



# Administrative Approval Action

Case File / Name: ASR-0018-2023  
DSLCL - Aura Blue Ridge

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** This 4.66 acre site zoned OX-12-UL-CU (TCZ-78-22) is located on the eastern side of the intersection of Blue Ridge Road and Westchase Blvd. at 1520 Blue Ridge Road.
- REQUEST:** This is a proposed five story 372 dwelling unit Multi-Family building with associated parking and infrastructure. An existing hotel on site will be demolished.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 14, 2023 by Trinsic Acquisition Company LLC.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Site Permitting Review plans:**

### Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.
2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.
3. With the updates at the intersection, frontage requirements and shift in transit stop the ramps at the intersection need to be updated for pedestrians where is not shown at Westinghouse and Blue Ridge Road.

### Public Utilities

4. A deed shall be recorded prior to construction approval (SPR) for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

### Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
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**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

### Stormwater

1. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
3. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

**The following items must be approved prior to the issuance of building permits:**

### General

1. A recombination map shall be recorded, recombining the existing lots into a single tract.

### Engineering



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2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
5. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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9. If total land disturbance will be over 12,000 sq. ft. for multiple houses, a separate site plan submittal & approval will be required. Site plans require an erosion control plan. (UDO 9.4.6.)

## Urban Forestry

10. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 12 street trees along Blue Ridge Road.
11. A public infrastructure surety for 6 street trees along Blue Ridge Road shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## *The following are required prior to issuance of building occupancy permit:*

### General

1. Final inspection of all right of way street trees by Urban Forestry Staff.
2. All street lights and street signs required as part of the development approval are installed.
3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

### Stormwater

4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** March 27, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified



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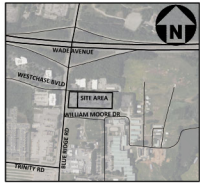
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time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: \_\_\_\_\_ *Michael Walters* \_\_\_\_\_ Date: 03/27/2024  
Development Services Dir/Designee  
Staff Coordinator: Michael Walters



VICINITY MAP  
1" = 1000'

Administrative Site Review Application

Planning and Development Customer Service Center • 7100 Hargett Park, Suite 401 • Raleigh, NC 27617 • (919) 996-2000

Office Use Only (Case #) \_\_\_\_\_ (Person name) \_\_\_\_\_

Site Plan Tab: Tar Type Site Plan, Tar Three Site Plan, Tar Three Site Plan

Building Type	Foundation or Wall	Site Transition History
<input type="checkbox"/> Commercial	<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Addition
<input type="checkbox"/> Industrial	<input type="checkbox"/> Certificate of Appropriateness #	<input type="checkbox"/> Board of Adjustment #
<input type="checkbox"/> Warehouse	<input type="checkbox"/> Clearing Case # [ ]	<input type="checkbox"/> Zoning Case # [ ]
<input type="checkbox"/> Townhome	<input type="checkbox"/> Clearing Case # [ ]	<input type="checkbox"/> Zoning Case # [ ]
<input type="checkbox"/> The Home	<input type="checkbox"/> Other	<input type="checkbox"/> Other

GENERAL INFORMATION

Development Name: Aura Blue Ridge  
Parcel ID: 0784669712, 0784670212  
Site No.: 0784669712, 0784670212  
Address: 1520 Blue Ridge Rd, Raleigh NC 27607

Current Property Owner: Sir Clayton Duffin, LLC, Sir Vinyard, LLC  
Address: 1520 Blue Ridge Rd, Raleigh NC 27607

Phone # 919-417-3051  
Email: jbrun@mcadamsco.com

Developer Contact: Justin Brown  
Company: TRINSC Acquisition Company LLC  
Address: 302 S Main Street, Suite 206, Holly Springs, 27540



Raleigh Fire Department  
City of Raleigh  
201 NORTH CAROLINA ADMINISTRATIVE CODE AND POLICES

Alternate Material, Design or Methods Application

Designation No. \_\_\_\_\_  
Design Professional: Spencer Christensen, Phase # 919-287-0722

Building Address: 1520 Blue Ridge Road

This note section requires 303.2.3 Design and maintain fire access to accept the proposed design of fire response and egress to provide all member existing applications.

DEVELOPMENT TYPE - SITE DATA TABLE

SITE DATA	BUILDING DATA
Area (SQ FT) (minimum to a maximum of 100,000)	Existing gross floor area (SQ FT) (minimum to a maximum of 100,000)
Lot Area (SQ FT) (100,000 to 1,000,000)	Lot Area (SQ FT) (100,000 to 1,000,000)
Number of Units	Number of Units

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

Signature: \_\_\_\_\_  
Printed Name: Ryan D. Bruner, TRINSC Acquisition Company, LLC

# AURA BLUE RIDGE

1520 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA

## ADMINISTRATIVE SITE REVIEW

CITY OF RALEIGH ASR CASE #: ASR-0018-2023

PROJECT NUMBER: TRG-22002

DATE: MARCH 3, 2023

REVISION DATE: DECEMBER 14, 2023

SITE DATA

PANEL: P/N NUMBER:	P/N: 0784669712, 0784670212, REAL ESTATE ID: 0466274_0096702
EXISTING ZONING:	OS-2 (OS-2U)
OVI/LAY DISTRICT:	N/A
WATERSHED:	NEUSE
FLOODPLAIN/FIRM PANEL:	372076800F
PROJECT AREA:	4.66 AC (202,590 SF)
EXISTING USE:	HOTEL
PROPOSED USE:	MULTI-FAMILY
VEHICLE PARKING:	MAXIMUM: 01 8 BEDROOM, 1.5 SPACES PER UNIT (241 UNITS X 1.5 = 362 SPACES) 2 BEDROOM, 2.5 SPACES PER UNIT (124 UNITS X 2.5 = 310 SPACES) TOTAL: 672 SPACES PROPOSED: 568 SPACES
ACCESSIBLE PARKING:	REQUIRED: 3 SPACES 2 VAN ACCESSIBLE SPACES PROPOSED: 18 ACCESSIBLE SPACES 4 VAN ACCESSIBLE SPACES TOTAL: 22 ACCESSIBLE SPACES
BIKE PARKING:	REQUIRED: SHORT TERM: 1 SPACE PER 30 UNITS, WITH 4 LONG TERM: 1 SPACE PER 100 UNITS (1372 UNITS / 10 = 137 SPACES) TOTAL: 30 SHORT TERM, 72 LONG TERM PROPOSED: 19 SHORT TERM, 72 LONG TERM
PARKING SETBACK:	REQUIRED: PRIMARY STREET: 10' SIDE STREET: 10' REAR LOT: 0' ALLEY: 0' PROPOSED: PRIMARY STREET: 10' SIDE STREET: 10' REAR LOT: 0' ALLEY: 0'
BUILDING SETBACK:	REQUIRED: PRIMARY STREET: 5' SIDE STREET: 5' REAR LOT: 0' ALLEY: 0' PROPOSED: PRIMARY STREET: 5' SIDE STREET: 5' REAR LOT: 0' ALLEY: 0'
BUILDING HEIGHT:	MAXIMUM: 12 STORIES PROPOSED: 5 STORIES - BASEMENT 400 UNITS
DWELLING UNITS:	PROPOSED: STUDIO: 70 UNITS 1-BED: 150 UNITS 2-BED: 100 UNITS TOTAL: 370 UNITS
OUTDOOR AMENITY AREA:	REQUIRED: 10% SITE AREA: 0.47 AC (20,299 SF)
TREE CONSERVATION:	PROPOSED: 10% SITE AREA: 0.47 AC (20,299 SF)
RESTORED AREA:	PROPOSED: N/A

SHEET INDEX

C0.00	NOTES SHEET
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C2.01	SIGHT DISTANCE PLAN
C2.02	FIRE PROTECTION PLAN
C2.03	SOLID WASTE PLAN
C2.04	DRIVEWAY EXHIBIT
C3.00	GRAVING PLAN
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	SITE DETAILS
C8.03	WATER DETAILS
C8.04	WATER DETAILS
C8.05	WATER DETAILS
C8.06	WATER DETAILS
C8.07	SANITARY SEWER DETAILS
C8.08	STORM DRAINAGE DETAILS
C8.09	STORM DRAINAGE DETAILS
C9.00	SCM A PLAN VIEW
C9.01	SCM A SECTION VIEW

ADDITIONAL SHEETS FROM OTHERS

LP1.00	CODE LANDSCAPE AND AMENITY PLAN
LP2.00	PLANT DETAILS
EL1.01	SITE LIGHTING PLAN
ASR-1.0	ASR OVERALL BASEMENT FLOOR PLAN
ASR-1.1	ASR OVERALL 1ST FLOOR PLAN
ASR-1.2	ASR OVERALL 2ND FLOOR PLAN
ASR-1.3	ASR OVERALL 3RD FLOOR PLAN
ASR-1.4	ASR OVERALL 4TH FLOOR PLAN
ASR-1.5	ASR OVERALL 5TH FLOOR PLAN
ASR-1.6	ASR PARKING PLAN
ASR-2.1	ASR ELEVATIONS

SOLID WASTE NOTES:

THE RESIDENTS WILL BE SERVED BY VALET TRASH. HOWEVER, EACH FLOOR WILL HAVE ACCESS TO REGULAR, IN-DOOR CONTAINERS FOR SOLID WASTE. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR PROVIDING THE ROOMS TO CONTAIN A COMPACTOR. ALL REGULAR TRASH WILL BE DEPOSITED INTO THE COMPACTOR AND THE COMPACTOR WILL BE MAINTAINED BY THE TRASH HAULING COMPANY. THE TRASH HAULING COMPANY WILL NOT NEED TO TIP THE DUMPSTER IF THE COMPACTOR WILL BE DELETED TO GRADE. SOLID WASTE COMPANY WILL NOT NEED TO TIP THE DUMPSTER IF THE COMPACTOR WILL BE DELETED TO GRADE.

ZONING NOTES:

DEVELOPMENT AND DESIGN SHALL BE IN ACCORDANCE WITH THE CONDITIONS LISTED IN THE 1520 BLUE RIDGE ROAD APPROVED ORDINANCE REZONING CONDITIONS LISTED IN THE APPROVED ORDINANCE ADOPTED BY COUNCIL FEBRUARY 21, 2023, REZONING CASE #PC23-78-22.

TREE CONSERVATION NOTE:

THE CONSERVATION NOTES PRIORITY 0, ZONED OS-2(U), AND PFD LOT SECTION 9-1.3.A.2, ANY EXISTING TREE CONSERVATION AREA IN CONTACT WITH A BUILD-TO-TOUCHMENT (BT) SHALL BE MAINTAINED AND PROTECTED TO THE EXTENT POSSIBLE. THE OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF A BUILD-TO-TOUCHMENT. AN EVALUATION OF THE EXISTING AND PROPOSED IMPACT TO CRITICAL ROOT SYSTEMS WAS PERFORMED. NO EXISTING TREES EXIST ALONG THE NORTHERN PROPERTY LINE.

GENERAL NOTES:

BLOCK PRIMITIVE: PER LOT SECTION 8.3.2.1.B.10, THE BLOCK PRIMITIVE MAXIMUMS SHALL NOT BE REQUIRED WHEN THE FOLLOWING CONDITIONS ARE MET: THE PROPERTY TO BE DEVELOPED OR THE ADJACENT PROPERTY TO WHICH ANY NEW STREET OR STUB STREET IS BEING CONTINUED CONTAINS ONE OR MORE OF THE FOLLOWING LAND USES: HISTORIC LANDMARK, CEMETERY, LANDMARK, HOSPITAL, SCHOOL, PUBLIC OR PRIVATE (K-12), COLLEGE, COMMUNITY COLLEGE, UNIVERSITY, PLACE OF WORSHIP, POLICE STATION, FIRE STATION, PARK STATION, OR ANY RESIDENTIAL USE IN AN ATTACHED, TINY HOUSE, OR DETACHED BUILDING TYPE ON LOTS NO LARGER THAN 2 ACRES, SINCE THE ADJACENT PROPERTIES WHERE A STREET OR STUB STREET WOULD CONNECT TO ARE PART OF THE NORTH CAROLINA STATE UNIVERSITY VETERINARY SCHOOL CAMPUS, THIS PROPERTY WOULD BE EXEMPT FROM THE REQUIREMENTS.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, or other utility, shall be responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4546 at least 10 business days prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require rehabilitation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

CONTACT  
Spencer Christensen, PE  
christensens@mcadamsco.com  
Phone: 919-287-0722

CLIENT  
TRINSC ACQUISITION GROUP  
322 E. CHAPEL HILL STREET  
RALEIGH, NORTH CAROLINA, 27701  
JUSTIN BROWN  
PHONE: 919-417-3051

ARCHITECT  
CLINE DESIGN ASSOCIATES  
125 N HARRINGTON STREET  
RALEIGH, NC 27603  
PHONE: 919.833.6413



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NC811. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NC DOT STANDARDS, SPECIFICATIONS AND DETAILS.

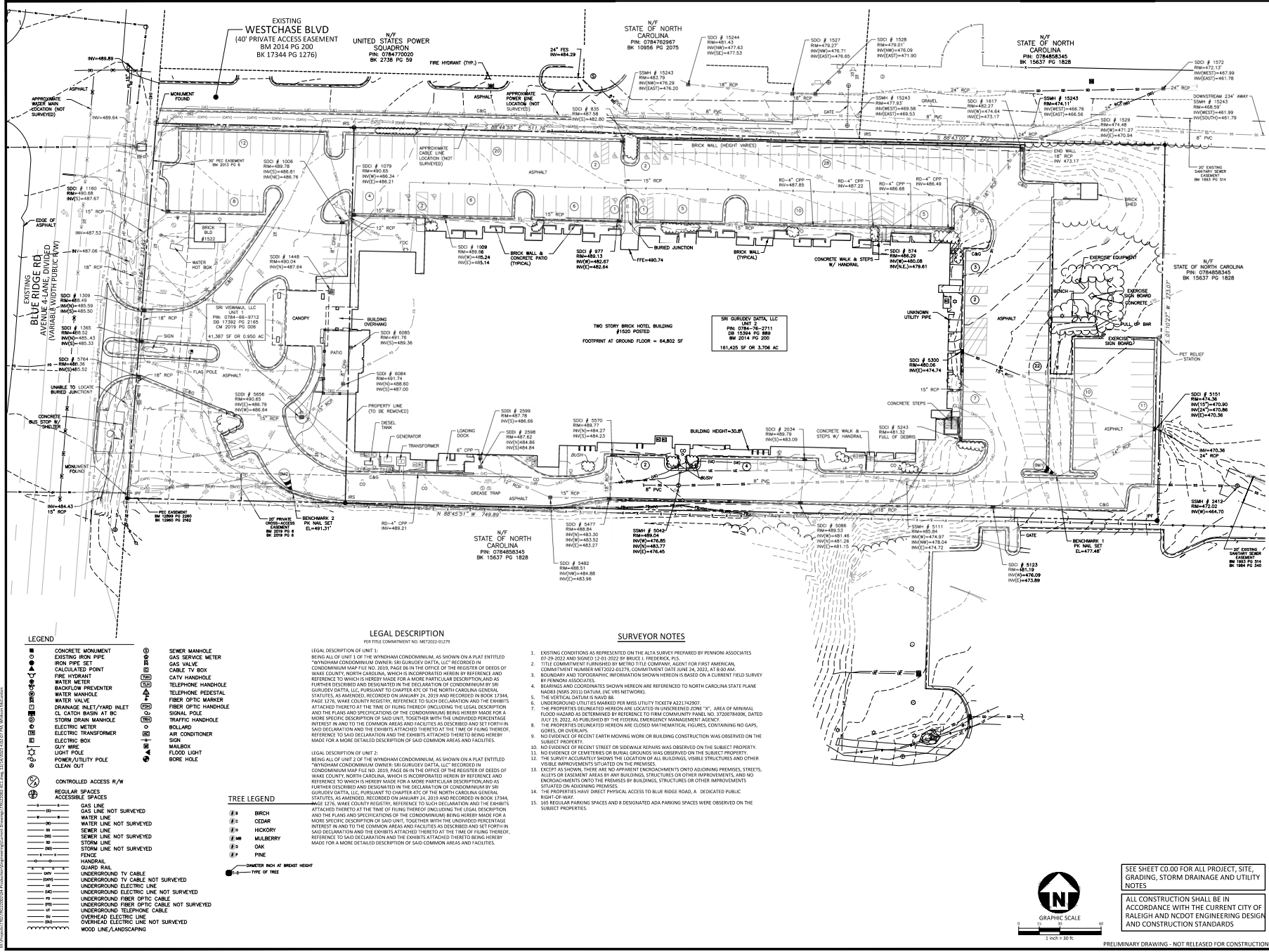
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PROJECT NUMBER: TRG-22002



**CLIENT**  
TRINISC ACQUISITION GROUP  
322 E. CHAPEL HILL STREET  
DURHAM, NORTH CAROLINA, 27701  
JUSTIN BROWN  
PHONE: 919-417-3051



**AURA BLUE RIDGE  
ADMINISTRATIVE SITE REVIEW  
1520 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA**



**LEGEND**

■ CONCRETE MONUMENT	○ EXISTING IRON PIPE	○ SEWER MANHOLE	○ GAS SERVICE METER
○ EXISTING IRON PIPE	○ IRON PIPE SET	○ GAS VALVE	○ CABLE TV BOX
○ CALCULATED POINT	○ FIRE HYDRANT	○ CATV HANDHOLE	○ TELEPHONE HANDHOLE
○ WATER METER	○ BACKFLOW PREVENTER	○ TELEPHONE PEDESTAL	○ FIBER OPTIC MARKER
○ WATER VALVE	○ DRAINAGE INLET/YARD INLET	○ SIGNAL POLE	○ TRAFFIC HANDHOLE
○ CL. CATCHER BASK AT BC	○ STORM DRAIN MANHOLE	○ BOLLARD	○ AIR CONDITIONER
○ ELECTRIC METER	○ ELECTRIC TRANSFORMER	○ SIGN	○ MANSARD
○ 6/11 WIRE	○ LIGHT POLE	○ FLOOD LIGHT	○ BORE HOLE
○ ELECTRIC BOX	○ 6/11 WIRE		
○ LIGHT POLE	○ POWER/UTILITY POLE		
○ CLEAN OUT			
○ CONTROLLED ACCESS R/W			
○ REGULAR SPACES			
○ ACCESSIBLE SPACES			
○ GAS LINE	○ GAS LINE NOT SURVEYED		
○ WATER LINE	○ WATER LINE NOT SURVEYED		
○ SEWER LINE	○ SEWER LINE NOT SURVEYED		
○ STORM LINE	○ STORM LINE NOT SURVEYED		
○ FENCE			
○ HANDRAIL			
○ GUARD RAIL			
○ UNDERGROUND TV CABLE	○ UNDERGROUND TV CABLE NOT SURVEYED		
○ UNDERGROUND ELECTRIC LINE	○ UNDERGROUND ELECTRIC LINE NOT SURVEYED		
○ UNDERGROUND FIBER OPTIC CABLE	○ UNDERGROUND FIBER OPTIC CABLE NOT SURVEYED		
○ OVERHEAD ELECTRIC LINE	○ OVERHEAD ELECTRIC LINE NOT SURVEYED		
○ WOOD LINE/LANDSCAPING			

**TREE LEGEND**

○ BIRCH	○ CEDAR
○ HICKORY	○ MULBERRY
○ OAK	○ PINE

○ DIAMETER INCH AT BREAST HEIGHT  
○ TYPE OF TREE

**LEGAL DESCRIPTION**  
PER TITLE COMMITMENT NO. MET2002-01279

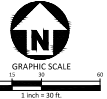
**LEGAL DESCRIPTION OF UNIT 1:**  
BEING ALL OF UNIT 1 OF THE WINDHAM CONDOMINIUM, AS SHOWN ON A PLAT ENTITLED "WINDHAM CONDOMINIUM OWNERS' SR SURVEY DATA, LCC" RECORDED IN CONDOMINIUM MAP FILE NO. 2016, PAGE 56 IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY, NORTH CAROLINA, WHICH IS INCORPORATED HEREIN BY REFERENCE AND REFERENCE TO WHICH IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION AND AS FURTHER DESCRIBED AND DESIGNATED IN THE DECLARATION OF CONDOMINIUM BY SR SURVEY DATA, LCC, PURSUANT TO CHAPTER 40C OF THE NORTH CAROLINA GENERAL STATUTES, AS AMENDED, RECORDED ON JANUARY 24, 2015 AND RECORDED IN BOOK 13744, PAGE 3776, WAKE COUNTY REGISTRY, REFERENCES TO SAID DECLARATION AND THE EXHIBITS ATTACHED THERETO BEING HEREBY MADE FOR A MORE DETAILED DESCRIPTION OF SAID COMMON AREAS AND FACILITIES.

**LEGAL DESCRIPTION OF UNIT 2:**  
BEING ALL OF UNIT 2 OF THE WINDHAM CONDOMINIUM, AS SHOWN ON A PLAT ENTITLED "WINDHAM CONDOMINIUM OWNERS' SR SURVEY DATA, LCC" RECORDED IN CONDOMINIUM MAP FILE NO. 2016, PAGE 56 IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY, NORTH CAROLINA, WHICH IS INCORPORATED HEREIN BY REFERENCE AND REFERENCE TO WHICH IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION AND AS FURTHER DESCRIBED AND DESIGNATED IN THE DECLARATION OF CONDOMINIUM BY SR SURVEY DATA, LCC, PURSUANT TO CHAPTER 40C OF THE NORTH CAROLINA GENERAL STATUTES, AS AMENDED, RECORDED ON JANUARY 24, 2015 AND RECORDED IN BOOK 13744, PAGE 3776, WAKE COUNTY REGISTRY, REFERENCES TO SAID DECLARATION AND THE EXHIBITS ATTACHED THERETO BEING HEREBY MADE FOR A MORE DETAILED DESCRIPTION OF SAID COMMON AREAS AND FACILITIES.

