



Administrative Approval Action

Case File / Name: ASR-0018-2020
Reggie Jackson Airport Honda Phase 1

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 16.40 acre site is zoned IX-3-PK and is within both a SHOD-2 and Airport Overlay District. It is located at the northwest corner of the intersection of Lumley Road and Glenwood Avenue at 9530 Lumley Road.

REQUEST: A proposed automotive dealership with 76,990 SF of building area and associated infrastructure.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 7, 2020 by EMH&T.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The amenity area calculations shall be revised in accordance with UDO Sections 1.5.3c and 3.2.5 to show amenity areas based on the total site acreage.

Engineering

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.
3. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Stormwater

4. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3). [a separate, formal HEC-RAS will be formally reviewed at that time]
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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7. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
9. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)

Urban Forestry

10. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
11. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Slope Easement Required
<input checked="" type="checkbox"/>	Utility Placement Easement Required

<input checked="" type="checkbox"/>	Cross Access Agreements Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lots into a single tract.

Engineering

2. A cross access agreement among the lots identified on ASR-0018-2020 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

The easement shall connect through the driveway access points to the property lines.



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3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
4. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
5. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
8. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
9. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

Urban Forestry

10. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .77 acres of primary tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General



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1. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lots into a single tract.

Engineering

2. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
3. A fee-in-lieu for 1646 linear feet of 6' sidewalk, fees associated with 568' linear feet of widening on Lumley Road and 344 linear feet of widening on Mt Herman Road shall be paid to the City of Raleigh (UDO 8.1.10).
4. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
5. A cross access agreement between the subject property and the adjacent property owned by RDU International Airport Authority where the lease area is located as shown on the preliminary plan shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.
7. Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building).

Stormwater

8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
9. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

10. A public infrastructure surety for 35 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).



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11. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 21 street trees along Lumley Rd and 14 street trees along Mt. Herman Rd.

The following are required prior to issuance of building occupancy permit:

General

1. All street lights and street signs required as part of the development approval are installed.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

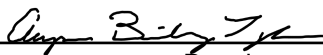
3-Year Expiration Date: August 20, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 08/20/2020
Development Services Dir/Designee

Staff Coordinator: Michael Walters

DEVELOPMENT DATA

Project Name: Reggie Jackson Airport Honda - Phase 1
Proposed Site Use: Automotive Sales & Service
Existing Site Use: Parking Lot, Vacant Land
Project Address: 9530 & 9600 Lumley Road, Raleigh, NC 27660
Parcel ID Number: 768837222, 768827929, 768825739, 768729879
Parcel Owner: Hendrick Automotive Group
Zoning District(s): IX-3-PK SHOD-2
Overlay District(s) Designation: AOD (Airport Overlay District)
Combined Parcel Area: 16.40 Ac.
Proposed Total Building Area: ±76,990 SF

Note:
1. For Impervious Area Calculations, See Sheet C4.0.
2. For Buffer and Setback Information, See Sheets C2.0-C2.2 and C4.0-C4.2.

PARKING CALCULATIONS

Ref: City of Raleigh Unified Development Ordinance Section 7.1.2

Required Parking Spaces:
Vehicle Sales - (1/1000sf GFA): 35,566 SF 36 spaces
Vehicle Service - (1/600sf GFA): 41,424 SF 69 spaces
Total: 76,990 SF 105 spaces

Required Standard Parking = 105 Spaces Total
Required ADA Parking = 5 Spaces Total (1 of 5 Total Van Accessible)

Standard Parking Provided = 114 Spaces Total (9.6% of Total)
ADA Parking Provided = 5 Spaces Total (2 of 5 Total Van Accessible) (0.4% of Total)
Standard Inventory Parking = 1,041 Spaces Total (87.8% of Total)
Compact Inventory Parking = 26 Spaces Total (2.2% of Total)

Total Parking Provided = 1,186 Spaces

Required Long Term Bicycle Parking Spaces:
Vehicle Sales - None
Vehicle Service - (1/40,000sf GFA, minimum 4)

Total Long Term Bicycle Parking Provided = 4 spaces (under building canopy)

Required Short Term Bicycle Parking Spaces:
Vehicle Sales - None
Vehicle Service - None

NOTE: All parking provided above the maximum allowed (150% of the minimum) is inventory parking.
See Sheet C4.0 for Proposed Parking Counts.

Vehicle Trip Generation Calculations									
	Existing			Proposed			Net		
	Entry	Exit	Total	Entry	Exit	Total	Entry	Exit	Total
Daily	46	46	92	1068	1068	2136	1022	1022	2044
AM Peak Hour	8	3	11	103	38	141	95	35	130
PM Peak Hour	5	8	13	63	95	158	58	87	145

Note: These vehicle trip generation calculations are based on the Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition. These calculations were used to generate trips for the existing land use assuming a 5,600sf Automotive Parts and Service Center (ITE Land Use Classification 943) and a proposed 75,600sf Automotive Dealership (ITE Land Use Classification 840). The existing service center will be removed by the proposed development, therefore the net trip generation only represents the calculated increase in traffic with this development.



Know what's below.
Call before you dig.

Call 1-800-632-4949 before you dig: It's the law!

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.2. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: Planning Coordinator:

Building Type: ☐ Detached ☒ General ☐ Attached ☐ Mixed Use ☐ Apartment ☐ Open lot ☐ Townhouse ☐ Civic

Site Transaction History: Subdivision Transaction #, Certificate of Appropriateness #, Board of Adjustment #, Zoning Case #, Administrative Alternate #

GENERAL INFORMATION

Developer name: Reggie Jackson Airport Honda - Phase 1
Inside City limits? ☒ Yes ☐ No
Property address(es): 9530 Lumley Road
Site # (N/A): 768837222, 768827929, 768825739, 768729879
Please describe the scope of work. Include any additions, expansions, and change of use.
Proposed automotive dealership and associated infrastructure improvements.

Current Property Owner/Developer Contact Name: Gene Cocchi
NOTE: please attach purchase agreement or deed when submitting this form.
Company: Hendrick Automotive Group Title: Vice President of Corporate Real Estate
Address: 6300 Monroe Road, Charlotte, NC 28212
Phone #: 704-566-3238 Email: gene.cocchi@hendrickauto.com
Applicant Name: Jeff Mangas
Company: EMH&T, Inc. Address: 301 McCullough Dr., Ste 109, Charlotte, NC 28262
Phone #: 704-353-9956 Email: jrmangas@emht.com

CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA ADMINISTRATIVE SITE REVIEW PLANS FOR REGGIE JACKSON AIRPORT HONDA 9530 & 9600 LUMLEY ROAD AUGUST 7, 2020 CITY OF RALEIGH CASE #ASR-0018-2020

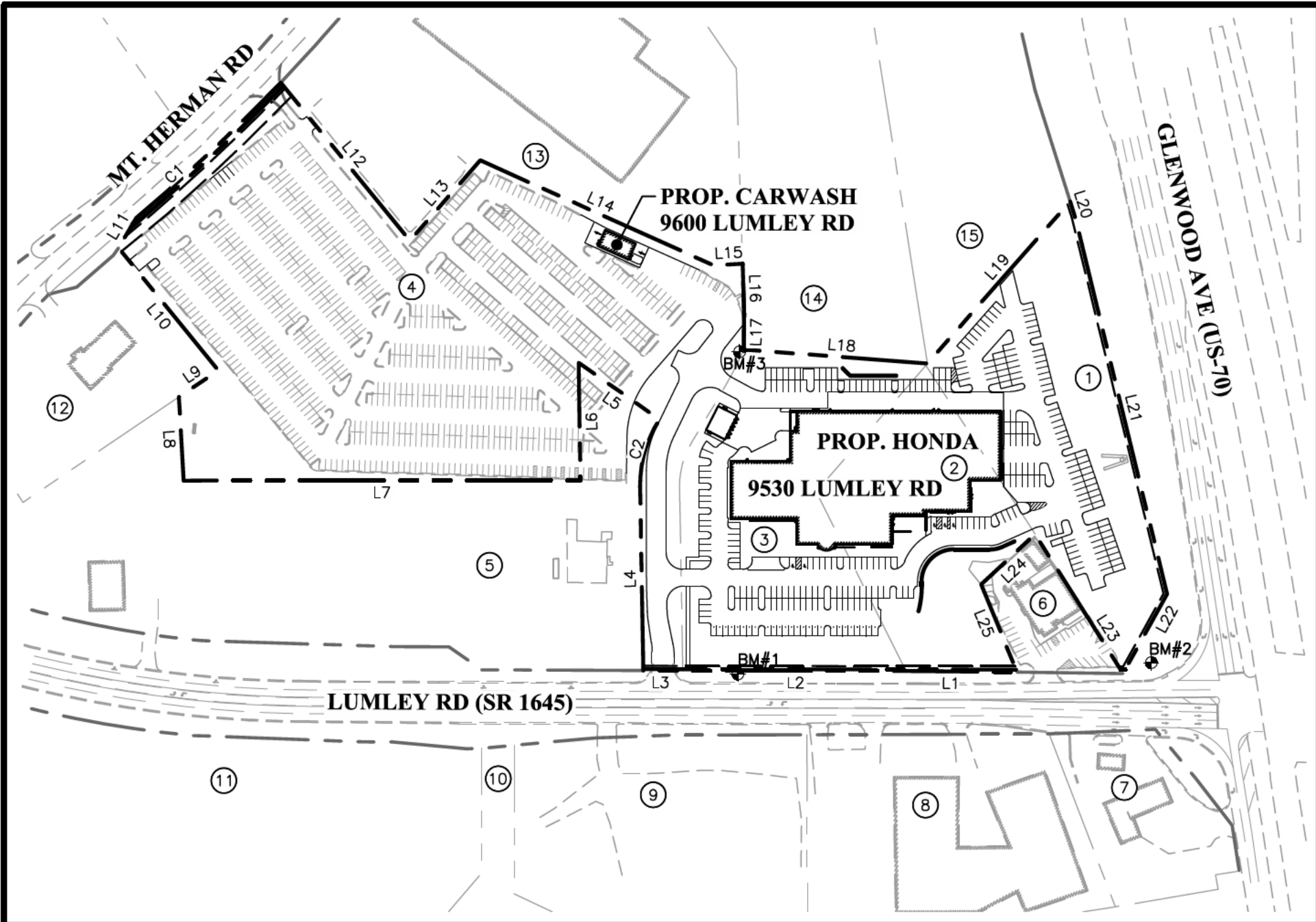
BENCH MARKS

Horizontal: NAD 83 (2011)
Vertical: NAVD 88

BM#1 Chiseled "X" on Flange Bolt of Fire Hydrant
Northing = 782644.45
Easting = 2088672.53
Elevation = 384.18

BM#2 Chiseled "X" on Flange Bolt of Fire Hydrant
Northing = 783070.43
Easting = 2069134.93
Elevation = 370.72

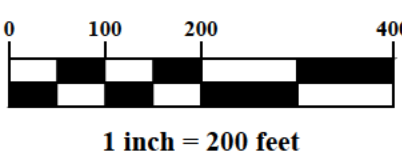
BM#3 Chiseled "X" on Flange Bolt of Fire Hydrant
Northing = 783015.58
Easting = 2068352.48
Elevation = 392.69



INDEX MAP

Scale: 1" = 200'

GRAPHIC SCALE



LINE	BEARING	DISTANCE
L1	S49°28'06"W	168.64'
L2	S48°58'19"W	339.45'
L3	S49°09'17"W	60.00'
L4	N42°04'41"W	280.34'
L5	S83°58'15"W	150.25'
L6	S42°00'45"E	178.87'
L7	S48°51'59"W	603.42'
L8	N44°17'29"W	127.25'
L9	N14°48'47"E	72.31'
L10	N80°13'33"W	240.21'
L11	N10°21'20"W	52.88'
L12	S80°17'46"E	310.38'
L13	N00°04'00"E	162.42'
L14	N73°08'49"E	388.65'
L15	N46°06'18"E	44.64'
L16	S42°57'11"E	76.66'
L17	S40°18'42"E	53.76'
L18	N53°17'27"E	280.04'
L19	N00°14'51"E	328.54'
L20	S58°29'32"E	25.45'
L21	S54°47'47"E	589.54'
L22	S12°09'19"E	138.26'
L23	N73°20'25"W	250.79'
L24	S05°49'38"W	111.95'
L25	S63°14'49"E	143.86'

CURVE	DELTA	RADIUS	ARC	CH. BEARING	CH. DIST.
C1	5°45'08"	3000.00'	301.19'	N05°45'37"E	301.07'
C2	32°56'45"	186.35'	107.15'	S24°53'02"E	105.68'

BLOCK LENGTH REQUIREMENT:
Per UDO Section 8.3.2.A.1.b, as adopted per TC-6-19, the maximum block perimeter standards, including maximum dead-end street length, shall not be required when one or more of the following conditions are met:
(vi) Blocks recorded on or before September 1, 2013, whose block perimeter length does not exceed 150% of the maximum established in Sec. 8.3.2.A.2.b.
The existing block perimeter length is 5,922', which is less than 150% of the maximum for IX zoning districts (150% x 4,000' = 6,000'). Therefore, this site is exempt from complying with this requirement.

