

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name: _____		
Inside City limits? Yes No		
Property address(es): _____		
Site P.I.N.(s): _____		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). _____		
Current Property Owner(s):		
Company: _____		Title: _____
Address: _____		
Phone #: _____		Email: _____
Applicant Name (If different from owner. See “who can apply” in instructions):		
Relationship to owner: Lessee or contract purchaser Owner’s authorized agent Easement holder		
Company: _____		Address: _____

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? Yes No
	A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

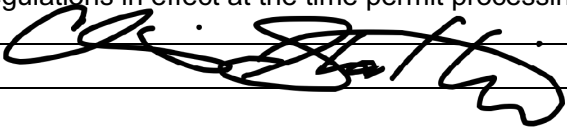
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:



Date:

Printed Name:

PARADISE COVE XPRESS CARWASH

CITY OF RALEIGH - WAKE COUNTY, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW (ASR) PACKAGE

ADMINISTRATIVE SITE REVIEW #ASR-XXXX-2024

1st SUBMITTAL TO CITY OF RALEIGH: MARCH 14, 2024



VICINITY MAP
SCALE: 1" = 1000'

SITE INFORMATION:

LOCATION: 7103 LOUISBURG RD.
RALEIGH, NC 27616
COUNTY: WAKE
PARCEL #: 1737-74-2983
REID #: 0214167
DB/PG: 1737 / 14
CURRENT ZONING: CX-3-PK
ACREAGE: 1.55 AC

REQUIRED PARKING (VEHICLE SERVICE): NO MAX
REQUIRED H/C PARKING: 1
REQUIRED BICYCLE PARKING: 0

PROVIDED PARKING:
REGULAR SPACES: 30 SPACES
H/C SPACES: 1 SPACE
TOTAL PROVIDED PARKING: 31 SPACES

SETBACKS (CX DISTRICT):
BUILDING:
FROM PRIMARY STREET (MIN.): 5'
FROM SIDE STREET (MIN.): 5'
FROM SIDE LOT LINE (MIN.): 0' OR 6'
FROM REAR LOT LINE (MIN.): 0' OR 6'
FROM ALLEY: 5'

PARKING:
FROM PRIMARY STREET (MIN.): 10'
FROM SIDE STREET (MIN.): 10'
FROM SIDE LOT LINE (MIN.): 0' OR 3'
FROM REAR LOT LINE (MIN.): 0' OR 3'
FROM ALLEY: 5'

IMPERVIOUS AREAS:
EXISTING:
ROADWAYS/PARKING/GRAVEL: 0 SF
SIDEWALKS/WALLS/CONC. PADS: 0 SF
BUILDINGS/SHEDS/MISC.: 0 SF
TOTAL EXISTING IMPERVIOUS: 0 SF

PROPOSED:
PARKING/DRIVEWAY/SIDEWALK: 35,845 SF (0.85 AC)
BUILDINGS: 5,135 SF (0.12 AC)
TOTAL PROPOSED IMPERVIOUS: 40,980 SF (0.94 AC) (61% BASED ON NET ACREAGE)

UTILITY DEMANDS:
SEWERWATER USAGE: 1200 GAL/BAY X 1 BAY = 1200 GPD (NCAC 2T RULES)

DRAWING INDEX

- C-00 COVER SHEET
- C-01 CIVIL NOTES
- C-02 EXISTING CONDITIONS & DEMOLITION PLAN
- C-03 SITE PLAN
- C-04 UTILITY PLAN
- C-05 GRADING PLAN
- C-06 LIGHTING PLAN
- C-07 STORMWATER POA PLAN - EXISTING
- C-08 STORMWATER POA PLAN - PROPOSED
- D-01 SITE DETAILS
- D-02 SCM DETAILS
- L-01 LANDSCAPE PLAN
- L-02 LANDSCAPE DETAILS
- S-01 ORIGINAL SURVEY
- A-01 ARCHITECTURAL ELEVATIONS

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Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/lease plan case #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: _____
<input type="checkbox"/> Open lot		Design Alternate #: _____

GENERAL INFORMATION

Development name: Paradise Cove Xpress Carwash
Inside City limits? Yes No
Property address(es): 7103 Louisburg Road Raleigh, NC 27616

Site P.I.N(s): 1737-74-2983
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Proposed 4771 sf car wash and associated utility infrastructure.

Current Property Owner(s): Terry G. Nodine Title: Owner

Company: _____ Title: _____
Address: 2713 Charleston Oaks Drive Raleigh, NC 27614-8873

Phone #: _____ Email: gjenodine@yahoo.com

Applicant Name (if different from owner. See "who can apply" in instructions): _____

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder

Company: _____ Address: _____

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raleighnc.gov

Phone #: 919-369-2086 Email: ccstallings@me.com

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: _____ Title: _____

Company: _____ Title: _____

Address: _____

Phone #: 919-369-2086 Email: _____

Applicant Name: Christopher Stallings

Company: _____ Address: _____

Phone #: 919-369-2086 Email: ccstallings@me.com

Development type + site data table (Applicable to all developments)

SITE DATA		BUILDING DATA	
Zoning district(s) (please provide the acreage of each): CX-3-PK 1.55	Existing gross floor area (not to be demolished): 0	Existing gross floor area to be demolished: 0	
# of parking spaces proposed: 34	New gross floor area: 4771	Total sq gross (to remain and new): 4771	
Max # parking permitted (7.1.2.C): N/A	Proposed # of buildings: 1	Proposed # of stories for each: 1	
Overlay District (if applicable):	Proposed # of basement levels (UDO 1.5.7.A.6): 0		
Existing use (UDO 6.1.4): Vacant			
Proposed use (UDO 6.1.4): Car Wash			

STORMWATER INFORMATION

Impervious Area on Parcel(s): _____
Existing (sf) 0 Proposed total (sf) 42400
Impervious Area for Compliance (includes ROW):
Existing (sf) 0 Proposed total (sf) 42400

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: _____
of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____
of lots: _____
Is your project a cottage court? Yes No
A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

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Signature: _____ Date: 3/1/2024
Printed Name: Christopher Stallings

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ASR APPLICATION

SOLID WASTE NOTES:

- SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL AND PER THE CITY OF RALEIGH CODE. A COPY OF DESIGN MANUAL CAN BE FOUND: <http://www.raleighnc.gov/content/SolidWaste/Documents/SolidWasteServicesDesignManual.pdf>
- SOLID WASTE AND RECYCLING SERVICE SHALL BE PROVIDED BY A PRIVATE GARBAGE COLLECTION SERVICE.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409 and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

GOVERNING AGENCIES:

PLANNING/ZONING:
CITY OF RALEIGH
ONE EXCHANGE PLAZA SUITE 304
RALEIGH, NC 27601
919-996-2437

STORMWATER ENGINEERING

CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

SEDIMENTATION & EROSION CONTROL

CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

UTILITY AGENCIES:

WATER & SEWER
CITY OF RALEIGH PUBLIC UTILITIES
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3484 (o)
CONTACT: KEITH TEW
EMAIL: keith.tew@raleighnc.gov

NATURAL GAS

DOMINION ENERGY - NORTH CAROLINA
PO BOX 4009
CARY, NC 27513
919-819-0485 (o)
CONTACT: MATTHEW KOEHL
EMAIL: matthew.koehl@dominionenergy.com

ELECTRIC

PROGRESS ENERGY BUSINESS
9920 FAYETTEVILLE ROAD
RALEIGH, NC 27603
919-557-2611 (o)

PHONE
AT&T NC
5715 GLENWOOD AVE.
RALEIGH, NC 27612
910-785-7856 (o)
CONTACT: WANDA HARRIS
EMAIL: wh1741@att.com (e)

CABLE
TIME WARNER CABLE
101 INNOVATION AVE.
MORRISVILLE, NC 27560
919-862-4748 (o)
CONTACT: JEFF HUNTER
EMAIL: jeffrey.hunter@twcable.com

Applicant:

Chris Stallings
ccstallings@me.com
919.369.2086 (c)
Contact: Chris Stallings

Architect:

Design Development Architects
800 Salem Woods Drive
Raleigh, NC 27615
919.848.4474 (o)
Contact: Jim Sherrer, AIA

Surveyor:

Taylor Land Consultants, PLLC
1600 Olive Chapel Road, #140
Apex, NC 27502
Firm License #p-0829
919.801.1104 (o)
Contact: Eric Manturuk, PLS

Civil Engineer:

The Curry Engineering Group, PLLC
NC License # P-0799
205 S. Fuquay Ave
Fuquay-Varina, NC 27526
919.552.0849 (o)
919.880.9857 (m)
Contact: Don Curry, PE
don@curryeng.com

Landscape Architect:

Southwell Design, PLLC
P.O. Box 37178
Raleigh, NC 27627
919.272.6729 (v)
Contact: Adam Southwell, PLA, ASLA
adam@southwelldesign.com

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH
CITY OF RALEIGH STANDARDS & SPECIFICATIONS

NOT FOR CONSTRUCTION

Curry
ENGINEERING
C-00

PARADISE COVE XPRESS CARWASH
COVER SHEET

T (919) 552-0849
F (919) 552-0843
205 S. Fuquay Avenue
Fuquay-Varina, NC 27526

REVISIONS
DATE: 03.14.2024
FILE NO.: 2023-0493
HORZ SCALE: NONE
VERT SCALE: NONE
ORIG SHEET SIZE: 24x36

GENERAL CONSTRUCTION NOTES:

- TOPOGRAPHICAL DATA PERFORMED BY TAYLOR LAND CONSULTANTS, PLLC. SITE BENCHMARK IS AVAILABLE FROM SURVEYOR. CONTOURS SHOWN HEREON ARE FROM AN ACTUAL FIELD SURVEY. BOUNDARY INFORMATION SUPPLIED BY OWNER AND SHOWN FOR REFERENCE ONLY. CONSULT PLS FOR ACTUAL BOUNDARY DATA.
- ALL WORK, CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS, LATEST EDITION.
- ALL WORK, CONSTRUCTION AND MATERIALS WITHIN NCDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE 2018 NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
- ALL RIGHT OF WAYS SHALL BE PUBLIC.
- THIS SITE IS LOCATED IN A FLOOD HAZARD ZONE X PER FEMA MAP 3720173700K DATED 07/19/2022.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK ZONE TRAFFIC CONTROL IN OR ADJACENT TO NCDOT RIGHT-OF-WAY. TRAFFIC CONTROL SHALL BE MAINTAINED AT ALL TIMES WITH PROPER SIGNAGE, SIGNALS, LIGHTING, FLAGMEN. ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- COPIES OF ALL PERMITS AND APPROVED PLANS MUST BE KEPT ON SITE IN A PERMIT BOX THAT IS CONSPICUOUSLY LOCATED AND EASILY ACCESSIBLE DURING CONSTRUCTION. THIS INCLUDES APPROVED CONSTRUCTION PLANS, APPROVED EROSION CONTROL PLANS, ENCROACHMENT AGREEMENTS, DRIVEWAY PERMITS, WATER/SEWER PERMITS, ETC.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE AND MUST BE FIELD VERIFIED. CONTACT THE NC ONE CALL CENTER AT LEAST 48 HOURS PRIOR TO DIGGING @ 1.800.632.4949. UNDERGROUND LINES SHOWN HEREON ARE APPROXIMATE OR AS REPORTED BY VARIOUS RESPONSIBLE PARTIES. THE SURVEYOR DOES NOT GUARANTEE THAT ANY UNDERGROUND STRUCTURES SUCH AS UTILITIES, TANKS AND PIPES ARE LOCATED HEREON.
- THE CONTRACTOR SHALL NOTIFY AND COOPERATE WITH ALL UTILITY COMPANIES OR FIRMS HAVING FACILITIES ON OR ADJACENT TO THE SITE BEFORE DISTURBING, ALTERING, REMOVING, RELOCATING, ADJUSTING OR CONNECTING TO SAID FACILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY TOWN OR NCDOT DAMAGED PROPERTY. THE CONTRACTOR SHALL REPAIR THE DAMAGED PROPERTY TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE AGENCY HOLDING JURISDICTION AT NO COST TO THE OWNER.
- ANY DAMAGE DONE TO PRIVATE PROPERTY OWNERS SIGNS, MAILBOX, DRIVEWAY CULVERTS, OR OTHER PROPERTY SHALL BE RESTORED TO ORIGINAL CONDITION.
- CONTRACTOR IS RESPONSIBLE FOR FENCING AND SECURITY OF HIS LAYDOWN AND STORAGE AREA.
- CONTRACTOR SHALL KEEP ALL ROADS FREE OF DIRT AND DEBRIS AT ALL TIMES.
- CONTRACTOR SHALL PROTECT EXISTING PAVEMENTS AND UTILITIES FROM HEAVY EARTH MOVING EQUIPMENT. PROVIDE TRAFFIC CONTROL AND ADEQUATE PROTECTION METHODS AT ALL EQUIPMENT CROSSINGS.
- ALL EXCAVATION IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED.
- ALL STRUCTURAL FILL MATERIAL SHALL BE FREE OF ALL STICKS, ROCKS, AND CLUMPS OF MUD. ALL ROCKS GREATER THAN 3" DURING EXCAVATION SHALL BE REMOVED.
- UNUSABLE EXCAVATED MATERIALS AND ALL WASTE RESULTING FROM CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR IN AN APPROVED, LEGAL DISPOSAL SITE.
- CONCRETE SIDEWALKS THAT ARE TO BE REMOVED SHALL BE CUT BACK TO NEAREST EXPANSION OR CONTROL JOINT AND REPLACED WITH 4-INCH CONCRETE SIDEWALK FINISHED TO MATCH EXISTING SIDEWALKS.
- CONTRACTOR TO COORDINATE WITH CITY OF RALEIGH FOR TEMPORARY WATER NEEDED DURING CONSTRUCTION. IF PERMITTED TO CONNECT TO EXISTING FIRE HYDRANT A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTER WILL BE REQUIRED.
- THE TRANSITION OF PROPOSED ROADWAY TO EXISTING ROADWAY SHALL BE DONE WITH A MINIMUM 8-FT TRANSITION WHERE THE EXISTING PAVEMENT IS MILLED TO A MINIMUM DEPTH OF 1-1/2" AND OVERLAID.
- ALL PAVEMENT SAW CUTS SHALL BE NEAT, STRAIGHT AND FULL DEPTH.
- ALL RIP-RAP IS TO BE INSTALLED WITH NON-WOVEN FILTER FABRIC BENEATH (MIRAFI 140N OR APPROVED EQUAL).
- ALL EXCESS TOPSOIL AND UNCLASSIFIED EXCAVATION IS TO BE HAULED OFF-SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER TO AN APPROVED NCDENR LOCATION.
- ALL SITE CONSTRUCTION MUST BE INSPECTED BY THE GEOTECHNICAL ENGINEER AT THE FOLLOWING STAGES:
 - COMPLETION OF GRADING SUBGRADE PRIOR TO PLACING STONE BASE.
 - COMPLETION OF STONE PLACEMENT PRIOR TO PAVING.
 - FINAL INSPECTION WHEN ALL WORK IS COMPLETE.

