



# Administrative Approval Action

Case File / Name: ASR-0019-2023  
DSLCL - MILLS STREET

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the north side of E. Whitaker Mill Road, east of Wake Forest Road, at 1002 Mills Street.

**REQUEST:** Development of a 1.96 acre (85,386 sf) tract zoned R-10, with a right-of-way dedication of 0.024 acres (1,046 sf), leaving a net site area of 1.936 acres (84,840 sf). An existing site of multi-unit apartment structures will be demolished for a newly proposed 33 units/3-bedrooms, apartment building type, condominiums, consisting of 5 proposed buildings totaling 65, 249 sf in gross floor area. The site is in the Frequent Transit Area overlay, however, the applicant chose to utilize this development's review and approval using the Conventional Development design option.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 29, 2024 by Drye-McGlamery Engineering, PLLC.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Site Permitting Review plans:**

### General

1. Sheet C2, plans set sheets, the proposed or new right-of-way line is redrawn & shown as a solid line on the Site Permit Review plans set sheets.
2. A proposed lighting plan sheet, demonstrating site design requirements per UDO 7.4, is submitted with the SPR plans set.

### Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Public Access Deed of Easement Required
<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

**Engineering**

1. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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4. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Stormwater

5. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.
2. A demolition permit shall be obtained.

## Stormwater

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## Urban Forestry

4. A public infrastructure surety for 5 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure
5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes five street trees along Mills St.
6. A fee-in-lieu of planting for 1 street tree in a tree lawn along Mills St is paid to the City of Raleigh (UDO 8.1.10).



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**The following are required prior to issuance of building occupancy permit:**

**Stormwater**

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** April 3, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: \_\_\_\_\_ Date: 04/03/2024  
Development Services Dir/Designee  
Staff Coordinator: **Jermont Purifoy**



# TIER 3 ADMINISTRATIVE SITE REVIEW SUBMITTAL FOR MILLS STREET APARTMENTS AT 1002 MILLS STREET

ASR CASE NUMBER: ASR-0019-2023

**OWNER**  
EDGEWATER VENTURES, LLC  
100 STEEPLE CHASE LANE  
CHAPEL HILL, NC 27517

**CIVIL ENGINEER**  
DANIEL J. MCGLAMERY, PE  
DRIE-McGLAMERY ENGINEERING, PLLC  
821 WAKE FOREST RD  
RALEIGH, NC 27604  
PHONE: (704) 960-0180  
daniel.mcglamery@dryeengineering.com

**LANDSCAPE ARCHITECT**  
GRAHAM SMITH  
SITE COLLABORATIVE, INC.  
821 WAKE FOREST RD  
RALEIGH, NC 27604  
PHONE: (919) 905-3586  
graham@sitecollaborative.com

### Administrative Site Review Application

This form is required for all applications for a permit to construct or alter a building or structure on a lot. It must be submitted with the application for a permit to construct or alter a building or structure on a lot. The information provided on this form will be used to determine the appropriate zoning district and the applicable provisions of the zoning ordinance. The information provided on this form will also be used to determine the appropriate fee schedule for the permit to construct or alter a building or structure on a lot.

Office Use Only: Case # \_\_\_\_\_ Planner (print) \_\_\_\_\_

Please review the zoning ordinance for the site and the applicable provisions of the zoning ordinance. The information provided on this form will be used to determine the appropriate zoning district and the applicable provisions of the zoning ordinance. The information provided on this form will also be used to determine the appropriate fee schedule for the permit to construct or alter a building or structure on a lot.

Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> Single-family detached
<input type="checkbox"/> Attached	<input type="checkbox"/> Multi-family detached
<input type="checkbox"/> Commercial	<input type="checkbox"/> Commercial
<input type="checkbox"/> Industrial	<input type="checkbox"/> Industrial
<input type="checkbox"/> Other	<input type="checkbox"/> Other

**GENERAL INFORMATION**  
Development name: MILLS STREET  
Address: 1002 MILLS STREET  
Property address: 1002 MILLS STREET, RALEIGH, NC 27604  
Parcel ID: 1714 0006

APSP for proposed apartments on an existing multi-family property

Current Property Owner: Edgewater Investments LLC, a North Carolina limited liability company  
Company: UPS TEAM INVESTMENTS, LLC | Title: MANAGER  
Address: 2111 SAINT MARYS ST RALEIGH, NC 27604  
Phone #: 909.577.9999

Applicant Name (if different from owner, see "Who can apply" in instructions)  
Relationship to owner: ( ) Lease or contract purchase ( ) Power of attorney agent ( ) Assessed buyer

Company: UPS TEAM INVESTMENTS | Address: 2111 SAINT MARYS ST RALEIGH, NC 27604  
Phone #: 909.577.9999

Page 2 of 3

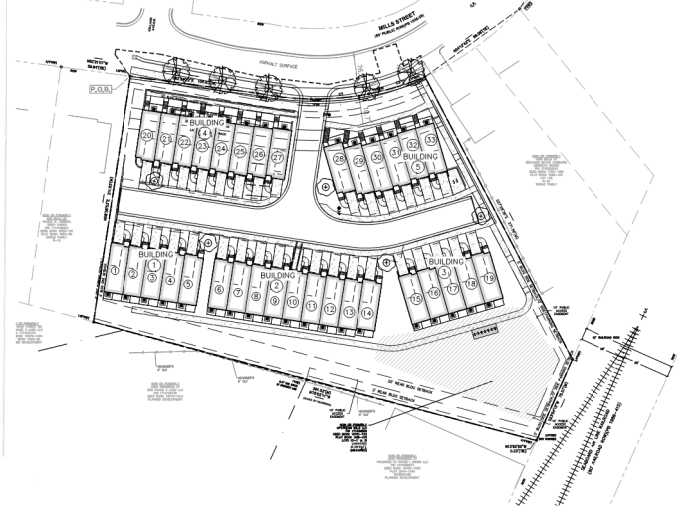
Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or agreement when submitting this form.</b>	
Developer Contact: HAYNES F. SHEFFOLD III	
Company: UPS TEAM INVESTMENTS, LLC   Title: MANAGER	
Address: 2111 SAINT MARYS ST RALEIGH, NC 27604-1333	
Phone #: 909.577.9999	Email:
Applicant Name: EPIN PAUDULLO	
Company: EPIN COMMUNITIES   Address: 3105 Glenwood Ave Ste 105 Raleigh, NC 27612	
Phone #: 909.577.9999	Email: EPIN@epincomm.com

DEVELOPMENT TYPE - SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the coverage of each): R-10	Existing gross floor area (not to be demolished): N/A
Gross site acreage: 1.96	Existing gross floor area to be demolished: 11,872 SF
# of parking spaces proposed: 93	New gross floor area: 65,249 SF
Max # parking permitted (F.3.C. 96): 96	Total gross floor area: 65,249 SF
Overlay District (if applicable): N/A	Proposed # of buildings: 5
Existing use (UDO 8.1.4): MULTI-UNIT LIVING	Proposed # of stories for each: 3
Proposed use (UDO 8.1.4): MULTI-UNIT LIVING	Proposed # of basement levels (UDO 1.5.7.A.6): 0

STORMWATER INFORMATION	
Impervious Area on Parcel(s): Existing: 25,438   Proposed: 47,045	Impervious Area for Compliance (includes ROW): Existing: 25,159   Proposed: 47,598

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 53	Total # of hotel/bedroom: N/A
# of bedrooms unit: 1br 2br 3br 3+ 4br or more	
# of 1br: 1	
Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No	
A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No	

Continue to Applicant Signature Block on Page Three.



**APPLICANT SIGNATURE BLOCK**

I, the undersigned, in accordance with the provisions of the zoning ordinance, hereby certify that the information provided on this form is true and correct to the best of my knowledge and belief. I understand that the information provided on this form will be used to determine the appropriate zoning district and the applicable provisions of the zoning ordinance. I understand that the information provided on this form will also be used to determine the appropriate fee schedule for the permit to construct or alter a building or structure on a lot.

I, the undersigned, hereby certify that the information provided on this form is true and correct to the best of my knowledge and belief. I understand that the information provided on this form will be used to determine the appropriate zoning district and the applicable provisions of the zoning ordinance. I understand that the information provided on this form will also be used to determine the appropriate fee schedule for the permit to construct or alter a building or structure on a lot.

Signature: \_\_\_\_\_ Date: 11/6/2023

Printed Name: Erin Paudullo

## DRAWING LIST

- C-0.0 COVER SHEET
- C-1.0 EXISTING CONDITIONS PLAN
- C-1.1 DEMOLITION PLAN
- C-2.0 STAKING AND MATERIALS PLAN
- C-2.1 SOLID WASTE AND FIRE TRUCK ACCESS PLAN
- C-2.2 RESIDENTIAL INFILL COMPLIANCE DIAGRAM
- C-4.0 GRADING AND DRAINAGE PLAN
- C-4.1 STORMWATER PLAN
- C-4.2 STORMWATER DETAILS
- C-5.0 UTILITY PLAN
- C-6.2 SITE DETAILS
- L400 PLANTING PLAN
- L401 PLANTING NOTES & DETAILS
- 23--006F SITE LIGHTING ARRANGEMENT
- A0.2 SITE / ROOF PLAN
- A0.3 LOWER LEVEL PLAN
- A0.4 FIRST LEVEL PLAN
- A0.5 SECOND LEVEL PLAN
- A2.1 EXTERIOR ELEVATIONS - BLDG GROUP 1
- A2.2 EXTERIOR ELEVATIONS - BLDG GROUP 2
- A2.3 EXTERIOR ELEVATIONS - BLDG GROUP 3
- A2.4 EXTERIOR ELEVATIONS - BLDG GROUP 4
- A2.5 EXTERIOR ELEVATIONS - BLDG GROUP 5

## PUBLIC IMPROVEMENTS QUANTITY TABLE

NUMBER OF LOT(S)	1
LOTS NUMBER(S) BY PHASE	1
NUMBER OF UNITS	1
LIVABLE BUILDINGS	1
OPEN SPACE?	YES
NUMBER OF OPEN SPACE LOTS?	1
PUBLIC WATER (LF)	0
PUBLIC SEWER (LF)	0
PUBLIC STREET (LF) - FULL	0
PUBLIC STREET (LF) - PARTIAL	0
PUBLIC SIDEWALK (LF)	0
STREET SIGNS (LF)	0
WATER SERVICE STUBS	5
SEWER SERVICE STUBS	1

## SITE DATA INFORMATION

PROJECT NAME: MILLS STREET APARTMENTS  
PROJECT ADDRESS: 1002 MILLS STREET RALEIGH, NC 27608

GROSS SITE ACREAGE: 1.960 ACRES (85,386 SF)  
ROW DEDICATION: 0.024 ACRES (1,046 SF)  
NET SITE ACREAGE: 1.936 ACRES (84,340 SF)  
AFTER ROW DEDICATION REQ'D ALONG MILLS STREET: R-10

ZONING DISTRICT: APARTMENTS  
PROPOSED USE: MULTI-UNIT LIVING CONDOMINIUMS APARTMENT TYPE BLDG (ALLOWED)

EXISTING BUILDING: N/A SF  
PROPOSED BUILDING: 65,249 SF (TOTAL GROSS FLOOR AREA)  
BUILDING 1: 9,866 SF  
BUILDING 2: 17,794 SF  
BUILDING 3: 9,866 SF  
BUILDING 4: 15,817 SF  
BUILDING 5: 11,896 SF

REQ'D LOT AREA/UNIT: 84,340 SF/33 UNITS=2,556 SF/UNIT  
2,500 SF/UNIT MINIMUM REQ'D  
2,500 SF/UNIT < 2,566 SF/UNIT

TOTAL LOT AREA: 7,500 SF MIN. < 84,340 SF  
LOT WIDTH: 80 FT MIN. < 256 FT

BEDROOMS: 33 UNITS\* 3 BR/UNIT = 99 BEDROOMS

AMENITY AREA REQUIREMENTS  
REQUIRED AMENITY AREA = 10%  
LOT AREA INSIDE RIGHT-OF-WAY: 1,948 ACRES  
REQ'D AMENITY AREA = 10%\*1,948 AC = 1,950 AC. (8,487 SF)  
PROVIDED AMENITY AREA = 0.248 AC. (10,822 SF)

BUILDING DIMENSIONAL REQUIREMENTS  
FRONT SB: 10 FT (MIN.) 10 FT MIN.  
(PROVIDED)  
SIDE STREET SB: 10 FT (MIN.) N/A FT  
SIDE LOT LINE SB: 5 FT (MIN.) 7 FT MIN. (PROVIDED)  
REAR LOT LINE SB: 20 FT (MIN.) 20 FT MIN. (PROVIDED)  
ALLEY SB: 4 OR 20 FT (MIN.) N/A FT (NO ALLEY)

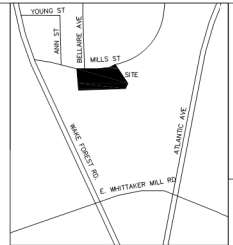
BUILDING DIMENSIONAL REQUIREMENTS (RES. INFILL)  
ADJACENT LOT SETBACKS (2 LOTS EAST AND 2 LOTS WEST):  
40.15' + 40.13' + 30.57' = 30.50'  
MEDIAN = 40.13+30.57/2 = 70.60'/2 = 35.30'

SMALLEST SETBACK = 35.35 - (35.35\*0.25+8.84) = 26.51'  
LARGEST SETBACK = 35.35 + (35.35\*0.25+8.84) = 44.19'

BLDG MUST FALL WITHIN FRONT SETBACK RANGE OF 26.51'-44.19'

PARKING DIMENSIONAL REQUIREMENTS  
FRONT SB: 10 FT (MIN.) 10 FT MIN. (PROVIDED)  
SIDE STREET SB: 10 FT (MIN.) 10 FT MIN. (PROVIDED)  
SIDE LOT LINE SB: 0 FT (MIN.) 6 FT MIN. (PROVIDED)  
REAR LOT LINE SB: 3 FT (MIN.) 100 FT (PROVIDED)  
ALLEY SB: 4 FT (MIN.) N/A FT (NO ALLEY)

TRANSPARENCY REQUIREMENTS (NOT REQUIRED)  
HEIGHT ALLOWED: 45' / 3 STORIES MAX  
HEIGHT PROPOSED: 35'  
RESIDENTIAL INFILL RULES WILL APPLY.



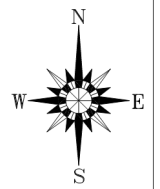
VICINITY MAP N.T.S.

## SURVEY DISCLAIMER

SURVEY INFORMATION PREPARED BY R. SCOTT BARKER (PLS 14613) ON OCTOBER 20, 2021.  
BARKER SURVEYING GROUP, PLLC  
7 KINGSBURY WAY, GREENVILLE, NC 29617



NC FIRM LICENSE #15-1305



## CROSS ACCESS EXEMPTION

THIS DEVELOPMENT WILL BE EXEMPT FROM THE CROSS ACCESS REQUIREMENT PER UDO 8.3.5.0.5.B (C6-19). SPECIFICALLY, THIS SECTION SAYS THE SITE PLAN IS EXEMPT FROM THE CROSS-ACCESS REQUIREMENTS AS MILLS STREET IS CLASSIFIED AS A NEIGHBORHOOD STREET, A TYPE OF LOCAL STREET.

## BLOCK PERIMETER EXEMPTION

THIS DEVELOPMENT WILL BE EXEMPT FROM THE BLOCK PERIMETER REQUIREMENT PER UDO 8.3.2.A.2b.

THERE IS A MINIMUM SITE AREA TO MEET THIS REQUIREMENT PER ZONING DESIGNATION. ZONING DISTRICT FOR DEVELOPMENT SITE IS R-10 AND THE DEVELOPMENT GROSS ACREAGE IS 1.96 AC. THE MINIMUM SITE AREA FOR R10 IS 3 ACRES. THEREFORE, THE SITE IS EXEMPT FROM BLOCK PERIMETER REQUIREMENT FOR THIS DEVELOPMENT.

## TREE CONSERVATION

TREE CONSERVATION NOT REQUIRED AS SITE IS LESS THAN 2.0 ACRES TOTAL.

## SOLID WASTE COMPLIANCE

THE SITE WILL UTILIZE CITY OF RALEIGH SOLID WASTE (INDIVIDUAL ROLL CARTS PER UNIT).  
SITE IS COMPLIANT WITH CITY OF RALEIGH SOLID WASTE DESIGN MANUAL FOR DRIVEWAY WIDTH AND RADIUS REQUIREMENTS.

