



# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

### GENERAL INFORMATION

Development name: Capital Ford Truck Center

Inside City limits? Yes  No

Property address(es): 2805 E Millbrook Rd & 4805 Signett Dr

Site P.I.N.(s): #1726248703 & #1726342726

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
  
Demolish one-story, 3,496 SF surrounding paving, and associated utilities. Construct a 13,861 SF Truck Service Building.

**Current Property Owner(s):** Capital Ford, INC.

Company: Capital Ford Title:

Address: 4900 Capital Blvd, Raleigh NC 27616

Phone #: Email:

**Applicant Name (If different from owner. See "who can apply" in instructions):**

Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder

Company: Address:

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b> Tim Michael	
Company: Capital Auto Group	Title: President
Address: 4900 Leigh Dr, Raleigh NC 27616	
Phone #: (919) 790-4600	Email: tim.michael@capitalautogroup.com
Applicant Name: Sharron Scroggin	
Company: HagerSmith Design, PA	Address: 300 S Dawson St, Raleigh NC 27601
Phone #: (919) 821-5547	Email: scroggin@hagersmith.com

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): IX-3 (AC 6.78), IX-3 (AC 0.86)	Existing gross floor area (not to be demolished): 39,151 SF
Gross site acreage: 7.64	Existing gross floor area to be demolished: 3,496 SF
# of parking spaces proposed: $\pm 549 - 109 = \pm 440$	New gross floor area: 53,012 SF = 39,151 + 13,861
Max # parking permitted (7.1.2.C): No Max	Total sf gross (to remain and new):
Overlay District (if applicable): N/A	Proposed # of buildings: 2
Existing use (UDO 6.1.4): Vehicle Repair	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): no change	Proposed # of basement levels (UDO 1.5.7.A.6) 0

**STORMWATER INFORMATION**

Imperious Area on Parcel(s):  Existing (sf) <u>289,031</u> Proposed total (sf) <u>288,933</u> <b>See Exhibits A and B for impervious calculations</b>	Impervious Area for Compliance (includes ROW):  Existing (sf) _____ Proposed total (sf) _____
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**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page Three.

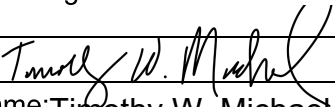
**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 3/6/2024
Printed Name: Timothy W. Michael	



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Site Plan Tier: Tier Two Site Plan <input checked="" type="checkbox"/> Tier Three Site Plan <input type="checkbox"/>				
<table border="1"> <tr> <th>Building and Development Type (Check all that apply)</th> <th>Site Transaction History</th> </tr> <tr> <td> <input type="checkbox"/> Detached  <input type="checkbox"/> Attached  <input type="checkbox"/> Townhouse  <input type="checkbox"/> Apartment  <input type="checkbox"/> Tiny house  <input type="checkbox"/> Open lot                 </td> <td> <input checked="" type="checkbox"/> General  <input type="checkbox"/> Mixed use  <input type="checkbox"/> Civic  <input type="checkbox"/> Cottage Court  <input type="checkbox"/> Frequent Transit Development Option                 </td> </tr> </table>	Building and Development Type (Check all that apply)	Site Transaction History	<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option
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GENERAL INFORMATION	
Development name: Capital Ford Truck Center	
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Property address(es): 2805 E Millbrook Rd. & 4805 Signett Dr.	
Site P.I.N.(s): #1726248703 & #1726342726	
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  Demolish one-story 3,496 SF surrounding paving, utilities and construct a 13,861 SF Truck Service Building	
Current Property Owner(s): Capital Ford, INC.	
Company: Capital Ford	Title:
Address: 4900 Capital Blvd, Raleigh, NC 27616	
Phone#: SEE BELOW	Email:
Applicant Name (If different from owner. See "who can apply instructions"):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company: Capital Ford	Address:

Page 1 of 3

REVISION 1.23.23

Phone #: See Owner Developer below	Email: See Owner Developer below
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
Developer Contact: Tim Michale	
Company: Capital Auto Group	Title: President
Address: 4900 Leigh Dr, Raleigh, NC 27616	
Phone #: (919) 790-4600	Email: tim.michael@capitalautogroup.com
Applicant Name: Sharron Scroggin	
Company: HagerSmith Design, PA	Address: 300 S Dawson St, Raleigh NC 27601
Phone#: (919) 821-5547	Email: scroggin@hagersmith.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
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Gross site acreage: 7.64	Existing gross floor area (to be demolished): 3,469 SF
# of parking space propose: +/- 549-109 +/- -440	New gross floor area: 13,861 SF
Max # parking permitted (7.1.2.C): No Max	Total sf gross (to remain and new): 53,012 SF
Overlay District (if applicable): N/A	Proposed # of buildings: 2
Existing use (UDO 6.1.4): Vehicle Repair	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): no change	Proposed # of basement level (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION	
Impervious Area on Parcel (s):	Impervious Area for Compliance (includes ROW):
Existing (sf) 289,031 Proposed total (sf) 288,933 See Exhibits A and B for impervious calculations	Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedrooms units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> <input type="radio"/>
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Signature: <i>Timothy W. Michael</i>	Date: 3/6/2024
Printed Name: Timothy W. Michael	

**SITE DATA:**

**DEVELOPMENT NAME:** CAPITAL FORD TRUCK CENTER

**PROPERTY OWNER:** CAPITAL FORD INC  
4900 CAPITAL BLVD  
RALEIGH NC 27604

**APPLICANT:** HAGERSMITH DESIGN, C/O SHARRON SCROGGIN  
300 S DAWSON ST  
RALEIGH, NC 27601 (919) 821-5547

**ADDRESS:** LOT 1: 2805 E MILLBROOK RD, RALEIGH NC 27604 & LOT 2: 4805 SIGNETT DR, RALEIGH NC 27616

**PIN #:** #1726248703 & #1726342726  
**REID:** 0051191 & 0090040  
**ZONING:** IX-3  
**ZONING OVERLAY:** N/A  
**TOWNSHIP:** NEUSE

**RIVER BASIN:** NEUSE  
**WATERSHED:** CRABTREE CREEK  
**RIPARIAN BUFFER:** NONE  
**SITE ACREAGE:** LOT 1: 6.78; LOT 2: .86 (TOTAL ACREAGE 7.64 AC)

**FRONTAGE TYPE:** N/A  
**RESIDENTIAL DENSITY:** N/A  
**EXISTING USE:** VEHICLE REPAIR (MINOR), VEHICLE REPAIR (MAJOR), VEHICLE REPAIR (COMMERCIAL VEHICLE)  
**PROPOSED USE:** VEHICLE REPAIR (MINOR), VEHICLE REPAIR (MAJOR), VEHICLE REPAIR (COMMERCIAL VEHICLE)

**REQUIRED BLDG SETBACKS:**  
PRIMARY STREET (MIN): 3'  
SIDE STREET (MIN): 3'  
SIDE LOT LINE (MIN): 0' OR 6'  
REAR LOT LINE (MIN): 0' OR 6'

**BUILDING SUMMARY:**  
NORTH BUILDING (TO REMAIN) 39,151 SF  
SOUTH BUILDING (DEMO) 3,496 SF  
EXISTING BLDG(S) TOTAL: 42,647 SF = 39,151 + 3,494 SF (TO BE DEMOLISHED)  
25% MAX BLDG INCREASE: 10,661 SF MAX = 42,647 x 0.25  
MAX TOTAL ALLOWED (TIER 2 SP): 53,308 SF = 42,647 + 10,661

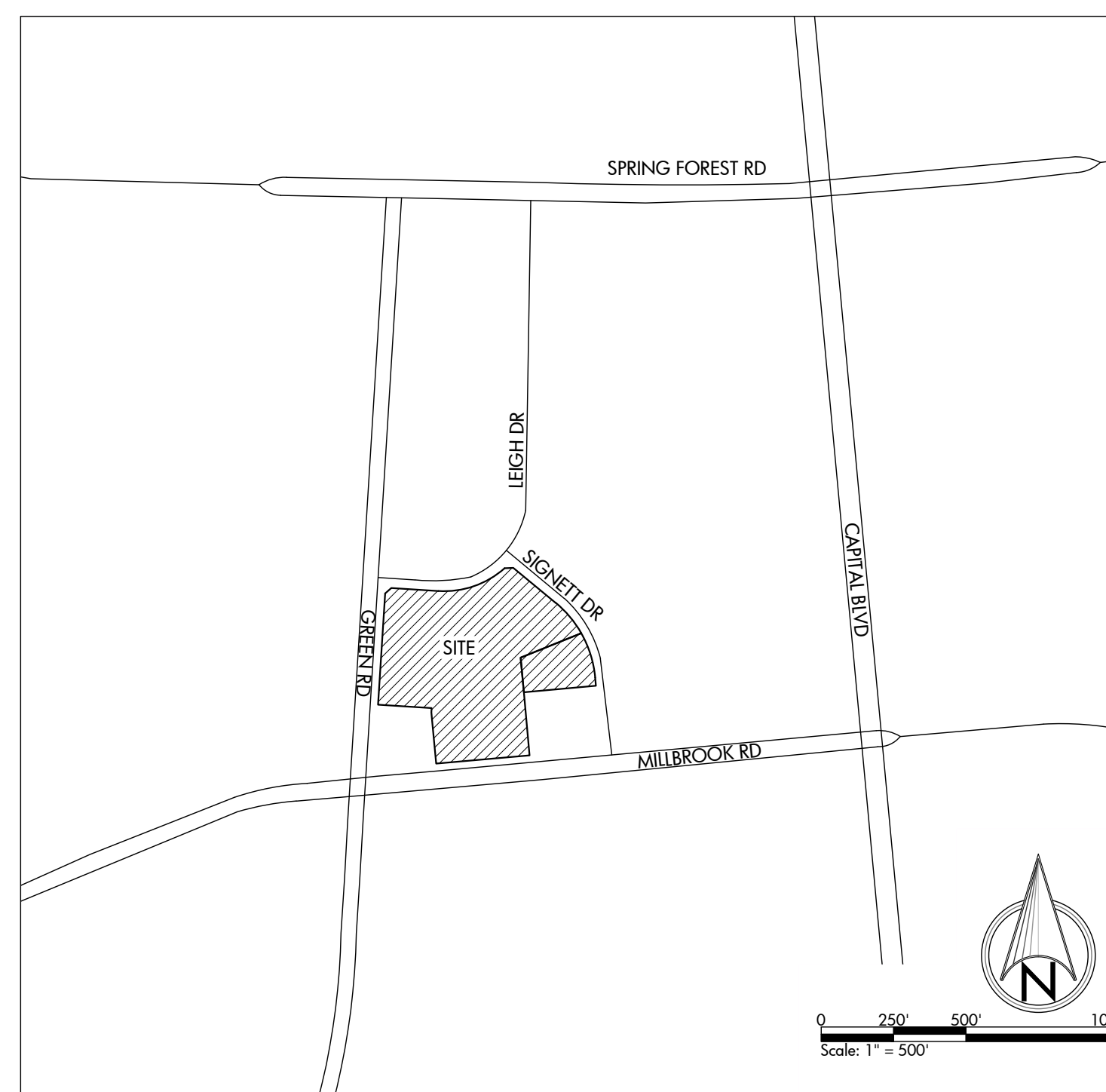
**PROPOSED BLDG:** 13,861 SF  
**PROPOSED TOTAL TWO BLDGS:** 53,012 SF = 39,151 + 13,861 (279 SF LESS THAN MAX)  
**NET INCREASE:** 10,365 SF 24.3% = 10,365 SF / 42,647 SF

**PARKING SUMMARY:**  
EXISTING PARKING: ± 549 SPACES  
MAXIMUM VEHICLE PARKING: NO MAXIMUM  
PROPOSED PARKING: ± 440 SPACES

**ACC. REQ./PROPOSED:** 7 ACC. SPACES (2 VAN SPACES)

**REQUIRED SHORT-TERM BICYCLE PARKING (MIN):** NONE  
**REQUIRED LONG-TERM BICYCLE PARKING (MIN):** NONE  
**PROVIDED BICYCLE PARKING:** NONE

**IMPERVIOUS SUMMARY:**  
EXISTING IMPERVIOUS: 289,031 SF (6.64 AC)  
PROPOSED IMPERVIOUS: 288,933 SF (6.63 AC)  
NET DECREASE: 98 SF



- GENERAL NOTES**
- UNLESS EXPLICITLY SPECIFIED ON THIS SITE PLAN, THIS PROJECT SHALL COMPLY WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) AND ALL OTHER APPLICABLE REGULATIONS AND GUIDELINES. IN THE EVENT OF A DISCREPANCY BETWEEN THIS APPROVED PLAN AND THE APPLICABLE REGULATIONS OR GUIDELINES, THE MORE STRINGENT SHALL APPLY.
  - CONTRACTOR SHALL HAVE A CURRENT COPY OF CITY OF RALEIGH STANDARD DETAILS AND SPECIFICATIONS ON SITE.
  - CONTRACTOR TO OBTAIN COPIES OF ALL PERMITS PRIOR TO CONSTRUCTION, COMPLY WITH ALL REQUIREMENTS LISTED THEREIN, AND COORDINATE AND OBTAIN ALL INSPECTIONS.
  - ERECT AND MAINTAIN TREE PROTECTION FENCING AROUND ALL TREE CONSERVATION, TREE PRESERVATION OR UNDISTURBED BUFFER AREAS AS INDICATED ON THE DRAWINGS.
  - ALL ACTIVITIES SHALL COMPLY AT A MINIMUM WITH ALL STATE AND FEDERAL REGULATIONS, AS WELL AS THE APPROPRIATE COUNTY HEALTH DEPARTMENT REGULATIONS, AND CITY AND COUNTY FIRE DEPARTMENT REGULATION FOR HAZARDOUS MATERIALS AND WASTES.
  - ALL WORK SHALL BE STAKED BY A LICENSED NC LAND SURVEYOR.
  - CONTRACTOR SHALL COORDINATE SITE PLAN AND INFRASTRUCTURE CONSTRUCTION PLANS PRIOR TO CONSTRUCTION. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN ORDER TO PROVIDE A SOLUTION PRIOR TO BEGINNING CONSTRUCTION.
  - PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE LOWERING OF EXISTING GRADE AROUND A TREE OR STRIPPING OF TOPSOIL, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE CONSERVATION AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA.
  - BOUNDARY & TOPOGRAPHIC INFORMATION TAKEN FROM A FIELD SURVEY PREPARED BY BNK.
  - ALL DRIVEWAY AND ENCROACHMENT AGREEMENTS, IF REQUIRED, WILL BE ISSUED BY THE NCDOT DISTRICT OFFICE. THESE MUST BE APPROVED AND COPIES PROVIDED PRIOR TO CONCURRENT APPROVAL.
  - FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTORS AS NEEDED DURING CONSTRUCTION.
  - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN OR PARKED VEHICLE.
  - UNLESS NOTED OTHERWISE, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
  - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRDROACH ON THIS MINIMUM CORNER CLEARANCE.
  - WHEELCHAIR ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS, ANSI STANDARDS, AND ADAAG SPECIFICATIONS.

- TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:**
- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
  - THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
  - A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
  - PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
  - ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
    - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
    - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
    - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
    - RALEIGH STREET DESIGN MANUAL (RSDM).
  - ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

- ACCESSIBILITY NOTES**
- THE SITE SHALL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1 -2009 AND CHAPTER 11 OF THE NCBQ).
  - PROVIDE A MAXIMUM OF 2% OF CROSS SLOPE AND A MAXIMUM OF 5% IN THE DIRECTION OF TRAVEL ON ALL ACCESSIBLE ROUTES, EXCEPT ON RAMPS.
  - GROUND SURFACES ALONG ACCESSIBLE ROUTES TO BE STABLE, FIRM, AND SLIP RESISTANT WITH DIRECT CHANGES IN LEVEL OF 1/4" MAXIMUM AND BEVELED CHANGES IN LEVEL OF 1/2" MAXIMUM WITH A BEVELED SLOPE NO GREATER THAN 1:2.
  - ACCESSIBLE ROUTES EXCEEDING 5% IN GRADE IN THE DIRECTION OF TRAVEL ARE NOTED ON THE PLANS AS "RAMPS". PROVIDE HANDRAILS AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH BUILDING/ACCESSIBILITY CODES.
  - ALL ADA ACCESSIBLE LOCATIONS ARE SHOWN ON THE PLAN. THEY INCLUDE, BUT ARE NOT LIMITED TO: ADA PARKING SPACES, SIDEWALK BETWEEN ADA PARKING SPACES AND MAIN BUILDING ENTRANCE, SIDEWALK BETWEEN MAIN BUILDING ENTRANCE AND PUBLIC RIGHT OF WAY.
  - CONTRACTOR SHALL PREPARE FORMS FOR ADA SIDEWALKS. PRIOR TO POURING CONCRETE, CONTRACTOR SHALL VERIFY RUNNING SLOPE AND CROSS SLOPE OF ADA SIDEWALKS. A SMART LEVEL DEVICE SHALL BE USED TO VERIFY THESE SLOPES.
  - UPON COMPLETION OF ALL ADA AREAS (INCLUDING PARKING SPACE AND ACCESS AISLES), CONTRACTOR SHALL, ONCE AGAIN, VERIFY THE RUNNING AND CROSS SLOPE OF THESE AREAS WITH A SMART LEVEL. ANY REPAIRS MADE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

**PUBLIC IMPROVEMENT QUANTITY TABLE**

PHASE NUMBER	PHASE 1
NUMBER OF LOTS	2
NUMBER OF UNITS	0
LIVEABLE BUILDINGS	0
OPEN SPACE?	0
# OF OPEN SPACE LOTS	0
PUBLIC WATER LF	0
PUBLIC SEWER LF	0
PUBLIC STREET LF-FULL	0
PUBLIC STREET LF-PARTIAL	0
PUBLIC SIDEWALK LF	0
STREET SIGNS	0
WATER SERVICE STUBS	0
SEWER SERVICE STUBS	1

**DRAWING INDEX**

COVER	COVER
L-80	EXISTING CONDITIONS PLAN
L-90	TREE CONSERVATION PLAN
L-91	SITE DEMOLITION PLAN
L-100	SITE LAYOUT
L-200	GRADING PLAN
L-300	LANDSCAPE PLAN
SL-101	SITE LIGHTING PLAN
C2.1	UTILITY PLAN
L-700	SITE DETAILS
A-101	BUILDING FLOOR PLAN
A-201	BUILDING ELEVATIONS



**CAPITAL FORD TRUCK CENTER**  
2805 E MILLBROOK RD  
RALEIGH, NC 27604

**CAPITAL FORD, INC.**  
4900 CAPITAL BLVD.  
RALEIGH, NC 27616  
(919) 999-1400

**DRAWING TITLE**

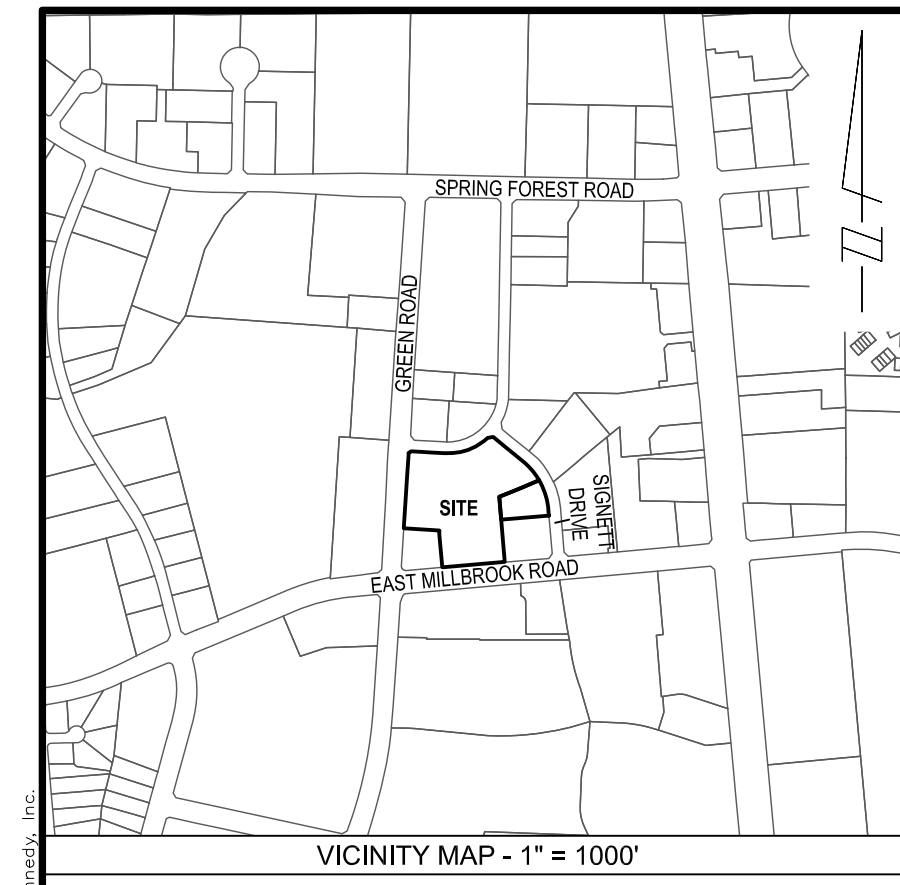
**COVER**

REVISIONS		
NUMBER	DESCRIPTION	DATE

DRAWN BY: SJC, SCS  
CHECKED BY: SCS  
DATE ISSUED: 03-06-24 OF

**COVER**





- NOTE:
- AREAS BY COORDINATE GEOMETRY UNLESS SHOWN OTHERWISE.
  - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
  - ALL STREETS ARE PUBLIC RIGHTS-OF-WAY UNLESS SHOWN OTHERWISE.
  - OTHER INSTRUMENTS OF RECORD MAY AFFECT THESE PROPERTIES.
  - NO TITLE SEARCH PERFORMED FOR THIS SURVEY.
  - NO NCSS MONUMENT WITHIN 2,000 FEET OF PROPERTIES.
  - NO FEMA FLOOD HAZARD AREAS PER FIRM NUMBER 372012700K DATED JULY 19, 2022. PROPERTIES LIE IN ZONE X.
  - PROPERTIES ARE ZONED IX-3.
  - THE COORDINATES SHOWN ON THIS PLAN WERE DERIVED BY REAL TIME NETWORK (RTN) GLOBAL POSITIONING SYSTEM (GPS). THIS METHOD RESULTS IN (NAD 1983/2011) - (CORS 96) POSITIONS AND NORTH AMERICAN VERTICAL DATUM 88 (MEAN SEA LEVEL) ELEVATIONS USING THE CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) MAINTAINED BY NORTH CAROLINA GEODETIC SURVEY, CLASS A SURVEY, 0.033 FT POSITIONAL ACCURACY, VRS FIELD PROCEDURE, GEOID12A AND UNITS IN FEET.
  - PARKING STRIPING FACED PER FIELD OBSERVATION UNLESS SHOWN OTHERWISE.

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION USING REFERENCES SHOWN HEREON; THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM INFORMATION IN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ OR OTHER REFERENCE SOURCE \_\_\_\_\_; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1001).

THIS 12 DAY OF FEBRUARY 2024.  
SEAL  
PROFESSIONAL LAND SURVEYOR

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 49°42'11" E	28.35'
L2	N 87°58'33" E	23.08'
L3	S 05°21'43" E	28.43'
L4	N 03°40'15" E	15.00'

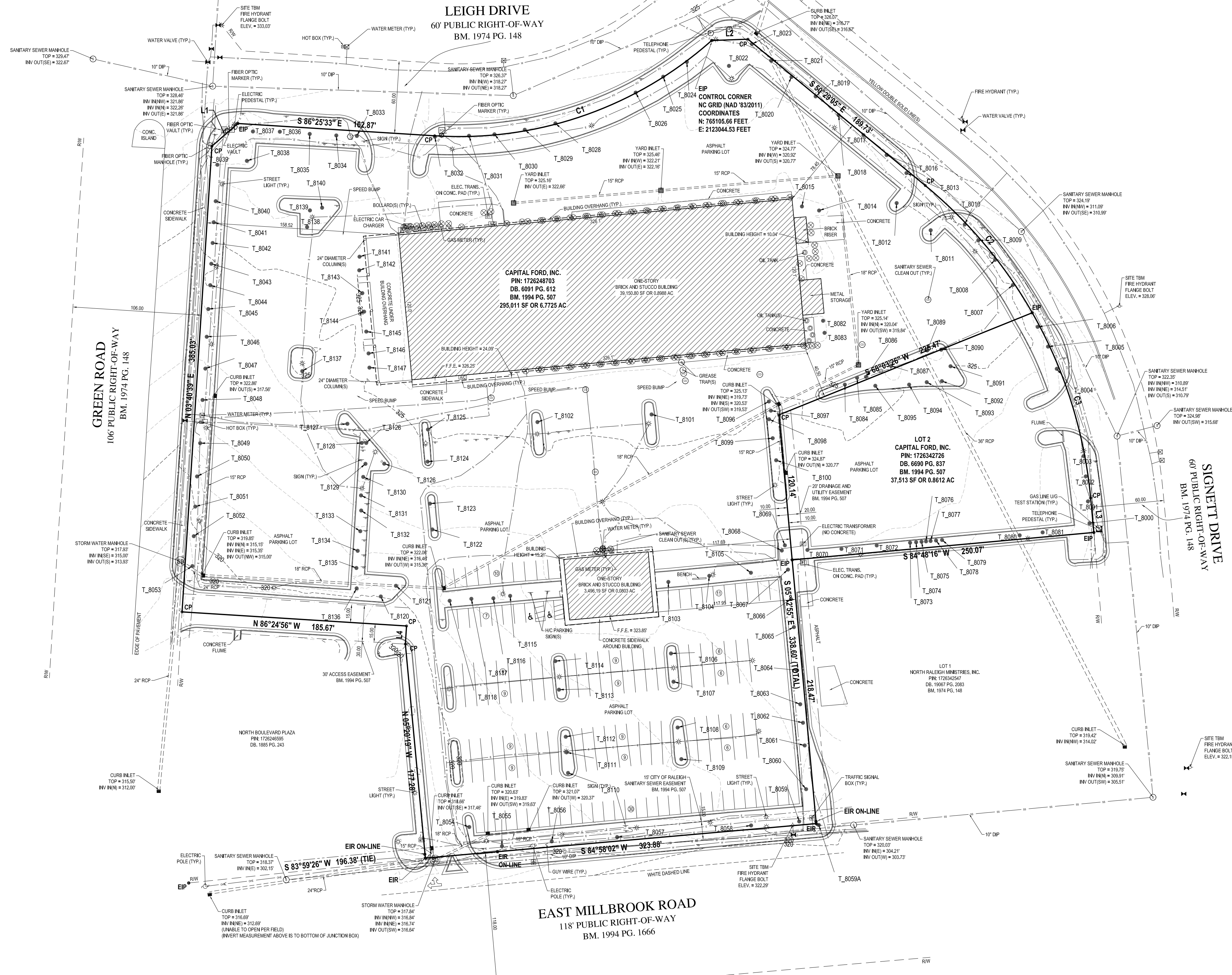
CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C1	312.94'	248.25'	S 40°04'19" E	241.79'
C2	379.26'	137.92'	S 17°29'03" E	137.17'
C3	379.26'	161.57'	S 17°29'03" E	160.35'

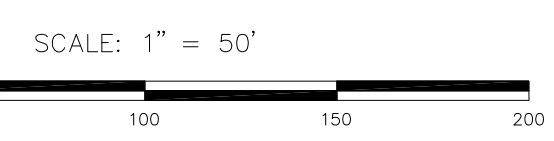
- REFERENCES
- DB. 6091 PG. 612
  - DB. 6690 PG. 837
  - BM. 1974 PG. 148
  - BM. 1980 PG. 559
  - BM. 1994 PG. 507
  - BM. 1994 PG. 1666

LEGEND

- EIP = EXISTING IRON PIPE
- EIR = EXISTING REBAR
- IPS = IRON PIPE SET
- CP = CALCULATED POINT
- ⊕ = ELECTRIC POLE
- ⊞ = ELECTRIC TRANSFORMER
- ⊞ = ELECTRIC PEDESTAL
- ⊞ = ELECTRIC VAULT
- ⊞ = TRAFFIC SIGNAL BOX
- ⊞ = LIGHT POLE
- ⊞ = GUY WIRE
- ⊞ = WATER VALVE
- ⊞ = WATER METER
- ⊞ = HOT BOX
- ⊞ = FIRE HYDRANT
- ⊞ = STORM WATER MANHOLE
- ⊞ = CURB INLET
- ⊞ = YARD INLET
- ⊞ = SANITARY SEWER MANHOLE
- ⊞ = SANITARY SEWER CLEAN OUT
- ⊞ = SANITARY SEWER TEST STATION
- ⊞ = FIBER-OPTIC VAULT
- ⊞ = FIBER-OPTIC MARKER
- ⊞ = FIBER-OPTIC MANHOLE
- ⊞ = TELEPHONE PEDESTAL
- ⊞ = GAS LINE TEST STATION
- ⊞ = GAS METER
- ⊞ = A/C PAD
- ⊞ = SIGN
- ⊞ = BOLLARD
- ⊞ = TREE
- OH ELECTRIC LINE
- SANITARY SEWER LINE
- STORM WATER LINE
- U/G ELECTRIC LINE
- WATER LINE
- U/G FIBER OPTIC LINE
- U/G GAS LINE



NOTE:  
THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND STRUCTURES, FIELD MARKINGS AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS ARE BEGUN, FIELD LOCATIONS AND THE TYPE OF UTILITIES/STRUCTURES SHOULD BE VERIFIED.



OWNER:  
CAPITAL FORD, INC.  
PO BOX 58678  
RALEIGH, NC 27658-8678

**BANK**

BASS, NIXON & KENNEDY, INC.  
CONSULTING ENGINEERS

23225 AMH JOB NO. 02-12-2024  
DATE DRAWN BY  
DATE

NO. DATE DESCRIPTION BY

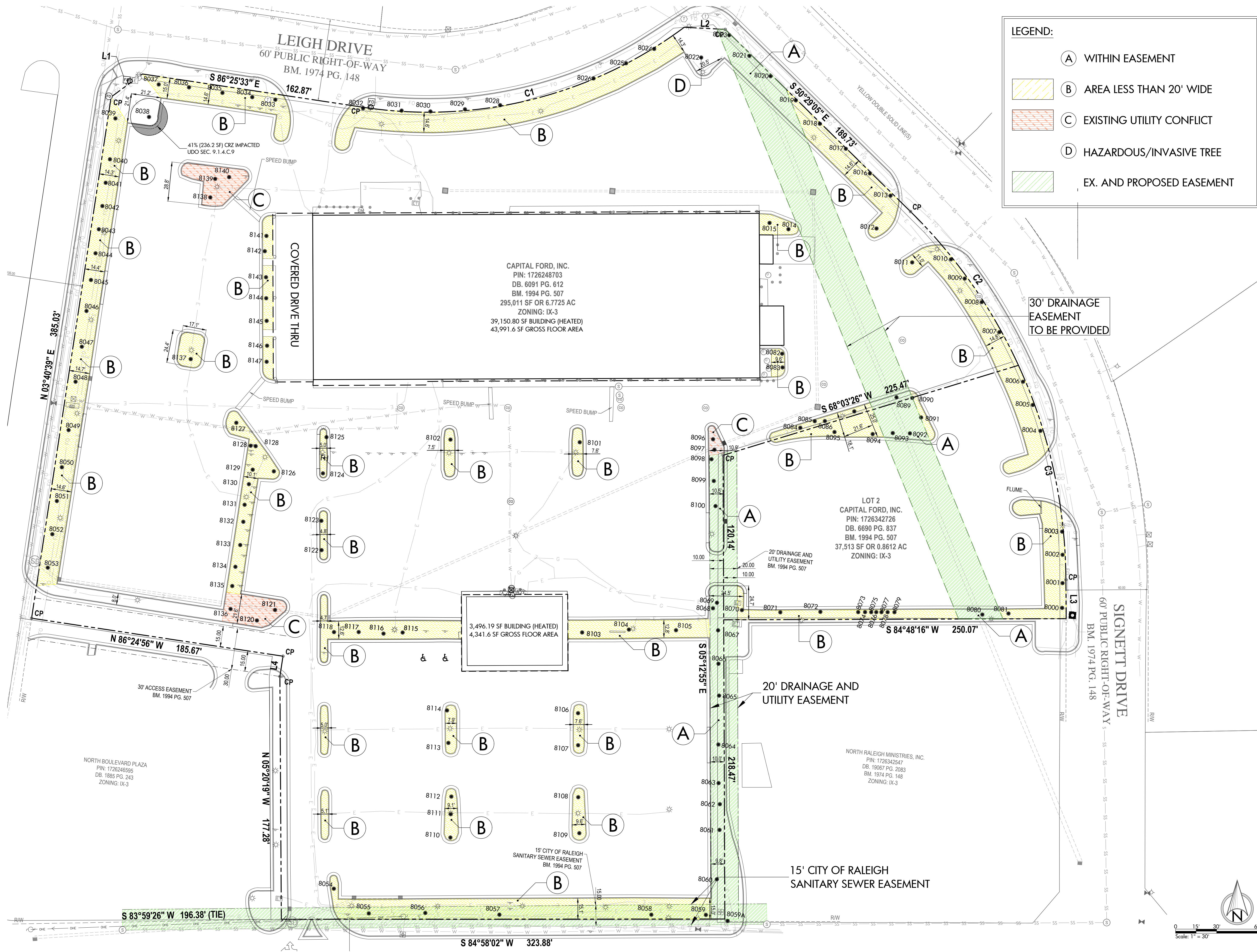
SCALE: 1" = 50'  
CHK BY: DG

NORTH CAROLINA  
WAKE COUNTY  
RALEIGH

BOUNDARY, SUE, TOPOGRAPHIC, & TREE SURVEY FOR CAPITAL FORD, INC.