CROSS ACCESS NOTE:
Driveway stubs are being provided as close the adjacent property lines as possible based on the existing grade in order to comply with the cross access requirements for the development.

PROPERTY OWNERSHIP TABLE				
1	HENDRICK AUTOMOTIVE GROUP D.B. 13295, P. 453 PID: 768837222 ZONING: IX-3-PK AREA: 2.70 AC	8	6421 WESTGATE REALTY LLC D.B. 16036, P. 1486 PID: 768821721 ZONING: IX-3-PK	
2	HENDRICK AUTOMOTIVE GROUP D.B. 13295, P. 453 PID: 768827929 ZONING: IX-3-PK AREA: 2.03 AC	9	6421 WESTGATE REALTY LLC D.B. 16036, P. 1486 PID: 768826373 ZONING: IX-3-PK	
3	HENDRICK AUTOMOTIVE GROUP D.B. 13295, P. 453 PID: 768825739 ZONING: IX-3-PK AREA: 2.93 AC	10	6421 WESTGATE REALTY LLC D.B. 16036, P. 1486 PID: 768817537 ZONING: IX-3-PK	
4	HENDRICK AUTOMOTIVE GROUP D.B. 16226, P. 2576 PID: 768729879 ZONING: IX-3-PK AREA: 8.74 AC	11	RALEIGH DURHAM INTERNATIONAL D.B. 3565, P. 231 PID: 767324317 ZONING: N/A	
5	RALEIGH DURHAM INTERNATIONAL D.B. 3565, P. 231 PID: 767324317 ZONING: N/A	12	RALEIGH DURHAM AIRPORT AUTHORITY D.B. 3517, P. 486 PID: 768726332 ZONING: IX-3-PK	
6	9520 LUMLEY ROAD LLC D.B. 12936, P. 1195 PID: 768839060 ZONING: IX-3-PK	13	BBC I D.B. 7173, P. 532 PID: 768738122 ZONING: IX-3-PK	
7	SAMPSON BLADEN OIL CO INC D.B. 13305, P. 2467 PID: 768823849 ZONING: IX-3-PK	14	TERRY B. AND DEBORAH OVERTON D.B. 15802, P. 2630 PID: 768739476 ZONING: IX-3-PK	
		15	BARBARA GLOVER MANGUM D.B. 5566, P. 50 PID: 768832574 ZONING: IX-3-PK	

DEVELOPER/OWNER

Hendrick Automotive Group
6000 Monroe Road
Charlotte, NC 28212
Contact: Greg Clark
Tel: (704) 566-3313
Fax: (704) 566-3295
greg.clark@hendrickauto.com

CIVIL ENGINEER

EMH&T
301 McCullough Drive, Suite 109
Charlotte, NC 28262
Contact: Jeff Mangas
Tel: (704) 353-9956
Fax: (704) 548-0334
jrmangas@emht.com

SURVEYOR

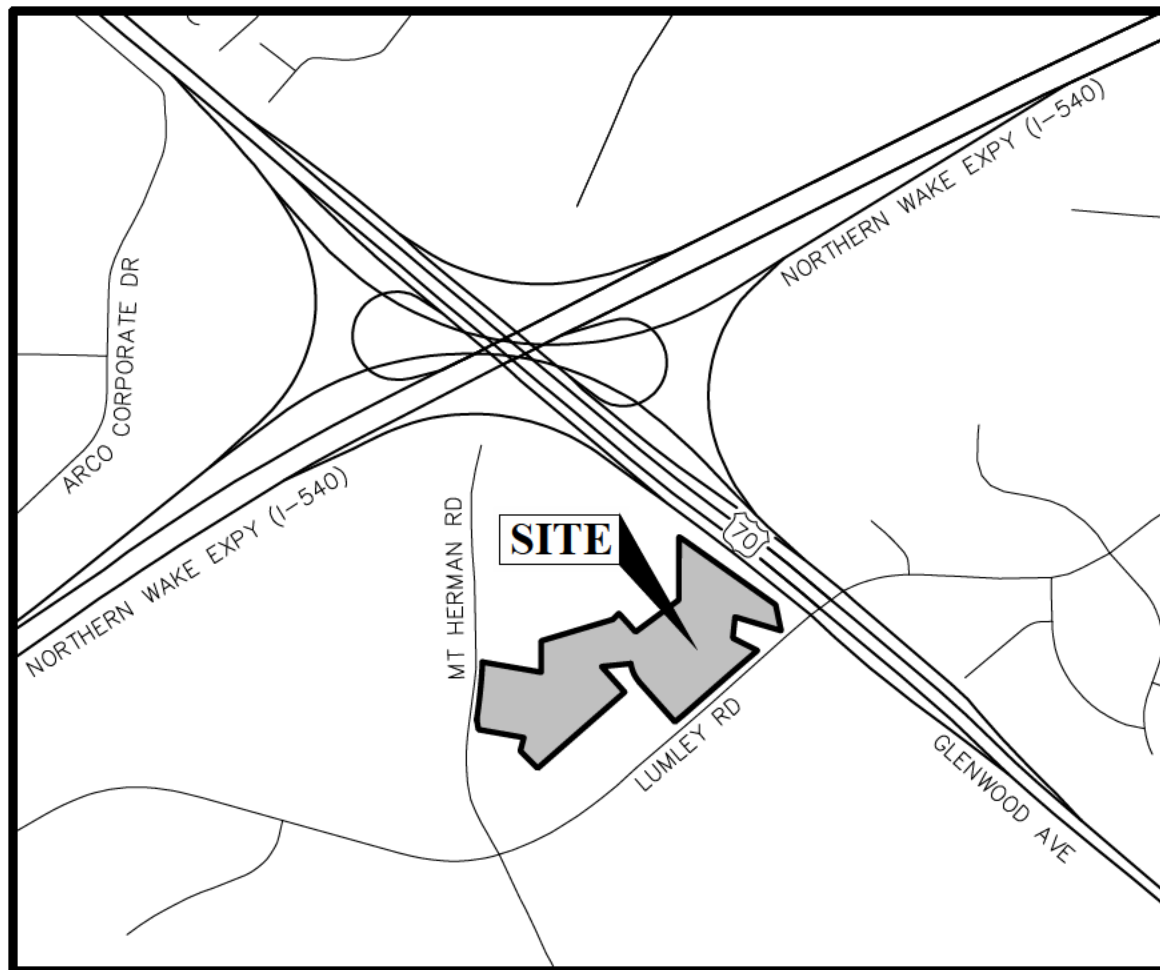
EMH&T
301 McCullough Drive, Suite 109
Charlotte, NC 28262
Contact: Ed Miller, PLS
Tel: (704) 548-0333
Tel: (704) 548-0334
emiller@emht.com

ARCHITECT

Redline Design Group
220 Morehead Street, Suite 220
Charlotte, NC 28208
Contact: David Eve, AIA
Tel: (704) 377-2990
Fax: (704) 377-2990
deve@redlinedg.com

SITE LIGHTING

Teeter Engineering Group
5500 77 Center Drive, Suite 140
Charlotte, NC 28217
Contact: Buck Driggers, PE
Tel: (980) 949-7569
buckd@tepga.com



VICINITY MAP

Not to Scale

NOTE:
1. These plans are to be in strict conformance with the City of Raleigh, Wake County, NCDOT, USACE, NCEQ, RDU, and FAA Specifications and Standards.
2. Sediment and erosion control measures shall be maintained throughout this development as indicated in the Erosion Control Plan - Phase 1, Erosion Control Plan - Phase 2, and Erosion Control Plan - Phase 3 Plan Sheets, and per City of Raleigh and NCEQ requirements.

FEMA NOTE:
According to the Federal Emergency Management Agency's Flood Insurance Map, dated May 2, 2008, the subject tract shown herein lies within Zone "X" (areas determined to be outside 0.2% annual chance floodplain), Map No. 3720076800J, Panel Number 0768.

SOIL TYPES:
According to a Web Soil Survey provided by the Natural Resources Conservation Service dated October 23, 2019, approximately 60.8% of soils on this site are Ur, Urban Land, 12.9% are CrB, Creedmoor-Green Level complex, 2 to 6 percent slopes, 12.6% are CrD, Creedmoor-Green Level Complex, 10 to 15 percent slopes, 10.5% are ChA, Chewacla and Wehadkee soils, 0 to 2 percent slopes, frequently flooded, and 10.5% are CrC, Creedmoor-Green Level complex, 6 to 10 percent slopes.

FUTURE DEVELOPMENT NOTE:
The Conceptual Future Development Plan shown on sheet C4.6 of this plan set is for reference only. This sheet is not reviewed by City of Raleigh staff for code compliance. City of Raleigh approval of this plan set does not constitute review and/or approval of future development shown on sheet C4.6.

SECTION 404 NATIONWIDE PERMIT:
Stream impacts on this project were reviewed by the U.S. Army Corps of Engineers and approved under Section 404 Nationwide Permit 39 on February 3, 2020 (Action ID: SAW-2019-01217).

SECTION 401 WATER QUALITY CERTIFICATION:
Stream impacts and riparian buffer impacts for this project were reviewed by the North Carolina Division of Water Resources (DWR) and approved under the Section 401 Water Quality Certification and Neuse River Basin Riparian Buffer Rules on June 4, 2020 (DWR #20191641).

TREE CONSERVATION AREA NOTE:
See sheet L2.0 for Tree Conservation Areas to be dedicated for the site.

PUBLIC SANITARY SEWER REALIGNMENT:
There will be a Public Sanitary Sewer Main Realignment associated with this project. The construction of the new public sanitary sewer and abandonment/demolition of the existing public sanitary sewer shall be reviewed and approved by separate Public Sanitary Sewer Main Realignment plans. Realignments are shown on these plans for reference only.

VEHICLE DISPLAY SCREENING:
There are no vehicular display areas proposed along any public roadway frontages. Therefore, the requirements of UDO Section 6.4.12.B.4 do not apply to this site.

OUTDOOR SPEAKERS:
No outside speaker system is permitted on the site.

FEE-IN-LIEU:
The developer shall be responsible for paying a Fee-in-Lieu for streetscape improvements along Mt. Herman Road, Glenwood Avenue, Lumley Road in accordance with the City of Raleigh streetscape plan based on the current City of Raleigh fee schedule.

