submit a final tree conservation plan that includes metes and bounds descriptions of the tree conservation area and tree protection fencing as required (UDO 9.1.5).
6. Per DA-8-2024, applicant shall provide a tree care plan created and approved by an ISA certified arborist for the street trees prior to final approval of the site permit.
7. A tree impact permit must be obtained for the installation of tree protection fence around 10 existing street trees in the existing right-of-way to remain along Parklake Avenue and 3 existing street trees in the existing right-of-way to remain along Edwards Mill Road, and the removal of 1 existing street tree in the existing right-of-way along Parklake Avenue. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit or demolition permit, whichever comes first.
8. Install tree protection fence around 2 existing trees within the future right-of-way to remain along Edwards Mill Road. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit or demolition permit, whichever comes first.

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
-------------------------------------	---

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

**Engineering**

1. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



# Administrative Approval Action

Case File / Name: ASR-0014-2024  
DSLCL - GLENLAKE LOT 1

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## Engineering

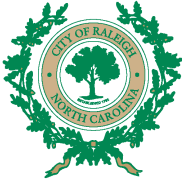
1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
2. A fee-in-lieu for shortage of MUP requirement from existing sidewalk long Parklake Avenue frontage shall be paid to the City of Raleigh (UDO 8.1.10).

## Stormwater

3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

## Urban Forestry

4. A public infrastructure surety for 9 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.
5. A tree impact permit must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 6 street trees along Edwards Mill Road and 3 street trees along Parklake Avenue.



# Administrative Approval Action

Case File / Name: ASR-0014-2024  
DSLCL - GLENLAKE LOT 1

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.32 acres of tree conservation area.

**The following are required prior to issuance of building occupancy permit:**

**General**

1. Final inspection of the tree conservation area and all right-of-way street trees by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** September 3, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Keegan McDonald Date: 09/03/2024  
Development Services Dir/Designee

Staff Coordinator: Michael Walters

# ADMINISTRATIVE SITE REVIEW SUBMITTAL FOR: GLENLAKE LOT 1

4501 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA  
WAKE COUNTY

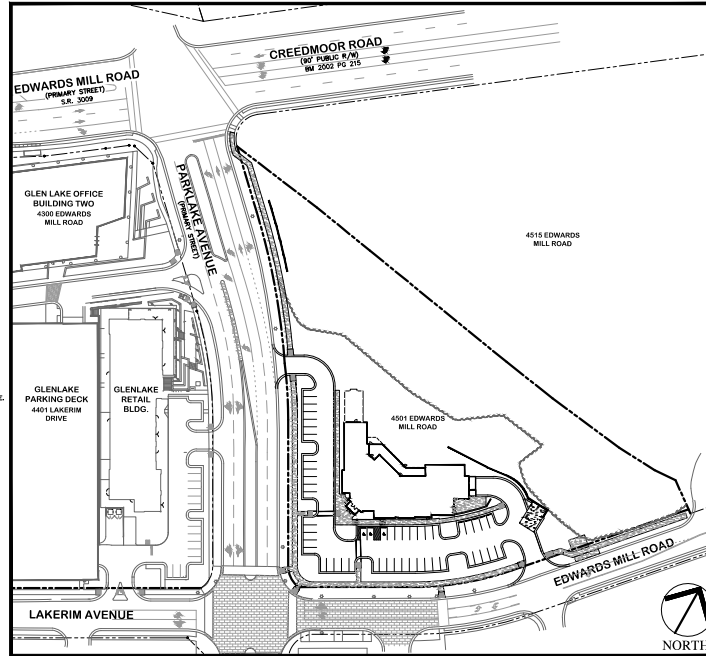


VICINITY MAP  
SCALE: NTS



**PDM LANDSCAPE ARCHITECTURE**  
8022-204 SIX FORKS ROAD  
RALEIGH, NORTH CAROLINA 27615  
919.846.7700 PHONE  
919.846.7703 FAX  
ENR. FIRM LICENSE NO. F-0843

1. ILLUSTRATION  
NOT FOR CONSTRUCTION



0 60' 120' 180'  
SCALE IN FEET 1" = 60'

### ZONING CONDITION COMPLIANCE SUMMARY

- 1.) RESTAURANT ESTABLISHMENT USE IS NOT PROHIBITED.
- 2.) BUILDING WILL NOT INCLUDE ANY PERSONAL SERVICES USES.
- 3.) THE PROPOSED COMMERCIAL BUILDING WILL BE ONE STORY & WILL NOT EXCEED 36 FEET IN HEIGHT.
- 4.) THE OPERATING HOURS FOR THE RESTAURANT WILL BE BETWEEN 6:00 AM TO 12 MIDNIGHT.
- 5.) THERE WILL NOT BE ANY DRIVE THRU SERVICES AT THIS ESTABLISHMENT.
- 6.) A 75 FOOT UNDISTURBED BUFFER ADJACENT TO THE 4515 EDWARDS MILL ROAD PROPERTY WILL REMAIN UNDISTURBED.
- 7.) THE PROPOSED BUILDING WILL BE A ONE STORY BUILDING.
- 8.) THE BUILDING ENTRANCE WILL BE WITHIN 100 FEET OF BOTH EDWARDS MILL RD & PARK LAKE AVENUE.
- 9.) THERE WILL BE A MOVEMENT OF TWO PARKING BAYS (ONE DRIVE AISLE) PROPOSED BETWEEN THE BUILDING AND PARK LAKE AVENUE.
- 10.) THERE WILL BE NO PARKING STRUCTURES ONSITE.
- 11.) ALL ON-SITE LIGHTING WILL CONFORM TO THE RALEIGH LEO SECTION 7.4.7 VEHICULAR CANOPIES. THERE ARE NO PARKING STRUCTURES ONSITE. LIGHTING LEVELS SHALL NOT EXCEED 0.3 FOOT CANDLES AT THE PROPERTY LINES.

### ZONING ORDINANCE SUMMARY

### GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4946) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. BOUNDARY, SURVEY, AND HORIZONTAL/VERTICAL DATUM INFORMATION IS TAKEN FROM SURVEY BY JOHN A. EMMERS & COMPANY, HORIZONTAL DATUM IS NAD 83 (2011) AND VERTICAL DATUM IS NAVD 88.
5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
6. THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "C" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 220270002G, WITH A DATE OF IDENTIFICATION OF 7/19/2022, FOR COMMUNITY NUMBER 270043 IN RALEIGH, CITY OF RALEIGH, WAKE COUNTY, STATE OF NORTH CAROLINA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
7. ALL SITE LIGHTING SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH ZONING ORDINANCE.
8. THIS DEVELOPMENT SHALL CONFORM TO ZONING CONDITIONS FOR Z-77-2021.

### STORMWATER NOTES:

1. STORMWATER WILL BE TREATED BY THE EXISTING SCM FOR GLENLAKE SUBDIVISION. THE EXISTING SCM HAS BEEN DESIGNATED TO ACCEPT STORMWATER FROM THIS SITE. THIS POND WAS CONSTRUCTED IN 2001 TO REDUCE THE POST-DEVELOPMENT RUNOFF RATES THAT IT DOES NOT EXCEED THE PRE-DEVELOPMENT RUNOFF RATE FOR THE 2 AND 10 YEAR STORM FOR THE GLENLAKE SUBDIVISION. THIS POND HAS BEEN APPROVED AND ACCEPTED BY THE CITY OF RALEIGH.
2. THE MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA FOR THIS LOT PER THE APPROVED SCM DESIGN IS 1.56 AC.
3. SUFFICIENT RAINFALL PAYMENT RECEIPT WILL BE REQUIRED PRIOR TO FINAL APPROVAL OF SITE REVIEW.

### SOLID WASTE COMPLIANCE STATEMENT

NEW TRASH COMPACTOR WITH HEAVY DUTY CONCRETE PAD SHALL BE PROVIDED IN THE LOCATION SHOWN ON THE PLANS. THE OWNER WILL USE A PRIVATE HAULER TO REMOVE SOLID WASTE, COMBUSTION, AND OTHER RECYCLABLES.

### CITY OF RALEIGH SITE PLAN INFORMATION

PLAN REQUIRES APPROVAL BY PLANNING COMMISSION OR CITY COUNCIL:	YES	NO	X
1. DEVELOPMENT NAME:	GLENLAKE BUILDING 1		
2. SITE ADDRESS:	4501 EDWARDS MILL ROAD RALEIGH, NORTH CAROLINA		
3. WAKE COUNTY PLAN:	0795291790		
4. TOTAL NUMBER OF LOTS:	1		
5. LOT AREA: GROSS LOT AREA: PROPOSED RIGHT OF WAY DEDICATION: NET LOT AREA:	3.87 ACRES 0.06 ACRES 3.81 ACRES		
6. ZONING:	CK-7-CU (2022) 351 ZC 836		
7. BUILDING GROSS FLOOR AREA & USE:	8,152 SF - RESTAURANT		
8. BUILDING HEIGHT:	MEAN BUILDING HEIGHT=20'-6" MAX BUILDING HEIGHT=24'-2"		
9. PARKING SUMMARY:	MAXIMUM: REQUIRE: 1,729 SF GROSS FLOOR AREA = 8,152/100 = 82 PROVIDED = 43 SPACES (INCLUDES 3 HC SPACES)		
TOTAL HANDICAPPED SPACES REQUIRED/PROVIDED:	3 SPACES REQUIRED/PROVIDED (INCLUDES 1 VAN SPACE) 1 VAN SPACE REQUIRED/PROVIDED		
10. BICYCLE PARKING SUMMARY:	SHORT TERM: REQUIRED: 1 SPACE/20,000 GSF = 8,152/20,000 = 1 (4 MAX) PROVIDED: 4 SPACES LONG TERM: REQUIRED: 1 SPACE/25,000 GSF = 8,152/25,000 = 1 (4 MAX) PROVIDED: 4 SPACES		
11. TOTAL IMPERVIOUS SURFACE AREA:	0.0 ACRES +/- (EXIST.) 1.20 ACRES +/- (PROPOSED) NOTE: MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA PER THE APPROVED SCM DESIGN = 1.56 AC.		
12. INSIDE CITY LIMITS:	YES		
13. INSIDE FLOOD HAZARD BOUNDARY:	NO		
14. INSIDE FALLS LAKE OR SWIFT CREEK DRAINAGE AREA:	NO		
15. DEDICATED STREET RIGHT OF WAY:	NO		
16. OUTDOOR AMENITY AREA:	REQUIRED = 10% OF 3.01 AC = 0.31 AC PROVIDED = 0.37 AC		
17. RIVER WASH:	NEUSE		
18. BUILDING SETBACKS:			
FROM PRIMARY STREET:	5'		
FROM SIDE STREET:	5'		
SIDE:	0 OR 6'		
REAR:	0 OR 6'		
19. PARKING SETBACKS:			
FROM PRIMARY STREET:	10'		
FROM SIDE STREET:	10'		
SIDE:	0 OR 3'		
REAR:	0 OR 3'		
20. TRANSPARENTION:			
GROUND FLOOR:	53% REQUIRED		
BLANK WALL AREA (MAX):	30'		
21. DEVELOPER:	HIGHWOODS PROPERTIES, INC. 1700 SIMONETTE COURT, SUITE 600 RALEIGH, NC 27604 (919) 872-4622 (PHONE) (919) 872-4226 (FAX) JEFF.EMMERS@HIGHWOODS.COM (E-MAIL)		
22. CONTACT PERSON:	PREMIER LAND DESIGN, PLLC 240 W. WAKE FOREST BLVD RALEIGH, NORTH CAROLINA 27615 (919) 846-7222 (PHONE) (919) 846-7703 (FAX) MKE@PREMIERLANDDESIGN.COM (E-MAIL)		

