



# Administrative Approval Action

Case File / Name: ASR-0015-2023  
DSLCL - 4000 Sumner Blvd

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the west side of Fox Road, south of Sumner Boulevard at 4020 Sumner Boulevard.

**REQUEST:** Development of a vacant 1.918 acres/83,548 sf site, zoned CX-4-CU. A proposed new 13,500 square foot Indoor Animal Care building on Lot4 as shown in SUB-0059-2019 - "4000 Sumner Boulevard Subdivision."

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** Z-5-01 - Fox Road/Old Wake Forest Road: Effective 8/7/01. The Triangle Town Center Small Area Plan.

SUB-0055-2019: DSLCL - Preliminary Subdivision/Preliminary Subdivision

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 6, 2023 by Thomas and Hutton.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. The proposed sidewalk design widths demonstrate compliance with UDO per the rezoning conditional uses listed in Z-5-01/Section II.
2. Transparency design dimensions are clearly labeled & shown on the north wall plane, and the transparency design table calculations required/provided sf information is also revised as shown.
3. The post-development spot grades are labeled and shown on the North Elevation, Sumner Blvd., the Primary Street designation, per UDO Sec.1.5.7.A. And a height dimension is shown from the 'average' to top of roof of the north wall facade.
4. HVAC & mechanical system units are delineated on the elevations designs and comply with UDO Sec.7.2.5.D for screening design.

### **Stormwater**



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5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

## Urban Forestry

6. A tree impact permit must be obtained for installation of tree protection fence around existing street trees that are to remain undisturbed in the right-of-way along Sumner Boulevard. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

1. Comply with all conditions of Z-5-01.

## Urban Forestry

2. A tree impact permit must be obtained for installation of tree protection fence around existing street trees that are to remain undisturbed in the right-of-way along Sumner Boulevard.

***The following are required prior to issuance of building occupancy permit:***

## General

1. Final inspection of existing right of way street trees by Urban Forestry Staff.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

## Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:



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**3-Year Expiration Date:** June 21, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 06/21/2023  
Development Services Dir/Designee  
Staff Coordinator: Jermont Purifoy





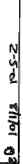




City of Raleigh Development Approval \_\_\_\_\_

## G1.1

## G1.1



City of Raleigh Development Approval \_\_\_\_\_

**G1.2**

PERMIT SET FOR REVIEW PURPOSES ONLY



CITY OF RALEIGH STANDARD UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REPERENCE: CONDUIT HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
- A. A DISTANCE OF 30" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ABSOLUTE LATERAL SEPARATION CANNOT BE ACHIEVED, PERFORATED SANITARY SEWER PIPES SHALL BE SPECIFIED & INSTALLED TO WATERLESS SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 6" FROM A PRIVATE WELL OR 6" FROM A PUBLIC WELL.
- B. WHEN INSTALLING WATER & SANITARY SEWER, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 30". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE SEPARATION ALLOWED IS THE MINOR ROW & A SEPARATION OF 18" BETWEEN THE BOTTOM OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
- C. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- D. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDING 30" ON EACH SIDE OF CROSSING MUST BE PROVIDED & INSTALLED TO WATERLESS SPECIFICATIONS.
- E. IF SEWER IS REQUIRED TO CROSS OVER AN EXISTING WATERMAIN, A PROPER SEWER & SEWER SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- F. MAINTAIN 3" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & PROPOSED SEWER CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & PROPOSED SEWER CROSSINGS. WHEN ADEQUATE SEPARATION CANNOT BE ACHIEVED, IMPROVED DIP MATERIALS & A CONCRETE COVER HAVING 6" MIN. CLEARANCE PER CONDUIT DETAILS 1-4 & 1-4-01.
- G. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 48" MIN. VERTICAL SEPARATION REQUIRED.
- H. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PERMIT BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- I. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICES TO EXISTING RESIDENTS & BUSINESS THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ADEQUATE TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT FOR CONDUIT HANDBOOK PRECEDING.
- J. INITIAL 9" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'22" WATERLESS EASEMENT IMMEDIATELY ADJACENT. NOTE IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY ASSESS THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- K. INITIAL 1" PVC SEWER SERVICES & 1.5" MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- L. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINING LOWER THAN L.O. ABOVE THE NEXT STREET MAINLINE.
- M. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDDC, LEASE AREA PERMITS FOR ANY HUMANIAN BURIAL, WETLAND &/OR PLACED PLANNED IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- N. NCDDT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSION & SERVICE TAPS WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- O. STREAM INTERCEPTION / DRAIN WATER SEPARATION REING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CONDUIT PCS PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT THE BUREAU AT (919) 996-2409 OR TOWNSHIP/SEAL/STATE/RALEIGH/NCDDT FOR MORE INFORMATION.
- P. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX A OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE THE MINIMUM REQUIREMENTS. THE DEVICE SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERS (ASSE) STANDARDS OR BE IN THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICE SHALL BE INSTALLED AND PERIODICALLY TESTED THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT (919) 996-2409 FOR DETAILED INFORMATION FOR MORE INFORMATION.

LAYOUT NOTES:

1. ALL ELEVATION POINTS ARE TO BE SLOPED, REFER TO SPECIFICATIONS.
2. ALL DIMENSIONS ARE FACE OF CURB OR TO FINISHED FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. ALL CURB RADIUS SHALL BE 2'-0" UNLESS OTHERWISE NOTED.
4. IN ORDER TO EXPOSE PROPER DRAINAGE, KEEP A MINIMUM OF 0.8% SLOPE ON THE CURB.
5. ANY BUILDING DISTURBANCES SHOWN ARE NORMAL, CONSULT ARCHITECTURAL PLAN BEFORE ACTUAL FIELD STATIONS.
6. ALL BOWLS, RAMP AND ACCESSIBLE ROUTES SHALL HAVE A 3" MIN MAXIMUM CROSS SLOPE. IN NO INSTANCE SHALL THE CROSS SLOPE EXCEED 1.0%, WITHIN WITH EXCESSIVE CROSS SLOPE OF 14" PER 1' IN ANY DIRECTION PER THE NO ACCESSIBILITY CODE. CONTRACTOR IS RESPONSIBLE FOR EXCESSIVE POSITIVE DRAINAGE, FLAT AREAS OR AREAS OF EXCESSIVE SLOPE SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
7. MAXIMUM ELEVATION CHANGE AT HANDICAP ACCESSIBLE ROUTES SHALL NOT EXCEED 1/2".
8. NO PAVEMENT STRIPS SHALL OCCUR UNTIL AFTER PAVING HAS CURED 30 DAYS.
9. HANDICAP PARKING SPACES AND ACCESSIBLE AREAS SHALL MAINTAIN A MAXIMUM SLOPE OF 14" PER 1' IN ANY DIRECTION PER THE NO ACCESSIBILITY CODE. CONTRACTOR IS RESPONSIBLE FOR EXCESSIVE POSITIVE DRAINAGE, FLAT AREAS OR AREAS OF EXCESSIVE SLOPE SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

OTHER UTILITY LEGEND

DESCRIPTION	EXISTING	PROPOSED
NATURAL GAS	UGG	UGG
TELEPHONE	UHT	UHT
UNDERGROUND TELEPHONE	UHT	UHT
ELECTRICITY	CHP	CHP
UNDERGROUND ELECTRICITY	UGP	UGP

DRAINAGE LEGEND

DESCRIPTION	EXISTING	PROPOSED
PIPE		
DITCH		
CURB INLET (CI) CATCH BASIN (CB)		
GRATE INLET (GI)		
HOODIED INLET (HI)		
MANHOLE (SMH)		
YARD INLET (YI)		
FLARED END SECTION (FES)		

GENERAL NOTES:

1. FULL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE BEGINNING OF DEMOLITION AND/OR CONSTRUCTION.
2. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES. IF UNLOCATED UTILITIES ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND TAKE STEPS TO PROTECT THE LINE AND EXISTING CONDITIONS. DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.
3. PROTECT ALL EXISTING UTILITIES AND CONSTRUCTION TO REMAIN DURING ALL CONSTRUCTION ACTIVITIES.
4. ALL EXISTING UTILITIES TO REMAIN OR NEW WORK, THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION ACTIVITIES SHALL BE REPAIRED TO MATCH EXISTING ADJACENT SURFACES.
5. BEFORE YOU DIG, STOP. CALL THE 811 OR 811-ON-CALL CENTER AT 811.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS NECESSARY FROM OTHER RESPONSIBLE AGENCIES.
7. ALL EXISTING UTILITIES AND CONSTRUCTION TO REMAIN DURING ALL CONSTRUCTION ACTIVITIES. UNUSUAL TRAFFIC OR PARKING OR STORAGE OF HEAVY EQUIPMENT ARE ALLOWED WITHIN THE CRITICAL ROOT ZONE OF PROTECTED TREES. NO VEHICLE SHALL BE DRIVEN ON THESE PROTECTED AREAS. WHEN NOT INSTALLED, BARRELS TO REMAIN UNTIL AFTER ALL DEVELOPMENT ACTIVITIES ARE COMPLETED.
8. STORM DRAINAGE STRUCTURES AND SANITARY SEWER MANHOLE COORDINATES ARE LOCATED AT CENTER OF GRADE OR MANHOLE. ALL LINEAR PORTIONS OF ALL UTILITY PIPES SHOWN ARE APPROXIMATE. ACTUAL INSTALLED QUANTITIES MAY VARY. PIPE LENGTHS PROVIDED ARE HORIZONTAL MEASUREMENTS FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE. PIPE LENGTHS THAT TERMINATE WITH A FLARED END SECTION INCLUDE THE LENGTH OF THE FLARED END SECTION.
9. CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE WORK SITE BEFORE CUTTING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO MAJOR FACILITIES. CONTRACTOR SHALL NAME OR LOWER TOP OF EXISTING MANHOLE, DRAINAGE GRATES, VALVE BOXES, VALVE LOGS, ETC. AS REQUIRED TO MATCH EXISTING GRADES AT NO ADDITIONAL COST. AGENTS INSTALLING ALL OTHER UTILITIES SHALL BE RESPONSIBLE FOR MATCHING EXISTING GRADES WITH ANY NEW SURFACE STRUCTURES OR SURFACE ACCESS SERVING THEIR INSTALLED FACILITIES.
10. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER UTILITY UTILITIES NOT COVERED UNDER THESE CIVIL PLANS (ELECTRIC, TELEPHONE, GAS, STEAM, OIL, ETC.) AND ALLOW FOR THEIR OPERATIONS AND CONSTRUCTION TO BE PERFORMED. ALL PLANNED AND EXISTING UTILITIES LOCATIONS AND DEPT'S SHALL BE COORDINATED PRIOR TO ANY INSTALLATIONS.
11. ALL UTILITIES SHALL BE MAINTAINED WITH NCDDT, NCDDT, AND CITY OF RALEIGH STANDARDS. WHEN SPECIFICATIONS ARE IN CONFLICT, THE STRICTER SPECIFICATION SHALL BE USED.
12. RISE ELEVATIONS SHOWN ON THESE PLANS ARE APPROXIMATE AND ARE FOR INFORMATIONAL PURPOSES ONLY. ACTION FOR RISE ELEVATIONS SHALL BE BASED ON CONTRACTOR TO MATCH EXISTING GRADES WITHIN 1/2" OF ALL NEW CONCRETE STRUCTURES SHALL BE BRICK CONSTRUCTION OR OBTAINED WITH PRECAST GRADE RINGS TO ROW OR FOR ADJUSTED AS NECESSARY. STRUCTURES SHALL BE MAINTAINED 4'-0" FROM THE RISE ELEVATION PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
13. ALL SHOVING SHALL BE IN ACCORDANCE WITH CONSTRUCTION STANDARDS, PART 200 SUBPART A, AS APPLICABLE.
14. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UNUSABLE MATERIAL IS DISCOVERED PRIOR TO BEGINNING ANY CONSTRUCTION.
15. CONTRACTOR IS TO VERIFY ACCURACY OF ANY TEMPORARY BENCHMARKS SHOWN PRIOR TO UTILIZING THEM FOR CONSTRUCTION.
16. EACH EXISTING ROAD WILL BE CLEANED AND REPAIRED DAILY.
17. TRAFFIC CONTROL ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN COMPLIANCE WITH THE TRAFFIC CONTROL PLAN, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND AS FURTHER DIRECTED BY LOCAL AND STATE INSTITUTIONS.
18. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE COMPLIANCE THROUGHOUT THE SITE. SPOT ELEVATIONS ON THESE PLANS ARE FOR GENERAL INFORMATION ONLY. CONTRACTOR SHALL CONSIDER THAT ALL ASSE STANDARDS ARE BEING MET PRIOR TO PLACING ANY CONCRETE OR ASPHALT.
19. ALL RETAINING WALLS ON SITE ARE TO BE DEMOLISHED AND PERMITTED BY OTHERS INCLUDING MATERIAL, HEIGHT, WIDTH, ALIGNMENT, ELEVATIONS, FOOTINGS, ETC. SPOT ELEVATIONS SHOWN ARE APPROXIMATE AND FOR REFERENCE ONLY.
20. A HANDRAIL OR FENCE SHALL BE INSTALLED ALONG THE TOP OF ALL RETAINING WALLS, HANDRAILS, AND DOWN THE TOP OF ALL VERTICAL WALLS WHERE THE DROP FROM THE TOP OF WALL TO THE BASE OF WALL OR INVERT OF PIPE IS GREATER THAN OR EQUAL TO 80". HANDRAILS SHALL INCLUDE A MINIMUM OF TWO HORIZONTAL MEMBERS (1. ONE NEAR THE BOTTOM AND ONE NEAR THE TOP) SHALL INCLUDE VERTICAL PICKETING SPACED AT 4' ON CENTER.