L-80





**LEGEND:**

- (A) WITHIN EASEMENT
- (B) AREA LESS THAN 20' WIDE
- (C) EXISTING UTILITY CONFLICT
- (D) HAZARDOUS/INVASIVE TREE
- EX. AND PROPOSED EASEMENT

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 RALEIGH, NC 27601 | 919.821.5547  
 www.hagersmith.com

CONSULTANTS

ENGINEERING FIRM NUMBER: C-0110  
 BASS: NIXON | KENNEDY  
 CONSULTING ENGINEERS

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 RALEIGH, NC 27607  
 PHONE: 919.851.4422  
 FAX: 919.851.8968

**CAPITAL FORD TRUCK CENTER**

2805 E MILLBROOK RD  
 RALEIGH, NC 27604

CLIENT

**CAPITAL FORD, INC.**

4900 CAPITAL BLVD.  
 RALEIGH, NC 27616  
 (919) 999-1400

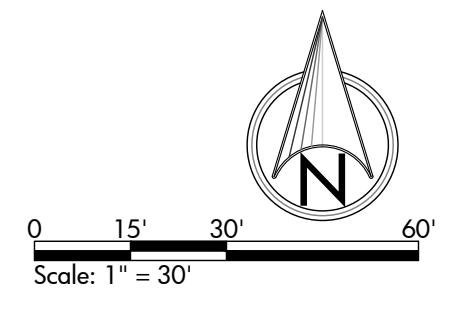
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**TREE CONSERVATION AREA**

REVISIONS

NUMBER	DESCRIPTION	DATE

DRAWN BY: SJC, SCS  
 CHECKED BY: SCS  
 DATE ISSUED: 03-06-24 OF




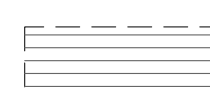


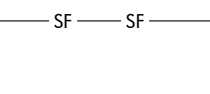




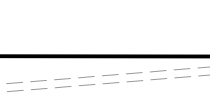
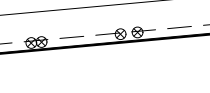

L-90

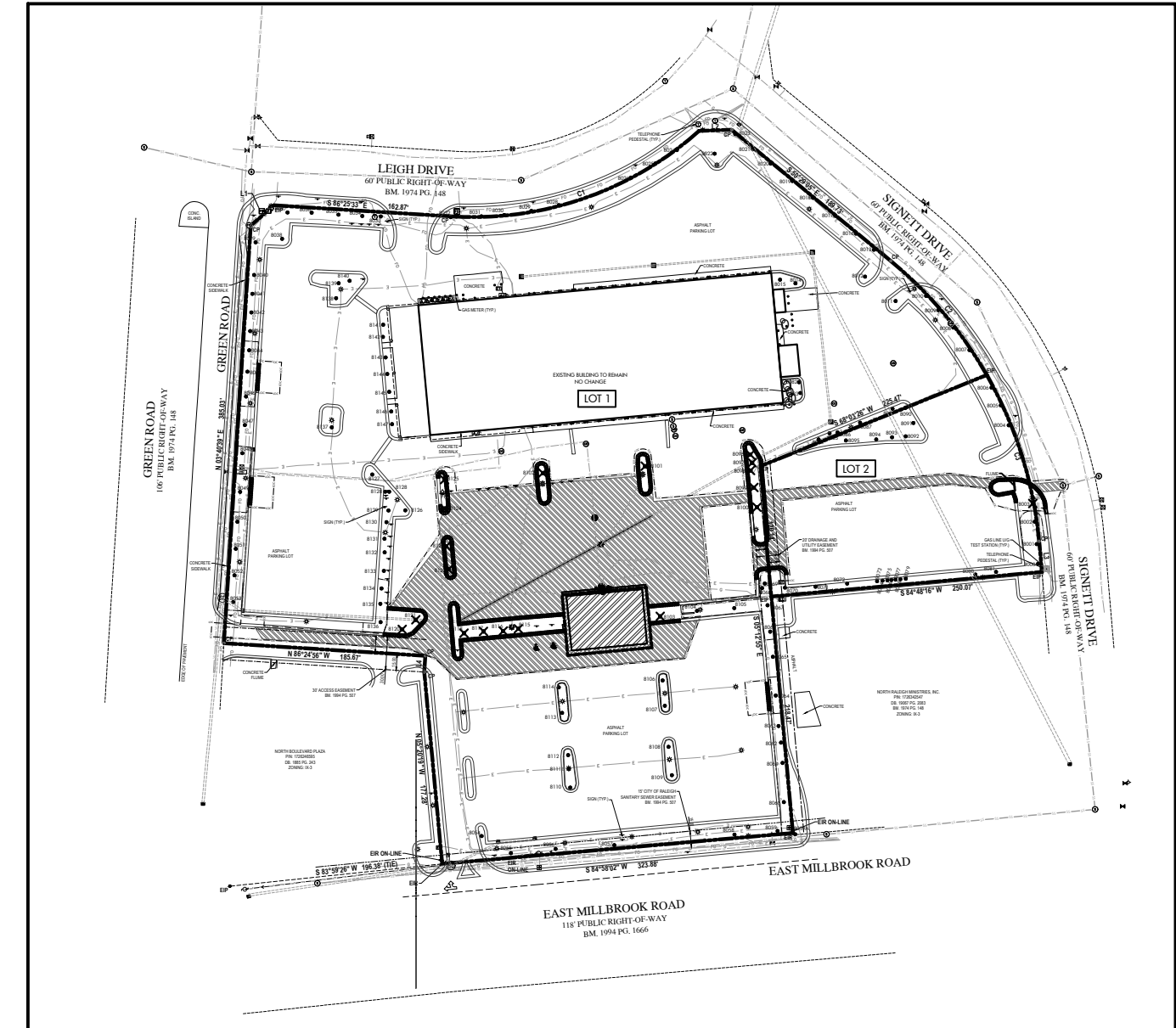


**DEMOLITION NOTES:**

- NO DEMOLITION, CONSTRUCTION OR LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL PERMITS, APPROVALS, AND APPLICABLE EROSIONS AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED IN LOCATIONS AS SHOWN ON THE APPROVED DRAWINGS.
- TREE PROTECTION FENCING MUST BE UP PRIOR TO ANY LAND DISTURBANCE AND INSPECTED PRIOR TO AN ON-SITE PRE-CONSTRUCTION MEETING. REFER TO SELECTIVE SITE DEMOLITION SPECIFICATION SECTION 02.41.13 FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO SECURE THE CONSTRUCTION AREA WITH TEMPORARY CONSTRUCTION FENCE AT THE EDGE OF THE LIMITS OF CONSTRUCTION. INSTALL ADDITIONAL CHAIN LINK TEMPORARY SAFETY FENCE AS DIRECTED BY THE OWNER.
- DO NOT INTERRUPT EXISTING ON-SITE, PRIVATE, UTILITIES SERVING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY LANDSCAPE ARCHITECTS AND CITY OF RALEIGH REPRESENTATIVES NOT LESS THAN ONE WEEK IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING ARCHITECTS WRITTEN PERMISSION. (3) COORDINATE ALL UTILITY RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
- REMOVE SIDEWALK AND CURB AND GUTTER SECTIONS BY SAWCUTTING THE NEAREST CONTROL JOINT AWAY FROM THE AREA DESIGNATED TO BE REMOVED ON THE DEMOLITION PLAN.
- SAWCUT EXISTING PAVEMENT AT ALL EDGES WHEN ABUTTING NEW PAVEMENT SECTIONS.
- SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
- CONTRACTOR SHALL VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- CONTRACTOR SHALL LOCATE EXISTING ON-SITE, PRIVATE UTILITIES PRIOR TO CONSTRUCTION, AND SHALL REPAIR OR REPLACE ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
- DEMO NOTES #4 AND #9 PERTAIN TO EXISTING, ON-SITE PRIVATE UTILITIES.

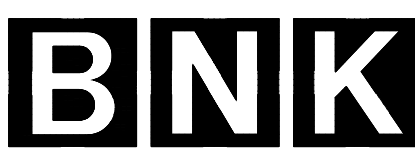
**GRAPHIC LEGEND:**

-  REMOVE EXISTING PAVING
-  SAWCUT EDGE
-  TRENCH FOR UTILITIES
-  SAWCUT EDGE IN PAVED AREAS
-  DEMO CURB & GUTTER
-  SAWCUT EDGE
-  TREE PROTECTION FENCE
-  SILT FENCE
-  REMOVE LIGHT POLE
-  REMOVE STORM WATER LINE
-  REMOVE SIDEWALK
-  DEMO BUILDING

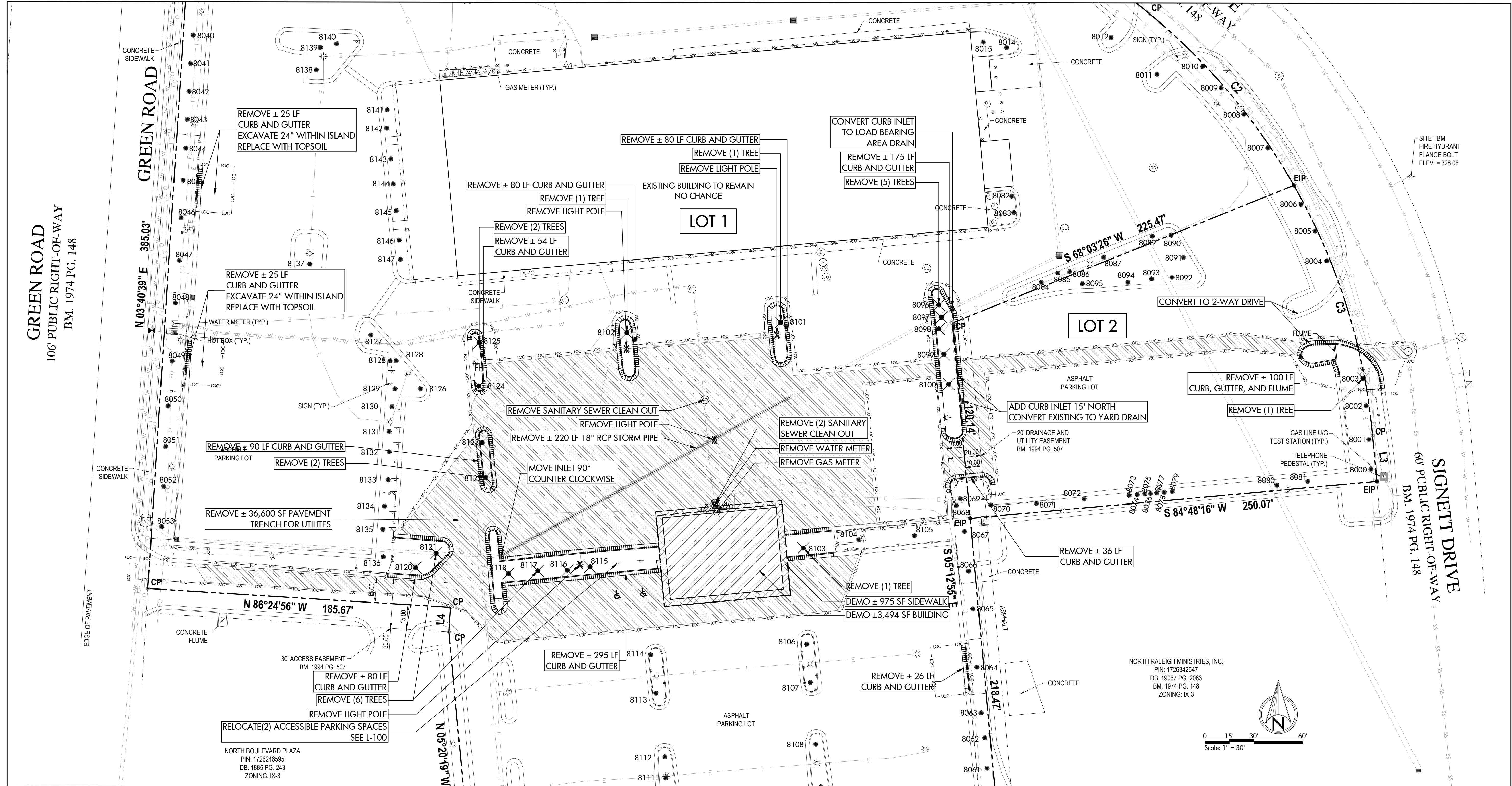


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**CAPITAL FORD TRUCK CENTER**  
 2805 E MILLBROOK RD  
 RALEIGH, NC 27604

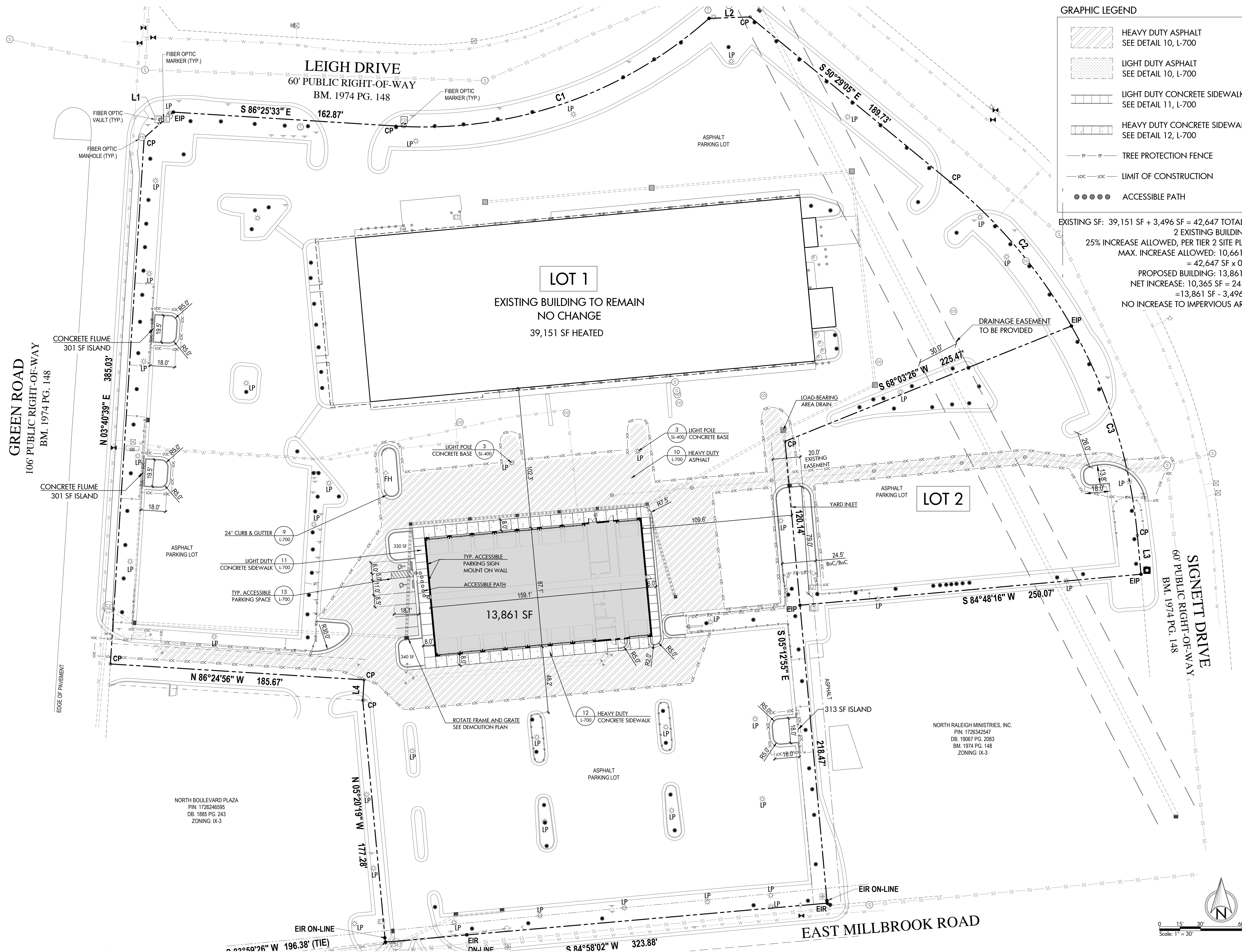
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 (919) 999-1400