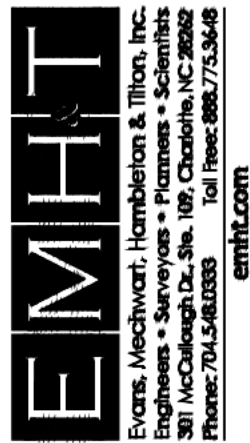
DRIVEWAY WIDTH NOTE:
Per UDO Section 8.3.5.C.1.c, as adopted per TC-6-19, wider driveways shall be allowed where required by the turning radii of vehicles accessing the site. Due to the turning radii of ports delivery trucks and car haulers (comparable to the AASHTO WB-62 Truck) which frequently access the site, wider than standard driveways are proposed.

REVISIONS

MARK DATE DESCRIPTION



CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
FOR
ADMINISTRATIVE SITE REVIEW PLANS
REGGIE JACKSON AIRPORT HONDA
9530 & 9600 LUMLEY ROAD
COVER SHEET



DATE

August 7, 2020

SCALE

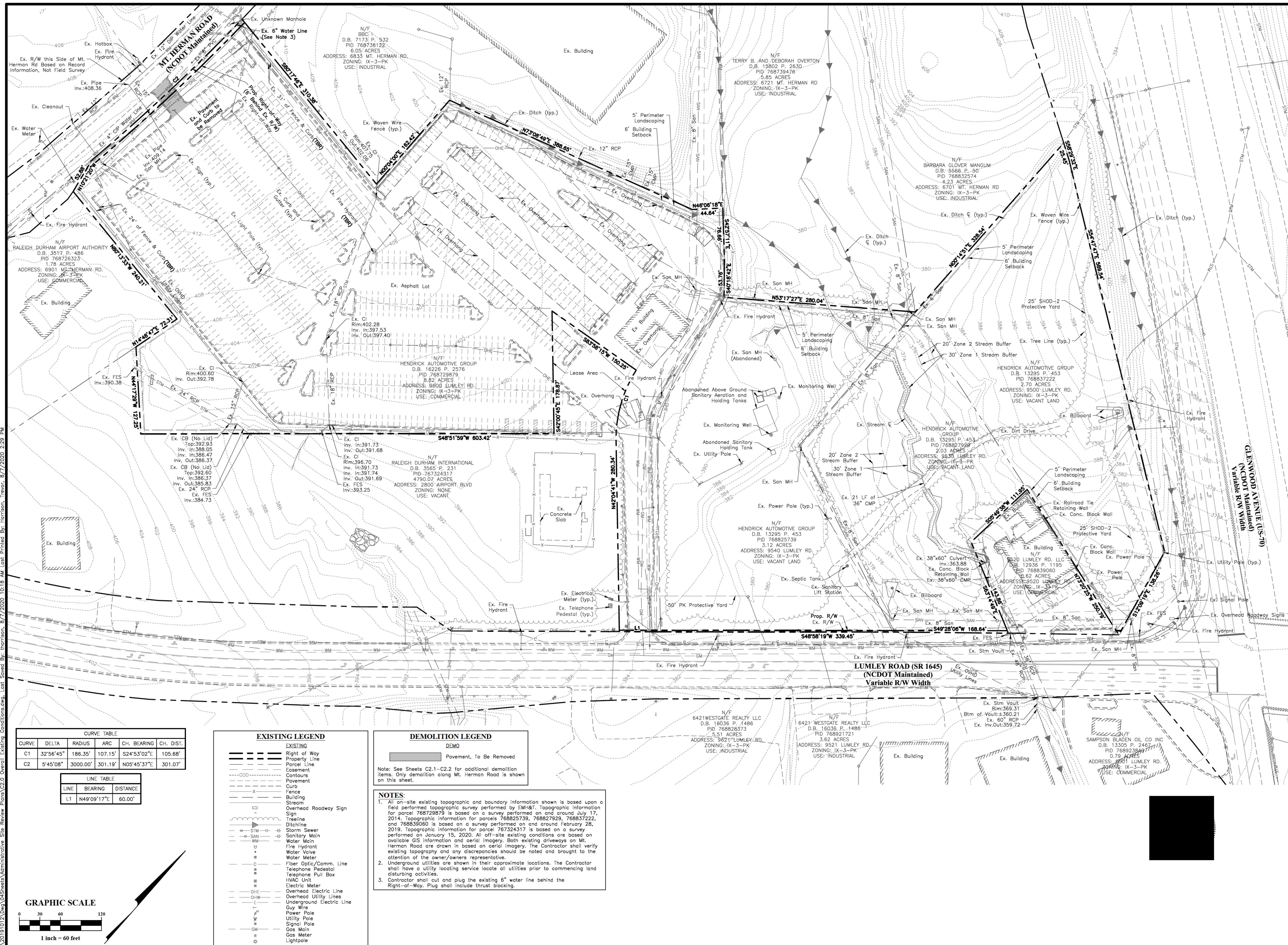
As Noted

JOB NO.

20191012

SHEET

C1.0



GRAPHIC SCALE

0 30 60 120

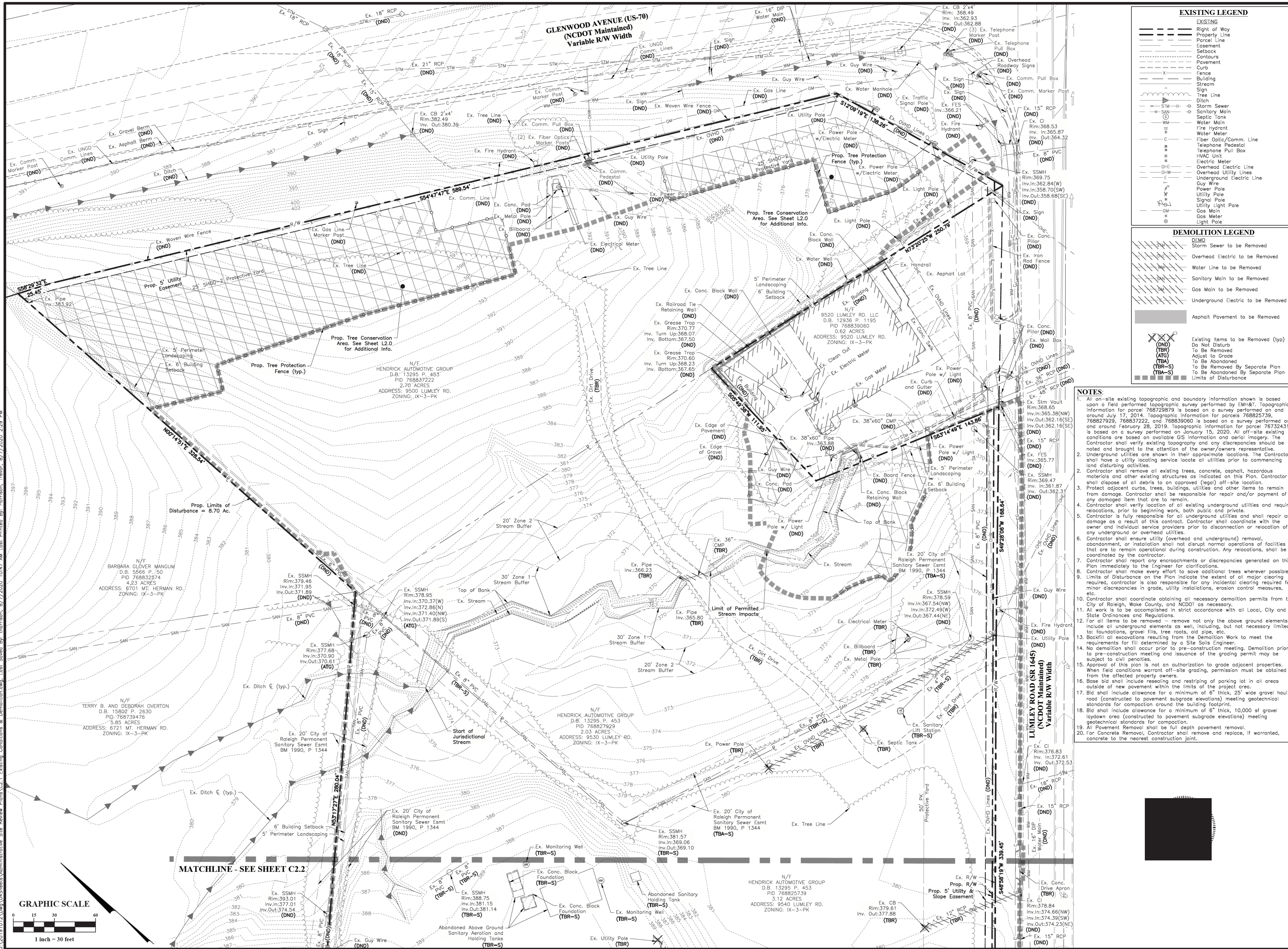
1 inch = 60 feet

NOTES:

1. All on-site existing topographic and boundary information shown is based upon a field performed topographic survey performed by LHMH, Topographic Information dated 1/28/2020, 688729322, 688729323, 688729324, 688729325, 688729326, 688729327, 688729328, 688729329, 688729330, 688729331, 688729332, 688729333, 688729334, 688729335, 688729336, 688729337, 688729338, 688729339, 688729340, 688729341, 688729342, 688729343, 688729344, 688729345, 688729346, 688729347, 688729348, 688729349, 688729350, 688729351, 688729352, 688729353, 688729354, 688729355, 688729356, 688729357, 688729358, 688729359, 688729360, 688729361, 688729362, 688729363, 688729364, 688729365, 688729366, 688729367, 688729368, 688729369, 688729370, 688729371, 688729372, 688729373, 688729374, 688729375, 688729376, 688729377, 688729378, 688729379, 688729380, 688729381, 688729382, 688729383, 688729384, 688729385, 688729386, 688729387, 688729388, 688729389, 688729390, 688729391, 688729392, 688729393, 688729394, 688729395, 688729396, 688729397, 688729398, 688729399, 688729400, 688729401, 688729402, 688729403, 688729404, 688729405, 688729406, 688729407, 688729408, 688729409, 688729410, 688729411, 688729412, 688729413, 688729414, 688729415, 688729416, 688729417, 688729418, 688729419, 688729420, 688729421, 688729422, 688729423, 688729424, 688729425, 688729426, 688729427, 688729428, 688729429, 688729430, 688729431, 688729432, 688729433, 688729434, 688729435, 688729436, 688729437, 688729438, 688729439, 688729440, 688729441, 688729442, 688729443, 688729444, 688729445, 688729446, 688729447, 688729448, 688729449, 688729450, 688729451, 688729452, 688729453, 688729454, 688729455, 688729456, 688729457, 688729458, 688729459, 688729460, 688729461, 688729462, 688729463, 688729464, 688729465, 688729466, 688729467, 688729468, 688729469, 688729470, 688729471, 688729472, 688729473, 688729474, 688729475, 688729476, 688729477, 688729478, 688729479, 688729480, 688729481, 688729482, 688729483, 688729484, 688729485, 688729486, 688729487, 688729488, 688729489, 688729490, 688729491, 688729492, 688729493, 688729494, 688729495, 688729496, 688729497, 688729498, 688729499, 688729500, 688729501, 688729502, 688729503, 688729504, 688729505, 688729506, 688729507, 688729508, 688729509, 688729510, 688729511, 688729512, 688729513, 688729514, 688729515, 688729516, 688729517, 688729518, 688729519, 688729520, 688729521, 688729522, 688729523, 688729524, 688729525, 688729526, 688729527, 688729528, 688729529, 688729530, 688729531, 688729532, 688729533, 688729534, 688729535, 688729536, 688729537, 688729538, 688729539, 688729540, 688729541, 688729542, 688729543, 688729544, 688729545, 688729546, 688729547, 688729548, 688729549, 688729550, 688729551, 688729552, 688729553, 688729554, 688729555, 688729556, 688729557, 688729558, 688729559, 688729560, 688729561, 688729562, 688729563, 688729564, 688729565, 688729566, 688729567, 688729568, 688729569, 688729570, 688729571, 688729572, 688729573, 688729574, 688729575, 688729576, 688729577, 688729578, 688729579, 688729580, 688729581, 688729582, 688729583, 688729584, 688729585, 688729586, 688729587, 688729588, 688729589, 688729590, 688729591, 688729592, 688729593, 688729594, 688729595, 688729596, 688729597, 688729598, 688729599, 688729600, 688729601, 688729602, 688729603, 688729604, 688729605, 688729606, 688729607, 688729608, 688729609, 688729610, 688729611, 688729612, 688729613, 688729614, 688729615, 688729616, 688729617, 688729618, 688729619, 688729620, 688729621, 688729622, 688729623, 688729624, 688729625, 688729626, 688729627, 688729628, 688729629, 688729630, 688729631, 688729632, 688729633, 688729634, 688729635, 688729636, 688729637, 688729638, 688729639, 688729640, 688729641, 688729642, 688729643, 688729644, 688729645, 688729646, 688729647, 688729648, 688729649, 688729650, 688729651, 688729652, 688729653, 688729654, 688729655, 688729656, 688729657, 688729658, 688729659, 688729660, 688729661, 688729662, 688729663, 688729664, 688729665, 688729666, 688729667, 688729668, 688729669, 688729670, 688729671, 688729672, 688729673, 688729674, 688729675, 688729676, 688729677, 688729678, 688729679, 688729680, 688729681, 688729682, 688729683, 688729684, 688729685, 688729686, 688729687, 688729688