DEMOLITION NOTES:

1. PRIOR TO ANY DEMOLITION ACTIVITY, SET UP AN ON-SITE PREDEMOLITION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER INSPECTOR TO DISCUSS BRICK CONSTRUCTION MATERIALS AND DEMOLITION PROJECT REQUIREMENTS.
2. ALL TREE PROTECTION BARRIERS SHALL BE INSTALLED PRIOR TO ANY TREE DISTURBANCE. ANY PROTECTED TREE SHOWING DISTURBANCE WITHIN THE PROTECTED ROOT ZONE SHALL BE PRESERVED AND FERTILIZED BY A CERTIFIED ARBORIST AT NO ADDITIONAL COST TO THE OWNER.
3. ALL REMOVED MATERIAL, UNLESS OTHERWISE NOTED, SHALL BECOME THE PROPERTY OF THE CONTRACTOR. COORDINATE WITH ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR DEMOLITION OF THESE ITEMS.
4. ALL REMOVED CURB SHALL BE MADE BY SAW CUT.
5. ALL REMOVED OR HAZARDOUS SOIL BROUGHT INTO OR TAKEN FROM SITE SHALL BE TAKEN FROM OR TO A PERMITTED LANDFILL OR ANOTHER PERMITTED SITE.

GRADING AND DRAINAGE NOTES:

1. CONTRACTOR SHALL TAKE CARE TO MAKE SMOOTH FLOWING TRANSITIONS & NEW EXISTING ASPHALT TILES. SLOPE BETWEEN FIXED SPOT ELEVATIONS SHALL BE CONSTANT UNLESS OTHERWISE SPECIFIED.
2. ALL MATERIAL TYPES OF ALL PROPOSED STORM DRAINAGE PIPE SHALL BE PROPERLY SPECIFIED PER DETAILS AND NOTES.
3. ALL DRAINAGE WILL BE MADE FUNCTIONAL DAILY AS WORK PROGRESSES.
4. ALL MATERIALS USED FOR PAVING OPERATIONS SHALL BE PLACED AT THE DIRECTION OF THE OWNER'S RESPECTED ENGINEER.
5. ALL DISTURBED AREAS SHALL BE RESEED OR PLANTING AREA SHALL BE LEFT 4' BELOW FINISHED GRADES BROWN. THE FINISH 4' IN ALL DISTURBED AREAS SHALL BE 4' LAYER OF BROWN FINISHED GRADES BROWN. THE FINISH 4' OF THE SUBGRADE SHALL BE UNOBTAINED WITH ALL STONE AND COMPLETION DEPENDS. WITHIN THE FIRST 2' OF TOPSOIL, INTO THE TOP 4' OF LOOSER SUBGRADE BEFORE SPECIFIED THE FINISH 2' OF TOPSOIL. IF TOPSOIL IS INDICATED AS OTHER THAN 4" ON LANDSCAPE PLANS, FOLLOW LANDSCAPE PLANS.
6. NEW EARTHWORK SHALL BE BLENDED SMOOTHLY TO THE EXISTING GRADE.
7. THE PRESENT MAIN DRAINAGE SHALL HAVE POSITIVE DRAINAGE DETAILS TO EXISTING ASPHALT TILES. ALL NEW EARTHWORK SHALL BE BLENDED SMOOTHLY TO THE EXISTING GRADE.
8. REFER TO STRUCTURAL AND ARCHITECTURAL DRAWINGS FOR BUILDING AND RETAINING WALL FOUNDATION DRAIN LOCATION, PIPE SIZES, AND MATERIALS. REFER TO CIVIL PLANS FOR EXTENSION OF FOUNDATION DRAIN FROM WALL TO OUTFALL LOCATION. ALL FOUNDATION DRAIN LINES WHICH CONNECT TO THE PROPOSED STORMWATER SYSTEM PREFERED FOR DISCHARGING TO GRADE SHALL HAVE A BACKFLOW VALVE AT THE TIE-IN LOCATION.
9. IF PROPOSED GRADES (DECEASED OR SLOPED) HINDER OR PLANTING AREA SHALL BE LEFT 4' BELOW FINISHED GRADES BROWN. THE FINISH 4' IN ALL DISTURBED AREAS SHALL BE 4' LAYER OF BROWN FINISHED GRADES BROWN. THE FINISH 4' OF THE SUBGRADE SHALL BE UNOBTAINED WITH ALL STONE AND COMPLETION DEPENDS. WITHIN THE FIRST 2' OF TOPSOIL, INTO THE TOP 4' OF LOOSER SUBGRADE BEFORE SPECIFIED THE FINISH 2' OF TOPSOIL. IF TOPSOIL IS INDICATED AS OTHER THAN 4" ON LANDSCAPE PLANS, FOLLOW LANDSCAPE PLANS.
10. ALL DRAINAGE STRUCTURES SHALL BE ORIENTED TO THE INVERT OF THE OUTFLOW PIPE TO ELIMINATE ANY BUMP CONDITION UNLESS A REQUIRED BUMP IS CALLED OUT ON PLANS. ALL PIPE PENETRATIONS SHALL BE PLUMB WITH THE STRUCTURES WALL AND GROUTED.
11. DRAINAGE STRUCTURE ORIENTATION SHALL BE AS SHOWN ON THE DRAWINGS. GRATES ARE TYPICALLY SHOWN SET SQUARE TO THE ADJACENT WALL EDGE, BUILDING FACE, OR CURB LINE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING THE DRAINAGE STRUCTURE TO NO ADDITIONAL COST TO THE OWNER IF SHOWN ORIENTATIONS ARE NOT CONTAINED.
12. ALL ROOF LEADERS TO BE EITHER 3/4" DIA. SMOOTH WALL, OR DUCTILE IRON PIPE. ALL ROOF LEADERS SHALL HAVE A 3" MINIMUM SLOPE AND MAINTAIN A 24" MINIMUM COVER. CLEANOUTS SHALL BE SPACED NO GREATER THAN 75'. ALL ROOF LEADERS SHALL CONNECT TO MAIN LINES WITH VENT FITTINGS.
13. ALL SLOPES AND GRATES AND ALL GRADES CHANNELS AND CHANNELS SHALL BE ESTABLISHED WITH AN APPROPRIATE EROSION CONTROL. BY THE INSTALLATION, ADDITIONAL EROSION CONTROL MEASURES SHALL BE REQUIRED ALONG THE CONTOUR OF THE SLOPES BEGINNING AT THE TOP OF SLOPES AND VERTICALLY SPACED AS REQUIRED.
14. DRAINAGE GRATES ARE TO BE PROTECTED DURING CONSTRUCTION. CONTRACTOR SHALL PREVENT CONCRETE SPLASH, PAVEMENT, OR OTHER DAMAGE FROM OCCURRING OR RESTORING BACKFILL AT COMPLETION OF PROJECT.
15. RISE ELEVATIONS PROVIDED REFER ONLY TO THE GRADE ELEVATION AT THE WALL, HORN, ROOF, AND LOW SIDE. REFER TO ARCH. AND STRUCT. PLANS OR SEPARATE WALL DRAWINGS FOR TOTAL WALL HEIGHT ABOVE GRADE FOR PARAPETS, CAPS, BELL WALLS AND BELL END SECTIONS.
16. ALL SPOT ELEVATIONS SHOWN WITHIN PAVED AREAS (ON CIVIL PLANS) AND ALONG CURBS REPRESENT TOP OF PAVEMENT (ON SIDE OF CURB OR BOTTOM OF CURB) UNLESS OTHERWISE INDICATED.

