

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). Mixed-use building consisting of a Health Club, Restaurant/Bar, & Multi-Unit Living		
Current Property Owner(s):		
Company:		Title:
Address:		
Phone #:		Email:
Applicant Name (If different from owner. See "who can apply" in instructions):		
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder		
Company: Advanced Civil Design		Address:

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br <u>133</u> 2br <u>108</u> 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? Yes No
	A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.


APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 

Date:

Printed Name:

Rev #	Date	Issue/Revision
1	3/19/24	ASR #1

Date: 03/19/2024
Scale: 1" = 40'

Drawn By: JLB
Checked By: JDW

EXISTING CONDITIONS
LIFE TIME LIVING RESIDENTIAL
RALEIGH, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW

COMMISSION NO: 24-0019-742
DRAWING NO:
C.1.0

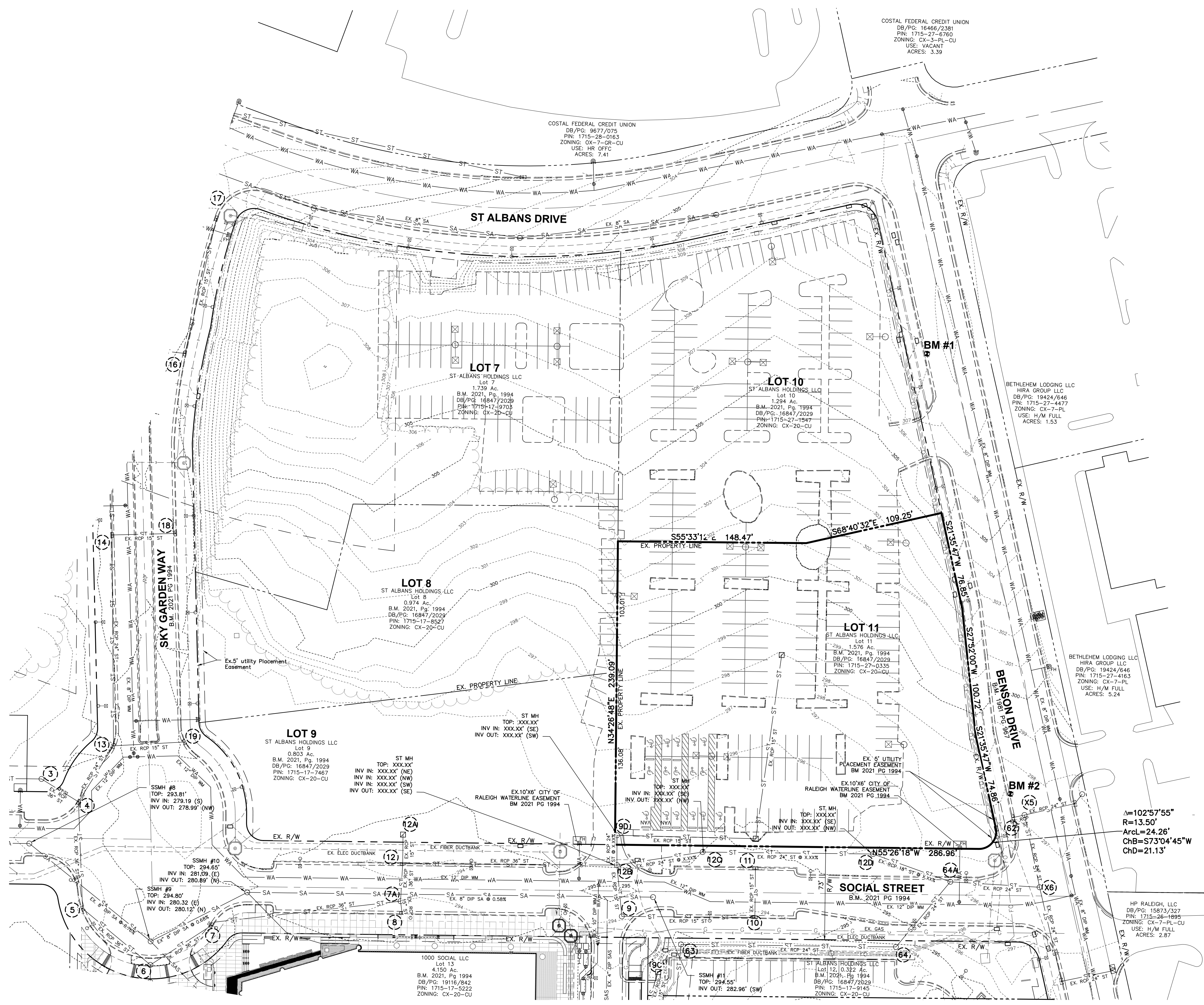
BENCHMARKS

BM #1: PK Nail North of Social Street along Benson Drive's western edge of pavement.
N: 757824.4980
E: 2112267.9670
Elevation: 307.811'

BM #2: PK Nail South of Social Street along Benson Drive's western edge of pavement.
N: 757199.8950
E: 2112129.0870
Elevation: 297.339'

LEGEND

—FD—	Underground Electric	○	Iron Pin Set
—F—	Underground Fiber Optic	⊗	PK Nail Set
—ST—	Underground Storm Sewer	△	Calculated Point
—SA—	Sanitary Sewer	⊕	Monument
—WA—	Waterline	⊕	Electric Manhole
—X—X—	Fence Line	⊕	Electric Transformer
—	Edge of Pavement	⊕	Comm Manhole
—	Trees	⊕	Tel Pedestal
●	Iron Pin Found	⊕	Cable Box
⊗	PK Nail Found	⊕	Guy Pole
▲	RR Spike Found	⊕	Guy Wire
⊕	Monument Box	⊕	Fire Hydrant
⊕	Concrete Post	⊕	Sprinkler Valve Box
⊕	Post Sign / Lamp	⊕	Pole Signal
⊕	Sign	⊕	Sanitary Manhole
⊕	Traffic Box	⊕	Sanitary Cleanout
⊕	Pole Elec	⊕	Storm Manhole
⊕	Pole Elec Tel	⊕	Catch Basin
⊕	Pole Elec Tel Light	⊕	Curb Inlet
⊕	Pole Tel	⊕	W / Grate
⊕	Pole Tel Light	⊕	Mailbox
⊕	Pole Light	⊕	
⊕	Deciduous Tree	⊕	
⊕	Pine Tree	⊕	
⊕	Shrub	⊕	
⊕	Private Water Meter	⊕	
⊕	Water Well	⊕	
⊕	Water Valve	⊕	