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

## IMPERVIOUS AREA SUMMARY

EXISTING IMPERVIOUS AREA: 25,438 SF  
PROPOSED IMPERVIOUS AREA: 21,608 SF

TOTAL IMPERVIOUS AREA: 47,045 SF  
TOTAL SITE AREA: 84,340 SF

TOTAL SITE IMPERVIOUS %: 55.8%

## PARKING CALCULATIONS

EXISTING PARKING: N/A  
PROPOSED PARKING: 33  
MAXIMUM ALLOWED: 99 SPACES

TOTAL REQUIRED: 0 SPACES  
PARKING PROVIDED: 33 SPACES

MAXIMUM PARKING: 3 SP/UNIT\*33 UNIT=99 SPACES

BICYCLE PARKING:  
1 SP. PER 20 UNITS, MIN. 4 SPACES. (SHORT TERM)  
33 UNITS/20 MIN. SPACES = 1.65 = 2 (4 MIN.)  
1 SP. PER 7 BEDROOMS FOR 10+ BEDROOMS (LONG TERM):  
99 BEDROOMS / 7 = 14 LONG TERM SPACES

PROVIDED:  
4 SHORT TERM SPACES, 14 LONG TERM SPACES

MILLS STREET APARTMENTS  
1002 MILLS STREET, RALEIGH, NC 27608  
WAKE COUNTY  
NORTH CAROLINA  
DRIE-McGLAMERY ENGINEERING, PLLC  
821 WAKE FOREST RD  
RALEIGH, NC 27604

DME PROJECT NO: 2022109

ISSUED FOR REVIEW

PTN	DATE
REVIEW	10/20/23
REVIEW	09/19/23
REVIEW	10/26/23
REVIEW	09/14/23
REVIEW	09/20/23

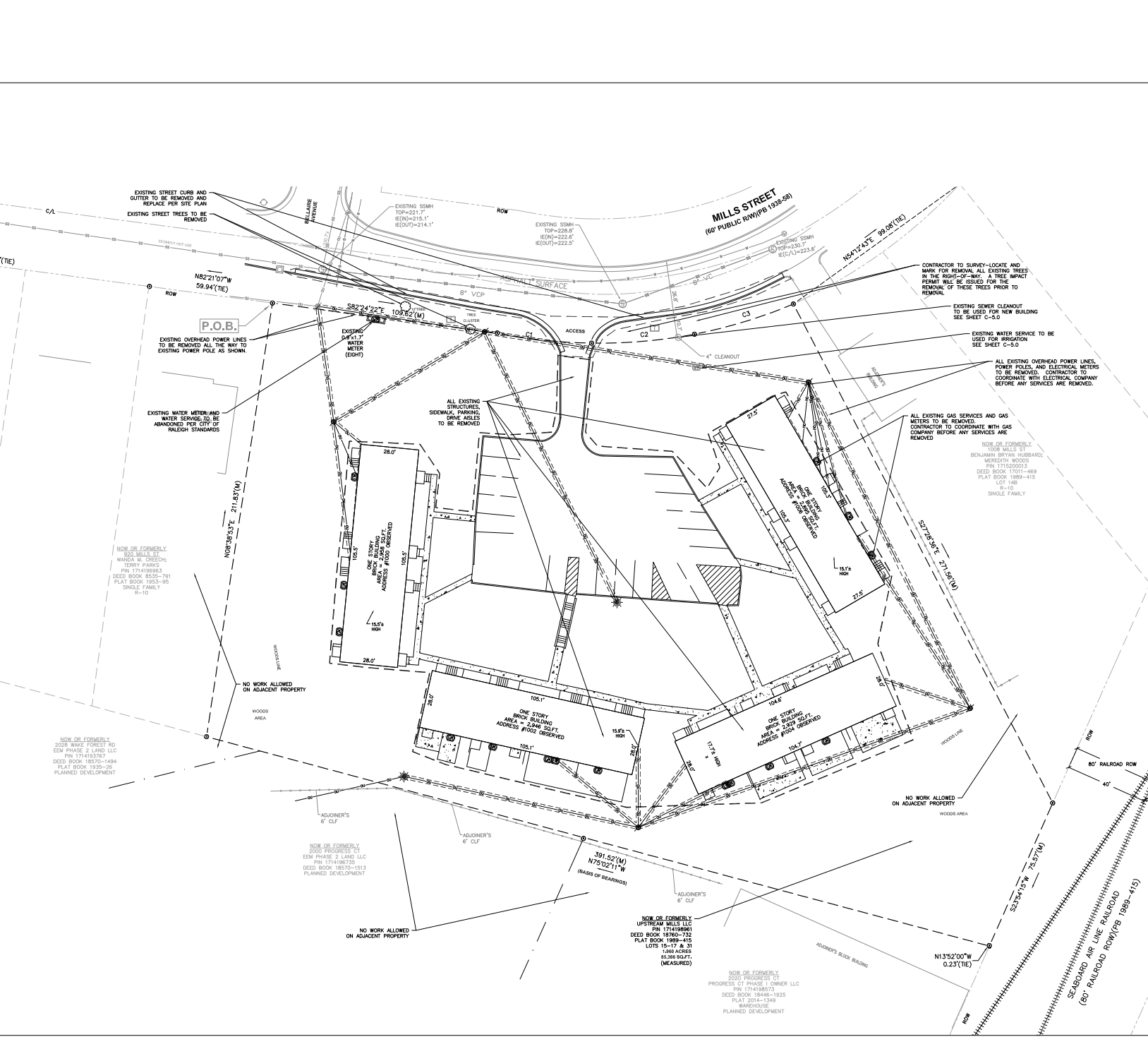
DRAWN BY: DJM  
CHECKED BY: HWD

SCALE: 1" = 10'

COVER SHEET

C-0.0





YOUNG ST  
MILLS ST  
BARKLEY AVE  
MILLS ST  
SITE  
MILLS ST  
ATLANTIC AVE  
WHTAKER MILL RD

VICINITY MAP N.T.S.

**SURVEY DISCLAIMER**

SURVEY INFORMATION OBTAINED BY R. SCOTT BARKER (PLS L4613) ON OCTOBER 20, 2021.  
BARKETT SURVEYING & CONSULTING, P.L.L.C.  
7 KINGSBURY WAY, GREENVILLE, NC, 29617



ISSUED FOR REVIEW NOT FOR CONSTRUCTION

**DEMOLITION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION AND SEQUENCING OF DEMOLITION AS DESCRIBED BY THESE DOCUMENTS AND SPECIFICATIONS. CONTRACTOR IS TO OBTAIN ALL PERMITS.
2. EXISTING WELL AND SEPTIC SYSTEM ABANDONMENTS OR REMOVALS SHALL BE IN ACCORDANCE WITH WAKE COUNTY STANDARDS.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH OWNER AND UTILITY COMPANY FOR DEMOLITION OR RELOCATION OF APPLICABLE UTILITIES, I.E. GAS, CABLE, POWER, TELEPHONE, WATER, SEWER, DUCT BANK, ETC. CONTRACTOR IS ALSO RESPONSIBLE FOR SCHEDULING, SEQUENCING, AND PROVIDING TEMPORARY MEASURES OF SERVICE FOR ALL APPLICABLE UTILITIES. EXISTING UTILITIES SHALL PROVIDE CONTINUOUS SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE TO IMMEDIATELY FIX ANY ACTIVE UTILITIES DAMAGED DURING CONSTRUCTION AT CONTRACTOR'S EXPENSE. THE OWNER WILL PAY TO MOVE OR REPAIR ANY UTILITIES ENCOUNTERED DURING CONSTRUCTION WHICH ARE NOT IDENTIFIED ON CONSTRUCTION DOCUMENTS OR SITE SURVEY.
4. ALL MATERIAL GENERATED BY THE DEMOLITION WILL BE HAULED FROM THE SITE AND DISPOSED OF PER LOCAL ORDINANCES.
5. SAW-CUT CONCRETE AND ASPHALT PAVEMENT, SIDEWALK OR CURB AND GUTTER BEFORE EXCAVATION WHERE CONSTRUCTION PLANS SHOW TIE-INS.
6. MILLS ST SHALL REMAIN OPEN AND UNOBSTRUCTED TO TRAFFIC AT ALL TIMES.
7. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL DURING CONSTRUCTION PER WORK AREA TRAFFIC CONTROL HANDBOOK STANDARDS. (W.A.T.C.H)
8. CONTRACTOR SHALL COORDINATE ALL DEMOLITION OR INSTALLATION WORK ALONG WAKEFIELD PINES DR. WITH THE CITY OF RALEIGH.
9. REPAIR OR REPLACE ANY ADJACENT CONCRETE CURBING AND/OR SIDEWALK DAMAGED AS PART OF DEMOLITION PROCESS.



MILLS STREET APARTMENTS  
1002 MILLS ST, RALEIGH, NC 27609  
WAKE COUNTY  
NORTH CAROLINA

DRYE-McGLAMERY  
ENGINEERING, PLLC  
GREENVILLE, NC  
ALEXANDER, NC 27604

DME PROJECT #2: 2022109

**ISSUED FOR REVIEW**

REV	DESCRIPTION	DATE
A	1ST ASR REVIEW	04/04/23
B	2ND ASR REVIEW	04/26/23
C	3RD ASR REVIEW	12/06/23
D	4TH ASR REVIEW	01/10/24
E	5TH ASR REVIEW	02/06/24

DRAWN BY: DJM  
CHECKED BY: HWD  
SCALE: 1" = 20'

**DEMOLITION PLAN**

**C-1.1**

North Carolina 811  
www.nc811.org



**SITE DATA INFORMATION**

PROJECT NAME: MILLS STREET APARTMENTS  
 PROJECT ADDRESS: 1002 MILLS STREET, RALEIGH, NC 27609  
 GROSS SITE AREA: 1.960 ACRES (85,386 SF)  
 ROW DEDICATION: 0.024 ACRES (1,046 SF)  
 NET SITE AREA: 1.936 ACRES (84,340 SF)  
 ZONING DISTRICT: AFTER ROW DEDICATION REQ'D ALONG MILLS STREET R-10  
 PROPOSED USE: APARTMENT (ALLOWED)

**EXISTING BUILDING:** N/A SF  
**PROPOSED BUILDING:** 65,249 SF (TOTAL GROSS FLOOR AREA)  
**REQ'D LOT AREA/UNIT:** 84,340 SF/33 UNITS=2,556 SF/UNIT  
 2,500 SF/UNIT MINIMUM REQ'D  
 2,500 SF/UNIT < 2,566 SF/UNIT  
**TOTAL LOT AREA:** 7,500 SF MIN. < 85,386 SF  
**LOT WIDTH:** 80 FT MIN. < 256 FT

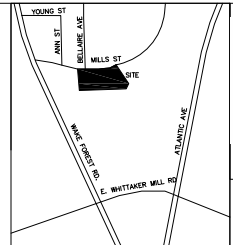
**AMENITY AREA REQUIREMENTS**  
 REQUIRED AMENITY AREA = 10% (50% MUST BE ADA COMPLIANT)  
 LOT AREA INSIDE RIGHT-OF-WAY: 1,948 ACRES  
 REQ'D AMENITY AREA = 10% x 1,948 AC. = .1950 AC. (8,418 SF)  
 PROVIDED AMENITY AREA = 0.210 AC. (9,141 SF)

**BUILDING DIMENSIONAL REQUIREMENTS**  
 FRONT SB: 10 FT (MIN.) 10 FT MIN. (PROVIDED)  
 SIDE STREET SB: 10 FT (MIN.) N/A FT  
 SIDE LOT LINE SB: 5 FT (MIN.) 7 FT MIN. (PROVIDED)  
 REAR LOT LINE SB: 20 (MIN.) 20 FT MIN. (PROVIDED)  
 ALLEY SB: 4 OR 20 FT (MIN.) N/A FT (NO ALLEY)

**ADJACENT LOT SETBACKS (2 LOTS EAST AND 2 LOTS WEST):**  
 40.15' + 40.13' + 30.57' + 30.50' = 141.35'  
 MEDIAN = 40.13+30.57/2 = 70.60'/2 = 35.35'  
 SMALLEST SETBACK = 35.35 - (35.35\*0.25=8.84) = 26.51'  
 LARGEST SETBACK = 35.35 + (35.35\*0.25=8.84) = 44.19'  
**BLDG MUST FALL WITHIN FRONT SETBACK RANGE OF 26.51'-44.19'**

**PARKING DIMENSIONAL REQUIREMENTS**  
 FRONT SB: 10 FT (MIN.) 10 FT MIN. (PROVIDED)  
 SIDE STREET SB: 10 FT (MIN.) 10 FT MIN. (PROVIDED)  
 SIDE LOT LINE SB: 0 FT (MIN.) 6 FT MIN. (PROVIDED)  
 REAR LOT LINE SB: 3 FT (MIN.) 100 FT (PROVIDED)  
 ALLEY SB: 4 FT (MIN.) N/A FT (NO ALLEY)

**TRANSPARENCY REQUIREMENTS (NOT REQUIRED)**  
 HEIGHT ALLOWED: 45' / 3 STORES MAX  
 HEIGHT PROPOSED: 35'  
 RESIDENTIAL INFILL RULES WILL APPLY.



**DRY- McGLAMERY**  
 ENGINEERING, PLLC  
 NC PERM LICENSE #P-1395

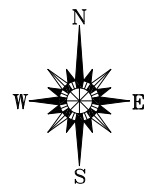


**VICINITY MAP N.T.S.**  
**SURVEY DISCLAIMER**  
 SURVEY INFORMATION PREPARED BY R. SCOTT BARKER (PLS L#4613) ON OCTOBER 20, 2021.  
 BARKETT SURVEYING GROUP, PLLC, 7 KINGSBURY WAY, GREENVILLE, NC, 29617

ISSUED FOR REVIEW NOT FOR CONSTRUCTION

**LEGEND**

SYMBOL	DETAIL
[Symbol]	PROPOSED SIDEWALK 6/C-6.0
[Symbol]	PROPOSED CONCRETE PAVING 6/C-6.1
[Symbol]	PROPOSED AMENITY AREA N/A
[Symbol]	PROPOSED UNWOOD FORESTATION AREA N/A
[Symbol]	PROPOSED HVAC UNIT W/ LOW WOODEN FENCE N/A
[Symbol]	PROPOSED HVAC SCREENING FENCE N/A



**TRAFFIC CONTROL NOTES**

1. ALL WORK IN RIGHT-OF-WAY FOR WATERLINE SERVICE SHALL BE IN ACCORDANCE WITH MUTCD AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**STAKING AND MATERIAL PLAN NOTES**

1. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
2. ALL DIMENSIONS ARE AT 90 DEGREES UNLESS NOTED OTHERWISE (U.N.O.).
3. CONTRACTOR SHALL ESTABLISH POINT OF BEGINNING (P.O.B.) AND STAKE SITE AS INDICATED ON CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY DRYE-McGLAMERY ENGINEERING, PLLC IMMEDIATELY OF ANY DISCREPANCIES.
4. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF BUILDING, OR CENTERLINE U.N.O.
5. ALL DETAILS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS.
6. ALL RADI SHALL BE 4'-0" AT FACE OF CURB U.N.O.