**DEMOLITION PLAN**

REVISIONS	NUMBER	DESCRIPTION	DATE

DRAWN BY: SJC, SCS  
 CHECKED BY: SCS  
 DATE ISSUED: 03-06-24





**GRAPHIC LEGEND**

- HEAVY DUTY ASPHALT  
SEE DETAIL 10, L-700
- LIGHT DUTY ASPHALT  
SEE DETAIL 10, L-700
- LIGHT DUTY CONCRETE SIDEWALK  
SEE DETAIL 11, L-700
- HEAVY DUTY CONCRETE SIDEWALK  
SEE DETAIL 12, L-700
- TREE PROTECTION FENCE
- LIMIT OF CONSTRUCTION
- ACCESSIBLE PATH

EXISTING SF: 39,151 SF + 3,496 SF = 42,647 TOTAL SF  
 2 EXISTING BUILDINGS  
 25% INCREASE ALLOWED, PER TIER 2 SITE PLAN  
 MAX. INCREASE ALLOWED: 10,661 SF  
 = 42,647 SF x 0.25  
 PROPOSED BUILDING: 13,861 SF  
 NET INCREASE: 10,365 SF = 24.3%  
 = 13,861 SF - 3,496 SF  
 NO INCREASE TO IMPERVIOUS AREA

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PROJECT

**CAPITAL FORD TRUCK CENTER**  
 2805 E MILLBROOK RD  
 RALEIGH, NC 27604

CLIENT

**CAPITAL FORD, INC.**  
 4900 CAPITAL BLVD.  
 RALEIGH, NC 27616  
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DRAWING TITLE

**LAYOUT PLAN**

REVISIONS

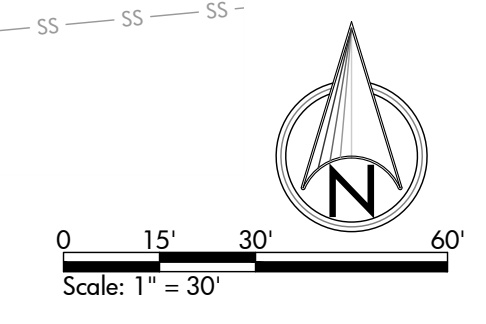
NUMBER	DESCRIPTION	DATE

DRAWN BY: SJC, SCS  
 CHECKED BY: SCS  
 DATE ISSUED: 03-06-24 OF

**L-100**

NORTH BOULEVARD PLAZA  
 PIN: 1726246595  
 DB: 1885 PG. 243  
 ZONING: IX-3

NORTH RALEIGH MINISTRIES, INC.  
 PIN: 1726342547  
 DB: 19067 PG. 2083  
 BM: 1974 PG. 148  
 ZONING: IX-3









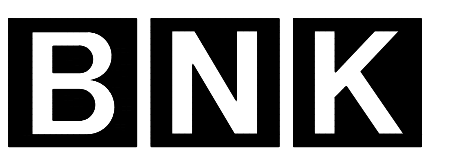


HAGERSMITH  
ARCHITECTURE | INTERIOR DESIGN  
LANDSCAPE ARCHITECTURE

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FAX: 919.851.8968

PROJECT



CAPITAL FORD  
TRUCK CENTER  
2805 E MILLBROOK RD  
RALEIGH, NC 27604

CLIENT

CAPITAL FORD,  
INC.  
4900 CAPITAL BLVD.  
RALEIGH, NC 27616  
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DRAWING TITLE

LANDSCAPE PLAN

REVISIONS

NUMBER	DESCRIPTION	DATE

DRAWN BY SJC, SCS

CHECKED BY SCS

DATE ISSUED 03-06-24

OF

L-300

PLANT SCHEDULE

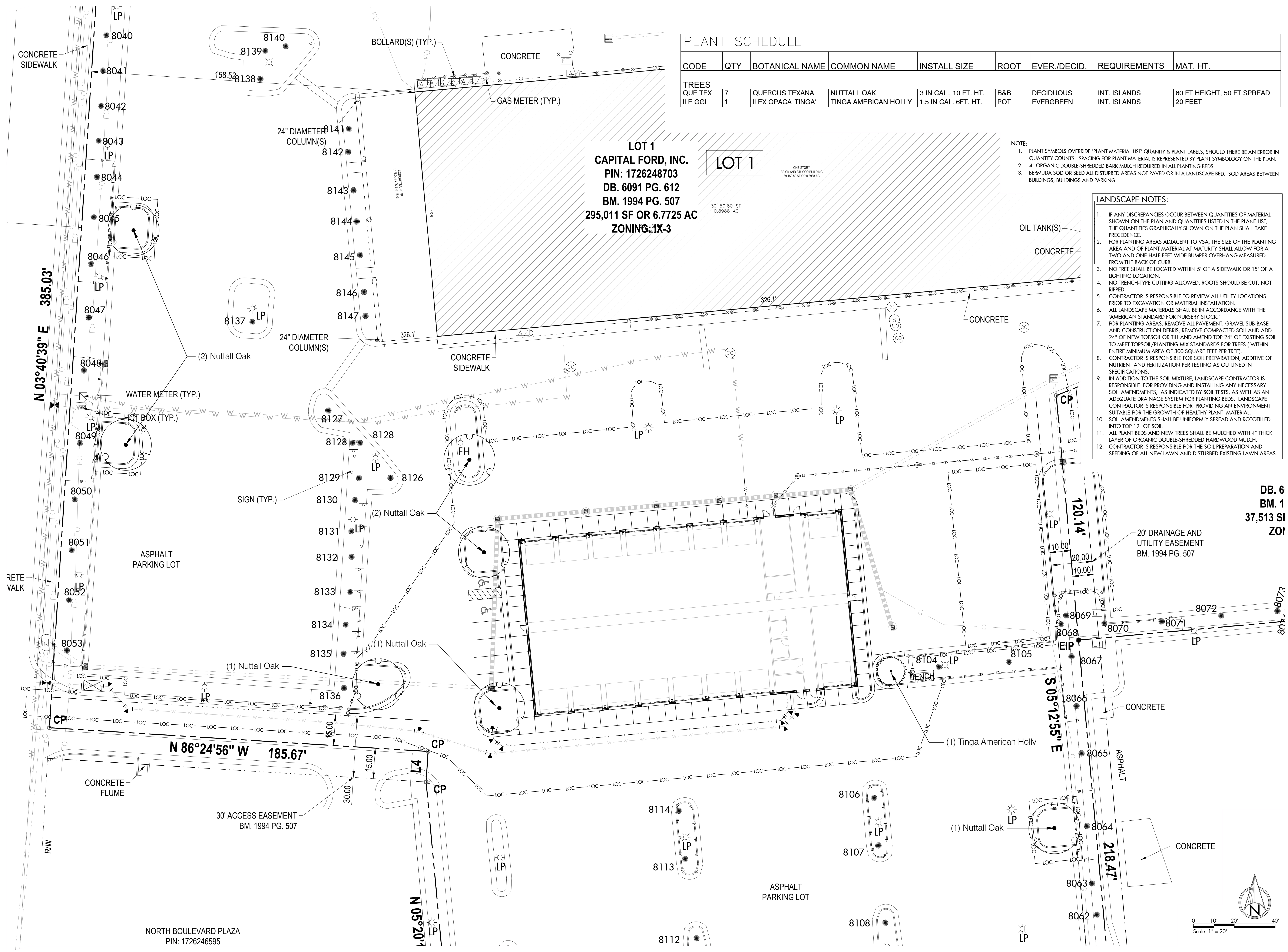
CODE	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	ROOT	EVER./DECID.	REQUIREMENTS	MAT. HT.
<b>TREES</b>								
QUE TEX	7	QUERCUS TEXANA	NUTTALL OAK	3 IN CAL., 10 FT. HT.	B&B	DECIDUOUS	INT. ISLANDS	60 FT HEIGHT, 50 FT SPREAD
ILE GGL	1	ILEX OPACA 'TINGA'	TINGA AMERICAN HOLLY	1.5 IN CAL., 6FT. HT.	POT	EVERGREEN	INT. ISLANDS	20 FEET

NOTE:

1. PLANT SYMBOLS OVERRIDE 'PLANT MATERIAL LIST' QUANTITY & PLANT LABELS, SHOULD THERE BE AN ERROR IN QUANTITY COUNTS. SPACING FOR PLANT MATERIAL IS REPRESENTED BY PLANT SYMBOLOLOGY ON THE PLAN.
2. 4" ORGANIC DOUBLE-SHREDDED BARK MULCH REQUIRED IN ALL PLANTING BEDS.
3. BERMUDA SOD OR SEED ALL DISTURBED AREAS NOT PAVED OR IN A LANDSCAPE BED. SOD AREAS BETWEEN BUILDINGS, BUILDINGS AND PARKING.

LANDSCAPE NOTES:

1. IF ANY DISCREPANCIES OCCUR BETWEEN QUANTITIES OF MATERIAL SHOWN ON THE PLAN AND QUANTITIES LISTED IN THE PLANT LIST, THE QUANTITIES GRAPHICALLY SHOWN ON THE PLAN SHALL TAKE PRECEDENCE.
2. FOR PLANTING AREAS ADJACENT TO VSA, THE SIZE OF THE PLANTING AREA AND OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A TWO AND ONE-HALF FEET WIDE BUMPER OVERHANG MEASURED FROM THE BACK OF CURB.
3. NO TREE SHALL BE LOCATED WITHIN 5' OF A SIDEWALK OR 15' OF A LIGHTING LOCATION.
4. NO TRENCH-TYPE CUTTING ALLOWED. ROOTS SHOULD BE CUT, NOT RIPPED.
5. CONTRACTOR IS RESPONSIBLE TO REVIEW ALL UTILITY LOCATIONS PRIOR TO EXCAVATION OR MATERIAL INSTALLATION.
6. ALL LANDSCAPE MATERIALS SHALL BE IN ACCORDANCE WITH THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
7. FOR PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" OF NEW TOPSOIL OR TILL AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES ( WITHIN ENTIRE MINIMUM AREA OF 300 SQUARE FEET PER TREE).
8. CONTRACTOR IS RESPONSIBLE FOR SOIL PREPARATION, ADDITIVE OF NUTRIENT AND FERTILIZATION PER TESTING AS OUTLINED IN SPECIFICATIONS.
9. IN ADDITION TO THE SOIL MIXTURE, LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND INSTALLING ANY NECESSARY SOIL AMENDMENTS, AS INDICATED BY SOIL TESTS, AS WELL AS AN ADEQUATE DRAINAGE SYSTEM FOR PLANTING BEDS. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN ENVIRONMENT SUITABLE FOR THE GROWTH OF HEALTHY PLANT MATERIAL.
10. SOIL AMENDMENTS SHALL BE UNIFORMLY SPREAD AND ROTOTILLED INTO TOP 12" OF SOIL.
11. ALL PLANT BEDS AND NEW TREES SHALL BE MULCHED WITH 4" THICK LAYER OF ORGANIC DOUBLE-SHREDDED HARDWOOD MULCH.
12. CONTRACTOR IS RESPONSIBLE FOR THE SOIL PREPARATION AND SEEDING OF ALL NEW LAWN AND DISTURBED EXISTING LAWN AREAS.



NORTH BOULEVARD PLAZA  
PIN: 1726246595





HAGERSMITH  
ARCHITECTURE | INTERIOR DESIGN  
LANDSCAPE ARCHITECTURE

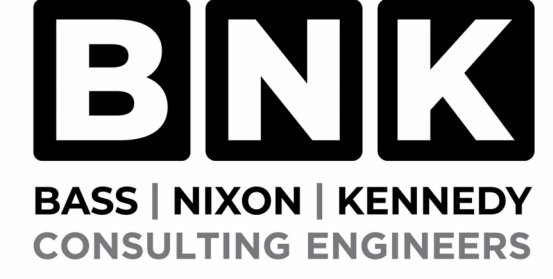
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CAPITAL FORD  
TRUCK CENTER

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27604

CONSULTANTS



ENGINEERING FIRM NUMBER: C-0110

6310 CHAPEL HILL ROAD, SUITE 250  
RALEIGH, NC 27607  
PHONE: 919.851.4422

CLIENT

CAPITAL FORD, INC.

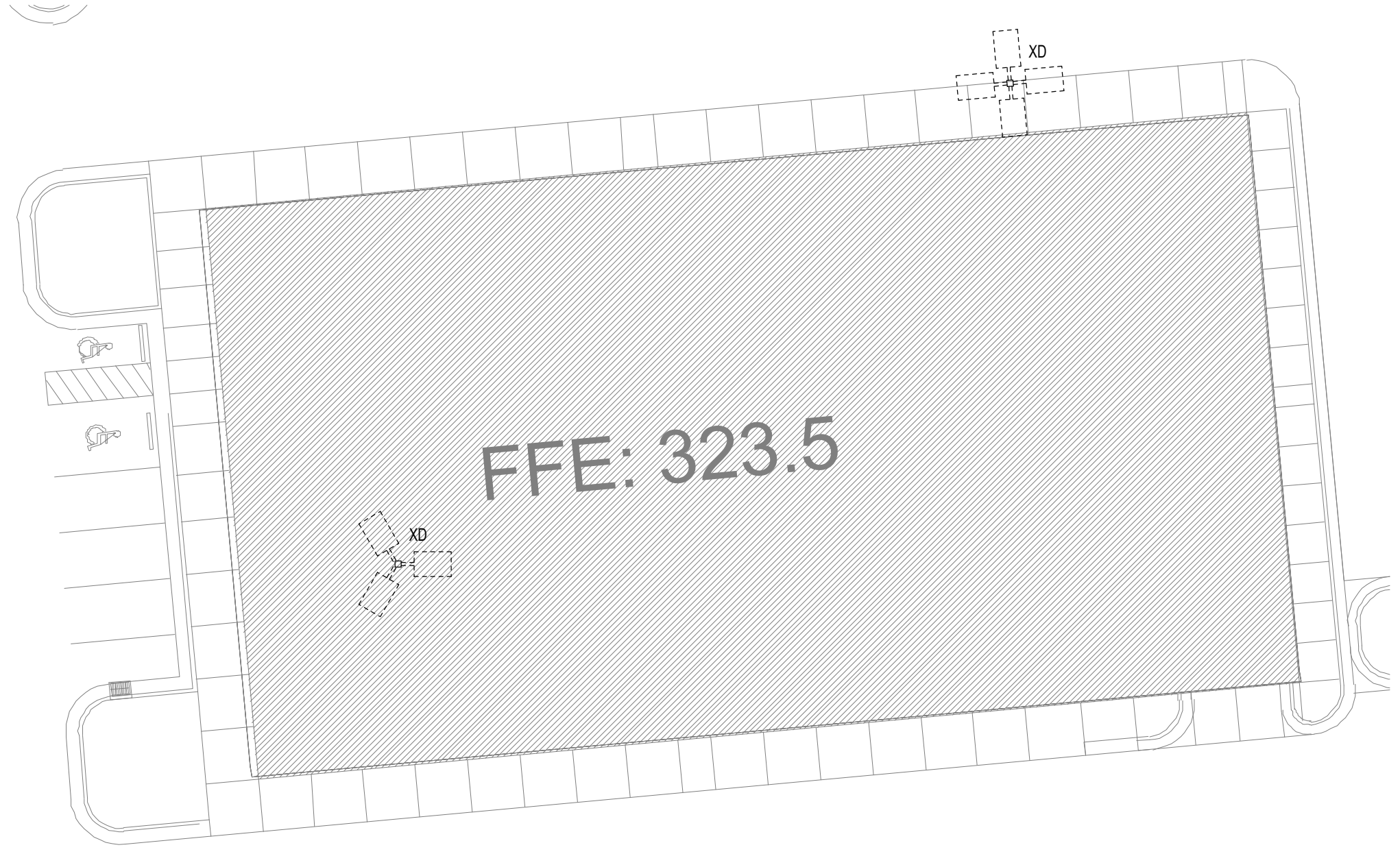
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DRAWING TITLE  
SITE LIGHTING PLAN

NUMBER	DESCRIPTION	DATE

DRAWN BY: IB  
CHECKED BY: PLC  
DATE ISSUED: 02/28/2024 1 OF 1

SL-101



### 2 SITE LIGHTING DEMOLITION PLAN SCALE: 1" = 20'-0"

KEY VALUE	KEYNOTE TEXT
E1	EC SHALL REPLACE EXISTING POLE AND ADD CONCRETE BASE 30" AFG (SEE SITE LIGHTING POLE BASE DETAIL). OVERALL HEIGHT TO REMAIN THE SAME. INSTALL EXISTING FIXTURES ON NEW POLE.