- PRIOR TO PLACING CABG STONE BASE, THE CONTRACTOR SHOULD NOTIFY THE GEOTECHNICAL ENGINEER TO INSPECT THE PROOF ROLL OF THE SUBGRADE. ANY STONE PLACED WITHOUT PRIOR APPROVAL WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBJECT TO RE-CONSTRUCTION IF SUBGRADE DOES NOT MEET TOWN AND NCDOT STANDARDS & SPECIFICATIONS.
- ALL UTILITY SERVICES, (POWER, TELEPHONE, CABLE, ETC.) ARE PROPOSED TO BE UNDERGROUND. DO NOT SEED OR MULCH DISTURBED AREAS UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL COORDINATE WITH THE PRIVATE UTILITY SERVICE COMPANIES FOR ANY REQUIRED CONDUITS OR POINT OF CONTACT CONDITIONS.
- ALL PUBLIC UTILITIES THAT REQUIRE AN ENGINEERING CERTIFICATION MUST BE INSPECTED BY A PROFESSIONAL ENGINEER ON A PERIODIC BASIS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER WHEN INSTALLING UTILITIES FOR PERIODIC INSPECTIONS. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER AT THE TIME OF PRESSURE TESTING AND WATER LINE DISINFECTION. THE CONTRACTOR SHALL SUPPLY THE PROJECT ENGINEER PRESSURE TEST RESULTS.
- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 12 INCHES, WHICH EVER IS LESS, CONTACT THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATION.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES, CONSTRUCTION TAKEOUT ASSOCIATED WITH THE PROJECT. PREPARATION OF THE NECESSARY/REQUIRED AS-BUILT PLANS TO BE SUBMITTED TO CITY OF RALEIGH AND/OR ALL OTHER INFORMATION REQUIRED IN CONNECTION WITH RELEASE OF BONDS.
- THE CONTRACTOR SHALL INCLUDE IN THE PRICE, ANY AND ALL COSTS ASSOCIATED WITH PROVIDING A PROFESSIONAL ENGINEER ON SITE IF REQUIRED, DURING THE CONSTRUCTION OF THE STORMWATER MANAGEMENT FACILITIES, UNDERGROUND UTILITIES, ETC. AS REQUIRED FOR AS-BUILT CERTIFICATION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. NCDOT, CITY OF RALEIGH & CURRY ENGINEERING ACCEPT NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS.
- TESTING BY CONTRACTOR: CONTRACTOR SHALL EMPLOY AT HIS EXPENSE AN OUTSIDE INDEPENDENT SOIL TESTING SERVICE (APPROVED BY THE OWNER) TO PERFORM SOIL TESTING AND INSPECTION SERVICE FOR QUALITY CONTROL TESTING DURING EARTHWORK OPERATIONS. COPIES OF RESULTS OF TESTS SHALL BE SUBMITTED BY THE TESTING SERVICE DIRECTLY TO THE CONTRACTOR, THE OWNER, AND THE APPLICABLE APPROVING AGENCY. --THE TESTING SERVICE WILL CLASSIFY PROPOSED ON-SITE AND BORROW SOILS TO VERIFY THAT SOILS COMPLY WITH SPECIFIED REQUIREMENTS AND TO PERFORM REQUIRED FIELD AND LABORATORY TESTING. (MINIMUM REQUIRED SOIL BEARING CAPACITY IS NOTED ON THE STRUCTURAL DRAWINGS). --IN PAVED AND BUILDING SLAB AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 2000 SQUARE FEET OF FILL IN EACH COMPACTED FILL LAYER. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION. --IN FOUNDATION WALL AREAS, THE TESTING SERVICE SHALL MAKE AT LEAST ONE FIELD DENSITY TEST FOR EACH 100 FEET OR LESS OF WALL LENGTH IN EACH COMPACTED FILL LAYER, WITH NO LESS THAN TWO TESTS ALONG A WALL FACE. IF A TEST SHOULD FAIL TO MEET REQUIRED DENSITY, THE CONTRACTOR SHALL RE-COMPACT THAT LAYER. THE SOIL TESTING SERVICE SHALL PERFORM ADDITIONAL TESTS AT THE CONTRACTOR'S EXPENSE TO SHOW THAT THE FAILED LAYER HAS REACHED THE REQUIRED COMPACTION.
- COMPACTION: COMPACT EACH LAYER OF BACKFILL AND FILL SOIL MATERIALS AND THE TOP 12" OF SUBGRADE IN CUT AREAS TO 100% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T99 FOR STRUCTURES, SLABS, AND PAVEMENTS AND 95% OF MAXIMUM DENSITY FOR EMBANKMENTS OR UNPAVED AREAS. MAX LIFT THICKNESS FOR FILL AREAS IS 8 INCHES.
- DISTURBED AREA IS IN EXCESS OF 12,000 SQUARE FEET AND FORMAL SEDIMENTATION & EROSION CONTROL PLAN APPROVAL IS REQUIRED AS A CONDITION OF CONSTRUCTION PLAN APPROVAL. A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE KEPT ON SITE AT ALL TIMES. THE APPROVED SEDIMENTATION & EROSION CONTROL PLAN SHOULD BE REGARDED AS MINIMUM REQUIREMENTS; ADDITIONAL MEASURES SHALL BE PUT IN PLACE AS NEEDED TO ENSURE THAT NO SEDIMENT IS RELEASED FROM THE SITE. THE CONTRACTOR IS RESPONSIBLE FOR PICKING UP AND PAYING FOR GRADING PERMIT ISSUED BY CITY OF RALEIGH.
- DESIGN/FIELD CONDITIONS QUITE EASILY MAY VARY FROM THAT REPRESENTED IN THE INITIAL SOILS REPORT AND/OR TOPOGRAPHICAL REPORT. ISOLATED AREAS MAY SHOW UP WEAK AND ADVERSE SOILS OR GROUNDWATER CONDITIONS MAY BE DISCOVERED THAT WERE NOT REVEALED DURING THE INITIAL SOILS INVESTIGATION. THEREFORE, THE OWNER/CLIENT IS TO BE AWARE THAT CURRY ENGINEERING GROUP, PLLC WILL NOT AND CANNOT BE HELD RESPONSIBLE FOR ANY FAILURES TO EITHER A STREET OR PARKING LOT PAVEMENT DESIGN UNLESS WE CAN BE FULLY AND TOTALLY INVOLVED IN THE CONSTRUCTION PROCESS WHICH MAY INCLUDE, BUT MAY NOT NECESSARILY BE LIMITED TO, TESTING SUBGRADE AND BASE DENSITY, ENGAGING THE GEOTECHNICAL ENGINEER FOR THE EVALUATION OF THE SUBGRADE AND FOR THE OBSERVATION OF PROOF ROLLING SUBGRADE AND BASE AT VARIOUS STEPS OF CONSTRUCTION, OPPORTUNITY FOR THE DESIGN ENGINEER TO CALL IN A GEOTECHNICAL ENGINEER FOR CONSULTATION AND ADVICE, ETC. - STEPS WHICH TAKEN ALTOGETHER WITH THE INITIAL DESIGN SHOWN ON THE PLANS, CONSTITUTE THE COMPLETE DESIGN OF THE ROAD, STREET OF PARKING AREA (PRIVATE OR PUBLIC). THE DESIGN ENGINEER MUST BE GIVEN THE FULL LATITUDE AND OPPORTUNITY TO COMPLETE THE DESIGN BY FULLY PARTICIPATING IN THE CONSTRUCTION PROCESS. PLAN DESIGN IS A SMALL PORTION OF THE DESIGN AND CANNOT BE SEPARATED FROM THE CONSTRUCTION PROCESS IF THE OWNER'S/CLIENT'S DESIRE IS TO HAVE THE DESIGN ENGINEER STAND BEHIND THE COMPLETED DESIGNED PROJECT.

GENERAL ABBREVIATIONS:

IDENTIFIER	DESCRIPTION	IDENTIFIER	DESCRIPTION
&	AND	--M--	
CL	CENTERLINE	MAX	MAXIMUM
Ø	DIAMETER OR ROUND	MH	MANHOLE
PL	PROPERTY LINE	MIN	MINIMUM
ABC	--A--	--N--	
	AGGREGATE BASE ASPH	N	NORTH, NORTHING
	ASPHALT	NCDENR	NORTH CAROLINA DEPARTMENT OF ENVIRONMENT & NATURAL RESOURCES
AVE	--B--	NCDOT	NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
BLVD	BOULEVARD	NTS	NOT TO SCALE
BLDG	BUILDING	--O--	
BOC	BACK OF CURB	OH	OVERHEAD
BW	BOTTOM OF WALL	OCB	OFF-SET CATCH BASIN
--C--		--P--	
CB	CATCH BASIN	PCC	PORTLAND CEMENT CONCRETE
CI	CURB INLET	PE	POLYETHYLENE
CIP	CAST IRON PIPE	PKWY	PARKWAY
CLS	CLASS	POC	POINT OF CONNECTION
CJ	CONTROL JOINT	PVC	POLYVINYL CHLORIDE
CO	CLEANOUT	--R--	
CONC	CONCRETE	R	RADIUS
--D--		RCP	REINFORCED CONCRETE PIPE
DI	DROP INLET	R.O.W.	RIGHT OF WAY
DIA	DIAMETER	RPDA	REDUCED PRESSURE DETECTOR ASSEMBLY
DIP	DUCTILE IRON PIPE	RPZ	REDUCED PRESSURE ZONE
DOM	DOMESTIC	--S--	
DR	DRIVE	S	SOUTH
--E--		SD	STORM DRAIN
(XX)	EXISTING ELEVATION	SDMH	STORM DRAIN MANHOLE
E	EAST, EASTING	SDE	SIGHT DISTANCE EASEMENT
EL	ELEVATION	SSMH	SANITARY SEWER MANHOLE
EJ	EXPANSION JOINT	SS	SANITARY SEWER
EOP	EDGE OF PAVEMENT	STA	STATION
EX	EXISTING	STD	STANDARD
EVAP	EVAPORATIVE	ST.STL	STAINLESS STEEL
--F--		SWPPP	STORMWATER POLLUTION PREVENTION PLAN
FDC	FIRE DEPARTMENT CONNECTION	--T--	
FES	FLARED END SECTION	TB	TOP OF BARRIER
FFE	FINISHED FLOOR ELEVATION	TC/TOC	TOP OF CURB
FG	FINISHED GRADE	TD	TEMPORARY DIVERSION
FH	FIRE HYDRANT	TH	TEST HEADER
FL	FLOW LINE	TOP	TOP OF PIPE
FT	FOOT OR FEET	TP	TOP OF PAD
--G--		TP	TYPICAL
G	GAS	TW	TOP OF WALL
GALV	GALVANIZED	--U--	
GB	GRADE BREAK	UG	UNDERGROUND
GE	GENERAL ELECTRIC	--V--	
GR	GRADE	VEG	VEGETATED
--H--		VERT	VERTICAL
HDPE	HIGH DENSITY POLYETHYLENE	--W--	
HORIZ	HORIZONTAL	W	WEST
HOV	HIGH OCCUPANCY VEHICLE	W/	WITH
HP	HIGH POINT	W/O	WITHOUT
--I--		--Y--	
IAW	IN ACCORDANCE WITH	YI	YARD INLET
I.H.	INTERSTATE HIGHWAY		
INV	INVERT		
--L--			
LEN	LENGTH		
LEV	LOW EMISSION VEHICLE		
LF	LINEAR FEET		
LP	LOW POINT		

** ALL SYMBOLS & ABBREVIATIONS SHOWN ON THIS SHEET MAY OR MAY NOT BE USED IN THIS DRAWING PACKAGE **



SIGNAGE NOTES:

- ALL SIGNS SHALL BE I.A.W. THE LATEST EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARDS & SPECIFICATIONS.
- ALL SIGNS SHALL BE FABRICATED FROM ALUMINUM ALLOY SHEETS WITH HIGH INTENSITY SHEETING. COLORS SHALL BE RETROREFLECTIVE.
- STOP & STREET SIGNS SHALL BE MOUNTED ON A 3" DIAMETER BLACK POWDER COATED ALUMINUM POST WITH DECORATIVE CAP AND BRACKET.
- ALL OTHER SIGNS SHALL BE MOUNTED ON A 3-LB U-CHANNEL GALVANIZED STEEL (12 GAUGE) MOUNTING POST WITH MINIMUM CLEARANCE OF 84". SIGNS SHALL BE BURIED MINIMUM 3.5 FEET IN GROUND WITH A BREAKAWAYS.
- MOUNTING HARDWARE FOR SIGNS SHALL BE GALVANIZED STEEL.
- ALL SIGNS SHALL BE DESIGNATED AS FOLLOWS PER MUTCD STANDARDS.