DATE
August 7, 2020
SCALE
1" = 60'
JOB NO.
20191012
SHEET
C2.0

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REVISIONS

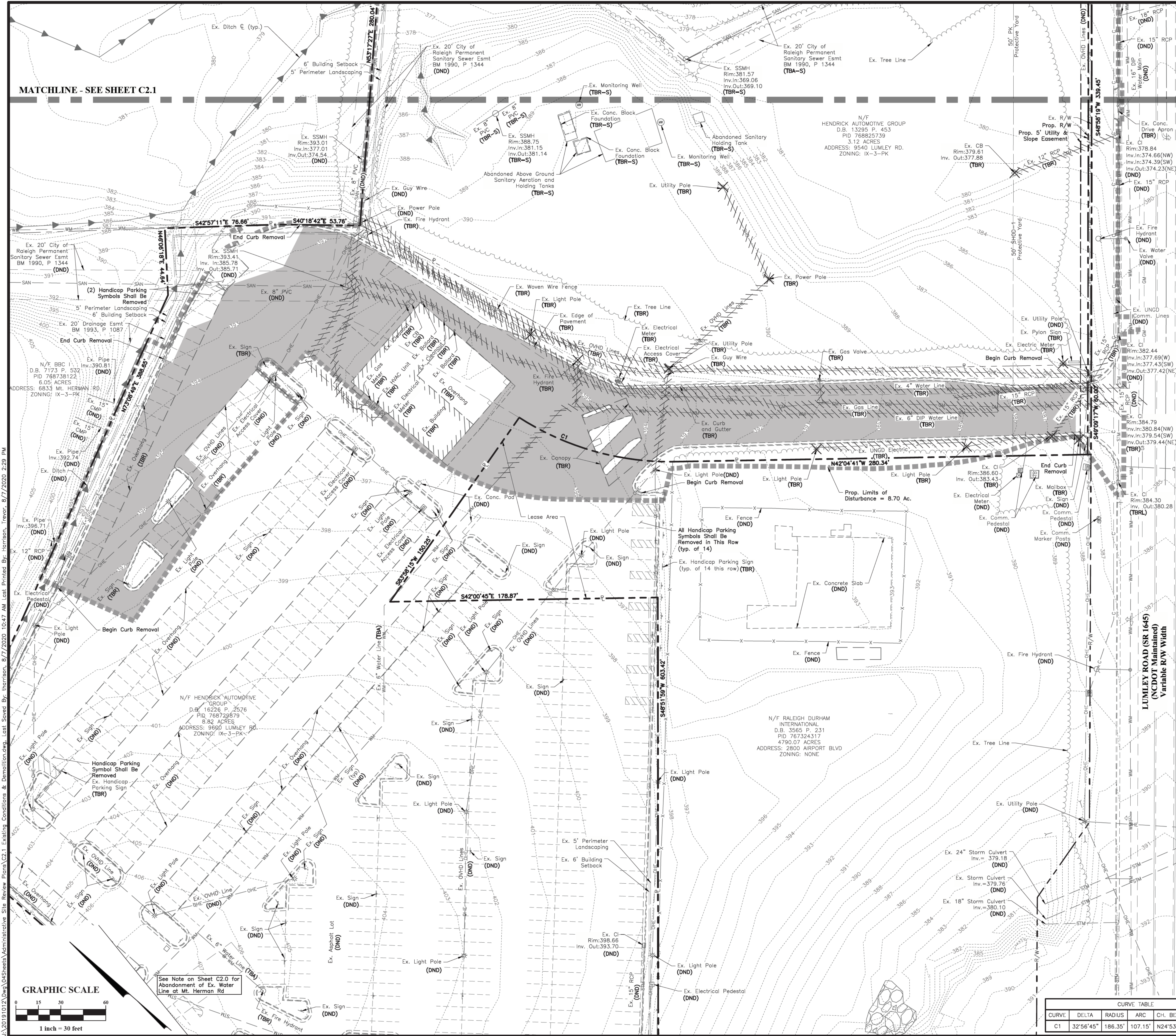
MARK DATE DESCRIPTION



CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
FOR
ADMINISTRATIVE SITE REVIEW PLANS
REGGIE JACKSON AIRPORT HONDA
9530 & 9600 LUMLEY ROAD
EXISTING CONDITIONS & DEMOLITION PLAN



DATE
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1" = 30'
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EXISTING LEGEND

---	Right of Way
---	Property Line
---	Parcel Line
---	Easement
---	Setback
---	Contours
---	Pavement
---	Curb
---	Fence
---	Building
---	Stream
---	Sign
---	Tree Line
---	Ditch
---	Storm Sewer
---	Sanitary Main
---	Septic Tank
---	Water Main
---	Fire Hydrant
---	Water Meter
---	Fiber Optic/Comm. Line
---	Telephone Pedestal
---	Telephone Pull Box
---	HVAC Unit
---	Electric Meter
---	Overhead Electric Line
---	Overhead Utility Line
---	Underground Electric Line
---	Guy Wire
---	Power Pole
---	Utility Pole
---	Signal Pole
---	Utility Light Pole
---	Gas Main
---	Gas Meter
---	Light Pole

DEMOLITION LEGEND

---	Storm Sewer to be Removed
---	Overhead Electric to be Removed
---	Water Line to be Removed
---	Sanitary Main to be Removed
---	Gas Main to be Removed
---	Underground Electric to be Removed
---	Asphalt Pavement to be Removed
---	Existing Items to be Removed (typ)
---	Do Not Disturb
---	To Be Removed
---	Adjust to Grade
---	To Be Abandoned
---	To Be Removed By Separate Plan
---	To Be Abandoned By Separate Plan
---	Limits of Disturbance

- NOTES:**
- All on-site existing topographic and boundary information shown is based upon a field performed topographic survey performed by EMH&T. Topographic information for parcel 768729879 is based on a survey performed on and around July 17, 2014. Topographic information for parcels 768825739, 768872029, 768837222, and 768839060 is based on a survey performed on and around February 28, 2019. Topographic information for parcel 767324317 is based on a survey performed on January 15, 2020. All off-site existing conditions are based on available GIS information and aerial imagery. The Contractor shall verify existing topography and any discrepancies should be noted and brought to the attention of the owner/owners representative.
 - Underground utilities are shown in their approximate locations. The Contractor shall have a utility locating service locate all utilities prior to commencing land disturbing activities.
 - Contractor shall remove all existing trees, concrete, asphalt, hazardous materials and other existing structures as indicated on this Plan. Contractor shall dispose of all debris to an approved (legal) off-site location.
 - Protect adjacent curbs, trees, buildings, utilities and other items to remain from damage. Contractor shall be responsible for repair and/or payment of any damaged item that are to remain.
 - Contractor shall verify location of all existing underground utilities and required relocations, prior to beginning work, both public and private.
 - Contractor is fully responsible for all underground utilities and shall repair any damage as a result of this contract. Contractor shall coordinate with the owner and individual service providers prior to disconnection or relocation of any underground or overhead utilities.
 - Contractor shall ensure utility (overhead and underground) removal, abandonment, or installation shall not disrupt normal operations of facilities that are to remain operational during construction. Any relocations, shall be coordinated by the contractor.
 - Contractor shall report any encroachments or discrepancies generated on this Plan immediately to the Engineer for clarifications.
 - Contractor shall make every effort to save additional trees wherever possible.
 - Limits of Disturbance on the Plan indicate the extent of all major clearing required, contractor is also responsible for any incidental clearing required for minor discrepancies in grade, utility installations, erosion control measures, etc.
 - Contractor shall coordinate obtaining all necessary demolition permits from the City of Raleigh, Wake County, and NCDOT as necessary.
 - All work is to be accomplished in strict accordance with all Local, City and State Ordinances and Regulations.
 - For all items to be removed - remove not only the above ground elements, include all underground elements as well, including, but not necessary limited to: foundations, gravel fills, tree roots, old pipe, etc.
 - Backfill all excavations resulting from the Demolition Work to meet the requirements for fill determined by a Site Soils Engineer.
 - No demolition shall occur prior to pre-construction meeting. Demolition prior to pre-construction meeting and issuance of the grading permit may be subject to civil penalties.
 - Approval of this plan is not an authorization to grade adjacent properties. When field conditions warrant off-site grading, permission must be obtained from the affected property owners.
 - Base bid shall include resealing and restriping of parking lot in all areas outside of new pavement within the limits of the project area.
 - Bid shall include allowance for a minimum of 6" thick, 25' wide gravel haul road (constructed to pavement subgrade elevations) meeting geotechnical standards for compaction around the building footprint.
 - Bid shall include allowance for a minimum of 6" thick, 10,000 sf gravel laydown area (constructed to pavement subgrade elevations) meeting geotechnical standards for compaction.
 - All Pavement Removal shall be full depth pavement removal.
 - For Concrete Removal, Contractor shall remove and replace, if warranted, concrete to the nearest construction joint.

CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	CH. BEARING	CH. DIST.
C1	32°56'45"	186.35'	107.15'	N24°53'02"W	105.68'





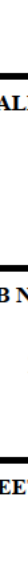

REVISIONS

MARK	DATE	DESCRIPTION

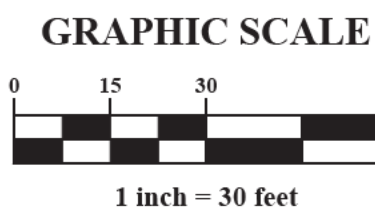
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW PLANS
FOR
REGGIE JACKSON AIRPORT HONDA
9530 & 9600 LUMLEY ROAD
EXISTING CONDITIONS & DEMOLITION PLAN

EMH&T
EVANS, MACHOWAT, HAMILTON & THOMAS, INC.
Engineers - Surveyors - Planners - Scientists
10000 Old Wake Road, Suite 200
Raleigh, NC 27617
Phone: 919.887.7549
emht.com

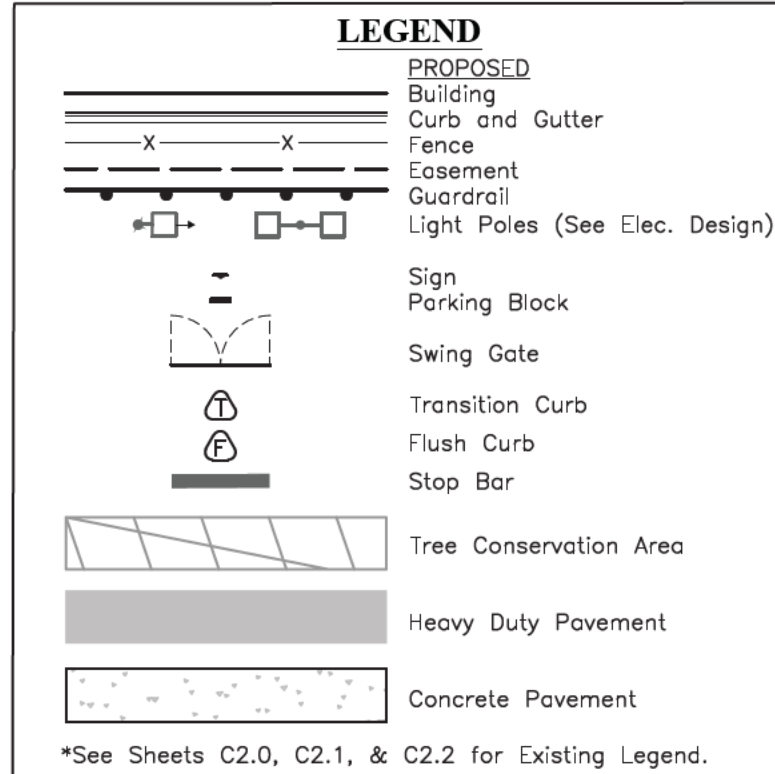
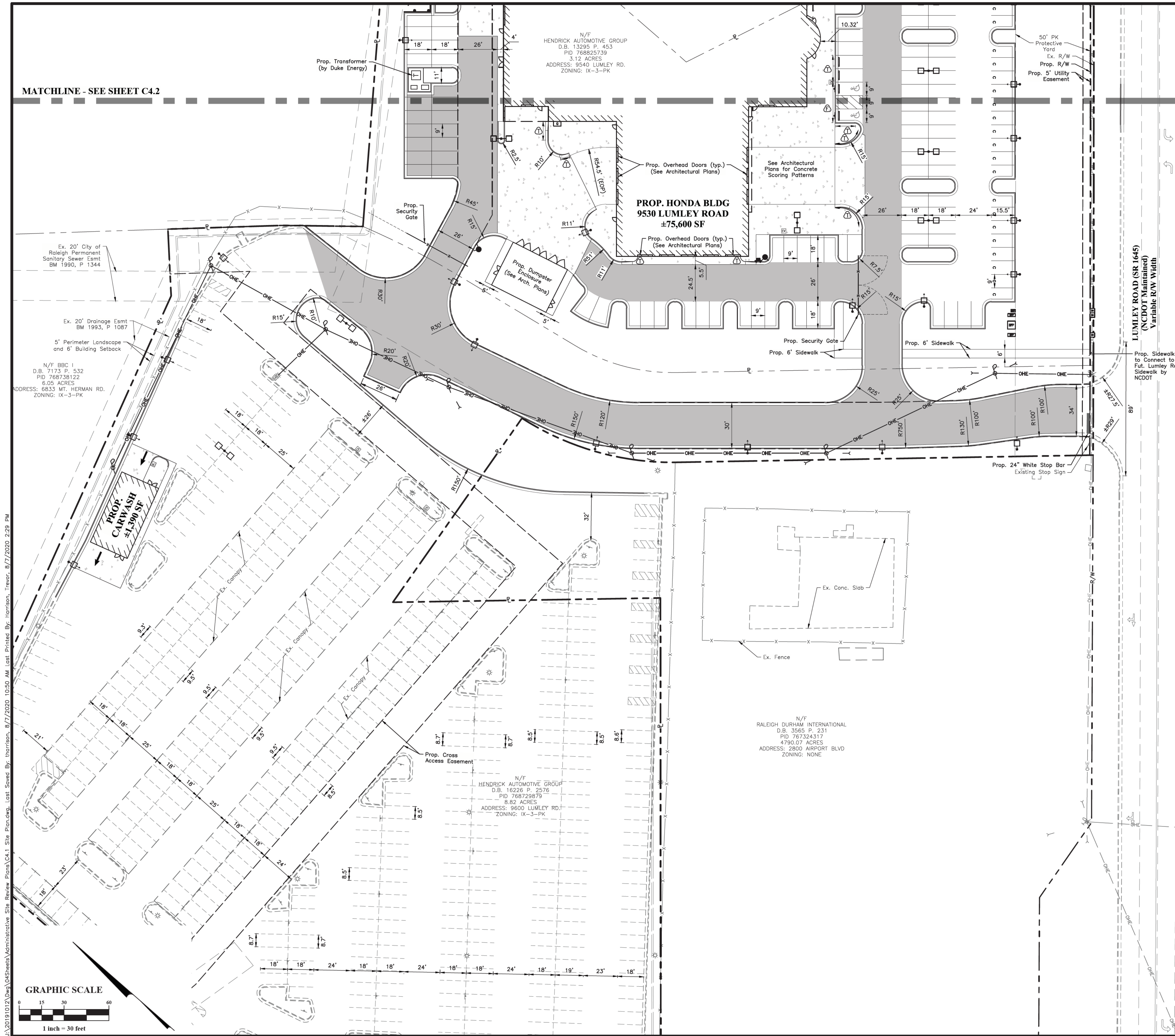
DATE	August 7, 2020
SCALE	1" = 30'
JOB NO.	20191012
SHEET	C2.2

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MATCHLINE - SEE SHEET C4.2



- NOTES:**
1. All dimensions are measured to the face of curb unless otherwise noted.
 2. All curb radius dimensions are 4.5' measured to the face of curb unless otherwise noted.
 3. All driveway connections to roadway shall be in strict accordance with City of Raleigh, and NCDOT Specifications and Details.
 4. All proposed parking stalls shall be 9' wide unless otherwise noted. All proposed parking stall striping shall be 4" wide and white.
 5. Proposed Signs, Lighting & Landscaping will be designed in accordance with the City of Raleigh and Wake County Standards and Regulations.
 6. All curb and gutter shall be 24" Tilt Out Curb and Gutter unless otherwise noted.
 7. Anywhere asphalt and concrete meet, contractor shall construct a turn-down.
 8. See Architectural Plans by others for building, dumpster enclosure, and covered storage specifications.
 9. All traffic signs, pavement markings, and traffic control devices shall conform to the 2009 MUTCD Revisions 1 and 2, May 2012.
 10. All curb transition lengths shall be 5' unless otherwise noted.
 11. Land Development Inspector to be given 24 hours notice prior to start of construction.
 12. Coordinate all curb and street grades in intersections with NCDOT Inspector.
 13. In rolling and hilly terrain, sweeping of the stone base and/or application of a tack coat may be required near intersections. These requirements will be established by the Inspector and based on field conditions.
 14. Contact the Utility Company to relocate any existing utility poles. All existing facilities which conflict with the improvements under the scope of this Project must be relocated.
 15. Contractor is responsible to obtain the services of a utility location contractor to field locate all utilities, both private and public, prior to commencement of work. Contractor is solely responsible to maintain utility service and communication service (internal and external) as directed by owner.
 16. All drives are to be private.
 17. Any proposed signage to be permitted separately.
 18. Contractor to coordinate final light pole locations with MEP Engineer.

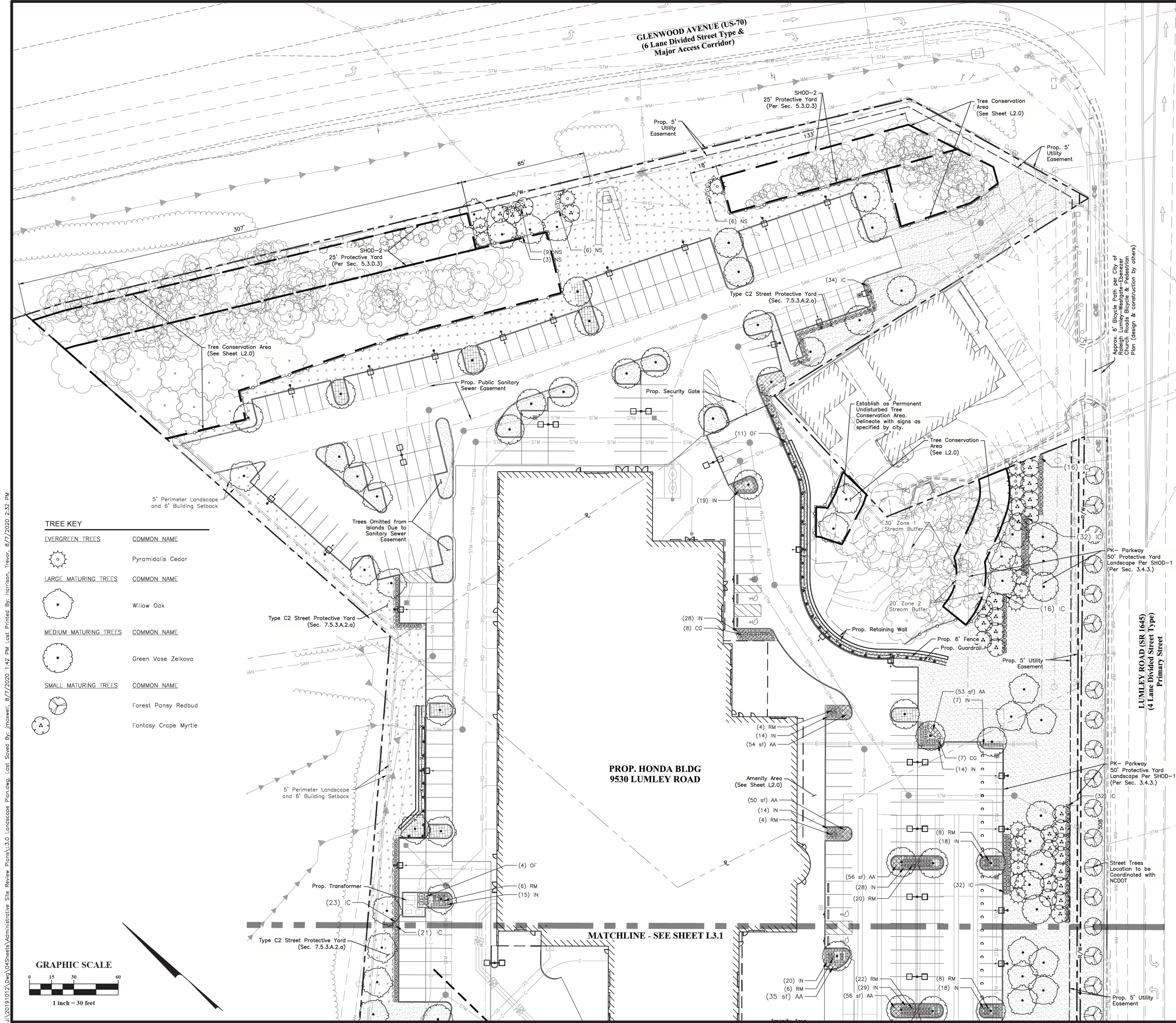
REVISIONS	
MARK	DATE DESCRIPTION

FOR
REGGIE JACKSON AIRPORT HONDA
9530 & 9600 LUMLEY ROAD
SITE PLAN

EMHT
ENGINEERS • ARCHITECTS • LANDSCAPE ARCHITECTS
10150 W. HARRIS BLVD., SUITE 200
DURHAM, NC 27703
PHONE: 919.286.7548
FAX: 919.286.7549
WWW.EMHT.COM

DATE	August 7, 2020
SCALE	1" = 30'
JOB NO.	20191012
SHEET	C4.2

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Landscape Requirements

Zoned: IX-3-PK

Sec. 3.4.3.F - Parkway (-PK)

50' Protective yard required

Must be landscaped in accordance with Sec. 5.3.1.F (SHOD-1)

7 Deciduous Trees, 3 Evergreen Trees, 6 Understory Trees, and 30

Shrubs / 100 LF

Existing trees 3" DBH and greater can be counted toward required trees

and required shrubs can be reduced by 50% if existing trees are 25'

tall per Sec. 5.3.5.G.