EROSION CONTROL NOTES:

1. THE GRADING CONTRACTOR SHALL USE WHATEVER MEASURES ARE REQUIRED TO PREVENT EROSION AND CONSTRUCTION DAMAGE FROM FLOWING DURING THE DESIGNATED LIGHTS SHOWN ON THE PLANS. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL EROSION PREVENTION AND ELEVATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND MUST REMOVE ALL AREAS DRAINING TO THESE FACILITIES AND SUFFICIENTLY STABILIZED. CONTRACTOR SHALL FILL GRASS AND STABILIZE ALL AREAS WHERE TEMPORARY EROSION CONTROL MEASURES WERE REMOVED AND REMAIN VISIBLE IN CARE AND MAINTENANCE UNTIL ALL AREAS ARE FULLY STABILIZED.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE NO EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, US DEPARTMENT OF AGRICULTURE, CITY OF RALEIGH STORMWATER DESIGN MANUAL - EROSION AND SEDIMENT CONTROL, WITH PREPARATIONS ARE IN CONFLICT, THE STRICTER SPECIFICATION SHALL BE USED.
3. LOCATE ANY STOPPED/STOPPED TROUGH OR SUBSILL WITHIN THE DESIGN LINE AND ABOVE THE SEDIMENT BASIN.
4. INLET PROTECTION IS REQUIRED FOR ALL INLETS LOCATED WITHIN THE WORKING AREA AND ANY INLETS DIRECTLY DOWNSTREAM WHICH WOULD BE IMPACTED.
5. INLET PROTECTION IS REQUIRED FOR ALL PHASES OF THE PROJECT AND UNTIL THE DISTURBED AREA IS FULLY STABILIZED.
6. THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO PREVENT TRACER OF MUD/SOIL OUT OF ADJACENT RESIDUALS. ANY MUD/SOIL TRACER OUT OF ADJACENT RESIDUALS SHALL BE CLEANED DAILY. CONSTRUCTION ENTRANCES SHALL BE MONITORED DAILY AND REDRESSED PERIODICALLY AS NEEDED.
7. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL CONSTRUCTION ACTIVITY REQUIREMENTS OUTLINED IN THE CURRENT NCDDT GENERAL PERMIT FOR 2023.01.01. ALL MONITORING AND RECORDING, RECORDS, MARKS AND CORRECTIVE ACTIONS MUST BE FOLLOWED AS DIRECTED.
8. ALL UTILITY AND STORM DRAINAGE ELEVATIONS ARE TO BE SLOPED AT THE END OF EACH DAY.
9. EROSION CONTROL MEASURES SHALL BE CONTROLLED DURING ALL THE WORKED AREA AND LOW SIDE. PER THE STABILIZATION SCHEDULE SHOWN ON G.O.G. ALL AREAS OF TRAFFIC AND DISTURBED AREAS THAT HAVE NOT YET BEEN STABILIZED WITH A GRASS OF GRASS, MUST BE WATERED DOWN AS NEEDED DURING DRY PERIODS TO PREVENT AIRBORNE DUST IRRADIATION OFFSITE. STOCK PILES THAT ARE NOT STABILIZED SHOULD BE COVERED. MAINTAINING EXPOSED DUST FOR A SHORT PERIOD OF TIME AND SHOULD BE APPLIED DAILY IF NOT MULTIPLE TIMES A DAY DEPENDING ON DURATION OF DRY PERIOD AND WIND CONDITIONS.

UTILITY NOTES:

1. ALL WATER AND SEWER WORK TO BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH AND NCDDT STANDARDS AND SPECIFICATIONS.
2. REQUIRED WATER/SEWER SEPARATION: 30" LATERAL, UNLESS BOTTOM OF WATER MAIN >30" ABOVE TOP OF SEWER IN A SEPARATE TRENCH. WHEN THESE SEPARATIONS CANNOT BE MAINTAINED OR WHEN THE SEWER IS ABOVE THE WATER MAIN, BOTH THE WATER AND SEWER LINES SHALL BE CONSTRUCTED OF FIBROUS MATERIAL WITH GUTTER EQUIVALENT TO WATER MAIN STANDARD FOR A MINIMUM LATERAL DISTANCE OF 10' ON EACH SIDE OF THE CROSSING.
3. REQUIRED SEWER SEPARATION WITH OTHER UTILITIES: SEWER BELOW UTILITY: 24" CLEAR WITH STONE BEDDING FROM A BELOW SEWER TO 12" ABOVE SEWER. SEWER ABOVE UTILITY: 12" CLEAR. CLEARANCES ARE NOTED FOR SEWER LOCATIONS. WHEN THESE SEPARATIONS CANNOT BE MAINTAINED, THE SEWER LINES SHALL BE CONSTRUCTED OF FIBROUS MATERIAL WITH GUTTER EQUIVALENT TO WATER MAIN STANDARD FOR A MINIMUM LATERAL DISTANCE OF 10' ON EACH SIDE OF THE CROSSING.
4. THERE SHALL BE NO TAPS, PIPES, BRANCHES, UNPAVED SPRAY PIPES, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS, OR OTHER WATER-USE APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER MAIN AND THE REQUIRED BACKFLOW PREVENTER.
5. EACH BVA IS REQUIRED TO BE TESTED BY A CITY OF RALEIGH APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM IN SERVICE.
6. HOOKS TO LANDSCAPE PLANS FOR ALL PROPOSED SEWERAGE OF ADOPTED GRADE/DEPTH/POSITIONS.
7. ALL SANITARY SEWER LATERALS SHALL MAINTAIN A MIN. COVER OF 90" WITH CLEANOUTS AT 70' MAX. GRADE. MAINTAIN A MIN. COVER - 1.2% CLEANOUTS IN PAVED AREAS SHALL BE TRAFFIC BEARING CLEANOUTS. CLEANOUTS WITHIN UNPAVED AREAS SHALL HAVE GRADE CAPS.
8. ALL SANITARY SEWER PIPE SHALL BE SLOPED IN ACCORDANCE WITH DETAILS AND SPECIFICATIONS.
9. ALL SEWER SERVICE LINES EXTENDED TO BUILDINGS SHALL TERMINATE WITH A GROUTED 8" FROM THE FACE OF THE BUILDING. THE PLUMBING CONTRACTOR SHALL BOND THE CONNECTIONS.
10. DAMPED WATER AND SEWER LINES SHALL BE PLUMB WITH FINISHED GRADE AND PROTECTED WITH A PRECAST CONCRETE CURB.
11. ALL BENDS AND INTERSECTIONS IN WATER LINES SHALL HAVE CONCRETE BLOCING.
12. SHOULD PIPE, FITTINGS, AND OTHER MATERIALS BE NEEDED IN ADDITION TO THAT SHOWN ON THE DRAWINGS BECAUSE PIPELINE WAS NOT INSTALLED TO THE ALIGNMENT AND PROFILES SHOWN, THEN THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THOSE MATERIALS AND PROVIDING THE EQUIPMENT AND LABOR TO INSTALL THEM TO MEET THE DESIGN INTENT OF THE UTILITY AT NO ADDITIONAL COST TO THE OWNER.
13. THE CONTRACTOR SHALL NOTIFY THE OTHERS AND THE ENGINEER 48 HOURS IN ADVANCE OF ALL REQUIRED TESTS AND INSPECTIONS.
14. ALL NEW UNDERGROUND UTILITY LINES INCLUDING LARIN IRRIGATION LINES, THAT ARE LOCATED OUTSIDE OF THE BUILDING FOOTPRINT ARE REQUIRED TO HAVE A CONTINUOUS WARNING TAPE INSTALLED IN THE BACKFILL DIRECTLY OVER THE UTILITY LINE 6" TO 24" BELOW FINISHED GRADE AND 6" BELOW BUILDING UNDER PAVEMENT TO BE INSTALLED TO THE FULL LENGTH OF THE UTILITY AT NO ADDITIONAL COST TO THE OWNER. BOTH METALIC AND NON-METALIC PIPE, OTHER THAN GAS LINES, SHALL BE IDENTIFIED BY DETECTABLE MAGNETIC TYPE WARNING TAPE. MIN. 2" WIDE, WITH LETTERING TO IDENTIFY THE LINE BELOW.
- 2023 NC PIA 648 CODE, SECTION 404.1.2.2. A YELLOW INSULATED COPPER TRACER WITH OR WITHOUT AN EROSION CONTROL PRODUCTOR SHALL BE INSTALLED IN THE BACKFILL OF ALL NEW UTILITY LINES. THE TRACER SHALL BE PROVIDED TO THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE ABOVE THE BUILDING AT THE END OF THE NON-DETECTABLE PIPING. THE TRACER WIRE SHALL NOT BE LESS THAN 48" AWAY AND THE IRRIGATION TAP OF THE DETECTABLE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14" AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.
15. ALL VALVE BOXES WITHIN PAVED AREAS SHALL BE PLUMB WITH FINISHED GRADE AND PROTECTED WITH A PRECAST CONCRETE CURB.
16. ALL UNDERGROUND UTILITY, INCLUDING IRRIGATION AND METALIC PIPE SHALL HAVE TRACER WIRE INSTALLED CONTINUOUSLY ALONG THE TOP OF THE PIPE TAPED AT MAXIMUM OVERLAP. TRACER WIRE SHALL BE BROUGHT UP AT ALL VALVES, MANHOLES, VALVE BOXES, FIRE HYDRANTS, FIRE STANDING PIPES, ETC. FOR PLASTER SEWER PIPING, AN INSULATED COPPER TRACER WITH OR WITHOUT AN EROSION CONTROL PRODUCTOR SHALL BE INSTALLED TO THE FULL LENGTH OF THE UTILITY AT NO ADDITIONAL COST TO THE OWNER. THE TRACER WIRE OR THE TRACER WIRE SHALL TERMINATE AT THE CLEANOUT BETWEEN THE BUILDING DRAIN AND THE BUILDING DRAIN. THE TRACER WIRE SIZE SHALL NOT BE LESS THAN 14" AND THE INSULATION TYPE SHALL BE LISTED FOR DIRECT BURIAL.

PAVEMENT MARKING AND SIGNAGE NOTES:

1. ALL PROPOSED BENS SHOWN ON THESE PLANS ARE TO BE INSTALLED BY THE CONTRACTOR.
2. ALL EXISTING BENS REMOVED DURING PROJECT DEMOLITION, OR FOR REASONS OF CONFLICT, REGARDLESS OF THE LOCATION OF THE BEN OR ON THESE PLANS OR OTHERWISE, THE CONTRACTOR SHALL RELOCATE OR COORDINATE WITH THE CAMPAIGN WITH NEW SIGN POSTS AND SIGNIFYING HIGHLIGHTS.
3. ALL NEW SIGNS SHALL HAVE HIGH INTENSITY PNEUMATIC SHEETING THAT MEETS THE MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE MUTCD.
4. ALL SIGNS SHALL BE INSTALLED WITH NEW POSTS AND HARDWARE.
5. THE LATERAL OFFSET OF ALL READONLY BENS FROM FACE OF CURB TO THE EDGE OF THE BION SHALL BE BEFORE DEMOLITION AND 6' MIN. UNLESS OTHERWISE INDICATED. A BENCHMARK ADJACENT TO THE CURB, SET THE POST CLOSE TO THE CURB, PROVIDING A 1' LATERAL OFFSET FROM FACE OF CURB TO EDGE OF BION.
6. ALL PAVEMENT MARKINGS SHALL CONFORM TO ALL CURRENT NCDDT AND CODE STANDARDS.
7. ALL MARKINGS EXCEPT THOSE CALLED OUT TO BE PAINTED (TWO COATS) SHALL BE THERMOPLASTIC, REINFORCED WITH GLASS BEADS TO COMPLY WITH ALL CURRENT NCDDT AND MARKING DETAIL.
8. CONTRACTORS SHALL KILL ANY EXISTING MARKINGS SHOWN TO BE REMOVED WHERE THE PAVEMENT SURFACE WILL BE LEFT INTACT. DISTURBANCES IN CONFLICT WITH PROPOSED MARKINGS SHALL ALSO BE KILLED.
9. CONTRACTOR SHALL BE PROPOSED MARKINGS TO EXISTING MARKINGS AT PROJECT LIMITS.
10. PROPOSED WHITE PAVEMENT MARKINGS ON CONCRETS SHALL BE SHADOWED WITH BLACK MARKINGS, PROVIDING A 1" SHADOW MARGIN ON EACH SIDE OF THE WHITE MARKING.