CITY OF RALEIGH TRANSPORTATION NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF WORK.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

NOT FOR CONSTRUCTION

REVISIONS	DATE: 03.22.2024	HORIZ SCALE: NONE
	FILE NO: 2023-043	DWG. SHEET SIZE: 24x36

PARADISE COVE XPRESS CARWASH CIVIL NOTES

206 S. Fidelity Avenue
Fayetteville, NC 27508
T (919) 552-9849
F (919) 552-2043



C-01

I:\Projects\2023\2023-043\NCDOT\2023-043\NCDOT CARWASH - RALEIGH\LANDSCAPE\FILESET\DWG\NOTES\DWG_PLOTTED_3142024.rvt

LEGEND

	WILLOW OAK		ASH		EIP - EXISTING IRON PIPE
	WATER OAK		DOGWOOD		EPK - EXISTING PK NAIL
	PECAN		ELM		NIP - NEW IRON PIPE SET
	MAPLE		PEAR		RW - RIGHT OF WAY
	CEDAR		RED OAK		CATV - CABLE TV BOX
	CHERRY		PINE		EB - ELECTRIC BOX
					TEL - TELEPHONE PEDESTAL
					PP - POWER POLE
					OHL - OVERHEAD LINE
					LP - LIGHT POLE
					WM - WATER METER
					WV - WATER VALVE
					CO - SEWER CLEAN-OUT

LINE	LENGTH	BEARING
L-1	28.46'	S 81°16'39" E
L-2	20.25'	S 36°53'07" E
L-3	39.93'	N 04°22'15" E

CURVE	LENGTH	RADIUS	CHORD	BEARING
C-1	75.11'	984.53'	75.09'	N 35°32'15" W

DEMO LEGEND

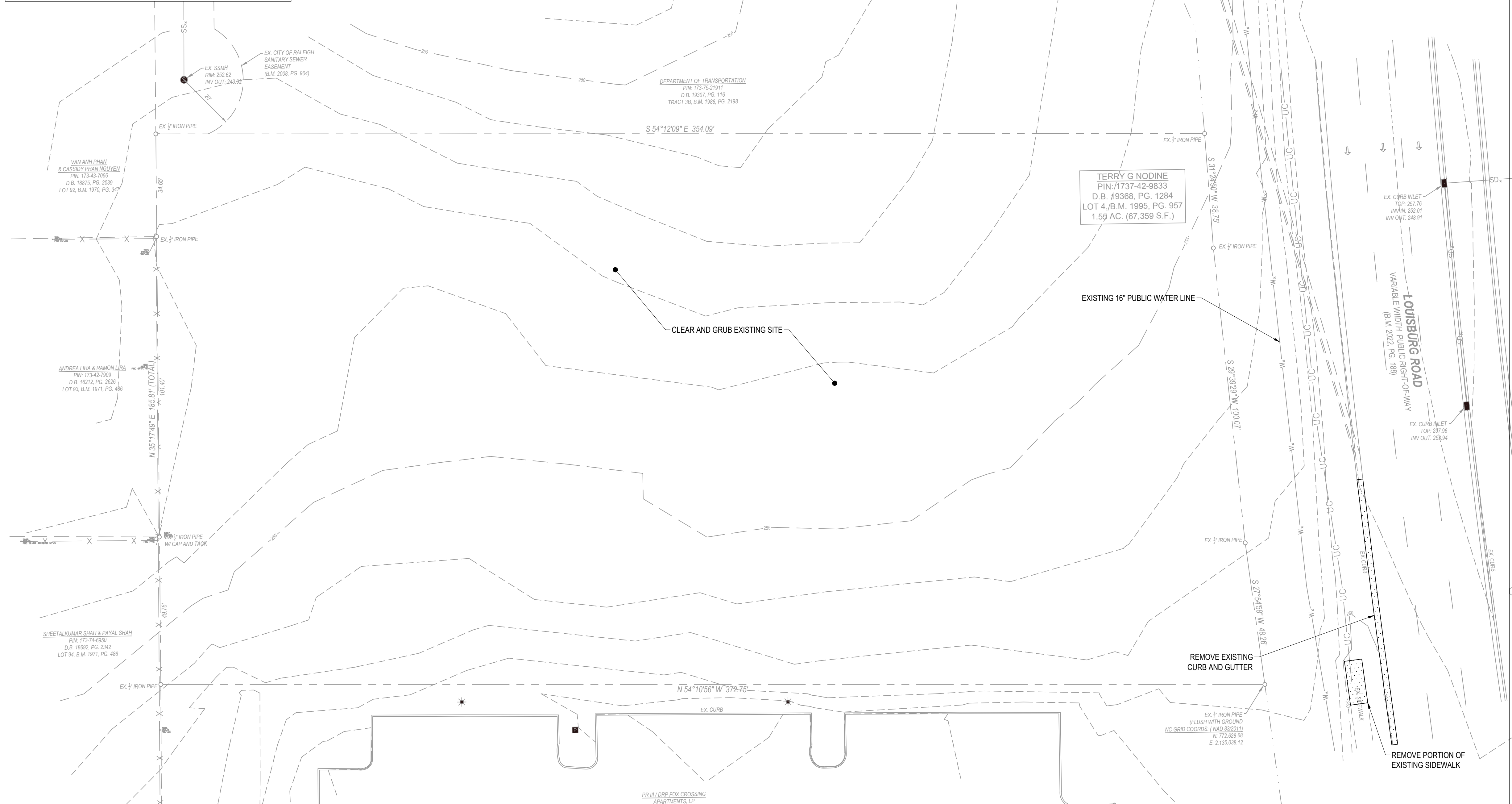
	APPURTENANCE/POLE REMOVAL
	TREE REMOVAL
	TREE & VEGETATION REMOVAL
	TRASH & DEBRIS REMOVAL
	BUILDING REMOVAL
	PAVEMENT/SIDEWALK REMOVAL
	UTILITY/FENCE DEMOLITION
	TREE PROTECTION FENCE

GENERAL NOTES:

- THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION.
- THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION, THUS IT HAS NOT BEEN SEALED. SURVEY INFORMATION SHOWN WITHIN THE PARENT PROPERTY BOUNDARY REPRESENTS FIELD SURVEY INFORMATION CONDUCTED IN OCTOBER 17, 2022, BY CAWTHORNE, MOSS AND PANCIERA LAND SURVEYORS.
- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
- AREAS COMPUTED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE X FLOODPLAIN PER FEMA FIRM PANEL 3720173700K DATED 07/19/2022
- VERTICAL DATUM: NAVD88, HORIZONTAL DATUM: NAD83
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND MATERIALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE. UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS PROVIDED BY THE NC ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROXIMATE IN NATURE. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN, ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

DEMOLITION NOTES:

- NO EQUIPMENT IS ALLOWED ON THE SITE OR DISTURBANCE IS PERMITTED UNTIL ALL THE TREE PROTECTION AND SILT FENCING HAS BEEN INSTALLED AND APPROVED.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER IN THE EVENT THAT UNANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AND REGULATIONS REGARDING THE HANDLING AND DISPOSAL OF HAZARDOUS MATERIALS. A COPY OF THE DEMOLITION NOTIFICATION FROM THE NORTH CAROLINA HEALTH HAZARD CONTROL UNIT AN ASBESTOS INSPECTION REPORT FROM A NORTH CAROLINA ACCREDITED ASBESTOS INSPECTOR MUST ACCOMPANY THE APPLICATION FOR THE DEMOLITION PERMIT WHICH MUST BE OBTAINED PRIOR TO THE START OF DEMOLITION.
- DEMOLITION OF STRUCTURES AND/OR UTILITIES BASED ON EXISTING CONDITIONS SURVEY. IF FIELD CONDITIONS DIFFER FROM THOSE SHOWN ON THIS PLAN THAT REQUIRES ADDITIONAL DEMOLITION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR THE ENGINEER PRIOR TO PROCEEDING WITH REMOVAL OF STRUCTURE AND/OR UTILITY. SUBSURFACE UTILITIES AND FEATURES DENOTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE IN NATURE AND HAVE BEEN LOCATED TO THE EXTENT POSSIBLE VIA LEVEL "C" SUE METHODS. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION, INCLUDING UTILITY "POTHOLING" OR BY THE EXCAVATION OF TEST PITS AS NECESSARY TO DETERMINE THE UTILITY LOCATION, DEPTHS, AND MATERIALS.
- CONTRACTOR SHALL NOT BEGIN ANY DEMOLITION WORK PRIOR TO APPROVAL AND ISSUANCE OF LAND DISTURBANCE AND DEMOLITION PERMITS ISSUED BY THE CITY OF RALEIGH.
- DO NOT INTERRUPT EXISTING UTILITY SERVICES FOR FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES.
 - NOTIFY OWNER NOT LESS THAN 72 HOURS IN ADVANCE OF PROPOSED UTILITY SERVICE INTERRUPTIONS.
 - DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING WRITTEN PERMISSION FROM THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DONE TO EXISTING CITY OF RALEIGH OR NCDOT INFRASTRUCTURE, PRIVATE UTILITY, COMPANY INFRASTRUCTURE, OR ADJACENT PROPERTY OWNERS PROPERTY.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER IN THE EVENT THAT UN-ANTICIPATED HAZARDOUS MATERIALS ARE ENCOUNTERED. CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS AND REGULATIONS FOR DISPOSAL OF HAZARDOUS MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION OR DEMOLITION OF PRIVATE UTILITIES WITH THE PROPER PRIVATE UTILITY COMPANY.
- CONTRACTOR IS RESPONSIBLE FOR DEVELOPING AND IMPLEMENTING A TRAFFIC CONTROL PLAN PER NCDOT AND MUTCD STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR THE SECURITY OF HIS/HER EQUIPMENT AND MATERIALS STORED ON-SITE DURING CONSTRUCTION.
- ANY PAVEMENT CUT SHALL BE DONE AS A FULL DEPTH SAW CUT WITH LINES STRAIGHT AND NEAT.
- REMOVE ALL EXISTING ON-SITE TRASH AND DEBRIS. TRASH SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER. NOTIFY OWNER AND ENGINEER IF ANY HAZARDOUS MATERIALS (ASBESTOS, LEAD PAINT, ETC.) ARE ENCOUNTERED.
- REMOVE SIDEWALK, CURB AND GUTTER, AND OTHER CONCRETE SECTIONS BY SAW CUTTING THE NEAREST CONTROL JOINT AWAY FROM THE AREA DESIGNATED TO BE REMOVED ON THE DEMOLITION PLAN.
- NOTIFY AND COORDINATE ANY REQUIRED RELOCATION AND/OR REMOVAL OF EXISTING UNDERGROUND UTILITIES, POLES, METERS, OR OTHER ABOVE GROUND APPURTENANCES WITH THE APPROPRIATE UTILITY PROVIDER (I.E. POWER, TELEPHONE, CABLE, AND NATURAL GAS/PROPANE) PRIOR TO THE START OF SELECTIVE DEMOLITION WORK.
- ALL DEMOLISHED MATERIALS SHALL BE DISPOSED OF OFF-SITE IN A LAWFUL MANNER.
- CONTRACTOR SHALL MAINTAIN A CLEAN WORK SITE, FREE OF DEBRIS, TRASH, OR OTHER CONSTRUCTION MATERIALS. AREAS SUBJECT TO SITE CONSTRUCTION ADJACENT TO THE PUBLIC RIGHT OF WAY AND PEDESTRIAN SIDEWALKS SHALL BE LEFT "BROOM CLEAN" AT THE END OF EACH WORK DAY.
- CONTRACTOR IS RESPONSIBLE FOR ANY TEMPORARY UTILITIES NEEDED DURING CONSTRUCTION.