Existing Site Data Table

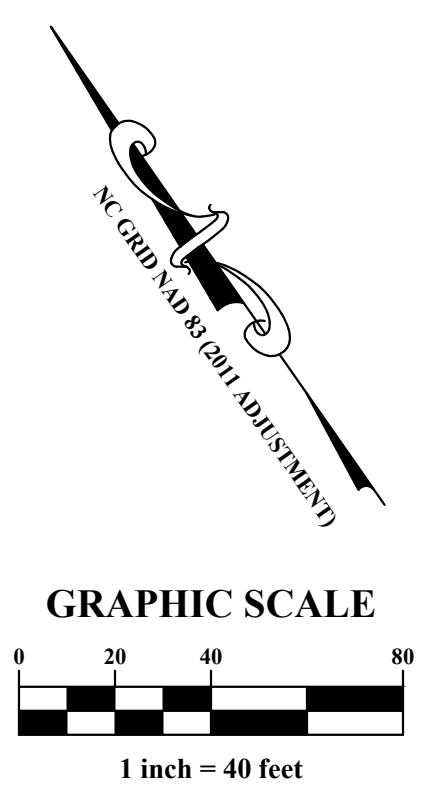
Owner:	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC
Address:	3410 Skygarden Way	1001 Social St	1020 St Albans Dr	1021 Social St
PIN #:	1721-69-7242	1715-17-7467	1715-27-1547	1715-27-0335
Tract Data:	D.B. 16847, Pg. 2029	D.B. 16847, Pg. 2029	D.B. 16847, Pg. 2029	D.B. 16847, Pg. 2029
Map Data:	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216
Lot #:	(Lot 8)	(Lot 9)	(Lot 10)	(Lot 11)
Lot Area (square feet):	42,421	34,963	56,345	68,658
Lot Area (acres):	0.974	0.803	1.294	1.576
				Total
				202,387
				3.070

GENERAL NOTES

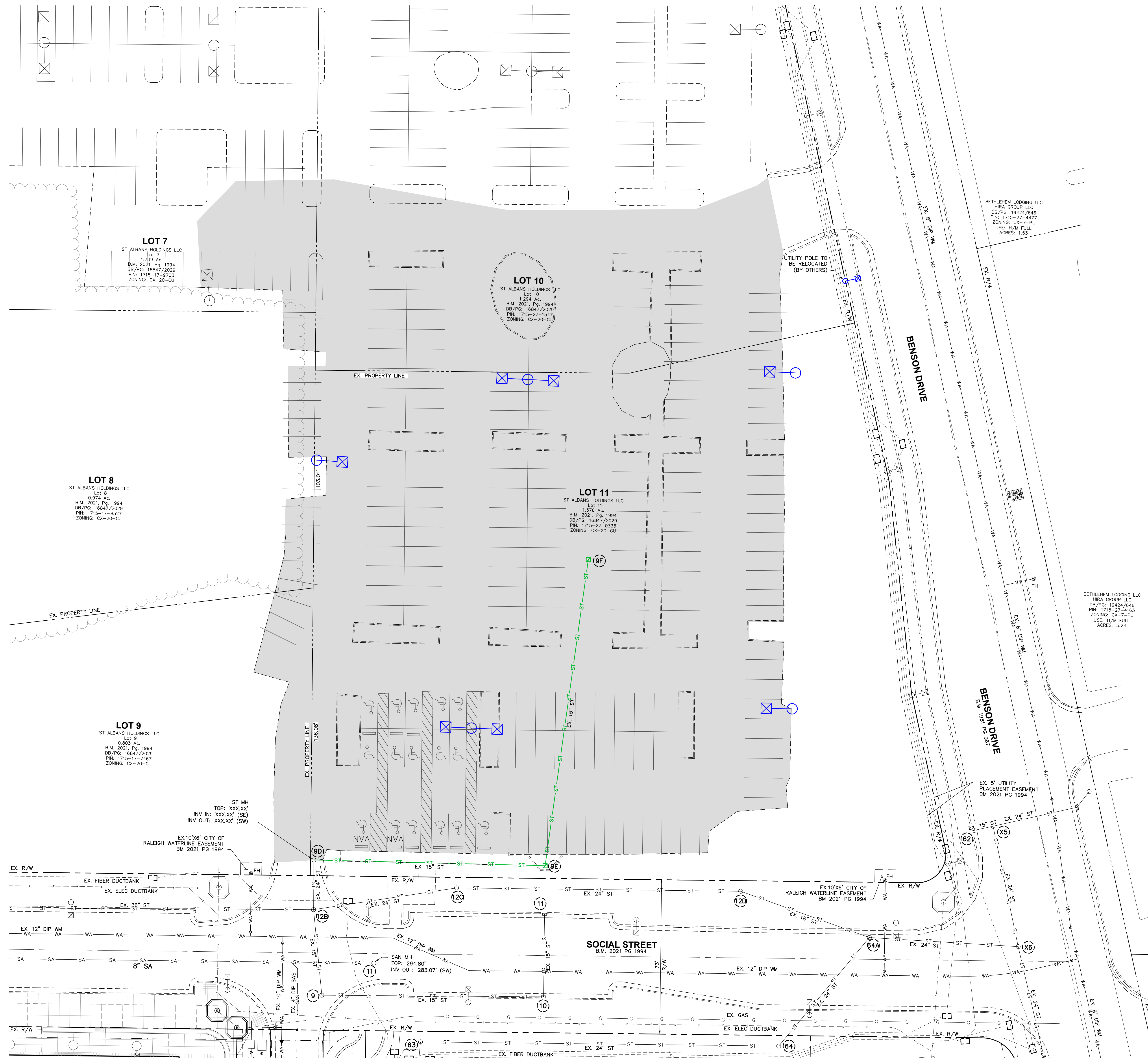
- EXISTING ZONING OF PROPERTY IS CX-20-CU.
- BOUNDARY INFORMATION PROVIDED BY ADVANCED CIVIL DESIGN, INC.
- TOPOGRAPHIC SURVEY PROVIDED BY ADVANCED CIVIL DESIGN, INC.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORDED DRAWINGS. LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM LOCATION HEREON.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITIES PRIOR TO ANY CONSTRUCTION.
- EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE AND MINIMUM CLEARING OF LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD ZONE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 372017500K WITH AN EFFECTIVE DATE OF JULY 19, 2022, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.