Required: 508 LF / 100 = 5.08 (36 Deciduous Trees, 16 Evergreen

Trees, 31 Understory Trees, 153 Shrubs)

Provided: 36 Deciduous Trees (11 Existing), 16 Evergreen Trees, 31

Understory Trees, 153 Shrubs

Sec. 5.3.1 - Special Highway Overlay District (-SHOD-2)

25 foot protective yard required along Glenwood Avenue

Protective yard must be established as Primary Tree Conservation Area

per Sec. 9.4.1.A.

SHOD-2 Planting Requirements: 3 Deciduous Trees, 2 Evergreen Trees, 3

Understory Trees, and 16 Shrubs required / 100 linear feet

Reduction Existing Trees:

Trees located between the building and street right of way 3" DBH and

larger can be credited toward the tree planting requirement.

Existing Trees account for ±440 lf of Frontage

Existing Billboard accounts for ±73 lf of Frontage

Required: 103 lf / 100 = 1.03 (4 Deciduous Trees, 3 Evergreen

Trees, 4 Understory Trees, and 18 Shrubs)

Provided: 4 Deciduous Trees, 3 Evergreen Trees, 4 Understory

Trees, and 18 Shrubs

Sec. 7.1.7C - Perimeter Islands

Landscape perimeter island shall be provided along primary internal

access drives

5' Wide, 30 Shrubs / 100 Linear Feet (3' Ht. after 3 years / 18" at

Install)

Required: ±360' / 100= 3.6x30= 108 Shrubs

Provided: 108 Shrubs

Sec. 7.1.7D - Interior Islands

Landscape interior island must be provided every 10 parking spaces (max.

spacing 30 spaces between terminal islands).

Required: 300 Spaces / 10 = 30 Islands

Provided: 30 Islands

Sec. 7.1.7E - Tree Coverage

1 shade tree required in interior and terminal islands and 1 shade tree

for every 2,000 square feet of parking area

Required: ±130,148 SF Parking Area / 2,000 = 65 Trees

Provided: 65 Trees (some islands do not have trees because of

utility easements)

Sec. 7.5.3 - Outdoor Storage

Required type C2 Protective Yard: 15' Width, 4 Shade Trees and 15

Shrubs / 100 lf, 5' Ht.

Provided: In areas where outdoor storage is adjacent to public roads or

adjacent properties without SHOD-2 or Parkway protective yards.

Sec. 8.5.1 Streetscape Types

Main Street- Street Trees required 1 per 40' on Center

Provided: 1 per 20' Small Maturing Trees (Overhead Electric)

Sec. 5.2.1 Airport Overlay District (-AOD)

1 Locally-adapted shade tree for every 2,000 SF of total site area

Required: ±332,363 SF x 0.35= ±116,327 SF Coverage

Provided: 65 Proposed Shade Trees x ±1,964 SF=

±127,660 SF Coverage

246 Existing Trees with 1,510 DBH =

±49,711 SF Coverage

Total = ±177,371 SF Coverage (±4.1 Ac)

Note:

1. Existing tree symbols are shown at a ratio equal to 1" DBH = 1.25'

Radius Critical Root Zone.

2. All proposed trees to comply with Chapter 2 of the City Tree Manual

guidelines for proximity from center of tree to infrastructure.

PLANT KEY

SHRUBS	COMMON NAME
CG	Golden Mop False Cypress
IC	Needlepoint Holly
IN	Dwarf Yaupon
NS	Dwarf Heavenly Bamboo
OF	Sweet Olive
RM	Red Drift Groundcover Rose
ANNUALS	COMMON NAME
AA	Annals

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	Sod
	Mulch
	Lawn (Sod, Seed, Mulch- Coordinate with Owner)



DATE	August 7, 2020
SCALE	1" = 30'
JOB NO.	20191012
SHEET	L3.0

REVISIONS

MARK	DATE	DESCRIPTION
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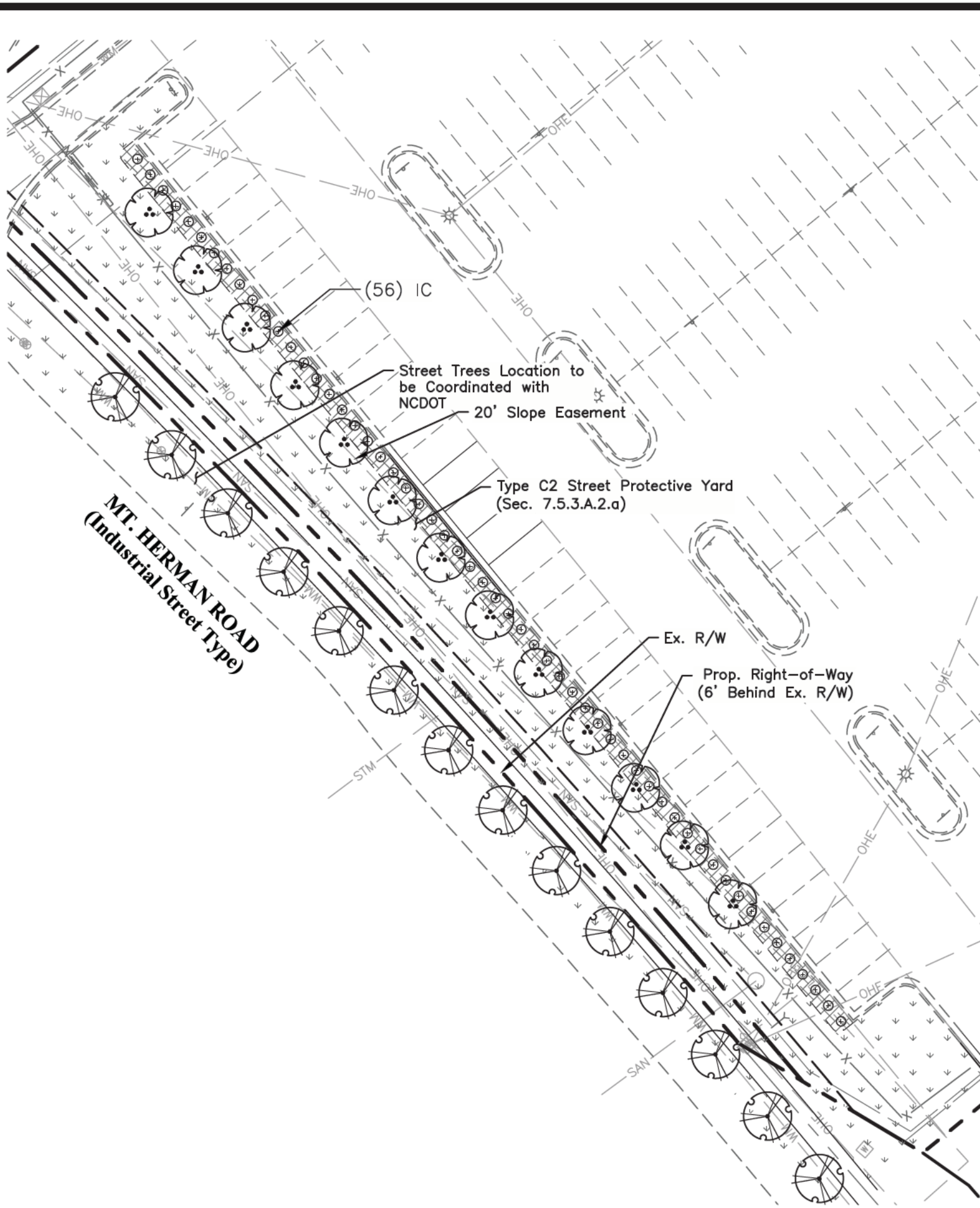
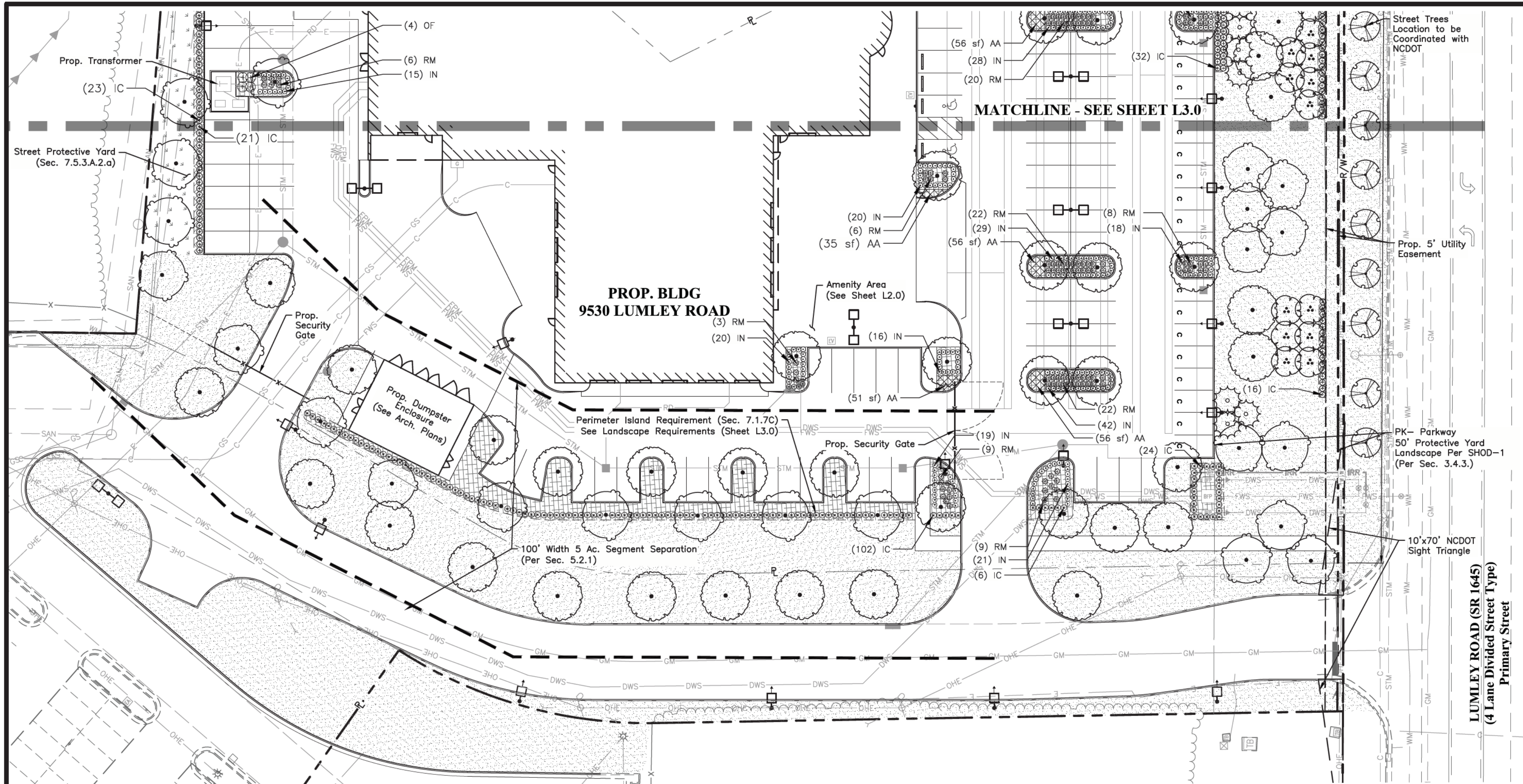


CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW PLANS
FOR
REGGIE JACKSON AIRPORT HONDA
9530 & 9600 LUMLEY ROAD
LANDSCAPE PLAN



DATE	August 7, 2020
SCALE	1" = 30'
JOB NO.	20191012
SHEET	L3.0

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PLANT SCHEDULE PROTECTIVE YARD- GLENWOOD AVENUE

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	3	Thuja occidentalis 'Pyramidalis'	Pyramidalis Cedar	8' Ht.	B&B
LARGE MATURING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	4	Quercus phellos 'Hightower'	Willow Oak	3" Cal. 10' Ht. Min.	B&B
SMALL MATURING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	4	Lagerstroemia fauriei 'Fantasy'	Fantasy Crape Myrtle	6' Ht.	Single Stem
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	18	Nandina domestica 'Compacta'	Dwarf Heavenly Bamboo	#3	Cont.