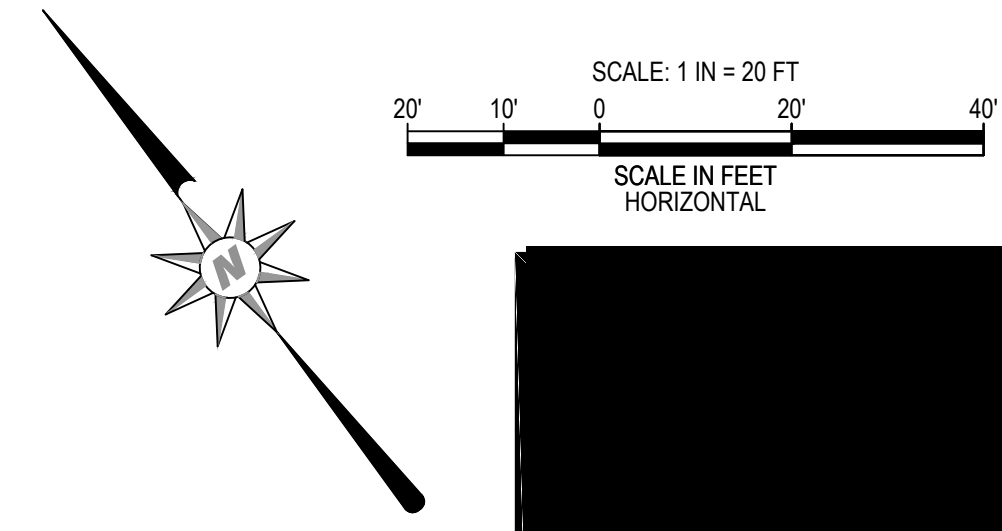


SURVEYOR'S NOTES

- THIS PLAT SUBJECT TO ALL EASEMENTS, AGREEMENTS AND RIGHTS OF WAY OF RECORD PRIOR TO THE DATE OF THIS PLAT.
- NO UNDERGROUND UTILITIES HAVE BEEN MARKED OR LOCATED FOR THIS PLAT.
- ALL BEARINGS AND DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS
- ALL ELEVATIONS ARE BASED ON APPROXIMATE NCGS DATUM.
- ALL CONTOURS ARE AT 1' INTERVALS HIGHLIGHTED EVERY 5'.

Surveyor:
Taylor Land Consultants, PLLC
 1600 Olive Chapel Road, #140
 Apex, NC 27502
 Firm License #p-0829
 919.801.1104 (o)
 Contact: Eric Manturuk, PLS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS



NOT FOR CONSTRUCTION

REVISIONS			
DATE: 03.22.2024	FILE NO: 2023-045	HORIZ SCALE: 1" = 80'	ORIG. SHEET SIZE: 24" x 36"

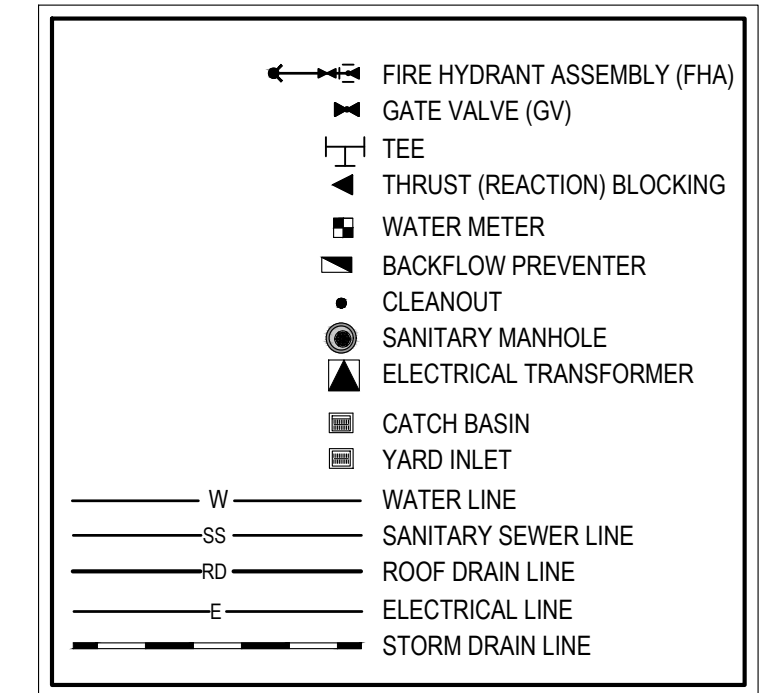
**PARADISE COVE XPRESS CARWASH
 EXISTING CONDITIONS & DEMOLITION PLAN**

208 S. Futility Avenue
 Fuquay-Varina, NC 27088
 T (919) 552-9849
 F (919) 552-2043

CITY OF RALEIGH PUBLIC UTILITIES NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- MAINTAIN APPROPRIATE COVER & SEPARATION ON UTILITIES. UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 1" COPPER WATER SERVICE WITH METER LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT/RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- BACKFLOW PREVENTERS SHALL MEET THE FOLLOWING REQUIREMENTS:
 - 2" DOMESTIC RPZ - WATTS MODEL 919

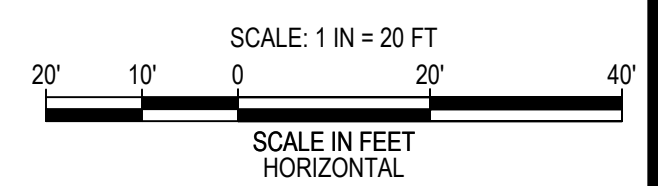
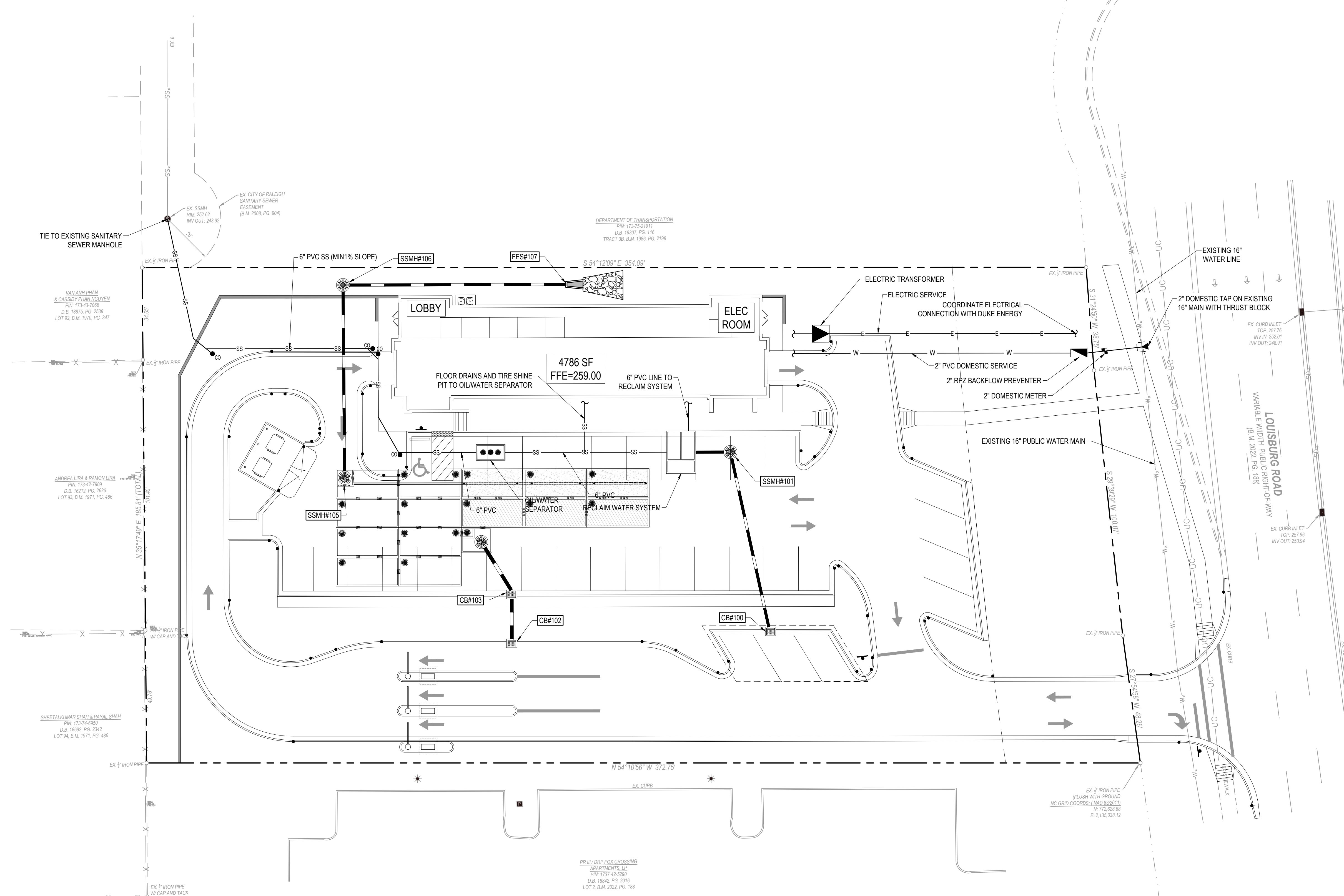
LEGEND:



GENERAL NOTES:

- PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
- WATER METERS OUTSIDE OF RIGHT OF WAY SHALL HAVE A 3' CITY OF RALEIGH PUBLIC WATER LINE EASEMENT THAT EXTENDS 1' PAST THE METER.
- FIRE DEPARTMENT VEHICLE ACCESS LANE MUST BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS WEIGHING AT LEAST 90,000 LBS. AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS



REVISIONS	DATE: 03.22.2024	HOOR SCALE:	ORIG. SHEET SIZE: 24x36
	FILE NO.: 2023-043		

PARADISE COVE XPRESS CARWASH UTILITY PLAN

208 S. Futility Avenue
Fayetteville, NC 27508
T (919) 552-5849
F (919) 552-5043



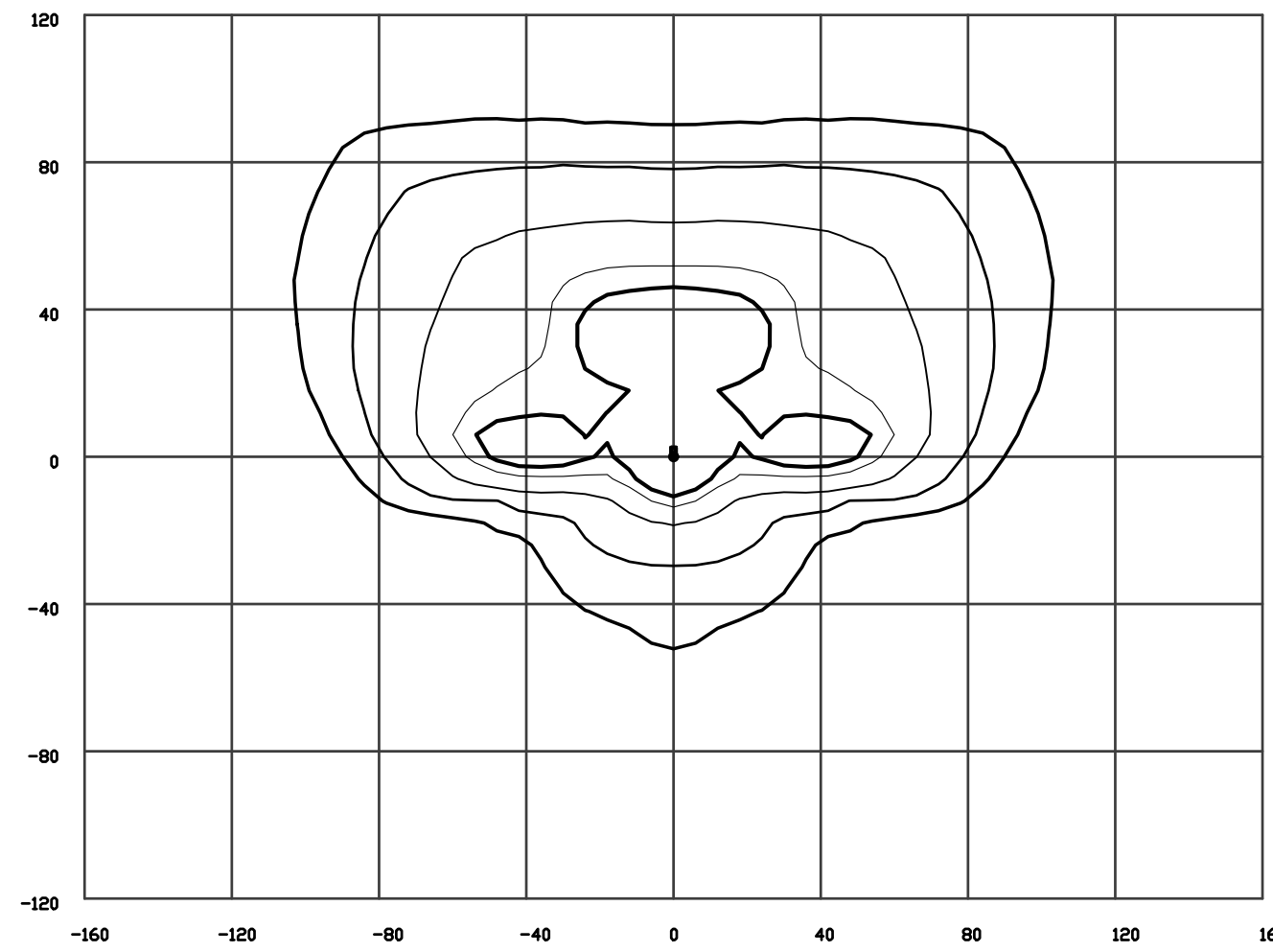
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ISOFOOTCANDLE CURVES