NOT ISSUED FOR CONSTRUCTION



- EXISTING CONDITIONS LEGEND**
- Iron Pipe Found
 - Iron Pin Set
 - ▲ Railroad Spike
 - ⊗ Light Pole
 - ⊕ Mailbox
 - ⊖ Traverse Point
 - ⊗ FK Set
 - ⊗ CATV Pedestal
 - ⊗ Sign
 - ⊗ Gas Valve
 - ⊗ Pole Elec
 - ⊗ Pole Elec Tele
 - Fence Line
 - Edge of Pavement
 - WA --- WA --- Underground Water Line
 - OHE --- Overhead Electric Line
 - ST --- ST --- Storm Sewer Line
 - SA --- SA --- Sanitary Sewer Line
 - Ex. Property Line
 - Ex. Right-of-Way
 - Ex. Easement Line
 - Setback
 - 225 --- Ex. Major Contour(s)
 - 225 --- Ex. Minor Contour(s)
 - G --- G --- Underground Gas
 - FO --- Underground Fiber Optic
 - E --- Underground Electric
 - OHE --- Overhead Electric

- DEMOLITION LEGEND**
- TBR = TO BE REMOVED
- EX. CATCH BASIN (TBR)
 - EX. STORMLINE (TBR)
 - ⊗ EX. LIGHT POLE TO BE REMOVED
 - LIMITS OF PARKING DEMO

LOT 7
ST ALBANS HOLDINGS LLC
Lot 7
0.714 Ac.
B.M. 2021, Pg. 1994
DB/PG: 18847/2029
PIN: 1715-17-4703
ZONING: CX-20-CU

LOT 10
ST ALBANS HOLDINGS LLC
Lot 10
1.294 Ac.
B.M. 2021, Pg. 1994
DB/PG: 18847/2029
PIN: 1715-27-1547
ZONING: CX-20-CU

LOT 8
ST ALBANS HOLDINGS LLC
Lot 8
0.974 Ac.
B.M. 2021, Pg. 1994
DB/PG: 18847/2029
PIN: 1715-17-4827
ZONING: CX-20-CU

LOT 11
ST ALBANS HOLDINGS LLC
Lot 11
3.576 Ac.
B.M. 2021, Pg. 1994
DB/PG: 18847/2029
PIN: 1715-27-0335
ZONING: CX-20-CU

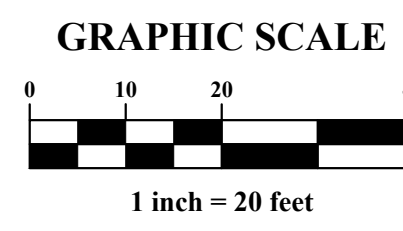
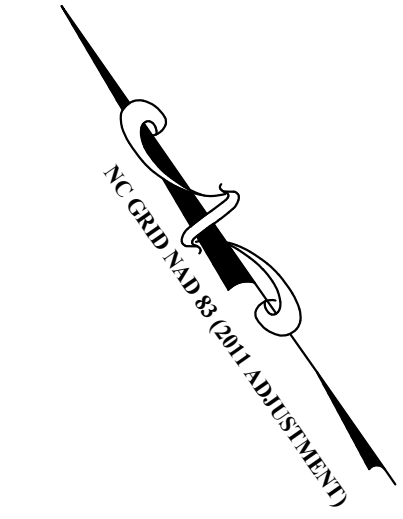
LOT 9
ST ALBANS HOLDINGS LLC
Lot 9
0.803 Ac.
B.M. 2021, Pg. 1994
DB/PG: 18847/2029
PIN: 1715-17-7467
ZONING: CX-20-CU

ST MH
TOP: XXX.XX'
INV IN: XXX.XX' (SE)
INV OUT: XXX.XX' (SW)

EX. 10'x6' CITY OF
RALEIGH WATERLINE EASEMENT
B.M. 2021 PG 1994

SOCIAL STREET
B.M. 2021 PG 1994

EX. 10'x6' CITY OF
RALEIGH WATERLINE EASEMENT
B.M. 2021 PG 1994



PLAN PREPARED FOR:



51 Kilmayne Drive
Suite 102
Cary, North Carolina 27511
ph 919.481.6290
fax 919.356.5127

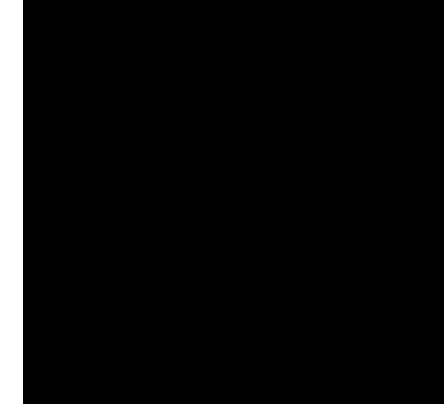
ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