PLANT SCHEDULE PROTECTIVE YARD- LUMLEY

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	16	Thuja occidentalis 'Pyramidalis'	Pyramidalis Cedar	8' Ht.	B&B
LARGE MATURING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	16	Quercus phellos 'Hightower'	Willow Oak	3" Cal. 10' Ht. Min.	B&B
MEDIUM MATURING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	10	Zelkova serrata 'Green Vase'	Green Vase Zelkova	3" Cal. 10' Ht. Min.	B&B
SMALL MATURING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	31	Lagerstroemia fauriei 'Fantasy'	Fantasy Crape Myrtle	6' Ht.	Single Stem
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	153	Ilex cornuta 'Needlepoint'	Needlepoint Holly	18" Ht. min.	Cont.

PLANT SCHEDULE PARKING LOT AND PERIMETER

<u>LARGE MATURING TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONDITION</u>	
	24	Quercus phellos 'Hightower'	Willow Oak	3" Cal. 10' Ht. Min.	B&B	
<u>MEDIUM MATURING TREES</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONDITION</u>	
	47	Zelkova serrata 'Green Vase'	Green Vase Zelkova	3" Cal. 10' Ht. Min.	B&B	
<u>SHRUBS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONDITION</u>	
CG	15	Chamaecyparis pisifera 'Golden Map'	Golden Map False Cypress	#7	Cont.	
IC	221	Ilex cornuta 'Needlepoint'	Needlepoint Holly	18" Ht. min.	Cont.	
IN	342	Ilex vomitoria 'Nana'	Dwarf Yaupon	#3	Cont.	
OF	15	Osmanthus fragrans	Sweet Olive	36" Ht.	Cont.	
RM	121	Rosa x 'Meigalpio'	Red Drift Groundcover Rose	#3	Cont.	
<u>ANNUALS</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONDITION</u>	<u>SPACING</u>
AA	412 sf	Annuals Area	Annuals	Annual		

PLANT SCHEDULE PROTECTIVE YARD- MT. HERMAN ROAD

SMALL MATURING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	13	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	1.5" Cal.	B&B
	13	Lagerstroemia fauriei 'Fantasy'	Fantasy Crape Myrtle	6' Ht.	Single Stem
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	56	Ilex cornuta 'Needlepoint'	Needlepoint Holly	18" Ht. min.	Cont.

PLANT SCHEDULE PROTECTIVE YARD- ACCESS DRIVE

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	108	Ilex cornuta 'Needlepoint'	Needlepoint Holly	18" Ht. min.	Cont.

PLANT SCHEDULE STREET TREES

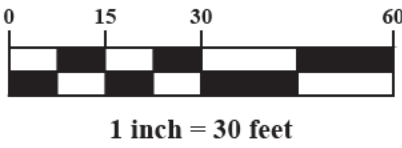
MEDIUM MATURING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	10	Zelkova serrata 'Green Vase'	Green Vase Zelkova	3" Cal. 10' Ht. Min.	B&B
SMALL MATURING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
	21	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	1.5" Cal.	B&B

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
	Sod
	Mulch
	Lawn (Sod, Seed, Mulch- Coordinate with Owner)



GRAPHIC SCALE



REVISIONS

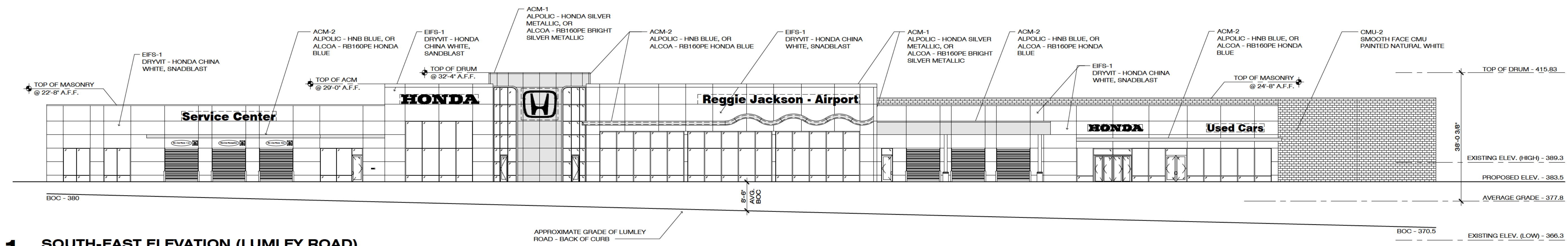
MARK	DATE	DESCRIPTION



CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW PLANS
FOR
REGGIE JACKSON AIRPORT HONDA
9530 & 9600 LUMLEY ROAD
LANDSCAPE PLAN

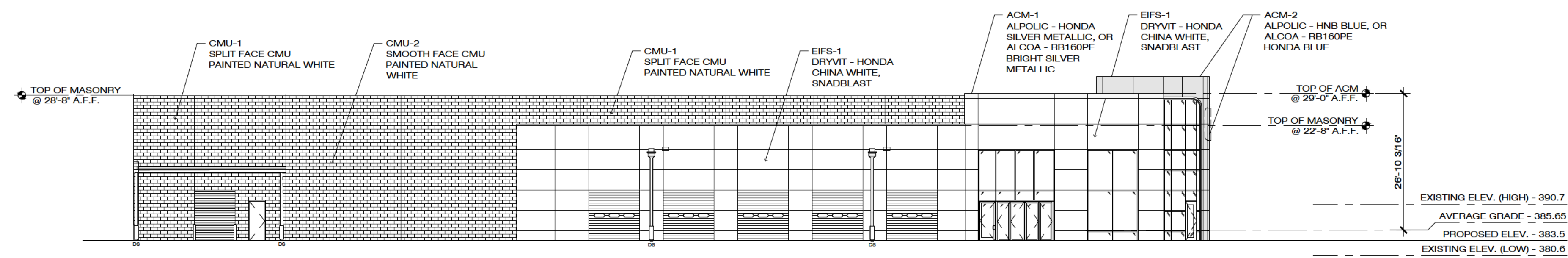


DATE
August 7, 2020
SCALE
1" = 30'
JOB NO.
20191012
SHEET
L3.1



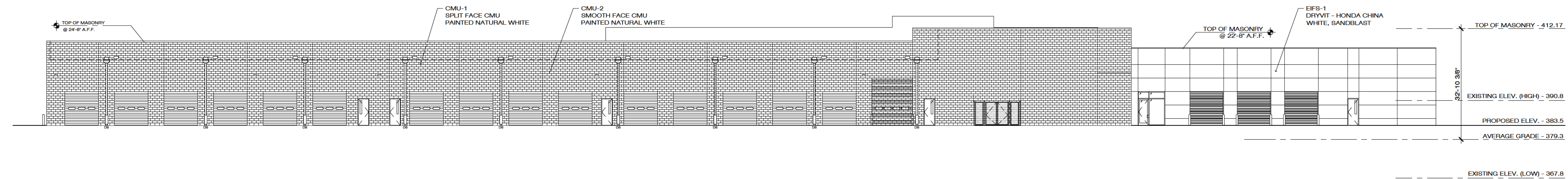
1 SOUTH-EAST ELEVATION (LUMLEY ROAD)

TRANSPARENCY PERCENTAGES		
	SURFACE AREA (SF = SQUARE FEET)	
	GROSS SF OF WALL	NET* OF GLAZING
	10,730 SF	3,354 SF
LUMLEY ROAD SOUTH-EAST ELEVATION	PERCENT OF NET*	31%



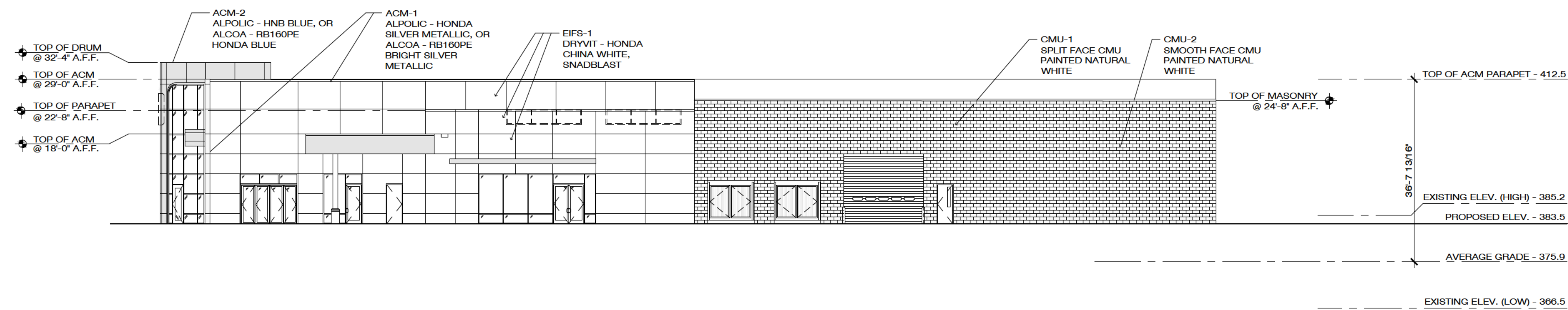
2 SOUTH-WEST ELEVATION

SCALE: 1/16" = 1'-0"



3 NORTH-WEST ELEVATION

SCALE: 1/16" = 1'-0"



4 NORTH-EAST ELEVATION

AVERAGE GRADE CALCULATION						
	EXISTING ELEVATIONS			PROPOSED ELEVATIONS		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
NW ELEVATION	390.8	367.8	379.3	383.5	383.5	383.5
NE ELEVATION	385.2	366.5	375.9	383.5	383.5	383.5
SE ELEVATION	389.3	366.3	377.8	383.5	383.5	383.5
SW ELEVATION	390.7	380.6	385.7	383.5	383.5	383.5
AVERAGE			379.7			383.5

* THE AVERAGE GRADE CALCULATIONS FOR THE EXISTING CONDITIONS IS MORE RESTRICTIVE THAN THE PROPOSED CONDITIONS, THEREFORE THE BUILDING HEIGHT IS MEASURED FROM THE AVERAGE GRADE OF THE EXISTING CONDITIONS.

EXTERIOR GENERAL NOTES

1	ALL SIGNAGE TO BE PERMITTED SEPARATELY.
2	ALL ROOFING MATERIAL SHALL BE A TPO MEMBRANE WITH A WHITE, MATTE FINISH TO SATISFY (Sec. 5,2.1-AOD, C.2) STATING THAT "ROOFTOPS SHALL BE UNIFORM IN COLOR AND MADE OF NON-REFLECTIVE MATERIAL."

