



# Administrative Approval Action

Case File / Name: ASR-0019-2022  
DSLC - Blount St. Hotel (ASR)

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This .51 acre site zoned DX-7-UG is located on the east side of South Blount Street between E. Cabarrus and E. Davie Streets at 415 S. Blount Street.

**REQUEST:** The proposal is for a seven story 85,000 square foot hotel with 106 rooms and associated infrastructure.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 8, 2022 by WithersRavenel.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Site Permitting Review plans:**

### General

1. Provide a will serve letter for solid waste services. This is required with SPR submittal.
2. A lighting plan needs to be included (as per response to comments).
3. For ease of reference, please label all roof top elements (sheet A2.8)

### Engineering

4. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

### Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

**LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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Cross Access Agreements Required

Sidewalk Deed of Easement Required

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

## Engineering

1. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A cross access agreement among the lots identified as Lot 1 and Lot 2 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

**The following items must be approved prior to the issuance of building permits:**

## Urban Forestry

1. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (2) street trees along S. Blount St.
2. A public infrastructure surety for (2) Tree Grate Street Trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

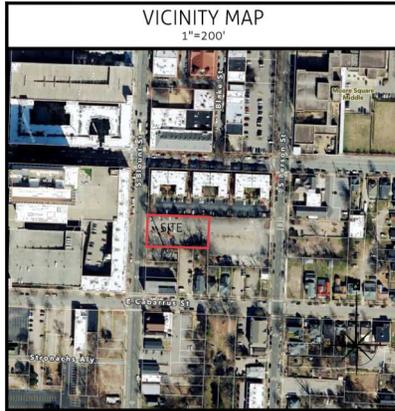


ASR-0019-2022

# ADMINISTRATIVE SITE REVIEW PLANS for Blount St. Hotel

## 415 S. Blount St, RALEIGH NC

1st Submittal: March 15th, 2022  
2nd Submittal: April 28th, 2022  
3rd Submittal: June 8th, 2022



### GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE OR SPACE OF DRIVEWAY FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION OF ANY PILE FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY ANY OF RALEIGH INSPECTORS AS NEEDED DURING CONSTRUCTION.
- ALL SANITARY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH NORTH CAROLINA OFFICE BY CAROL NORTH CAROLINA OFFICE OF SOCIAL, FORM AND SUPERVISORY INFORMATION WAS OBTAINED FROM GREAT COUNTY CO.
- ALL PROPOSED CURB AND UTILITY WITHIN PUBLIC RIGHT-OF-WAY SHOWN ON PLANS TO BE PROVIDED TO CURB AND UTILITY TO BE 2" CONCRETED CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL ENHANCEMENTS SHOWN TO BACK-OF-CURB UNLESS OTHERWISE STATED ON PLANS WITHIN THE RIGHT-OF-WAY SHALL BE COMPLETED WITHIN 90 DAYS OF COMPLETION OF THE PROJECT AND IF IT IS NEARBY ABOUT THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART TO THE PUBLIC RIGHT-OF-WAY. THIS SHALL NOT APPLY TO ANY SETBACK PLACING, ETC.
- UNLESS NOTED, ACCESS ROUTES FOR EMERGENCY SERVICES SHALL PROVIDE AN INSIDE THROUGH ACCESS TO ALL BUILDINGS.
- ALL WALKWAYS SHALL BE LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AND PROVIDE TO WITHERSRAVENEL PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT THE CITY AT 919-996-3340 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACES AND ACCESS ASSETS SHALL BE NO GREATER THAN TWO (2) FEET FROM THE PUBLIC RIGHT-OF-WAY UNLESS OTHERWISE NOTED.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL REPAIRS SHALL BE TO BE COMPLETED WITHIN 90 DAYS OF COMPLETION OF THE PROJECT UNLESS OTHERWISE PERMITTED BY THE CITY OF RALEIGH APPROVED BY CDD/CDM/CHM.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 10 FEET FROM THE POINT OF ORIGIN OF THE CURB FOR THE PUBLIC RIGHT-OF-WAY CORNER CLEARANCE.
- WALKWAY ACCESS RAMP SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROGRAM STANDARDS AND ADAAG. PROTECTIONS AND CABLE FENCES, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE TROUBLE, ETC. SHALL BE SCREENED FROM OFF-SITE VIEW BY EXISTING CURB, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY CHALLENGES. PRECISION POSTING SIGNS AND ACCESSIBLE PEDISTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE ADAAG STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON URBAN TRAFFIC CONTROL, EDITION 2011.
- IF A SIGNAGE OR CONSTRUCTION DEVELOPMENT DURING CONSTRUCTION, THE CITY OF RALEIGH STREET LIGHTING MAINTENANCE AND CONTACT PUBLIC WORKS DEPARTMENT FOR CONSTRUCTION.
- BEFORE TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION DIVISION. THE MEETING SHALL BE SUBMITTED A MINIMUM OF 7 BUSINESS DAYS PRIOR TO THE START OF WORK. SEE RIGHT-OF-WAY CLOSED ON WWW.RALEIGH.GOV.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD MOST CURRENT EDITION.
- ANY PROPOSED STREET CLOSURE SHALL BE SUBMITTED A MINIMUM OF 7 BUSINESS DAYS PRIOR TO THE START OF WORK. SEE RIGHT-OF-WAY CLOSED ON WWW.RALEIGH.GOV.
- PROVIDE SIGNAGE AND STRIPING OF THE RIGHT-OF-WAY OBSTRUCTION PERMITTING.
- PROVIDE CONSTRUCTION BEGINNING ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

### SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY APPLICABLE CONTRACTOR.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- HOTEL STAFF WILL REMOVE SOLID WASTE TO THE SHARED COLLECTION AREA ON LOT 1. SOLID WASTE COLLECTION FROM LOT 2 WILL BE HANDLED PER APPROVED PLAN SPR 0094-2022.

### FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFA 13).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NFA 507.5.3).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH 1" THREADS AND WITH A 1" INCH STORAGE CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS FOR THE 2018 NFA. SECTION 507.3.

### RIGHT-OF-WAY OBSTRUCTION NOTES

- STREET, LAKE, AND SIGNAL CROSSINGS OR OBSTACLES PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LAKE, OR SIGNAL, THE CONTRACTOR MUST APPROVE A PERMIT WITH THE RIGHT-OF-WAY DIVISION.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDIESTRIAN PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY DIVISION AT WWW.RALEIGH.GOV. RIGHT-OF-WAY DIVISION.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTORS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN AND ENSURE ALL PERMITS ARE OBTAINED.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NC DOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON URBAN TRAFFIC CONTROL, AND THE LATEST EDITION OF THE MUTCD. SIGNAGE AND SPECIFICATION FOR SIDEWALK, STREET, LAKE, AND SIGNAL CROSSINGS SHALL BE THE MOST CURRENT EDITION.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVIDING) THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON URBAN TRAFFIC CONTROL, EDITION 2011.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON-SITE DURING THE OPERATION.

### Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8, as amended by text change case TC-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan  Tier Three Site Plan

Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic

Development name: Blount St. Hotel  
Inside City limits?  Yes  No  
Property address(es): **415 S. Blount St**  
Site P.I.N. (s): 1703778182

Please describe the scope of work, include any additions, expansions, and change of use. Construction of new hotel and associated site improvements.

Current Property Owner/Developer Contact Name: South Blount Hotel, LLC/Equi Era  
NOTE: please attach purchase agreement when submitting this form.  
Company: South Blount Hotel, LLC Title: \_\_\_\_\_  
Address: 3141 JOHN HUMPHRIES WYNN, SUITE 200, RALEIGH, NC  
Phone #: \_\_\_\_\_ Email: \_\_\_\_\_  
Applicant Name: Rob Caudle, PE Address: 137 S. Wilmington St, Suite 200 Raleigh, NC  
Company: WitherRavenel Email: rcaudle@witheravenel.com  
Phone #: 919-469-3340

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DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
<b>SITE DATA</b>	<b>BUILDING DATA</b>
Zoning district (if more than one, please provide the acreage of each): DX-7-LUG	Existing gross floor area (not to be demolished): 0
Gross site acreage: 0.514	Existing gross floor area to be demolished: 0
# of parking spaces required: 0	New gross floor area: 85,000
# of parking spaces proposed: 95	Total of gross (to remain and new): 85,000
Overlay District (if applicable):	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Parking	Proposed # of stories for each: 7
Proposed use (UDO 6.1.4): Hotel	
<b>STORMWATER INFORMATION</b>	
Existing Impervious Surface: Acre: 2017 Square Feet: 22,225	Proposed Impervious Surface: Acre: 2022 Square Feet: 21,847
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alueval note: Flood study: FEMA Map Panel #: 270570000	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>RESIDENTIAL DEVELOPMENTS</b>	
Total # of dwelling units:	Total # of hotel units: 106
# of bedroom units: 1br 2br 3br 4br or more	# of lots: _____
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>SIGNATURE BLOCK</b>	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, <b>Robert Caudle, PE</b> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development. I acknowledge that this application is subject to the filing calendar and submital policy, which states applications will expire after 180 days of inactivity.	
Signature: _____	Date: 03/14/2022
Printed Name: Robert Caudle, PE	
Page 2 of 2 <span style="float: right;">www.raleighnc.gov</span>	

**DEVELOPER/OWNER**  
South Blount Hotel, LLC  
3141 JOHN HUMPHRIES WYNN,  
SUITE 200  
RALEIGH, NC  
ATTN: CRAIG EICK

**PREPARED BY:**

  
**WittherRavenel**  
 Engineers | Planners  
 137 S Wilmington Street | Suite 200 | Raleigh, NC 27601 | t: 919 469 3340 | license #: F-1497 | www.wittherravenel.com

<b>HC   Architecture</b> 1425 DUTCH VALLEY PL. ATLANTA, GA 30324 404-685-8868 ATTN: TOM HOGAN	<b>CIVIL ENGINEER</b> <b>ROB CAUDLE, PE</b> 919-238-0359 rcaudle@witheravenel.com
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Sheet List Table	
Sheet Number	Sheet Title
C0.0	Cover
C0.1	Parking Exhibit 1
C0.2	Parking Exhibit 2
C0.3	Parking Exhibit 3
C1.0	Existing Conditions
C2.0	Site Plan
C2.1	Sight Distance Triangle Exhibit
C3.0	Grading and Drainage Plan
C4.0	Utility Plan
C4.1	Fire Hose Lay
C5.0	Nitrogen and Drainage Area Map
L1.0	Landscaping Plan
	Blount Street View
	Level 1 Floor Plan
	Levels 2 thru 5
	Levels 6 thru 7
	Roof Plan
	South Elevation
	West Elevation
	North Elevation
	East Elevation