**SURVEYOR NOTES**

- EXISTING CONDITIONS AS REPRESENTED ON THE ALTA SURVEY PREPARED BY PENNING ASSOCIATES 07-29-2002 AND SIGNED 12-01-2002 BY BRUCE J. FREDERICK, PLS.
- TITLE COMMITMENT FURNISHED BY METRO TITLE COMPANY, AGENT FOR FIRST AMERICAN, COMMITMENT NUMBER MET2002-01279, COMMITMENT DATE JUNE 24, 2021, AT 8:00 AM.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON A CURRENT FIELD SURVEY BY PENNING ASSOCIATES.
- BOUNDARY AND COORDINATE DATA SHOWN HEREON ARE REFERENCED TO NORTH CAROLINA STATE PLANE NAD83 (FIPS 3101 DATUM, IUGA WGS 1984).
- THE VERTICAL DATUM IS NAVD 83.
- UNDERGROUND UTILITIES MARKED FOR MISS UTILITY TICKETS A221627007.
- THE PROPERTY CALCULATED HEREON ARE LOCATED IN UNDEVELOPED ZONE "X", AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY REFERENCE TO FIRM COMMUNITY PANEL NO. 1720287800Q DATED JULY 15, 2002, AS PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- THE PROPERTY CALCULATED HEREON ARE CLOSED MATHEMATICAL FIGURES, CONTAINING NO GAPS, GORES, OR OVERTS.
- NO EVIDENCE OF RECENT EARTH MOVING WORK OR BUILDING CONSTRUCTION WAS OBSERVED ON THE SUBJECT PROPERTY.
- NO EVIDENCE OF RECENT STREET OR SIDEWALK REPAIRS WAS OBSERVED ON THE SUBJECT PROPERTY.
- NO EVIDENCE OF CEMETRIES OR BURIAL GROUNDS WAS OBSERVED ON THE SUBJECT PROPERTY.
- THE SURVEY ACCURACY SHOWS THE LOCATION OF ALL BUILDINGS, VISIBLE STRUCTURES AND OTHER VISIBLE IMPROVEMENTS SITUATED ON THE PREMISES.
- EXCEPT AS SHOWN, THERE ARE NO APPARENT ENCUMBRANCES OR ADJOINING PREMISES, STREETS, ALLEYS OR EASEMENT AREAS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS, AND NO ENCUMBRANCES ONTO THE PREMISES BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES.
- THE PROPERTY HAS DIRECT PHYSICAL ACCESS TO BLUE RIDGE ROAD, A DESIGNATED PUBLIC RIGHT-OF-WAY.
- NO REGULAR PAVING SPACES AND DESIGNATED ADA PARKING SPACES WERE OBSERVED ON THE SUBJECT PROPERTY.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

**PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION**

**REVISONS**

NO.	DATE	DESCRIPTION
1	06.07.2023	PER CDR 3RD ASR COMMENTS
2	09.01.2023	PER CDR 2ND ASR COMMENTS
3	12.14.2023	PER CDR 4TH ASR COMMENTS
4		
5		

**PLAN INFORMATION**

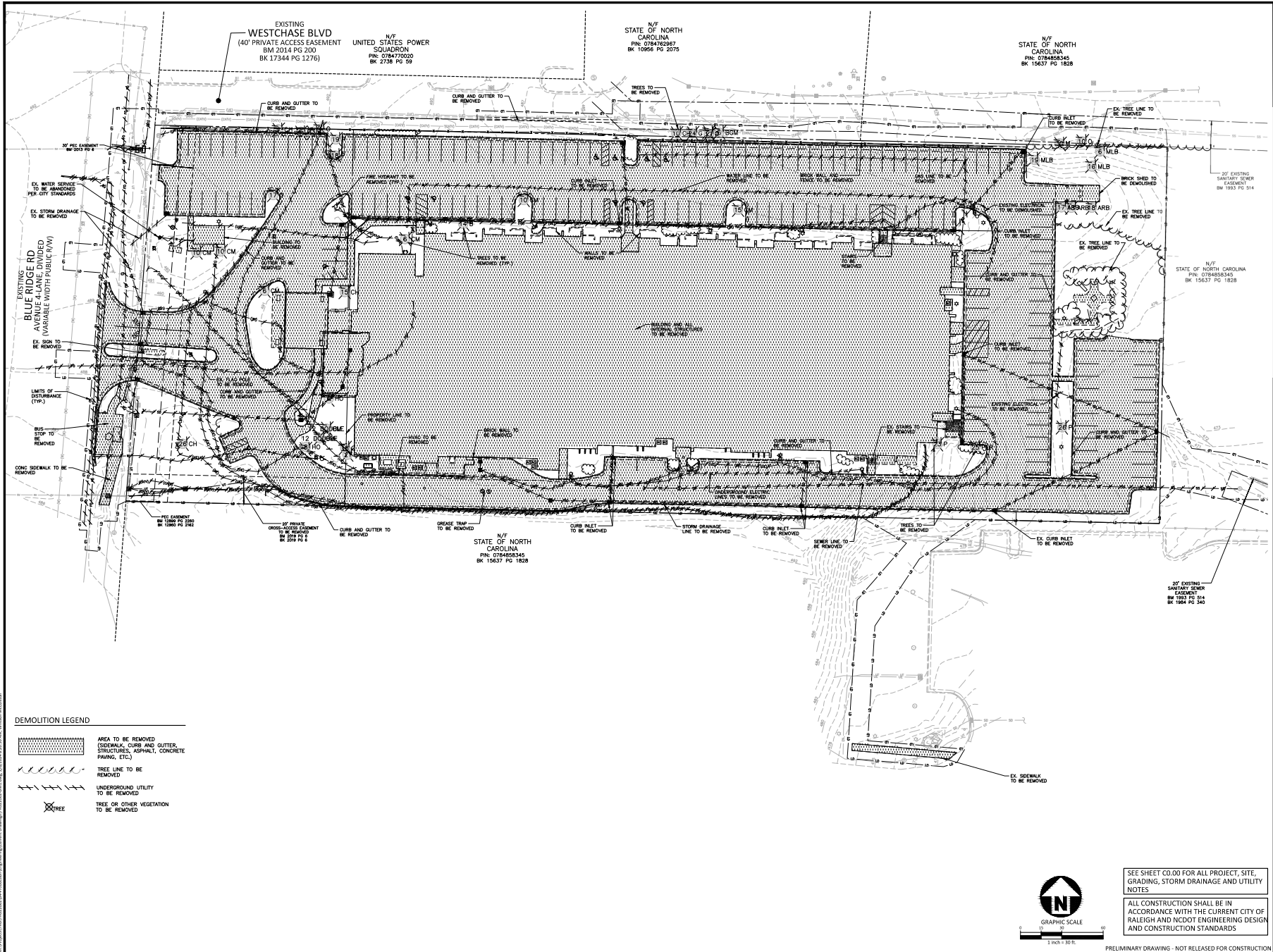
PROJECT NO. TRG-22000  
FILENAME TRG22002-XC1  
CHECKED BY SIC  
DRAWN BY LUT/BP  
SCALE 1" = 30'  
DATE 03.03.2023

**SHEET**

**EXISTING CONDITIONS**

**C1.00**





**McADAMS**

The John R. McAdams Company, Inc.  
 621 Hillsborough Street  
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 Raleigh, NC 27603  
 phone 919.361.5000  
 fax 919.361.2269  
 license number: C-02933, C-187  
 www.mcadamsco.com

**CLIENT**  
 TRINSCIC ACQUISITION GROUP  
 322 E. CHAPEL HILL STREET  
 DURHAM, NORTH CAROLINA, 27701  
 JUSTIN BROWN  
 PHONE: 919-417-3051



**AURA BLUE RIDGE  
 ADMINISTRATIVE SITE REVIEW  
 1520 BLUE RIDGE ROAD  
 RALEIGH, NORTH CAROLINA**



**REVISIONS**

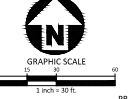
NO.	DATE	DESCRIPTION
1	06.07.2023	PER COOR 3RD ASH COMMENTS
2	09.01.2023	PER COOR 2ND ASH COMMENTS
3	12.14.2023	PER COOR 3RD ASH COMMENTS
4		
5		
6		

**PLAN INFORMATION**

PROJECT NO.	TRG-22002
FILENAME	TRG22002-DM1
CHECKED BY	SIC
DRAWN BY	LIU/TBP
SCALE	1" = 30'
DATE	03.03.2023

**DEMOLITION PLAN  
 C1.01**

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES  
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PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION



**McADAMS**

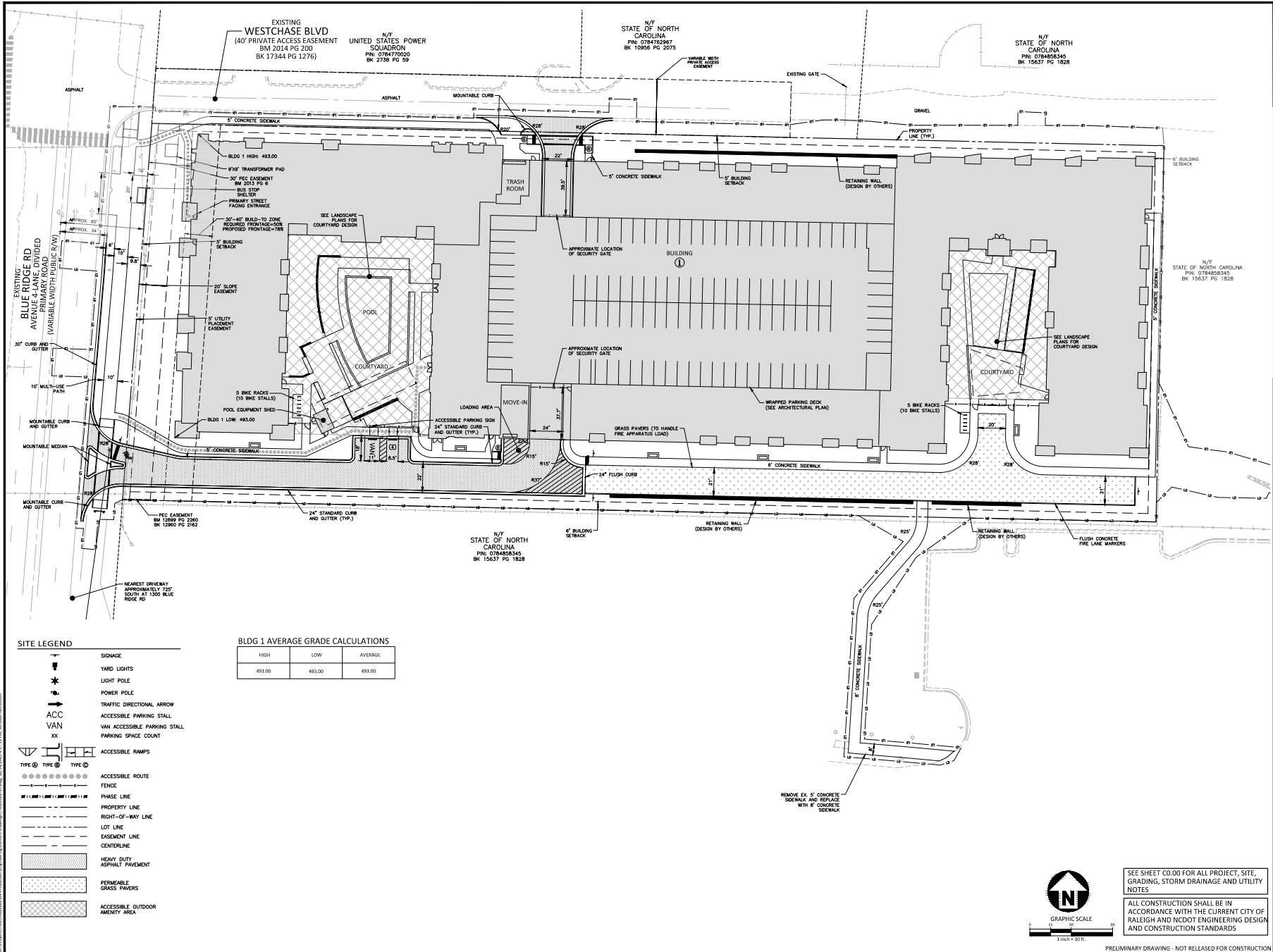
The John R. McAdams Company, Inc.  
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**AURA BLUE RIDGE  
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1520 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA**

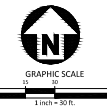


**SITE LEGEND**

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- FENCE LINE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT
- PERMEABLE GRASS PAVERS
- ACCESSIBLE OUTDOOR AMENITY AREA

**BLDG 1 AVERAGE GRADE CALCULATIONS**

HIGH	LOW	AVERAGE
493.00	493.00	493.00



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**REVISIONS**

NO.	DATE	DESCRIPTION
1	06.07.2023	PER COR 3RD ASH COMMENTS
2	09.01.2023	PER COR 2ND ASH COMMENTS
3	12.14.2023	PER COR 3RD ASH COMMENTS
4		
5		
6		

**PLAN INFORMATION**

PROJECT NO. TRG-22002  
FILENAME TRG22002-S1  
CHECKED BY SIC  
DRAWN BY LU/TBP  
SCALE 1" = 30'  
DATE 03.03.2023

**SHEET**

**SITE PLAN**

**C2.00**



**MCADAMS**

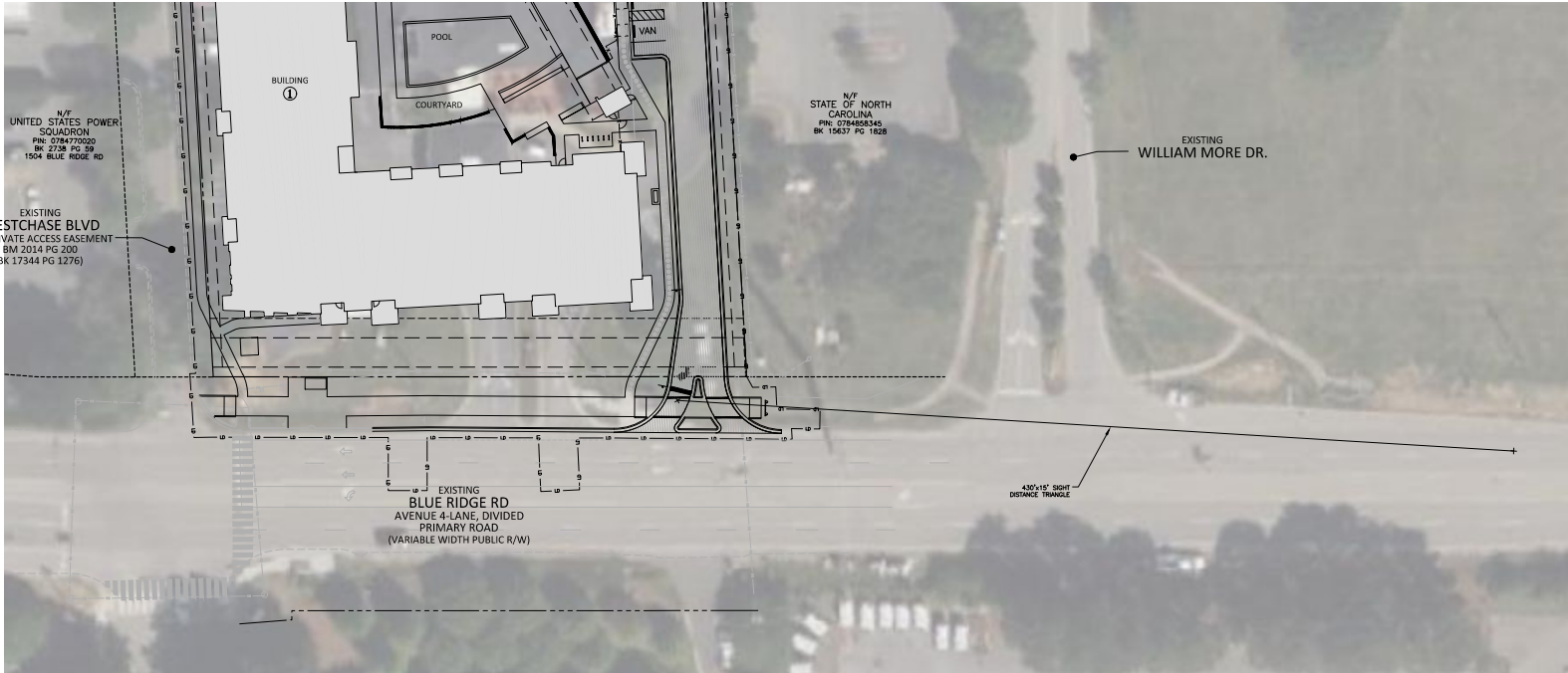
The John R. McAdams Company, Inc.  
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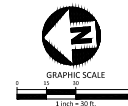


**AURA BLUE RIDGE  
ADMINISTRATIVE SITE REVIEW  
1520 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA**



**SITE LEGEND**

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACC ACCESSIBLE PARKING STALL
- VAN VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMP
- TYPE 1 ACCESSIBLE ROUTE
- TYPE 2 ACCESSIBLE ROUTE
- TYPE 3 ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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**REVISIONS**

NO.	DATE	DESCRIPTION
1	06-07-2023	PER COOR 3RD ASH COMMENTS
2	09-01-2023	PER COOR 2ND ASH COMMENTS
3	12-14-2023	PER COOR 3RD ASH COMMENTS
4		
5		
6		

**PLAN INFORMATION**

PROJECT NO. TRG-22002  
FILENAME TRG22002-S2  
CHECKED BY SIC  
DRAWN BY LIL  
SCALE 1" = 30'  
DATE 03.03.2023

**SHEET**

**SIGHT DISTANCE PLAN**

**C2.01**



**McADAMS**

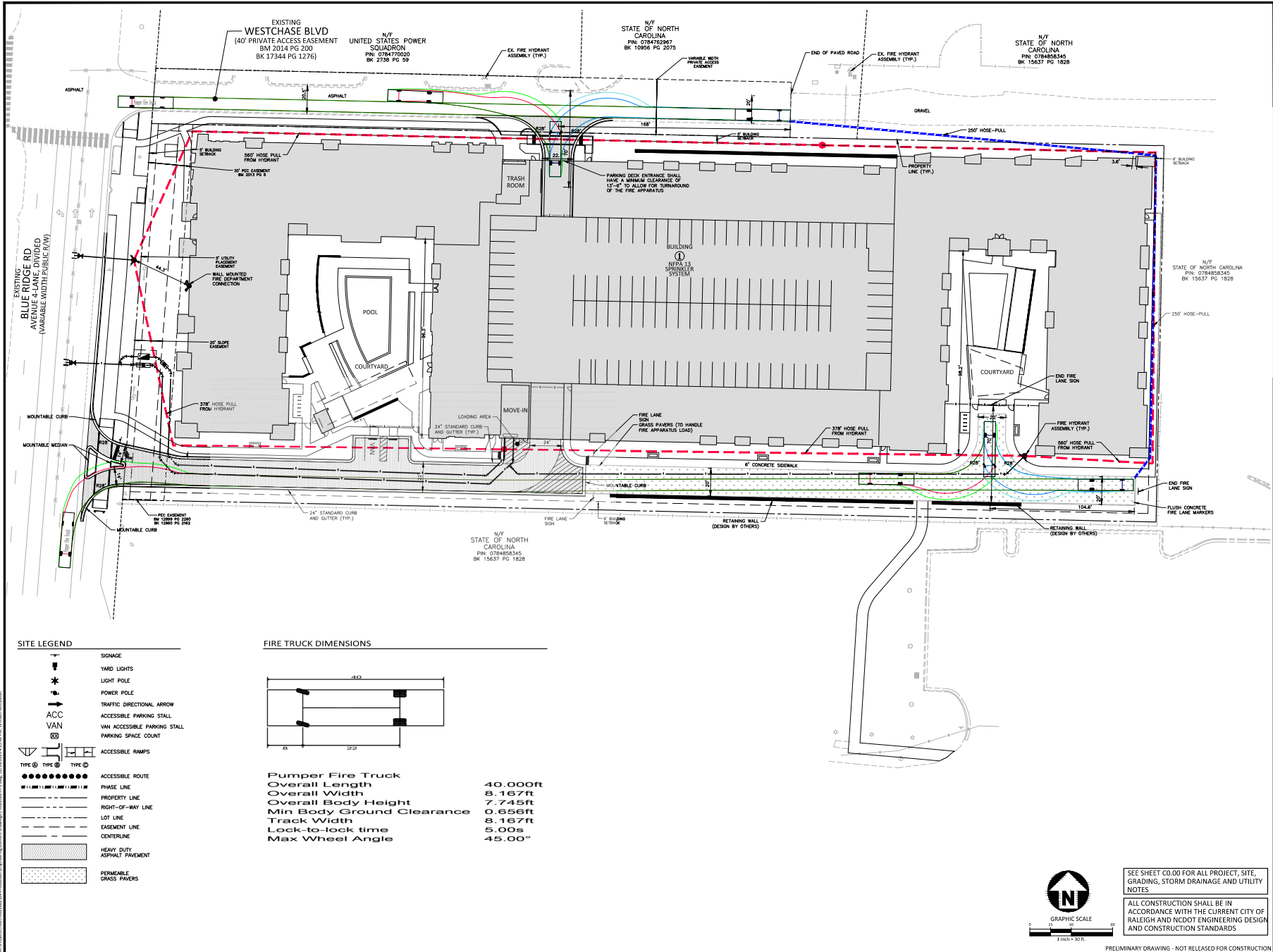
The John R. McAdams Company, Inc.  
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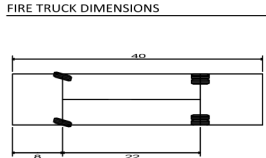