ABBREVIATIONS

DBL	DOUBLE	FM	FORCE MAIN (SANITARY SEWER)	PC	POINT OF CURVE	TC	TOP OF CURB
BOT	BOTTOM	FF	FINISH PAD	PH	POST HYDRANT	TH	THROAT ELEVATION
CB	CATCH BASIN	FR	FRAME	PT	POINT OF TANGENT	TG	TOP OF GUTTER
CI	CURB INLET	G	GRATE INLET	PVC	POLYVINYL CHLORIDE	TP	TOP OF PAVEMENT
CL	CLEAN OUT	GV	GATE VALVE	RCP	REINFORCED CONCRETE PIPE	TW	TOP OF WALK
CP	CORRUGATED PLASTIC PIPE	HDPE	HIGH DENSITY POLYETHYLENE	RC	ROLL CURB INLET	TP	TYPICAL
DBL	DOUBLE	HD	HOODED INLET	RCP	REINFORCED CONCRETE PIPE	VI	VALLEY INLET
DI	DITCH INLET	INV	INVERT ELEVATION	RI	ROOF INLET	W	WATER
DP	DUCTILE IRON PIPE	JB	JUNCTION BOX	RJP	RESTRAINED JOINT PIPE	W	WITH
EL	ELEVATION	LF	LINEAR FEET	R/W	RIGHT-OF-WAY	WV	WATER VALVE
ES	END SECTION	MAX	MAXIMUM	SD	STORM DRAINAGE	YI	YARD INLET
FES	FLARED END SECTION	MIN	MINIMUM	SDMH	STORM DRAINAGE MANHOLE		
FG	FINISH GRADE	MH	MANHOLE	SS	SQUARE FEET		
FI	FIRE HYDRANT	OC	ON CENTER	SS	SANITARY SEWER		

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR GAS, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-2442 AT LEAST 14 DAYS PRIOR TO BEGINNING ANY CONSTRUCTION.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNGRADE PUMP, HAVE PERMITTED LATERAL OR ANY OTHER VIOLATION OF THE CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

NOTE:

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDDT, AND/OR NCDDT STANDARDS AND SPECIFICATIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF ANY EXCAVATION. EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND ALL MAY NOT BE SHOWN.

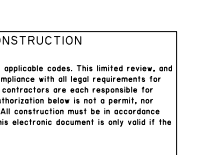


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- ## REFERENCES

- DB 8517, PG 2  
DB 8517, PG 2  
DB 9435, PG 8  
DB 15266, PG  
DB 15418, PG  
DB 18400, PG  
DB 18401, PG  
DB 18403, PG  
DB 18403, PG  
DB 18621, PG  
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BM 2012, PG 2  
BM 2013, PG  
BM 2021, PG



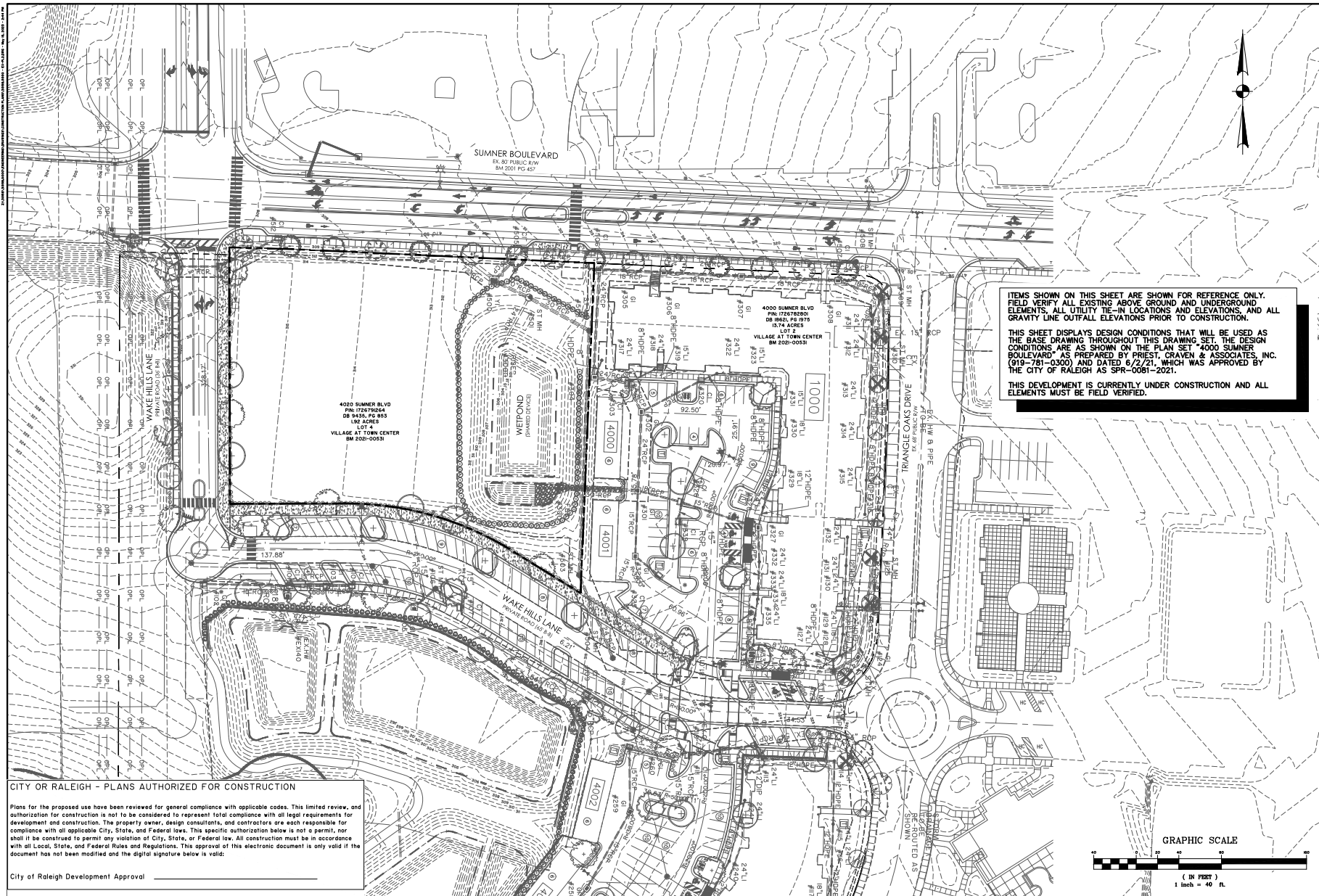
	LINE SURVEYED		WATER VALVE
	LINE NOT SURVEYED		HYDRANT
	EXISTING CONTOUR		GAS VALVE
	EXISTING SPOT ELEVATION		SANITARY MANHOLE
	FENCE		STORM DRAIN MANHOLE
	APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT		FLARED END SECTION
	APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT		IRON PIPE FOUND
	FLOOD PRONE SOILS		PS PIPE SET

BOHLER ENGINEERING-ALL RIGHTS RESERVED.  
THE COPYING OR REUSE OF THIS DOCUMENT, OR PORTIONS THEREOF, FOR OTHER THAN THE ORIGINAL PROJECT OR THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF BOHLER ENGINEERING, IS PROHIBITED.

OB NO:	J-30158.0000
DATE:	02/06/23
RAWN:	SHO
DESIGNED:	SHO
VIEWED:	JIS
APPROVED:	JIS
SCALE:	1" = 30'

## EX1.0





ITEMS SHOWN ON THIS SHEET ARE SHOWN FOR REFERENCE ONLY. FIELD VERIFY ALL EXISTING ABOVE GROUND AND UNDERGROUND ELEMENTS, ALL UTILITY TIE-IN LOCATIONS AND ELEVATIONS, AND ALL GRAVITY LINE OUTFALL ELEVATIONS PRIOR TO CONSTRUCTION.

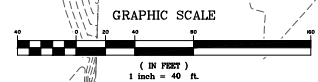
THIS SHEET DISPLAYS DESIGN CONDITIONS THAT WILL BE USED AS THE BASE DRAWING THROUGHOUT THIS DRAWING SET. THE DESIGN CONDITIONS ARE AS SHOWN ON THE PLAN SET "4000 SUMMER BOULEVARD, AS PREPARED BY PRIEST, CRAVEN & ASSOCIATES, INC. (919-781-0300) AND DATED 6/2/21, WHICH WAS APPROVED BY THE CITY OF RALEIGH AS SPR-0081-2021.

THIS DEVELOPMENT IS CURRENTLY UNDER CONSTRUCTION AND ALL ELEMENTS MUST BE FIELD VERIFIED.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State, and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State, or Federal law. All construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval \_\_\_\_\_



THOMAS HUTTON

1000 Euclid Avenue  
Charlotte, NC 28203 • 980.201.5505  
www.thomashutton.com

RALEIGH - SUMMER PSA, LLC  
4020 SUMMER BOULEVARD  
EXISTING CONDITIONS - PENDING

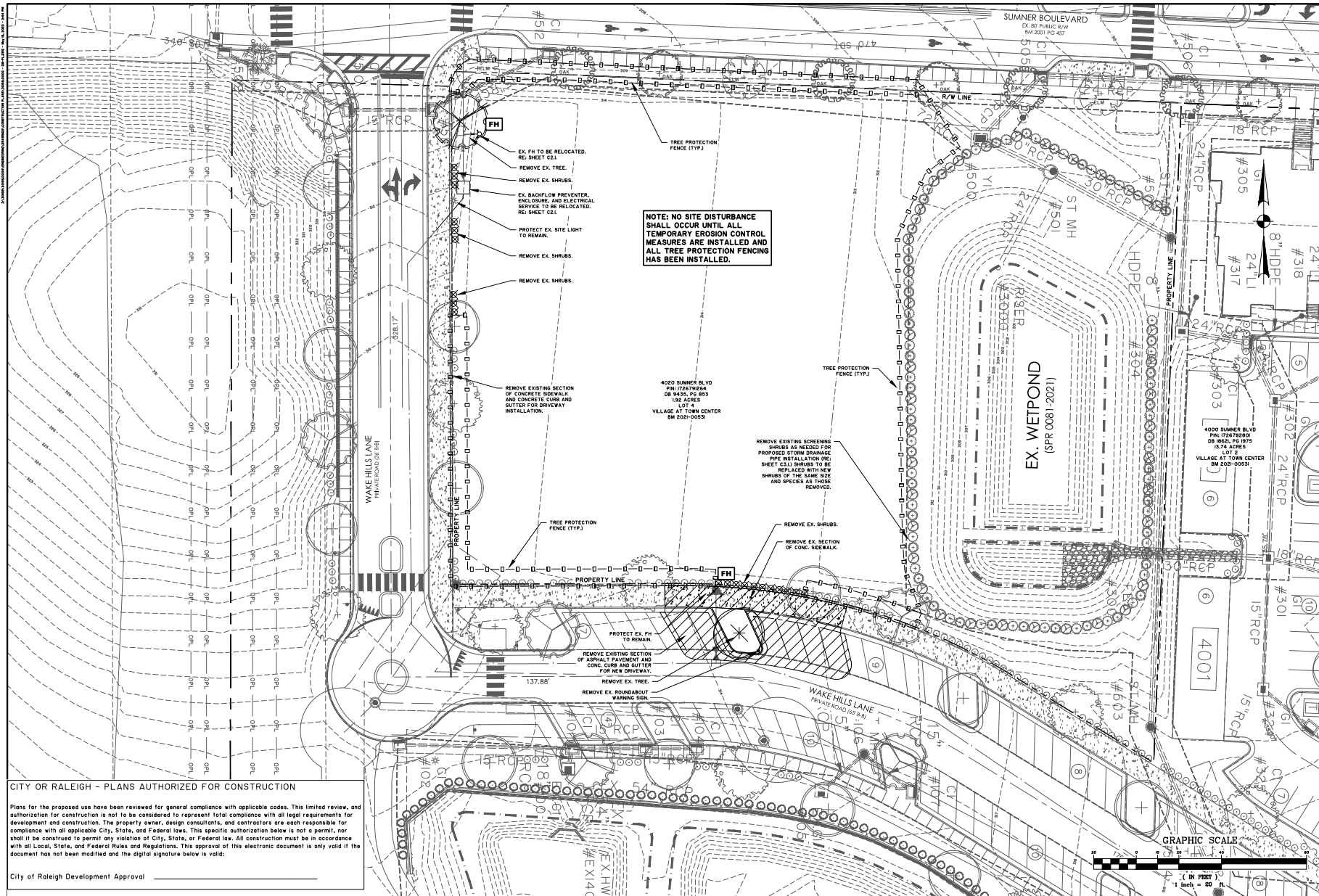
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DRAWN: SHD  
DESIGNED: SHD  
REVIEWED: JBS  
APPROVED: JBS  
SCALE: 1" = 40'