SITE DATA	
SITE ADDRESS:	415 S. Blount St., Raleigh, NC
PIN NUMBER:	1703778182
DEED BOOK:	DB 018663 PG 01042
ZONING DISTRICT:	DX-7-LUG
OVERLAY DISTRICTS:	N/A
GROSS SITE ACREAGE:	0.51 AC
NET ACREAGE:	0.51 AC
EXISTING USE:	VACANT
PROPOSED USE:	HOTEL
BUILDING INFORMATION:	PROPOSED BUILDINGS: 1 GROSS BLDG SF: 85,000 SF STORIES: 7 HEIGHT: 84.5'
PARKING:	PARKING PROVIDED: 0 SPACES REQUIRED PARKING REQUIRED: 95 SPACES
AMENITY AREA:	AMENITY AREA REQUIRED: 2,239 SF AMENITY AREA PROVIDED: 2,236 SF
SEATING:	SEATING REQUIRED: 45 LF SEATING PROVIDED: 48 LF

LEGEND	
<b>EXISTING</b>	<b>PROPOSED</b>
 FIRE HYDRANT  POWER POLE  IRON FIRE SET  IRON PIPE FOUND  CALCULATED POINT  WATER VALVE  CATCH BASIN  SANITARY MANHOLE  BLOW OFF VALVE	 PROJECT BOUNDARY LINE  ADJACENT PROPERTY LINE  RIGHT OF WAY  OVERHEAD ELECTRIC LINE  SANITARY SEWER LINE  STORM DRAINAGE LINE  MAJOR CONTOUR LINE  MINOR CONTOUR LINE

15/2022-06-01 09:00:00 - Shared - H:\Projects\2022\ASR-0019-2022\Drawings - Final\ASR-0019-2022.dwg - Tuesday, June 14, 2022 12:08:48 PM - CADC

ADMINISTRATIVE SITE REVIEW - BID SUBMITTAL  
W/ PROJECT NO. 10217041  
ASR-0019-2022



ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL CONFORM WITH CITY OF RALEIGH AND NC DOT STANDARDS SPECIFICATIONS AND DETAILS.

**TOTAL LOT SIZE: 0.514 AC**

<b>TOTAL LOT SIZE</b>	0.514 AC
<b>AMENITY AREA PROVIDED</b>	0.514 AC (2,289 SF) (0.514 + 10.7)
<b>AMENITY AREA REQUIRED</b>	0.514 AC (2,289 SF) (0.514 + 10.7)

**LOCAL CALCULATION**

<b>SEATING PROVIDED</b>	1 LF SEATING @ 2.289 SF REQUIRED (50 SF)
<b>SEATING REQUIRED</b>	448 LF
<b>TOTAL</b>	448 LF

**LOCAL CALCULATION**

<b>TREES PROVIDED</b>	1.2" CALIBER (2,289 SF REQUIRED) (1,000 SF)
<b>TREES REQUIRED</b>	1.2" CALIBER TREES

**LOT 1 PARKING CALCULATIONS**

<b>REQUIRED</b>	19 SPACES (UNIT - 19 SPACES)
<b>PROVIDED</b>	19 SPACES (19 SPACES - 19 SPACES)

**LOT 2 PARKING CALCULATIONS**

<b>REQUIRED</b>	NO SHORT TERM SPACES REQUIRED, LONG TERM: 1 SPACE, 20 SPACES
<b>PROVIDED</b>	19 SPACES (20 SPACES - 1 SPACES)

**BUILDING CALCULATIONS (LOT 2)**

<b>PROPOSED LOT WIDTH</b>	100' 7" LOT WIDTH
<b>MINIMUM BUILDING WIDTH</b>	80'
<b>PROPOSED BUILDING WIDTH</b>	80'
<b>EXIST. SETBACK</b>	17% (67' MIN)