GLENLAKE LOT 1  
4501 EDWARDS MILL ROAD  
RALEIGH, NORTH CAROLINA

ISSUED: 22 FEB 2024

REVISIONS:  
A 29 MAY 2024  
PER CITY COMMENTS  
B 23 JULY 2024  
PER CITY COMMENTS

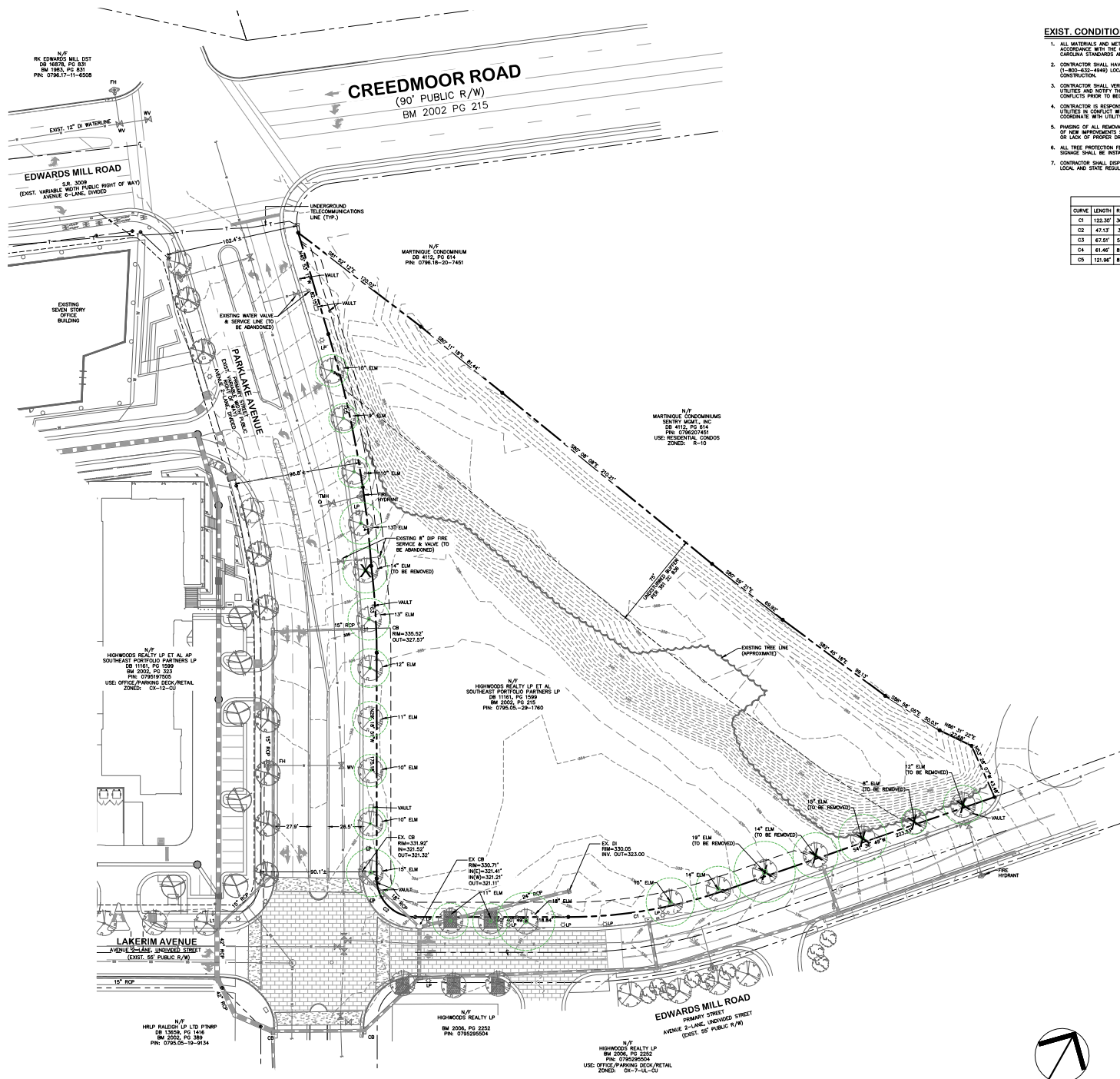
DRAWN BY: JET  
CHECKED BY: MLS

PROJECT: HWDPL18

COVER SHEET

CASE # ASR-0014-2024

DWG. NO. PA 1



**EXIST. CONDITIONS/DEMOLITION NOTES**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-453-4343) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONTACT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES.
5. PAVING OF ALL REMOVALS SHALL BE COORDINATED WITH INSTALLATION OF NEW IMPROVEMENTS SO THAT THERE IS NO INTERRUPTION IN SERVICES OR LACK OF PROPER DRAINAGE OR EROSION CONTROL.
6. ALL TREE PROTECTION FENCE AND SHIELD FENCE WITH TREE PROTECTION SIGNAGE SHALL BE INSTALLED PRIOR TO BEGINNING DEMOLITION.
7. CONTRACTOR SHALL EXPLORE ALL MATERIALS IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	123.30'	363.50'	019°00'00"	N51°04'00"E
C2	47.15'	30.00'	080°00'38"	42.43' S74°19'11"E
C3	67.51'	544.11'	007°08'33"	67.47' N32°57'08"W
C4	61.46'	810.50'	004°20'42"	61.46' N32°57'01"W
C5	121.96'	810.50'	008°57'00"	121.84' N41°58'00"W



**HID**  
**HEIDONIAN DESIGN INC**  
 8022-204 SIX FOXES ROAD  
 RALEIGH, NORTH CAROLINA 27615  
 919.845.7000 PHONE  
 919.845.7703 FAX  
 ENGR. FIRM LICENSE NO. F-0843



**PRELIMINARY**  
 NOT FOR CONSTRUCTION

**GLENLAKE LOT 1**  
**4501 EDWARDS MILL ROAD**  
**RALEIGH, NORTH CAROLINA**

ISSUED: 22 FEB 2024

**REVISIONS:**

- 29 MAY 2024
- PER CITY COMMENTS
- 23 JULY 2024
- PER CITY COMMENTS

DRAWN BY: JET  
 CHECKED BY: MLS

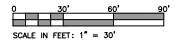
PROJECT: HWDPL1B

**EXISTING CONDITIONS**

DWG. NO. **PA 2**



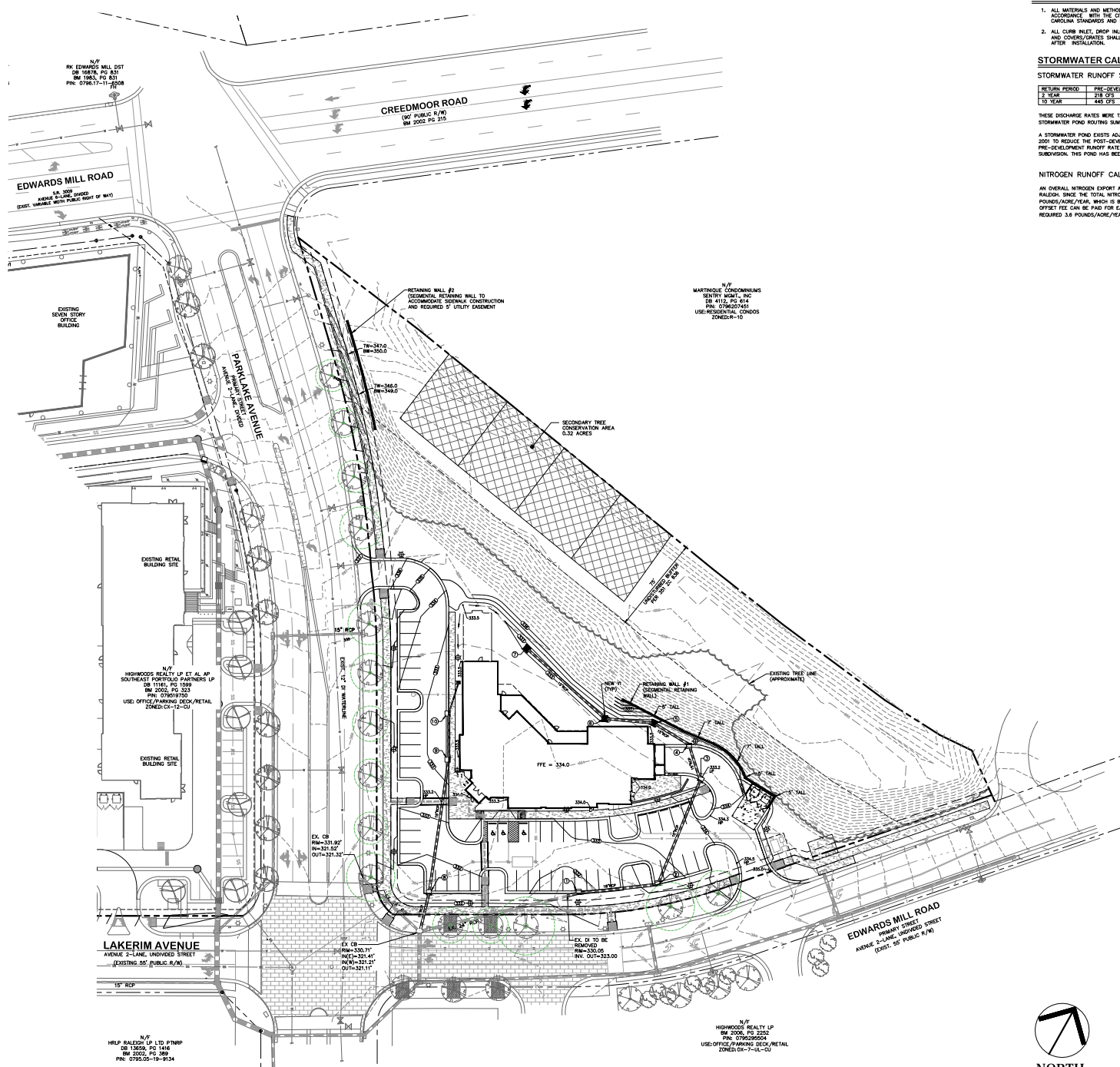
**NORTH**



CASE # ASR-0014-2024

F:\Projects\HWDPL1B\Drawings\Site\HWDPL1B\_Hidboc.dwg - 2-EXIST Jul 23, '24 - 9:24am





**GRADING NOTES**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. ALL CURB INLET, DROP INLET, MANHOLE, AND CLEAN-OUT FRAMES AND COVERS/FRAMES SHALL BE PAINTED BLACK SEMI-GLOSS ENAMEL AFTER INSTALLATION.