EX1.1

REVISIONS  
NO. BY DATE

PERMIT SET - FOR REVIEW PURPOSES ONLY





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Charlotte, NC 28203 • 980.201.5505  
www.thomashutton.com

RALEIGH - SUMMER PSA, LLC

4020 SUMMER BOULEVARD

DEMOLITION PLAN

CDN NO. 2-3049-0000

DATE 01/04/23

DRAWN SHD

DESIGNED SHD

REVIEWED JIB

APPROVED JIB

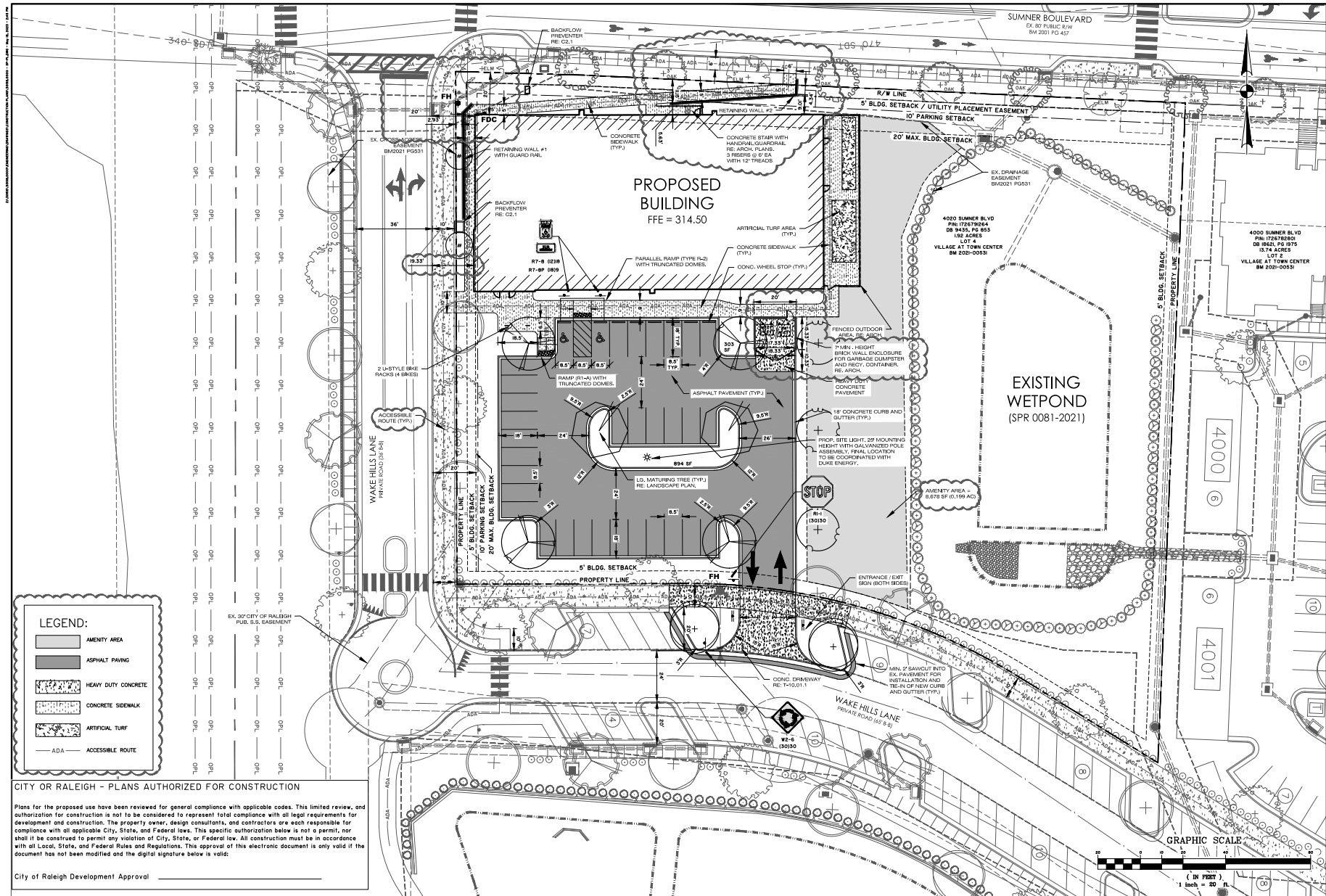
SCALE 1" = 20'

CD1.1

PERMIT SET - FOR REVIEW PURPOSES ONLY

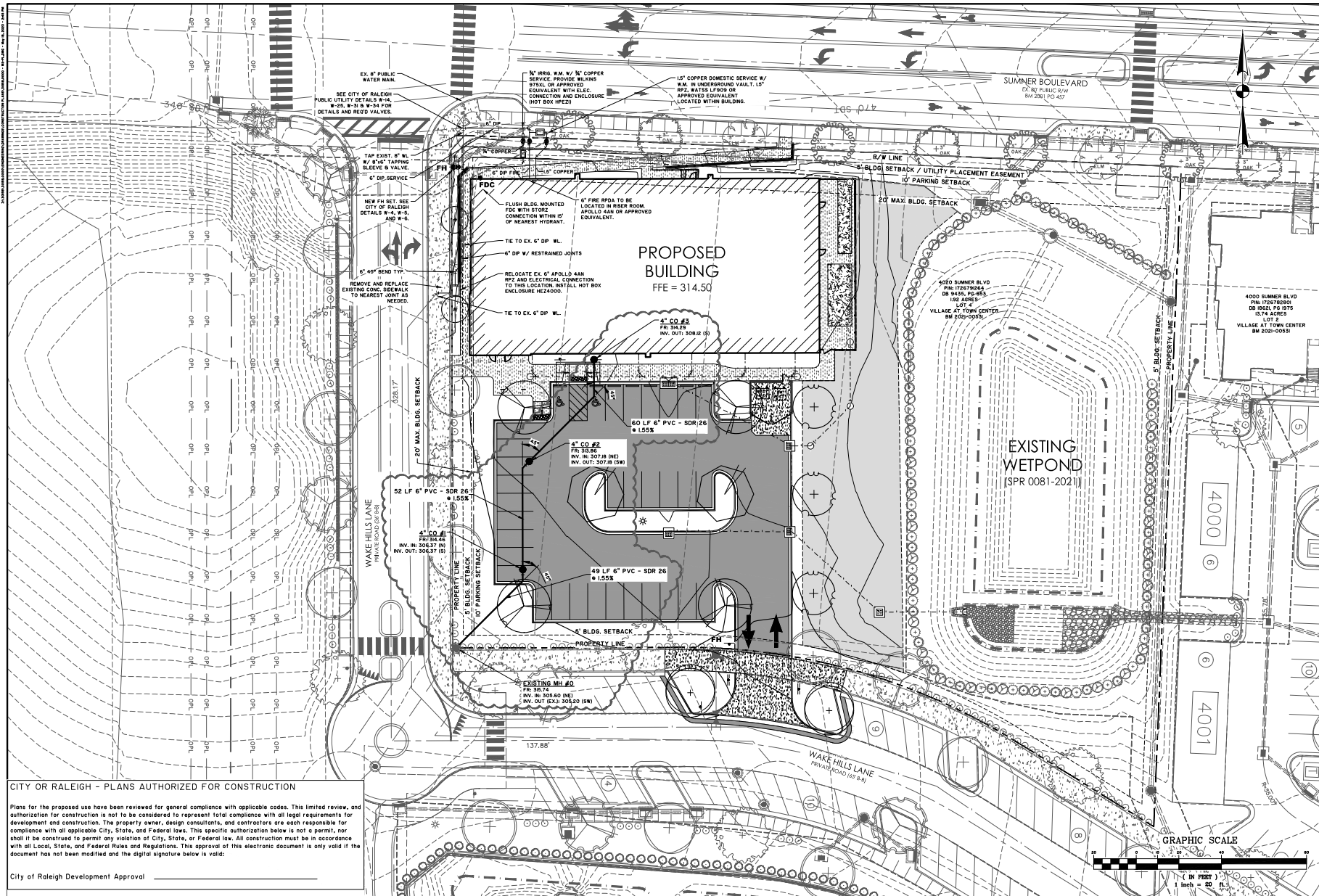






<b>THOMAS HUTTON</b> 1000 Euclid Avenue Charlotte, NC 28203 • 980.201.5505 www.thomashutton.com	
<b>RALEIGH - SUMMER PSA, LLC</b> RALEIGH, NC 4020 SUMMER BOULEVARD SITE PLAN	
DRAWN: SHD DESIGNED: SHD REVIEWED: JBS APPROVED: JBS SCALE: 1" = 20'	DATE: 05/04/23 BY: [Signature] REVISIONS:

**C1.2**



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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<b>THOMAS HUTTON</b> 1000 Euclid Avenue Charlotte, NC 28203 • 980.201.5505 www.thomashutton.com	
<b>RALEIGH - SUMNER PSA, LLC</b> 4020 SUMNER BOULEVARD WATER AND SEWER PLAN	
DATE: 03/04/2020	DRAWN: SHD
DESIGNED: SHD	REVIEWED: JBS
APPROVED: JBS	SCALE: 1" = 20'
<b>C2.1</b>	

PERMIT SET - FOR REVIEW PURPOSES ONLY

City of Raleigh Development Approval \_\_\_\_\_

**THOMAS  
HUTTON**  
1020 Euclid Avenue  
Charlotte, NC 28202 • 980.201.1511  
[www.thomasandhutton.com](http://www.thomasandhutton.com)