**NOTE:** THIS CALCULATION FOR LOT 2 ONLY AND DOES NOT INCLUDE LOT 1. NO DEVELOPMENT IS PROPOSED ON LOT 1.

**PARKING CALCULATIONS**

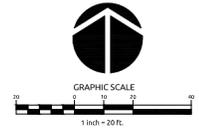
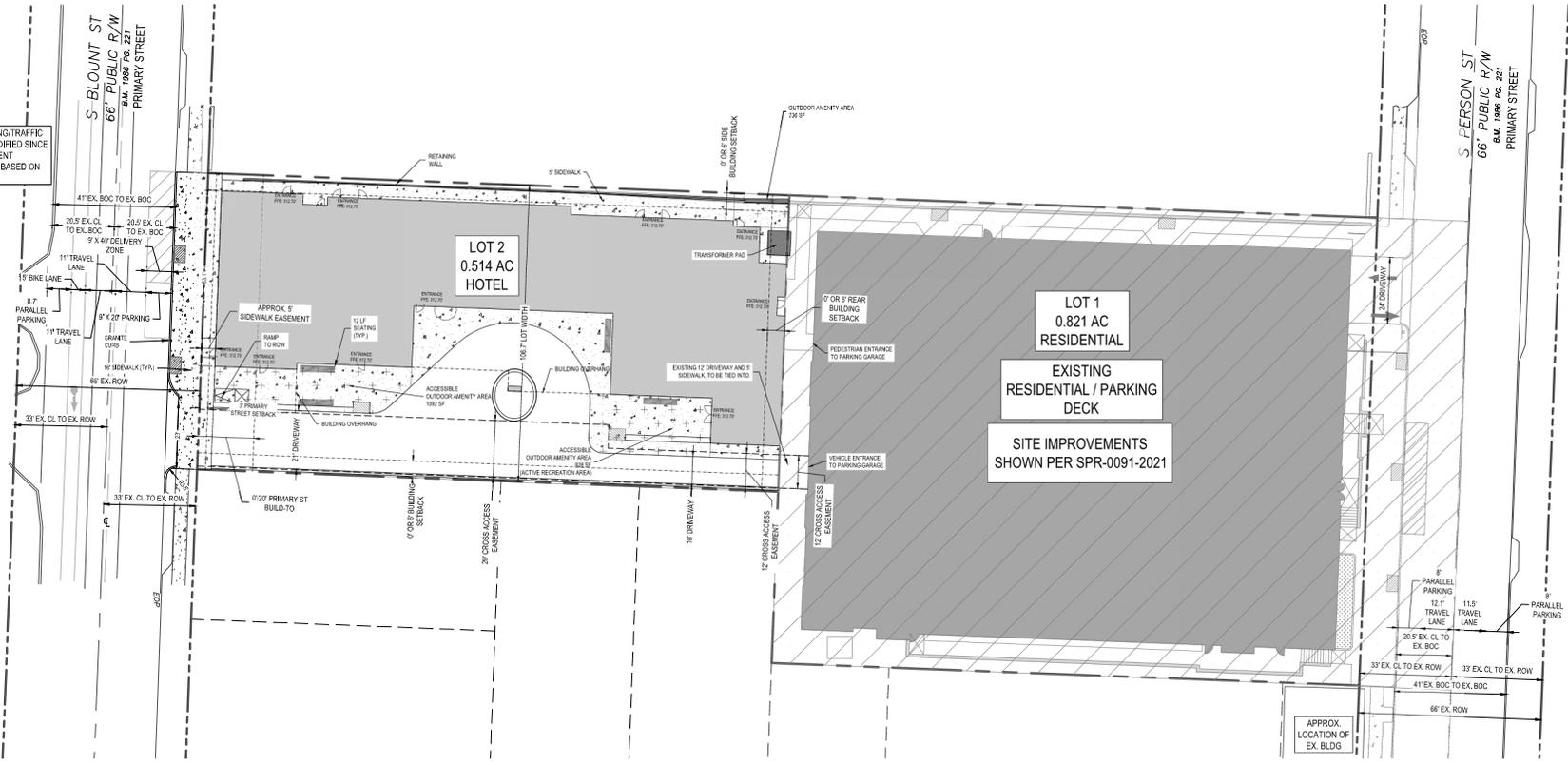
NO PARKING REQUIRED ON SITE PER LDC SEC. 7.1.1.C. REFERENCING LDC SEC. 7.1.1.A.