### GENERAL DEMOLITION NOTES

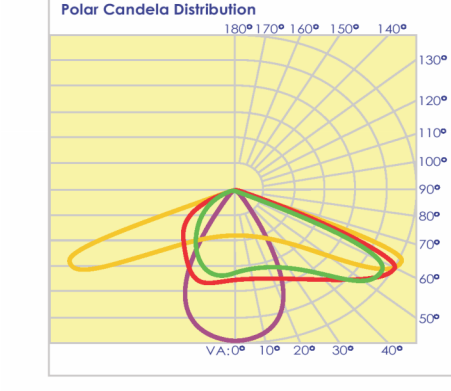
- DESIGN IS BASED ON INFORMATION PROVIDED. CONTRACTOR SHALL VERIFY ALL ELECTRICAL CONNECTION TYPES AND EQUIPMENT LOADS PRIOR TO ROUGH-IN.
- CONTRACTOR SHALL VISIT SITE AND FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING.
- SEE ARCHITECTURAL FOR EXTENT OF DEMOLITION.
- REUSE EXISTING BREAKERS AND CONDUIT WHEREVER PRACTICAL. PROVIDE NEW BREAKERS, CIRCUITS AND CONDUIT TO FEED NEW EQUIPMENT AS NECESSARY.
- CIRCUITS TO EXISTING EQUIPMENT TO REMAIN WHICH ARE BROKEN DURING DEMOLITION SHALL BE RECONNECTED.



### FLD-RS spec-grade performance

AREA & STREET LIGHTING

The FLD-RS is our second generation spec-grade luminaire in the FLD series. Redesigned with increased efficacy and distribution for projects requiring a sleek architectural profile and the high-performance of a SimplyLEDs luminaire. FLD-RS boasts an IP66-rated cast aluminum body with over 1,800 sq. in. of surface area & 40kV driver-attuned surge protection standard on every unit we manufacture. Each FLD-RS is equipped with a top-mounted NEMA 7-pin connector & shoring cap.



Available Color Temps (K):	4000, & 5000
CRI:	72+
Lifetime (L70):	>150,000
LED Source:	Seoul Semi 5050
Power Supply:	Inventronics 0-10V, 120-277VAC (480V optional), 50/60Hz dimming driver
Compliance:	ETL, UL 1598, 1598B, 1598C Suitable for wet locations
Warranty:	10 years



DIMENSIONS	60W - 160W	17"L x 12.5"W x 3.5"H
180W - 340W	23"L x 14.75"W x 3.5"H	

EA	040W - 160W: .23sq. ft.	040W - 160W: 1.6 lbs
LS	180W - 340W: .33sq. ft.	180W - 340W: 22.5 lbs

Operating temperature: 30° to 122°F

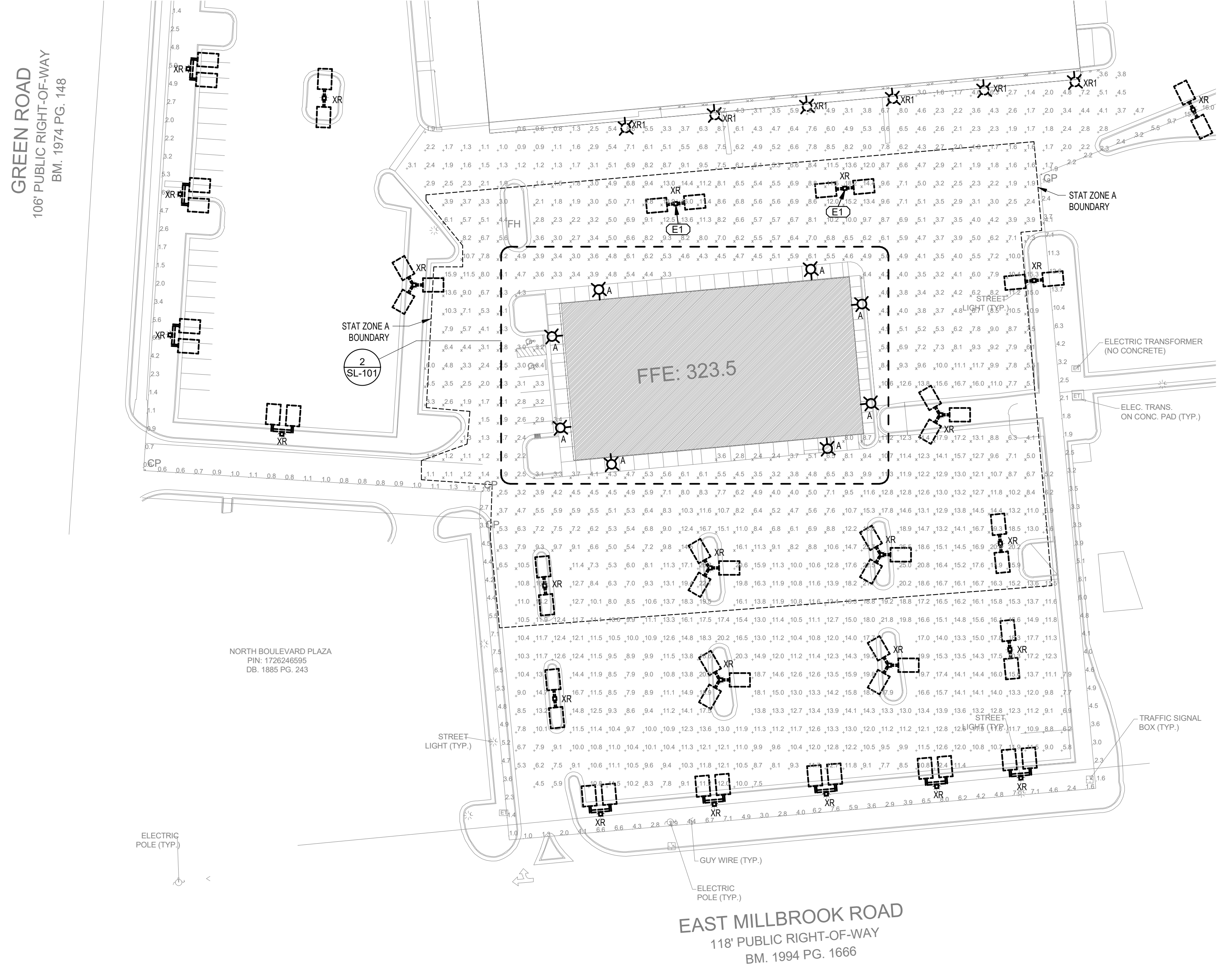
**AVAILABLE WITH SensaBLE 2.0**  
Mesh Network Lighting Controls

- Control, Customize & Crush your clean energy goals. Install SensaBLE 2.0™ the highly capable Bluetooth™ enabled sensor with:
- Zone Creation & Control
- Custom Profile Creation
- Custom Energy Dashboard
- Service Alerts
- Multi-Point Lighting Creation
- Photocycling
- Daylight Harvesting
- High & Low Output Settings
- CCC controls

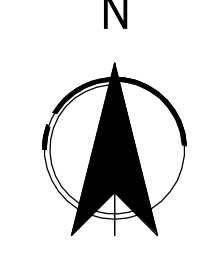
Right from your phone\* or unlimited access and control from your desktop. With the power of autonomy and Measurement & Verification built right in.

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GREEN ROAD  
106' PUBLIC RIGHT-OF-WAY  
BM. 1974 PG. 148



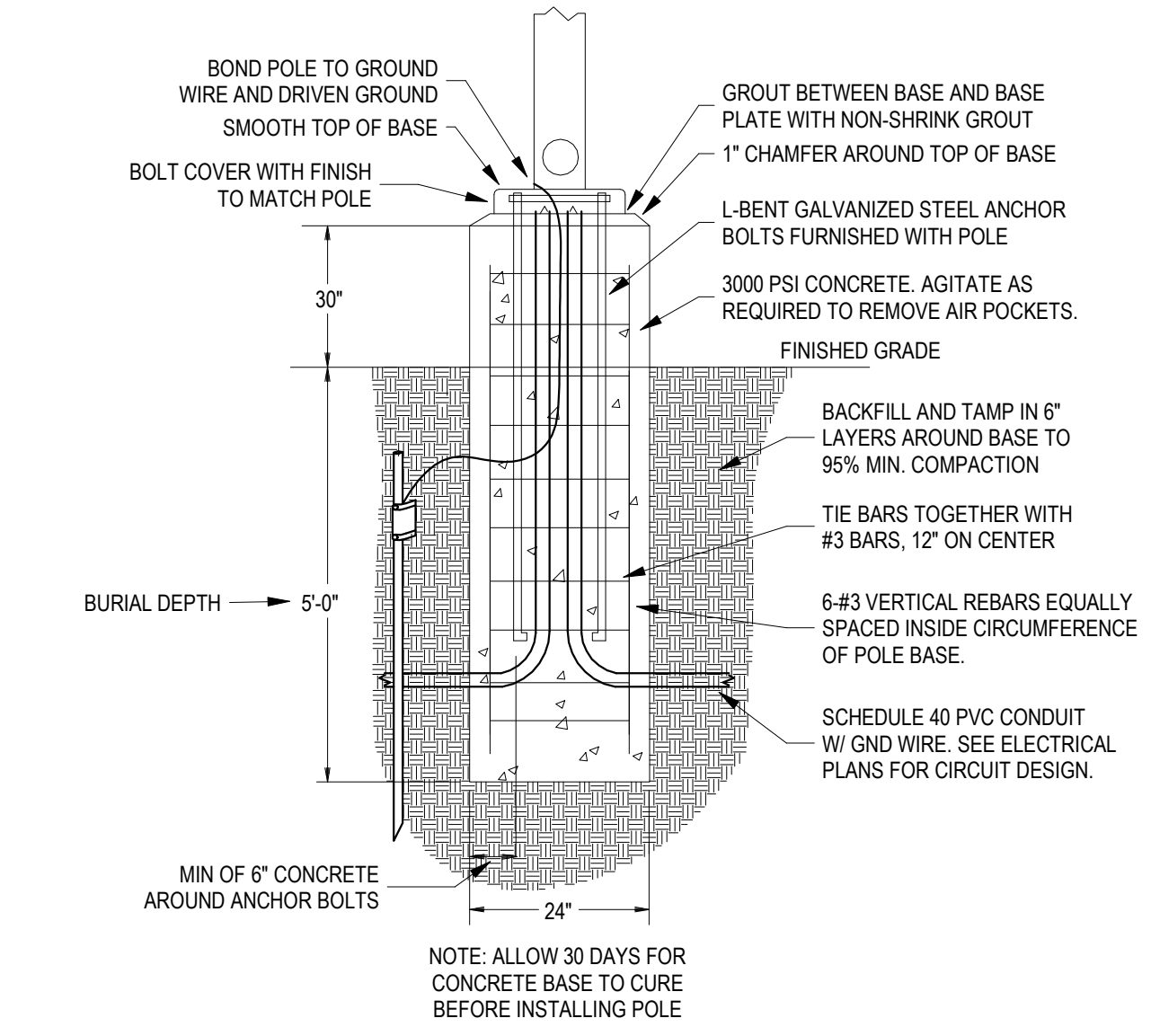
### 1 SITE LIGHTING PLAN SCALE: 1" = 40'-0"



STAT ZONE A	
AVERAGE	6.9 fc
MAXIMUM	19.3 fc
MINIMUM	1.1 fc
MAX/MIN	17.5:1
AVG/MIN	6.3:1

### LIGHTING LEGEND

- EXISTING LED POLE MOUNTED FLOOD LIGHTING FIXTURE - REMAIN
- EXISTING LED POLE MOUNTED DOUBLE LIGHTING FIXTURE - REMAIN
- EXISTING LED POLE MOUNTED TRIPLE LIGHTING FIXTURE - REMAIN
- EXISTING LED POLE MOUNTED TRIPLE LIGHTING FIXTURE - REMOVE
- EXISTING LED POLE MOUNTED QUAD LIGHTING FIXTURE - REMOVE
- EXISTING LED WALL MOUNTED LIGHTING FIXTURE - REMAIN
- NEW LED WALL MOUNTED LIGHTING FIXTURE - SEE LIGHTING FIXTURE SCHEDULE



### 3 SITE LIGHTING POLE BASE DETAIL - 5'(30" AFG) SCALE: NONE

NOTE: ALLOW 30 DAYS FOR CONCRETE BASE TO CURE BEFORE INSTALLING POLE



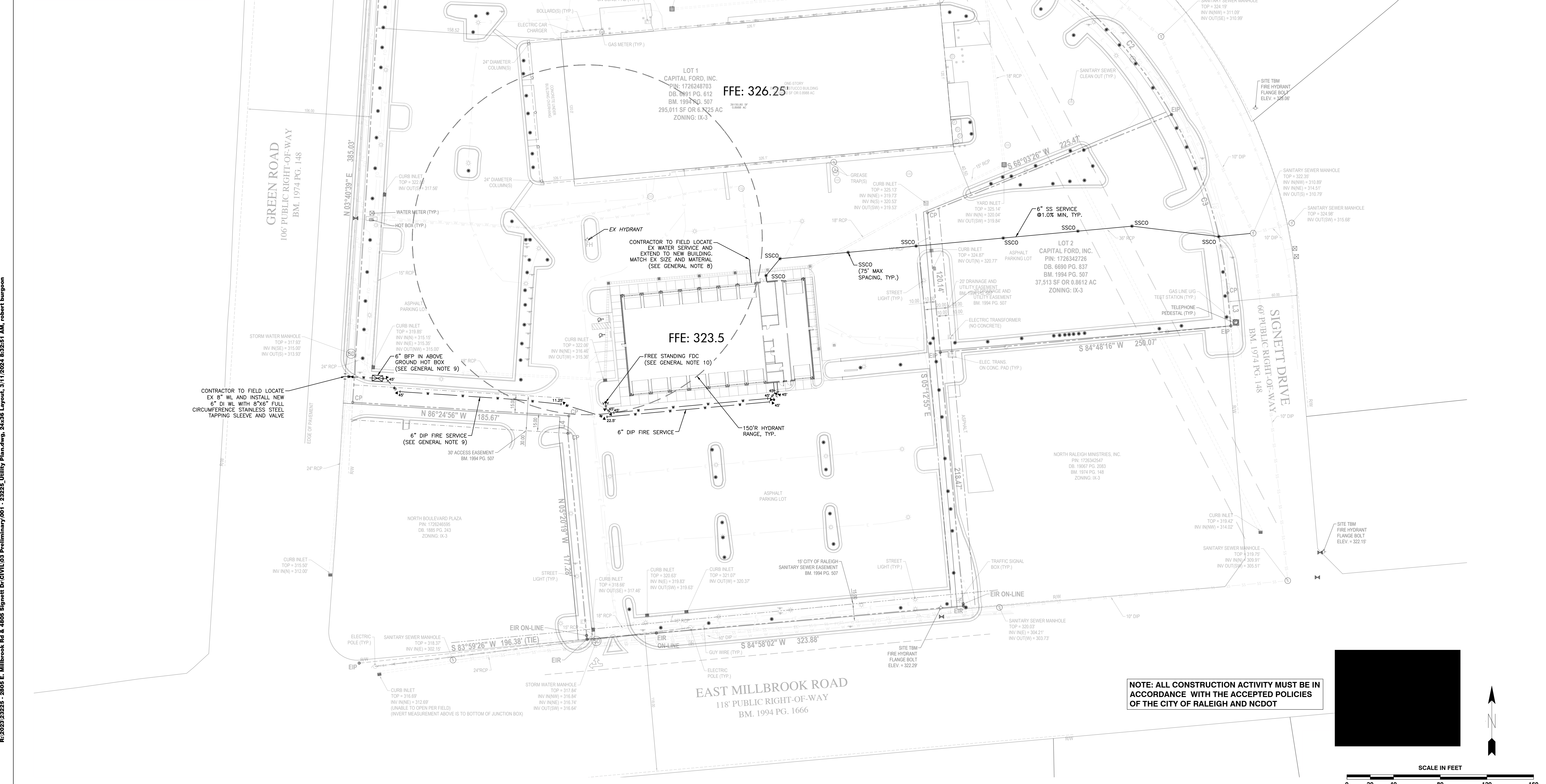
CITY OF RALEIGH UTILITY NOTES

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER...