**RALEIGH - SUMNER PSA, LLC**  
RALEIGH, NC

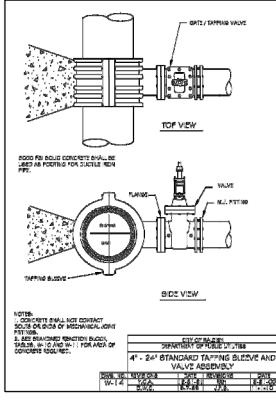
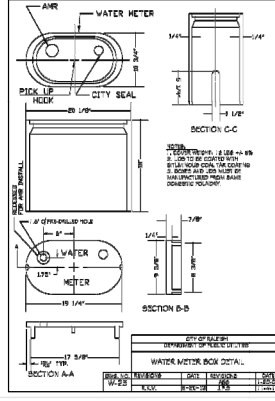
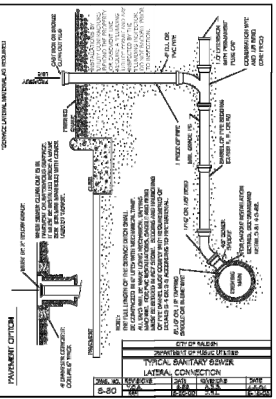
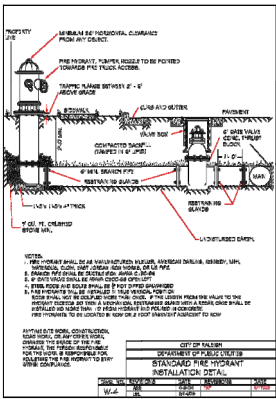
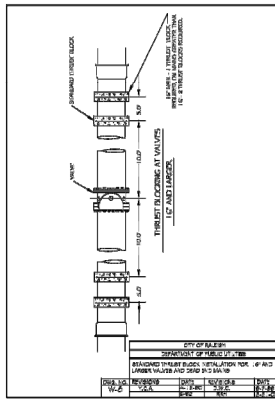
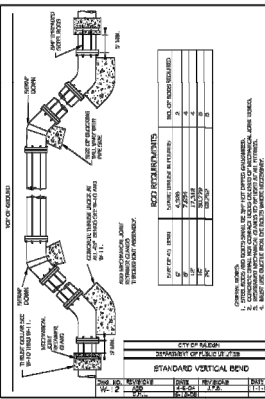
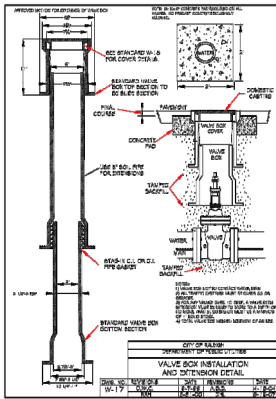
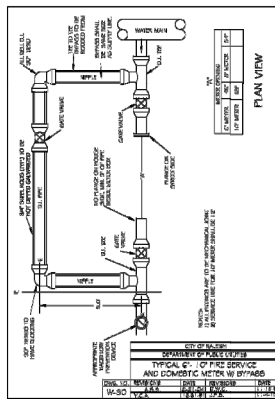
**4020 SUMNER BOULEVARD**

**SANITARY SEWER PROFILE**

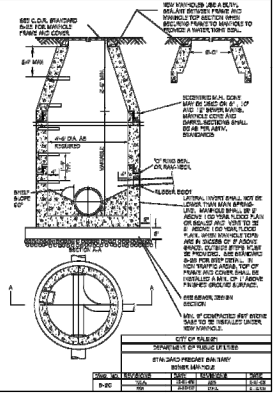
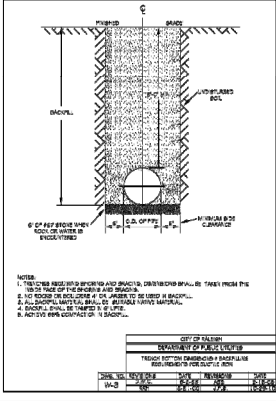
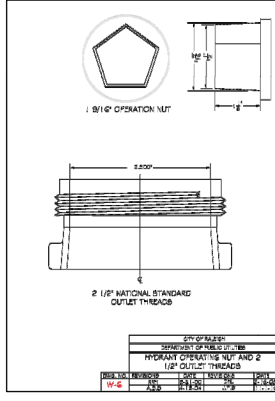
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DATE:	02/06/23
DRAWN:	SHD
DESIGNED:	SHD
REVIEWED:	JIS
APPROVED:	JIS
SCALE:	1" = 20'

## C2.2





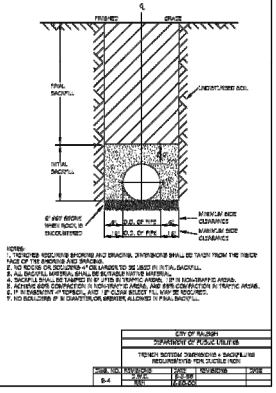
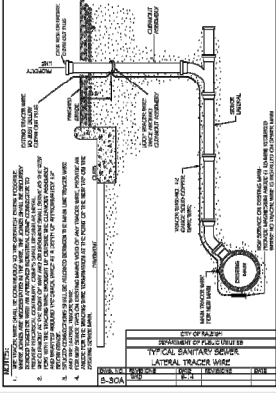
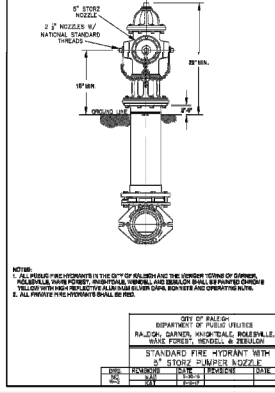
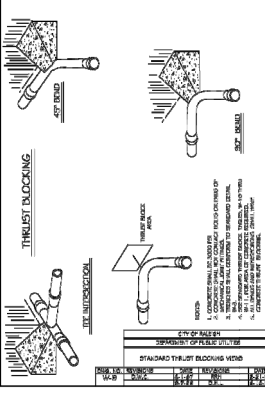
REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS									
BASED ON THE FOLLOWING ASSUMPTIONS:									
1. ALL PIPES ARE 6 INCHES IN DIAMETER.									
2. ALL PIPES ARE 10 FEET LONG.									
3. ALL PIPES ARE 10 FEET LONG.									
4. ALL PIPES ARE 10 FEET LONG.									
5. ALL PIPES ARE 10 FEET LONG.									
6. ALL PIPES ARE 10 FEET LONG.									
7. ALL PIPES ARE 10 FEET LONG.									
8. ALL PIPES ARE 10 FEET LONG.									
9. ALL PIPES ARE 10 FEET LONG.									
10. ALL PIPES ARE 10 FEET LONG.									



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Charlotte, NC 28202 • 980.201.5505  
www.thomashutton.com

RALEIGH - SUMNER PSA, LLC  
4020 SUMNER BOULEVARD  
WATER AND SEWER DETAILS

C2.3

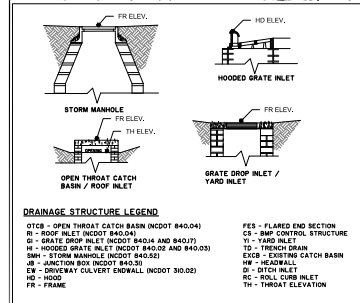
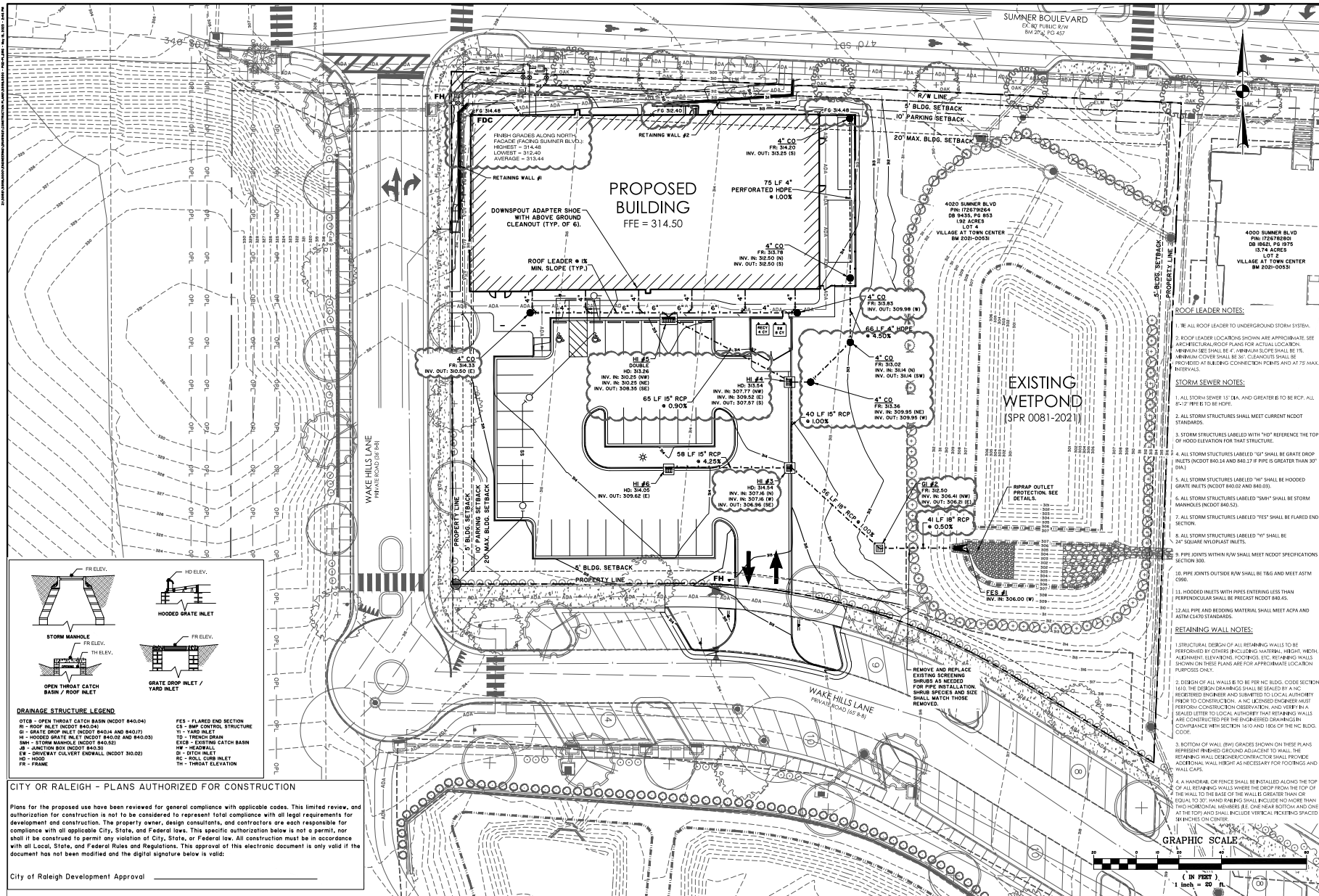
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BY: JES  
SCALE: 1/8" = 1'-0"