**AURA BLUE RIDGE  
ADMINISTRATIVE SITE REVIEW  
1520 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA**



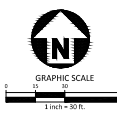
**SITE LEGEND**

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	PERMEABLE GRASS PAVERS



**Pumper Fire Truck**

Overall Length	40.000ft
Overall Width	8.167ft
Overall Body Height	7.745ft
Min Body Ground Clearance	0.656ft
Track Width	8.167ft
Lock-to-lock time	5.00s
Max Wheel Angle	45.00°



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PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION

**REVISIONS**

NO.	DATE	DESCRIPTION
1	06.07.2023	PER COOR 3RD ASH COMMENTS
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3	12.14.2023	PER COOR 3RD ASH COMMENTS
4		
5		
6		

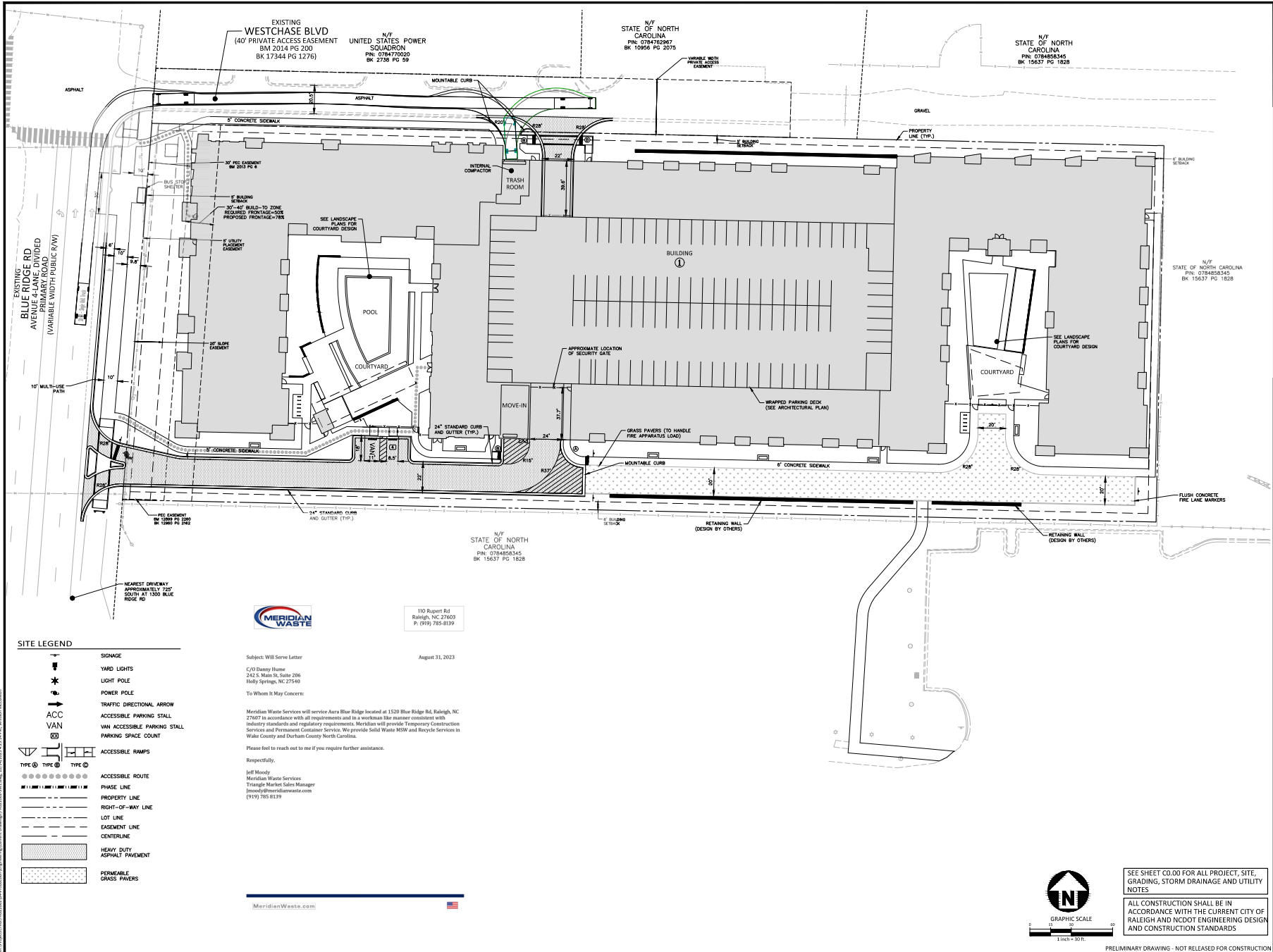
**PLAN INFORMATION**

PROJECT NO. TRG-22002  
FILENAME TRG22002-FP1  
CHECKED BY SIC  
DRAWN BY WHM/TBP  
SCALE 1" = 30'  
DATE 03.03.2023

**SHEET**

**FIRE PROTECTION PLAN**

**C2.02**



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**AURA BLUE RIDGE**  
**ADMINISTRATIVE SITE REVIEW**  
1520 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA



**REVISIONS**

NO.	DATE	DESCRIPTION
1	06.07.2023	PER COB 3ST ASH COMMENTS
2	09.01.2023	PER COB 2ND ASH COMMENTS
3	12.14.2023	PER COB 3RD ASH COMMENTS
4		
5		
6		

**PLAN INFORMATION**

PROJECT NO.	TRG-22002
FILENAME	TRG22002-SW1
CHECKED BY	SIC
DRAWN BY	LU/7BP
SCALE	1" = 30'
DATE	03.03.2023

**SOLID WASTE PLAN**  
**C2.03**



**McADAMS**

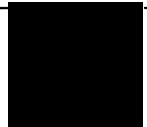
The John R. McAdams Company, Inc.  
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**AURA BLUE RIDGE  
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1520 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA**



**REVISIONS**

NO.	DATE	DESCRIPTION
1	06-07-2023	PER COOR 3RD ASH COMMENTS
2	09-01-2023	PER COOR 2ND ASH COMMENTS
3	12-14-2023	PER COOR 3RD ASH COMMENTS
4		
5		
6		

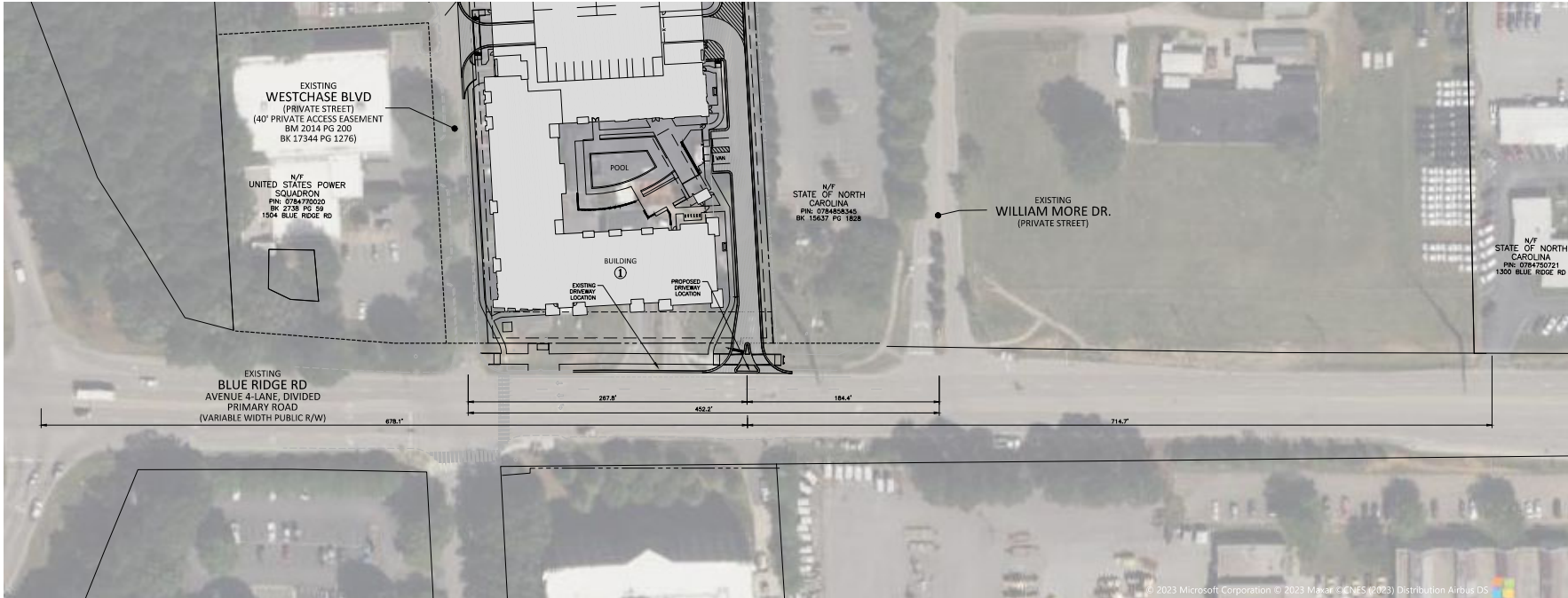
**PLAN INFORMATION**

PROJECT NO. TRG-22002  
FILENAME TRG22002-S2  
CHECKED BY SIC  
DRAWN BY TBP  
SCALE 1" = 50'  
DATE 03.03.2023

**SHEET**

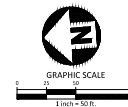
**DRIVEWAY EXHIBIT**

**C2.04**



**SITE LEGEND**

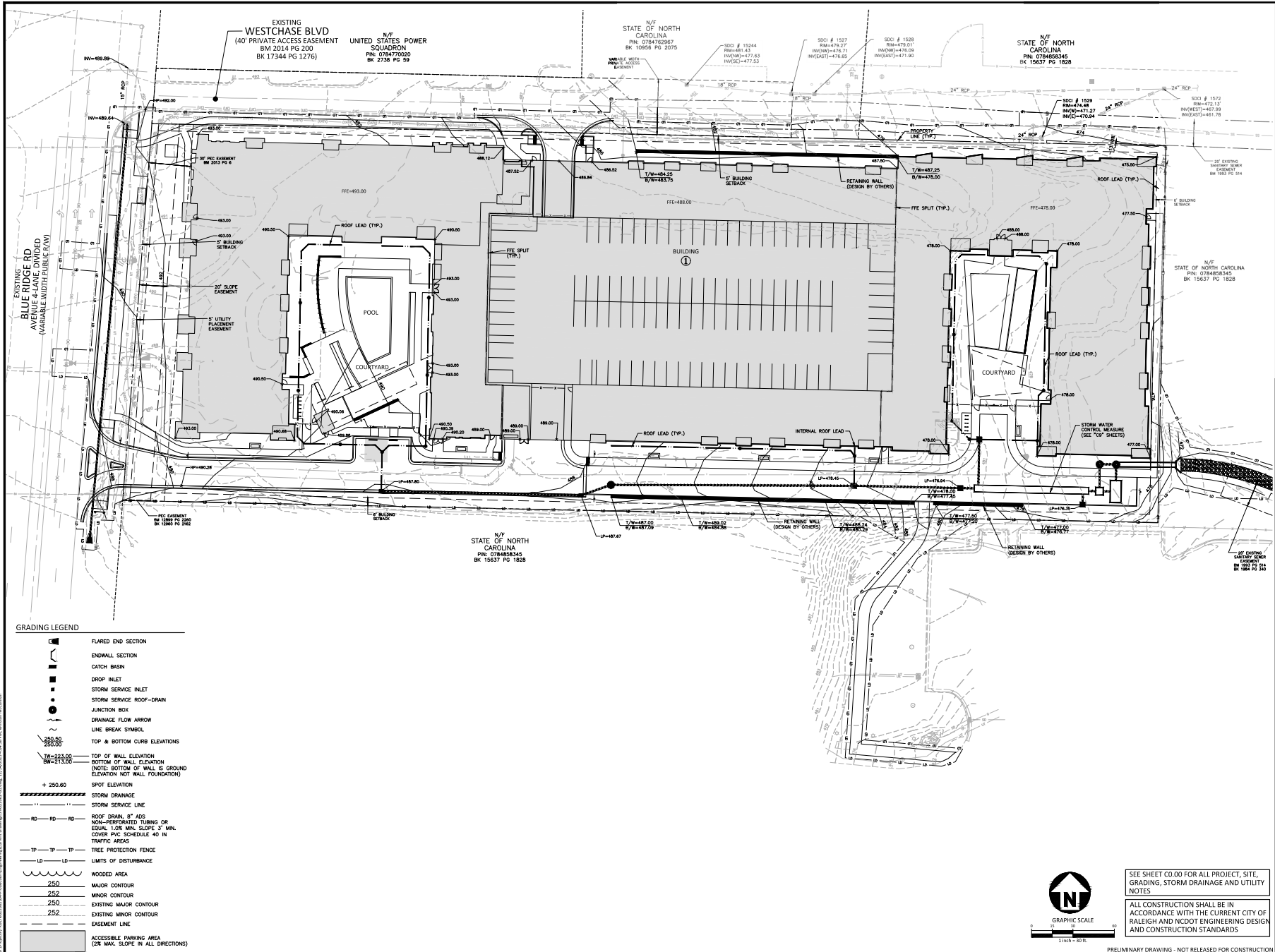
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	TYPE 1
	TYPE 2
	TYPE 3
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

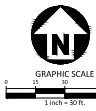
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



**GRADING LEGEND**

	FLARED END SECTION
	ENDWALL SECTION
	CATCH BASIN
	DROP INLET
	STORM SERVICE INLET
	STORM SERVICE ROOF-DRAIN
	JUNCTION BOX
	DRAINAGE FLOW ARROW
	LINE BREAK SYMBOL
	TOP & BOTTOM CURB ELEVATIONS
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
	SPOT ELEVATION
	STORM DRAINAGE
	STORM SERVICE LINE
	ROOF DRAIN, 8" ADS NON-PERFORATED TURNING OR EQUAL 1/8" MIN. SLOPE, 3" MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	250 MAJOR CONTOUR
	252 MINOR CONTOUR
	250 EXISTING MAJOR CONTOUR
	252 EXISTING MINOR CONTOUR
	EASEMENT LINE
	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)



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**AURA BLUE RIDGE  
ADMINISTRATIVE SITE REVIEW  
1520 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA**

**REVISIONS**

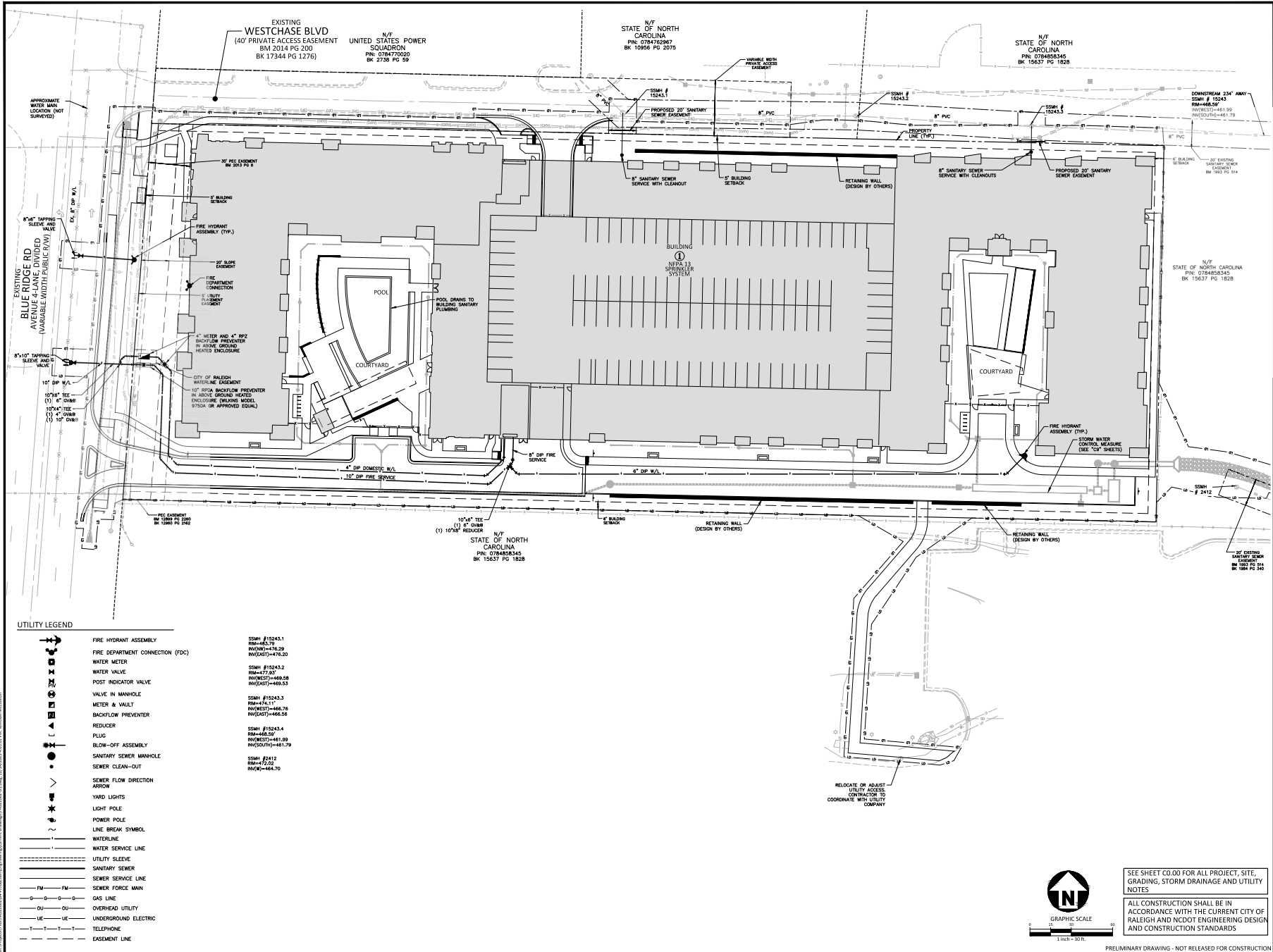
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1	06.07.2023	PER COR 1ST ASR COMMENTS
2	09.01.2023	PER COR 2ND ASR COMMENTS
3	12.14.2023	PER COR 3RD ASR COMMENTS
4		
5		
6		

**PLAN INFORMATION**

PROJECT NO. TRG-22002  
FILENAME TRG22002-G1  
CHECKED BY SIC  
DRAWN BY LUL/TBP  
SCALE 1" = 30'  
DATE 03.03.2023

**GRADING PLAN**

# C3.00



**UTILITY LEGEND**

	FIRE HYDRANT ASSEMBLY	SMH #15243.1 RM=462.79 INV(EAST)=476.50
	FIRE DEPARTMENT CONNECTION (FDC)	SMH #15243.2 RM=477.37 INV(EAST)=469.58
	WATER METER	SMH #15243.3 RM=474.17 INV(EAST)=466.76
	POST INDICATOR VALVE	SMH #15243.4 RM=468.57 INV(EAST)=461.79
	VALVE IN MANHOLE	SMH #2412 RM=472.02 INV(EAST)=464.70
	METER & VAULT	
	BACKFLOW PREVENTER	
	REDUCER	
	PLUG	
	BLOW-OFF ASSEMBLY	
	SANITARY SEWER MANHOLE	
	SEWER CLEAN-OUT	
	SEWER FLOW DIRECTION ARROW	
	YARD LIGHTS	
	LIGHT POLE	
	POWER POLE	
	LINE BREAK SYMBOL	
	WATERLINE	
	WATER SERVICE LINE	
	UTILITY SLEEVE	
	SANITARY SEWER	
	SEWER SERVICE LINE	
	SEWER FORCE MAIN	
	GAS LINE	
	OVERHEAD UTILITY	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	EASEMENT LINE	

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4		
5		
6		

**PLAN INFORMATION**

PROJECT NO.	TRG-22002
FILENAME	TRG22002-01
CHECKED BY	SIC
DRAWN BY	LAL
SCALE	1" = 30'
DATE	03.03.2023

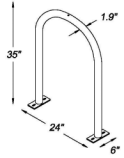
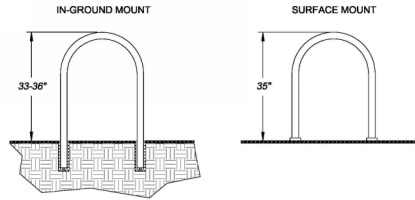
**UTILITY PLAN**  
**C4.00**

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



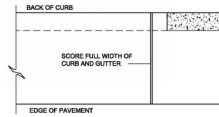


**BIKE RACK INSTALLATION:**  
**SURFACE MOUNT** - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8" ANCHORS TO PLATE MOUNT. SHIM AS NECESSARY TO ENSURE VERTICAL ALIGNMENT.