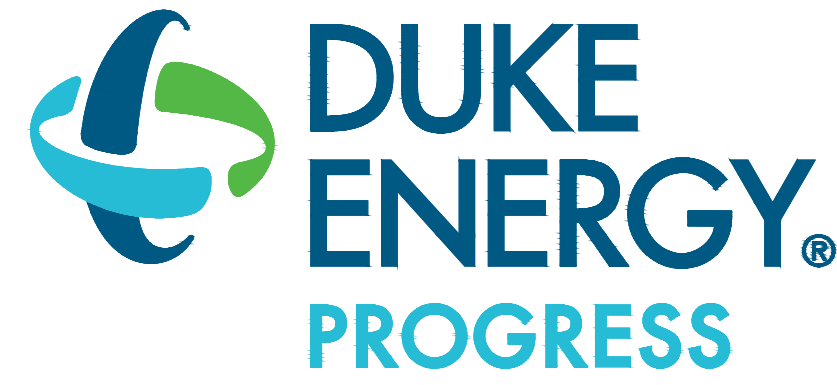
FIXTURE: LEDISO, EATON
 MOUNTING HEIGHT: 30 FT
 LIGHT SOURCE: LED'S, 4000K, 70 CRI
 PATTERN: TYPE IV B3-U0-G3 (zero light at or above 90 degrees)

ASSY# LFIX-SBX-LED-150-BLK-IV-MULTIV- -P
 PDLE ASSY# LPDLE-AB-STL-30FT-BLK-S0- -P (BLACK)
 BRACKET ASSY# LBKT-SIDE-12IN-BLK-UNV-STL- -P (BLACK)

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



LEGEND (OUTER to INNER): 0.10, 0.25, 0.60, 1.00, 1.25



ARROW PRESCHOOL LUMINAIRE SCHEDULE							
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF	QTY
C14C		EATON - STREETW SB_150_IV_HSS (1) "E14S" GAN-AF-03-LED-U-SL4-HSS	(48) SB_150_IV_Shield	15872	30' MT HT Single Fixture	0.85	5

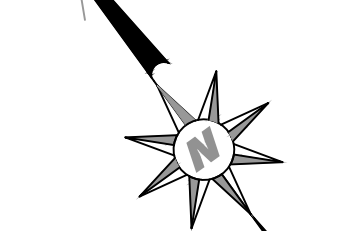
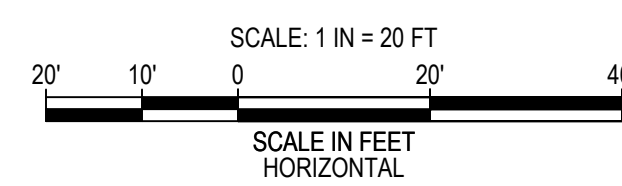
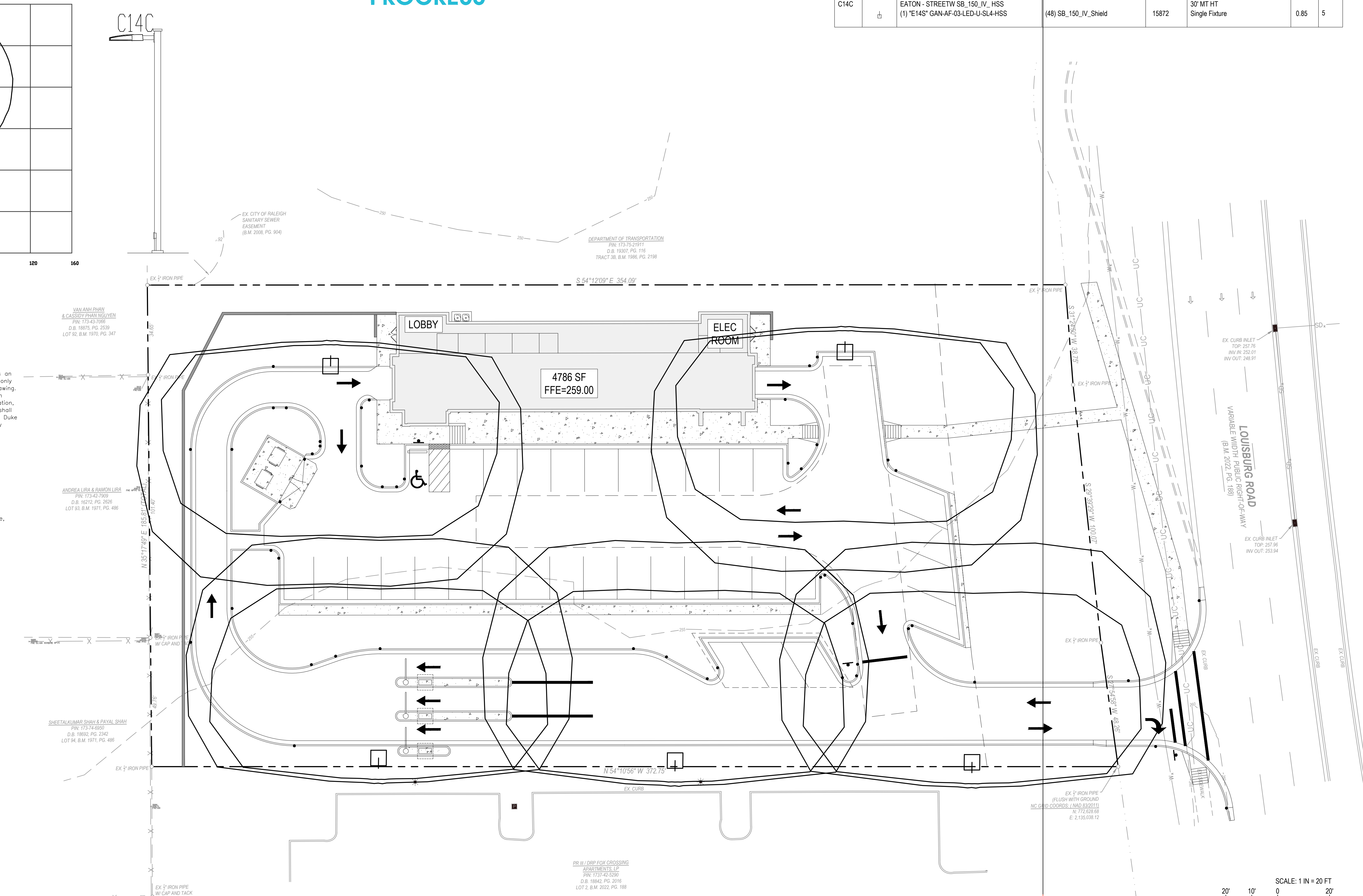
REVISIONS	DATE: 03.24.2024	HORIZ SCALE:	ORIG SHEET SIZE: 24x36
	FILE NO: 2023-043		