208 SPACES PROVIDED IN LOT 1 STRUCTURE, 415 TO BE PROVIDED FOR LOT 1 BLDG AND 26 TO BE PROVIDED FOR LOT 2.



- GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
  - THE CONTRACTOR SHALL OBTAIN A HIGH-CWAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE, PARKING SPACE, OR SIDEWALK FROM 90% OF HIGHWAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
  - IF CONSTRUCTION PLANS FOR PUBLIC AND TRAILER STREETS OR UTILITIES SHOWN ON THESE PLANS ARE REQUIRED, THEY WILL BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND UTILITIES DEPARTMENT PRIOR TO DISANCE OF PERMITS OR RECORDING ANY PLANS FOR THESE UTILITIES.
  - FIELD MEASUREMENTS TO THE 1/4" MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
  - ALL SURVEY INFORMATION PROVIDED TO W/ITHERS RAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY W/ITHERS RAVENEL, RALEIGH, NORTH CAROLINA OFFICE IN THE FIELD FORMS IN W/ITHERS RAVENEL, RALEIGH, NORTH CAROLINA OFFICE OF THESE PLANS SHALL BE USED.
  - ALL PROPOSED CURBS AND UTILITIES SHALL BE 3" CONCRETE AND 6" MINIMUM SETBACK FROM THE CENTERLINE OF CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
  - ALL DRIVEWAYS SHOWN ARE TO BE BACK TO CURB UNLESS OTHERWISE STATED ON PLANS.
  - WHERE THE SHOWN TRAVELERS SHOWN ON THESE PLANS, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN DRIVE OR DRIVE OBSTRUCTION UNLESS NOT BE LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, BARK, OR PAVED DRIVE.
  - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE A MINIMUM TURNING RADIUS OF 30' MINIMUM.
  - TRANS AND/OR CARGO (OVERSIZED) ENCLOSURE SHALL CONFORM TO THE MINIMUM WIDTH AND COLOR OF THE PROPOSED SIDEWALK.
  - ALL 1/4" DIMENSIONS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
  - CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO AGENCIES REQUESTED PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NUMBER AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
  - HANDICAPPED PARKING SPACES AND ACCESSIBLE AREAS SHALL BE NO GREATER THAN TWO PERCENT (2%) PER IN ANY DIRECTION, AS PER ADA STANDARDS.
  - PROVIDE SIGNAGE AND STRIPING OF HANDICAPPED SPACES AS PER ADA STANDARDS.
  - ALL RETAINING WALLS GREATER THAN 3' IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE HIGHWAY BRIDGE APPROVED BY THE CONTRACTOR.
  - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR INTERSECTING COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRoACH ON THE MINIMUM CORNER CLEARANCE.
  - W/ ACCESS RAMP SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS PER ADA STANDARDS AND ADA SPECIFICATIONS.
  - ALL RAMP AND HANDRAILS SHALL BE CONFORM TO ADA STANDARDS.
  - ALL ABOVE GROUND UTILITY DEVICES TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE FEEDTHRU'S, ELECTRICAL, TRANSFORMER, BACKFLOW DEVICE (BFD) SHALL BE SCREENED FROM OFF-APPE VIEW BY CHAINLINK FENCING, FENCE OR WALL.
  - ALL UTILITIES MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND OR HAVE LOW VISION AND FOR PEDESTRIAN MOBILITY DEVICES. PEDESTRIAN ROUTES MUST BE ADEQUATE TO COMPLY WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT. TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATIONS OF THESE ROUTES DURING CONSTRUCTION, CONTACT ENGINEERING INSPECTORS AT 919.984.2600 TO SET UP THE MEETING.
  - IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
  - PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT. TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATIONS OF THESE ROUTES DURING CONSTRUCTION, CONTACT ENGINEERING INSPECTORS AT 919.984.2600 TO SET UP THE MEETING.
  - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (LATEST EDITION).
  - ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED TO A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "HIGH-CWAY CLOSURES" ON [WWW.RALEIGH.NC.GOV](http://WWW.RALEIGH.NC.GOV). COMPLETE AND SEND THE HIGH-CWAY OBSTRUCTION PERMIT TO [PRC@CITYOFRALEIGH.NC.GOV](mailto:PRC@CITYOFRALEIGH.NC.GOV).
  - PRIOR TO CONSTRUCTION BEGINNING, ALL STORAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

\*\*\*S. BLOUNT ST. STRIPING/TRAFFIC PATTERN HAS BEEN MODIFIED SINCE TIME OF SURVEY. CURRENT STRIPING INFORMATION BASED ON AERIAL IMAGERY.



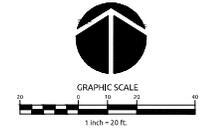
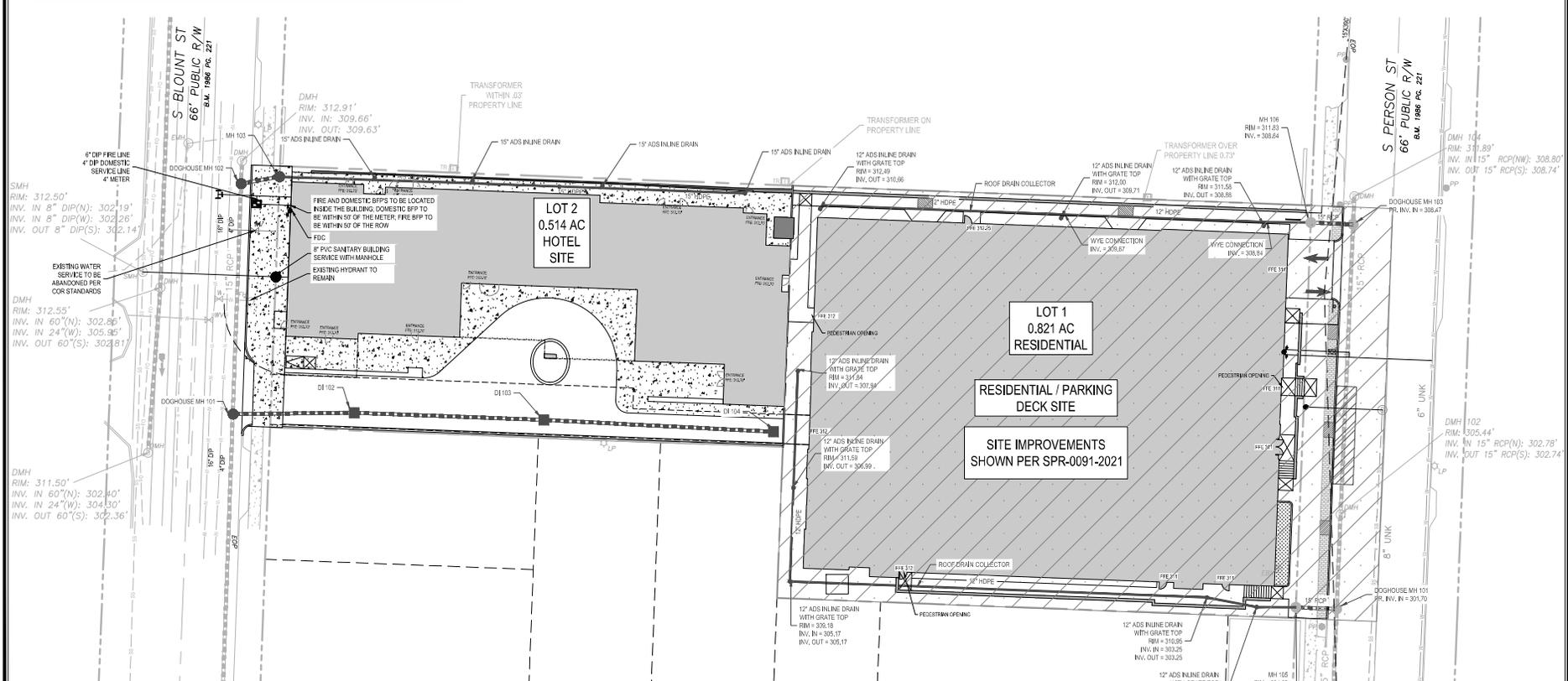
Revisions