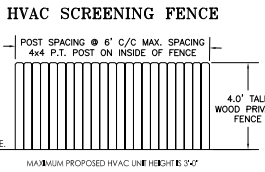
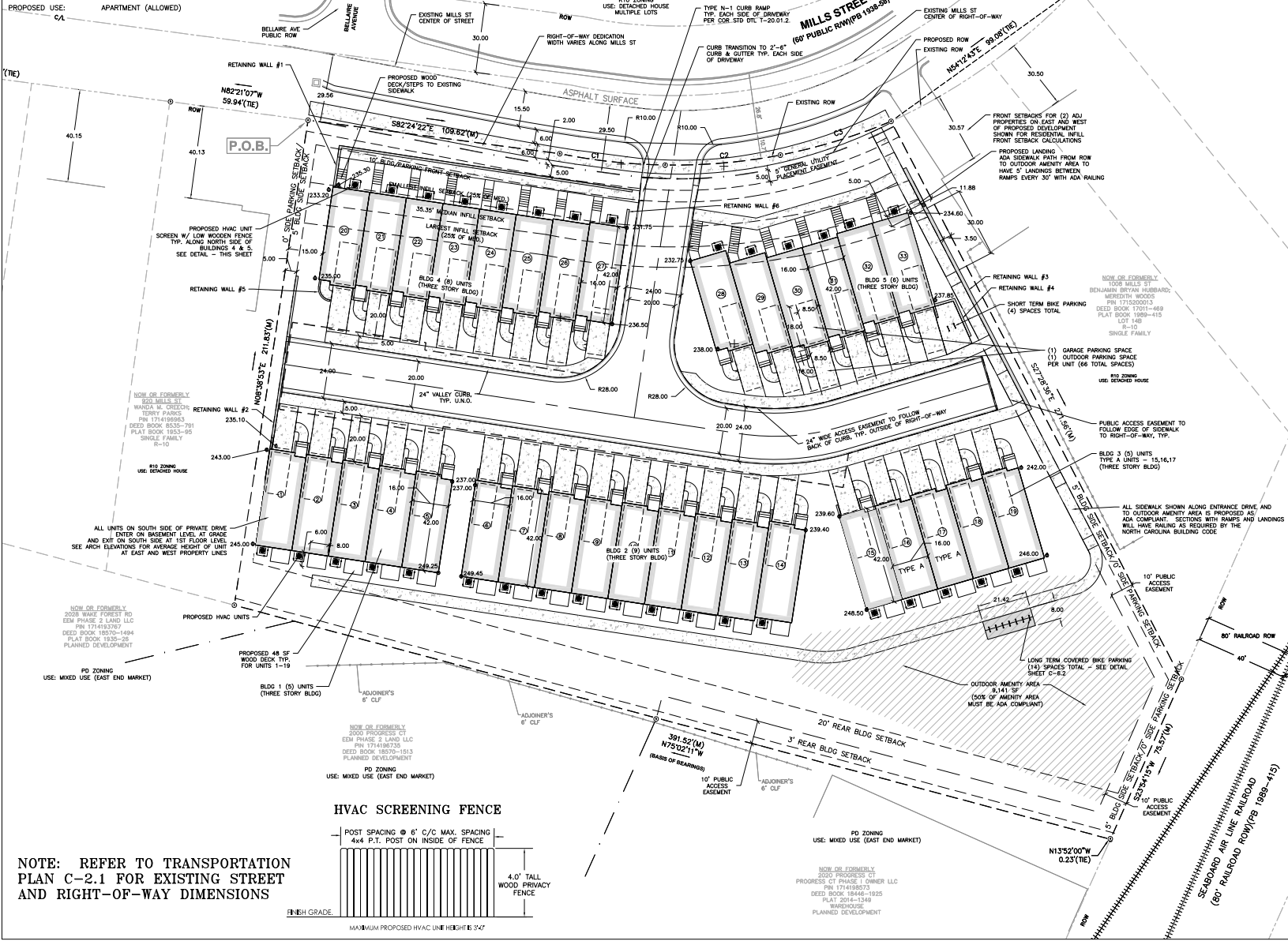
MILLS STREET APARTMENTS  
 1002 MILLS STREET, RALEIGH, NC 27609  
 WAKE COUNTY, NORTH CAROLINA  
 DRYE-McGLAMERY ENGINEERING, PLLC  
 RALEIGH, NC 27604

DATE PROJECT NO: 2022109  
 ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	1ST AFR REVIEW	04/04/23
B	2ND AFR REVIEW	04/26/23
C	3RD AFR REVIEW	10/02/23
D	4TH AFR REVIEW	01/10/24
E	5TH AFR REVIEW	02/06/24

DRAWN BY: DJM  
 CHECKED BY: HWD  
 SCALE: 1" = 20'  
**STAKING AND MATERIALS PLAN**

**C-2.0**



**NOTE: REFER TO TRANSPORTATION PLAN C-2.1 FOR EXISTING STREET AND RIGHT-OF-WAY DIMENSIONS**

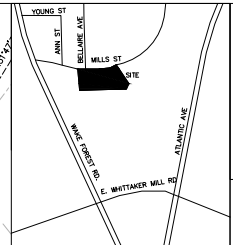
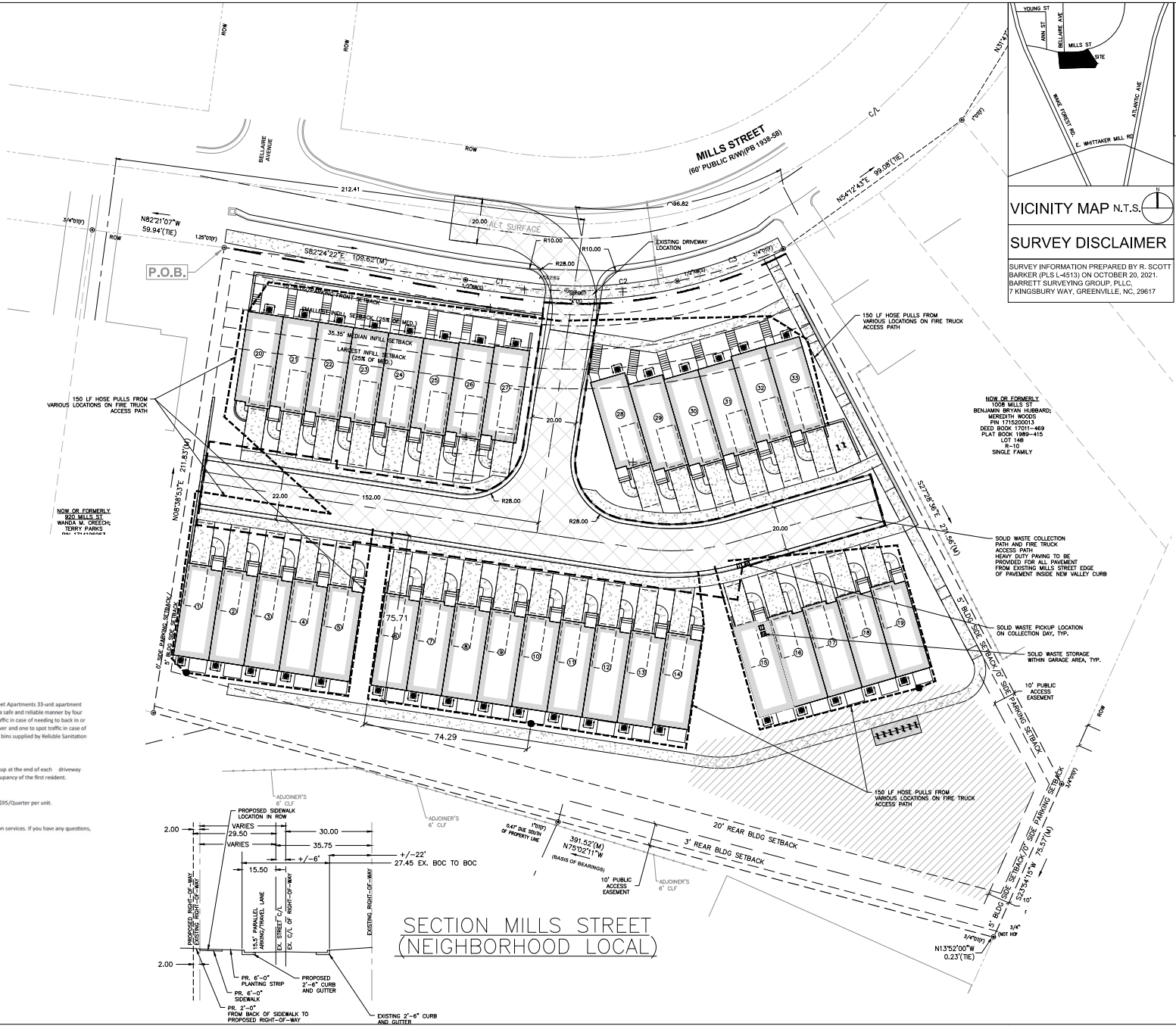


# LEGEND

SYMBOL	DETAIL
	PROPOSED FIRE HOSE PULL
	PROPOSED FIRE TRUCK AND SOLID WASTE PATH

## TRAFFIC CONTROL NOTES

1. ALL WORK IN RIGHT-OF-WAY FOR WATERING SERVICE SHALL BE IN ACCORDANCE WITH MUTCD AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



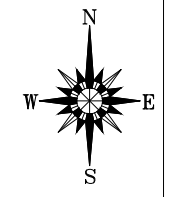
VICINITY MAP N.T.S.

**SURVEY DISCLAIMER**

SURVEY INFORMATION PREPARED BY R. SCOTT BARKER (P.L.S. L-4513) ON OCTOBER 20, 2021. BARNETT SURVEYING GROUP, PLLC, 7 KINGSBURY WAY, GREENVILLE, NC, 29617



ISSUED FOR REVIEW NOT FOR CONSTRUCTION



NOW OR FORMERLY  
1008 MILLS ST  
BENJAMIN BRYAN HUBBARD;  
MEREDITH WOODS  
PIN 1711520013  
DEED BOOK 17011-469  
PLAT BOOK 1089-415  
LOT 48  
R-10  
SINGLE FAMILY

SOLID WASTE COLLECTION PATH AND FIRE TRUCK ACCESS PATH  
HEAVY DUTY PAVING TO BE PROVIDED FOR ALL PAVEMENT FROM EXISTING MILLS STREET EDGE OF PAVEMENT INSIDE NEW VALLEY CURB

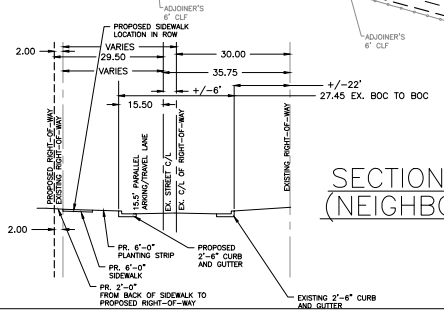
SOLID WASTE PICKUP LOCATION ON COLLECTION DAY, TYP.

SOLID WASTE STORAGE WITHIN GARAGE AREA, TYP.

10' PUBLIC ACCESS EASEMENT

150 LF HOSE PULLS FROM VARIOUS LOCATIONS ON FIRE TRUCK ACCESS PATH

## SECTION MILLS STREET (NEIGHBORHOOD LOCAL)



PROPOSAL FOR: Mills Street Apartments  
Wake Forest, NC

To Whom It May Concern:

The following proposal is for garbage and recycling collection at the Mills Street Apartments 33 unit apartment community located in Wake Forest, NC 27587. All work will be conducted in a safe and reliable manner by four Reliable Sanitation personnel. One trash truck, one driver, and one to spot traffic in case of needing to back in or out of the alley if needed. The second truck will be a recycling truck, one driver and one to spot traffic in case of needing to back in or out of the alleys if needed. Using two 8-yard trucks and bins supplied by Reliable Sanitation on a schedule as described below.

Weekly trash collection and weekly recycling collection to be picked up at the end of each driveway from the adjoining alley, at a date and time to be provided upon occupancy of the first resident.

PRICE FOR WEEKLY TRASH AND WEEKLY RECYCLE COLLECTION.....\$15/Quarter per unit.

Thank you for the opportunity to provide your garbage and recycling collection services. If you have any questions, please contact me at 919-862-3709.

Thank you,  
*Margie Phillips*  
Margie Phillips

General Manager  
(919)862-3709  
reliable\_sanitation\_margie@gmail.com  
Reliable Sanitation & Recycling LLC  
https://www.reliablesanitation.net/

MILLS STREET APARTMENTS  
1002 MILLS ST. RALEIGH, NC 27609  
WAKE COUNTY  
NORTH CAROLINA

DRYE-McGLAMERY, LC  
ENGINEERING, P.C.  
RALEIGH, NC 27604

DME PROJECT NO: 2022109

ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	1ST ASR REVIEW	05-03-2023
B	2ND ASR REVIEW	08-15-2023
C	3RD ASR REVIEW	11-09-2023
D	4TH ASR REVIEW	02-15-2024

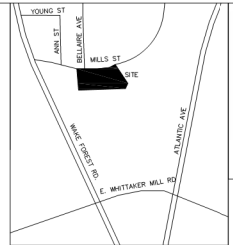
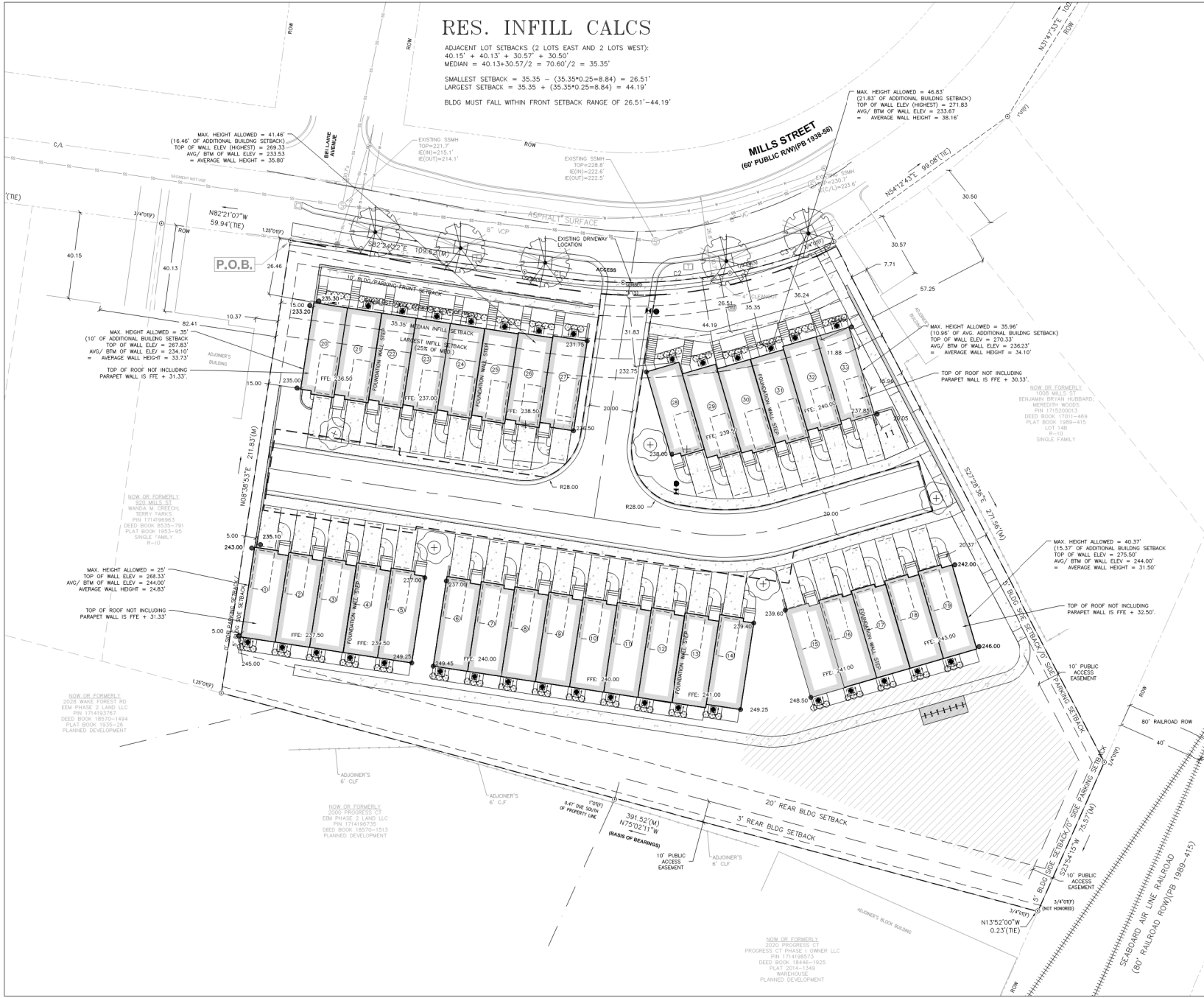
DRAWN BY: DJM  
CHECKED BY: HWD  
SCALE: 1" = 20'

SOLID WASTE AND FIRE TRUCK ACCESS PLAN

C-2.1

# RES. INFILL CALCS

ADJACENT LOT SETBACKS (2 LOTS EAST AND 2 LOTS WEST):  
 $40.15' + 40.13' + 30.57' + 30.50'$   
 MEDIAN =  $40.13 + 30.57 / 2 = 70.60 / 2 = 35.35'$   
 SMALLEST SETBACK =  $35.35 - (35.35 * 0.25 = 8.84) = 26.51'$   
 LARGEST SETBACK =  $35.35 + (35.35 * 0.25 = 8.84) = 44.19'$   
 BLDG MUST FALL WITHIN FRONT SETBACK RANGE OF 26.51'-44.19'

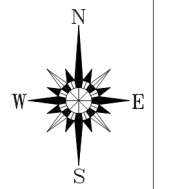


**SURVEY DISCLAIMER**  
 SURVEY INFORMATION PREPARED BY R. SCOTT BARKER (PLS L-4613) ON OCTOBER 20, 2021. BARRETT SURVEYING GROUP, PLLC, 7 KINGSBURY WAY, GREENVILLE, NC, 29617

**LEGEND**  
 SYMBOL: 234.60  
 PROPOSED FINISHED GRADE ELEVATION



ISSUED FOR REVIEW NOT FOR CONSTRUCTION



**TRAFFIC CONTROL NOTES**  
 1. ALL WORK IN RIGHT-OF-WAY FOR WATERLINE SERVICE SHALL BE IN ACCORDANCE WITH MUTCD AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

MILLS STREET APARTMENTS  
 1002 MILLS ST. RALEIGH, NC 27609  
 WAKE COUNTY, NORTH CAROLINA  
 DRY-McGLAMERY ENGINEERING, PLLC  
 1002 MILLS ST. RALEIGH, NC 27604

DME PROJECT NO: 2022-109

ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	1ST ASR REVIEW	05-04-2023
B	2ND ASR REVIEW	06-15-2023
C	3RD ASR REVIEW	12-06-2023
D	4TH ASR REVIEW	01-11-2024
E	5TH ASR REVIEW	04-24-2024

DRAWN BY: DJM  
 CHECKED BY: HWD  
 SCALE: 1" = 20'

RESIDENTIAL INFILL COMPLIANCE DIAGRAM

C-2.2



**UNDERGROUND NOTES**

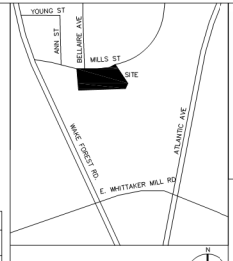
1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC. AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NCDOT.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS, PART 1926, SUBPART P, OR AS AMENDED.
5. ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT. BEFORE YOU DIG CALL THE CONTACT ONE-CALL CENTER AT 1-800-632-4949.