PARADISE COVE XPRESS CARWASH
 LIGHTING PLAN

206 S. Futility Avenue
 Fuquay-Varina, NC 27058
 T (919) 552-9849
 F (919) 552-2043



C-06

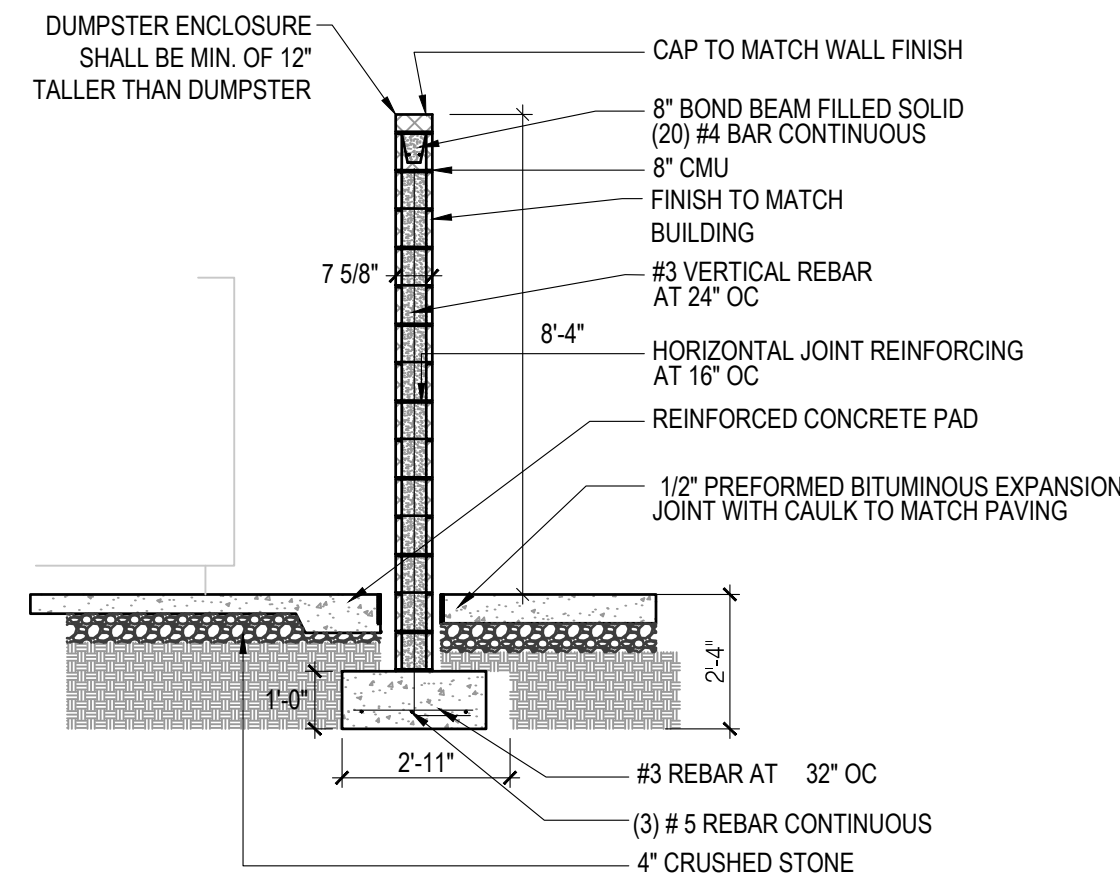


PROPRIETARY & CONFIDENTIAL
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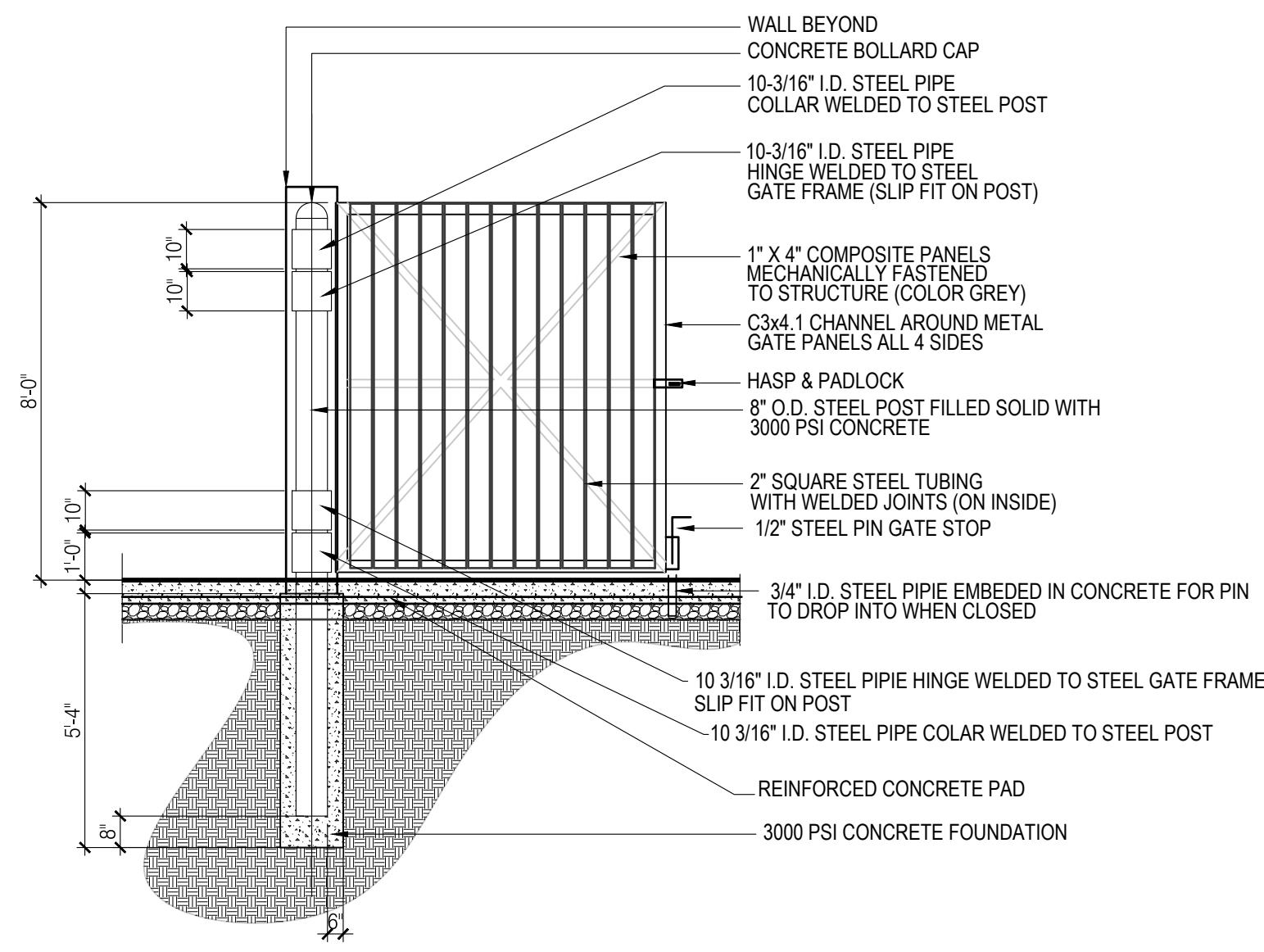
LIGHTING DESIGN TOLERANCE
 The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy Progress. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

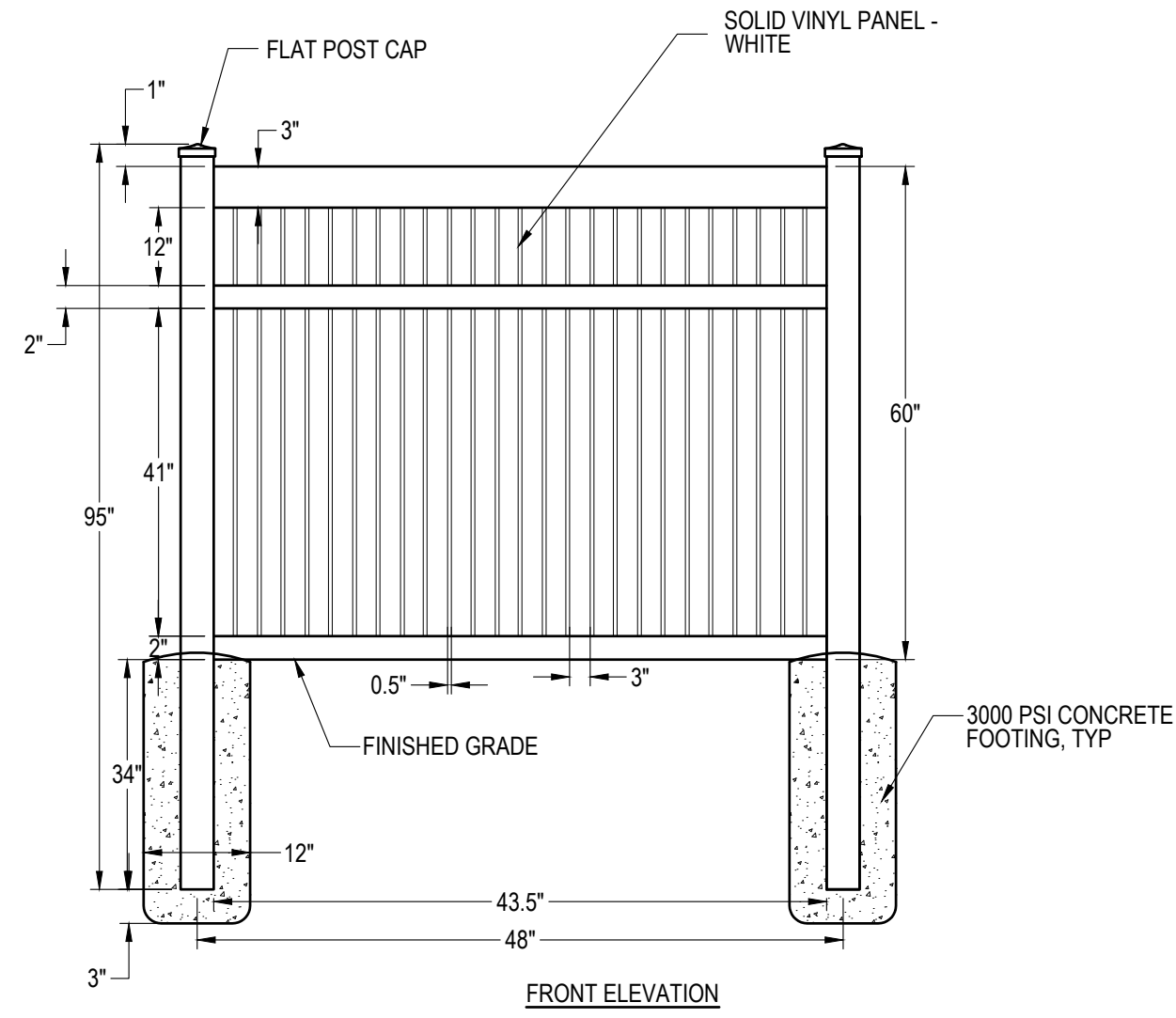
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 PLOTTED: 3/14/2024 2:17PM



1 DUMPSTER ENCLOSURE
D-01 SCALE: NTS



2 DUMPSTER ENCLOSURE GATE
D-01 SCALE: NTS



- NOTES
1. PANELS MAY REQUIRE TRIMMING TO MEET 48" WIDTH.
 2. PANEL MUST EXTEND 12" ABOVE OUTDOOR HVAC UNIT.
 3. INSTALLATION OF FENCE PANEL SHALL BE PER MANUFACTURERS RECOMMENDATION.
 4. CONTRACTOR TO COORDINATE COLOR OF PANEL WITH OWNER. COLOR OF PANEL SHALL MATCH COLOR OF BUILDING.

3 HVAC SCREENING
D-01 SCALE: NTS

P:\WORK\2025\10_16_25\251010\20250504\10306 CAR WASH - RALEIGH PLANS\ASB\ASB\REF FILES\D-01 SITE DETAILS.rvt
 PLOTTED: 3/14/2025 2:38PM

NO.	DATE	DESCRIPTION

REVISIONS
 DATE: 03.12.2025
 FILE NO.: 20250493
 HORIZ SCALE: N/A
 ORIG. SHEET SIZE: 24x36

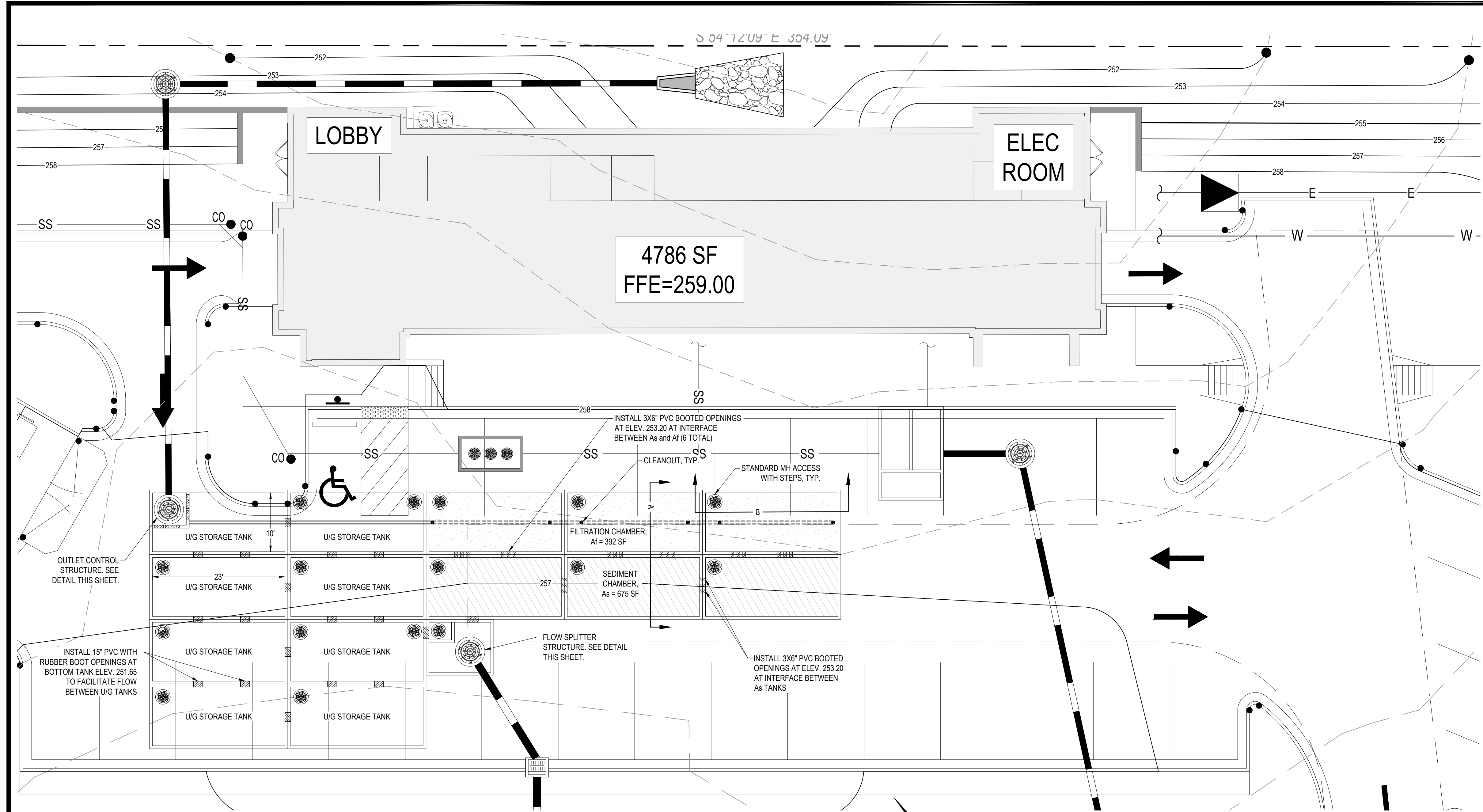
PARADISE COVE XPRESS CARWASH
SITE DETAILS

T (919) 552-5949
 F (919) 552-5043
 205 S. Fumery Avenue
 Fuquay-Varina, NC 27506