**STORMWATER CALCULATIONS**

**STORMWATER RUNOFF SUMMARY FOR GLENLAKE**

RETURN PERIOD	PRE-DEVELOPMENT DISCHARGE	POST-DEVELOPMENT DISCHARGE
2 YEAR	232 CFS	212 CFS
10 YEAR	445 CFS	444 CFS

THESE DISCHARGE RATES WERE TAKEN FROM A STORMWATER STUDY ENTITLED "CITY OF RALEIGH STORMWATER FLOOD ROUTING SUMMARY" PREPARED BY HALEY-HORN, INC. DATED MAY 4, 2004.

A STORMWATER POND EXISTS ADJACENT TO THIS PROPERTY. THIS POND WAS CONSTRUCTED IN 2001 TO REDUCE THE POST-DEVELOPMENT RUNOFF RATE SO THAT IT DOES NOT EXCEED THE PRE-DEVELOPMENT RUNOFF RATE FOR THE 2 AND 10 YEAR STORM FOR THE GLENLAKE SUBDIVISION. THIS POND HAS BEEN APPROVED AND ACCEPTED BY THE CITY OF RALEIGH.

**NITROGEN RUNOFF CALCULATIONS**

AN OVERALL NITROGEN EXPORT ANALYSIS HAS BEEN PROVIDED FOR REVIEW BY THE CITY OF RALEIGH. SINCE THE TOTAL NITROGEN EXPORT RATE FOR THE OVERALL DEVELOPMENT IS 4.08 POUNDS/ACRE/YEAR, WHICH IS BELOW THE ALLOWABLE 8.86 POUNDS/ACRE/YEAR, A NITROGEN OFFSET FEE CAN BE PAID FOR EACH LOT TO REDUCE THE TOTAL NITROGEN EXPORT TO THE REQUIRED 3.8 POUNDS/ACRE/YEAR.



**HID**  
 HEDMON/ANDERSON/CHIC  
 8022-204 SIX FORKS ROAD  
 RALEIGH, NORTH CAROLINA 27615  
 919.846.7000 PHONE  
 919.846.7703 FAX  
 ENGR. FIRM LICENSE NO. F-0843



**PRELIMINARY**  
 NOT FOR CONSTRUCTION

**GLENLAKE LOT 1**  
 4501 EDWARDS MILL ROAD  
 RALEIGH, NORTH CAROLINA

ISSUED: 12 APR 2024

REVISIONS:

- 29 MAY 2024
- PER CITY COMMENTS
- 23 JULY 2024
- PER CITY COMMENTS

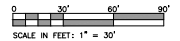
DRAWN BY: JET  
 CHECKED BY: JDL  
 PROJECT: HWDPL18

**GRADING PLAN**

DWG. NO. PA 4



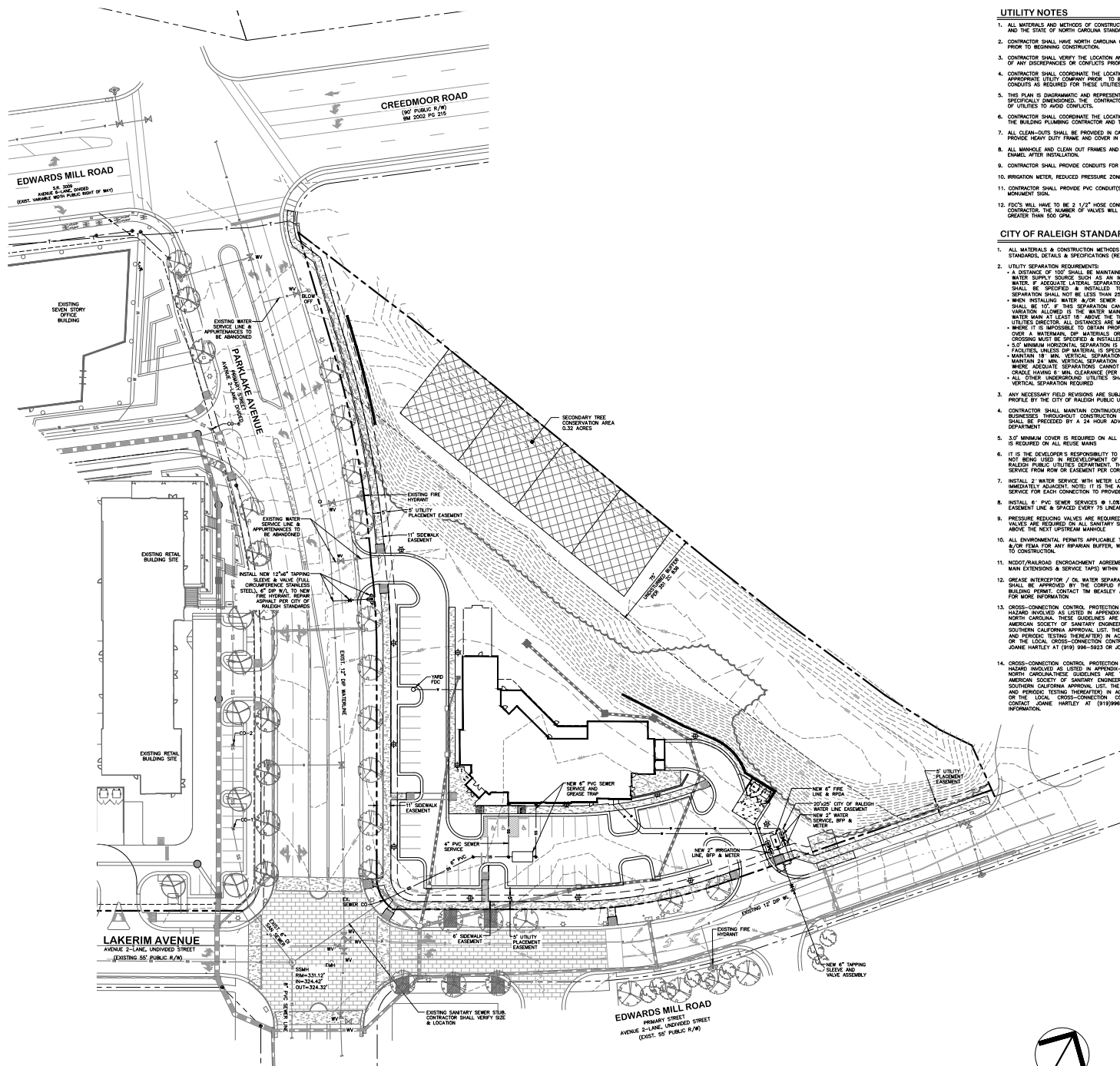
**NORTH**



CASE # ASR-0014-2024

F:\Projects\HID\18\Drawings\Site\HWDPL18\_Ashboro.dwg - 4-GRADING - 23 - 24 - 9:58am





**UTILITY NOTES**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA CALL (1-800-632-4849) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
5. THIS PLAN IS DIAGNOSTIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
6. CONTRACTOR SHALL COORDINATE THE LOCATION OF THE WATER AND SEWER SERVICE TO THE BUILDINGS WITH THE BUILDING PLUMBING CONTRACTOR AND THE BUILDING PLUMBER. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
7. ALL CLEAN-OUTS SHALL BE PROVIDED IN CAST IRON FRAME AND COVER SIMILAR TO WATER VALVE BOX. PROVIDE HEAVY DUTY FRAME AND COVER IN PAVED AREAS.
8. ALL MANHOLE AND CLEAN OUT FRAMES AND COVERS/GRATES SHALL BE PAINTED BLACK SEMI-GLOSS ENAMEL AFTER INSTALLATION.
9. CONTRACTOR SHALL PROVIDE CONDUITS FOR IRRIGATION LINES UNDER PAVED AREAS.
10. IRRIGATION METER, REDUCED PRESSURE ZONE DEVICE, AND SERVICE SHALL BE PROVIDED. (DESIGN-BUILD)
11. CONTRACTOR SHALL PROVIDE PVC CONDUITS UNDER PAVED AREAS FOR POWER TO LIGHT POLES AND MOUNTAIN SIDE.
12. FIC'S WILL HAVE TO BE 1/2" HOSE CONNECTIONS X THE NUMBER DETERMINED BY THE SPRINKLER CONTRACTOR. THE NUMBER OF VALVES WILL BE DEPENDENT ON THE SYSTEM DEMAND, WHICH WILL BE GREATER THAN 500 GPM.