**STORM DRAINAGE NOTES**

1. ALL PIPE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
2. ALL HOSE PIPE TO BE ADS DUAL WALL PP STORM PIPE UNLESS NOTED OTHERWISE.
3. ALL RCP PIPE SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS NOTED OTHERWISE.
4. NO VEHICULAR TRAFFIC SHALL BE ALLOWED ACROSS PIPES UNTIL A MIN. OF 24" OF COMPACTED COVER HAS BEEN INSTALLED.

**STORM DRAINAGE SYSTEM**

CB = CATCH BASIN  
 JBS = JUNCTION BOX (NYLOPLAST 18" DRAIN BASED W/ SLOUT TOP H-20 GRATE, TYP. U.N.O)  
 FES = ADS FLARED END SECTION



VICINITY MAP N.T.S.

**SURVEY DISCLAIMER**

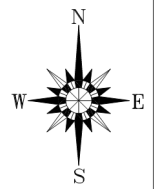
SURVEY INFORMATION PREPARED BY R. SCOTT BARKER (PLS L4613) ON OCTOBER 20, 2021. BARRETT SURVEYING GROUP, PLLC, 7 KINGSBURY WAY, GREENVILLE, NC, 29617

ISSUED FOR REVIEW NOT FOR CONSTRUCTION

AVERAGE BUILDING GRADE				
BUILDING	PROPOSED ELEVATIONS (NORTH CORNERS)	HIGH	LOW	AVG
1		237.00	235.10	236.30
2		239.40	237.00	238.20
3		242.00	239.60	240.80
4		235.30	231.75	233.53
5		234.60	232.75	233.68

**LEGEND**

SYMBOL	DETAIL
—XXX—XX	PROPOSED SPOT ELEV N/A
—	PROPOSED DRAINAGE ARROW 6/0'-6.1
■ DI	PROPOSED STORM DRAINAGE DROP INLET 6/0'-6.1
● MH	PROPOSED STORM DRAINAGE MANHOLE 6/0'-6.1
■ CB	PROPOSED STORM DRAINAGE CATCH BASIN 6/0'-6.1



**GRADING AND DRAINAGE PLAN NOTES**

1. SEE SITE PLAN FOR RELATED NOTES.
2. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM AFFECTED OWNERS. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
3. THE CONTRACTOR SHALL VERIFY OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION.
4. ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
5. CONTRACTOR SHALL BLEND NEW EARTHWORK AND PAVEMENTS SMOOTHLY BACK INTO EXISTING GRADE.
6. ALL WALL/PIER FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH BEARING CAPACITY OF 2000 PSF OR GREATER. SEE STRUCTURAL DRAWINGS FOR DETAILS.
7. ALL FILL SHALL BE PLACED IN 8" LIFTS AND COMPACTED. ALL FILL WITHIN THE LIMITS OF BUILDING AND PAVEMENT AREAS SHALL BE COMPACTED TO 100% STD. PROCTOR DENSITY WITHIN THE TOP 18" AND A MINIMUM OF SIX STANDARD PROCTOR DENSITY BELOW 24-INCH DEPTH. FILL WITHIN LANDSCAPED AREAS SHALL BE COMPACTED TO A MINIMUM SIX-STD PROCTOR DENSITY. FOLLOW GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR ALL EARTHWORK ACTIVITIES.
8. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SUCH THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO EXISTING DRAINAGE INLETS, OR SHEET OVERLAND.
9. ALL GRADED OR DISTURBED AREAS BEYOND THE LIMITS OF PAVING, SIDEWALKS, BUILDINGS, ETC. THAT ARE NOT OTHERWISE LANDSCAPED SHALL BE STABILIZED WITH NEW LAWN SEED. CONTRACTOR SHALL MAINTAIN SEEDED AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
10. DRYE-McGLAMERY ENGINEERING HAS NOT PERFORMED ANY GEOTECHNICAL EVALUATIONS OF THE SUBJECT PROPERTY AND HAS NOT MADE ANY DETERMINATIONS AS TO THE SUITABILITY OF THE SITE SOILS FOR FILL USES. ALL EARTHWORK SHALL BE COMPLETED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A QUALIFIED GEOTECHNICAL ENGINEER WHO SHALL BE RETAINED BY THE OWNER.

MILLS STREET APARTMENTS  
 1002 MILLS ST. RALEIGH, NC 27609  
 WAKE COUNTY  
 NORTH CAROLINA

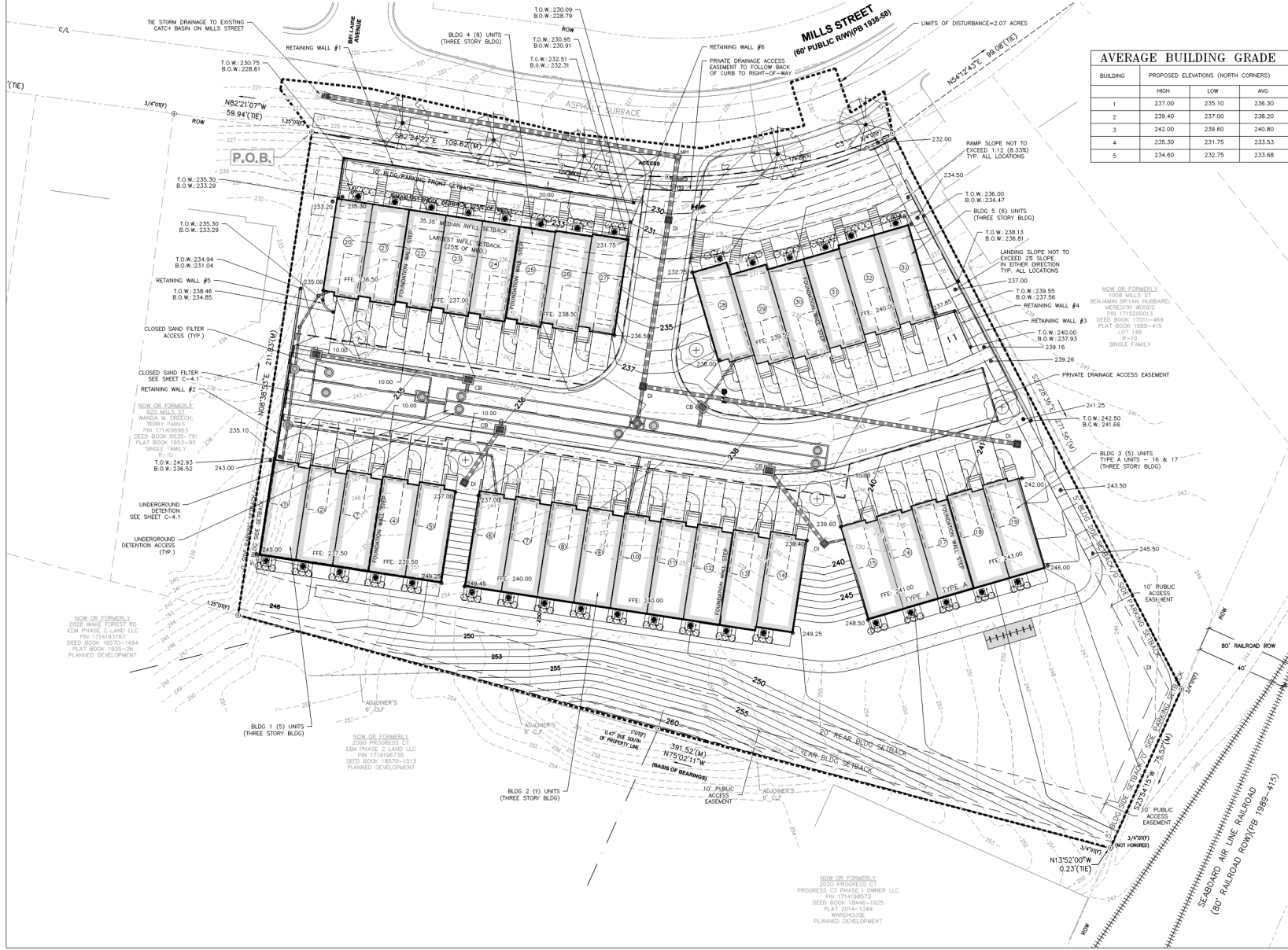
DME PROJECT NO: 20221009

**ISSUED FOR REVIEW**

REV	DESCRIPTION	DATE
A	1ST ASR REVIEW	05-04-2023
B	2ND ASR REVIEW	06-16-2023
C	3RD ASR REVIEW	12-06-2023
D	4TH ASR REVIEW	01-10-2024
E	5TH ASR REVIEW	04-04-2024

DRAWN BY: DJM  
 CHECKED BY: HWD  
 SCALE: 1" = 20'

**GRADING AND DRAINAGE PLAN**  
**C-4.0**

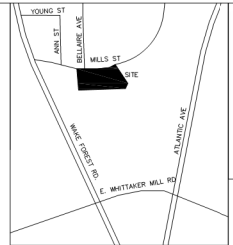


NOW OR FORMERLY  
 2000 PROGRESS CT  
 PHASE 1 OWNER LLC  
 PIN 17149823  
 DEED BOOK 18446-1925  
 PLAT 2014-1349  
 WAREHOUSE  
 PLANNED DEVELOPMENT





ISSUED FOR REVIEW  
NOT FOR CONSTRUCTION



VICINITY MAP N.T.S.

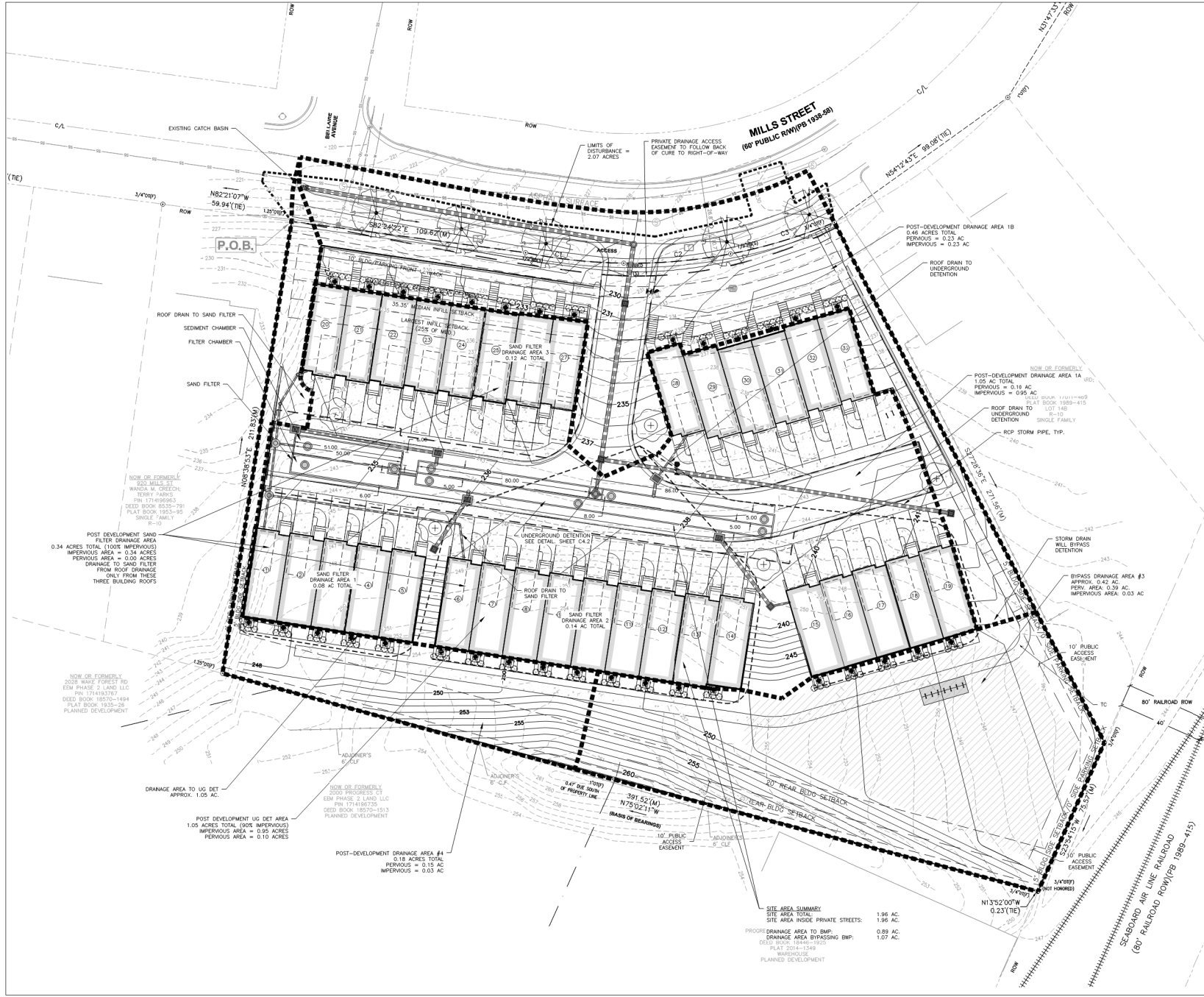
**SURVEY DISCLAIMER**

SURVEY INFORMATION PREPARED BY R. SCOTT BARKER (P.L.S. L-4513) ON OCTOBER 20, 2021. BARRETT SURVEYING GROUP, PLLC, 7 KINGSBURY WAY, GREENVILLE, NC, 29617



**LEGEND**

SYMBOL	DETAIL
XXX.XX	PROPOSED SPOT ELEV N/A
→	PROPOSED DRAINAGE ARROW 6/C-6.1
DI	PROPOSED STORM DRAINAGE DROP-INLET 6/C-6.1
MH	PROPOSED STORM DRAINAGE MANHOLE 6/C-6.1
CB	PROPOSED STORM DRAINAGE CATCH BASIN 6/C-6.1



MILLS STREET APARTMENTS  
1002 MILLS ST. RALEIGH, NC 27609  
WAKE COUNTY  
NORTH CAROLINA

DRYMcGLAMERY, LLC  
ENGINEERING, ARCHITECTURE  
RALEIGH, NC 27604

DME PROJECT #02 2022-009

**ISSUED FOR REVIEW**

REV	DESCRIPTION	DATE
A	1ST ASR REVIEW	05-04-2023
B	2ND ASR REVIEW	06-16-2023
C	3RD ASR REVIEW	12-06-2023
D	4TH ASR REVIEW	01-15-2024
E	5TH ASR REVIEW	04-24-2024

DRAWN BY: DJM  
CHECKED BY: HWD

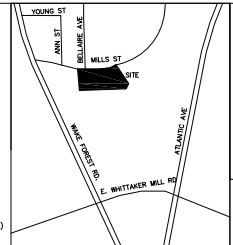
SCALE: 1" = 20'

**STORMWATER PLAN**

**C-4.1**



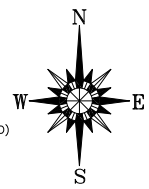
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**STORMWATER RUNOFF SUMMARY**  
(SEE DRAINAGE AREA MAPS IN CALCS)

**DRAINAGE AREA #1:**  
PRE-DEVELOPMENT FLOWS  
2-YEAR: 3.148 CFS  
10-YEAR: 5.983 CFS

**POST-DEVELOPMENT RUNOFF FLOWS (ROUTED-UG DET AND BYPASS COMBINED) (NOT ON DRAINAGE AREA #2-4)**  
2-YEAR: 2.250 CFS  
10-YEAR: 3.820 CFS