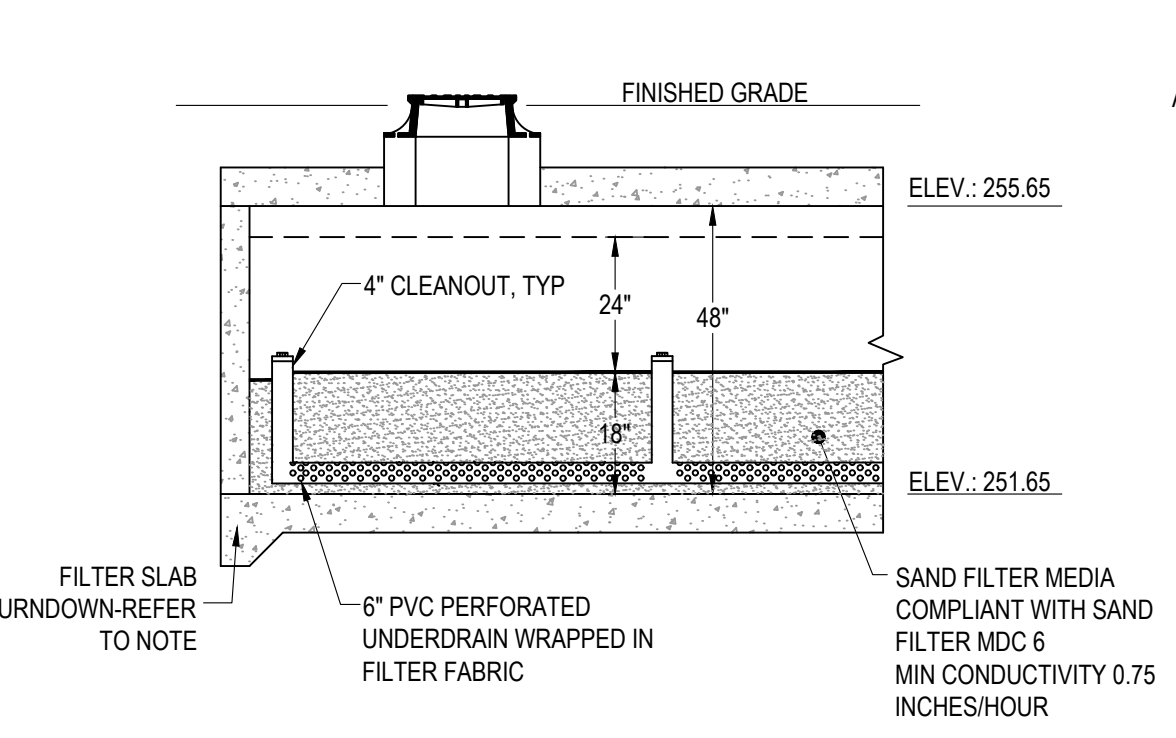


D-01

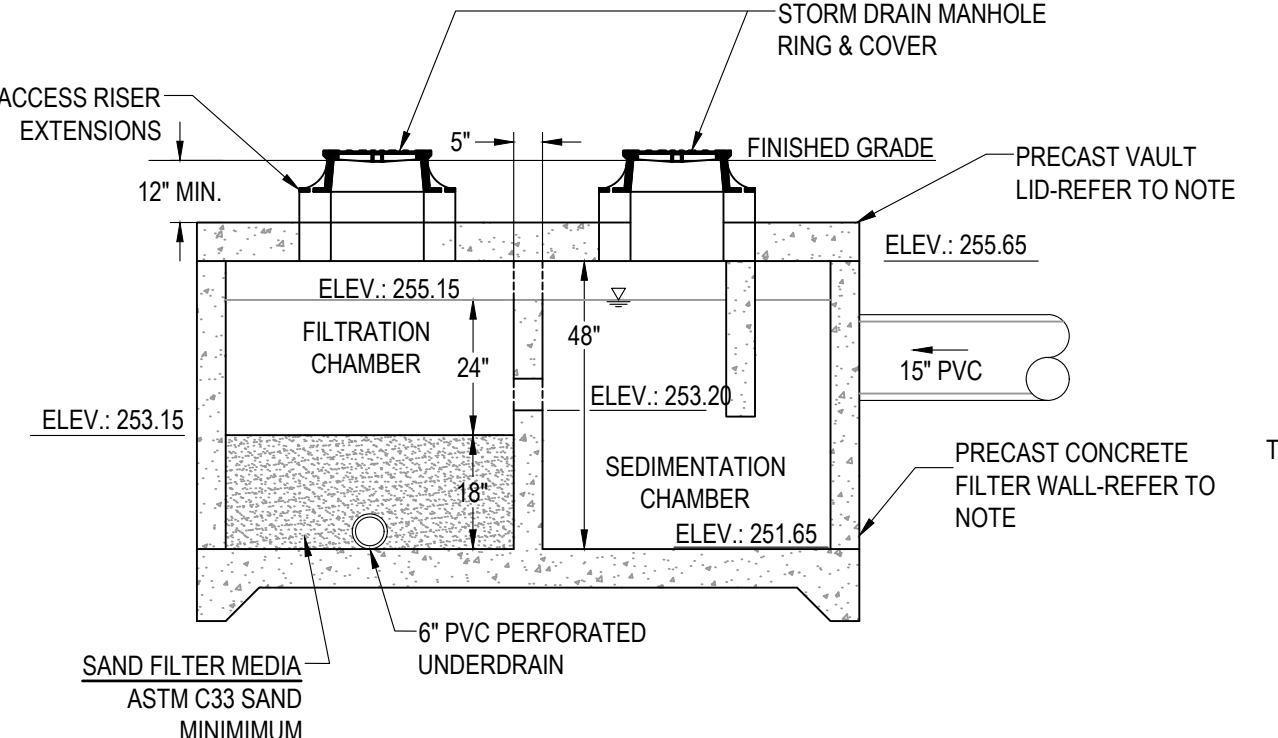
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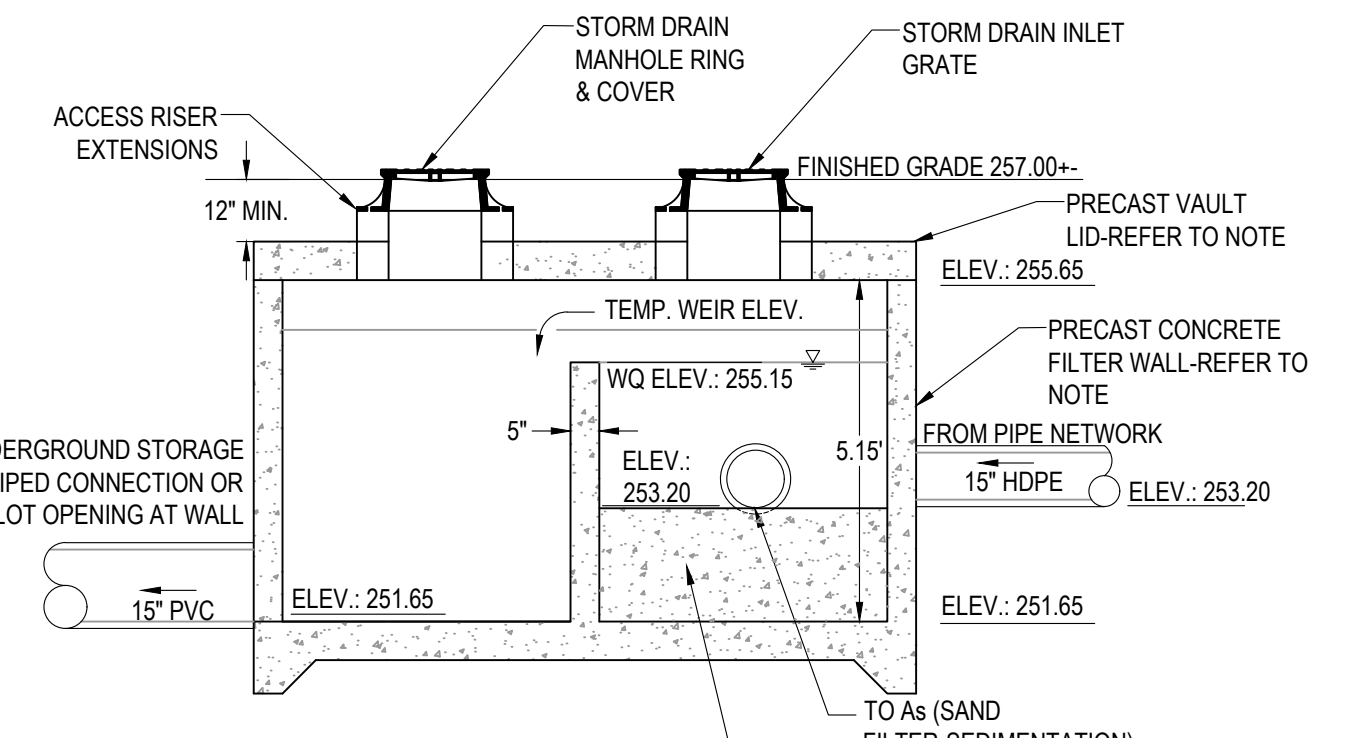
1 SCM LAYOUT PLAN VIEW
D-02 SCALE: 1"=10'



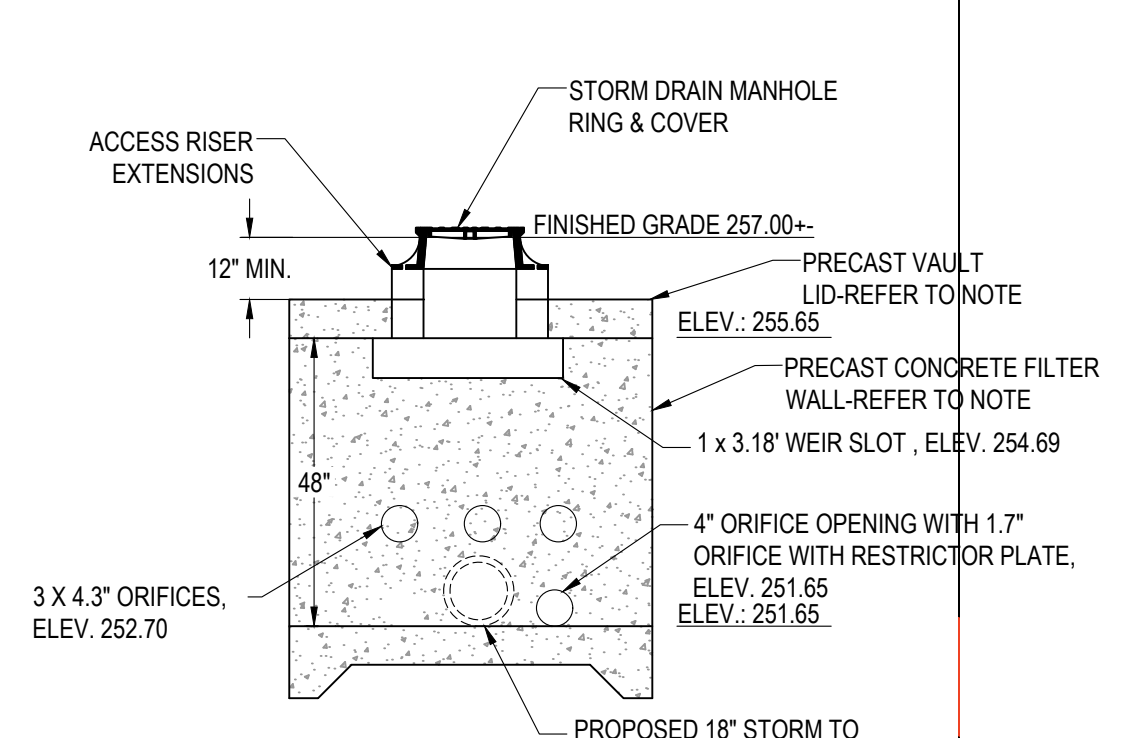
2 SAND FILTER - SECTION B
D-02 SCALE: NTS



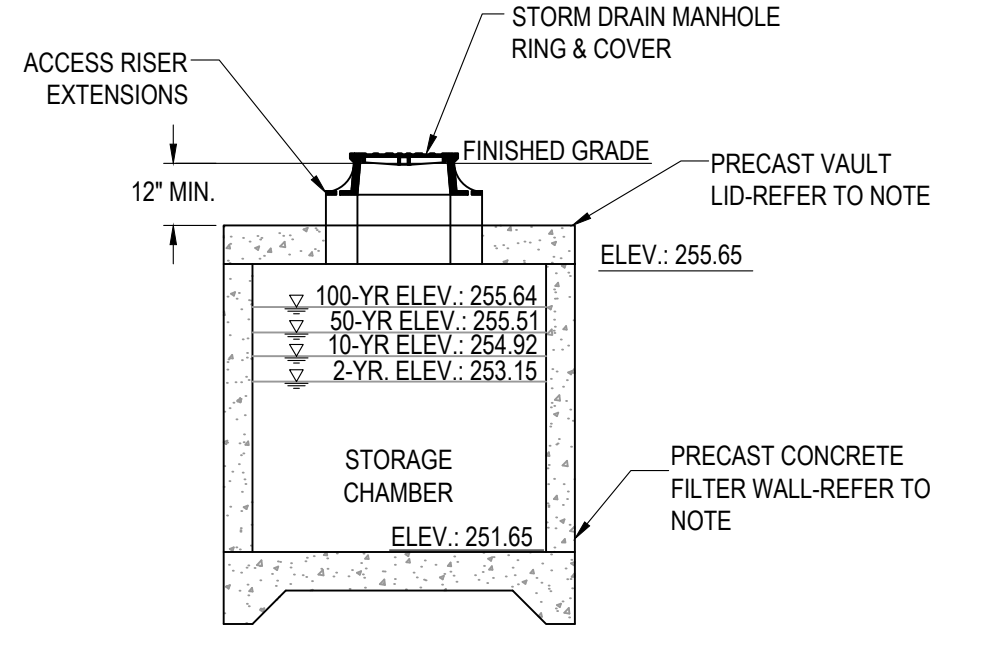
3 SAND FILTER - SECTION A
D-02 SCALE: NTS