**CITY OF RALEIGH STANDARD UTILITY NOTES**

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS (DETAILS & SPECIFICATIONS) (REFER TO CORP. HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SERVICE SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. (SEE RALEIGH CITY STANDARD SPECIFICATIONS FOR DETAILS)
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL NOT BE LESS THAN 12" UNLESS OTHERWISE APPROVED BY THE CITY OF RALEIGH.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10' IF THE UTILITIES CANNOT BE MAINTAINED AT A MINIMUM OF 12".
  - VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE BENCH WITH THE ELEVATION OF THE UTILITY MARK AT LEAST 6" ABOVE THE TOP OF THE SEWER. IF ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN OR MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF SEWER MAIN, THE SEWER SHALL BE ENCASED IN CONCRETE.
  - IF IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN OR MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF SEWER MAIN, THE SEWER SHALL BE ENCASED IN CONCRETE.
  - 3.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & ROP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE GRADE HAVING 8" MIN. CLEARANCE (PER CORP'D DETAILS B-41 & S-49)
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL BY AN ADMISSD PLAN A/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESS THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FOREMANS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING THAT AT MAN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORP'D HANDBOOK PROCEDURE.
7. INITIAL 2" WATER SERVICE WITH METER LOCATED AT ROW OR WITHIN A 2' X 2' WATER EXHAUSTION IMMEDIATELY DOWNSTREAM. IF 2" IS NOT ADEQUATE FOR PROPOSED PROGRAM, SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOWER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1'0" ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCEM, USACE &/OR FEMA FOR ANY RR/RAIL BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCEM/RAILROAD ENDEORCHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOR PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGH.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT (919) 996-5923 OR JOANNE.HARTLEY@RALEIGH.GOV FOR MORE INFORMATION.
14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT (919) 996-5923 OR JOANNE.HARTLEY@RALEIGH.GOV FOR MORE INFORMATION.

**HD**  
**HEIDLANDS INC**  
 8022-204 SIX FORKS ROAD  
 RALEIGH, NORTH CAROLINA 27615  
 919.845.7000 PHONE  
 919.845.7703 FAX  
 ENGR. FIRM LICENSE NO. F-0843

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

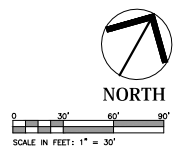
**GLENLAKE LOT 1**  
**4501 EDWARDS MILL ROAD**  
**RALEIGH, NORTH CAROLINA**

ISSUED: 22 FEB 2024

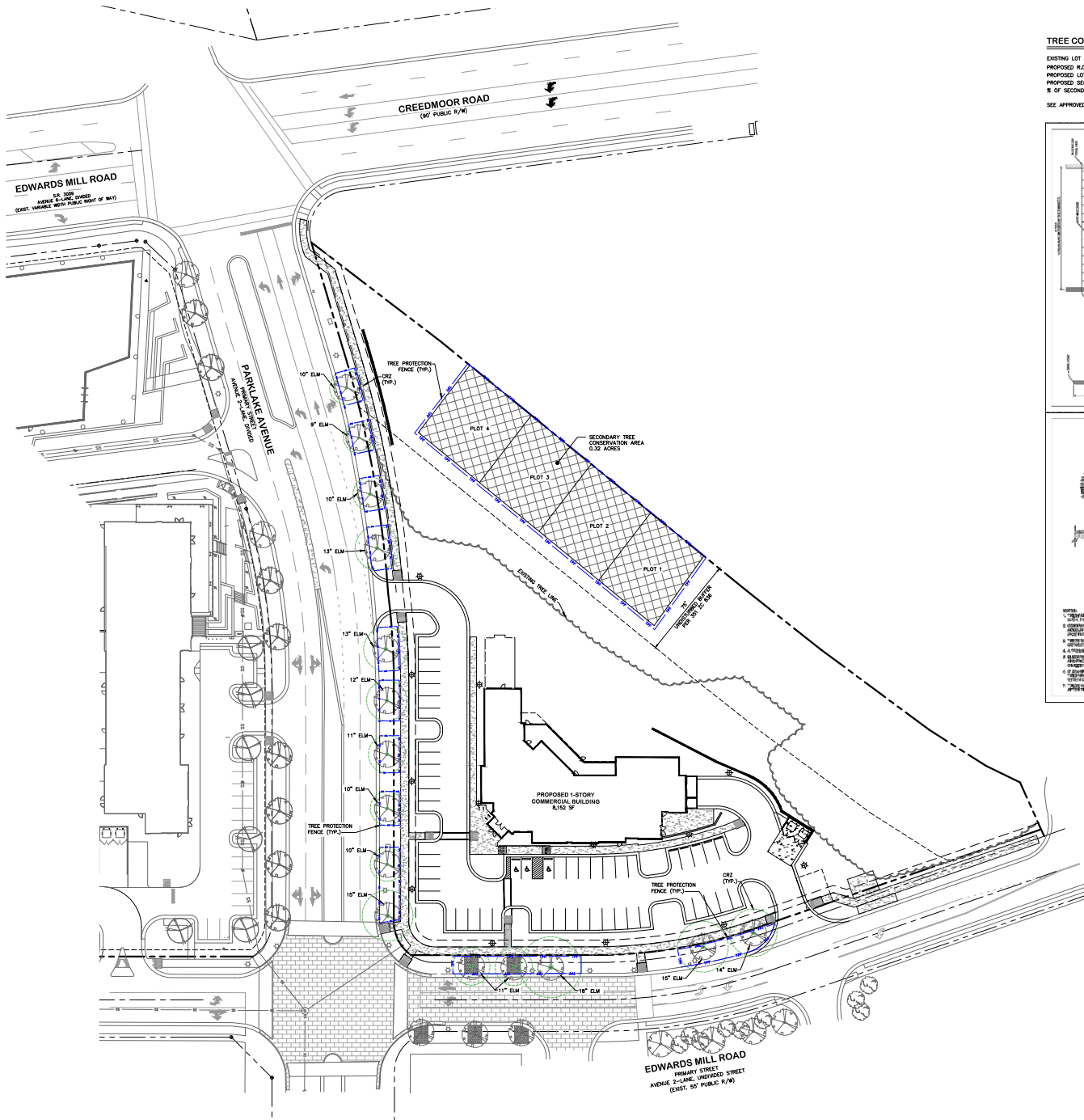
REVISIONS:  
 A 29 MAY 2024  
 PER CITY COMMENTS  
 B 23 JULY 2024  
 PER CITY COMMENTS

DRAWN BY: JET  
 CHECKED BY: JDL  
 PROJECT: HWDPL1B

UTILITY PLAN  
 DWG. NO. PA 5



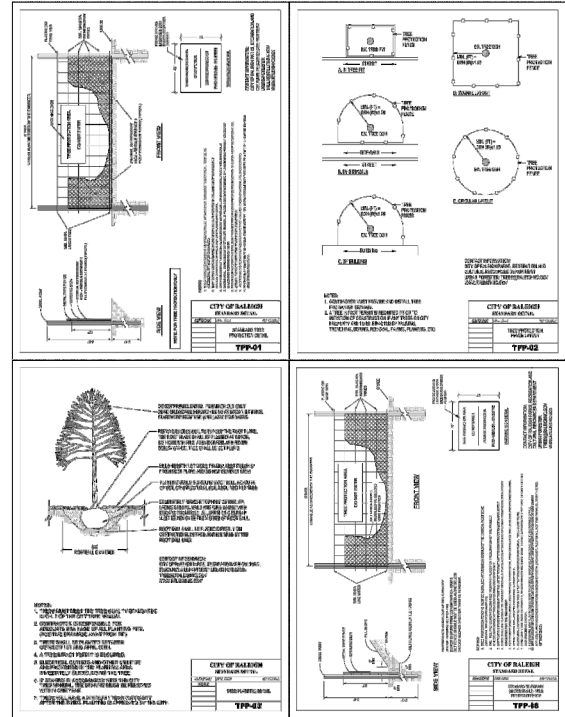
CASE # ASR-0014-2024



**TREE CONSERVATION AREA CALCULATIONS:**

EXISTING LOT AREA:	133,729 SF (3.07 AC)
PROPOSED R.O.W. DEDICATION AREA:	2,613 SF (0.06 AC)
PROPOSED LOT AREA:	131,116 SF (3.01 AC)
PROPOSED SECONDARY TCA:	14,044 SF (0.32 AC)
% OF SECONDARY TCA PROVIDED:	10.63%

SEE APPROVED TREE REPORT FOR BASAL AREA CALCULATIONS



**PID**  
 8222-204 SIX FORKS ROAD  
 RALEIGH, NORTH CAROLINA 27615  
 919.845.7000 PHONE  
 919.845.7703 FAX  
 ENGR. FIRM LICENSE NO. F-0843