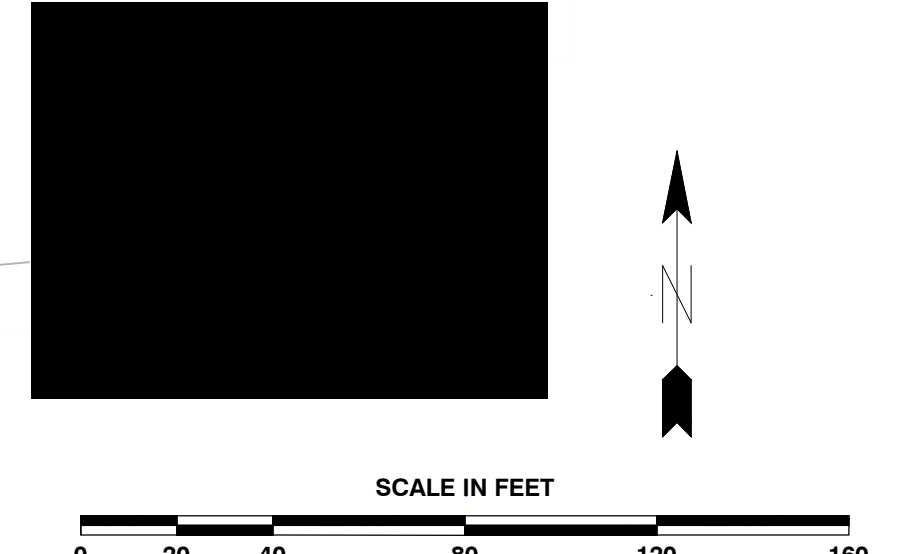
- 3. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT...
14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA...

GENERAL NOTES

- 1. THE SITE LAYOUT, STORM DESIGN AND PROPOSED GRADING WAS PROVIDED BY HAGERSMITH DESIGN FOR THIS SUBMITTAL.
2. THE EXISTING ON-SITE CONDITIONS ARE BASED ON THE FIELD SURVEY PERFORMED BY BNK SURVEYING.
3. THE SITE IS LOCATED IN THE NEUSE RIVER DRAINAGE BASIN.
4. THERE ARE NOT ANY FEMA MAPPED FLOODPLAIN ON THE SITE BASED ON FEMA MAP NO. 3720172600K DATED JULY 19, 2022.



NOTE: ALL CONSTRUCTION ACTIVITY MUST BE IN ACCORDANCE WITH THE ACCEPTED POLICIES OF THE CITY OF RALEIGH AND NCDOT

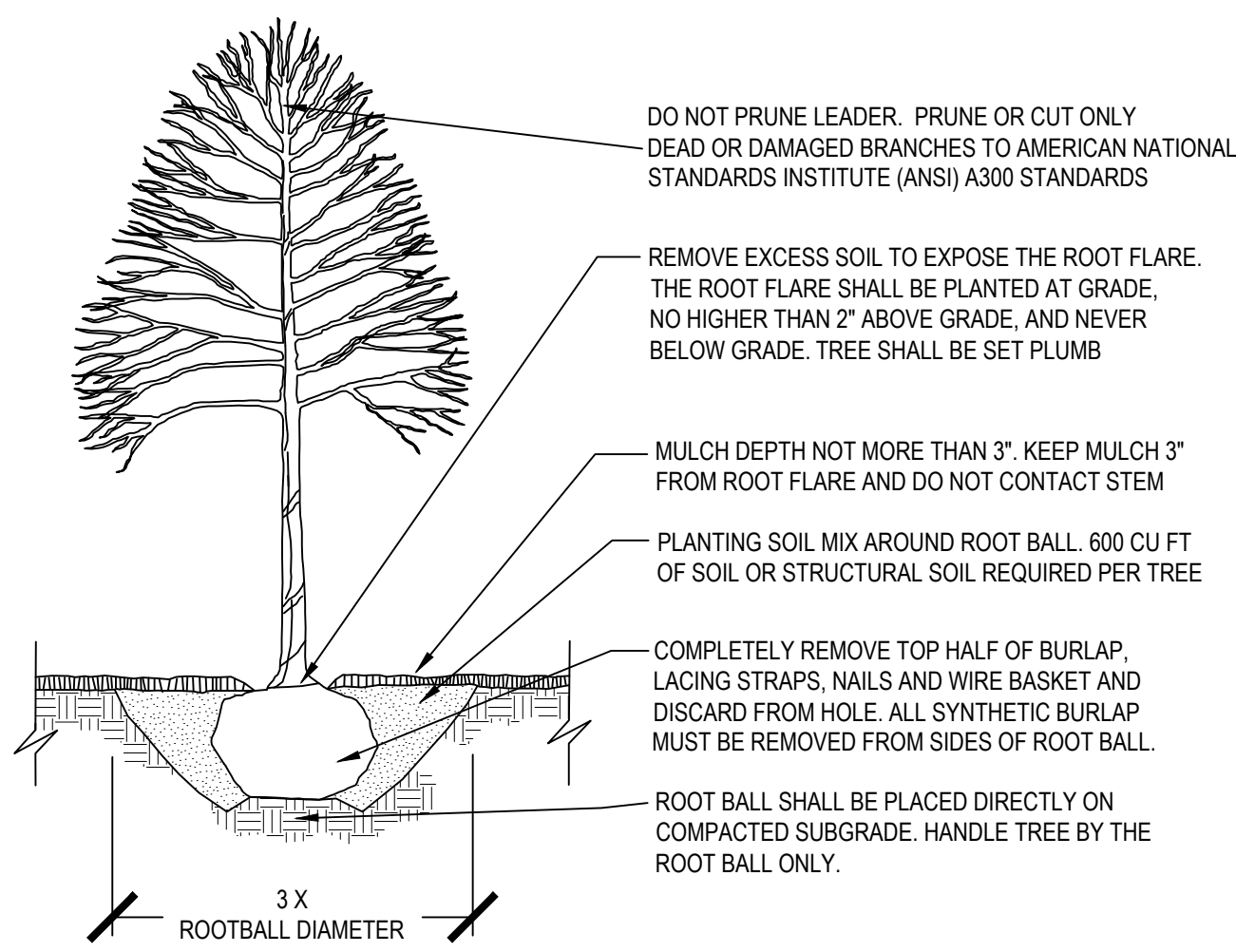


Vertical title block containing: BASS, NIXON & KENNEDY, INC. CONSULTING ENGINEERS; CAPITAL FORD TRUCK CENTER 2805 MILLBROOK ROAD; UTILITY PLAN; SHEET C2.1; and a table for REVISIONS with columns for NO., DATE, DESCRIPTION, and BY.

R:\2023\23225 - 2805 E. Millbrook Rd & 4805 Signett Dr\CIVIL\03 Preliminary\001 - 23225\_UTILITY Plan.dwg, 24x36 Layout, 3/11/2024 8:32 AM, robert burgoon

NOT RELEASED FOR CONSTRUCTION OR BID SOLICITATION

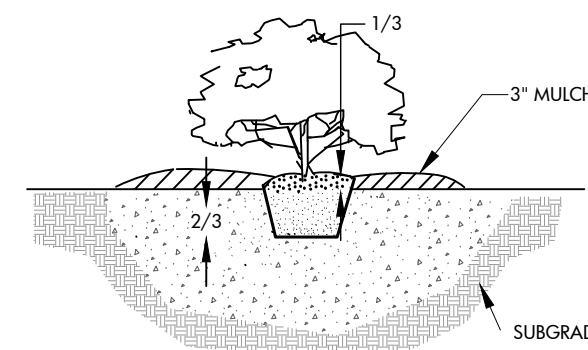




CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

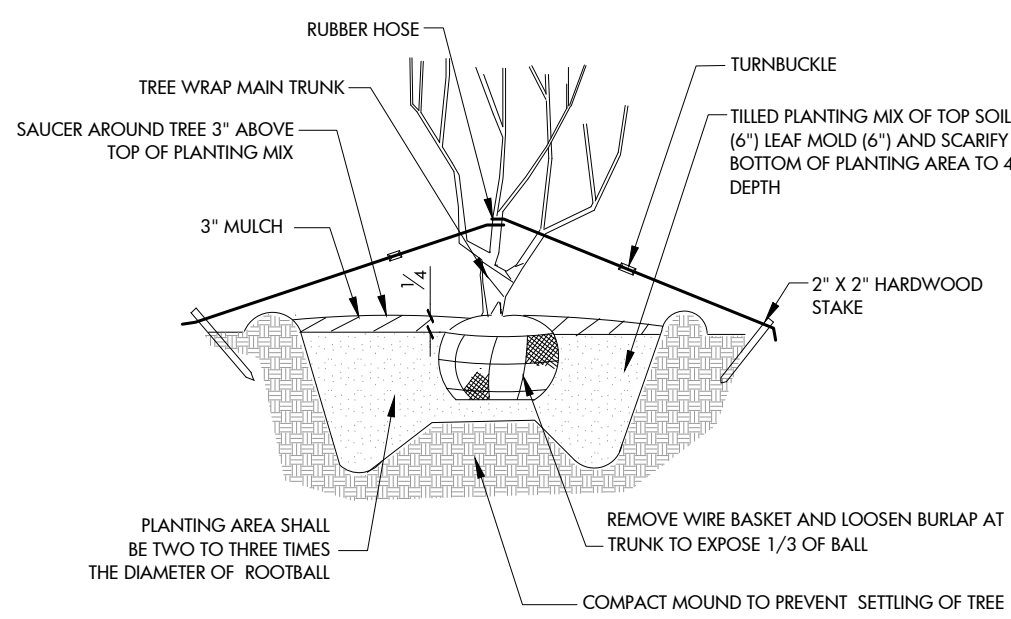
- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
  - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

REVISIONS	DATE: 8/20/19	NOT TO SCALE
10/2019		
<b>CITY OF RALEIGH STANDARD DETAIL</b>		
TREE PLANTING DETAIL		
<b>TPP-03</b>		

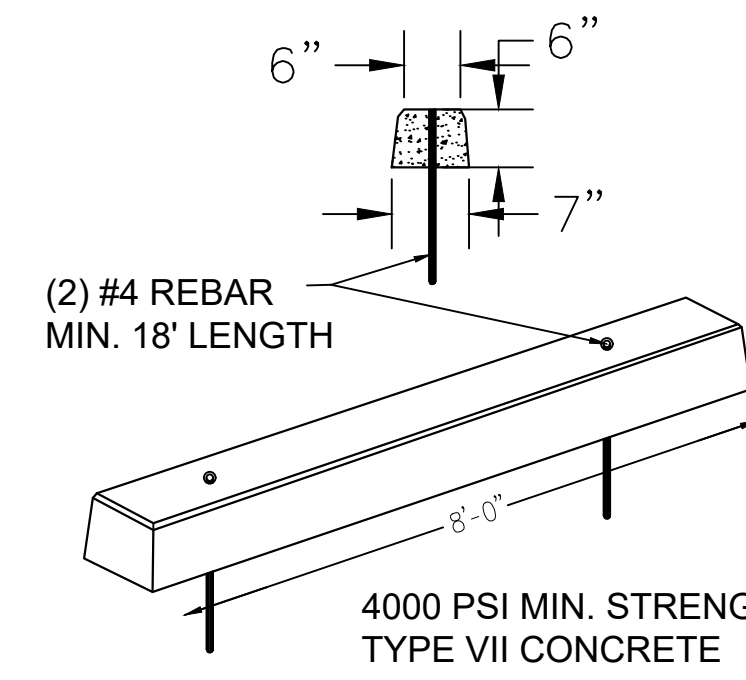


- PLANTING PROCEDURES FOR CONTAINER PLANTS:
- REMOVE THE PLANT EITHER BY CUTTING OR INVERTING THE CONTAINER.
  - PLANT SHRUBS 1/3 CONTAINER HEIGHT, MOUND SOIL AND MULCH TO TOP.

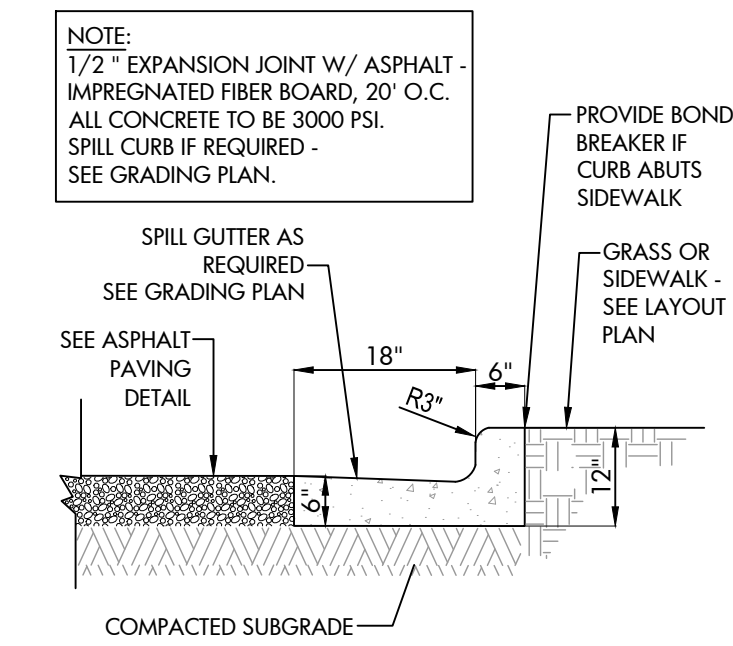
2 CONTAINER GROWN PLANT  
L-700 NTS



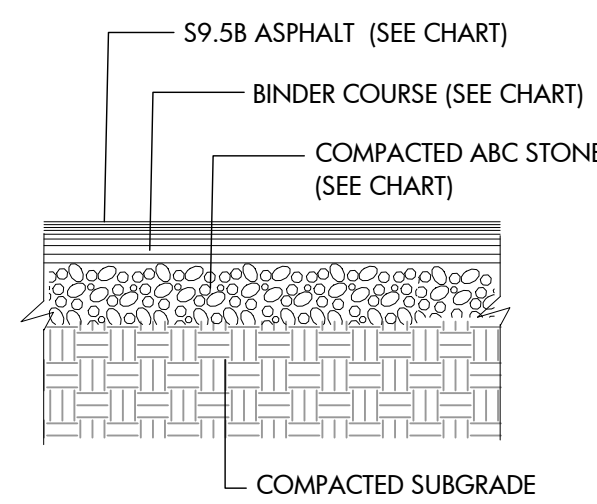
3 MULTI-STEM TREE  
L-700 NTS



4 CONCRETE CURB STOP  
L-700 NTS

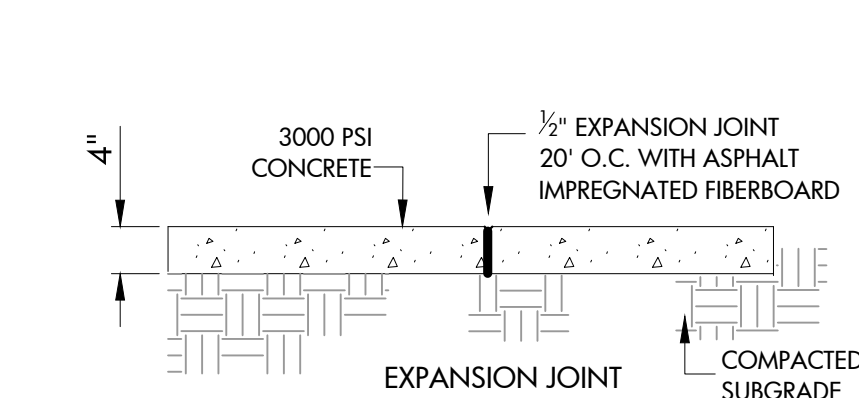


9 24" CURB & GUTTER  
L-700 NTS



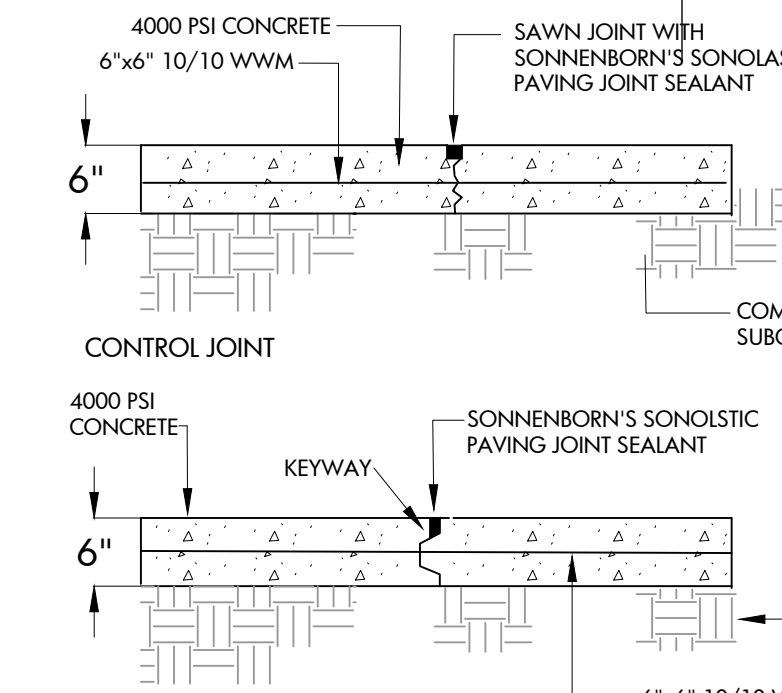
10 ASPHALT PAVING  
L-700 NTS

PARKING AREA	ABC	BINDER	\$9.5B
PARKING STALLS	6"	--	3.0"
TRAVEL ISLES (HEAVY)	8"	2.0"	1.0"



NOTE: BROOM FINISH CONCRETE UNLESS OTHERWISE INDICATED ON PLANS.