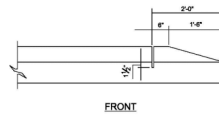
**IN-GROUND MOUNT** - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE. CORE HOLES NO LESS THAN 3" IN DIAMETER AND 10" DEEP.

STANDARD BIKE RACK

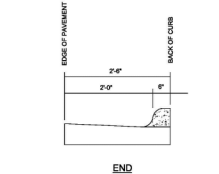
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
BIKE RACK DETAILS		
<b>B-20.03</b>		



PLAN

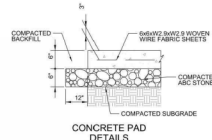


FRONT



END

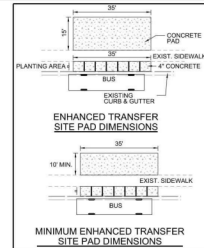
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
STANDARD METHOD OF ENDING CURB AND GUTTER		
<b>T-10.25</b>		



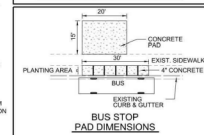
CONCRETE PAD  
DETAILS

GENERAL CONCRETE PAD NOTES:

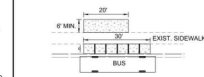
1. TYPICAL SECTION AND DIMENSIONS OF PAD ARE SUBJECT TO CHANGE DUE TO REDESIGN, AMENDMENTS TO BE INSTALLED, AND TO ENSURE PROPOSED FIXED OBJECTS ARE OUTSIDE THE CLEAR ZONE. COORDINATE WITH THE CITY OF RALEIGH & CONSULTORS BY CALLING 919-998-4043 OR COMMUNICATING WITH TRANSIT DIVISION (TRANSPORTATION DEPARTMENT STAFF).
2. CONCRETE PAD WILL CONSIST OF 3,000 PSI CONCRETE IN ACCORDANCE WITH NCDOT STANDARDS.
3. REINFORCE AS SHOWN IN TYPICAL SECTION. WOVEN WIRE FABRIC SHALL HAVE MINIMUM 4" COVER AND MINIMUM 4" CONCRETE COVER OF 3" ON ALL SIDES.
4. WHERE PROPOSED SHELTER PAD ELEVATION IS ABOVE EXISTING GRADE, PROVIDE A 1" WIDE CONCRETE 'WEAR' TO EXTEND A MINIMUM OF 4" BELOW THE EXISTING SURROUNDING GRADE WITH A 45° SECTION TO BRING BACK TO THE STANDARD 4" THICKNESS.
5. CONCRETE PAD WILL HAVE A BROOM FINISH.
6. 1.5% 2.08% (48") MAX CROSS SLOPE.
7. EXTEND ABC 1' BEYOND EDGE OF PAD IN ALL DIRECTIONS EXCEPT WHERE BORDERED BY EXISTING PAVEMENT OR SIDEWALK.
8. WHERE HANDRAIL IS INSTALLED INCREASE PAD THICKNESS AS SHOWN ON THE HANDRAIL DETAIL STD. T-8.
9. EXPANSION JOINTS WILL BE INSTALLED AT ALL RISE OBJECTS AND ADJACENT TO EXISTING PAVEMENT AND HAVE 1/8" RADIUS TOoled EDGE AND FILL WITH SEALER. JOINT SEALER TO BE GREY IN COLOR.
10. WHERE SIDEWALK IS EXISTING, PLACE CONCRETE IN BETWEEN THE SIDEWALK AND THE EDGE OF PAVEMENT OR CURBING. IF NO SIDEWALK IS EXISTING PLACE CONCRETE IN THREE (3) SECTIONS: THE UTILITY STRIP, THE SIDEWALK SECTION, AND THE SHELTER PAD.
11. SIDEWALK AND CONCRETE IN UTILITY STRIP AT BACK OF CURB WILL BE 4" THICK IN ACCORDANCE WITH THE STANDARD SIDEWALK SECTION.



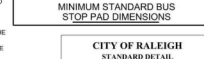
ENHANCED TRANSFER  
SITE PAD DIMENSIONS



MINIMUM ENHANCED TRANSFER  
SITE PAD DIMENSIONS

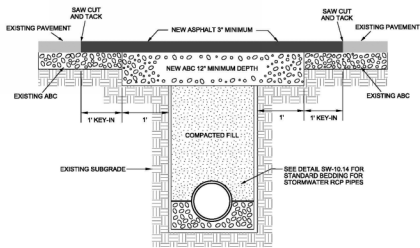


BUS STOP  
PAD DIMENSIONS



MINIMUM STANDARD BUS  
STOP PAD DIMENSIONS

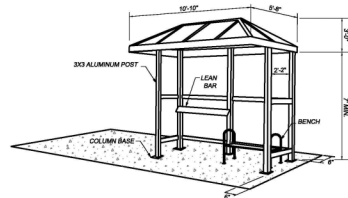
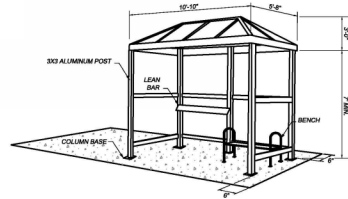
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
BUS STOP PAD		
<b>TT-02</b>		



NOTES:

1. THE PAVEMENT EDGE SHALL BE DEFINED BY A STRAIGHT EDGE FORMED BY A MACHINED SAW CUT.
2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUSTAINABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 98% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
3. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL, COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT. BITUMINOUS BASE OR BINDER MAY BE SUBSTITUTED IF APPROVED BY TRANSPORTATION DIRECTOR OR DESIGNEE.
4. THE ENTIRE THICKNESS/VERTICAL EDGE OF THE CUT SHALL BE TAPPED.
5. THE SAME DEPTH OF PAVEMENT MATERIAL, WHICH EXISTS SHALL, BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY AND ROLLED WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.

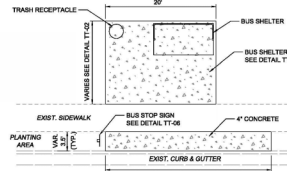
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
ASPHALT PAVEMENT PATCH AND RCP PIPE BACKFILL		
<b>T-10.05</b>		



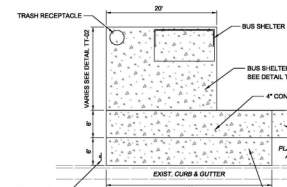
NOTES:

1. SHELTER SHOWN IS A FULL SIZE BRASCO MODEL TL 510 I/L, OR APPROVED EQUAL, COORDINATE WITH CITY OF RALEIGH FOR SHELTER TYPE.
2. INSTALL COLUMN BASE IF FROM EDGE OF CONCRETE PAD WITH APPROVED CONCRETE ANCHOR UNITS RECOMMENDED BY THE MANUFACTURER, TYPICAL UNLESS OTHERWISE SHOWN.
3. INITIAL BENCH ON OPPOSITE SIDE OF LEAN BAR.
4. ALL IDENTIFICATION OR STRUCTURES TO BE PROVIDED BY MANUFACTURER.
5. IF INSTALLED WITHIN NCDOT RIGHT-OF-WAY, SHELTER MUST BE ON THE NCDOT APPROVED PRODUCTS LIST.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
BUS SHELTER LAYOUT		
<b>TT-03</b>		



TYPICAL SHELTER LAYOUT  
WITH EXISTING SIDEWALK



TYPICAL SHELTER LAYOUT  
WITHOUT EXISTING SIDEWALK

NOTES:

1. IF NO SIDEWALK CURRENTLY EXISTS, PROVIDE SIDEWALK TO NEAREST ADA ACCESSIBLE INTERSECTION OR DRIVEWAY WITH APPROPRIATE RAMPS, SIDEWALK AND PLANTING AREA WIDTH TO BE IN COMPLIANCE WITH THE CITY'S UDD. PROVIDE CURB RAMP IN ACCORDANCE WITH CITY STANDARDS.
2. BUS SHELTER SHALL BE MINIMUM 4" FROM EDGE OF CONCRETE PAD.
3. FIXED OBJECTS SHALL BE PLACED OUTSIDE OF THE CLEAR ZONE.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
SITE LAYOUT FOR SHELTER		
<b>TT-04</b>		

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

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 TRINISC ACQUISITION GROUP  
 322 E. CHAPEL HILL STREET  
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 JUSTIN BROWN  
 PHONE: 919-417-3051

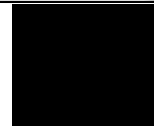
**AURA BLUE RIDGE  
 ADMINISTRATIVE SITE REVIEW  
 1520 BLUE RIDGE ROAD  
 RALEIGH, NORTH CAROLINA**

REVISIONS		
NO.	DATE	DESCRIPTION
1	06.07.2023	PER COR 3RD ASR COMMENTS
2	09.01.2023	PER COR 2ND ASR COMMENTS
3	12.14.2023	PER COR 3RD ASR COMMENTS
4		
5		
6		

PLAN INFORMATION	
PROJECT NO.	TRG-22002
FILENAME	TRG22002-D1
CHECKED BY	SIC
DRAWN BY	TBP
SCALE	NTS
DATE	03.03.2023

**SHEET**

**SITE DETAILS**  
**C8.00**



**REVISIONS**

NO.	DATE	DESCRIPTION
1	06.07.2023	PER COOR 3RD ASR COMMENTS
2	09.01.2023	PER COOR 2ND ASR COMMENTS
3	12.14.2023	PER COOR 3RD ASR COMMENTS
4		
5		

**PLAN INFORMATION**

PROJECT NO.	TRG-22002
FILENAME	TRG22002-D1
CHECKED BY	SIC
DRAWN BY	TBP
SCALE	NTS
DATE	03.03.2023

**SHEET**

**SITE DETAILS**

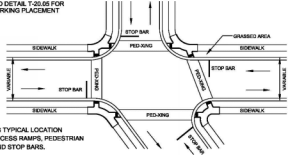
**C8.01**

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

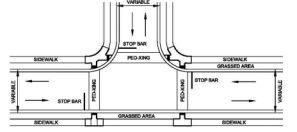
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

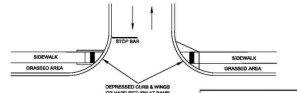
**NOTE:** SEE STANDARD DETAIL T-20.01 FOR PAVEMENT MARKING PLACEMENT



**DETAIL SHOWING TYPICAL LOCATION OF SIDEWALK ACCESS RAMPS, PEDESTRIAN CROSSWALKS AND STOP BARS.**



**DETAIL SHOWING TYPICAL LOCATION OF SIDEWALK ACCESS RAMPS, PEDESTRIAN CROSSWALKS AND STOP BARS FOR TIS INTERSECTION.**



**FOR RAMPS AT ASPHALT TO ASPHALT STREET TYPE DRIVEWAYS OR PRIVATE STREET TIE IN.**

**CITY OF RALEIGH STANDARD DETAIL**

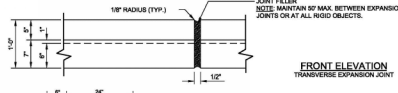
REVISIONS	DATE	BY	NOT TO SCALE

**CURB RAMPS**

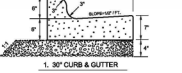
**T-20.01.1**

**JOINT FILLER**  
NOTE: MAINTAIN 20" MAX. SPACING BETWEEN EXPANSION JOINTS OR AT ALL RIGID OBJECTS.

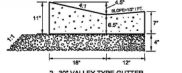
**FRONT ELEVATION**  
TRANSVERSE EXPANSION JOINT




**1. 30" CURB & GUTTER**




**2. 30" VALLEY TYPE GUTTER**




**3. 30" COMPACTED A & B C UNDER STANDARD CURB & GUTTER (NEW)**



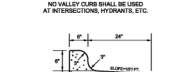
**4. 30" COMPACTED A & B C UNDER STANDARD CURB & GUTTER (EXISTING)**



**5. 30" VALLEY TYPE GUTTER (NON-MOUNTABLE)**



**6. 30" VALLEY TYPE GUTTER (MOUNTABLE)**



**NOTES:**

1. 10" MAXIMUM BETWEEN DUMMY JOINTS.
2. 15" MAXIMUM BETWEEN DUMMY JOINTS ON MACHINED CURBS.
3. 10" EXPANSION JOINT EVERY 60'.
4. LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 108.2 OF NCOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
5. ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SHALL BE IN ACCORDANCE WITH NCOT ROADWAY STANDARD DETAIL 46.01.
6. THE JOINT MATERIAL SHALL CONFORM TO SECTION 108.2 OF NCOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
7. REFERS TO NCOT DETAIL 46.01 FOR CURB AND GUTTER SUPERELEVATION RATES.

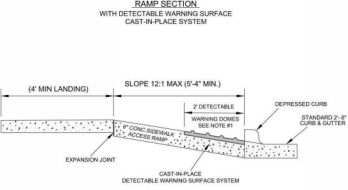
**CITY OF RALEIGH STANDARD DETAIL**

REVISIONS	DATE	BY	NOT TO SCALE

**CURB AND GUTTER**

**T-10.26.1**

**RAMP SECTION**  
WITH DETECTABLE WARNING SURFACE  
CAST-IN-PLACE SYSTEM



**NOTES:**

1. DETECTABLE WARNING DOMES SHALL COVER 2' OF LENGTH AND FULL WIDTH OF THE RAMP FOR 60' MIN. ON DETAILED.
2. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.

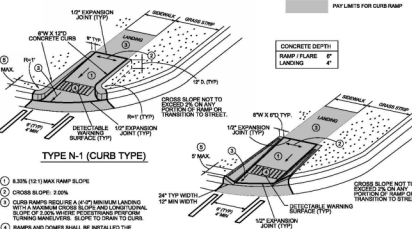
**CITY OF RALEIGH STANDARD DETAIL**

REVISIONS	DATE	BY	NOT TO SCALE

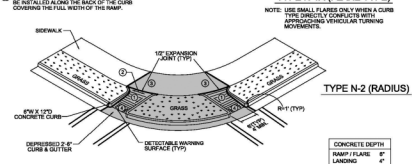
**DETECTABLE WARNING CAST-IN-PLACE**

**T-20.04.4**

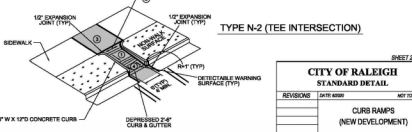
**TYPE N-1 (CURB TYPE)**




**TYPE N-1A (FLARE TYPE)**



**TYPE N-2 (RADIUS)**



**TYPE N-2 (TEE INTERSECTION)**



**NOTES:**

1. 8.33% (12:1) MAX RAMP SLOPE.
2. CURB RAMP SLOPE: 2.00%.
3. CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDIESTRIAN PERFORMANCE TURNED MANEUVER. SLOPE TO SHOWN TO CURB.
4. RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.

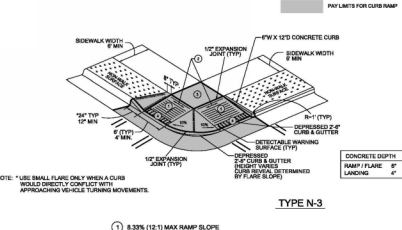
**CITY OF RALEIGH STANDARD DETAIL**

REVISIONS	DATE	BY	NOT TO SCALE

**CURB RAMPS (NEW DEVELOPMENT)**

**T-20.01.2**

**TYPE N-3**



**NOTES:**

1. USE SMALL FLARE ONLY WHEN A CURB TYPE DIRECTLY COMPLY WITH APPROXIMATE TURNING MOVEMENTS.
2. 8.33% (12:1) MAX RAMP SLOPE.
3. CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 2.00% WHERE PEDIESTRIAN PERFORMANCE TURNED MANEUVER. SLOPE TO SHOWN TO CURB.
4. RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.

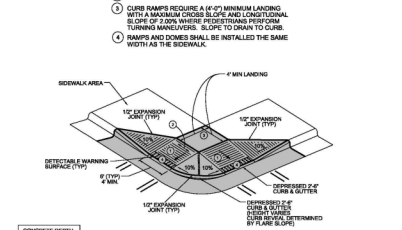
**CITY OF RALEIGH STANDARD DETAIL**

REVISIONS	DATE	BY	NOT TO SCALE

**CURB RAMPS (NEW DEVELOPMENT)**

**T-20.01.3**

**TYPE N-3A (COMMERCIAL/RETAIL USE)**



**NOTES:**

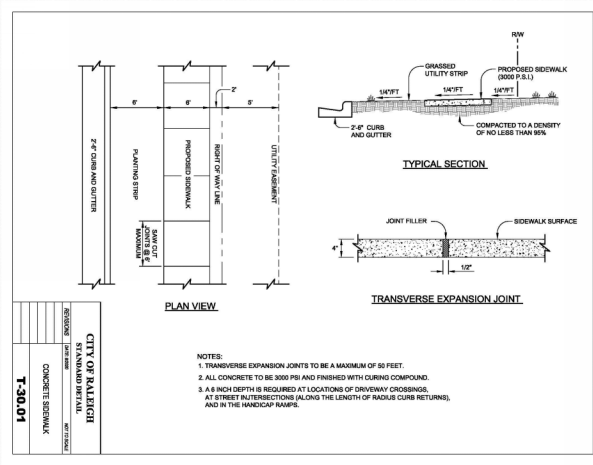
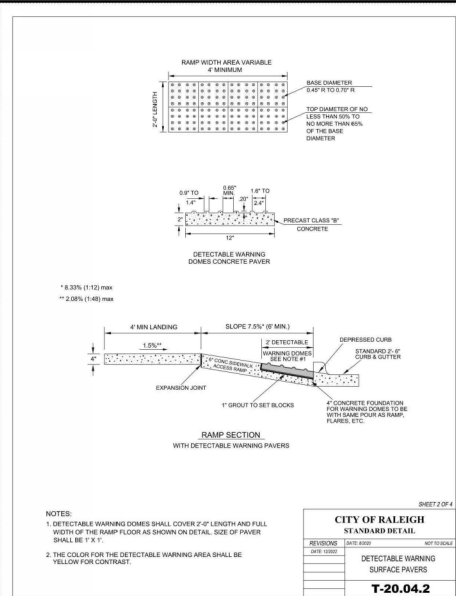
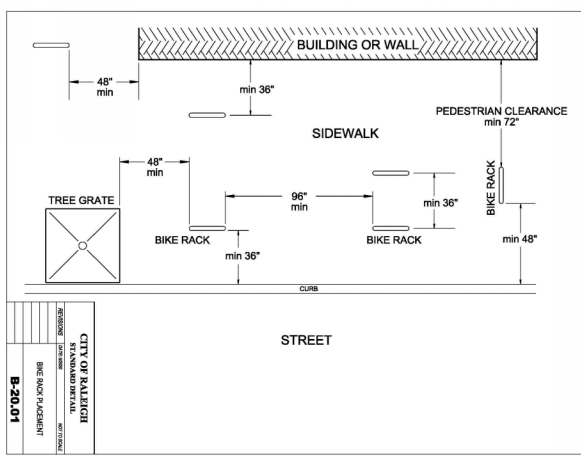
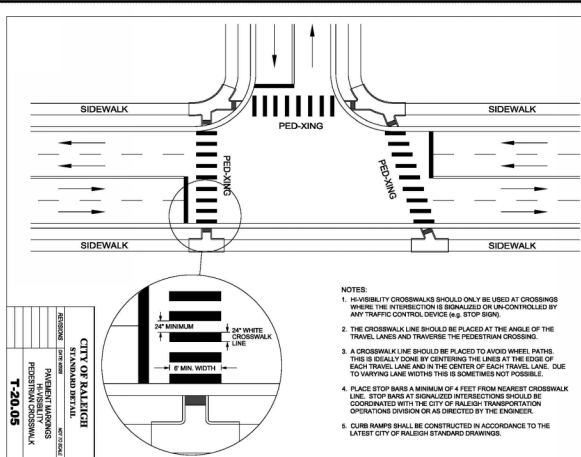
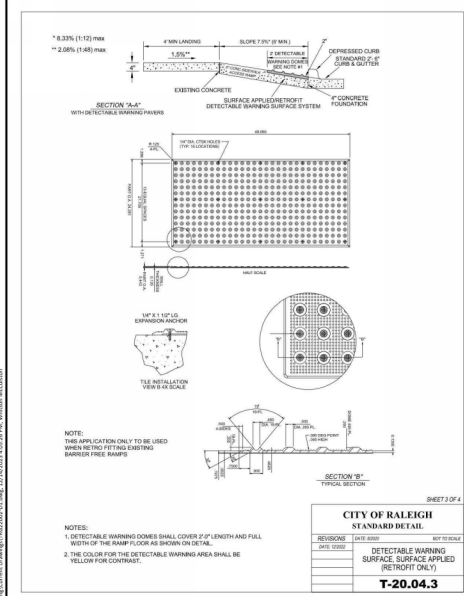
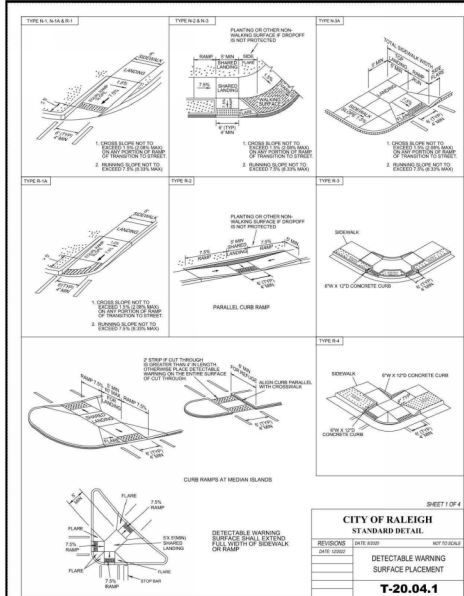
1. INSTALL SIGN AHEAD OF STOP 2' FROM CONCRETE SECTION IN UTILITY STRIP.
2. CALL 811 FOR UNDERGROUND UTILITY LOCATION PRIOR TO INSTALLATION.