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

**GLENLAKE LOT 1**  
 4501 EDWARDS MILL ROAD  
 RALEIGH, NORTH CAROLINA

ISSUED: 22 FEB 2024

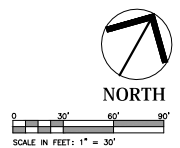
REVISIONS:
▲ 29 MAY 2024 PER CITY COMMENTS
▲ 23 JULY 2024 PER CITY COMMENTS

DRAWN BY: JET  
 CHECKED BY: MLS

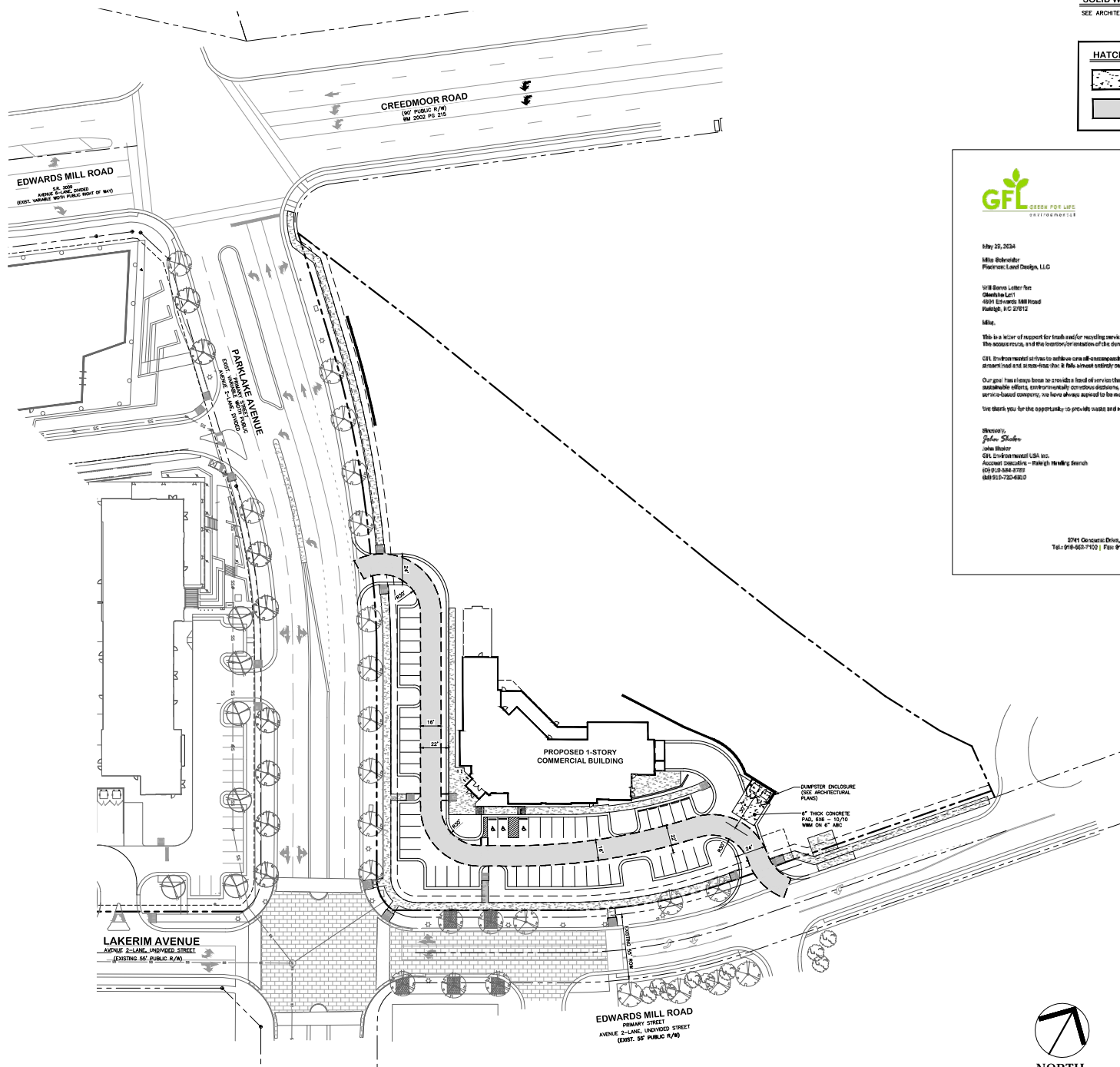
PROJECT: HWDPL1B

TREE CONSERVATION PLAN

DWG. NO. PA 6



CASE # ASR-0014-2024



**SOLID WASTE PLAN NOTES**  
SEE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS

**HATCH LEGEND**

	HD - HEAVY DUTY CONCRETE
	SOLID WASTE TRUCK ROUTE



July 25, 2024  
 Mike Behringer  
 Planning Lead Design, LLC  
 1011 Stone Ledge Lane  
 Charlotte, NC  
 4001 Edwards Mill Road  
 Raleigh, NC 27612  
 Mike

This is a letter of support for trash and/or recycling services for your facility at the above location. The access route, and the location/orientation of the dumpster as shown on the plan are acceptable. GFL Environmental strives to achieve our self-imposed goal: To provide a waste collection service that is as accurate and consistent as it is safe and sanitary for our customers' needs. Our goal is to provide a level of service that is truly unmatched by anyone in the industry. From sustainable efforts, environmentally conscious decisions, and a caliber of customer support unparalleled by any service-based company, we have always aspired to be more than what we are today.

We thank you for the opportunity to provide waste and recycling services at your property here in Raleigh.

Directed by:  
 John Shuler  
 John Shuler  
 GFL Environmental USA Inc.  
 Account Executive - Raleigh Marketing Branch  
 105 P.O. Box 8729  
 27615-7224/US

2741 Corporate Drive, Morris, NC 27550  
 Tel: 919-663-7100 | Fax: 919-773-5963 | gflm.com

**HD**  
**HEMONT/SONIC**  
 8022-204 SIX FORKS ROAD  
 RALEIGH, NORTH CAROLINA 27615  
 919.845.7000 PHONE  
 919.845.7703 FAX  
 ENR. FIRM LICENSE NO. F-0843

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

**GLENLAKE LOT 1**  
**4501 EDWARDS MILL ROAD**  
**RALEIGH, NORTH CAROLINA**

ISSUED: 28 MAY 2024

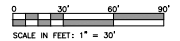
REVISIONS:
29 MAY 2024
PER CITY COMMENTS
23 JULY 2024
PER CITY COMMENTS

DRAWN BY: JET  
 CHECKED BY: MLS  
 PROJECT: HWDPL1B

**SOLID WASTE ROUTE PLAN**  
 DWG. NO. PA 7

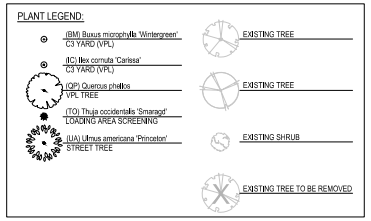
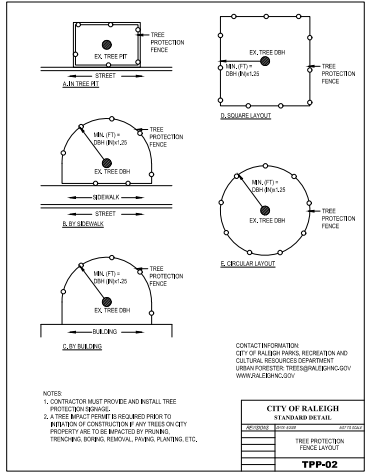
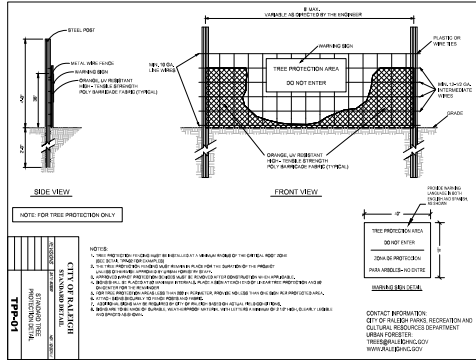
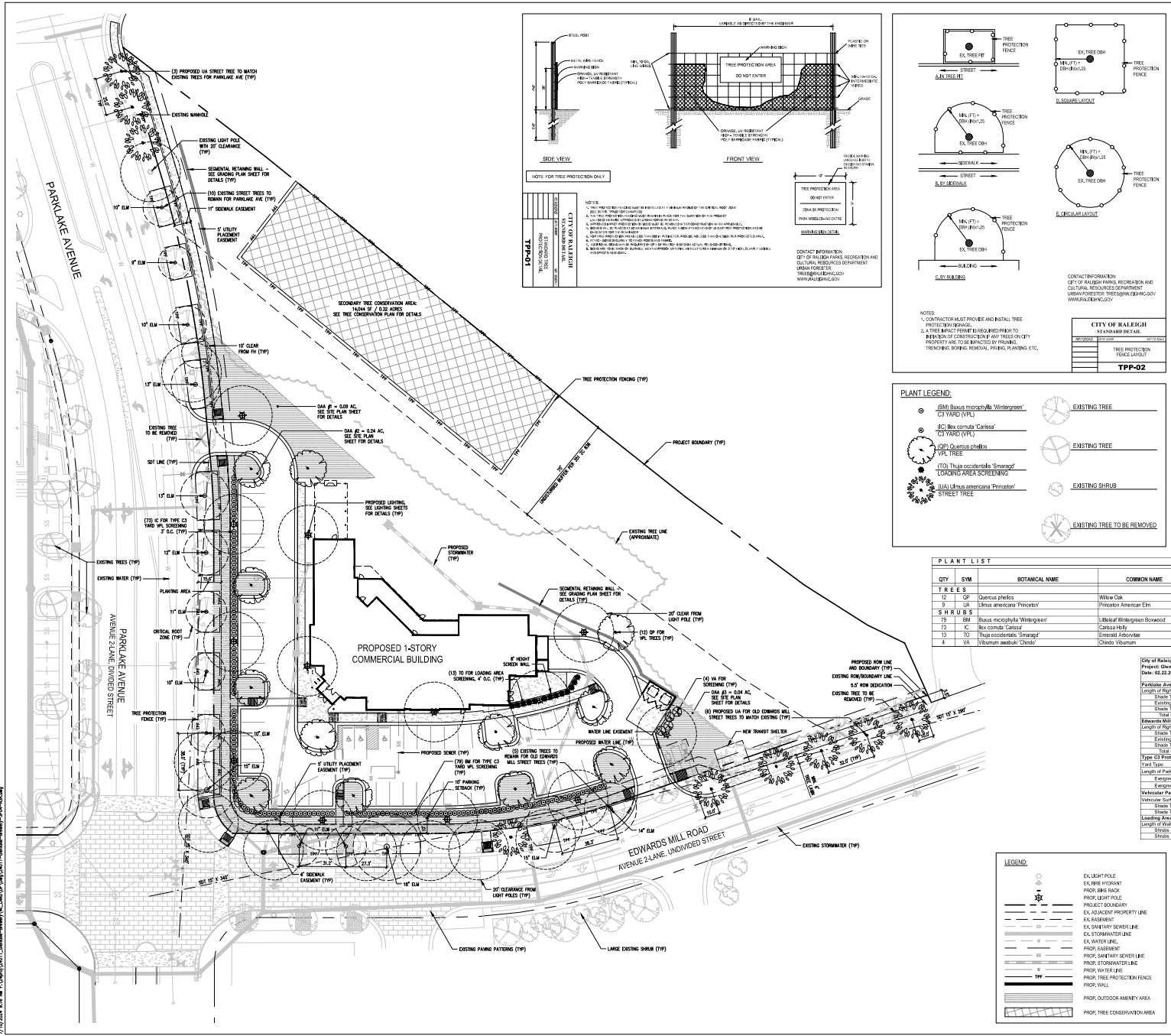


**NORTH**



CASE # ASR-0014-2024

F:\Projects\HWDPL1B\Drawings\Site\HWDPL1B\_Route.dwg - 7- SOLID WASTE ROUTE - Jul 23, '24 - 10:00am



**PLANT LIST**

QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT AT INSTALLATION	HEIGHT AT MATURITY	WIDTH AT MATURITY	REMARKS
12	OP	Quercus phellos	Willow Oak	3" MIN	10' MIN	60'	30'	95%
9	UA	Ulmus americana 'Princeton'	Princeton American Elm	3" MIN	10' MIN	60'	45'	Street Tree
79	BM	Bassia microphylla 'Wintergreen'	Blackleaf Wintergreen Bouvard	24" MIN	3'-4'	3'-4'	0-3' YARD (DPL) 3' D.C.	
13	CT	Rex cordata 'Carfax'	Carfax Holly	24" MIN	7'-8'	3'-4'	0-3' YARD (DPL) 3' D.C.	
13	TD	Thuja occidentalis 'Smaragd'	Emerald Arborvitae	30" MIN	12'	3'-4'	Loading Screening	
4	VA	Viburnum acerifolium 'Chiro'	Chiro Viburnum	30" MIN	10'-12'	8'-8'	Release Area Screening	