PRINTED

Rev #	Date	Issue/Revision
	3/19/24	ASR #1

Date: 03/19/2024
Scale: 1" = 20'

Drawn By: [Redacted] Checked By: [Redacted]

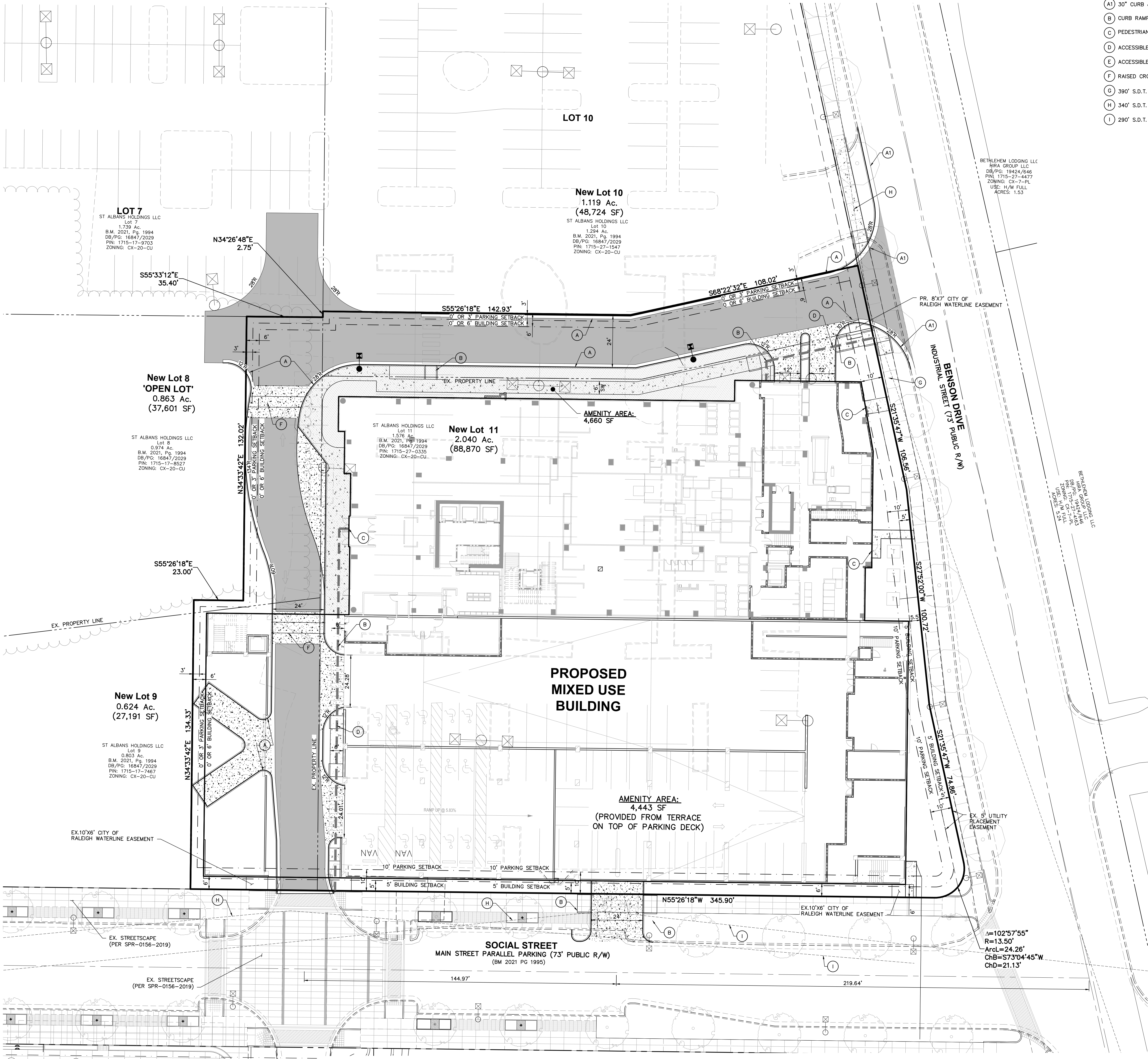


DEMOLITION PLAN
LIFE TIME LIVING RESIDENTIAL
RALEIGH, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW

COMMISSION NO: 24-0019-742
DRAWING NO:

C.2.0

NOT ISSUED FOR CONSTRUCTION



CODED NOTE

- (A) 24" CURB & GUTTER
- (AI) 30" CURB & GUTTER
- (B) CURB RAMP
- (C) PEDESTRIAN ENTRANCE
- (D) ACCESSIBLE PATH
- (E) ACCESSIBLE PARKING SIGN
- (F) RAISED CROSSWALK
- (G) 390' S.D.T.
- (H) 340' S.D.T.
- (I) 290' S.D.T.