**CITY OF RALEIGH STANDARD DETAIL**

REVISIONS	DATE	BY	NOT TO SCALE

**CURB RAMPS**

**TT-06**



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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JUSTIN BROWN  
PHONE: 919-417-3051

**AURA BLUE RIDGE  
ADMINISTRATIVE SITE REVIEW  
1520 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA**

**REVISIONS**

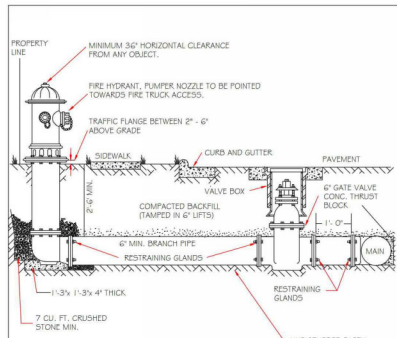
NO.	DATE	DESCRIPTION
1	06.07.2023	PER COR 1ST ASR COMMENTS
2	09.01.2023	PER COR 2ND ASR COMMENTS
3	12.14.2023	PER COR 3RD ASR COMMENTS
4		
5		
6		

**PLAN INFORMATION**

PROJECT NO.	TRG-22002
FILENAME	TRG22002-D1
CHECKED BY	SIC
DRAWN BY	TBP
SCALE	NTS
DATE	03.03.2023

**SITE DETAILS**

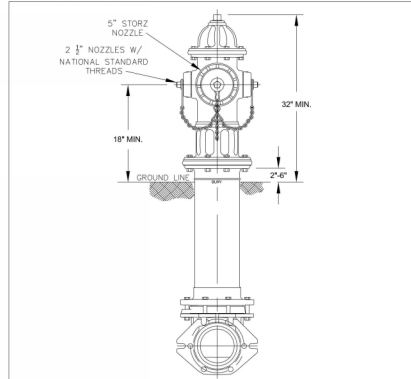
# C8.02



- NOTES:
1. FIRE HYDRANT SHALL BE AS MANUFACTURED: MULLER, AMERICAN DARLING, KENNEDY, MPH, WATERLOO, CLOW, EAST JORDAN RHW WORKS, OR US PIPE.
  2. BRANCH PIPE SHALL BE DUCTILE IRON AWWA C150 PIPE.
  3. 6" GATE VALVE SHALL BE AWWA C500-06 OPEN LEFT.
  4. STEEL RODS AND BOLTS SHALL BE #4 HOT DIPPED GALVANIZED.
  5. FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION. RODS SHALL NOT BE COUPLER MORE THAN CHECK. IF THE ELBOW FROM THE VALVE TO THE HYDRANT EXCEEDS 20 THEN A MECHANICAL RESTRAINING GLAND WITH A KEBAR CASE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE.
  6. FIRE HYDRANTS TO BE LOCATED IN ROW OR 2 FOOT EASEMENT ADJACENT TO ROW.

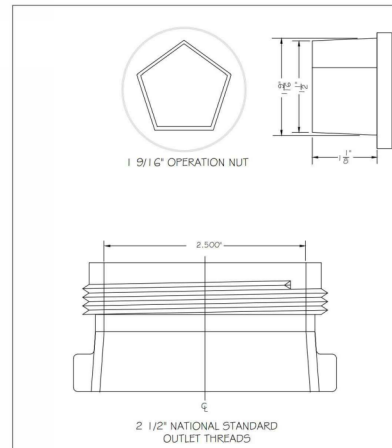
ANYTIME SITE WORK, CONSTRUCTION, ROAD WORK, OR ANY OTHER WORK CHANGES THE GRADE OF THE FIRE HYDRANT, THE PERSON RESPONSIBLE FOR THE WORK IS RESPONSIBLE FOR ADJUSTING THE FIRE HYDRANT TO STAY WITHIN COMPLIANCE.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
STANDARD FIRE HYDRANT INSTALLATION DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-4	REV	4-2-09	ADD	8-7-09	
	REV	8-17-09			

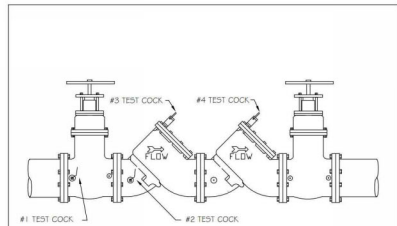


- NOTES:
1. ALL PUBLIC FIRE HYDRANTS IN THE CITY OF RALEIGH AND THE MERGER TOWNS OF GARNER, ROLESVILLE, WAKE FOREST, KNIGHTDALE, WENDELL AND ZEBULON SHALL BE PAINTED CHROME YELLOW WITH HIGH REFLECTIVE ALUMINUM SILVER CAPS, BONNETS AND OPERATING NUTS.
  2. ALL PRIVATE FIRE HYDRANTS SHALL BE RED.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
STANDARD FIRE HYDRANT WITH 5" STORZ PUMPER NOZZLE					
DWG.	REVISIONS	DATE	REVISIONS	DATE	
W-5	MAB	4-28-14			
	KAT	6-19-17			

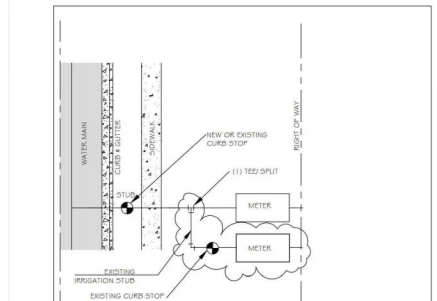


CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
HYDRANT OPERATING NUT AND 2 1/2" OUTLET THREADS					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-6	REV	8-31-09	DR	8-7-09	
	A.B.B.	8-13-04	J.F.S.	11-11-04	



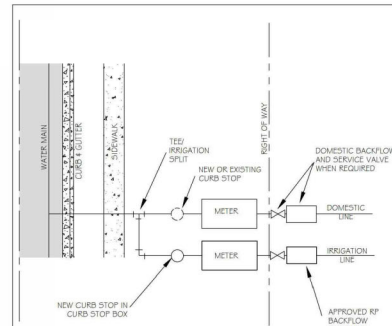
1. SHUT-OFF VALVES, CHECK VALVES, AND TEST COCKS SHALL BE STANDARD TO THE APPROVED BACKFLOW ASSEMBLY.
2. ALL LARGE 12-1/2" - 10" ASSEMBLIES TO BE SUPPORTED BY A CRADLE.
3. ENCLOSURE FOUNDATIONS SHALL BE CONSTRUCTED OF 4" OF CONCRETE OR 6" OF STONE.
4. ASSEMBLIES MUST BE ON CURRENT APPROVAL LIST.
5. 2-1/2" AND LARGER ASSEMBLIES SHALL BE FUSION BONDED EPOXY COATED INCLUDING SHUT-OFF VALVES.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
STANDARD DOUBLE CHECK VALVE ASSEMBLY					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-36	REV	12-28-09	A.B.B.	8-1-08	
	REV	8-17-09	D.P.L.	8-17-09	



- NOTES:
1. Remove base fitting, repair stub with curb stop #4 valve box if not existing.
  2. Work to be performed by licensed utility contractor. Stub permit reposition required.
  3. For repair of existing service, one brass compression coupling and type K copper as needed to be used for repair.
  4. Remove meter box and piping. (Prior to termination the meter division / utility billing must be contacted for meter removal & account closure).

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
Irrigation Meter Termination					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-351			K.K.V.	6-24-13	



- NOTES:
1. IRRIGATION METER SHALL BE LOCATED ON THE SIDE OF DOMESTIC METER WITH INCREASING ADDRESSES.
  2. THE BACKFLOW SHALL BE INSTALLED NO MORE THAN 10' FROM THE METER IN A VISIBLE LOCATION.
  3. BACKFLOW RESISTOR PIPE SHALL BE OF COPPER OR BRASS.
  3. THE RP RELIEF VALVE SHALL BE A MINIMUM OF 1/2" ABOVE ANY MATERIAL (MULCH INCLUDED) OF GRADE.
  4. A SERVICE VALVE IS REQUIRED AFTER THE METER BUT BEFORE THE BACKFLOW ASSEMBLY FOR MAINTENANCE AND REPLACEMENT PURPOSES.
  5. THE INSTALLATION MUST ALSO MEET ALL CODE REQUIREMENTS PER THE NC PLUMBING CODE.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES					
IRRIGATION TAP ON NEW AND EXISTING SERVICES					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
W-35	REV	8-31-09	D.P.L.	8-1-08	
	REV	2-10-04	J.F.S.	10-25-04	

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TRINIC ACQUISITION GROUP  
322 E. CHAPEL HILL STREET  
DURHAM, NORTH CAROLINA, 27701  
JUSTIN BROWN  
PHONE: 919-417-3051



**AURA BLUE RIDGE  
ADMINISTRATIVE SITE REVIEW**  
1520 BLUE RIDGE ROAD  
RALEIGH, NORTH CAROLINA



**REVISIONS**

NO.	DATE	DESCRIPTION
1	06-07-2023	PER COOR 1ST ASR COMMENTS
2	09-01-2023	PER COOR 2ND ASR COMMENTS
3	12-14-2023	PER COOR 3RD ASR COMMENTS
4		
5		
6		

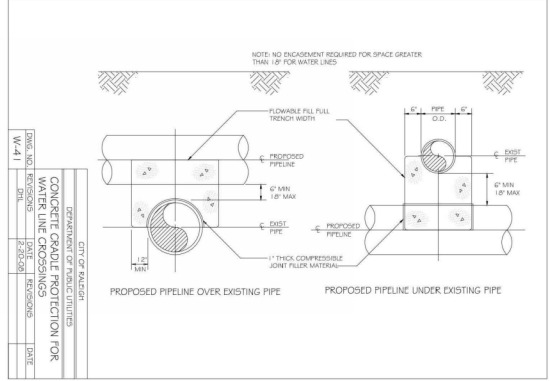
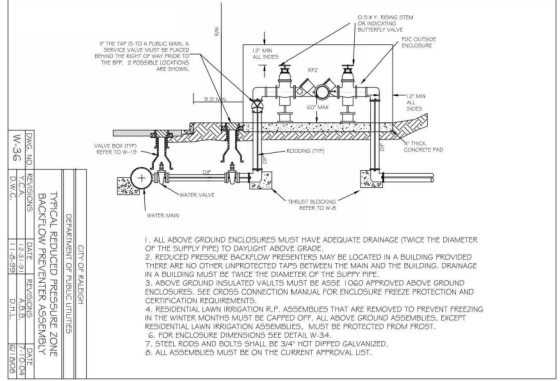
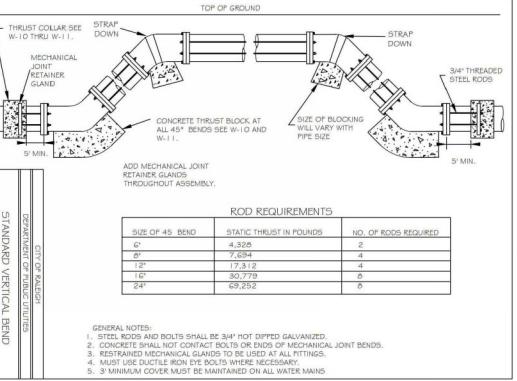
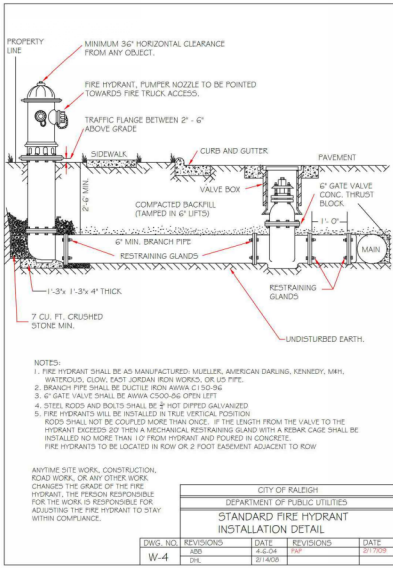
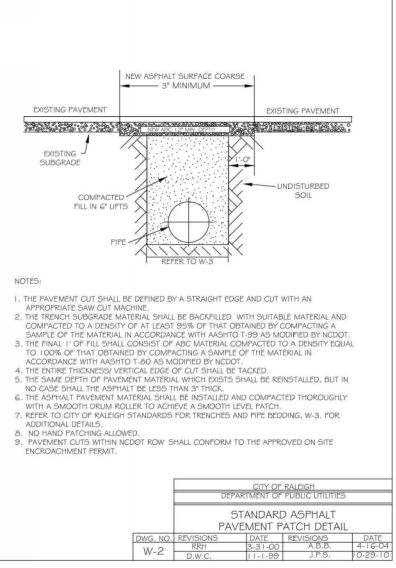
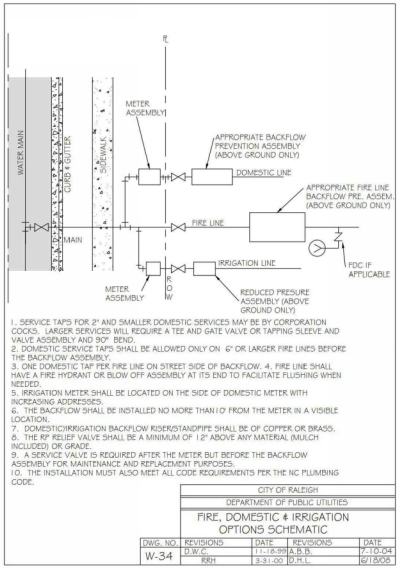
**PLAN INFORMATION**

PROJECT NO.	TRG-22002
FILENAME	TRG22002-D1
CHECKED BY	SIC
DRAWN BY	TBP
SCALE	NTS
DATE	03.03.2023

**SHEET**

**WATER DETAILS**  
**C8.03**

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RALEIGH, NORTH CAROLINA**



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**SHEET**

**WATER DETAILS**

# C8.04

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**ADMINISTRATIVE SITE REVIEW**  
**1520 BLUE RIDGE ROAD**  
RALEIGH, NORTH CAROLINA



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 SCALE NTS  
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**SHEET**

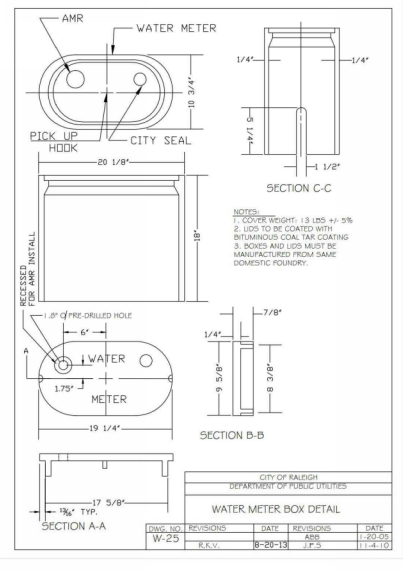
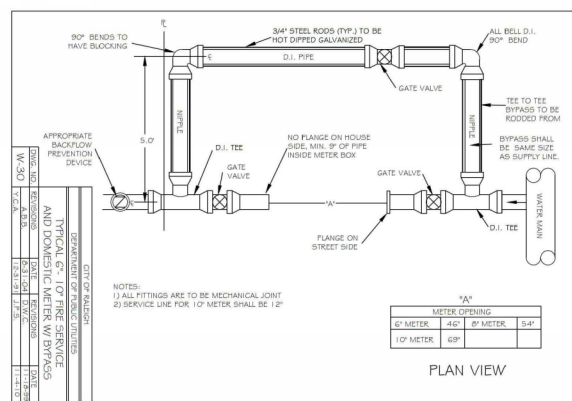
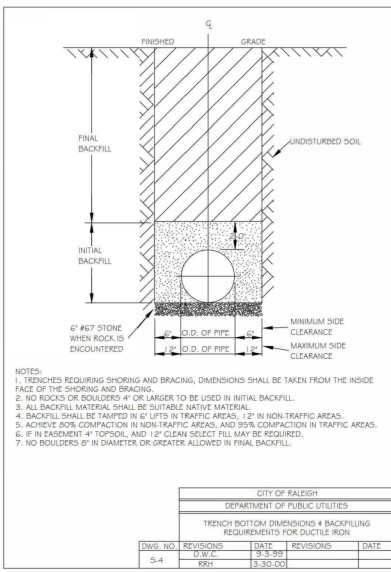
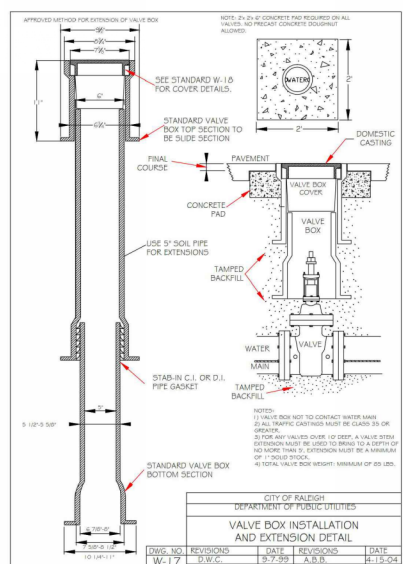
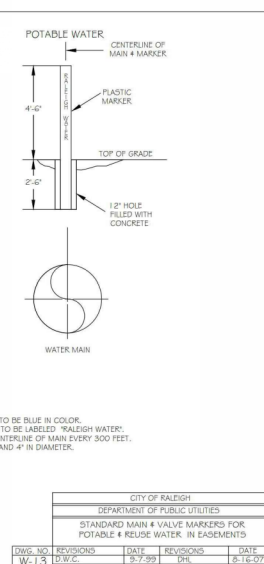
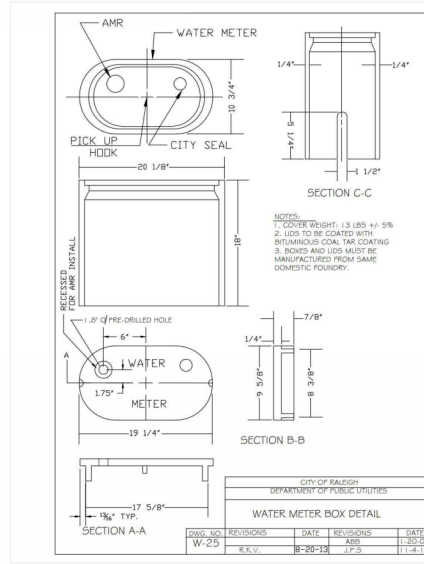
**WATER DETAILS**

**C8.05**

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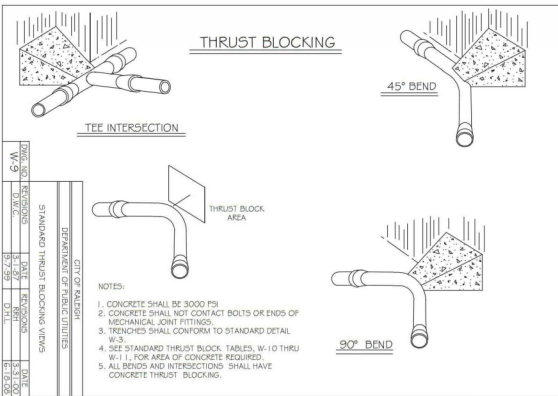
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**SHEET**