REVISIONS

NO. BY DATE







CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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- ROOF LEADER NOTES:**
1. BE ALL ROOF LEADER TO UNDERGROUND STORM SYSTEM.
  2. ROOF LEADER LOCATIONS SHOWN ARE APPROXIMATE. SEE ARCHITECTURAL ROOF PLANS FOR ACTUAL LOCATIONS. MINIMUM SET SHALL BE 4". MINIMUM SLOPE SHALL BE 1%.
  3. MINIMUM COVER SHALL BE 8" CLEANSIDE SHALL BE PROVIDED AT BUILDING CONNECTION POINTS AND AT 75' MAX. INTERVALS.
- STORM SEWER NOTES:**
1. ALL STORM SEWER 15" DIA. AND GREATER IS TO BE RCP. ALL 6" TO 12" PIPES TO BE PIPE.
  2. ALL STORM STRUCTURES SHALL MEET NCDOT STANDARDS.
  3. STORM STRUCTURES LABELED WITH "HD" REFERENCE THE TOP OF HOOD ELEVATION FOR THAT STRUCTURE.
  4. ALL STORM STRUCTURES LABELED "GR" SHALL BE GRATE DRAIN PIPES (NCDOT 840.02 AND 840.03) IF PIPE IS GREATER THAN 30" DIA.
  5. ALL STORM STRUCTURES LABELED "HM" SHALL BE HOODED GRATE INLETS (NCDOT 840.02 AND 840.03).
  6. ALL STORM STRUCTURES LABELED "SM" SHALL BE STORM MANHOLES (NCDOT 840.52).
  7. ALL STORM STRUCTURES LABELED "TES" SHALL BE TAPERED END SECTION.
  8. ALL STORM STRUCTURES LABELED "TS" SHALL BE 3' SQUARE WYTHOUT INLETS.
  9. PIPE JOINTS WITHIN R/W SHALL MEET NCDOT SPECIFICATIONS SECTION 300.
  10. PIPE JOINTS OUTSIDE R/W SHALL BE T&G AND MEET ASTM C900.
  11. HOODED INLETS WITH PIPES ENTERING LESS THAN PERPENDICULAR SHALL BE PRECAST NCDOT 840.05.
  12. ALL PIPE AND BEDDING MATERIAL SHALL MEET ACPA AND ASTM C470 STANDARDS.
- RETAINING WALL NOTES:**
1. STRUCTURAL DESIGN OF ALL RETAINING WALLS TO BE PERFORMED BY OTHERS (INCLUDING MATERIAL, HEIGHT, WEIR ALIGNMENT, ELEVATIONS, FOOTINGS, ETC. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE LOCATION PURPOSES ONLY).
  2. DESIGN OF ALL WALLS IS TO BE PER NC BLDG. CODE SECTION 1400. THE DESIGN DRAWINGS SHALL BE SEALED BY A P.E. REGISTERED ENGINEER AND SUBMITTED TO LOCAL AUTHORITY PRIOR TO CONSTRUCTION. A P.E. LICENSED ENGINEER MUST PERFORM CONSTRUCTION OBSERVATION AND VIEW IN A SEALED LETTER TO LOCAL AUTHORITY THAT RETAINING WALLS ARE CONSTRUCTED PER THE ENGINEER'S DRAWINGS IN CONFORMANCE WITH SECTION 1400 AND 1405 OF THE NC BLDG. CODE.
  3. BOTTOM OF WALL (W/IN) GRADES SHOWN ON THESE PLANS REPRESENT FINISHED GRADING ADJACENT TO WALL. THE RETAINING WALL DESIGNER/ENGINEER/CONTRACTOR SHALL PROVIDE ADDITIONAL WALL HEIGHT AS NECESSARY FOR FOOTINGS AND WALL CAPS.
  4. A HANDRAIL OR FENCE SHALL BE INSTALLED ALONG THE TOP OF ALL RETAINING WALLS WHERE THE DROP FROM THE TOP OF THE WALL TO THE BASE OF THE WALL IS GREATER THAN OR EQUAL TO 2'. HANDRAILS SHALL INCLUDE NO MORE THAN TWO HORIZONTAL MEMBERS (E. ONE NEAR BOTTOM AND ONE AT THE TOP) AND SHALL INCLUDE VERTICAL PICKETING SPACED 36" MAX ON CENTER.
- GRAPHIC SCALE**
- ( IN FEET )  
1 inch = 20 ft.

THOMAS HUTTON

1000 Euclid Avenue  
Charlotte, NC 28203 • 980.201.5505  
www.thomashutton.com

RALEIGH - SUMNER PSA, LLC  
RALEIGH, NC  
4020 SUMNER BOULEVARD  
PAVING, GRADING & DRAINAGE PLAN

DATE: 05/04/23  
DRAWN: SHD  
DESIGNED: SHD  
REVIEWED: JBS  
APPROVED: JBS  
SCALE: 1" = 20'

C3.1

PERMIT SET - FOR REVIEW PURPOSES ONLY









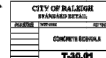
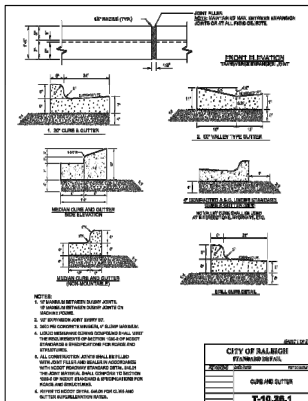
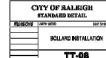
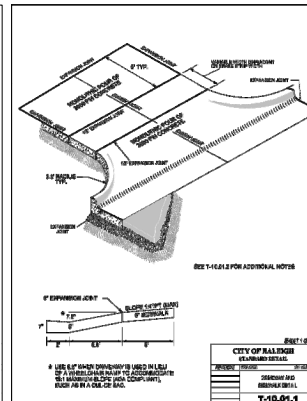
NOT TO SCALE

City of Raleigh Development Approval \_\_\_\_\_

### C3.4

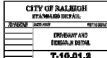






Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State, and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State, or Federal law. All construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval \_\_\_\_\_

[illegible]

RALEIGH - SUMNER PSA, LLC  
RALEIGH, NC  
4020 SUMNER BOULEVARD

JOB NO:	J-30158.0000
DATE:	02/06/23
DRAWN:	SHD
DESIGNED:	SHD
REVIEWED:	JIS
APPROVED:	JIS
SCALE:	1" = 1'

### C3.6

PERMIT SET - FOR REVIEW PURPOSES ONLY

DATE: 08/28/23  
DRAWN BY: JHS  
DESIGNED BY: JHS  
REVIEWED BY: JHS  
SCALE: 1" = 20'

# MAINTENANCE OF LANDSCAPING (PER UDO 7.2.7.D)

1. Responsibility  
The owner or tenant is responsible for maintaining all required landscaping in good health. Any dead, unhealthy or missing landscaping must be replaced with landscaping that conforms to this UDO within 30 days (or within 180 days where weather concerns would jeopardize the health of plant materials). In the event that required landscape is severely damaged due to an unusual weather occurrence or other act of nature, the owner or tenant may have 2 years to replace the required landscaping.

2. Soil Erosion  
All planting areas must be stabilized from soil erosion immediately upon planting and must be maintained for the duration of the use.

3. Pruning and Trimming

a. All required landscaping shall be allowed to reach its required size and shall be maintained at that required size.

b. Except for trimming and pruning done in strict accordance with the terms, conditions and provisions of a permit issued by the Parks and Cultural Resources Department or pruning and trimming done under an issued permit in strict accordance with the line clearance policies and standards governing such activities established pursuant to Part 5, chapter 8, required landscaping shall not be cut or excessively trimmed or otherwise damaged so that their natural form is impaired.

c. A violation of this section shall subject the violator to a civil penalty of a minimum of \$1,000 for the first tree plus \$100 per caliper inch of any other tree unlawfully pruned damaged or excessively trimmed.

d. This civil penalty shall be processed as set forth in Sec. 10.4.2. In addition to this civil penalty, if more than 50% of the crown of a tree is removed within a continuous five-year period or more than 40% of the critical root zone of the tree is subjected to tree disturbing activity or if more than one-third of the circumference of the tree is exposed by pruning cuts, the owner of real property, where a violation has occurred, shall replace each unlawfully pruned or otherwise mechanically wounded, damaged, excessively trimmed or removed tree with a tree or trees of equal diameter.

e. Any replacement tree shall have a minimum caliper of three inches and be at least 10 feet tall at time of planting. Any replacement tree not planted in the original location shall be planted in a planting area of at least 200 square feet in area with minimum dimension of 10 feet.

f. If the property of which the violation has occurred fails to contain sufficient land area to replant the required replacement trees and replacement trees cannot be planted on adjoining street right-of-way, then in lieu of such replacement trees, a fee equal to \$100 per caliper inch of replacement trees shall be paid to the City.

g. The Parks and Cultural Resources Director may require crown restoration and crown reduction for any unlawfully pruned damaged or excessively trimmed tree. All such corrective pruning shall be done under the supervision of a certified arborist.

4. Excessively Trimmed

The pruning, cutting or otherwise damaging of the natural form of a tree when it meets one or more of the following:

a. Removes more than 25% of the crown system of a tree within a continuous 5-year period.

b. Removes, cuts or covers more than 25% of the root system of a tree within a continuous five-year period.

c. Fails to conform to the pruning cuts methods set forth in the current edition of "Tree, Shrub and Other Woody Plant Maintenance—Standard Practices" of the American National Standards Institute.

d. Is made for a purpose other than "hazard pruning," or "utility pruning," or "maintenance pruning" as set forth in the current edition of "Tree, Shrub and Other Woody Plant Maintenance—Standard Practices" of the American National Standards Institute.

e. Is crown reduction, heading, vista pruning or pollarding as set forth in the current edition of "Tree, Shrub and Other Woody Plant Maintenance—Standard Practices" of the American National Standards Institute.

5. Shade Trees

a. All shade trees planted to meet the landscaping requirements must be a locally adapted species with an expected mature height of 35 feet or greater and an expected mature crown spread of at least 30 feet or greater unless subject to an overhead power line in which case the mature height may be less.

b. All shade trees planted to meet the landscaping requirements must have a minimum caliper of 3 inches and be at least 10 feet tall at time of planting.

6. Undersitory Trees

a. Undersitory trees planted to meet the landscaping requirements must be a locally-adapted species with an expected mature height of at least 15 feet and an expected mature crown spread of at least 15 feet.