SITE DATA TABLE

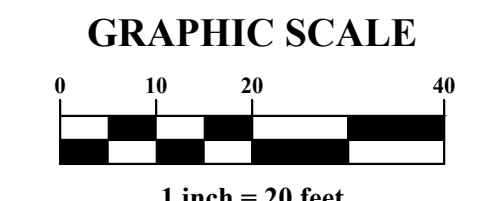
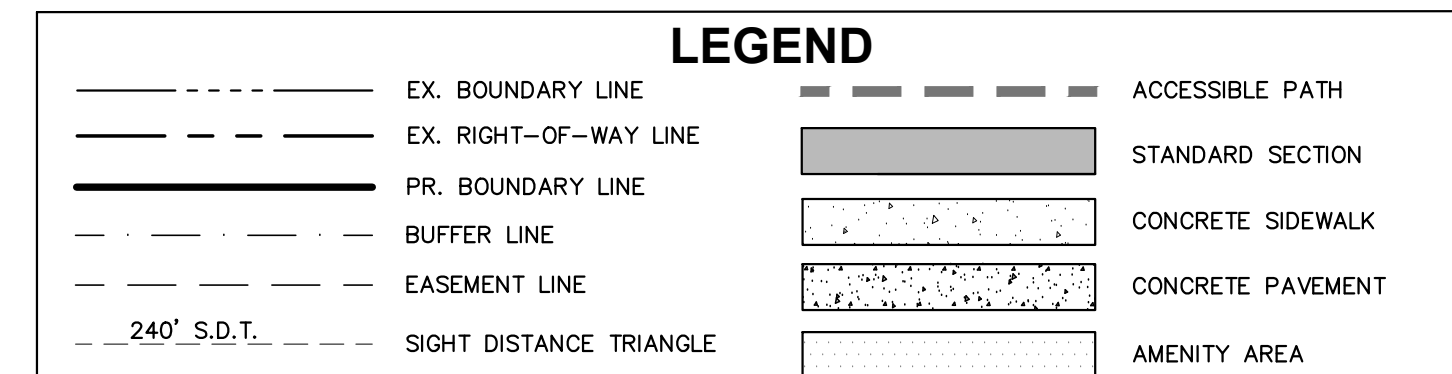
PROPERTY INFORMATION:		1747379686
PIN:		
ADDRESS:		1021 SOCIAL STREET
TOTAL SITE AREA:		2,040/88,870 ACRES/SF
ZONING INFORMATION:		
EXISTING ZONING:		CX-20-CU (COMMERCIAL MIXED USE-20 STORIES-CONDITIONAL USE)
CUD CASE NUMBER:		TCZ-16-23
DEVELOPMENT INFORMATION:		
FRONTAGE TYPE:		N/A
EXISTING USE:		EXISTING SURFACE PARKING MIXED-USE
PROPOSED USE:		
PROPOSED BUILDING USES:		
LEVEL 1:		HEALTH CLUB, LOBBY
LEVEL 2-3:		HEALTH CLUB
LEVEL 4:		HEALTH CLUB, APARTMENT
LEVEL 5-18:		APARTMENT
EXISTING BUILDING AREA:		N/A
PROPOSED BUILDING AREA:		75,404 SF (INTERIOR SPACE)
HEALTH CLUB		3,500 SF
RESTAURANT/BAR		337,230 SF
MULTI-UNIT LIVING		220,038 SF
PROPOSED PARKING AREA:		
TOTAL GROSS FLOOR AREA:		632,672 SF
UNIT BREAKDOWN:		
1-BR UNITS:		133
2-BR UNITS:		97
2-BR (PENTHOUSE) UNITS:		11
TOTAL UNITS:		241
BUILDING HEIGHT: (20 STORIES MAX)		241' (18 STORIES)
MIXED-USE BUILDING		75'-8" (6 LEVELS)
PARKING DECK		
PRIMARY STREET:		BENSON DRIVE
BUILDING SETBACKS:		STREET- 5' SIDE - 0' OR 6' REAR - 0' OR 6'
REQUIRED BUILD-TO PER Z-13-16:		
PRIMARY STREET (BENSON)		50% 0'-80' FROM R/W
SIDE STREET (SOCIAL)		20% 0'-80' FROM R/W
PROVIDED BUILD-TO:		
PRIMARY STREET (BENSON)		228/281 = 81.1%
SIDE STREET (SOCIAL)		326/345 = 94.5%
PARKING SETBACKS:		STREET- 10' SIDE - 0' OR 3' REAR - 0' OR 3'
IMPERVIOUS AREA CALCULATIONS:		
EX. IMPERVIOUS AREA:		1.300/56,620 ACRES/SF
PR. IMPERVIOUS AREA:		1.833/79,838 ACRES/SF
SITE COVERAGE:		1.833/2,040 = 89.9%
FLOOD HAZARD AREA:		NO, FEMA MAP PANEL #372171500J
REQUIRED AMENITY AREA:		2.040 AC * 10% = 0.204 (8,887 SF)
PROVIDED AMENITY AREA:		
BUILDING TERRACE		0.102 AC (4,443 SF)
SITE		0.108 AC (4,690 SF)
TOTAL		0.210 AC (9,133 SF)
PARKING CALCULATIONS:		
MAX PARKING ALLOWED (HEALTHCLUB)		$\frac{1}{200} SF = \frac{75404}{200} = 377$ SPACES MAX
MAX PARKING ALLOWED (RESTAURANT/BAR)		$\frac{1}{100} SF = \frac{337230}{100} = 337$ SPACES MAX
MAX PARKING ALLOWED (MULTI-UNIT LIVING)		$\frac{1.5(1BR)+2.25(2BR)+3(3BR)}{1.5(133)+2.25(97)} = \frac{441}{1.5(133)+2.25(97)} = 441$ SPACES MAX
TOTAL MAX PARKING ALLOWED		853 SPACES MAX
TOTAL PROPOSED PARKING		706 SPACES
ACCESSIBLE PARKING:		
REQUIRED ACCESSIBLE PARKING:		2% OF TOTAL PARKING = 02(690) = 13.8 => 14
TOTAL PROVIDED ACCESSIBLE PARKING:		16 SPACES
PROVIDED STANDARD ACCESSIBLE SPACES:		669 SPACES
REQUIRED VAN PARKING SPACES:		$\frac{1}{4}$ REQUIRED ACCESSIBLE PARKING = 3.5 (14 SPACES) = 2.33 => 3
PROVIDED VAN PARKING SPACES:		3
COMPACT PARKING:		
PROVIDED:		9 SPACES
ELECTRIC CAR CHARGING SPACES		
REQUIRED ELECTRIC CAR		$\frac{100000 SF}{100000 SF} = \frac{75404}{100000} \times 2 = 1.6 + \frac{100000 SF}{100000 SF} = \frac{337230}{100000} \times 2 = 4.8$
CHARGING STATION PER Z-13-16		1.6 + 4.8 = 6.3 => 7 SPACES
PROVIDED ELECTRIC CAR CHARGING STATION		12 SPACES
BICYCLE CALCULATIONS:		
SHORT TERM BICYCLE PARKING		
REQUIRED (HEALTH CLUB)		$\frac{3000 SF}{3000 SF} = \frac{75404}{3000} = 25$ SPACES
REQUIRED (RESTAURANT/BAR)		$\frac{2000 SF}{2000 SF} = \frac{337230}{2000} = 168$ SPACES
REQUIRED (MULTI-UNIT LIVING)		$\frac{2000 SF}{2000 SF} = \frac{220038}{2000} = 110$ SPACES
REQUIRED SHORT TERM (TOTAL)		25 SPACES
PROVIDED SHORT TERM BICYCLE PARKING		40 (WALL RACKS INSIDE BLDG)
LONG TERM BICYCLE PARKING		
REQUIRED (HEALTH CLUB)		NONE
REQUIRED (RESTAURANT/BAR)		$\frac{25000 SF}{25000 SF} = \frac{337230}{25000} = 13$ SPACES
REQUIRED (MULTI-UNIT LIVING)		$\frac{25000 SF}{25000 SF} = \frac{220038}{25000} = 8$ SPACES
REQUIRED LONG TERM (TOTAL)		13 SPACES
PROVIDED LONG TERM BICYCLE PARKING		83 (WALL RACKS INSIDE BLDG)