**WATER DETAILS**

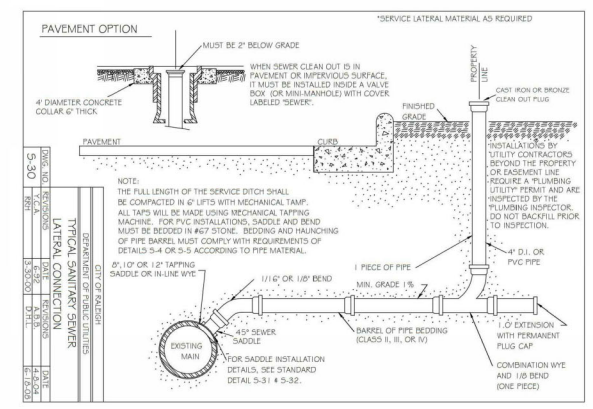
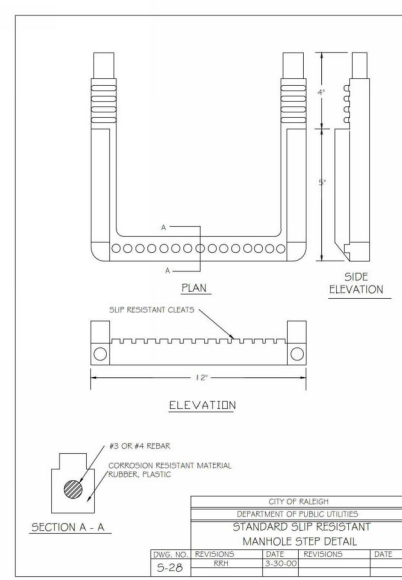
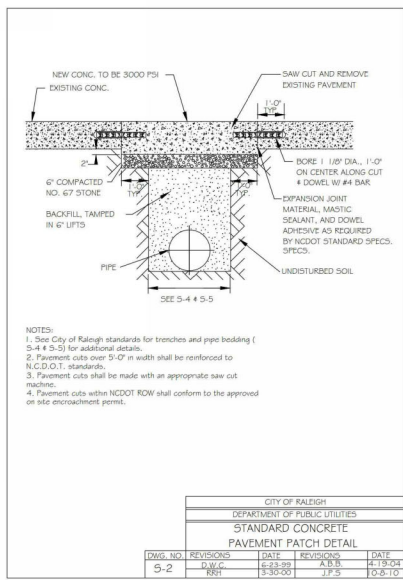
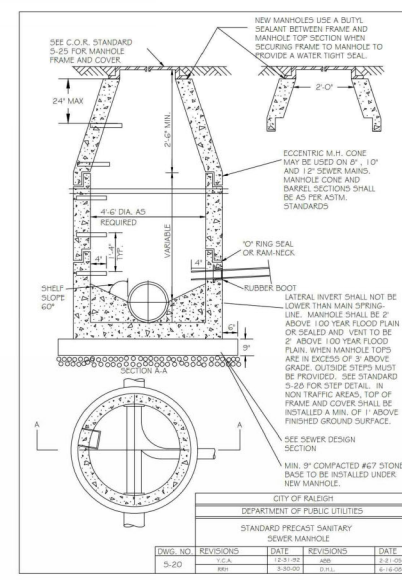
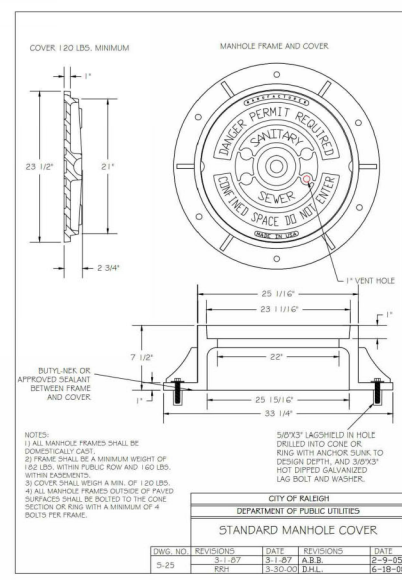
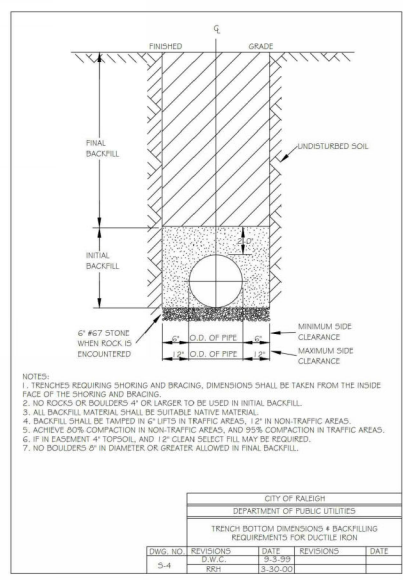
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**SAITARY SEWER DETAILS**  
**C8.07**





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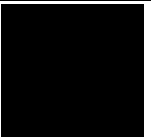
The John R. McAdams Company, Inc.  
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**AURA BLUE RIDGE  
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1520 BLUE RIDGE ROAD  
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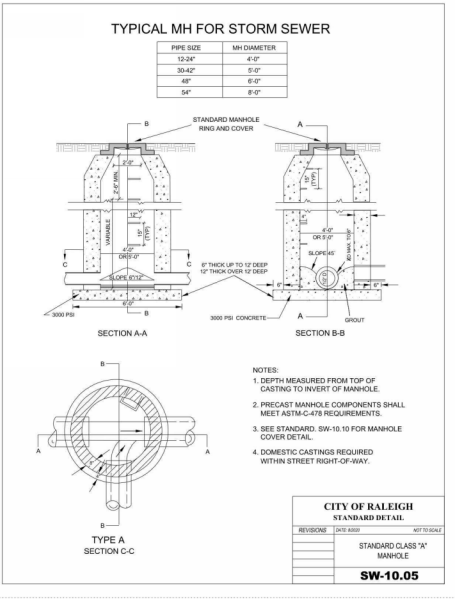
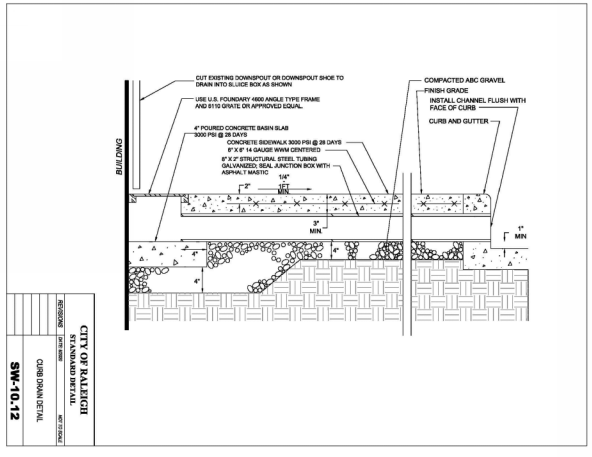
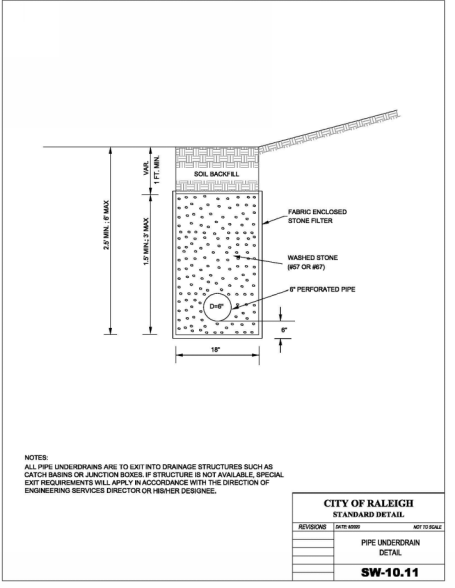
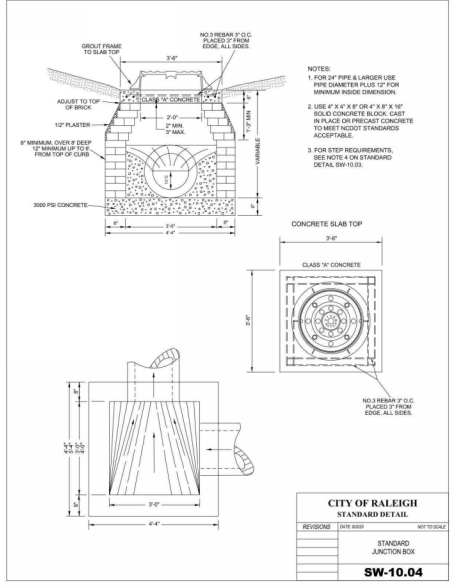
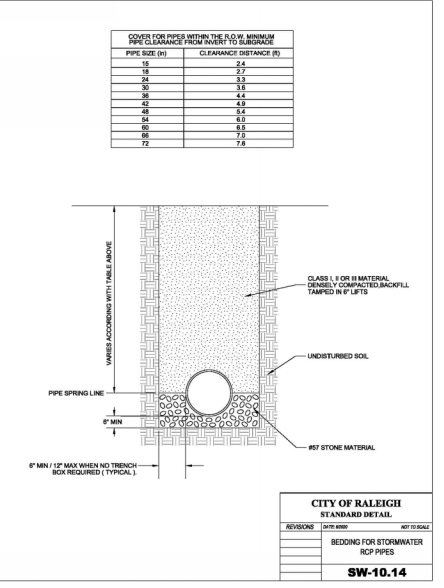
**STORM DRAINAGE  
DETAILS**

**C8.08**

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PLAN INFORMATION

PROJECT NO.	TRG-23002
FILENAME	TRG23002-D1
CHECKED BY	SIC
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SCALE	NTS
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SHEET

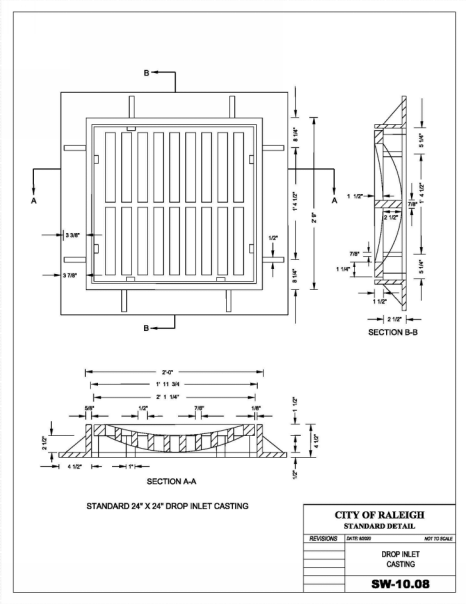
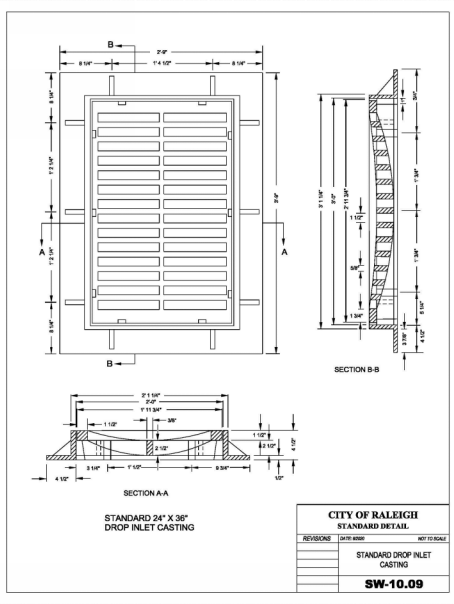
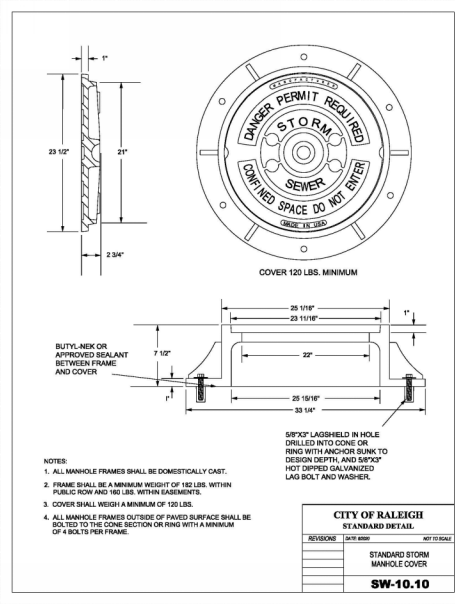
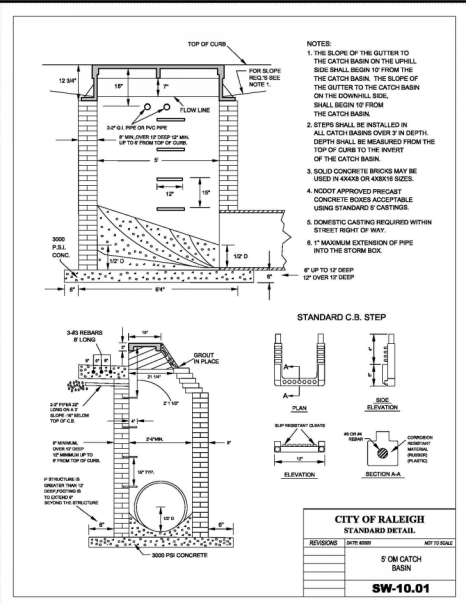
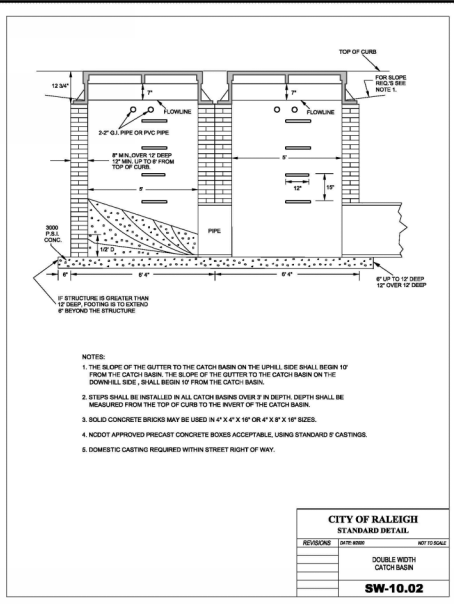
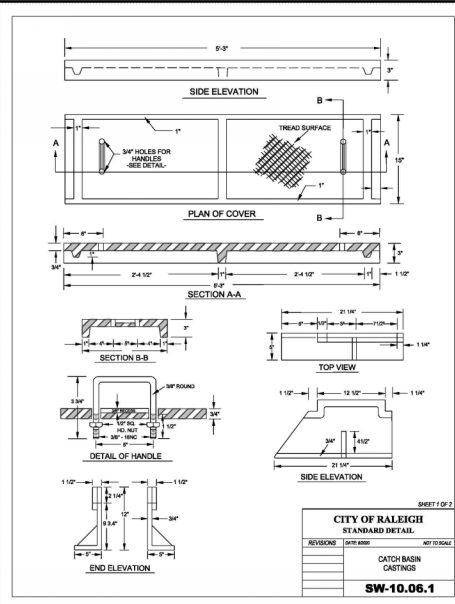
STORM DRAINAGE  
DETAILS

C8.09

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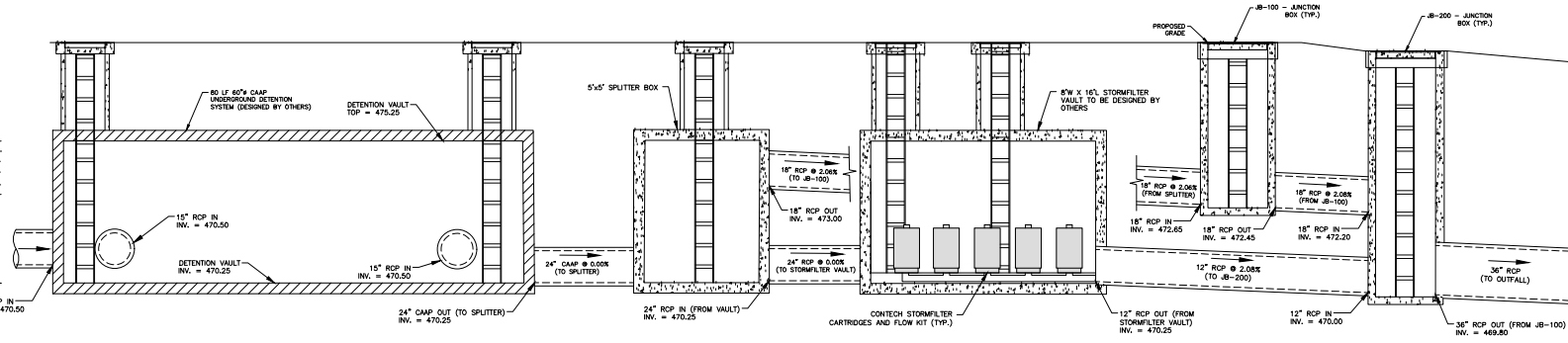


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TOP OF VAULT EL. = 470.25  
 100-YEAR STORM EL. = 474.84  
 25-YEAR STORM EL. = 474.56  
 10-YEAR STORM EL. = 473.30  
 2-YEAR STORM EL. = 472.72  
 1-YEAR STORM EL. = 473.48

BOTTOM OF VAULT = 470.25



STORMWATER CONTROL MEASURE 'A' SECTION VIEW

NTS



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**PLAN INFORMATION**

PROJECT NO. TRG-22002  
 FILENAME TRG22002a-SWA  
 CHECKED BY JKW  
 DRAWN BY OVL  
 SCALE NTS  
 DATE 12.20.2023

**SHEET**

SCM 'A'  
 SECTION VIEW  
**C9.01**

**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	APPROX. MATURE HEIGHT	REMARKS
<b>TREES</b>								
	ACE BUE	10	ACER BUERGERIANUM	TRIDENT MAPLE	2" CAL.	10' MN.	25'-35'	OUTDOOR AMENITY TREE
	CAR CNR	10	CARPINUS CAROLINIANA 'COMTFY'	COLLYNARB AMERICAN HORNBEAM	2" CAL.	10' MN.	40'-50'	OUTDOOR AMENITY TREE
	LAG M27	12	LAGERSTROEMIA INDICA X FAURIEI 'MUSKOGEE'	MUSKOGEE CRAPE MYRTLE	1.5" CAL.	8' MN.	20'-30'	STREET TREE SINGLE STEM
	QUE HIG	1	QUERCUS LYRATA 'HIGHBEAM'	HIGHBEAM OVERCUP OAK	3"	14' MN.	35'-50'	PARKING LOT TREE

CODE COMPLIANT PLANT SCHEDULE **03**

7.2.5 SCREENING  
 ▶ MECHANICAL  
 OPAQUE LANDSCAPE SCREEN NO LOWER THAN HIGHEST POINT ON EQUIPMENT

**7.2.7 DESIGN AND INSTALLATION**

▶ PLANT MATERIAL  
 SHADE TREES- 3" MIN CAL INSTALLED, 30' MIN MATURE HT.  
 CANOPY TREES- 12" MIN CAL & 15' MIN HT. INSTALLED, 15' MIN MATURE HT.  
 SPREADING SHRUBS- 18" MIN HT. INSTALLED, 3' MIN MATURE HT.  
 ARCHITECTURE YARD SHRUBS- 18" MIN HT INSTALLED, 3' X 3' MIN MATURE SIZE  
 STREET YARD SHRUBS- CONTINUOUS ROW 9' OC

**8.5.2 STREETS CAPES (241 LF)**

▶ STREET TREES

REQUIRED TREES: \_\_\_\_\_ 12 TREES REQUIRED  
 24" LF X 1" TREE (20 LF)  
 PROPOSED TREES: \_\_\_\_\_ 12 TREES PROPOSED

**7.1.7 VEHICLE PARKING LOT LANDSCAPING**

REQUIRED TREES: \_\_\_\_\_ 1 TREES REQUIRED  
 1" TREE SURFACE AREA WITH 10 SPACES OR LESS  
 PROPOSED TREES: \_\_\_\_\_ 1 TREES PROPOSED

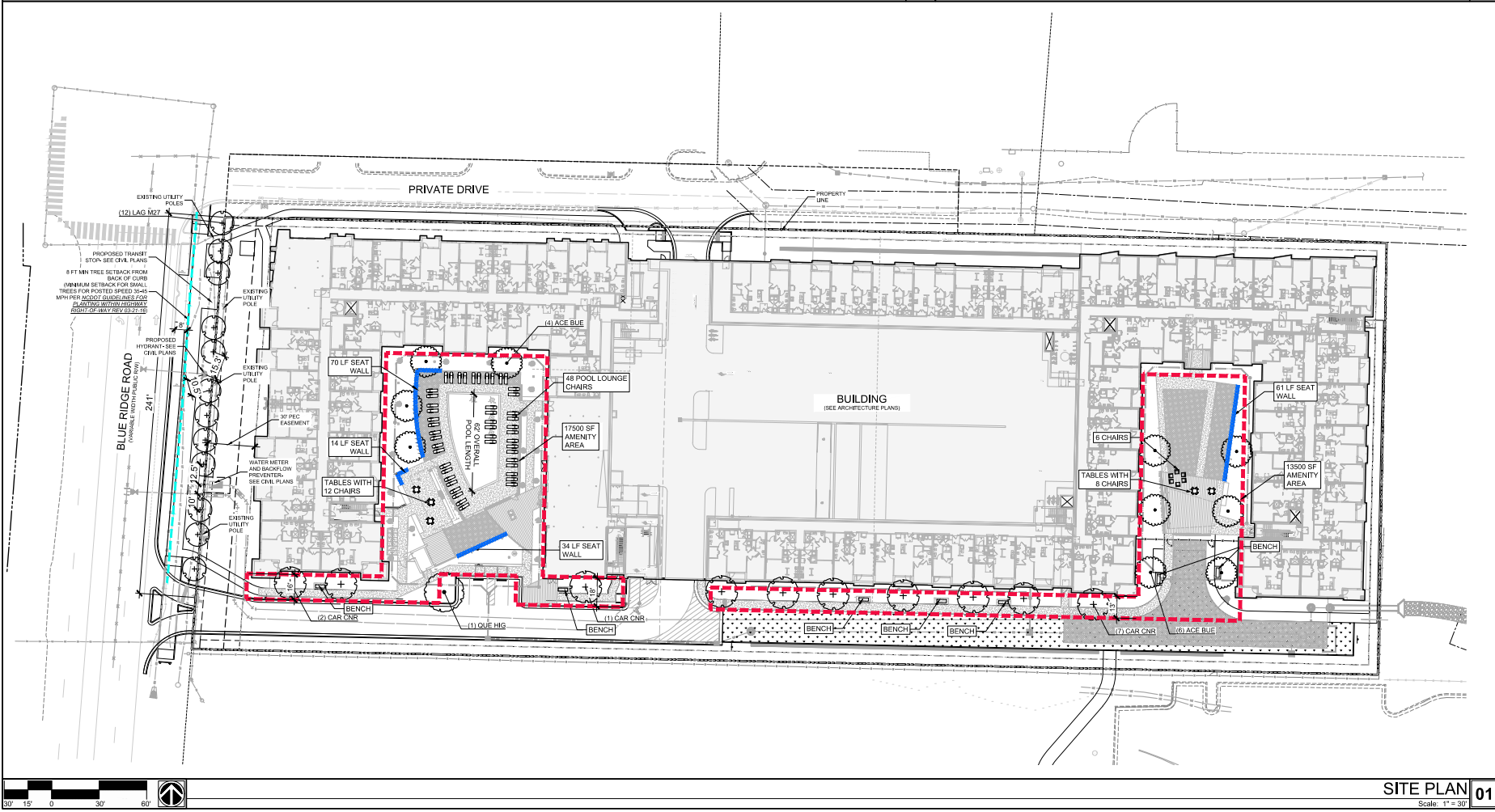
**1.5.3 OUTDOOR AMENITY AREA**  
 ▶ REQUIRED OUTDOOR AMENITY: 20,299 SF  
 X 10% SITE AREA (241 AC, 20,299 SF)