**DRAINAGE AREA #2**  
PRE-DEVELOPMENT FLOWS  
2-YEAR: 0.059 CFS  
10-YEAR: 0.166 CFS

**POST-DEVELOPMENT FLOWS**  
2-YEAR: 0.000 CFS  
10-YEAR: 0.000 CFS

**DRAINAGE AREA #3**  
PRE-DEVELOPMENT FLOWS  
2-YEAR: 0.688 CFS  
10-YEAR: 1.454 CFS

**POST-DEVELOPMENT FLOWS**  
2-YEAR: 0.466 CFS  
10-YEAR: 1.159 CFS

**DRAINAGE AREA #4**  
PRE-DEVELOPMENT FLOWS  
2-YEAR: 0.361 CFS  
10-YEAR: 0.819 CFS

**POST-DEVELOPMENT FLOWS**  
2-YEAR: 0.250 CFS  
10-YEAR: 0.567 CFS

MILLS STREET APARTMENTS  
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WAKE COUNTY  
NORTH CAROLINA

DRYMcGLAMERY  
ENGINEERING, PLLC  
1000 W. GARDNER ST.  
RALEIGH, NC 27604

DME PROJECT #: 2022109

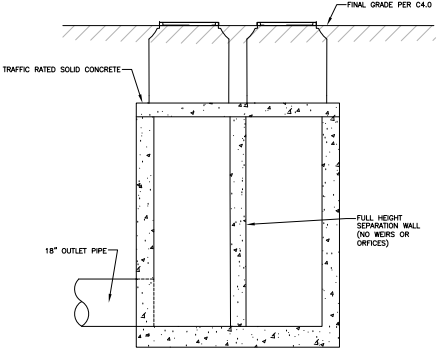
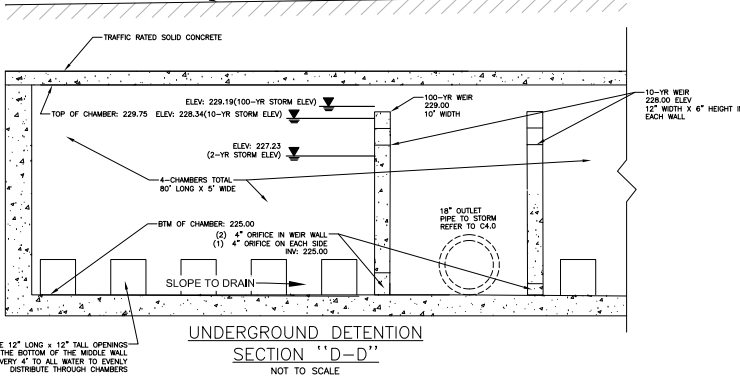
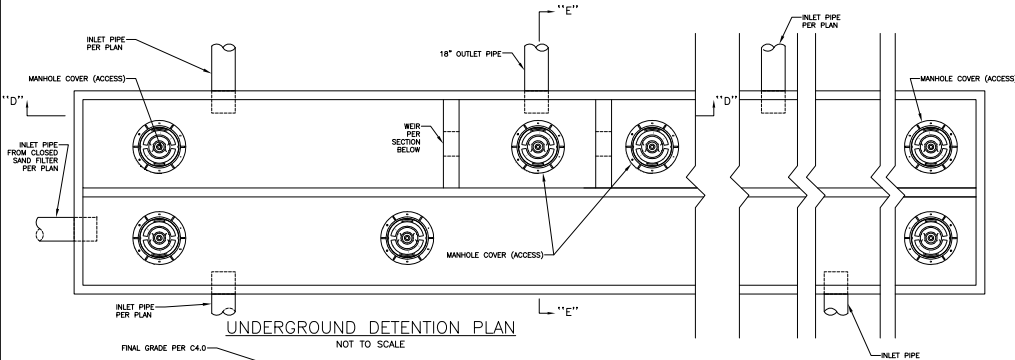
ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	1ST ASR REVIEW	04/04/23
B	2ND ASR REVIEW	04/26/23
C	3RD ASR REVIEW	11/06/23
D	4TH ASR REVIEW	01/10/24
E	5TH ASR REVIEW	02/06/24

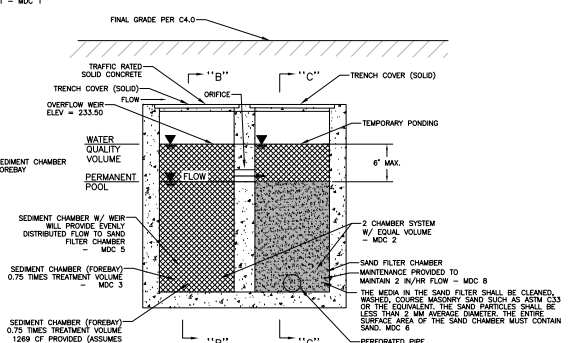
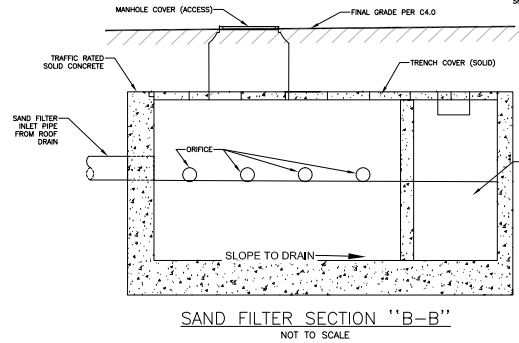
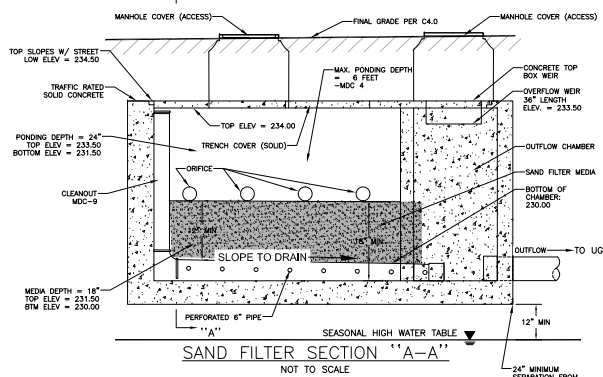
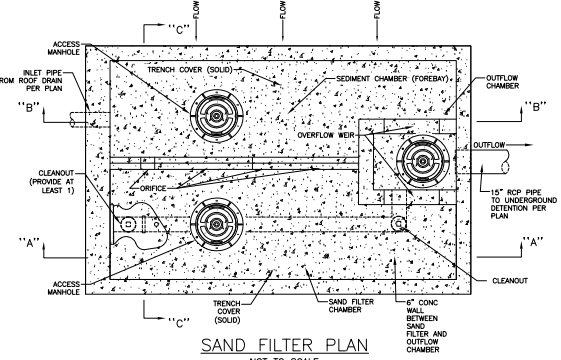
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CHECKED BY: HWD  
SCALE: 1" = 20'

**STORMWATER PLAN**

**UNDERGROUND DETENTION PRE-CAST SYSTEM BY OLDCASTLE IS BASIS OF DESIGN**



**CLOSED SAND FILTER DETAILS**



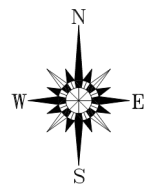
SEDIMENT CHAMBER (FOREBAY) 0.75 TIMES TREATMENT VOLUME 1269 OF PROVIDED (ASURES)  
OVERFLOW WEIR IS AT 233.50  
DRAINAGE AREA = 14810 SF \* 0.0833 (1 IN) = 1233 CF \* 0.75 = 925 CF

SAND FILTER CHAMBER - MAINTENANCE PROVIDED TO MAINTAIN 2 IN/HR FLOW - MDC 6  
THE MEDIA IN THE SAND FILTER SHALL BE CLEANED, WASHED, COURSE MASONRY SAND SUCH AS ASTM D33 OR THE EQUIVALENT. THE SAND PARTICLES SHALL BE LESS THAN 2 MM AVERAGE DIAMETER. THE ENTIRE SURFACE AREA OF THE SAND CHAMBER MUST CONTAIN SAND, MDC 6  
PERFORATED PIPE

FULL HEIGHT SEPARATION WALL (NO WEIRS OR ORIFICES)



ISSUED FOR REVIEW NOT FOR CONSTRUCTION



VICINITY MAP N.T.S.

**SURVEY DISCLAIMER**

SURVEY INFORMATION PREPARED BY R. SCOTT BARKER (PLS L4613) ON OCTOBER 20, 2021. BARKETT SURVEYING GROUP, PLLC, 7 KINGSBURY WAY, GREENVILLE, NC 29617

**WATER DISTRIBUTION NOTES**

- CONTRACTOR TO LOCATE TIE-INS TO ALL BUILDING LOCATIONS BASED ON PLUMBING PLANS.
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTIONS, OR OTHER WATER USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OF RALEIGH REQUIRED BACKFLOW PREVENTER.
- PUBLIC UTILITIES CONTRACTORS CONSTRUCTING FIRE SERVICE MAINS FOR BUILDING CONNECTION TO FIRE SPRINKLER SYSTEMS SHALL TERMINATED THOSE LINES AT A FLANGE, CAP, PLUG, OR VALVE INSIDE THE BUILDING 1' ABOVE THE FINISHED FLOOR ELEVATION. ALL FIRE SERVICE MAINS SHALL COMPLY WITH NFPA STANDARDS FOR THE FIRE SERVICE MAIN AS INCORPORATED INTO THE NORTH CAROLINA BUILDING CODE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF BUILDING AND SITE UTILITY CONTRACTORS SO THAT HYDROSTATIC TESTING OF THE FIRE LINE MAY OCCUR TO THE TERMINATION POINT WITHIN THE BUILDING.

**SANITARY SEWER NOTES**

- CONTRACTOR TO LOCATE TIE-INS TO ALL BUILDING LOCATIONS BASED ON PLUMBING PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR INSTALLATION INCLUDING TAP FEES. (INCLUDING CAPITAL FACILITY FEES)

**FIRE PROTECTION NOTES**

- CONTRACTOR TO COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION. (CHAPTER 14, 2018 NC FIRE CODE, NFPA 241, AND CHAPTER 22, 2018 NC BUILDING CODE)
- FIRE FLOW ANALYSIS MUST BE PROVIDED TO CITY OF RALEIGH AT SUBMITTAL OF BUILDING PERMIT DOCUMENTS PER THE NORTH CAROLINA FIRE PROTECTION CODE. PROVIDE AVAILABLE FIRE FLOW AND MINIMUM FIRE FLOW FROM ADJACENT BUILDING AND DRAINAGE NORTH CAROLINA FIRE PROTECTION CODE APPENDIX B OR OTHER APPROVED METHOD.

**NOTE: ALL ADJACENT LOTS ARE SERVED BY PUBLIC WATER AND PUBLIC SEWER**

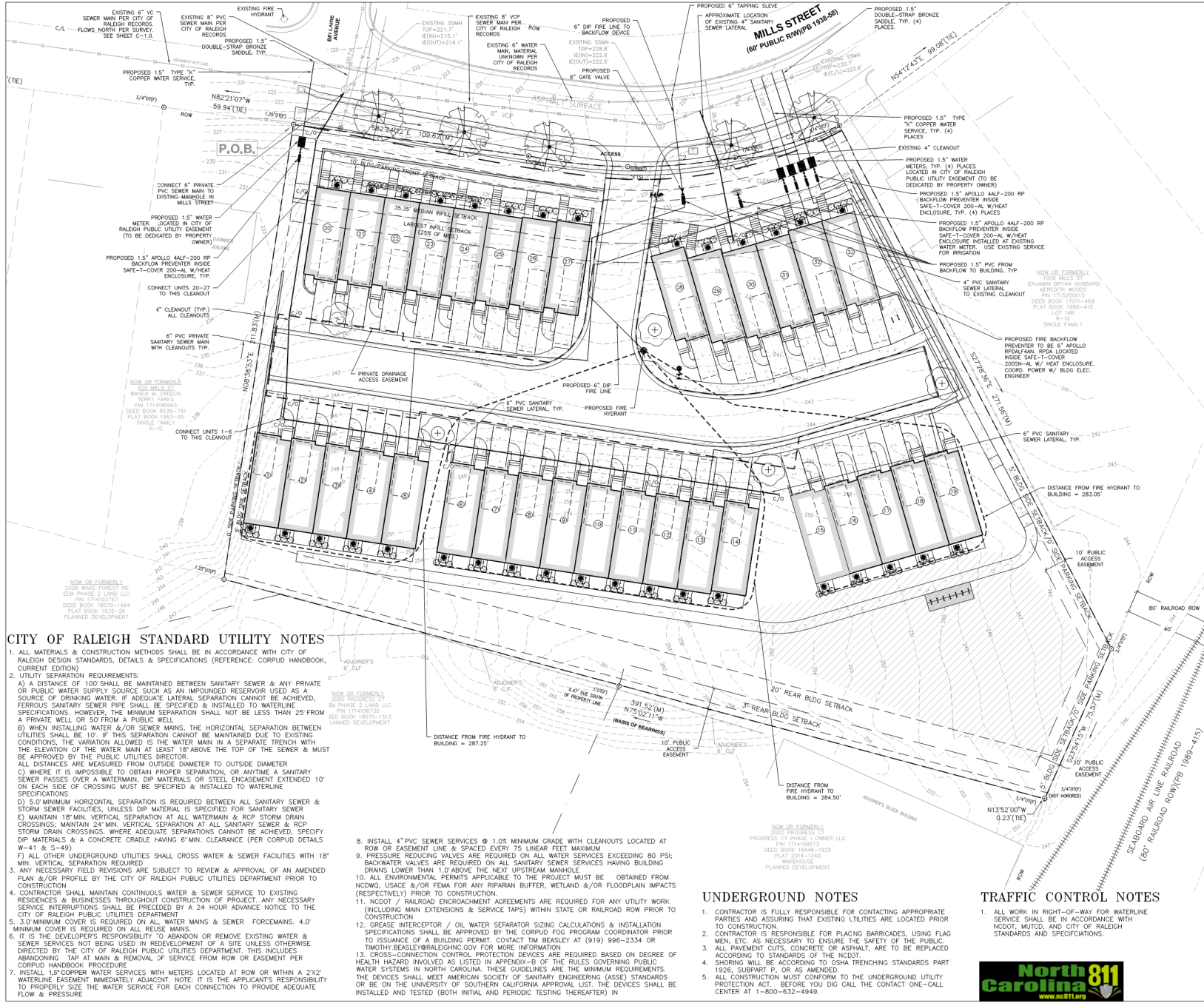
**NOTE: ALL WATER AND SEWER CONNECTIONS IN NEW DEVELOPMENTS SHALL BE MADE BY THE DEVELOPER AT THEIR EXPENSE.**

DRYE-McGLAMERY ENGINEERING, PLLC  
1002 MILLS ST. RALEIGH, NC 27609  
WAKE COUNTY, NORTH CAROLINA  
DRYE-McGLAMERY ENGINEERING, PLLC  
1002 MILLS ST. RALEIGH, NC 27609

ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	1ST ASH REVIEW	04-04-2023
B	2ND ASH REVIEW	06-16-2023
C	3RD ASH REVIEW	11-06-2023
D	4TH ASH REVIEW	01-11-2024
E	5TH ASH REVIEW	04-04-2024

DRAWN BY: DJM  
CHECKED BY: HWD  
SCALE: 1" = 20'



**CITY OF RALEIGH STANDARD UTILITY NOTES**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR.
  - ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 1.5" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.

- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI.
- BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE SYSTEMS SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN

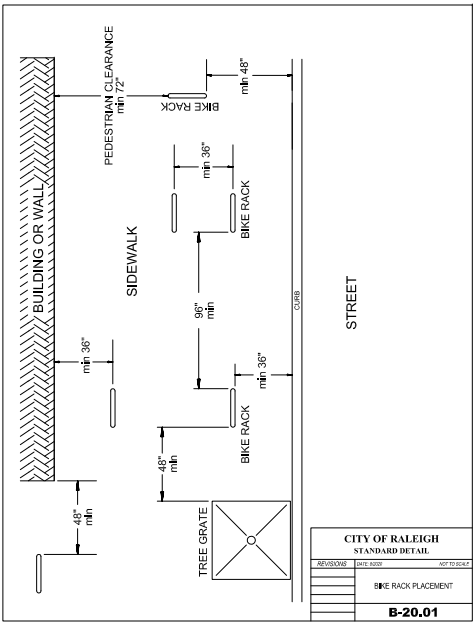
**UNDERGROUND NOTES**

- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC. AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NCDOT.
- SHOWING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926, SUBPART P, OR AS AMENDED.
- ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT. BEFORE YOU DIG CALL THE CONTACT ONE-CALL CENTER AT 1-800-632-4949.