4 FLOW SPLITTER
D-02 SCALE: NTS



5 OUTLET CONTROL DEVICE
D-02 SCALE: NTS



6 UNDERGROUND STORAGE TANK
D-02 SCALE: NTS

- NOTES:
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NDEQ AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR SHALL COORDINATE ALL GRADING OPERATIONS WITH THE OWNER'S GEOTECHNICAL ENGINEER, AS APPROPRIATE.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES PRIOR TO THE START OF CONSTRUCTION.
 - MAXIMUM SLOPE OF BASIN IS 3:1
 - ALL SIDE SLOPES, EMBANKMENTS AND SPILLWAYS SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR PER ASTM D-698.
 - CONTROLLED FILL AS SPECIFIED BY THE ENGINEER IN THE DAM EMBANKMENT SHALL BE PLACED IN 6-INCH LOOSE LAYERS (3-INCH LOOSE LAYERS WITHIN 3 FEET OF EITHER SIDE OF THE PRINCIPLE SPILLWAY PIPE TO A DEPTH OF 2-FEET OVER THE PIPE) AND SHALL BE COMPACTED TO A DENSITY OF NO LESS THAN 95% OF STANDARD PROCTOR MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT OR WITHIN 2%± IN ACCORDANCE WITH ASTM D698.
 - ALL VISIBLE ORGANIC DEBRIS SUCH AS ROOTS AND LIMBS SHALL BE REMOVED FROM THE FILL MATERIAL PRIOR TO COMPACTION TO THE REQUIRED DENSITY. SOILS WITH ORGANIC MATTER CONTENT EXCEED 5% BY WEIGHT SHALL NOT BE USED. STONES GREATER THAN 3-INCH (IN ANY DIRECTION) SHALL BE REMOVED FROM THE FILL PRIOR TO COMPACTION.
 - FILL MATERIAL PLACED AT DENSITIES LOWER THAN MINIMUM SPECIFIED DENSITIES OR AT MOISTURE CONTENTS OUTSIDE THE SPECIFIED RANGES OR OTHERWISE NOT CONFORMING TO SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS.
 - ANY FILL LAYER THAT IS SMOOTH DRUM ROLLED TO REDUCE MOISTURE PENETRATION DURING A STORM EVENT SHALL BE PROPERLY SCARIFIED PRIOR TO THE PLACEMENT OF THE NEXT SOIL LEVEL.
 - SURFACE WATER AND STREAM FLOW SHALL BE CONTINUOUSLY CONTROLLED THROUGHOUT CONSTRUCTION AND THE PLACEMENT OF THE CONTROLLED FILL.
 - FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OR COMPRESSIBLE AND/OR UNSUITABLE SOILS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED AND DOCUMENTED. IN NO CASE SHALL THERE BE AN ATTEMPT TO STABILIZE ANY PORTIONS OF THE FOUNDATION SOILS WITH CRUSHED STONE.
 - TREATMENT OF SEEPAGE AREAS, SUBGRADE PREPARATIONS, FOUNDATION DEWATERING, AND ROCK FOUNDATION PREPARATION MAYBE REQUIRED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER.
 - FILL ADJACENT TO THE RISER AND PRINCIPAL SPILLWAY PIPE SHALL BE PLACED SO THAT LIFTS ARE AT THE SAME LEVEL ON BOTH SIDES OF THE STRUCTURE.
 - EARTHWORK COMPACTION WITHIN 3-FT OF ANY STRUCTURES SHALL BE ACCOMPLISHED BY MEANS OF HAND TAMPERS, MANUALLY DIRECTED POWER TAMPERS OR PLATE COMPACTORS OR MINIATURE SELF PROPELLED ROLLERS.
 - COMPACTION BY MEANS OF DROP WEIGHTS FROM A CRANE OR HOIST SHALL NOT BE PERMITTED.
 - HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO PASS OVER CAST-IN-PLACE STRUCTURES UNTIL ADEQUATE CURING TIME HAS ELAPSED.
 - TO RE-ESTABLISH VEGETATION AFTER CONSTRUCTION, A 2 TO 3-INCH LAYER OF TOPSOIL SHALL BE PLACED ON THE DISTURBED EMBANKMENT SURFACE AND THE AREA SEEDED AND MULCHED OR HYDROSEED.
 - ALL RISER STRUCTURES, INCLUDING WEIR WALL TYPE STRUCTURES, SHALL BE REINFORCED CONCRETE. BRICK/CONCRETE BLOCK AND MORTAR TYPE STRUCTURES WILL NOT BE ACCEPTED.
 - ALL RISER STRUCTURES SHALL BE LOCATED SUCH THAT DIRECT ACCESS FROM THE DAM EMBANKMENT CAN BE ACHIEVED.
 - RISER STRUCTURES WITH MULTIPLE BARREL SECTIONS SHALL HAVE GASKETTED JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS. STEEL STRAPS SHALL BE MINIMUM 4" WIDE, 1/4" THICK, STRAP CENTERED ON JOINT WITH MINIMUM 2" OVERLAP. ATTACH STRAP TO BARREL SECTIONS WITH (2) 1/2" HEXBOLTS EMBEDDED IN STRUCTURE 3 INCHES. EPOXY BOLTS INTO STRUCTURE.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL TO ENGINEER TRASH RACK & TRASH GUARD PRIOR TO INSTALLATION.

NOTE: CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE SAND FILTER PRECAST VAULT DESIGN TO THE ENGINEER FOR REVIEW PRIOR TO INSTALLATION. STRUCTURAL DESIGN OF THE SAND FILTER WALLS AND TOP SLAB OR LID SHALL BE PERFORMED BY THE PRECASTER OR OTHERS.

PARADISE COVE XPRESS CARWASH - RALEIGH, NC
 PROJECT NO. 2023-041
 DATE: 03/22/2024
 FILE NO. 2023-041

REVISIONS
 HOOR SCALE: N/A
 DATE: 03/22/2024
 FILE NO.: 2023-041
 ORG. SHEET SIZE: 24x36

PARADISE COVE XPRESS CARWASH
SCM DETAILS

206 S. Fidelity Avenue
 Fryingpan/Vermont, NC 27568
 T (919) 552-9849
 F (919) 552-2043

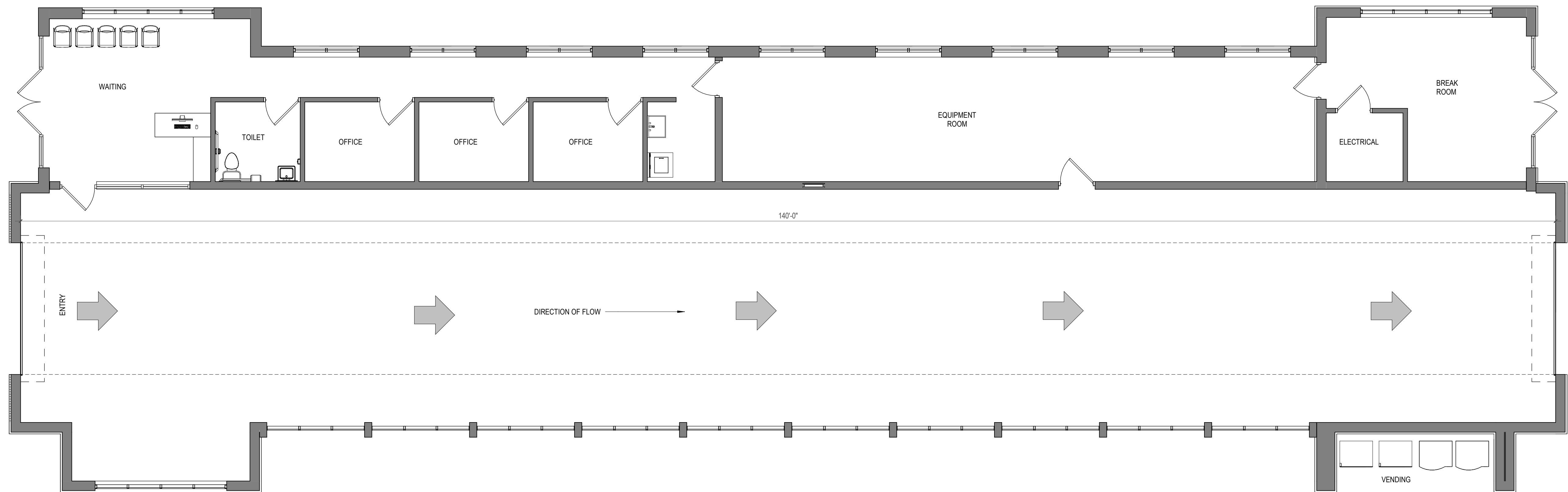
Curry
 ENGINEERING

D-02

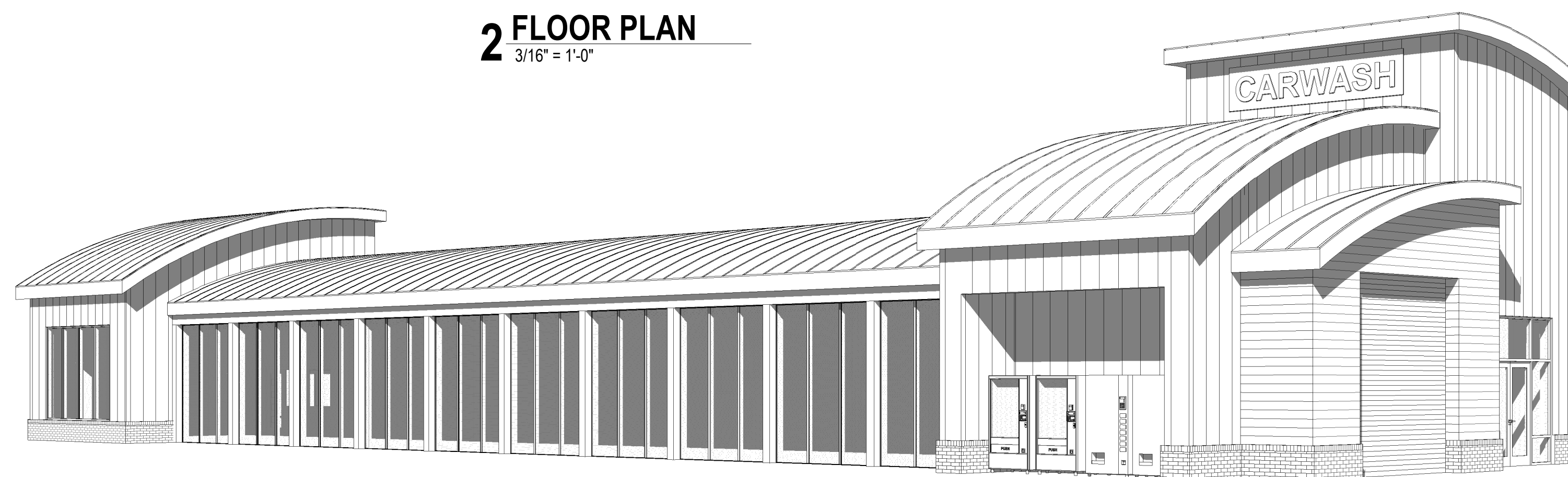
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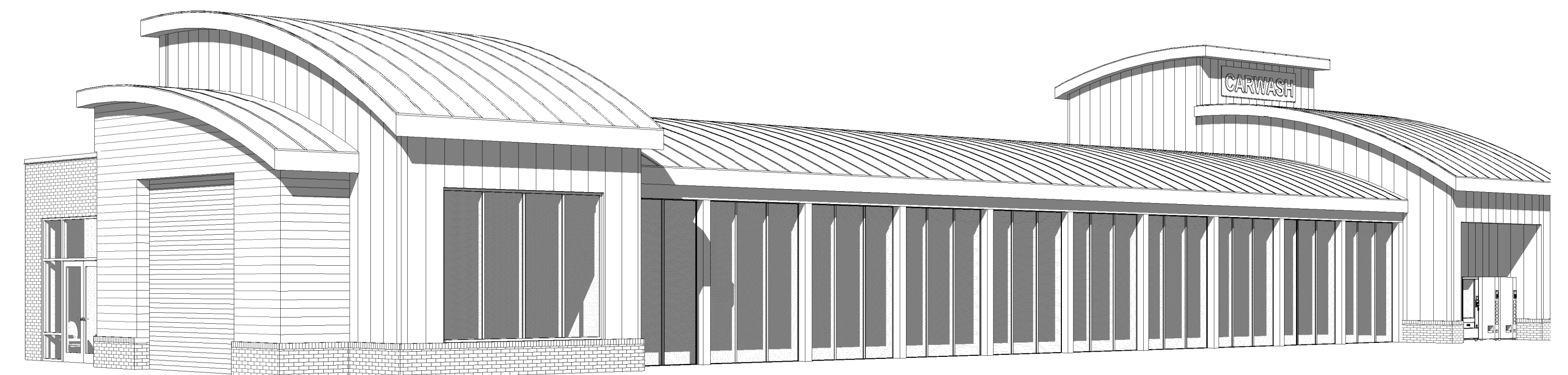
1 ELEVATION
3/16" = 1'-0"



2 FLOOR PLAN
3/16" = 1'-0"



3 3D View 1



4 3D View 2