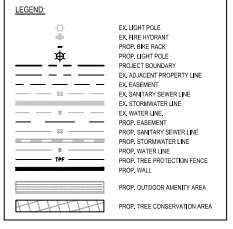
**GENERAL NOTES:**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND ADOPTED STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
- PERKS TO CONSTRUCTION INCLUDING ALL UTILITY AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO ADJACENT PROPERTIES AND RESTORE TO ORIGINAL OR BETTER CONDITION.
- IF INTERFERING CONSTRUCTION IS REQUIRED, THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH AND CONTACT THE DEVELOPMENT SERVICES DEPARTMENT.
- CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWING ON THIS PLAN ARE REQUIRED. THEY MUST BE APPROVED BY TRANSPORTATION AND PUBLIC UTILITIES DEPARTMENTS PRIOR TO CONSTRUCTION.
- FIELD ADJUSTMENTS TO THE PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTORS AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO JDMV ARCHITECTS BY JOHN A. EDWARDS AND COMPANY ENGINEERS, NORTH CAROLINA LICENSE NO. 15084, IS AS OF AUGUST 2023. ALL SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS BY AUGUST 2023.
- WITHIN THE BEST TRIANGLES SHOWN ON THE PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 5 FEET IN HEIGHT ABOVE THE CURB ELEVATION SHALL BE LOCATED UNLESS OTHERWISE NOTED. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR OPENED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN ADEQUATE TURNING RADIUS OF 20' MINIMUM.
- UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
- TRUNKS AND BRANCHES OF PLANTED TREES SHALL BE SHOWN WITH NATURAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- CONTRACTOR TO FIELD LOCATIONS AND VERIFY ALL LISTED UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DEVIATIONS TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NO ONE AT 311 FOR FIELD LOCATIONS OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACES AND ACCESSIBLES SHALL BE NO GREATER THAN TWO PERCENT (2%) OF EACH AREA IN EACH DIRECTION AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPES OF HANDICAP SPACES PER ADA STANDARDS.
- ALL SETBACKS SHALL BE GREATER THAN 30' IN HEIGHT TO EXCLUDE SAFETY WALL OR FENCE. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF INTERSECTING OF THE CURB, OR OTHERWISE SHALL EXCEED THE MINIMUM CORNER CLEARANCE.
- NO ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING DEPARTMENT STANDARDS, PROMING STANDARDS AND ADA ACCESS SPECIFICATIONS.
- ALL WALKWAYS AND DRIVEWAYS SHALL BE CONFORM TO CURRENT AND ADOPTED ACC AND ADA STANDARDS AND SPECIFICATIONS.
- SCREENING DOORS AND GATE SHALL HAVE MANEUVERING CLEARANCES COMPLYING WITH CURRENT AND ADOPTED ACC AND ADA STANDARDS.
- GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SECTION 2.4.2.1.1 AND IS NOT LIMITED TO SCREENING FROM THE PUBLIC RIGHT OF WAY.
- ALL ABOVE GROUND UTILITY COCKETS TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE TELEVISION, ELECTRICAL, TRANSMISSION, BROADCAST OR CONTROL CABLES SHALL BE SCREENED FROM OFF-STREET VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL MECHANICAL UNITS ON ROOFTOP AND SCREENED BY PARAPET.
- UTILITY PLACEMENT ELEMENTS FOR INSTALLATION OF PRIVATE UTILITIES.

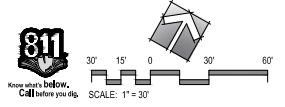
SEE L9.10 FOR CITY OF RALEIGH PLANTING DETAILS. SEE L9.11 FOR PLANTING DETAILS.

**City of Raleigh UDO Landscaping & Screening Requirements**  
Project: Glenlake Building 1  
Date: 02.22.2024 (Rev. 07.12.2024)

Length of Right of Way	Shrub Trees Required (of cal. 10" to 40" o.c. average)	53' - 70'	80' - 100'
Parklane Avenue Street Trees		5	10
Edwards Mill Road Street Trees		4	8



**ASR-0014-2024**  
CODE COMPLIANCE  
LANDSCAPE PLAN



ADMINISTRATIVE SITE REVIEW ONLY - NOT FOR CONSTRUCTION.

**Glenlake Building 1**  
4501 Edwards Mill Road  
Raleigh, North Carolina 27612

PROJECT: PLD-240112001 DATE: 02-22-2024  
ISSUE: Administrative Site Review

REVISIONS:  
1st Review Comments 06-29-2024  
2nd Review Comments 07-12-2024

DRAWN BY: JIP/SB  
CHECKED BY: JMT  
CONTENT: CODE COMPLIANCE LANDSCAPE PLAN

**L4.00**



7/10/2024 8:53 AM C:\Users\jdm11\Desktop\Sherry\LA\_Landscaping\DWG\DWG\_240117\_01.dwg - Sherry - 3/20/24

<p><b>LANDSCAPE NOTES</b></p> <ol style="list-style-type: none"> <li>CONTRACTOR TO FIELD CHECK LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION</li> <li>THE PLANTER BOXES REQUIRED PLANTING REQUIRED BY THE CITY OF RALEIGH.</li> <li>ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARDS FOR HURSBURY STOCK BY THE AMERICAN ASSOCIATION OF NURSERMEN/INC.</li> <li>ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.</li> <li>LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.</li> <li>ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.</li> <li>ALL PLANTING BEDS ARE TO BE WALLED TO A DEPTH OF 3 INCHES WITH AGED THREE SHIRTS/DIY HARWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 3/8 INCHES. FREE OF KEYS/SEDS AND WASTE MATERIALS. NO FIRE STRAIN PERMITTED. KEEP MULCH TO 2 INCHES AWAY FROM TREE TRUNKS OR STEMS.</li> <li>ALL LAWN AREAS TO BE SEEDED ORNAD ACCORD TO MANUFACTURER'S SPECIFICATIONS. REFER TO LANDSCAPE PLANS. ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN.</li> <li>IF IN THE RIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO BIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL FENCE, SIGN, FOLIAGE, BARRIER OR PARKED VEHICLES BETWEEN THE VEHICLES AND BIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.</li> <li>IRRIG. EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE REESTALS, ELECTRICAL TRANSFORMERS, SMOKE/CHIMNEY POT/ROCKETS SHALL BE COVERED FROM OFFICER VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.</li> <li>ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THE SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.</li> <li>STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.</li> <li>MIN. 2' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.</li> <li>TREES SHALL BE 3' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.</li> <li>TREES SHALL NOT BE IN THE CURVE TRAVELING FROM ONE STREET TO ANOTHER.</li> <li>TREES WITHIN 10' FT. OF CRASHED OR POWER LINES SHOULD BE LANDSCAPEY TREES.</li> <li>CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIAN EXITS AUTO/PARKED IN PARALLEL SPACES.</li> <li>A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.</li> <li>THE SITE SHALL BE STAKEED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).</li> </ol>	<p>APPROVED MULCH 3" 3" EXISTING GRADE LAWN OR PAVEMENT PLANTING MIXTURE</p>
<b>LANDSCAPE NOTES</b> SCALE: NTS	4

<p><b>SHRUB PLANTING NOTES</b></p> <ol style="list-style-type: none"> <li>IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAK DOWN THE SIDES WITH A SHOVEL TO SUBMITTEE TO COMPACT AND CREATE THE DRAINAGE PROFILE SHOWN ON THE DETAIL.</li> <li>SET SHRUB 2 INCHES HIGHER THAN ABOVE ADJACENT GRADE.</li> <li>SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY FROM ROOT BALL.</li> <li>REMOVE 2 INCH DEEP SAUGER AROUND SHRUBS.</li> <li>KEEP MULCH AWAY FROM ROOT CROWN.</li> <li>THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD.</li> </ol>	<p>APPROVED MULCH 3" 3" EXISTING GRADE LAWN OR PAVEMENT PLANTING MIXTURE</p>
<b>B &amp; B SHRUB INSTALLATION</b> SCALE: NTS	2

<p><b>SHRUB PLANTING NOTES</b></p> <ol style="list-style-type: none"> <li>IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAK DOWN THE SIDES WITH A SHOVEL TO SUBMITTEE TO COMPACT AND CREATE THE DRAINAGE PROFILE SHOWN ON THE DETAIL.</li> <li>SET SHRUB 2 INCHES HIGHER THAN ABOVE ADJACENT GRADE.</li> <li>SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY FROM ROOT BALL.</li> <li>REMOVE 2 INCH DEEP SAUGER AROUND SHRUBS.</li> <li>KEEP MULCH AWAY FROM ROOT CROWN.</li> <li>THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD.</li> </ol>	<p>APPROVED MULCH 3" 3" EXISTING GRADE LAWN OR PAVEMENT PLANTING MIXTURE</p>
<b>B &amp; B SHRUB INSTALLATION</b> SCALE: NTS	2

<p><b>BASE PLANTING NOTES</b></p> <ol style="list-style-type: none"> <li>PRUNE CRIMMED, BROKEN, OR STRAY BRANCHES, CUT FLUSH LEAVING GAMBURR EDGE CLEAN.</li> <li>CROWN PLANTING BED A MIN. OF 3 INCHES ABOVE ADJACENT GRADE EXCEPT IN SLOTTED SEPARATORS WHERE BEDS SHALL BE SLOPED TO NEAREST DRAINAGE.</li> <li>KEEP MULCH AWAY FROM ROOT CROWN.</li> </ol>	<p>APPROVED MULCH 3" 3" EXISTING GRADE LAWN OR PAVEMENT PLANTING MIXTURE</p>
<b>CONTAINER PLANT INSTALLATION</b> SCALE: NTS	1