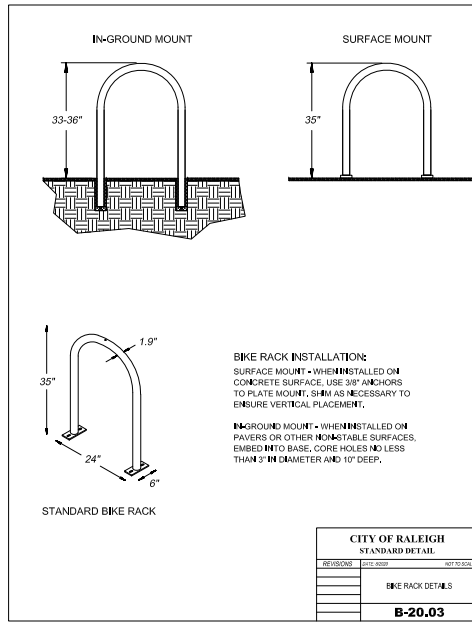
**TRAFFIC CONTROL NOTES**

- ALL WORK IN RIGHT-OF-WAY FOR WATERLINE SERVICE SHALL BE IN ACCORDANCE WITH NCDOT, MATCO, AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

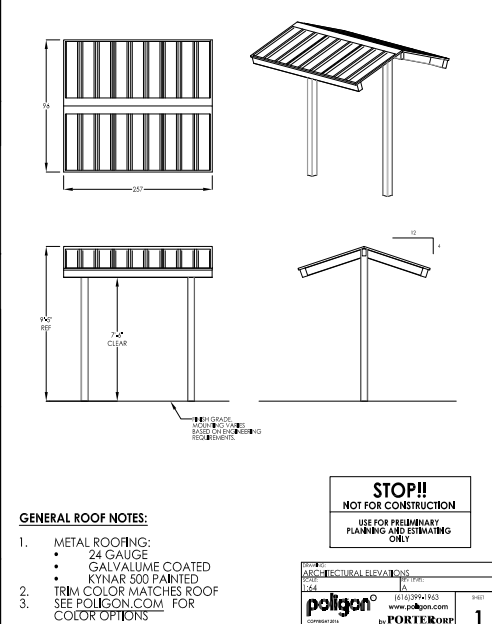




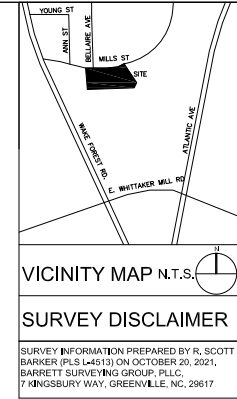
**1 BIKE RACK PLACEMENT N.T.S**



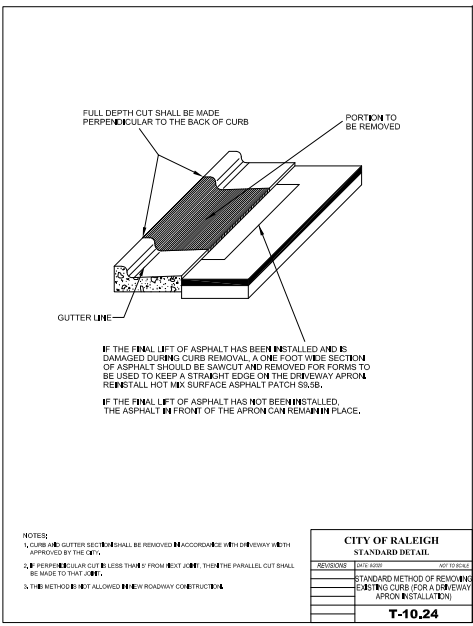
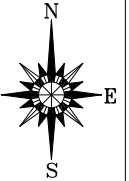
**2 BIKE RACK DETAILS N.T.S**



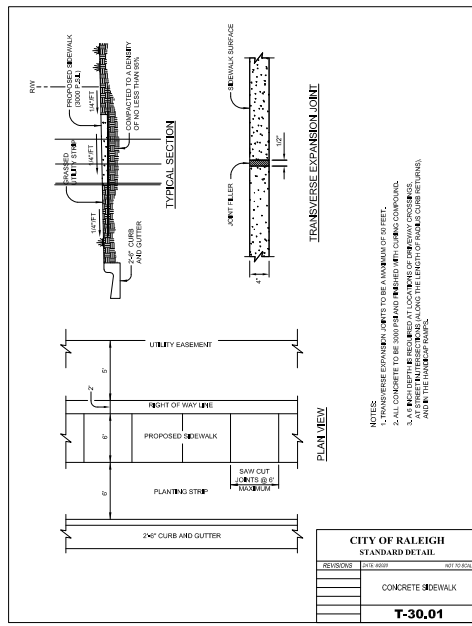
**3 LONG TERM BIKE RACK SHELTER N.T.S**



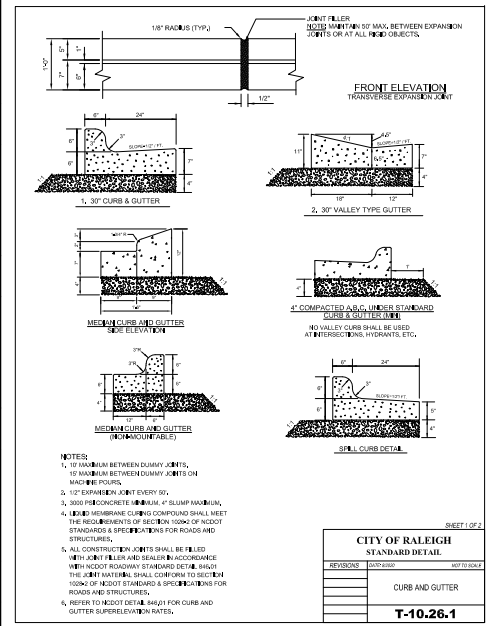
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**4 REMOVING EXSTING CURB N.T.S**



**5 CONCRETE SIDEWALK N.T.S**



**6 CURB AND GUTTER N.T.S**

MILLS STREET APARTMENTS  
1002 MILLS ST. RALEIGH, NC 27609  
WAKE COUNTY  
NORTH CAROLINA

DRYE-McGLAMERY  
ENGINEERING, LLC  
1010 S. WILSON ST.  
RALEIGH, NC 27604

DME PROJECT #02 2022109

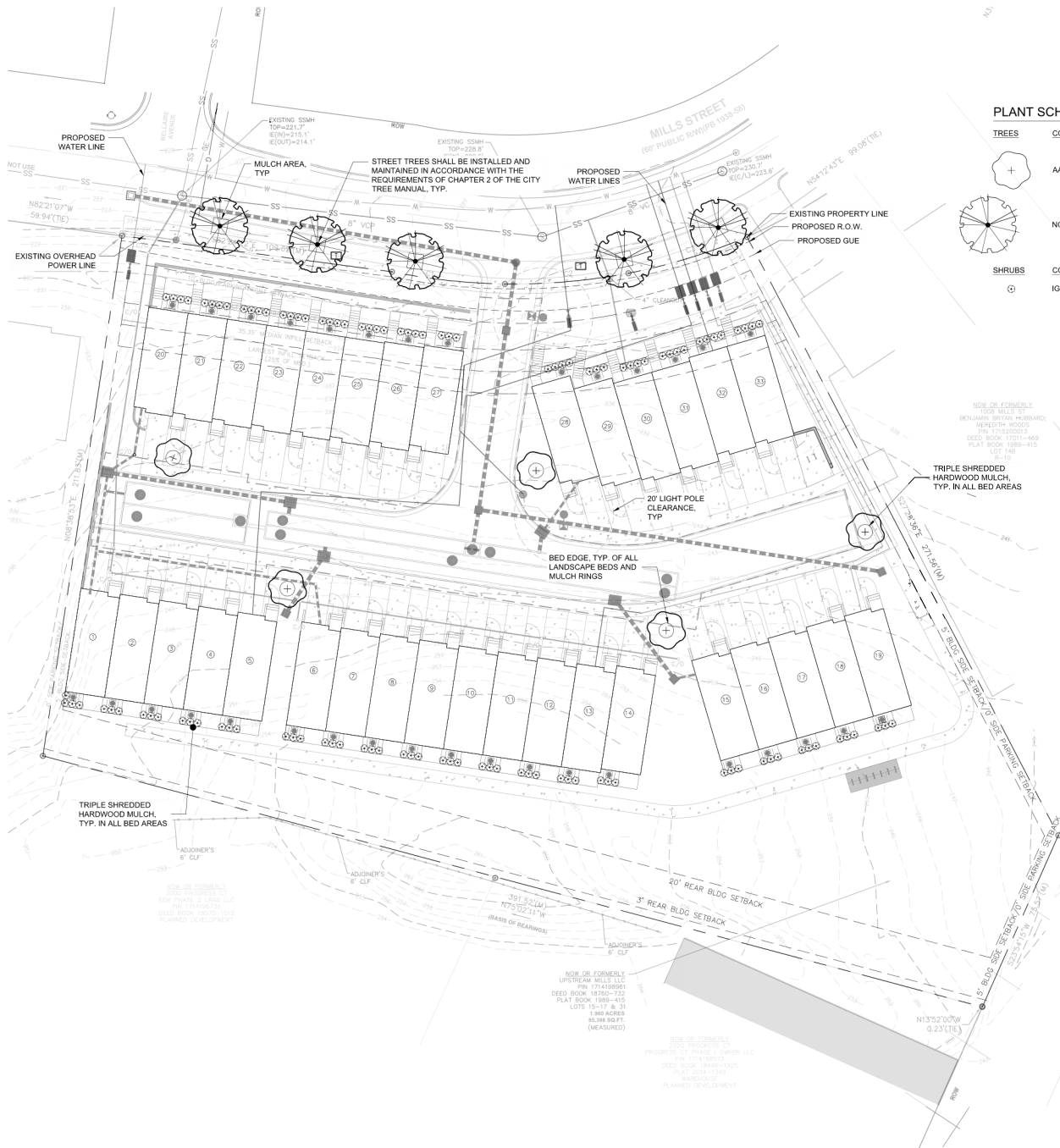
ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	1ST ADR REVIEW	04/04/23
B	2ND ADR REVIEW	04/26/23
C	3RD ADR REVIEW	11/04/23
D	4TH ADR REVIEW	01/10/24

DRAWN BY DJM  
CHECKED BY HWD  
SCALE: 1" = 20'

SITE DETAILS

**C-6.2**



**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	CALIPER	HEIGHT	B&B OR CONT.	SPACING (O.C.)
	AA5	5	Acer x freemanii 'Armstrong'	1 1/2"	6'-7'	B&B	AS SHOWN
	NC	5	Nyssa sylvatica 'MONZ'	3"	10'-12'	B&B	AS SHOWN

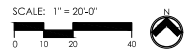
SHRUBS	CODE	QTY	BOTANICAL NAME	CONTAINER	HEIGHT	SPREAD	SPACING (O.C.)
	IG2	112	Ilex glabra 'SMNIGAB17'	18"		18" MIN.	

**LANDSCAPE REQUIREMENTS**

**STREET TREES**  
REQUIRED: (1) SHADE TREE PER 40' OF FRONTAGE OR (1) UNDERSTORY TREE PER 20' OF FRONTAGE DUE TO OVERHEAD UTILITY LINE FRONTAGE: 251'-0"  
REQUIRED: 251.75 / 40 = 6.29 = (6) SHADE TREES  
PROVIDED: (5) SHADE TREES, FEE-IN-LIEU FOR 1 SHADE TREE

**NOTES**

1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
2. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TRP-03.
3. 4" V" SHAPED SPADED BED EDGE, TYPICAL OF ALL MULCH RINGS.
4. TRIPLE-SHREDDED HARDWOOD MULCH, TYPICAL OF ALL MULCH RINGS.

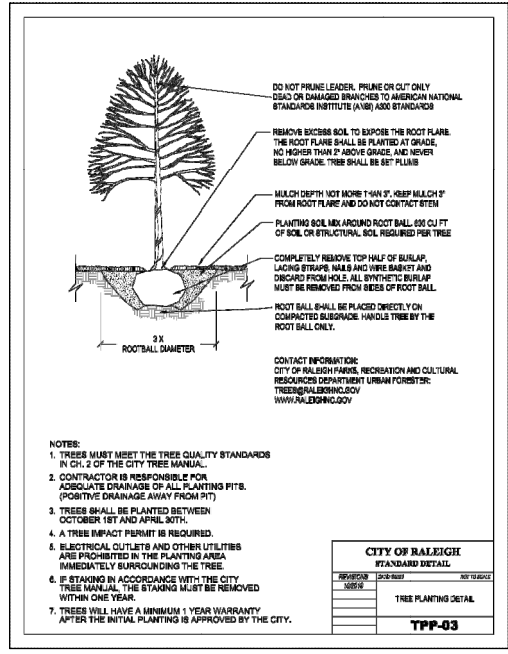


**PLANTING NOTES**

- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELIZED FLOWS AROUND THE SITE.
- CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND UNDERGROUND IMPEDIMENTS PRIOR TO BEGINNING PLANTING.
- ALL WEEDS, NON-NATIVE INVASIVE SPECIES, AND EXOTIC SPECIES LOCATED WITHIN THE PROJECT CONTRACTOR LIMITS SHALL BE ELIMINATED PRIOR TO PLANTING BED CREATION, PLANTING, AND SEEDING/SODDING OPERATIONS.
- PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
- IT SHALL BE NOTED THAT ALL SECTIONS OF THE SITE THAT ARE SLOPED 3:1 OR HIGHER WILL BE COVERED WITH EROSION CONTROL STABILIZATION COIR FABRIC (WITH 1" SQUARE OPENINGS) PRIOR TO PLANTING TO ENSURE IMMEDIATE STABILIZATION. LANDSCAPE CONTRACTOR SHALL CUT FABRIC AT EACH PLANT LOCATION AND PLACE PLANTS ACCORDING TO PLAN. ALL FABRIC SHALL BE RE-STAKED PER ENGINEERS ORIGINAL DRAWINGS IMMEDIATELY AFTER PLANTING.
- PLANTS ARE TO BE PURCHASED BY BOTANICAL NAMES. THEY SHALL BE REPRESENTATIVE OF THEIR SPECIES, MEET ALL NOTED CONDITIONS OF SPECIFICATIONS, AND SHALL BE IN VIGOROUS GROWING CONDITION MEETING ANSI STANDARD Z60.
- LANDSCAPE ARCHITECT OR OWNER MAINTAINS RIGHT TO REJECT ANY PLANT DUE TO AESTHETICS OR STRUCTURAL DEFICIENCY AT ANY TIME.
- CONTRACTOR RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANTS SHOWN ON PLANS IN LOCATIONS SHOWN. QUANTITIES GIVEN ON THE PLANT LEGEND ARE FOR CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND. CONTRACTOR SHALL LOCATE ALL PLANTS AWAY FROM KNOWN PERMANENT FIXTURES. IF CONFLICT ARISES WITH PLAN, CONTRACTOR SHALL NOTIFY PROJECT MANAGER OR DESIGNER PRIOR TO PROCEEDING.
- ALL PLANT MATERIAL SHALL CONFORM TO OR EXCEED THE AMERICAN STANDARD FOR NURSERY STOCK (LATEST EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND CANKERS, IN HEALTHY CONDITION, AND FREE OF MECHANICAL DAMAGE AT THE TIME OF PLANTING.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE A HEALTHY AND VIABLE PLANT AND THE PLANT SHALL BE REJECTED IF DEEMED UNHEALTHY OR UNFIT AT ANY TIME DURING THE CONTRACT OR WARRANTY DURATION.
- IF ANY PLANT MATERIAL SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, THEN NOTICE SHALL BE GIVEN TO PROJECT MANAGER OR DESIGNER AT MINIMUM SEVENTY-TWO (72) HOURS (NOT INCLUDING WEEKENDS) PRIOR TO DESIRED ORDERING DATE/TIME. WHEN SUBSTITUTIONS ARE REQUESTED BY CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL ALSO BE PRESENTED AT TIME FOR FULL AND COMPLETE REVIEW BY LANDSCAPE ARCHITECT OR OWNER.
- BALLED AND BURLAPPED PLANTS/TREES TO BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
  - BALLED AND BURLAPPED MATERIAL SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
    - TREES DESIGNATED B&B SHALL BE PROPERLY DUG WITH FIRM, NATURAL BALLS OF SOIL, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE. IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
    - ROOT BALLS SHALL BE FIRMLY WRAPPED WITH NONSYNTHETIC, ROTTABLE BURLAP AND SECURED WITH NAILS AND HEAVY, NONSYNTHETIC TWINE.
    - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
    - REMOVE ALL BURLAP, LACING AND WIRE BASKET FROM AT LEAST THE TOP 1/2 OF THE ROOTBALL AND DISCARD FROM PLANTING HOLE.
    - DO NOT MANEUVER BY TRUNK. HANDLE BY ROOT BALL ONLY.
  - CONTAINERIZED PLANTS SHALL COMPLY WITH THE FOLLOWING GUIDELINES:
    - MATERIAL SHALL HAVE FIRM, NATURAL BALLS OF SOIL, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE. IN SIZES AND SHAPES AS SPECIFIED IN THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
    - ROOT COLLAR SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOTBALL.
    - REMOVE CONTAINER PRIOR TO PLANTING.
- TREES TO BE STAKED WILL BE DESIGNATED BY THE LANDSCAPE ARCHITECT. TREE STAKING FOR CANOPY AND LARGE EVERGREEN TREES SHALL NOT EXCEED 90 DAYS.
- PLANT BED PREPARATION:
  - ALL PLANT BEDS ARE TO RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL TILLED IN TO A DEPTH OF 8" TO ENSURE INTEGRATION WITH EXISTING SOIL.
  - APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS.
  - IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.
- ALL MULCH TO BE CERTIFIED TO BE FREE OF WEEDS, NON-NATIVE INVASIVE SPECIES AND THEIR LARVAE. MULCH SAMPLE SUBMITTAL SHALL BE PROVIDED TO LANDSCAPE ARCHITECT BEFORE SITE DELIVERY.