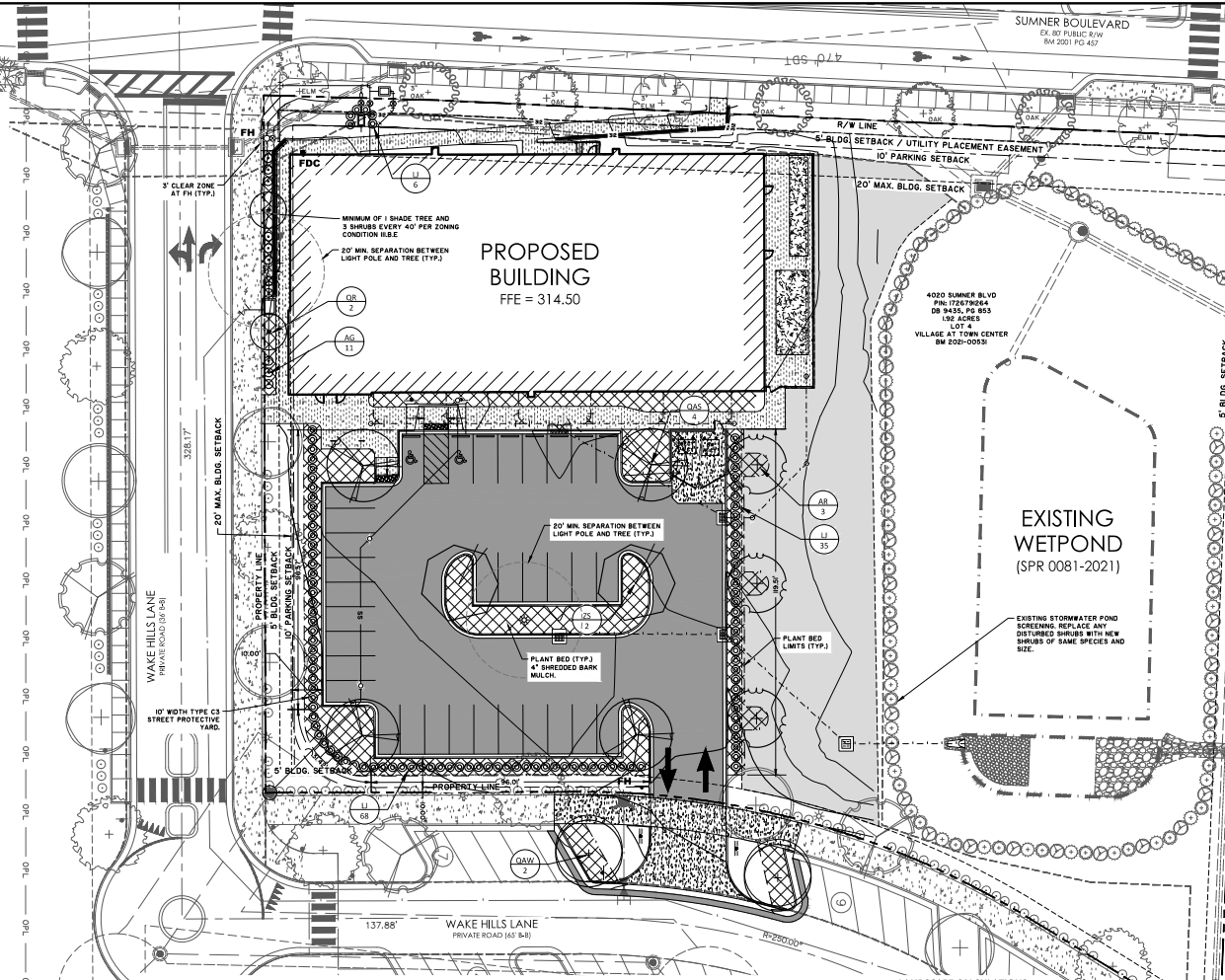
b. Single-stem undersitory trees planted to meet the landscaping requirements must have a minimum caliper of 1 1/2 inches and be at least 6 feet tall at time of planting.

c. Multi-stem undersitory trees planted to meet the landscaping requirements must be at least 6 feet tall at time of planting.

7. All landscaping installations must comply with the right triangle requirements of the Raleigh Street Design Manual. Any shade trees planted that do not comply must be limbed to min. 8' to meet the right triangle requirements.

8. Per City of Raleigh detail W-4, no objects, including landscaping allowed within 36" of fire hydrant.

City of Raleigh Development Approval



## PLANT LEGEND:

SHADE TREES

QAS

ZS

QAW

QR

AR

LI

AG

SHRUBS

LEGEND:

ASPHALT PAVING

HEAVY DUTY CONCRETE

CONCRETE SIDEWALK

ARTIFICIAL TURF

PLANT BED (4" SHREDDED BARK MULCH)

## LANDSCAPE CALCULATIONS:

TYPE C3 STREET PROTECTIVE YARD:

5 MIN. WIDTH REQUIRED

TOTAL LENGTH = 224 L.F.

(231/100) \* 30 = 68 SHRUBS REQUIRED

SHRUBS PROVIDED = 68 SHRUBS

VEHICLE SURFACE AREAS (VSA):

VSA SHADE TREES:

TOTAL AREA IN VSA = 14,127 SF

TREES REQUIRED = (12,000/5) = 14,127 / 2,000 = 8 TREES

TREES PROVIDED = 8 TREES

VSA SCREENING (PER 2.5-01 - I.G., I.H., II.1.E & V.D.1)

TOTAL VSA SHRUBS PROVIDED = 103 SHRUBS.

SCREENING:

MECHANICAL EQUIPMENT:

BACKFLOW PREVENTER - 6 SHRUBS

## GRAPHIC SCALE

( IN FEET )

1 inch = 20 ft.

PERMIT SET - FOR REVIEW PURPOSES ONLY

NO.	REVISIONS	BY	DATE

THOMAS HUTTON  
1000 Eschel Avenue  
Charlotte, NC 28203 • 980.201.5505  
www.thomashutton.com

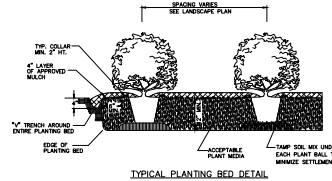
RALEIGH - SUMNER PSA, LLC  
4020 SUMNER BOULEVARD  
LANDSCAPE PLAN

DWG NO.: 2-3089-0000  
DATE: 08/28/23  
DRAWN: JHS  
DESIGNED: JHS  
REVIEWED: JHS  
SCALE: 1" = 20'

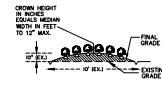
L1.1

NOTES:

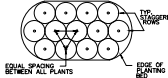
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
3. TAMP PLANTING MIX FIRMLY AS FIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND FIT IMMEDIATELY AFTER INSTALLATION.



TYPICAL PLANTING BED DETAIL



TYPICAL BED CROWNING



TYPICAL PLANTING BED PLAN

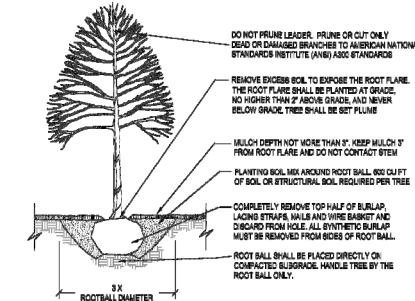
TYPICAL SHRUB PLANTING DETAIL

NOT TO SCALE

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State, and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State, or Federal law. All construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

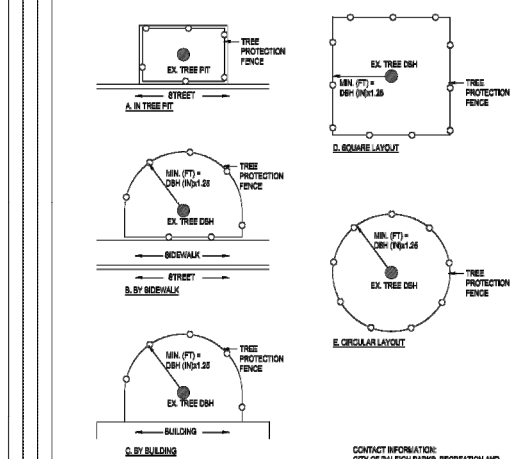
City of Raleigh Development Approval \_\_\_\_\_



CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT  
URBAN FORESTER:  
TREES@RALEIGH-NC.GOV/  
WWW.RALEIGH-NC.GOV

- NOTES:
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
  2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  4. A TREE IMPACT PERMIT IS REQUIRED.
  5. ELECTRICAL, OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
DATE/ISSUE	DATE/REVISION	NOT TO SCALE
TREE PLANTING DETAIL		
TPP-03		



CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT  
URBAN FORESTER: TREES@RALEIGH-NC.GOV/  
WWW.RALEIGH-NC.GOV

- NOTES:
1. CONTRACTOR MUST PROVIDE AND INSTALL TREE PROTECTION BARRIERS.
  2. A TREE IMPACT PERMIT IS REQUIRED PRIOR TO INITIATION OF CONSTRUCTION IF ANY TREES ON CITY PROPERTY ARE TO BE IMPACTED BY PRUNING, TRIMMING, BORING, REMOVAL, PLANTING, ETC.

CITY OF RALEIGH STANDARD DETAIL		
DATE/ISSUE	DATE/REVISION	NOT TO SCALE
TREE PROTECTION FENCE LAYOUT		
TPP-02		

**THOMAS HUTTON**  
1000 Euclid Avenue  
Charlotte, NC 28202 • 980.201.5505  
www.thomashutton.com

**RALEIGH - SUMNER PSA, LLC**  
RALEIGH, NC  
4020 SUMNER BOULEVARD  
LANDSCAPE DETAILS

DRAWN	2/20/2010
DATE	02/04/2010
DESIGNED	SSG
REVIEWED	JBS
APPROVED	JBS
SCALE	1" = 1'

**L1.2**

1
2
3
4
5

**DUMPSTER ENCLOSURE GENERAL NOTES**

- USE ASTM A36 FOR ALL ANGLES, PLATES, AND RODS.
- USE ASTM A53, TYPE E OR S, GRADE B FOR PIPE.
- ASTM A500, GRADE B ( $F_y=46$  KSI) FOR TUBE STEEL.
- FINISH FOR STEEL TO BE PAINTED OR HOT-DIPPED GALVANIZED.
- WOOD IS TO BE OF NUMBER TWO GRADE OR BETTER.
- REFER TO STRUCTURAL GENERAL NOTES FOR ADDITIONAL INFORMATION.
- REFER TO STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.

**1 DUMPSTER ENCLOSURE PLAN**  
A1.1 SCALE 1/4"=1'-0"

**2 DUMPSTER ENCLOSURE ELEVATION**  
A1.1 SCALE 1/2"=1'-0"

**3 SECTION**  
A1.1 SCALE 1/2"=1'-0"

**4 CANE BOLT DETAIL**  
A1.1 SCALE 3"=1'-0"

**5 SWING LATCH DETAIL**  
A1.1 SCALE 3"=1'-0"

**6 STOP PLATE DETAIL**  
A1.1 SCALE 3"=1'-0"

**7 GATE HINGE / POST DETAIL**  
A1.1 SCALE 3"=1'-0"

**8 COPING DETAIL**  
A1.1 SCALE 1-1/2"=1'-0"

Drawing Name: C:\2022\2022155 PreSuites\08\_Baklogh\_NC (Durban)\4\_ Working Files\00\_CAD\02\_Schematic Floor Plan\210\_A-1.dwg  
 -bk01sear



**petsuites**  
STAY & PLAY

REV.	DATE	DESCRIPTION
-	04.05.23	ADMINISTRATIVE SITE REVIEW
-	06.08.23	ADMINISTRATIVE SITE REVIEW
-	05.17.23	ADMINISTRATIVE SITE REVIEW

FOR REVIEW  
ONLY

**PETSUITES OF AMERICA**  
4020 SUMNER BLVD  
RALEIGH, NC 27616

ISSUED FOR:	
PERMIT	
BID	
CONSTRUCTION	
RECORD	
SITE ID NO. <b>TBD</b>	
PROJECT MANAGER	DESIGNER
NRV	AMK

JOB NO.  
2022155.08

## A1.1