1	COR COMMENTS	4/28/2022
2	COR COMMENTS	6/08/2022

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**STANDARD CITY UTILITIES APPLICABLE:**

1. All services & connections subject shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
2. Utility separation requirements:
  - a) A distance of 10' shall be maintained between sanitary sewer & any private or public water supply services such as an underground covered tank as a source of drinking water. If adequate lateral separation cannot be achieved, then sanitary sewer pipe shall be specified & installed to meet the specifications. However, the minimum separation shall not be less than 2' from a private well or 5' from a public well.
  - b) When installing sewer &/or water mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the vertical clearance (the water main is a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be supported by the Public Utilities Inspector. All clearance are measured from outside diameter to outside diameter.
  - c) Where it is impossible to obtain proper separation, or anytime a sanitary cover passes over a watermain, DIP materials or steel encasement covered 10" on each side of covering must be specified & installed to meet specifications.
  - d) If minimum horizontal separation is required between a sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - e) Minimum 10" vertical separation at all watermain & RCP storm drain crossings; minimum 10" vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separation cannot be achieved, specify DIP materials & a concrete grade having 6" min. clearance (per CORPUD details W-11 & S-41) or 18" other underground utilities that cross water & sewer facilities as required.
3. Any necessary field or vision are subject to review & approval of an as-built plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
4. Developer shall provide 30 days advance notice to cover for any work required within an existing City of Raleigh Utility Easement (existing private property).
5. Contractor shall maintain continuous water & sewer service to existing residential & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
6. If any minimum cover is required on all water mains & sewer facilities, 10" minimum cover is required on all water mains.
7. It is the contractor's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning, stop or removal of service from ROW or easement per CORPUD Handbook procedures.
8. Install 2" DIP water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: it is the contractor's responsibility to properly size the water service for each connection or provide additional flow & pressure.
9. Install 6" PVC 4" or services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
10. Pressure tubing valves are required on all water services exceeding 40 psi. Backflow valves are required on all sanitary sewer services having building drains lower than 11' above the final upstream manhole.
11. All environmental permits applicable to the project must be obtained from NCDOW, USACE, &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
12. NCDOT Railroad Precedence Agreements are required for any utility work including main crossings & service taps within state or railroad ROW prior to construction.
13. Ground Disturbance / Oil Water Separator using conditions & installation specifications shall be approved by the CORPUD PUV Program Coordinator prior to issuance of a Building Permit. Contact Stephen Lohrby at (919) 996-3134 or [stephen.lohrby@raleighnc.gov](mailto:stephen.lohrby@raleighnc.gov) for more information.
14. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-D of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approved list. The device shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local enforcement agency program, whichever is more stringent. A Certificate of Compliance shall also be obtained for each device prior to issuance of a Building Permit. Contact James Harby at (919) 996-3071 or [james.harby@raleighnc.gov](mailto:james.harby@raleighnc.gov) for more information.



Revisions

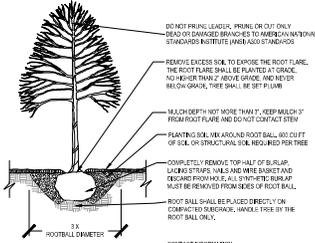
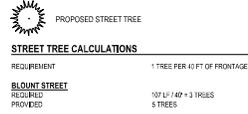
1	COR COMMENTS	4/28/2022
2	COR COMMENTS	6/08/2022

03/15/2022 09:00 AM: C:\Users\jlohrby\OneDrive\Documents\Blount Street Hotel\DWG\Utility\Utility Plan - C4.0.dwg (PLOT) - C:\Users\jlohrby\OneDrive\Documents\Blount Street Hotel\DWG\Utility\Utility Plan - C4.0.dwg (PLOT) - C:\Users\jlohrby\OneDrive\Documents\Blount Street Hotel\DWG\Utility\Utility Plan - C4.0.dwg (PLOT)