PROPOSED AMENITY AREA: 20,299 PROPOSED  
 11,200 SF AMENITY AREA SHOWN ON THE PLANS  
 9,099 REQUIRED SF AREA FOR SEATING AND LANDSCAPE CALCULATIONS BELOW

REQUIRED SEATING: \_\_\_\_\_ 406 LF REQUIRED  
 1/2 SF OF SEAT/CHAIR ASSEMBLY  
 PROPOSED SEATING: \_\_\_\_\_ 406 LF PROPOSED  
 (1) LOUNGER OR CHAIR = 1.25'  
 179 LF SEAT WALL  
 300 LF POOL LOUNGER (88 LOUNGERS)  
 62 LF CHAIR (25 CHAIRS)  
 41 LF BENCH (10 BENCHES)

REQUIRED TREES: \_\_\_\_\_ 20 TREES REQUIRED  
 11/2" CAL. TREE / 1.00 SF OF REQ. OUTDOOR AMENITY  
 PROPOSED TREES: \_\_\_\_\_ 20 TREES PROPOSED

LANDSCAPE AND AMENITY CALCULATIONS **02**



125 N. Harrington St.  
 Raleigh, NC 27603  
 919.433.6413  
 ClineDesignAssoc.com

Trinsic Residential Group  
**Aura Blue Ridge**  
 1520 Blue Ridge Road  
 Raleigh, North Carolina

ASR  
 Submittal

PROJECT: 022063  
 DATE: 03.03.2023

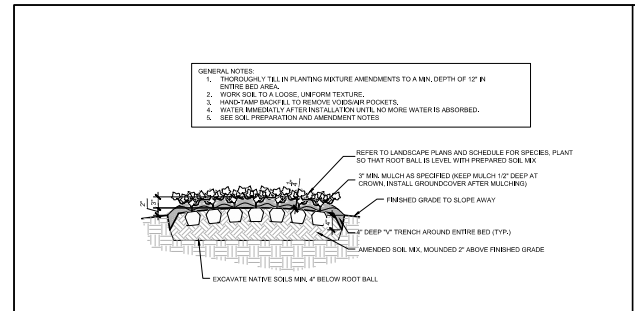
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DRAWN BY: EWB  
 CHECKED BY: JK

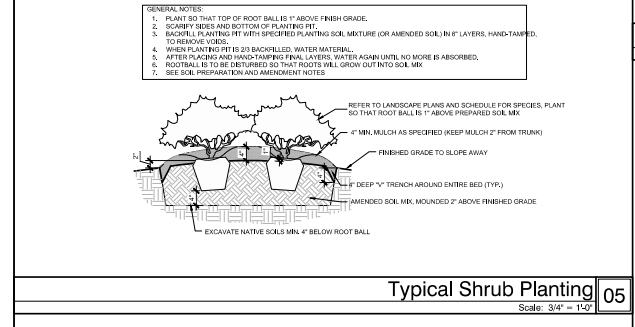
CODE LANDSCAPE AND AMENITY PLAN

SITE PLAN **01**  
 Scale: 1" = 30'

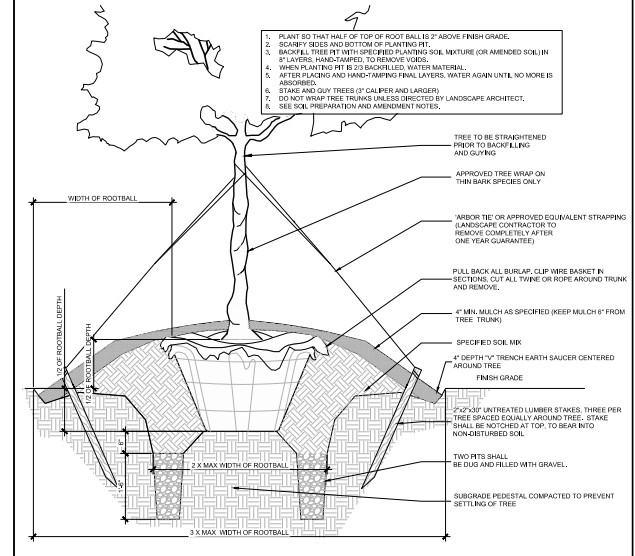
LP100



**Typical Groundcover Planting** 06  
 Scale: 3/4" = 1'-0"



**Typical Shrub Planting** 05  
 Scale: 3/4" = 1'-0"



**Typical Tree Planting** 04  
 Scale: 3/4" = 1'-0"

**Landscaping Maintenance Notes**

A. Fertilization: Avoid any nitrogen fertilization of cool-season grasses, such as tall fescue, after the February application until September. Fertilize warm season grasses three times per year September 15, October 15, and February 15 according to soil test. Fertilize warm season grasses once during growing season per soil test.

B. Pruning: Pruning is important to improve health and vigor of woody plants, adjustments to the shape and branching density for visual screens and managing competition, and improving the appearance of trees and shrubs. Pruning shall be limited to removal of dead wood or branches for trees or for sight discontinuity reasons for the first year. The ANSI A300 Tree Care Operations standards SHALL be adhered to. The pruning of shrubs shall be limited to the pruning necessary to maintain the natural shape of the plant except for diseased hedges.

1. Shrubs in buffer adjacent to roadway to be ground and 60% height.

2. Shrubs in streetscape buffer trimmed to continuous wall hedge below trees.

3. Shrubs in planting islands kept trimmed to 30" maximum height.

C. Pest Control: Pesticide/weed control for trees and shrubs shall be applied in February. Chemical treatment for insect infestation and disease may be applied and shall be specific to the problem.

D. Mulching: Mulching shall be maintained at a depth of 2" in plant beds. Mulch shall be replaced every year.

E. Mowing: Primary fescue lawns shall be maintained at a height of 1". Secondary turf areas may be maintained higher and less frequently. Warm season grasses shall be mowed as needed during the growing season to maintain the recommended height of the species of turf grass.

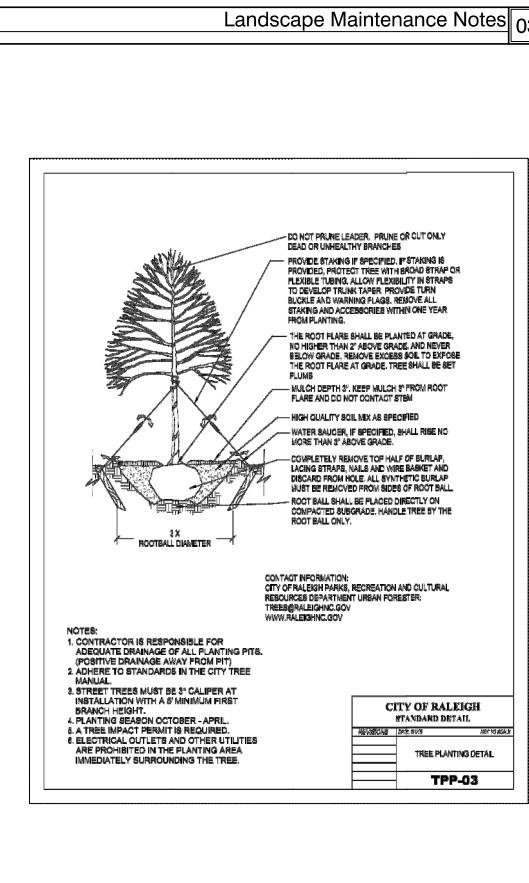
F. Plant Protection: Avoid excess irrigation into the root zone area of established plantings. Install tree protection fencing as shown during construction.

G. Watering: If any irrigation system is utilized, the system shall be regulated to provide approximately 1" of rainfall per week during the growing season.

H. Maintenance notes for Boulevard Basin Aesthetics materials:

- Mulch: Inspect and repair erosion control basins/areas on a monthly basis.
- Inspect mulch cover monthly and replace any void areas as needed, additional mulch shall be applied in the spring where needed.
- Remove and replace all dead or diseased vegetation twice annually. If all diseased shrubs and trees as needed to insure proper growth.
- All plant materials shall be watered by hand for two weeks after installation.
- Reduce any oil/dirt stains or wires wherever needed.
- Remove or trim weeds.

**Landscaping Maintenance Notes** 03



**Raleigh Street Tree Standard Detail** 02

**Landscaping Planting Notes**

- Verification of all landscape material quantities as shown on the landscape plan and in the plant list shall be the responsibility of the landscape contractor. The landscape architect shall be notified of any discrepancies prior to final bidding or installation.
- All landscape materials shall conform to the most recent American Standards for Nursery Stock established by the American Association of Nurserymen (A.A.N.).
- Soil analyses shall be obtained by landscape contractor prior to planting. See Soil Preparation and Amendment Notes
- Shrub bed area preparation is highly preferred to include fully dug holes.
- Trees with root flare covered by more than 1.5" of soil will be rejected prior to installation.
- Landscape material placed in prepared holes shall be properly backfilled prior to the end of the working day.
- All containers shall be soaked with water and mulched immediately following installation.
- All prepared ground cover and annual bed installations shall be properly soaked and mulched prior to the end of the day.
- Landscape Architect shall approve any on-site grade change area for accessibility, shade conditions, height-in-mulch material and temporary watering methods.
- Lot and set the tree by root ball only. Do not H using the tree trunk. Do not use tree trunk as a lever.
- All root balls removed from containers shall be scaffolded by hand prior to placement and back filling with prepared soil. Hand tools are not to be used to scarify root balls.
- All soil and existing holes shall be dug out and removed from around the upper parts of the root ball. Metal stakes and wooden shingles packed back and tamped under the edges of the saucer rings on all trees and large shrubs. All synthetic burlap shall be removed from plant balls prior to backfilling.
- All plant beds or raised saucer rings shall be edged with smooth, continuous curves.
- All plant material shall be planted at heights as indicated in plant details.
- Tree guying shall be performed within a week of planting. The landscape contractor shall be responsible for removing all tree guying straps and stakes after the first 1/2 growing season or one year, whichever ever comes first.
- All containers shall be soaked with water and mulched immediately following installation.
- Tree guying shall be performed within a week of planting. The landscape contractor shall be responsible for removing all tree guying straps and stakes after the first 1/2 growing season or one year, whichever ever comes first.
- All plant beds and raised saucer rings shall be graded to provide adequate drainage and shall be mulched as specified.
- All materials, staking and landscape work shall conform to the current municipal authority's latest specifications and details.
- Landscaping areas that are not planted and mulched or paved shall be seeded or sodded per owner's direction, unless otherwise noted.
- This protection fence shall be installed, inspected and approved prior to the issuance of any grading or other permits.
- First year pruning of tree crown shall be limited to removal of dead or damaged wood.
- The owner shall be responsible for the maintenance of all required landscaping including:
  - weeding
  - watering
  - maintaining plants disease free
- weeding all planting beds groomed and weed free per municipality requirements (except in areas of preserved existing natural vegetation L.S. thickness)
- weeding all planting beds free from mulch, weeds and other materials, after the first year from planting.
- The owner shall be responsible for the replacement of any required planting, which is removed or dies after the first year from the date of planting. Such replacement shall occur during the next planting season.
- Trees within Municipality Right-of-Way to be planted from October 1st to April 30th only.

**Soil Preparation and Amendment Notes**

- Soil samples shall be taken and submitted to independent source, results to be sent to Landscape Architect. Per recommendation of soil report, landscape contractor to supplement soil with lime, macronutrients and micronutrients.
- Contractor to amend soil with organic material and/or sand to yield the final substrate:
  - 33.3% Sand/Silt
  - 33.3% Clay
  - 33.3% Organic Material \*
- \* Organic material to be Compost made solely from plant-based products. Peat moss is allowed in sandy soils
- Native soil L.S. Nutrients and Amendments to be added to a minimum width of 3x root ball for trees. Shrub and groundcover planting areas shall be filled to a minimum 4" below surface or a minimum 12" deep.

**Planting and Soil Notes** 01

PROJECT: 022063 - AURA BLUE RIDGE - RALEIGH, NC - 1520 BLUE RIDGE ROAD - RALEIGH, NC - 27603 - 919.634.4113 - CLINE DESIGN ASSOCIATES, INC. - 125 N. HARRINGTON ST. - RALEIGH, NC - 27603 - 919.634.4113 - CLINE DESIGN ASSOCIATES, INC.

**WDM**  
WALL MOUNTED

**FEATURES**

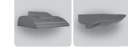
- 40 WATT LED LIGHTING
- 40° BEAM ANGLE
- 1600 LUMENS
- 5 YEAR WARRANTY
- 5 YEAR WARRANTY
- 5 YEAR WARRANTY
- 5 YEAR WARRANTY
- 5 YEAR WARRANTY

**CONTROL TECHNOLOGY**

**INSTALLATION**

**SPECIFICATIONS**

**Wall Director**



**WDM**

**INSTALLATION**

1. Mounting surface must be flat and level.

2. Mounting surface must be clean and free of debris.

3. Mounting surface must be able to support the weight of the fixture.

4. Mounting surface must be able to support the weight of the fixture.

5. Mounting surface must be able to support the weight of the fixture.

**OPERATION**

1. The fixture will operate for a minimum of 50,000 hours.

2. The fixture will operate for a minimum of 50,000 hours.

3. The fixture will operate for a minimum of 50,000 hours.

4. The fixture will operate for a minimum of 50,000 hours.

5. The fixture will operate for a minimum of 50,000 hours.

**Current**

**WDM**  
WALL MOUNTED

**ORDERING GUIDE**

Order #

Order #	Qty	Part No.	Description
001	1	WDM-D-40-1600-40	WDM-D-40-1600-40
002	1	WDM-D-40-1600-40	WDM-D-40-1600-40
003	1	WDM-D-40-1600-40	WDM-D-40-1600-40
004	1	WDM-D-40-1600-40	WDM-D-40-1600-40
005	1	WDM-D-40-1600-40	WDM-D-40-1600-40

Current

**OPERATION**

1. The fixture will operate for a minimum of 50,000 hours.

2. The fixture will operate for a minimum of 50,000 hours.

3. The fixture will operate for a minimum of 50,000 hours.

4. The fixture will operate for a minimum of 50,000 hours.

5. The fixture will operate for a minimum of 50,000 hours.

**OPERATION**

1. The fixture will operate for a minimum of 50,000 hours.

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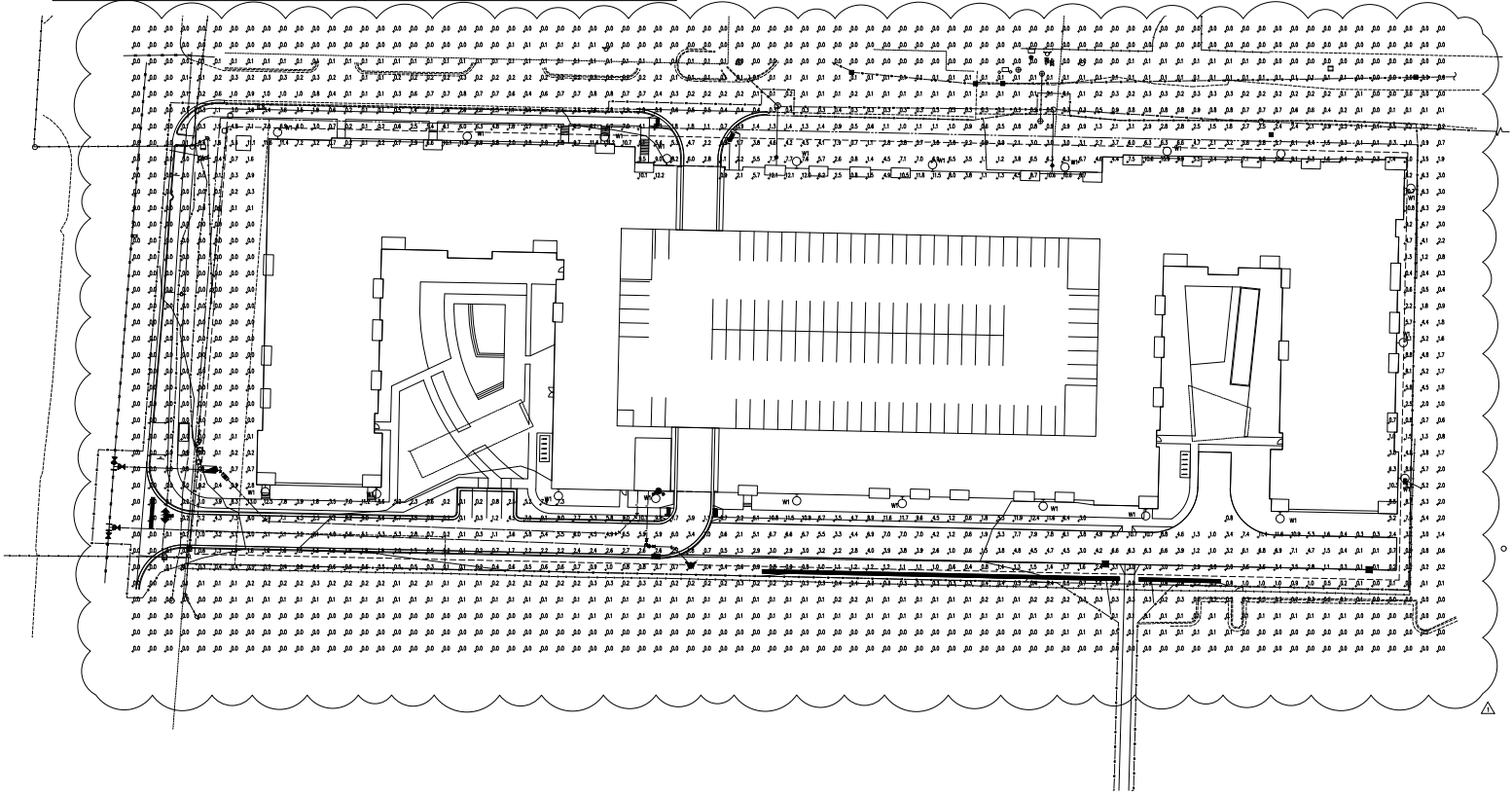
4. The fixture will operate for a minimum of 50,000 hours.