SITE PLAN NOTES

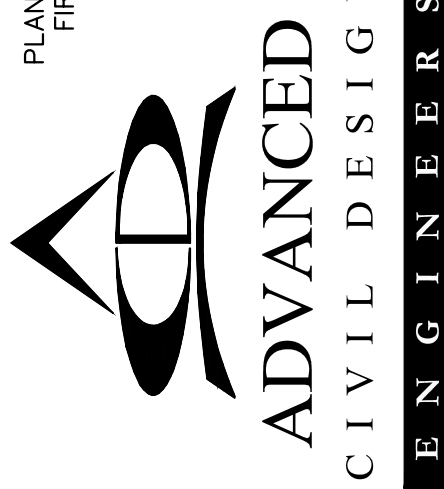
ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 ALL DIMENSIONS AND RADI ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND ALL PRIVATE PAVEMENT MARKING SHALL BE WHITE UNLESS OTHERWISE NOTED.
 WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURBLINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.
 THESE PLANS ARE FOR PRELIMINARY PURPOSES AND IS NOT INTENDED AS A FINAL DESIGN.
 THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
 HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CURRENT RALEIGH ENGINEERING STANDARD DRAWING STANDARDS.
 NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREEDWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

Existing Site Data Table				
Owner:	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC
Address:	3410 Skygarden Way	1001 Social St	1020 St Albans Dr	1021 Social St
PIN #:	1721-69-7242	1715-17-7467	1715-27-1547	1715-27-0335
Tract data:	D.B. 18847, Pg. 2029	D.B. 18847, Pg. 2029	D.B. 18847, Pg. 2029	D.B. 18847, Pg. 2029
Map Data:	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216
Lot #:	(Lot 8)	(Lot 9)	(Lot 10)	Total
Lot Area (square feet):	42,421	34,963	56,345	68,658
Lot Area (acres):	0.974	0.803	1.294	3.070

Proposed Site Data Table		
	Acres	Square Feet
New Lot 8 Area	0.863	37,601
New Lot 9 Area	0.624	27,191
New Lot 10 Area	1.119	48,724
New Lot 11 Area	2.040	88,870
Total Area (On-site)	1.119	48,724