<p><b>LANDSCAPE NOTES</b></p> <ol style="list-style-type: none"> <li>CONTRACTOR TO FIELD CHECK LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION</li> <li>THE PLANTER BOXES REQUIRED PLANTING REQUIRED BY THE CITY OF RALEIGH.</li> <li>ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARDS FOR HURSBURY STOCK BY THE AMERICAN ASSOCIATION OF NURSERMEN/INC.</li> <li>ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.</li> <li>LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.</li> <li>ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.</li> <li>ALL PLANTING BEDS ARE TO BE WALLED TO A DEPTH OF 3 INCHES WITH AGED THREE SHIRTS/DIY HARWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 3/8 INCHES. FREE OF KEYS/SEDS AND WASTE MATERIALS. NO FIRE STRAIN PERMITTED. KEEP MULCH TO 2 INCHES AWAY FROM TREE TRUNKS OR STEMS.</li> <li>ALL LAWN AREAS TO BE SEEDED ORNAD ACCORD TO MANUFACTURER'S SPECIFICATIONS. REFER TO LANDSCAPE PLANS. ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN.</li> <li>IF IN THE RIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO BIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL FENCE, SIGN, FOLIAGE, BARRIER OR PARKED VEHICLES BETWEEN THE VEHICLES AND BIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.</li> <li>IRRIG. EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE REESTALS, ELECTRICAL TRANSFORMERS, SMOKE/CHIMNEY POT/ROCKETS SHALL BE COVERED FROM OFFICER VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.</li> <li>ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THE SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.</li> <li>STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.</li> <li>MIN. 2' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.</li> <li>TREES SHALL BE 3' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.</li> <li>TREES SHALL NOT BE IN THE CURVE TRAVELING FROM ONE STREET TO ANOTHER.</li> <li>TREES WITHIN 10' FT. OF CRASHED OR POWER LINES SHOULD BE LANDSCAPEY TREES.</li> <li>CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIAN EXITS AUTO/PARKED IN PARALLEL SPACES.</li> <li>A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.</li> <li>THE SITE SHALL BE STAKEED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).</li> </ol>	<p>APPROVED MULCH 3" 3" EXISTING GRADE LAWN OR PAVEMENT PLANTING MIXTURE</p>
<b>LANDSCAPE NOTES</b> SCALE: NTS	4

<p><b>TREE PLANTING NOTES</b></p> <ol style="list-style-type: none"> <li>MATCH PLANTING PROCEDURE FOR EVERGREEN TREES.</li> <li>DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.</li> <li>IF TREES ARE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL TOUCH (SHAKE ROOT SPACE TO 1/4 IN. TOTAL) MOUNTED TO A DEPTH OF 2" TO 4" OVER THE ENTIRE BED AREA.</li> <li>FOR CONTAINER-GROWN TREES, EXTRACT THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR BURN AWAY ANY ROOTS CIRCUMSCRIBING THE PERIMETER OF THE CONTAINER.</li> <li>THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD.</li> <li>IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAK DOWN THE SIDES WITH A SHOVEL TO SUBMITTEE TO COMPACT AND CREATE THE DRAINAGE PROFILE SHOWN ON THE DETAIL.</li> <li>IN MEDIAN ISLANDS, SET PLANT MATERIAL AS CLOSE TO FINISHED GRADE AS POSSIBLE.</li> <li>SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY FROM ROOT BALL.</li> <li>KEEP MULCH AWAY FROM ROOT CROWN.</li> </ol>	<p>APPROVED MULCH 3" 3" EXISTING GRADE LAWN OR PAVEMENT PLANTING MIXTURE</p>
<b>TREE INSTALLATION (NOT FOR STREET TREES)</b> SCALE: NTS	5

ADMINISTRATIVE SITE REVIEW ONLY - NOT FOR CONSTRUCTION.

**JDAVIS**

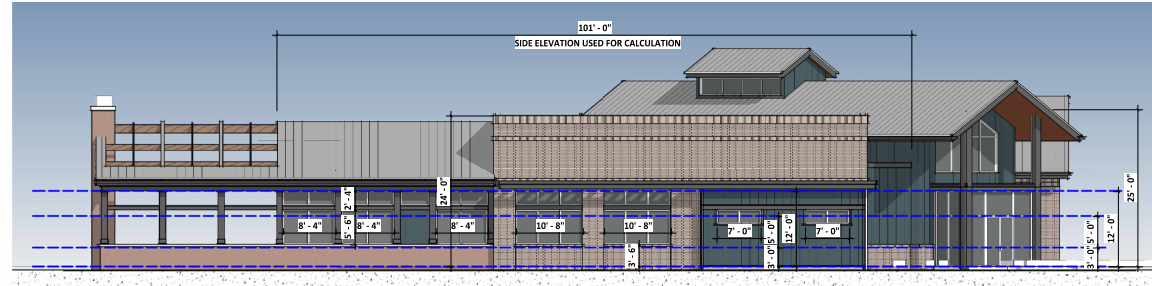
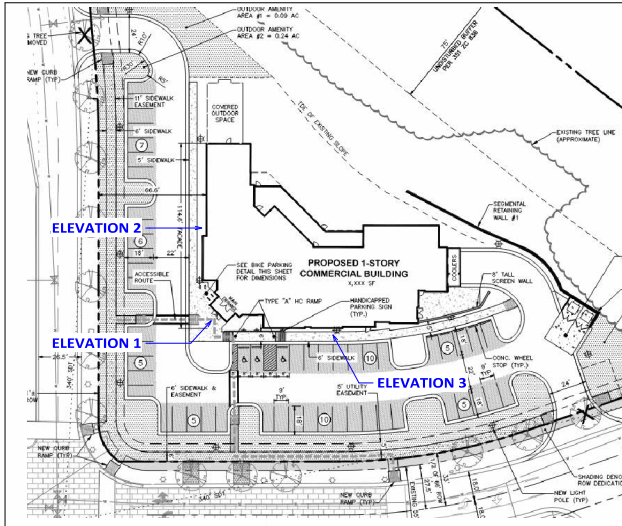
515 South Westborough Street, Raleigh, NC 27601 | TEL: 919.833.1000  
1111 Glenlake Dr., Cary, NC 27513 | TEL: 919.487.0101

ASR-0014-2024 (Admin. Site Review)  
REFERENCE: 351.2C.636

**Glenlake Building 1**  
4501 Edwards Mill Road  
Raleigh, North Carolina 27612

PROJECT:	PLD-24011200	DATE
ISSUE:	Administrative Site Review	02.29.2024
REVISIONS:	1st Review Comments	05.29.2024
	2nd Review Comments	07.12.2024
DRAWN BY:	HRP	
CHECKED BY:	KT	
CONTENT:	LANDSCAPE DETAILS AND NOTES	

L9.11

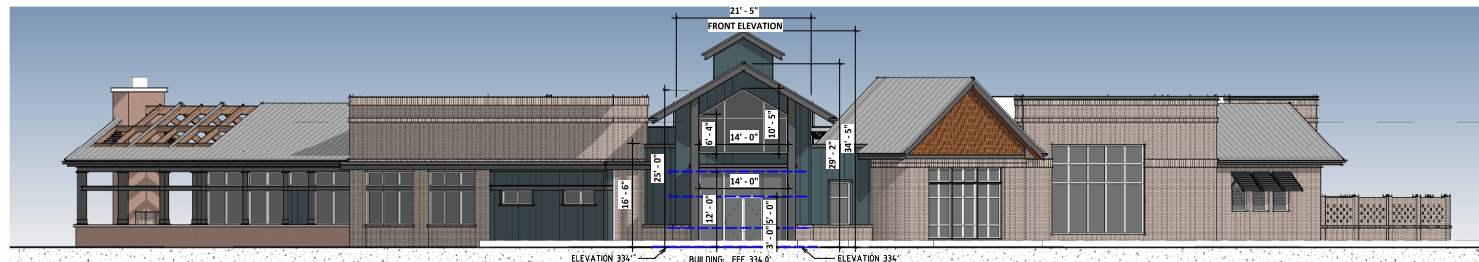


2 Parklake - West  
1/8" = 1'-0"

07/22/24

Notes:		POST-DEVELOPMENT GRADE		BUILDING: FFE 334.0'		Building Type: General Building CX-7-U   UDD 3.2.5	
	Elevation	Post Development Grade to Low Roof	Post Development Grade to High Roof	Average Post Development Grade to High Roof		UDD 15.7	Building Height [ CX ]
2	Side Elevation - West	ELEV. 333.3' 24'-0" ABOVE GRADE	ELEV. 333.3' 25'-0" ABOVE GRADE	THE HIGH POINT OF ROOF IS LOCATED 75'-0" ABOVE THE AVERAGE GRADE OF 333.3'		UDD 3.2.5	Maximum [ CX ]
						UDD 15.9	Provided [ CX ]
							34'-2"   1 stories = 34'
						UDD 15.9	Transparency [ CX ]
						Ground Floor	33% [0'-12']; 50% of req'd [3'-8] see elevations
						UDD 3.2.5.F	Blank Wall [ CX ] Maximum = 20'
							no elevation has more than 20' of blank wall
						UDD 7.2.5.D	Screening: Mechanical Equipment.
							Roof Mounted Equipment with Screens
TRANSPARENCY							
Overall Facade Area [0'-12'] = 1232 sf		Required	Provided	As per UDD 15.9-B.4: Glass shall be considered transparent where it has a transparency higher than 80% and an external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.			
Required Transparency = 33% of the total area from 0' to 12'		33%: 1212 x 33% = 400 sf	435 sf				
Required Transparency between 3' & 8' = 50% of the req'd area		50%: 400 x 50% = 200sf	226 sf				

Highwoods  
4501 Edwards Mill Road  
Raleigh, NC 27612



1 Entry Elevation.  
1/8" = 1'-0"

Notes:		POST-DEVELOPMENT GRADE		BUILDING: FFE 334.0'		Building Type: General Building CX-7-U   UDD 3.2.5	
	Elevation	Post Development Grade to Low Roof	Post Development Grade to High Roof	Average Post Development Grade to High Roof		UDD 15.7	Building Height [ CX ]
1	Entry Elevation - Corner	ELEV. 334' 16'-6" ABOVE GRADE	ELEV. 334' 25'-0" ABOVE GRADE	THE HIGH POINT OF ROOF IS LOCATED 75'-0" ABOVE THE AVERAGE GRADE OF 334'		UDD 3.2.5	Maximum [ CX ]
						UDD 15.9	Provided [ CX ]
							34'-2"   1 stories = 34'
						UDD 15.9	Transparency [ CX ]
						Ground Floor	33% [0'-12']; 50% of req'd [3'-8] see elevations
						UDD 3.2.5.F	Blank Wall [ CX ] Maximum = 20'
							no elevation has more than 20' of blank wall
						UDD 7.2.5.D	Screening: Mechanical Equipment.
							Roof Mounted Equipment with Screens
TRANSPARENCY							
Overall Facade Area [0'-12'] = 237 sf		Required	Provided	As per UDD 15.9-B.4: Glass shall be considered transparent where it has a transparency higher than 80% and an external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.			
Required Transparency = 33% of the total area from 0' to 12'		33%: 237 x 33% = 79 sf	168 sf				
Required Transparency between 3' & 8' = 50% of the req'd area		50%: 79 x 50% = 39.5 sf	70 sf				

Exterior Elevations for Site Plan Review

Project Number	23045
Date	07/22/24
Drawn By	MM
Checked By	MM
<b>A-200</b>	
Scale	As indicated