**SEEDING/SODDING NOTES**

- ROUGH GRADING TO BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION. SUBSTANTIAL COMPLETION SIGN-OFF BY LANDSCAPE ARCHITECT CONTRACTOR TO ENSURE NO CHANNELIZED FLOWS AROUND THE SITE.
- ALL SEEDED/SODDED AREAS SHALL BE FINISHED GRADE AT THE THICKNESS OF THE SOD.
- NO SEEDED/SODDED AREAS SHALL BE SODDED UNTIL ALL OTHER CONSTRUCTION ACTIVITIES, INCLUDING PLANTING AND MULCHING HAVE OCCURRED AND LANDSCAPE ARCHITECT HAVE REVIEWED THE FINAL GRADING.
- SOD AREAS WILL BE ACCEPTED WHEN IN COMPLIANCE WITH ALL THE FOLLOWING CONDITIONS:
  - ROOTS ARE THOROUGHLY KNIT TO THE SOIL.
  - ABSENCE OF VISIBLE JOINTS.
  - ALL AREAS SHOW A UNIFORM STAND OF SPECIFIED GRASS IN HEALTHY CONDITION.
  - AT LEAST 30 DAYS HAVE ELAPSED SINCE THE COMPLETION OF WORK UNDER THIS SECTION.
- QUALITY GUARANTEE:
  - SOD SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOD DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
  - SEED SHALL BE UNIFORM IN COLOR, LEAF TEXTURE, LEAF AND ROOT DENSITY, AND FREE FROM WEED, DISEASES, AND OTHER VISIBLE IMPERFECTIONS AT TIME OF FINAL ACCEPTANCE. GUARANTEE DOES NOT COVER DAMAGE AS A RESULT OF FERTILIZERS, PESTICIDES, OR OTHER APPLICATIONS NOT SUPERVISED BY THE CONTRACTOR OR AS A RESULT OF ACTS OF GOD OR VANDALISM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE SEED/SOD IS PROPERLY IRRIGATED DURING THE GROW-UP PERIOD AND SHALL BE RESPONSIBLE IF THE SOD SUFFERS IRREPARABLE HARM.
- SEED/SOD IS SUBJECT TO INSPECTION AND ACCEPTANCE. LANDSCAPE ARCHITECT AND/OR CLIENT RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO ACCEPTANCE. ANY WORK AND SOD WHICH IN THE LANDSCAPE ARCHITECTS OPINION FAILS TO MEET THESE SPECIFICATIONS REQUIREMENTS.
- SOD STANDARDS:
  - GENERAL: HEALTHY, THICK TURF HAVING UNDERGONE A PROGRAM OF REGULAR FERTILIZATION, MOWING AND WEED CONTROL, FREE OF OBJECTABLE WEEDS, UNIFORM IN GREEN COLOR, LEAF TEXTURE AND DENSITY, HEALTHY, VIGOROUS ROOT SYSTEM, INSPECTED AND FOUND FREE OF DISEASE, NEMATODES, PEST AND PEST LARVAE BY THE ENTOMOLOGIST OF THE STATE DEPARTMENT OF AGRICULTURE.
  - EACH PIECE OF SOD: SANDY-LOAM SOIL BASE THAT WILL NOT BREAK, CRUMBLE OR TEAR DURING SOD INSTALLATION.
  - THICKNESS: MINIMUM 3/4" THICK, EXCLUDING THE TOP GROWTH THATCH.
  - THATCH: NOT TO EXCEED 1/2" UNCOMPRESSED.
  - SIZE: CUT IN STRIPS 18" WIDE NO MORE THAN 24 HOURS PRIOR TO DELIVERY.
- SOD DELIVERY, STORAGE AND HANDLING GUIDELINES ARE AS FOLLOWS:
  - SOD SHALL BE DELIVERED ON PALLETS PROPERLY LOADED ON VEHICLES AND WITH ROOT SYSTEM PROTECTED FROM EXPOSURE TO SUN, WIND, AND HEAT IN ACCORDANCE WITH STANDARD PRACTICE AND LABELED WITH BOTANICAL AND COMMON NAME OF EACH GRASS SPECIES IN ACCORDANCE WITH FEDERAL SEED ACT. SOD THAT HAS BEEN DAMAGED BY POOR HANDLING OR IMPROPER STORAGE IS SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT OR OWNER.
  - PROTECT FROM DEHYDRATION, CONTAMINATION, FREEZING AND HEATING AT ALL TIMES. KEEP STORED SOD MOIST AND UNDER SHADE OR COVERED WITH MOISTENED BURLAP.
  - DO NOT DROP SOD ROLLS FROM CARTS, TRUCKS OR PALLETS.
  - DO NOT DELIVER MORE SOD THAN CAN BE INSTALLED WITHIN 36 HOURS.
  - DO NOT STACK SOD MORE THAN 2 FEET DEEP.
- SEED/SODDED BED PREPARATION:
  - ALL DEBRIS, ROCKS, ETC. LARGER THAN 5" ARE TO BE REMOVED PRIOR TO SEEDING/SODDING OR PLANTING.
  - ALL AREAS TO BE SEEDED/SODDED ARE TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL, TILLED INTO A DEPTH OF 4" TO ENSURE INTEGRATION WITH EXISTING SOIL.
  - APPROVED TOPSOIL IS TO BE PREFERABLY FROM ON-SITE STOCKPILE FROM STRIPPING OPERATIONS - SEE EROSION AND SEDIMENT CONTROL PLANS.
  - IF ON-SITE TOPSOIL IS NOT AVAILABLE, CONTRACTOR SHALL PROVIDE TO SITE ACCORDINGLY.



- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
  - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT).
  - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  - IF STAKED IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISION NO.	DATE	BY
TREE PLANTING DETAIL		
<b>TFF-03</b>		

- NOTES**
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
  - ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TFF-03.
  - 4" x 4" SHARPED SPANED BED EDGE, TYPICAL OF ALL MULCH RINGS.
  - TRIPLE-SHREDDED HARDWOOD MULCH, TYPICAL OF ALL MULCH RINGS.



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**MILLS STREET APARTMENTS**  
Upstream Mills LLC  
1002 Mills Street Raleigh, NC 27608

PROJECT NUMBER: 22059

ADMINISTRATIVE SITE REVIEW

DATE:	REVISION:
08.04.2023	REV A
08.04.2023	REV B
10.26.2023	REV C
01.17.2024	REV D
02.19.2024	REV E

SHEET TITLE:  
**PLANTING NOTES & DETAILS**

SHEET NUMBER:

**L401**





**Roadway LED**

Light Source: LED 3000K  
 Mounting: Pole Mount  
 Pole Height: 25 FT  
 Lumens per Lamp: 5312

**Statistics**

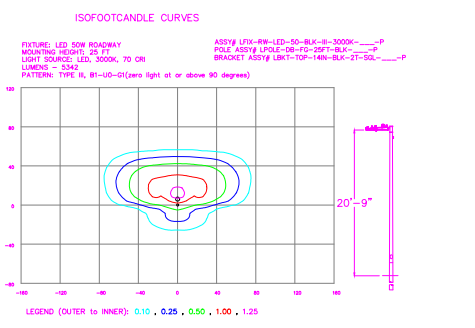
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Street	X	0.4 fc	1.5 fc	0.0 fc	N/A	N/A

**Roadway LED**

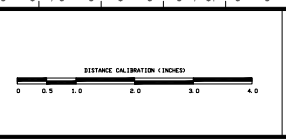
Light Source: LED 3000K  
 Mounting: Pole Mount  
 Pole Height: 25 FT  
 Lumens per Lamp: 5312

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Street	X	0.4 fc	1.5 fc	0.0 fc	N/A	N/A



NO.	DATE	REVISION	BY
REV F	02/26/24	UPDATED SITE PLAN	NJ
REV D	02/08/24	UPDATED SITE PLAN	NJ
REV C	11/21/23	Updated Site Plan	AH
REV B	08/10/23	Updated Site Plan	NJ

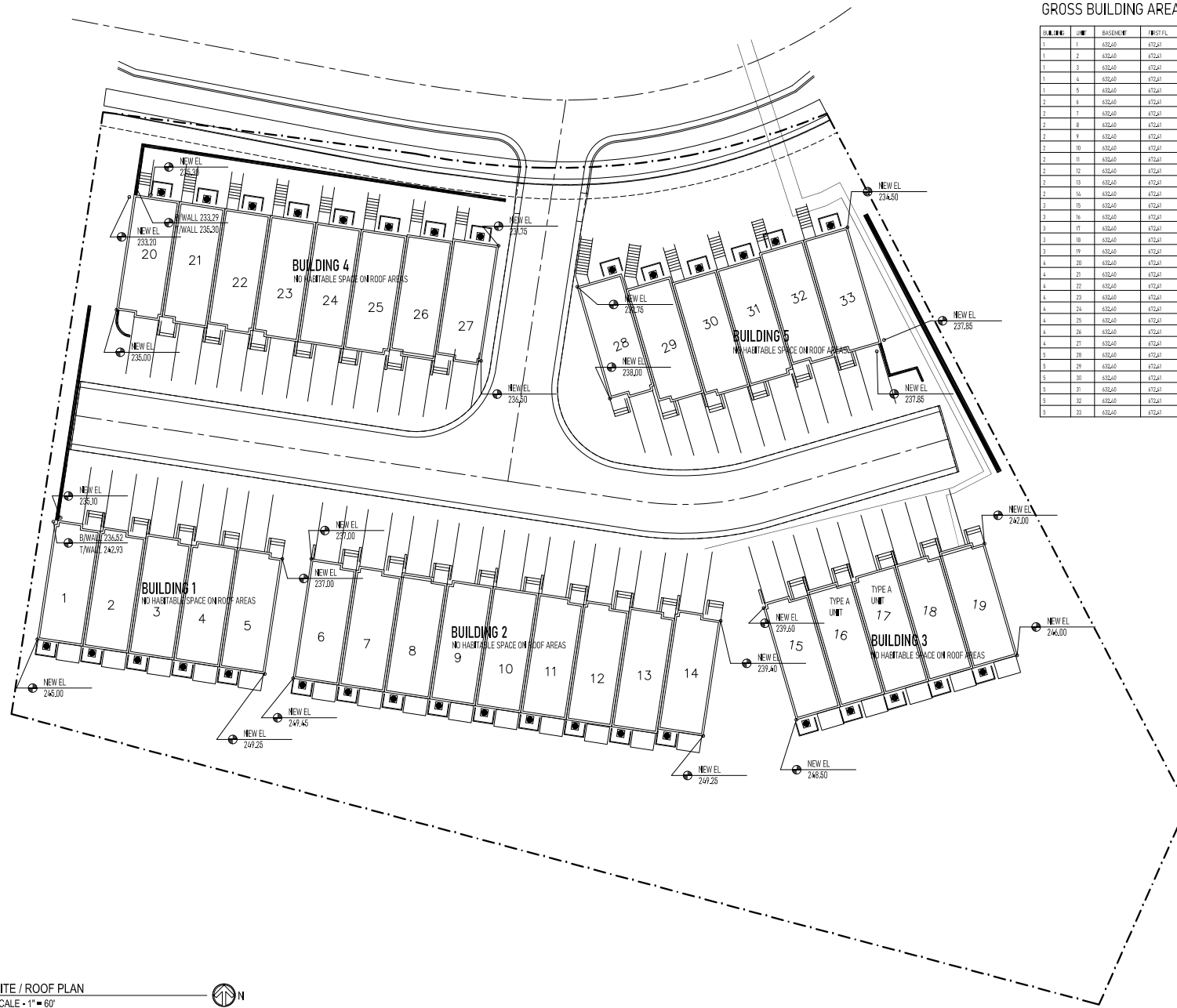


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1002 MILLS STREET Raleigh, NC	
SITE LIGHTING ARRANGEMENT	
Designed by: DUKE ENERGY PROGRESS LIGHTING SOLUTIONS	
Reviewed by: N. Johnson	Scale: 1" = 20'
Date: 02/26/2024	Size: Drawing size D'
Description: Black LED Roadway	
Drawing No. 23-0060F	Shr. 1 OF 1





GROSS BUILDING AREA TABLE

BUILDING	UNIT	BASEMENT	FIRST FL.	SECOND FL.	TOTAL	BUILDING TOTAL	PROJECT TOTAL
1	1	632.00	472.00	472.00	1576.00		
1	2	632.00	472.00	472.00	1576.00		
1	3	632.00	472.00	472.00	1576.00		
1	4	632.00	472.00	472.00	1576.00		
1	5	632.00	472.00	472.00	1576.00	7880.00	
2	6	632.00	472.00	472.00	1576.00		
2	7	632.00	472.00	472.00	1576.00		
2	8	632.00	472.00	472.00	1576.00		
2	9	632.00	472.00	472.00	1576.00		
2	10	632.00	472.00	472.00	1576.00		
2	11	632.00	472.00	472.00	1576.00		
2	12	632.00	472.00	472.00	1576.00		
2	13	632.00	472.00	472.00	1576.00		
2	14	632.00	472.00	472.00	1576.00	7880.00	
2	15	632.00	472.00	472.00	1576.00		
2	16	632.00	472.00	472.00	1576.00		
2	17	632.00	472.00	472.00	1576.00		
2	18	632.00	472.00	472.00	1576.00		
2	19	632.00	472.00	472.00	1576.00	7880.00	
4	20	632.00	472.00	472.00	1576.00		
4	21	632.00	472.00	472.00	1576.00		
4	22	632.00	472.00	472.00	1576.00		
4	23	632.00	472.00	472.00	1576.00		
4	24	632.00	472.00	472.00	1576.00		
4	25	632.00	472.00	472.00	1576.00		
4	26	632.00	472.00	472.00	1576.00		
4	27	632.00	472.00	472.00	1576.00	7880.00	
5	28	632.00	472.00	472.00	1576.00		
5	29	632.00	472.00	472.00	1576.00		
5	30	632.00	472.00	472.00	1576.00		
5	31	632.00	472.00	472.00	1576.00		
5	32	632.00	472.00	472.00	1576.00		
5	33	632.00	472.00	472.00	1576.00	7880.00	31520.00



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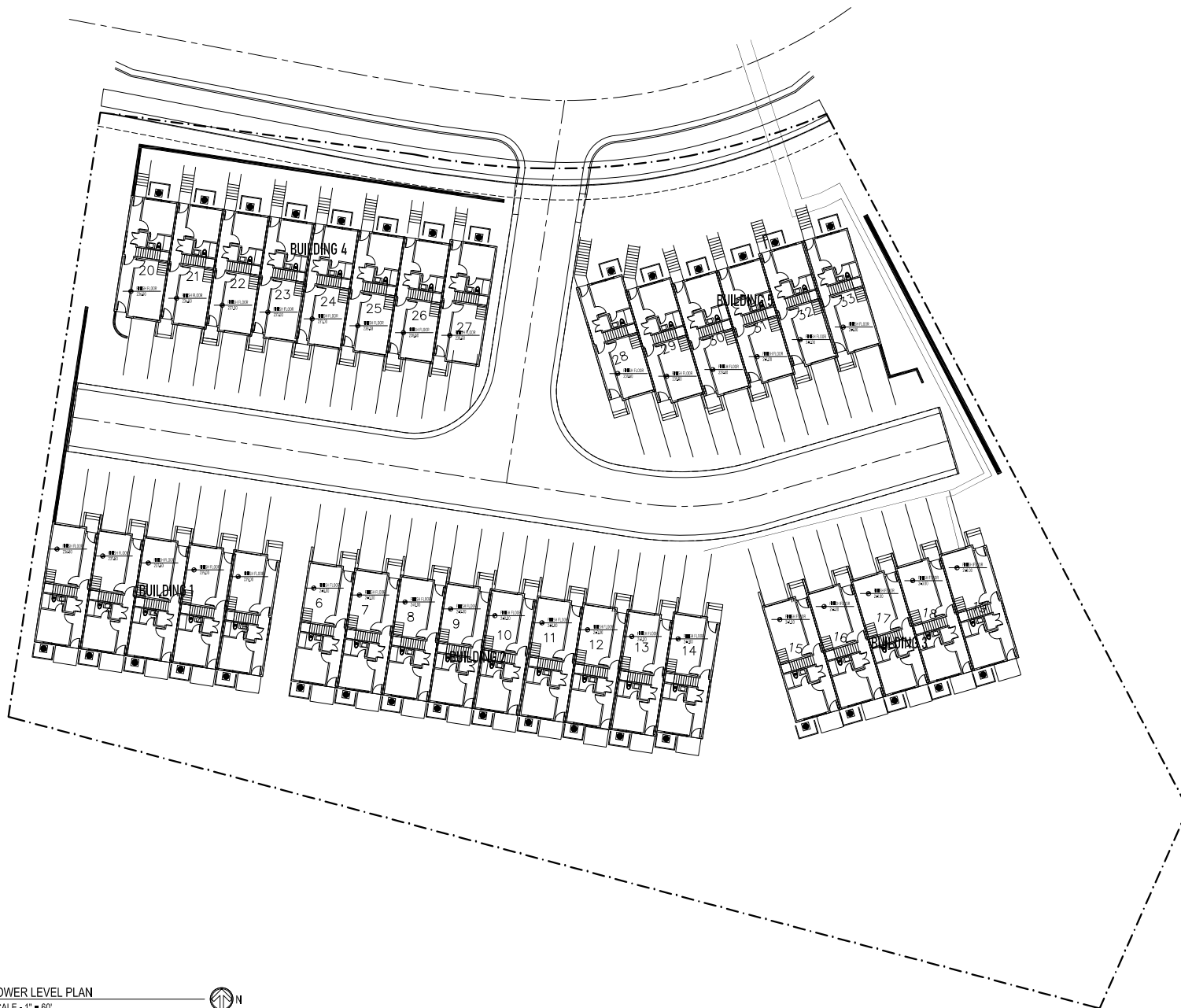
MILL STREET APARTMENTS  
1002 MILLS STREET  
RALEIGH, NC 27609  
WAKE COUNTY, NORTH CAROLINA