51 Kilmoyne Drive
 Suite 102
 Cary, North Carolina 27511
 ph 919.481.6290
 fax 919.356.5127



PRINTED

Rev #	Date	Issue/Revision
3/19/24		ASR #1

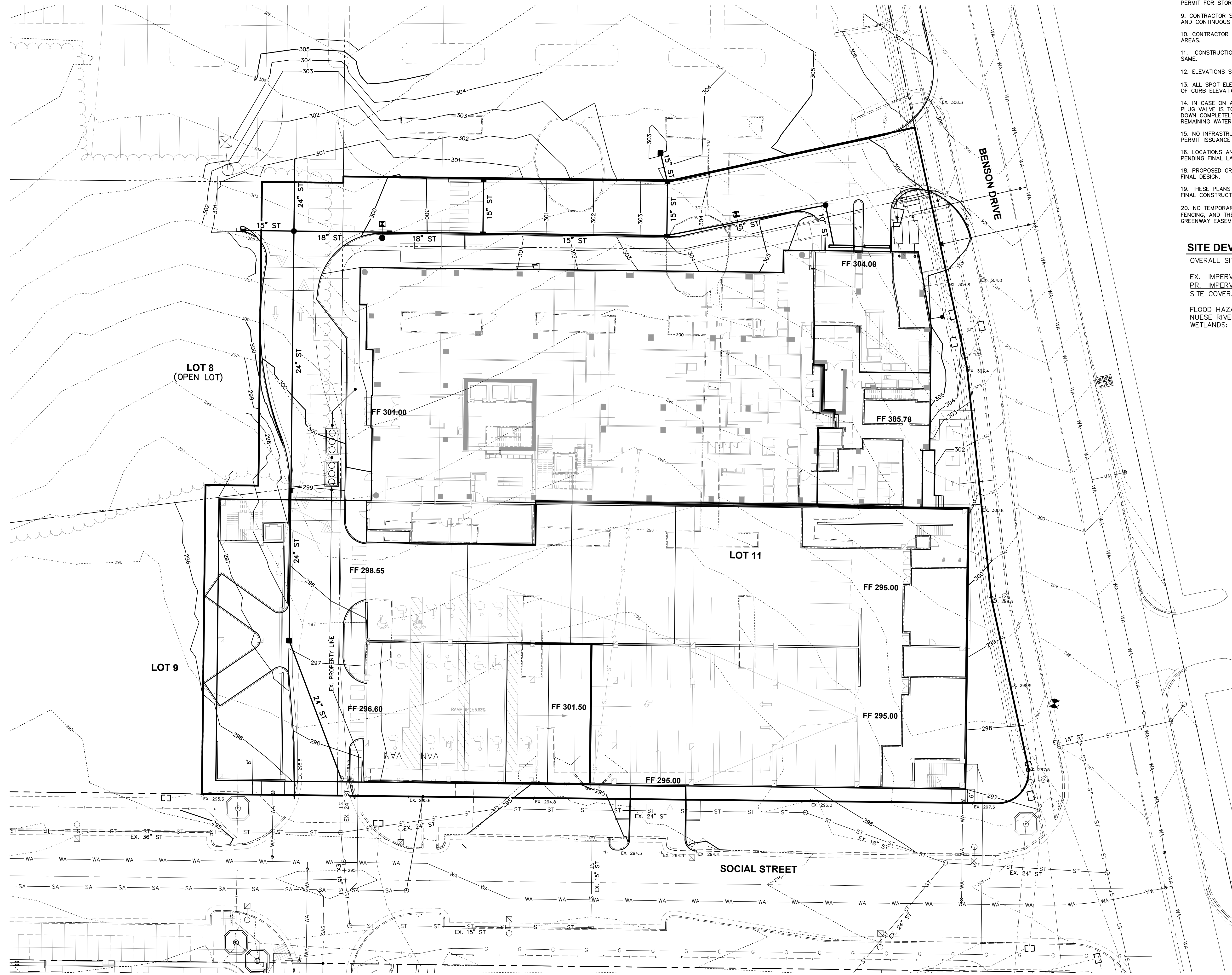
Date: 03/19/2024
 Scale: 1" = 20'

Drawn By: JLB Checked By: JWB

LIFE TIME LIVING RESIDENTIAL
RALEIGH, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW

COMMISSION NO: 24-0019-742
 DRAWING NO:
C.3.0

NOT ISSUED FOR CONSTRUCTION



STANDARD GRADING NOTES (AS APPLICABLE)

1. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION.
2. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
3. EXISTING GRADES BY SEPARATE PLAN CONTOURS SHOWN AT 1 FOOT INTERVALS.
4. PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. ALL STORM SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
7. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS, LIDS SHALL BE LABELED "STORM SEWER".
8. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
9. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
11. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
12. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
13. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS T.O.C. TOP OF CASTING ELEVATIONS DENOTED AS T.O.C.A.
14. IN CASE OF AN EMERGENCY OR MAINTENANCE RELATED ISSUES WITH THE POND, THE HAND WHEEL AND PLUG VALVE IS TO BE USED TO DRAW DOWN THE POND AS MUCH AS POSSIBLE. IF POND IS TO BE DRAWN DOWN COMPLETELY, OWNER IS TO COORDINATE WITH CONTRACTOR TO BRING IN PUMP TO PUMP OUT REMAINING WATER.
15. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH ENGINEERING DEPARTMENT.
16. LOCATIONS AND SIZES SHOWN FOR STORMWATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
17. PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN.
18. THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
19. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

SITE DEVELOPMENT DATA

OVERALL SITE AREA:	2.040/88,870 ACRES/SF
EX. IMPERVIOUS AREA:	1.300/56,620 ACRES/SF
PR. IMPERVIOUS AREA:	1.833/79,838 ACRES/SF
SITE COVERAGE:	1.833/2,040 = 89.9%
FLOOD HAZARD AREA:	NO, FEMA MAP PANEL #3720171500K
NUSESE RIVER BUFFER:	NO
WETLANDS:	NO

LEGEND

	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER MAIN
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	LIMITS OF DISTURBANCE
	PROPOSED CONTOUR
	EXISTING CONTOUR
	SURFACE FLOW ARROW
	EXISTING GROUND ELEVATION
	EXISTING TOP CASTING
	PROPOSED GROUND ELEVATION
	PROPOSED TOP OF CURB
	PROPOSED TOP CASTING



PLAN PREPARED FOR:
FIRM # C-2798

51 Kilmoyre Drive
Suite 102
Cary, North Carolina 27511
ph 919.481.6290
fax 919.556.5127

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

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	3/19/24	ASR #1

Date: 03/19/2024
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Drawn By: JLB
Checked By: JDW