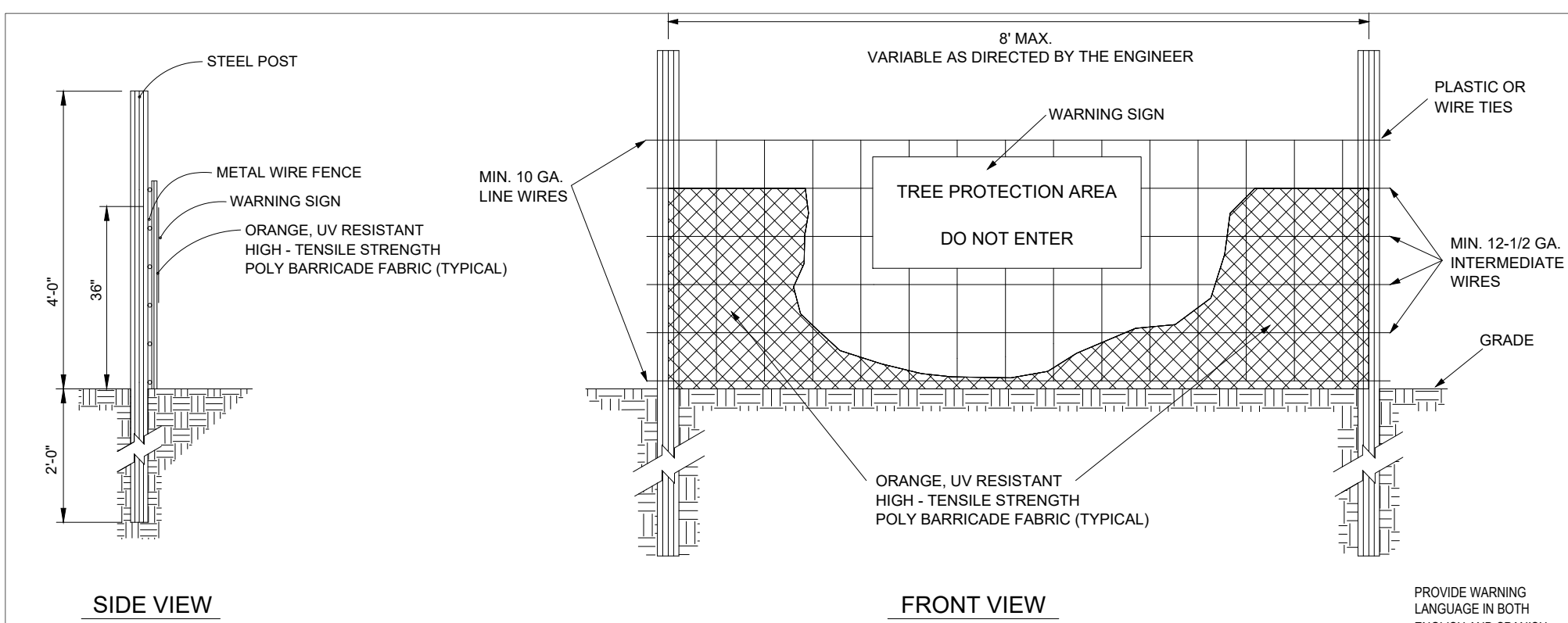
11 CONCRETE SIDEWALK  
L-700 NTS



NOTE: TOP SURFACE TO BE BROOM FINISH UNLESS OTHERWISE NOTED IN DRAWINGS.

12 HEAVY DUTY CONCRETE  
L-700 NTS

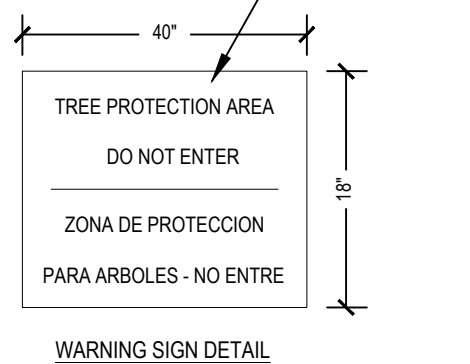
1 0-3" CALIPER TREE  
L-700 NOT TO SCALE (NTS)



NOTE: FOR TREE PROTECTION ONLY

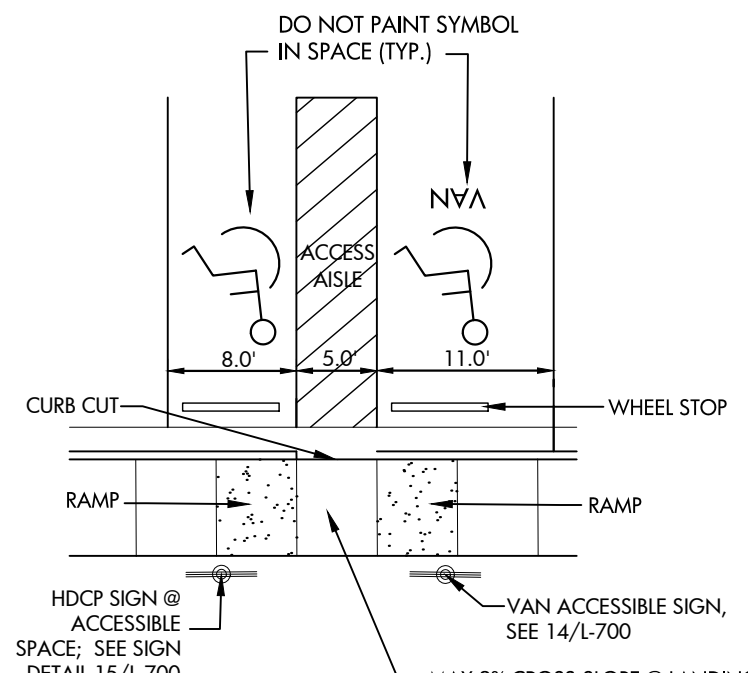
REVISIONS	DATE: 8/20/19	NOT TO SCALE
<b>CITY OF RALEIGH STANDARD DETAIL</b>		
STANDARD TREE PROTECTION DETAIL		
<b>TPP-01</b>		

- NOTES:
- TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (SEE DETAIL TPP-02 FOR EXAMPLES)
  - THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
  - APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
  - SIGNS SHALL BE PLACED AT 30' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 90' ON CENTER FOR THE REMAINDER.
  - FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
  - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
  - ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.
  - SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 2 1/2" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.



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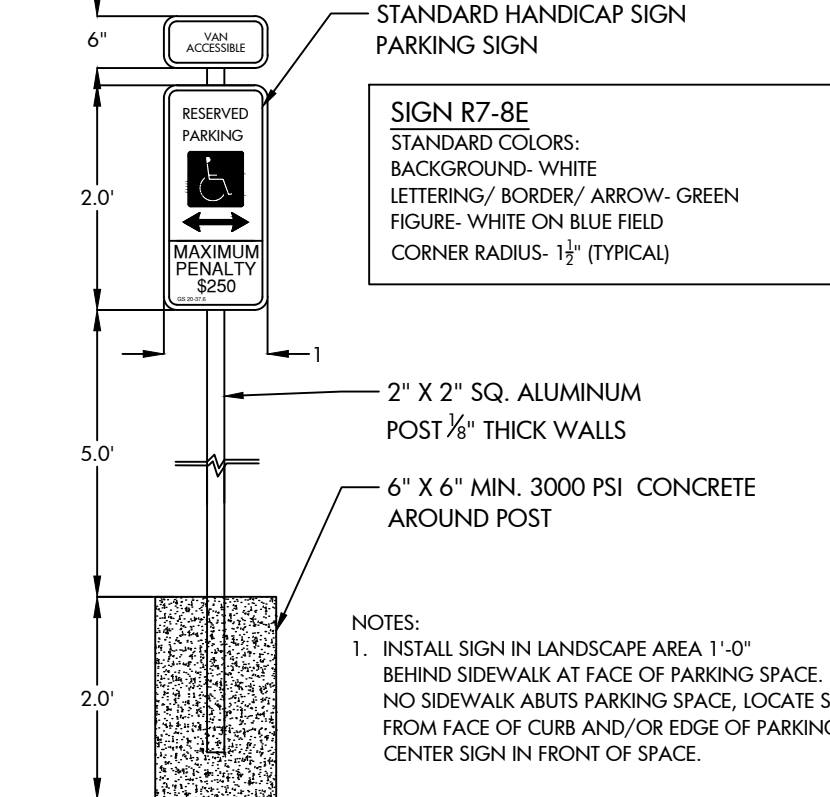
5 TEMPORARY TREE PROTECTION FENCE  
L-700



- NOTES:
- MARK PAVEMENT TO CLEARLY DELINEATE ACCESSIBLE SPACES & AISLES. PAINT MARKING TO BE WHITE, 4" WIDTH.
  - SITE CONDITIONS & NUMBER OF ACCESSIBLE SPACES MAY VARY. ADJUST AS REQUIRED. VERIFY WITH LANDSCAPE ARCHITECT, AS NEEDED.
  - IN CASES WHERE PEDESTRIAN PATH PASSES UNDER OR AROUND AN ACCESSIBLE SIGN, USE 6.25' AS MIN DIMENSION BETWEEN GROUND AND BASE OF SIGN.

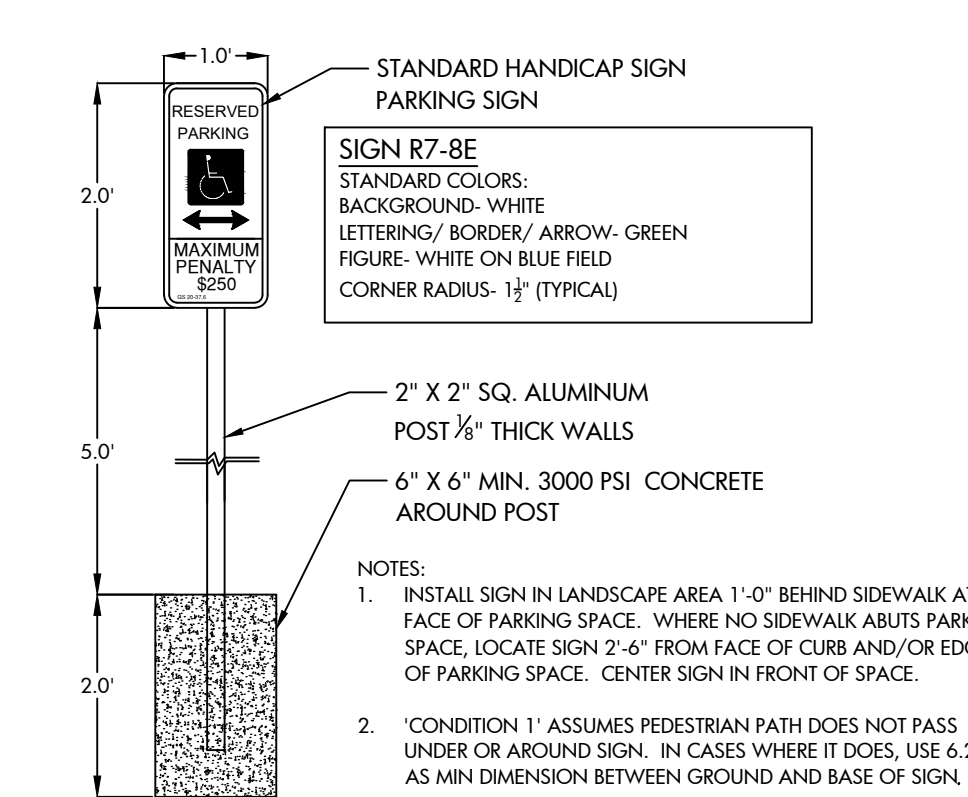
RAMP:  
L = 8'-0"  
S = 6.25%  
XS = 2% MAX.

13 TYPICAL ACCESSIBLE PARKING SPACES LAYOUT  
L-700 NTS



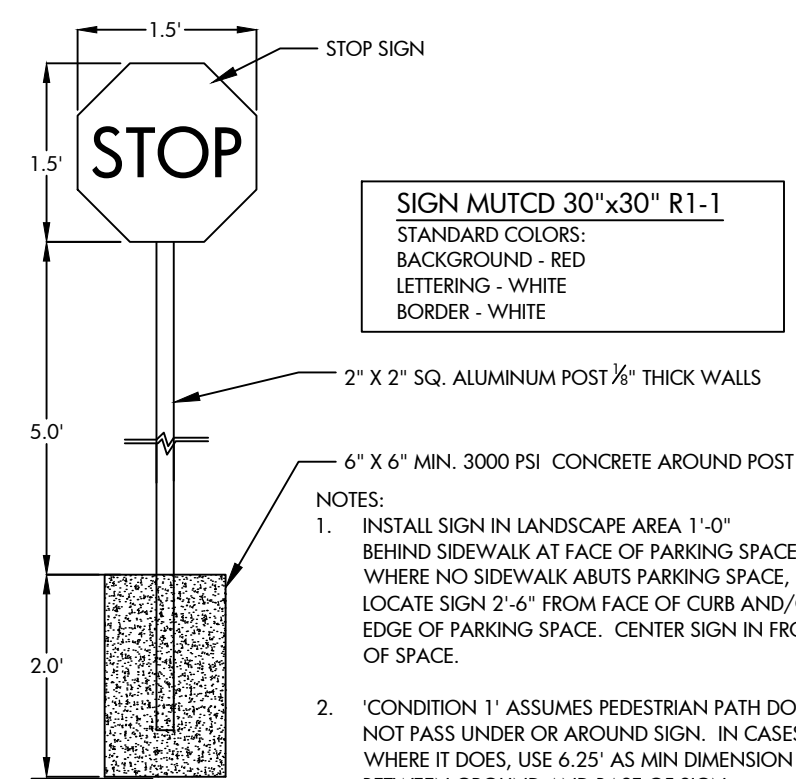
- NOTES:
- INSTALL SIGN IN LANDSCAPE AREA 1'-0" BEHIND SIDEWALK AT FACE OF PARKING SPACE. WHERE NO SIDEWALK ABUTS PARKING SPACE, LOCATE SIGN 2'-6" FROM FACE OF CURB AND/OR EDGE OF PARKING SPACE. CENTER SIGN IN FRONT OF SPACE.
  - 1 IN 6 ACCESSIBLE SPACES SHALL BE VAN ACCESSIBLE.

14 VAN ACCESSIBLE PARKING SPACE SIGN  
L-700 NTS



- NOTES:
- INSTALL SIGN IN LANDSCAPE AREA 1'-0" BEHIND SIDEWALK AT FACE OF PARKING SPACE. WHERE NO SIDEWALK ABUTS PARKING SPACE, LOCATE SIGN 2'-6" FROM FACE OF CURB AND/OR EDGE OF PARKING SPACE. CENTER SIGN IN FRONT OF SPACE.
  - "CONDITION 1" ASSUMES PEDESTRIAN PATH DOES NOT PASS UNDER OR AROUND SIGN. IN CASES WHERE IT DOES, USE 6.25' AS MIN DIMENSION BETWEEN GROUND AND BASE OF SIGN.