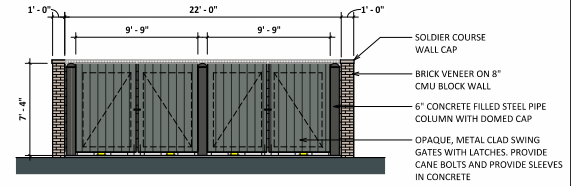
07/22/24

Highwoods  
4501 Edwards Mill Road  
Raleigh, NC 27612

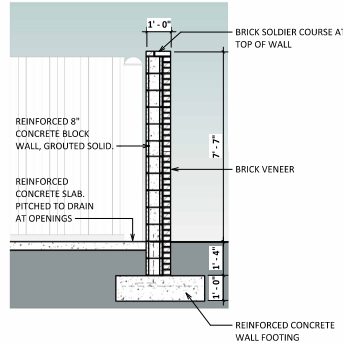
Issued For:	07/22/24	
Review		
Revision		
No.	Description	Date

Exterior Elevations for Site Plan Review

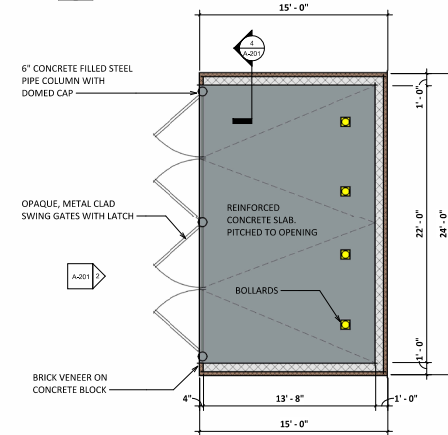
Project Number	23045
Date	07/22/24
Drawn By	MM
Checked By	MM
<b>A-201</b>	
Scale	As indicated



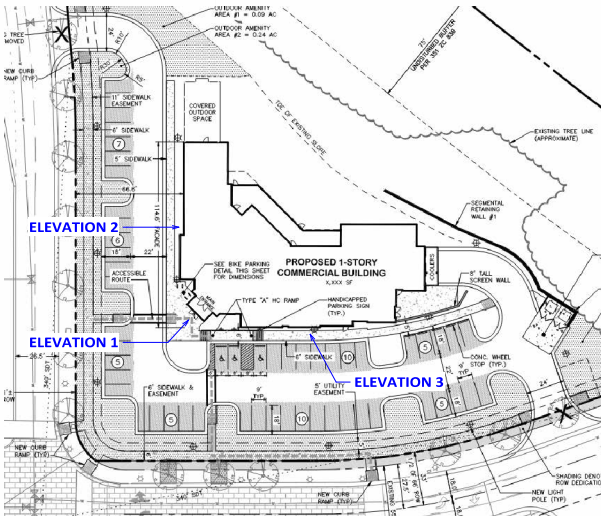
2 Enclosure Plan  
1/4" = 1'-0"



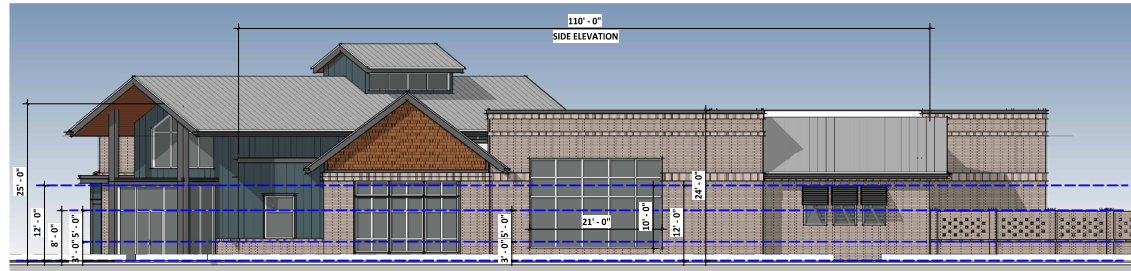
4 Wall Section  
1/2" = 1'-0"



1 Dumpster Plan  
1/4" = 1'-0"



Grade Elevations  
1/4" = 1'-0"

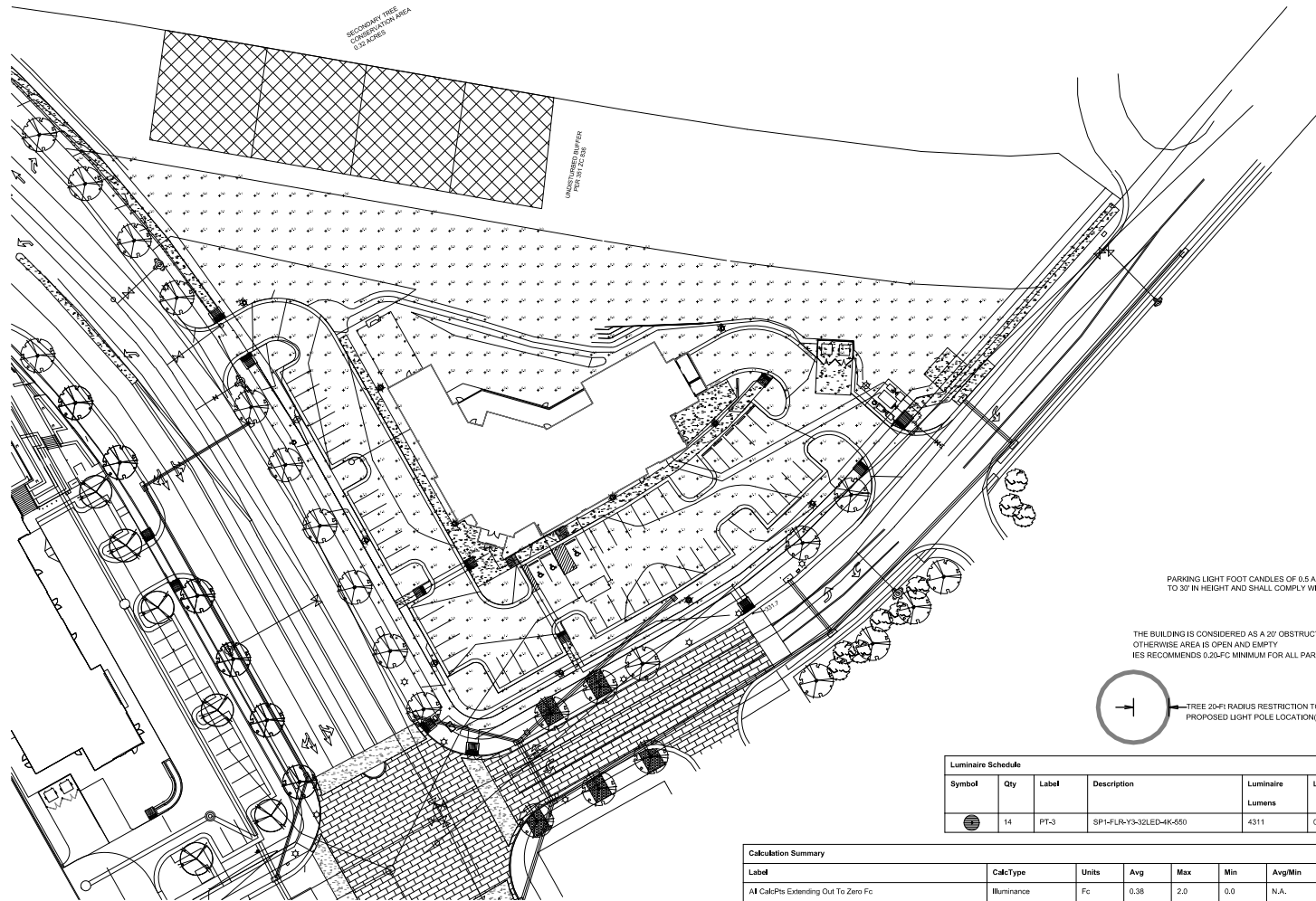


3 Edwards Mill Road  
1/8" = 1'-0"

Notes:

POST-DEVELOPMENT GRADE		BUILDING: FFE 334.0'		Building Type: General Building CX-1-U   UDD 3.2.5	
Elevation	Post Development Grade to Low Roof	Post Development Grade to High Roof	Average Post Development Grade to High Roof	UDO 15.7 Building Height [ CX ]	Maximum [ CX ]
j	ELEV: 333.3'	ELEV: 333.3'	THE HIGH POINT OF ROOF IS LOCATED 24'-10" ABOVE THE AVERAGE GRADE OF 333.1'	UDO 3.2.5	Provided [ CX ]
	24'-0" ABOVE GRADE	25'-0" ABOVE GRADE		UDO 15.9 Transparency [ CX ]	34'-2" 1 stories - 34'
				Ground Floor	33% [0'-12'], 50% of req'd [3'-8] see elevations
				UDO 3.2.5.F	Blank Wall [ CX ] Maximum = 20'
					no elevation has more than 20' of blank wall
TRANSPARENCY				UDO 7.2.5.D	Screening: Mechanical Equipment.
Overall Facade Area [0'-12'] = 1320 sf	Required	Provided	As per UDD 15.9-B.4: Glass shall be considered transparent where it has a transparency higher than 80% and an external reflectance of less than 50%. Glass on upper stories may have any level of transparency and external reflectance.		Roof Mounted Equipment with Screens
Required Transparency = 33% of the total area from 0' to 12'	33% 1320 x 33% = 436 sf	456 sf			
Required Transparency between 3' & 8' = 50% of the req'd area	50% 436 x 50% = 218sf	237 sf			





PARKING LIGHT FOOT CANDLES OF 0.5 AT PROPERTY LINE AND POLES ARE LIMITED TO 30' IN HEIGHT AND SHALL COMPLY WITH 2-77-21.811

THE BUILDING IS CONSIDERED AS A 20' OBSTRUCTION OTHERWISE AREA IS OPEN AND EMPTY IES RECOMMENDS 0.20-FC MINIMUM FOR ALL PARKING LOTS AND 20:1 MAX:MIN. UNIFORMITY



Luminaire Schedule							
Symbol	Qty	Label	Description	Luminaire Lumens	LLF	Luminaire Watts	Total Watts
☉	14	PT-3	SP-L-FLR-Y3-12LED-4K-500	4311	0.850	56.8	795.2

Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PSpCLr	PSpCLb
All Calc-Pts Extending Out To Zero Fc	Illuminance	Fc	0.38	2.0	0.0	N.A.	N.A.	10	10
StatArea - Parking	Illuminance	Fc	1.03	2.0	0.4	2.58	5.00		