REGGIE JACKSON AIRPORT HONDA

AUTOMOTIVE DEALERSHIP

RALEIGH, NC

[illegible]

OWNER'S PROJECT CODE
ARCHITECT'S PROJECT #

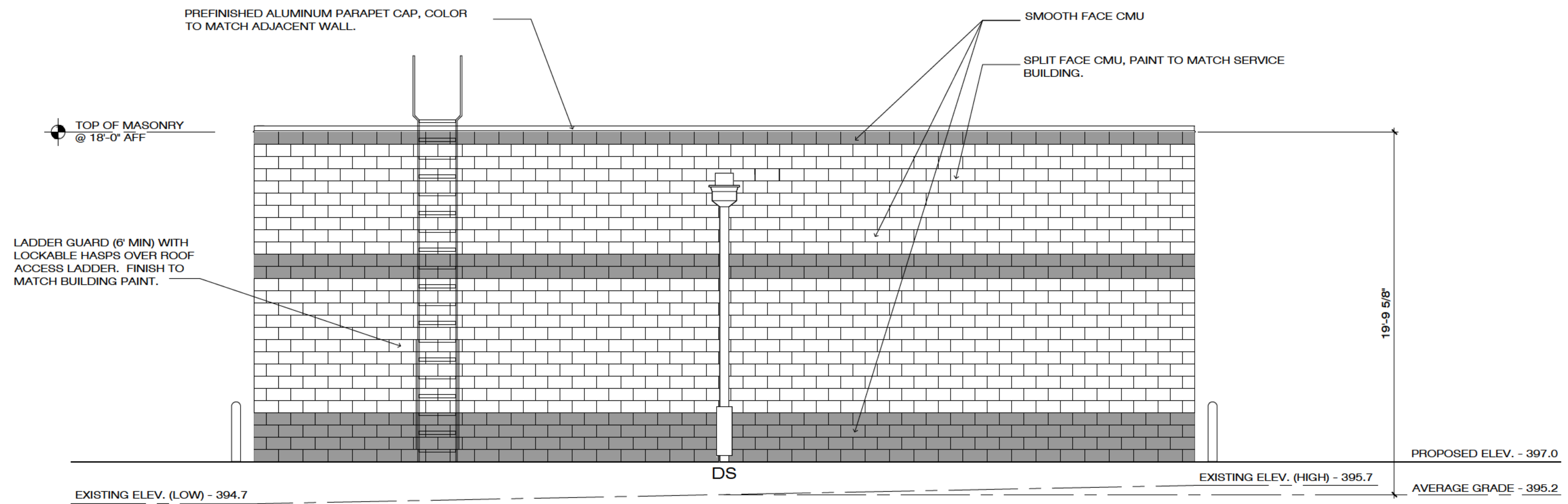
LUM
7-107

EXTERIOR ELEVATIONS - DEALERSHIP

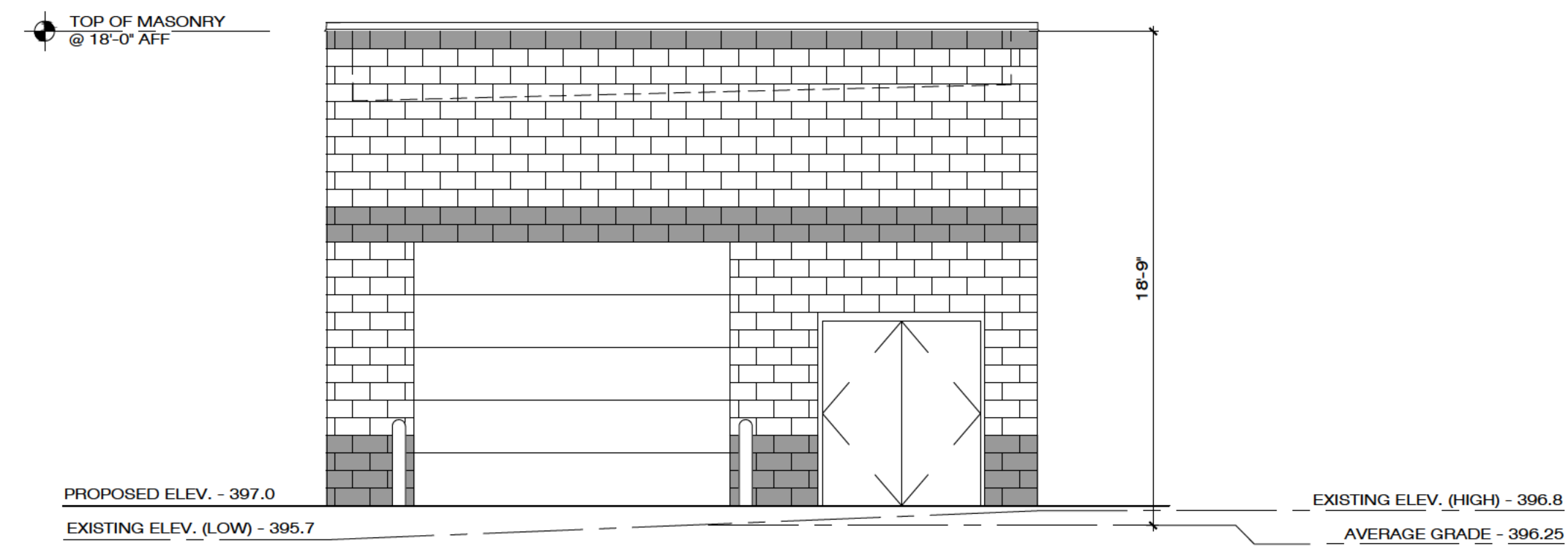
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SHEET #

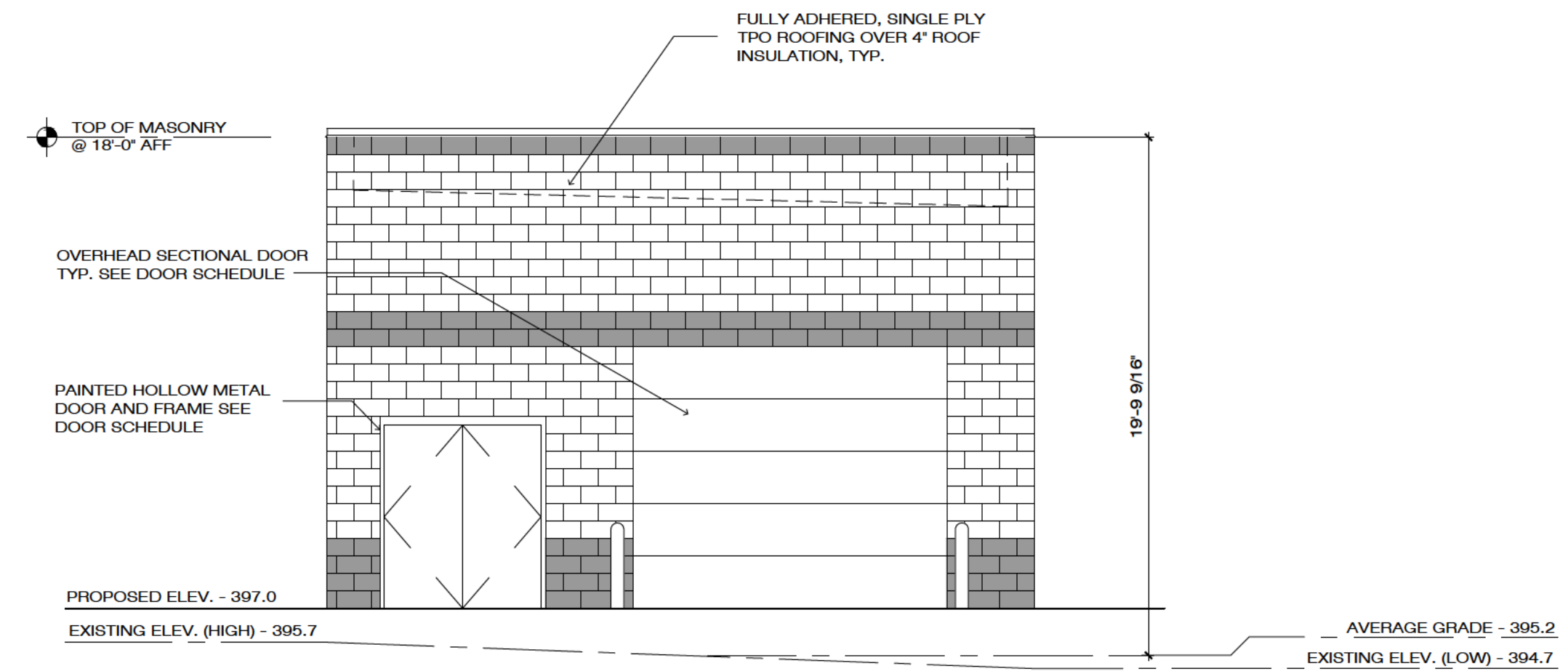
A5.0



1 CARWASH ELEVATION - NORTH



2 CARWASH ELEVATION - WEST



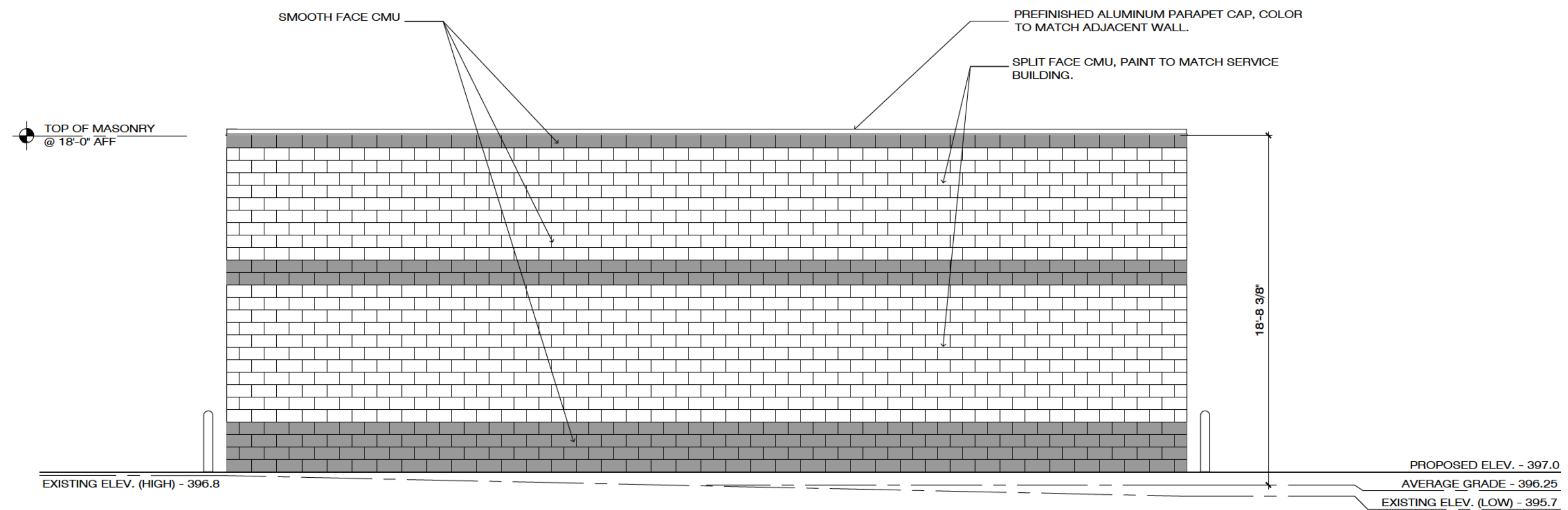
3 CARWASH ELEVATION - EAST

AVERAGE GRADE CALCULATION						
	EXISTING ELEVATIONS			PROPOSED ELEVATIONS		
	HIGHEST	LOWEST	AVERAGE	HIGHEST	LOWEST	AVERAGE
N ELEVATION	395.7	394.7	395.2	397.0	397.0	397.0
E ELEVATION	395.7	394.7	395.2	397.0	397.0	397.0
S ELEVATION	396.8	395.7	396.25	397.0	397.0	397.0
W ELEVATION	396.8	395.7	396.25	397.0	397.0	397.0
AVERAGE			395.7			397.0

* THE AVERAGE GRADE CALCULATIONS FOR THE EXISTING CONDITIONS IS MORE RESTRICTIVE THAN THE PROPOSED CONDITIONS, THEREFORE THE BUILDING HEIGHT IS MEASURED FROM THE AVERAGE GRADE OF THE EXISTING CONDITIONS.

EXTERIOR GENERAL NOTES

1	ALL ROOFING MATERIAL SHALL BE A TPO MEMBRANE WITH A WHITE, MATTE FINISH TO SATISFY (Sec. 5.2.1-AOD, C.2) STATING THAT "ROOFTOPS SHALL BE UNIFORM IN COLOR AND MADE OF NON-REFLECTIVE MATERIAL."
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4 CARWASH ELEVATION - NORTH