**GENERAL LANDSCAPE NOTES:**

1. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING GRADING, WALL, ETC., REFER TO THE SITE AND CONSTRUCTION.
2. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NOTED IF APPLICABLE.
3. NO CHANGES TO ANY ASPECT OF THE SITE PLAN INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS (ESPECIALLY COLORS, LEADING, OR UTILITIES) WILL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING AUTHORITY.
4. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
5. ALL ABOVEGROUND HVAC EQUIPMENT AND UTILITY DEVICES TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE FEEDBACKS, ELECTRICAL TRANSFORMERS, BACKUP GENERATORS, HOT WATER TANKS, ETC. SHALL BE SCREENED FROM OFFICER VIEW BY SCREENING WALLS, FENCE, OR WALL.
6. ALL TREES AND SHRUBS SHALL BE FULL, WELL-BRANCHED PLANTS WHICH ARE CHARACTERISTIC TO THE SPECIES.
7. ALL PLANT BEDS TO BE MATCHED WITH A MINIMUM OF 2" DOUBLE SHROUDED HARDWOOD VULCAN OYED BROWN 2" HANDBRAND PAULI BEDS. NO FIBER STRAIN PERMITTED. ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED.
8. ANY FURNISHMENTS REFERRED TO ALL NEW PLANTING BEDS AT MANUFACTURERS RECOMMENDATIONS PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
9. TOPSOIL SHALL BE SPREAD OVER THE ENTIRE LANDSCAPE AREA TO A DEPTH OF AT LEAST 4 INCHES IN LAWN AREAS AND 6 INCHES IN DRIVE AND SIDEWALK AREAS.
10. FINAL LOCATION OF ALL TURF AREAS SHALL BE APPROVED BY OTHER GRAND LANDSCAPE ARCHITECT.
11. LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
12. VERIFICATION OF PLANT QUANTITIES SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
13. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONFLICTS OCCUR, PLANT LOCATIONS SHALL BE ADJUSTED AS APPROVED BY OTHER GRAND LANDSCAPE ARCHITECT BEFORE ANY HOLDING.
14. WITHIN THE RIGHT-OF-WAY SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED BY WHOLE OR PART. OBSTRUCTION INCLUDES BUT IS NOT LIMITED TO ANY SIGN, FENCE, WALL, SIGN, OR PARKED VEHICLE.

**LEGEND**



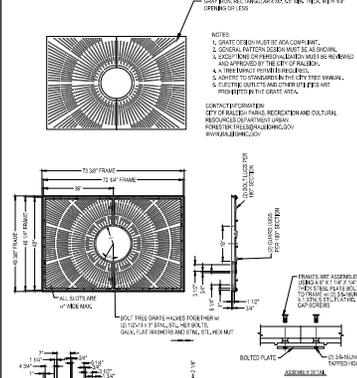
- NOTES:**
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CHAPTER 2 OF THE CITY TREE MANUAL.
  2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS (POSITIVE DRAINAGE AWAY FROM PIT).
  3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  4. A TREE IMPACT PERMIT IS REQUIRED.
  5. ELECTRICAL, CABLES AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  6. IF STAKING IS REQUIRED WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

**CITY OF RALEIGH STANDARD DETAIL**

PROJECT NO.	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

**TREE PLANTING DETAIL**

**TPP-03**

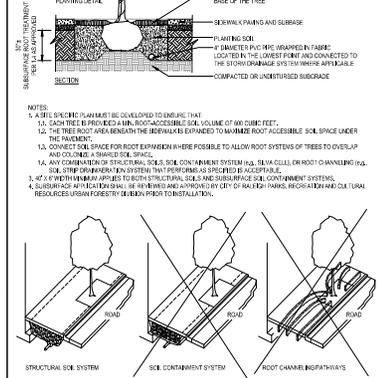


**CITY OF RALEIGH STANDARD DETAIL**

PROJECT NO.	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

**TREE PLANTING DETAIL**

**TPP-06**



**CITY OF RALEIGH STANDARD DETAIL**

PROJECT NO.	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
APPROVED BY	DATE