5. The fixture will operate for a minimum of 50,000 hours.

**Current**

**LIGHTING (SEE FIXTURE SCH.)**

○ WALL MOUNTED LED FIXTURE AT 12' AFF - 10M # WDM D 40L 130 3K7 4W UVV



**1 ELECTRICAL SITE PLAN**  
1" = 30'-0"

**CLINE DESIGN**

125 N. Harrington St.  
Raleigh, NC 27603  
919.833.6413  
ClineDesignAssoc.com

**Optima**  
Engineering

100 Fayetteville Rd., Suite 101, Fayetteville, NC 27804  
1027 South Point Rd., Suite 300, Charlotte, NC 28203  
2000 W. Henderson Blvd., Suite 400, Raleigh, NC 27606  
Phone: 919.242.4200 • www.optimaengineering.com  
North Carolina License Number: CCE014

**CLINE DESIGN**  
**AURA BLUE RIDGE**  
**RALEIGH, NC**

PROJECT: 022003  
DATE: 03.02.2023  
REVISIONS: DATE  
1 COR REVIEW 05.26.2023

DRAWN BY: AEB  
CHECKED BY: AEB  
SITE LIGHTING PLAN

EL1.01

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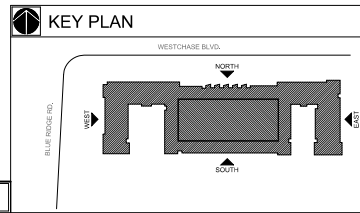
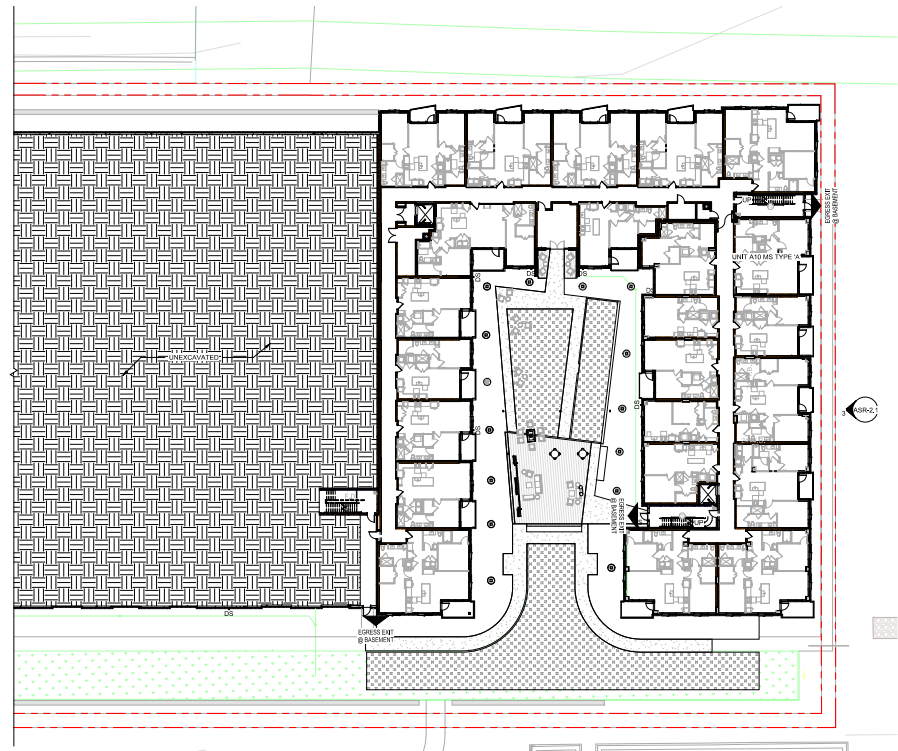
PER COR  
3RD ASR  
COMMENTS

PROJECT:	022063
DATE:	12.14.23
REVISIONS:	DATE

DRAWN BY: KR  
CHECKED BY: KR

ASR OVERALL  
BASEMENT FLOOR  
PLAN

ASR-1.0



**BASEMENT FLOOR PLAN - OVERALL** 1  
3/8" = 1'-0"





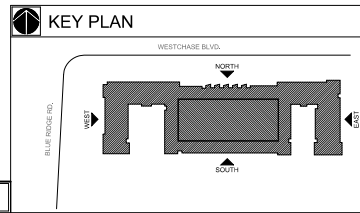
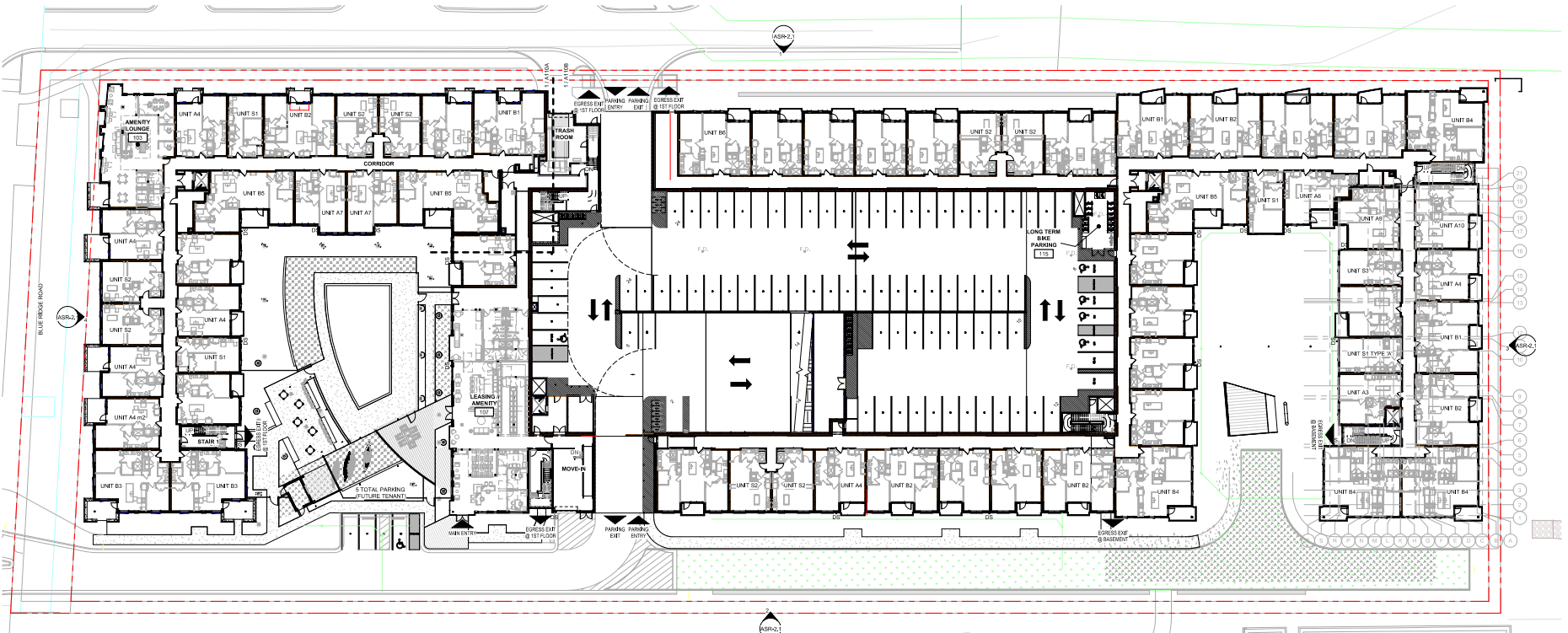
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COMMENTS

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REVISIONS:	DATE

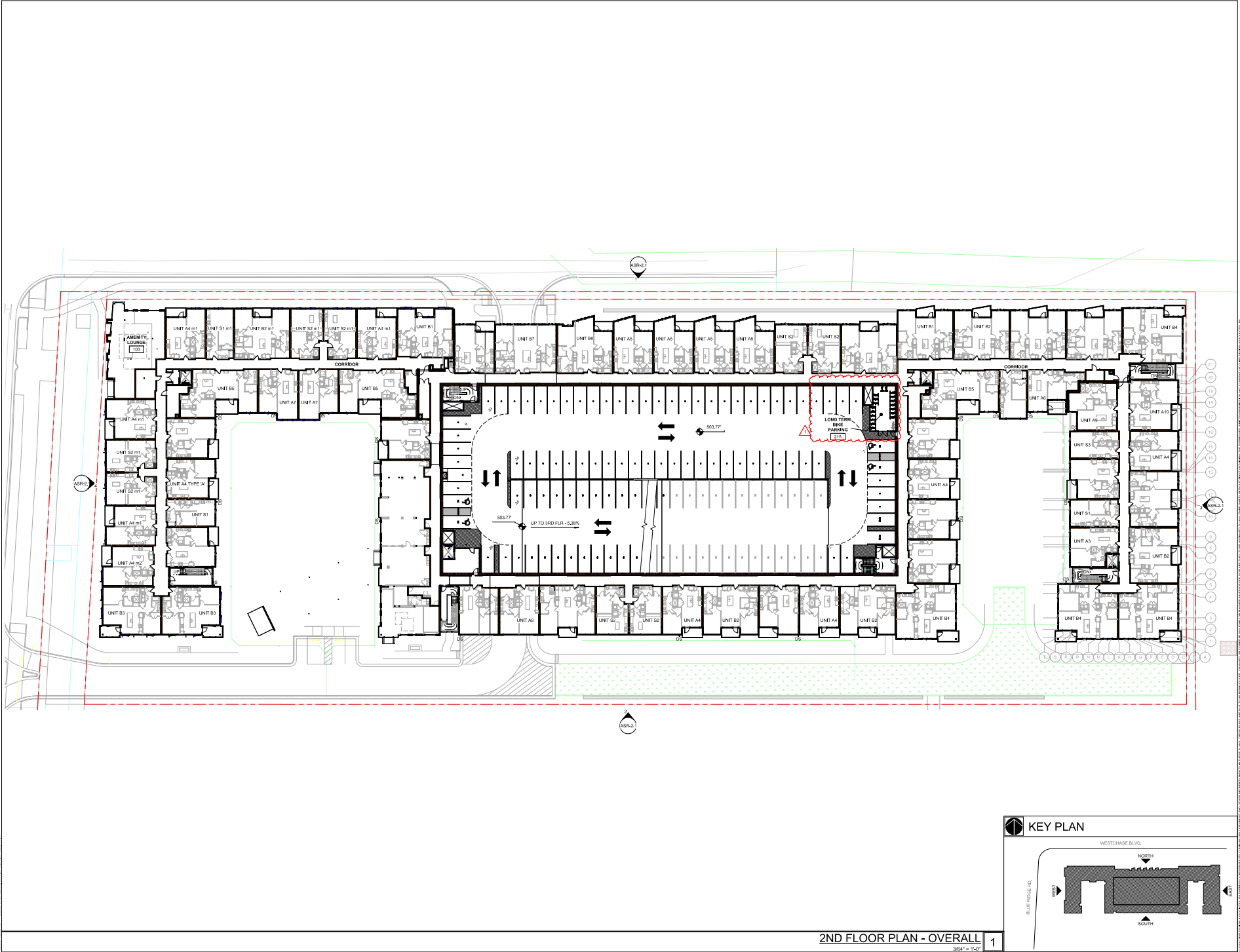
DRAWN BY: KK  
CHECKED BY: KK

ASR OVERALL 1ST  
FLOOR PLAN

ASR-1.1

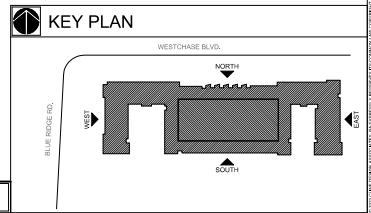


1ST FLOOR PLAN - OVERALL 1  
3/8" = 1'-0"



PROJECT: 022063  
 DATE: 12.14.23  
 REVISIONS: 1 Revision 1 Date 1  
 DRAWN BY: KK  
 CHECKED BY: KK  
 ASR OVERALL 2ND FLOOR PLAN  
 ASR-1.2

PER COR  
3RD ASR  
COMMENTS



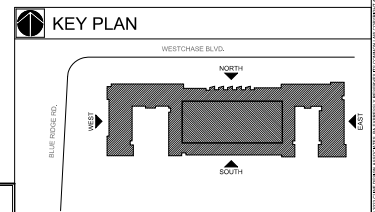
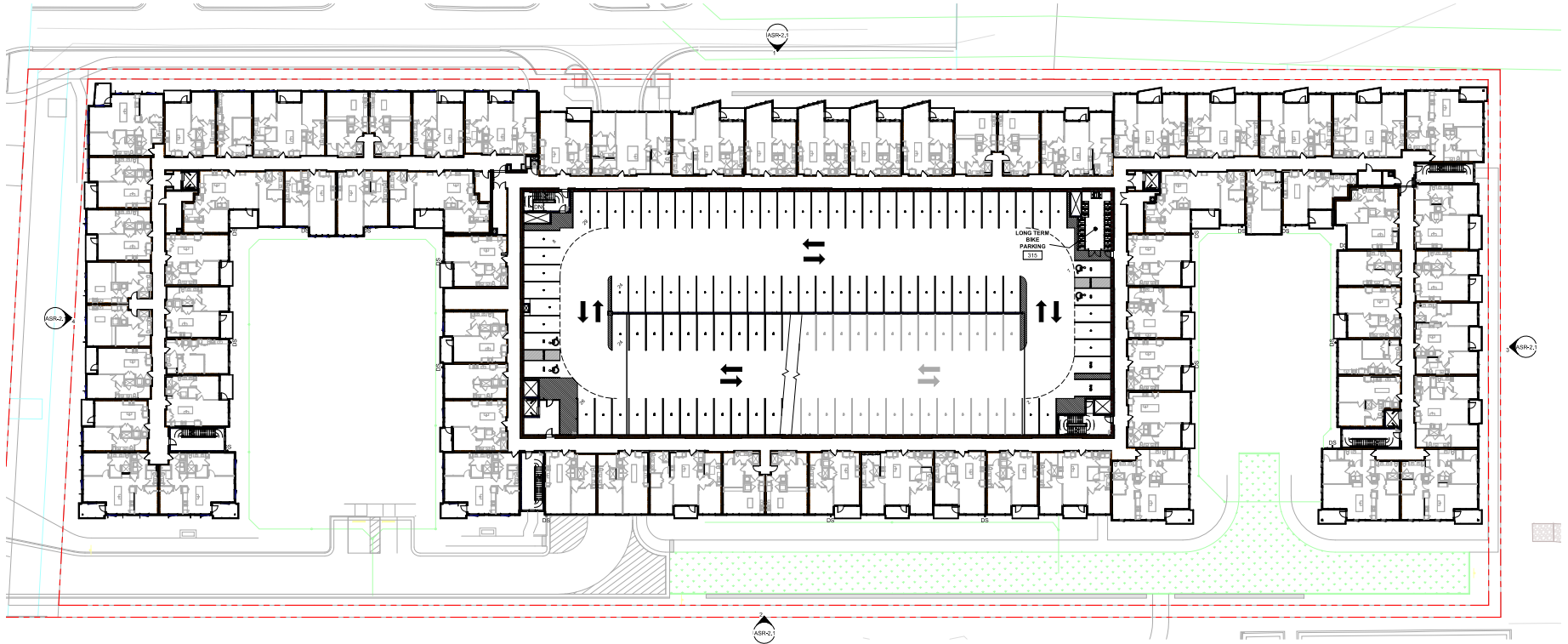
**2ND FLOOR PLAN - OVERALL** 1  
3/8" = 1'-0"

PER COR  
3RD ASR  
COMMENTS

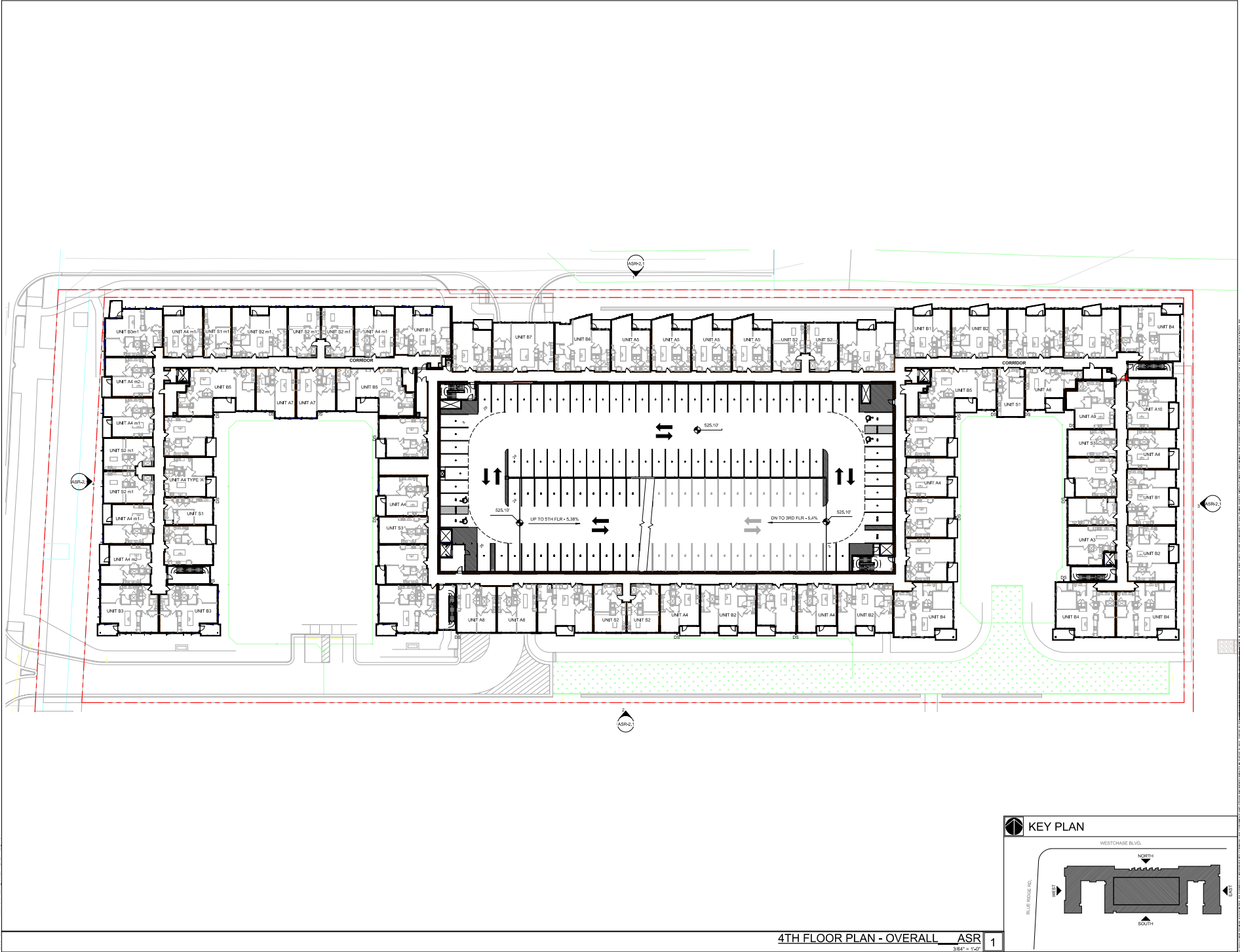
PROJECT:	022063
DATE:	12.14.23
REVISIONS:	DATE

DRAWN BY: KR  
CHECKED BY: KR

ASR OVERALL 3RD  
FLOOR PLAN



3RD FLOOR PLAN - OVERALL 1  
3/8" = 1'-0"

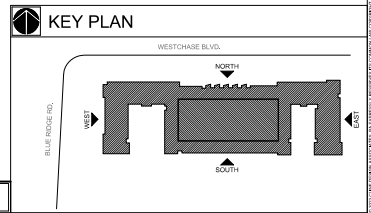


TRINIC RESIDENTIAL GROUP  
**AURA BLUE RIDGE**  
 RALEIGH, NC

PER COR  
 3RD ASR  
 COMMENTS

REVISIONS	DATE

PROJECT: 022063  
 DATE: 12.14.23

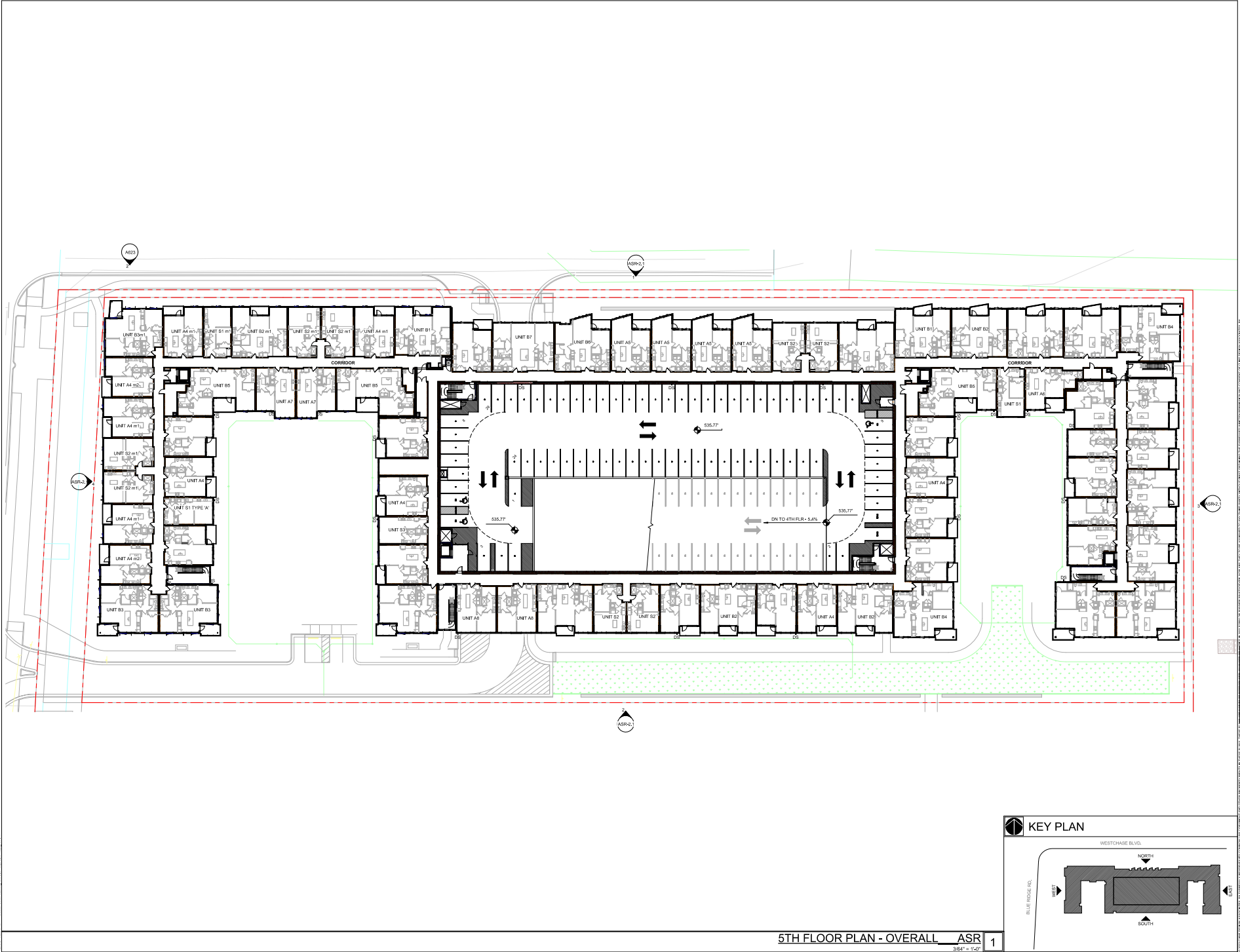


4TH FLOOR PLAN - OVERALL ASR 1  
3/65 = 1/4"

DRAWN BY: KK  
 CHECKED BY: KK

ASR OVERALL 4TH  
 FLOOR PLAN

ASR-1.4



TRINIS RESIDENTIAL GROUP  
**AURA BLUE RIDGE**  
RALEIGH, NC

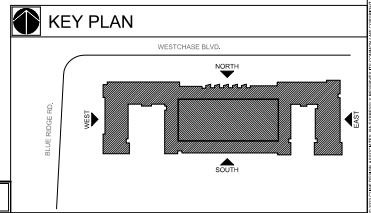
PER COR  
3RD ASR  
COMMENTS

PROJECT:	022063
DATE:	12.14.23
REVISIONS:	DATE

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CHECKED BY: KK

ASR OVERALL 5TH  
FLOOR PLAN

ASR-1.5



5TH FLOOR PLAN - OVERALL ASR 1  
3/64" = 1/4"