PROJECT NO.	REV.	DATE	BY	CHKD.	DESCRIPTION

SCALE: AS SHOWN  
SHEET TITLE  
SITE / ROOF PLAN

SHEET NUMBER

A0.2



1 LOWER LEVEL PLAN  
A0.3 SCALE - 1" = 60'



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RALEIGH, NC 27609  
WAKE COUNTY, NORTH CAROLINA

PROJECT #	REV.	DATE	BY

NOT FOR CONSTRUCTION

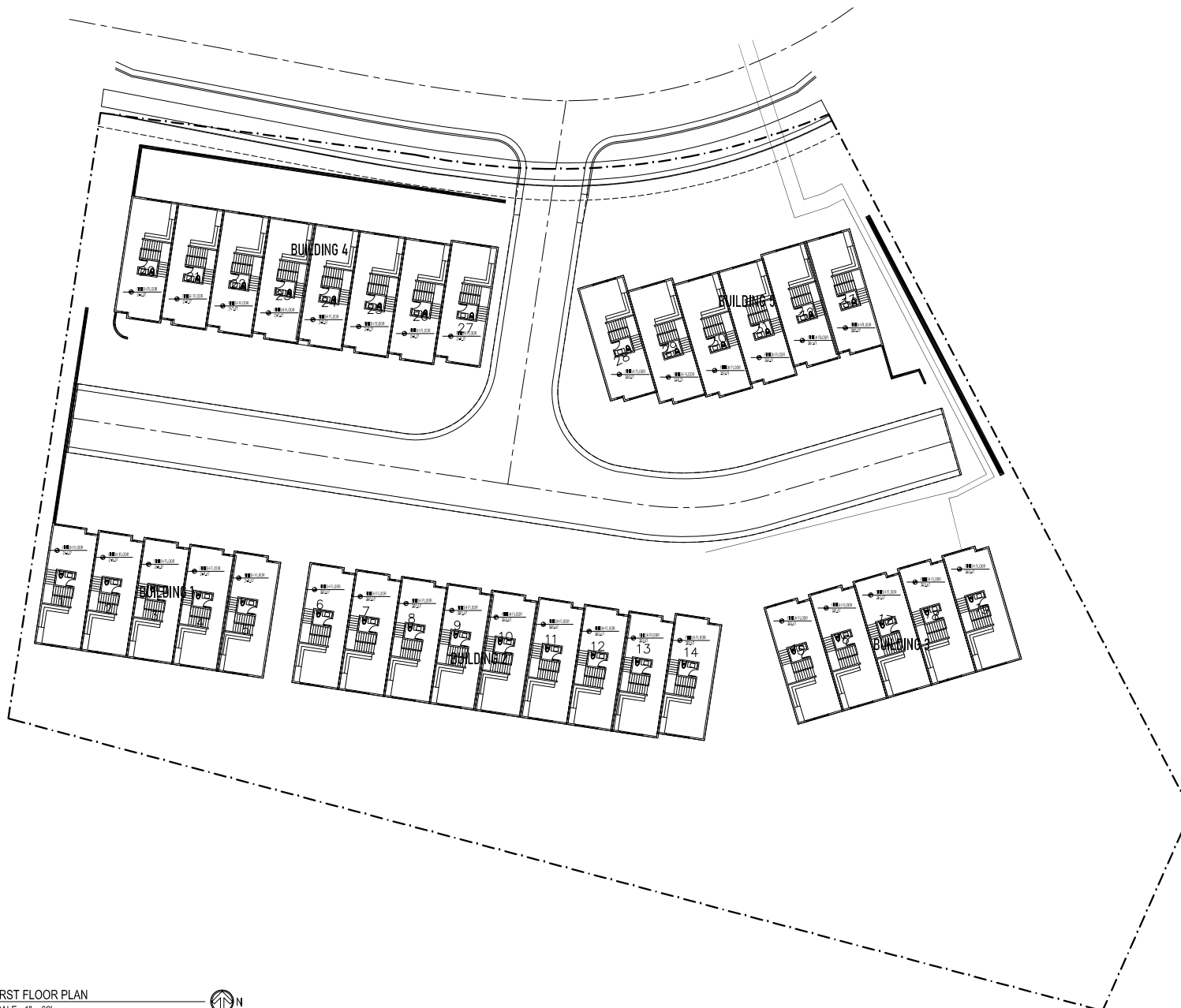
SCALE: NOTED

SHEET #112

LOWER LEVEL PLAN

SHEET NUMBER

A0.3



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1002 MILLS STREET  
RALEIGH, NC 27609  
WAKE COUNTY, NORTH CAROLINA

PROJECT #	REV.	DATE	BY

REVISIONS/NOTES  
SCALE(S) NOTED

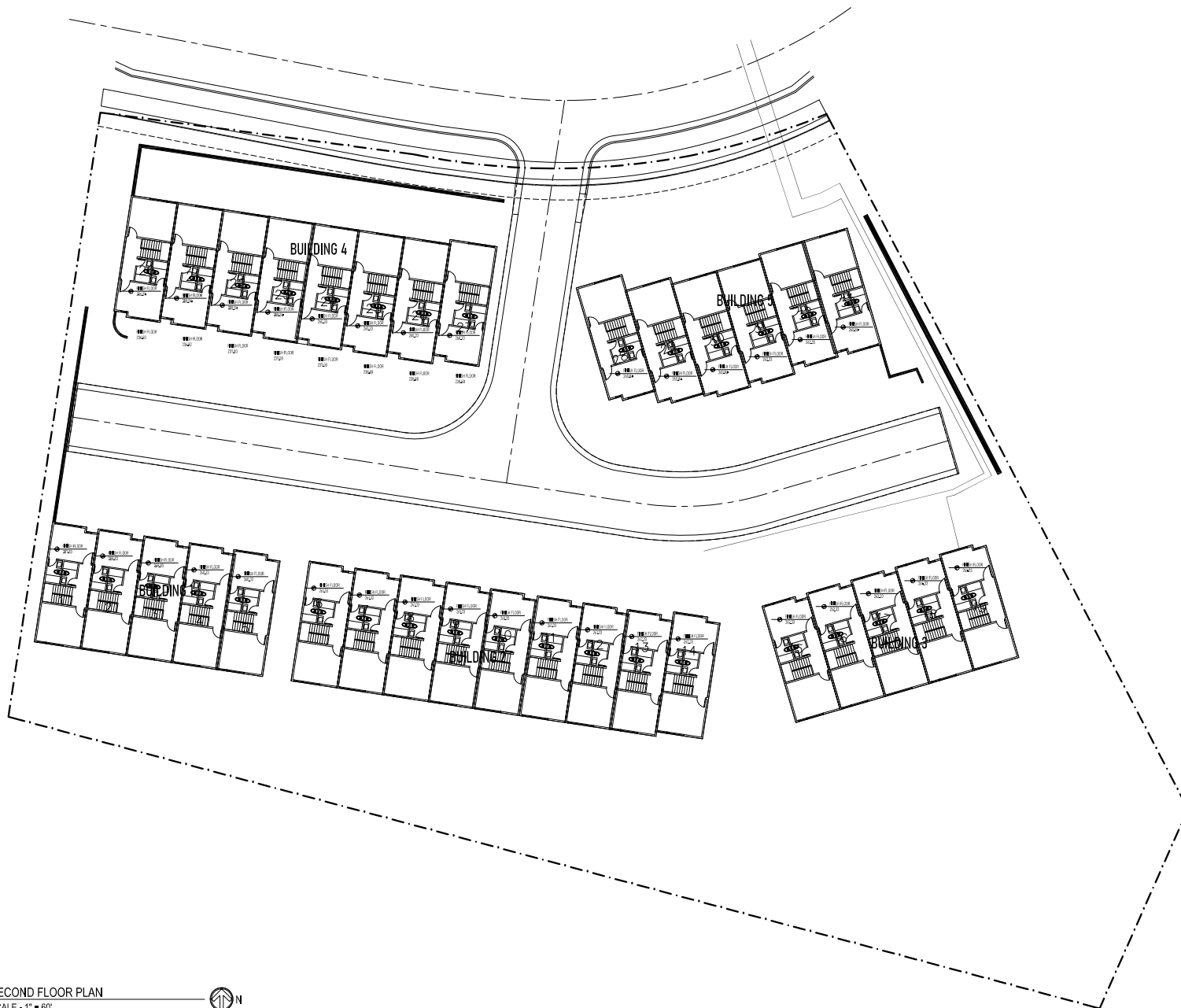
SHEET #112  
FIRST LEVEL PLAN

SHEET NUMBER

A0.4

1 FIRST FLOOR PLAN  
A0.4 SCALE - 1" = 60'





1 SECOND FLOOR PLAN  
A0.5 SCALE - 1" = 60'



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PROJECT #	REV.	DATE	BY	CHKD.

REVISIONS/NOTES

SCALE(S) NOTED

SHEET # OF

SECOND LEVEL

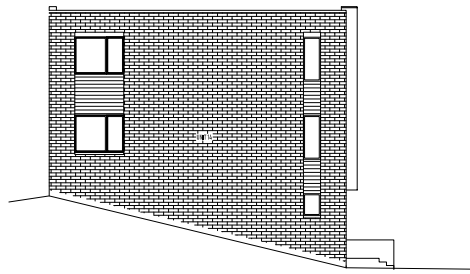
PLAN

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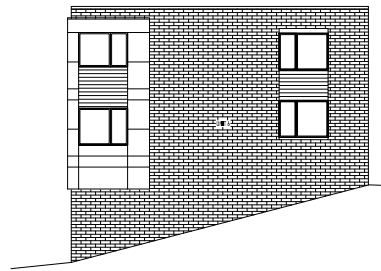
A0.5



BUILDING 1 NORTH ELEVATION



BUILDING 1 EAST ELEVATION



BUILDING 1 WEST ELEVATION



BUILDING 1 SOUTH ELEVATION

1 EXTERIOR ELEVATIONS - BUILDING 1  
 A2.1 SCALE: 1/8" = 1'-0"



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REV.	DATE	BY	CHKD.

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 SCALE(S) NOTED

SHEET #112  
 EXTERIOR  
 ELEVATIONS

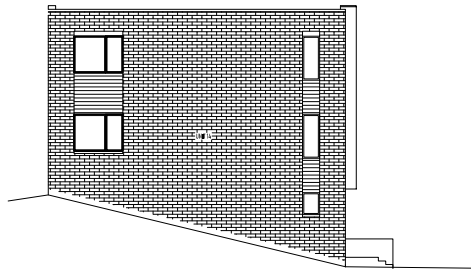
BUILDING 1

SHEET NUMBER

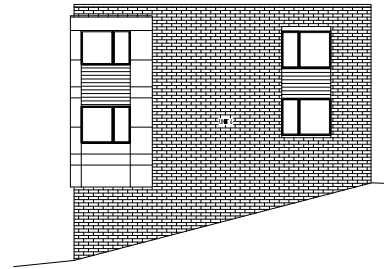
A2.1



BUILDING 2 NORTH ELEVATION



BUILDING 2 EAST ELEVATION



BUILDING 2 WEST ELEVATION



BUILDING 2 SOUTH ELEVATION

1 EXTERIOR ELEVATIONS - BUILDING 2  
A2.2 SCALE: 1/8" = 1'-0"



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REV.	DATE	BY	CHKD.

NOT FOR CONSTRUCTION  
SCALE(S) NOTED

SHEET #112

EXTERIOR  
ELEVATIONS

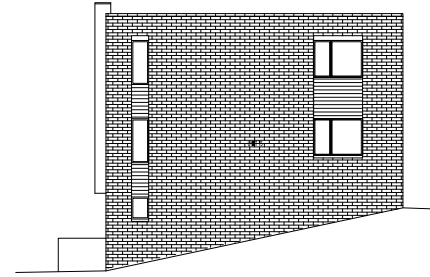
BUILDING 2

SHEET NUMBER

A2.2



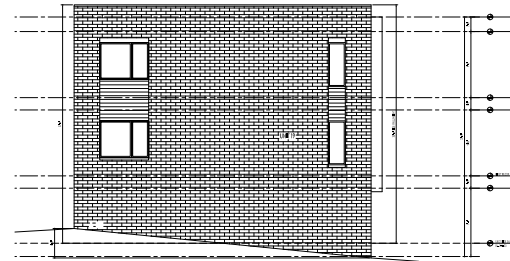
BUILDING 3 NORTH ELEVATION



BUILDING 3 WEST ELEVATION



BUILDING 3 SOUTH ELEVATION



BUILDING 3 EAST ELEVATION



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REV.	DATE	BY	CHKD.

NOT FOR CONSTRUCTION  
SCALE: NOTED

SHEET #111  
EXTERIOR  
ELEVATIONS

BUILDING 3

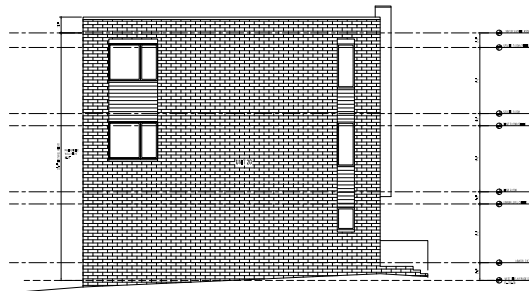
SHEET NUMBER

A2.3

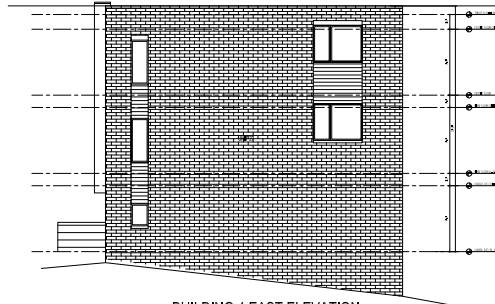




BUILDING 4 SOUTH ELEVATION



BUILDING 4 WEST ELEVATION



BUILDING 4 EAST ELEVATION



BUILDING 4 NORTH ELEVATION

1 EXTERIOR ELEVATIONS - BUILDING 4  
 A2.4 SCALE: 1/8" = 1'-0"



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PROJECT #	REV.	DATE	BY	CHKD.

BY FOR CONSTRUCTION  
 SCALE: NOTED

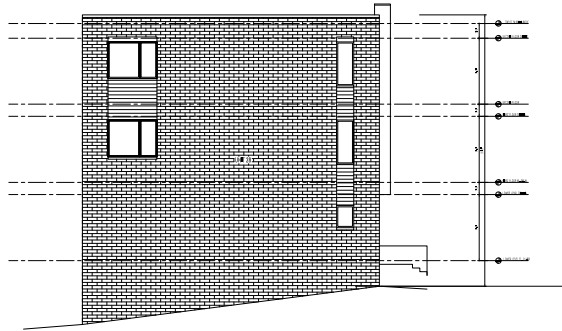
SHEET # OF  
 EXTERIOR  
 ELEVATIONS  
 BUILDING 4

SHEET # OF 6

A2.4



BUILDING 5 SOUTH ELEVATION



BUILDING 5 WEST ELEVATION



BUILDING 5 EAST ELEVATION



BUILDING 5 NORTH ELEVATION

1 EXTERIOR ELEVATIONS - BUILDING 5  
 A2.5 SCALE: 1/8" = 1'-0"



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REV.	DATE	BY	CHKD.

REVISIONS/CONTROLS/CHG  
 SCALE(S) NOTED

SHEET #111  
 EXTERIOR  
 ELEVATIONS

BUILDING 5

SHEET NUMBER

A2.5