**TREE PLANTING DETAIL**

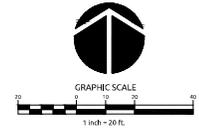
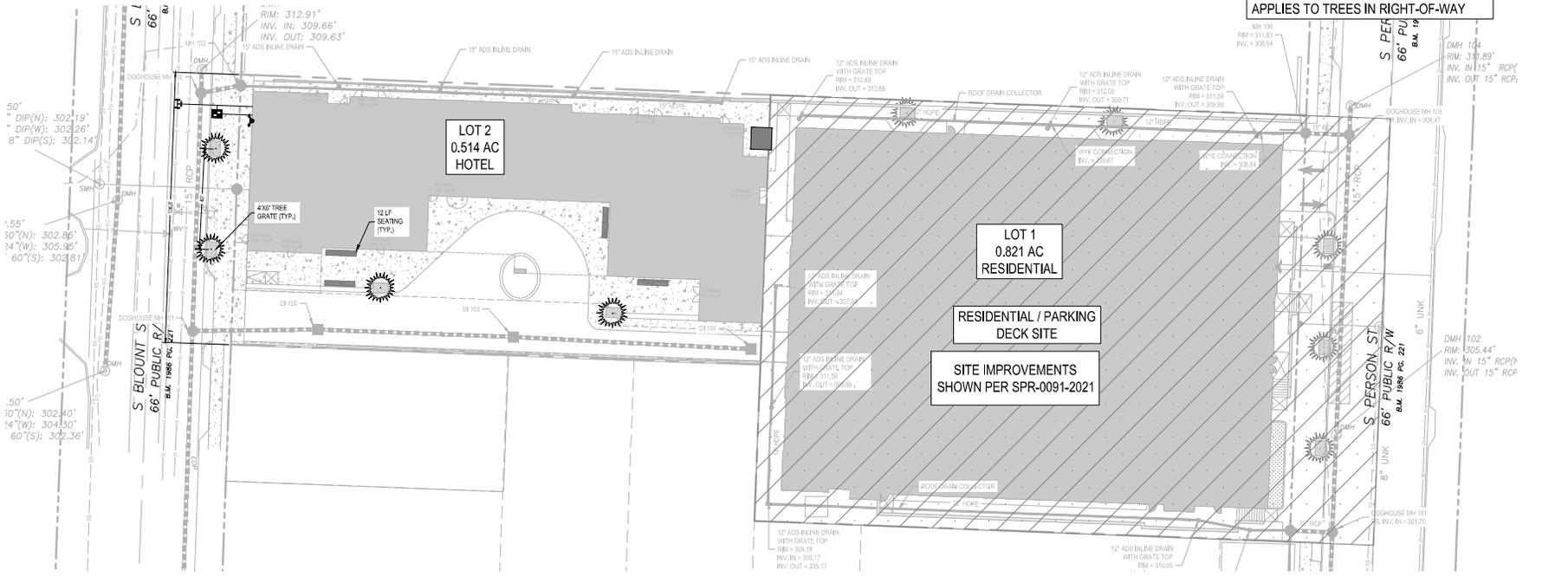
**TPP-07**

**PLANT SCHEDULE - PUBLIC & O.W.**

QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT SIZE	HEIGHT	NOTES
3	TDS	Ulmus Americana 'Pinnabifida'	Pinnabifida American Elm	8.5B	3' Cal. MIN.	10' MIN. SINGLE STEM MATCHED

**PLANT SCHEDULE - AMENITY AREA**

QTY	KEY	BOTANICAL NAME	COMMON NAME	ROOT SIZE	HEIGHT	NOTES
2	TDS	Ulmus Americana 'Pinnabifida'	Pinnabifida American Elm	8.5B	3' Cal. MIN.	10' MIN. SINGLE STEM MATCHED



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① Elevation South  
1/8" = 1'-0"

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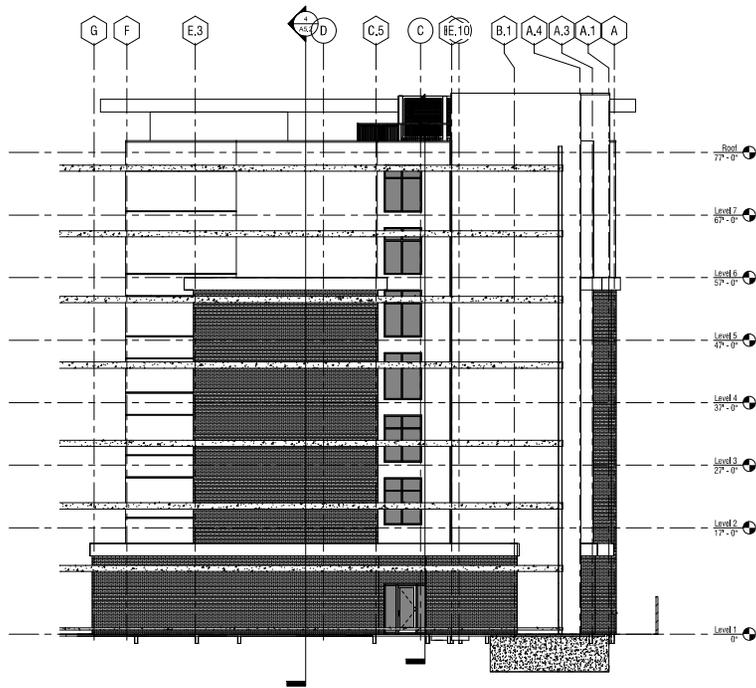
**hc**  
architecture

NOGAK CAMPAS ARCHITECTURE  
1125 BUCHANAN VALLEY PL NE  
STUDIO 2  
DUBLIN GA 30128  
404.855.8852 V  
404.855.8851 F  
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Administrative Site Review 6.03.2022

DRAWING TITLE	JOB NUMBER
Building Elevations - South	580
	SHEET NUMBER
	<b>A3.1</b>





2 Elevation East  
1/8" = 1'-0"



1 Elevation West  
1/8" = 1'-0"

<p><b>TOWNEPLACE SUITES<sup>®</sup></b> MARRIOTT RALEIGH, NORTH CAROLINA</p>	<p><b>hc</b> architecture</p> <p>HOVAN CAMPAS ARCHITECTURE 1205 BULLOCK VALLEY PL NE SUITE 200 DUBLIN, GA 30024 404.555.8852 404.555.8871 WWW.HCARCH.NET</p>	<p>Administrative Site Review 6.03.2022</p>	<p>DRAWING TITLE</p> <p>Building Elevations - East and West</p>	<p>JOB NUMBER 580</p> <p>SHEET NUMBER A3.3</p>
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