15 ACCESSIBLE PARKING SPACE SIGN  
L-700 NTS



16 STOP SIGN  
L-700 NTS

CONSULTANTS

PROJECT



**CAPITAL FORD  
TRUCK CENTER**

2805 E MILLBROOK RD  
RALEIGH, NC 27604

CLIENT

**CAPITAL FORD,  
INC.**

4900 CAPITAL BLVD.  
RALEIGH, NC 27616  
(919) 999-1400

DRAWING TITLE

**SITE DETAILS**

REVISIONS

NUMBER	DESCRIPTION	DATE

DRAWN BY: SJC, SCS

CHECKED BY: SCS

DATE ISSUED: 03-06-24

OF





HAGERSMITH

ARCHITECTURE | INTERIOR DESIGN  
LANDSCAPE ARCHITECTURE

300 S. DAWSON STREET  
RALEIGH, NC 27601 | 919.821.5547  
www.hagersmith.com  
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PROJECT 000-000

### CAPITAL FORD TRUCK CENTER

2805 E. MILLBROOK RD.  
RALEIGH, NC 27604

CONSULTANTS



BASS | NIXON | KENNEDY  
CONSULTING ENGINEERS  
ENGINEERING FIRM NUMBER: C-0110  
6310 CHAPEL HILL ROAD, SUITE 250  
RALEIGH, N.C. 27607  
P.919.851.4422 BNKINC.COM

CLIENT

### CAPITAL FORD, INC.



4900 CAPITAL BLVD.  
RALEIGH, NC 27616  
919.999.1400

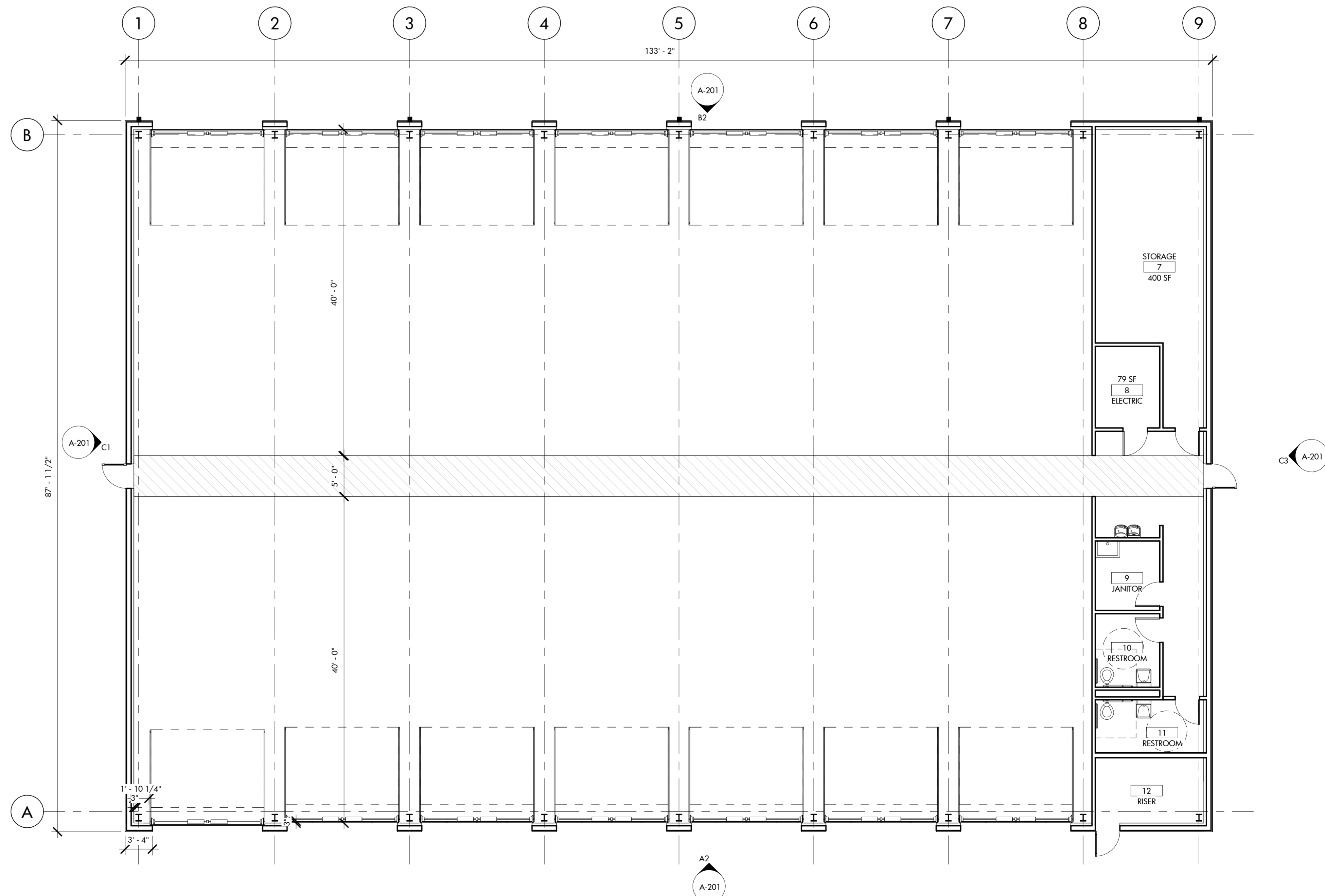
DRAWING TITLE

### FIRST FLOOR PLAN

REVISIONS

NUMBER	DESCRIPTION	DATE

DRAWN BY JAL  
 CHECKED BY CAC  
 DATE ISSUED 2024.03.01 OF



A2 LEVEL 1 PLAN  
 A-101 1/8" = 1'-0"



HAGERSMITH

ARCHITECTURE | INTERIOR DESIGN  
LANDSCAPE ARCHITECTURE

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### CAPITAL FORD TRUCK CENTER

2805 E. MILLBROOK RD.  
RALEIGH, NC 27604

CONSULTANTS



BASS | NIXON | KENNEDY  
CONSULTING ENGINEERS

ENGINEERING FIRM NUMBER: C-0110  
6310 CHAPEL HILL ROAD, SUITE 250  
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CLIENT

### CAPITAL FORD, INC.



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919.999.1400

DRAWING TITLE

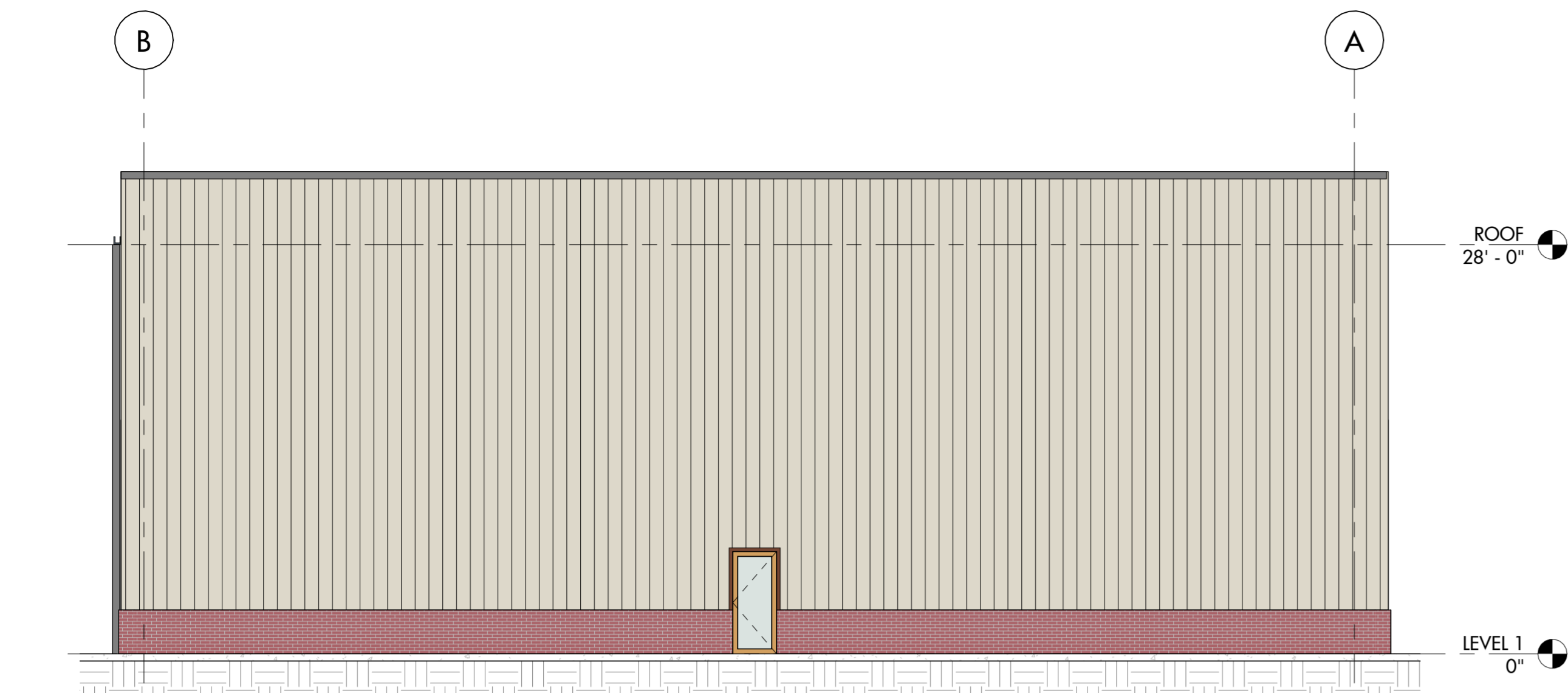
### EXTERIOR ELEVATIONS

REVISIONS

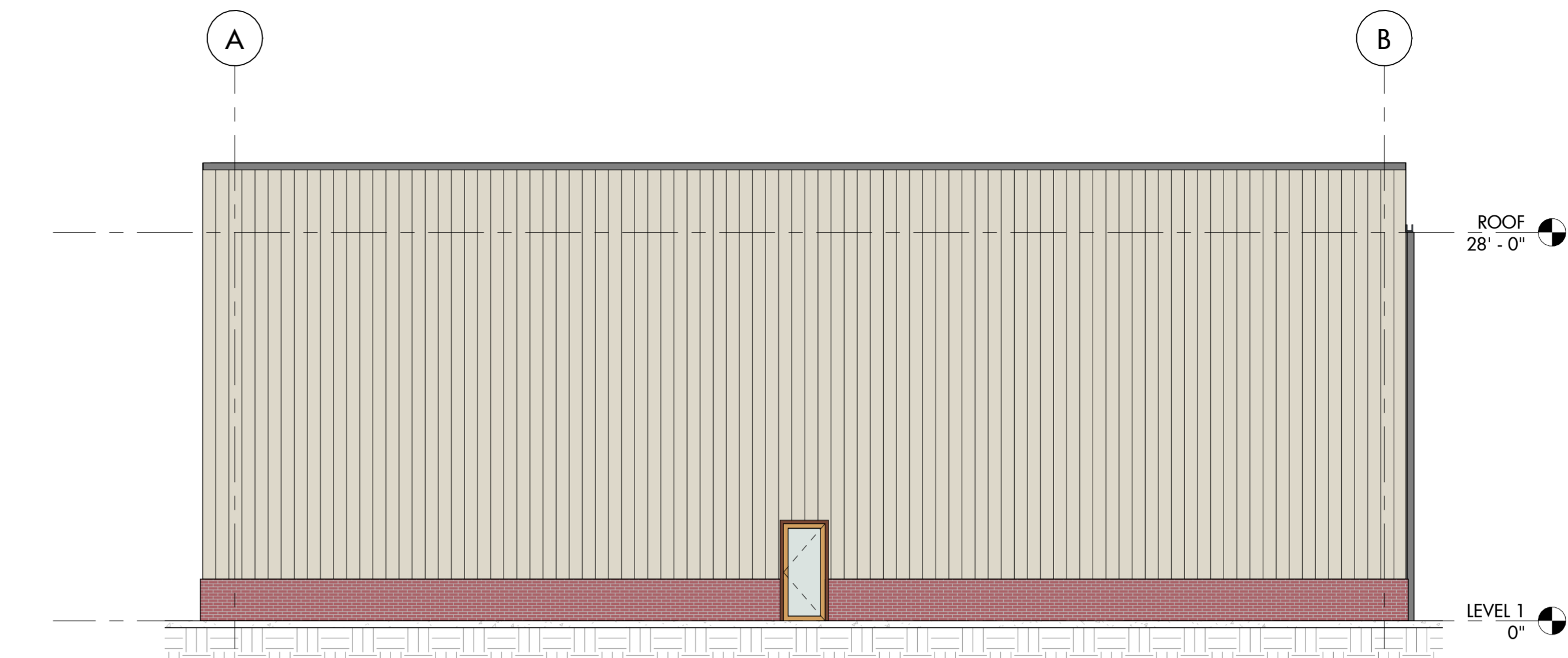
NUMBER	DESCRIPTION	DATE

DRAWN BY JAL  
CHECKED BY CAC  
DATE ISSUED 2024.03.01 OF

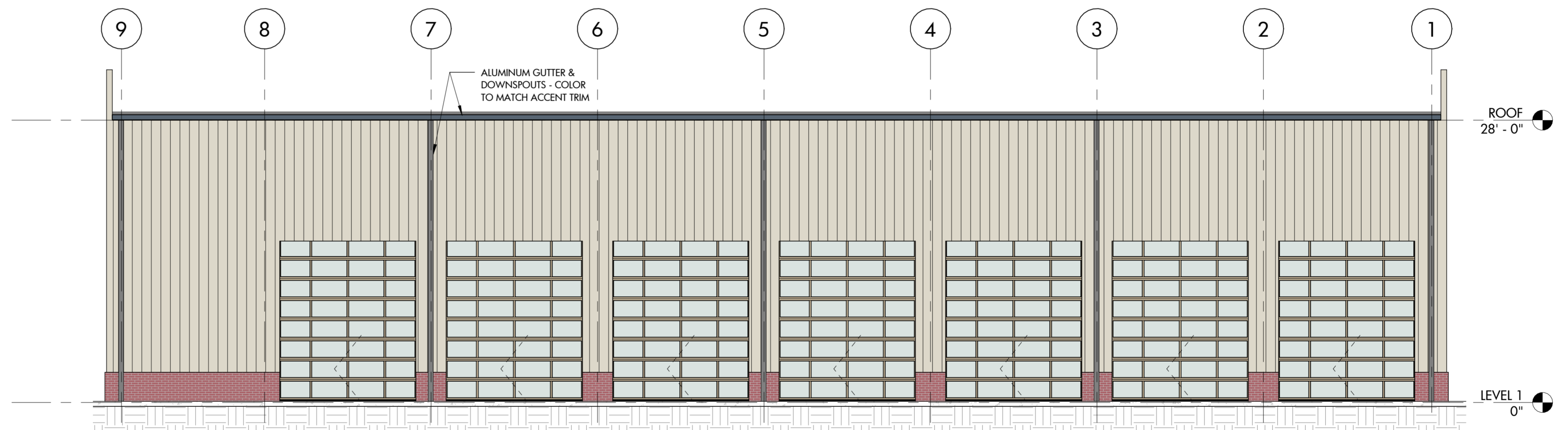
## A-201



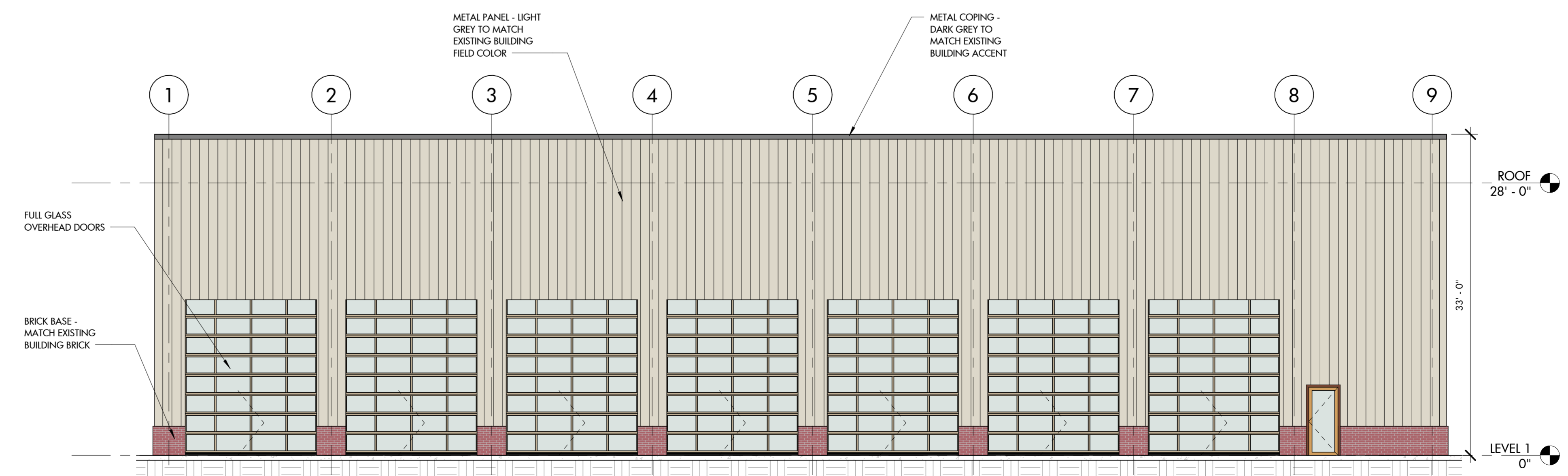
C1 WEST  
A-201 1/8" = 1'-0"



C3 EAST  
A-201 1/8" = 1'-0"



B2 NORTH  
A-201 1/8" = 1'-0"



A2 SOUTH  
A-201 1/8" = 1'-0"