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GRADING PLAN

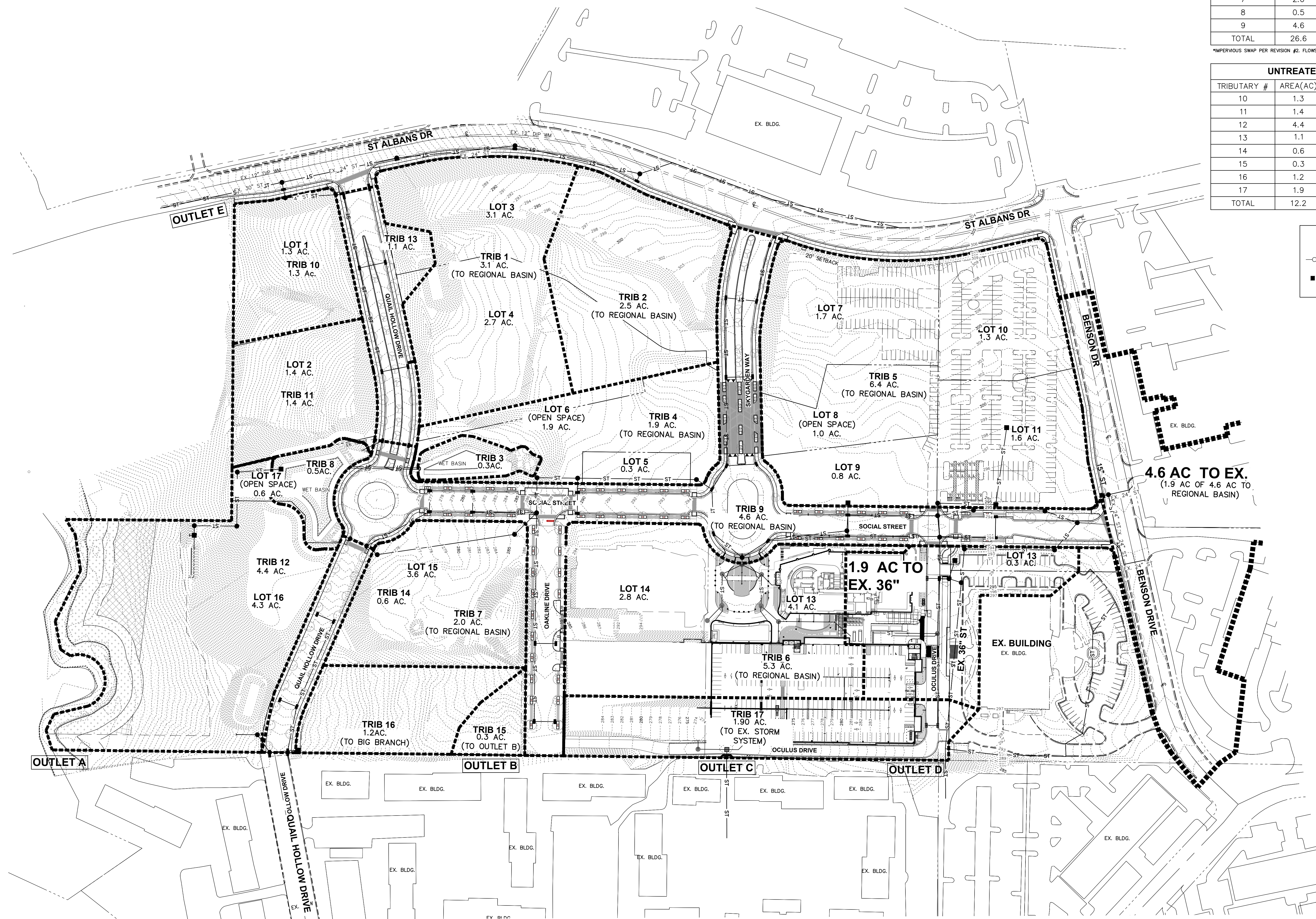
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RALEIGH, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW

COMMISSION NO: 24-0019-742
DRAWING NO:

C.4.0



WET BASIN TRIBUTARY AREA TABLE			
TRIBUTARY #	AREA(AC)	IMPERVIOUS(AC)	PERCENTAGE (%)
1	3.1	2.8	90
2	2.5	2.2	88
3	0.3	0.1	33
4	1.9	0.8	42
5	6.4	4.99	78
6*	5.3	5.0	94
7	2.0	1.8	90
8	0.5	0.35	70
9	4.6	3.85	84
TOTAL	26.6	21.89	82

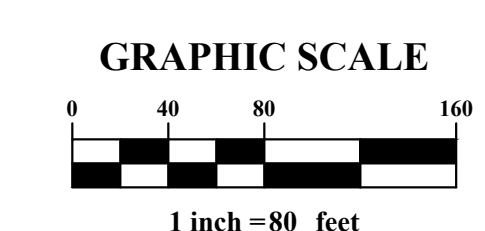
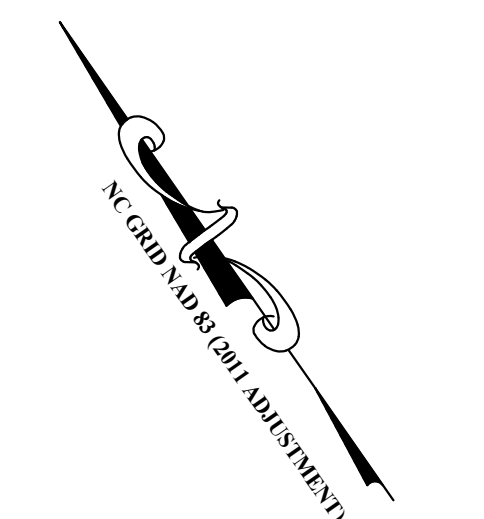
UNTREATED AREA TABLE			
TRIBUTARY #	AREA(AC)	IMPERVIOUS(AC)	PERCENTAGE (%)
10	1.3	1.0	77
11	1.4	1.1	79
12	4.4	1.4	32
13	1.1	1.0	90
14	0.6	0.5	83
15	0.3	0.0	0
16	1.2	0.0	0
17	1.9	1.6	84
TOTAL	12.2	6.6	54

LEGEND

— EX. 12" ST — EXISTING STORM SEWER
 ——— TRIBUTARY AREA LINE

4.6 AC TO EX.
 (1.9 AC OF 4.6 AC TO REGIONAL BASIN)

1.9 AC TO EX. 36"



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PRE-DEVELOPMENT STORMWATER PLAN

LIFE TIME LIVING RESIDENTIAL

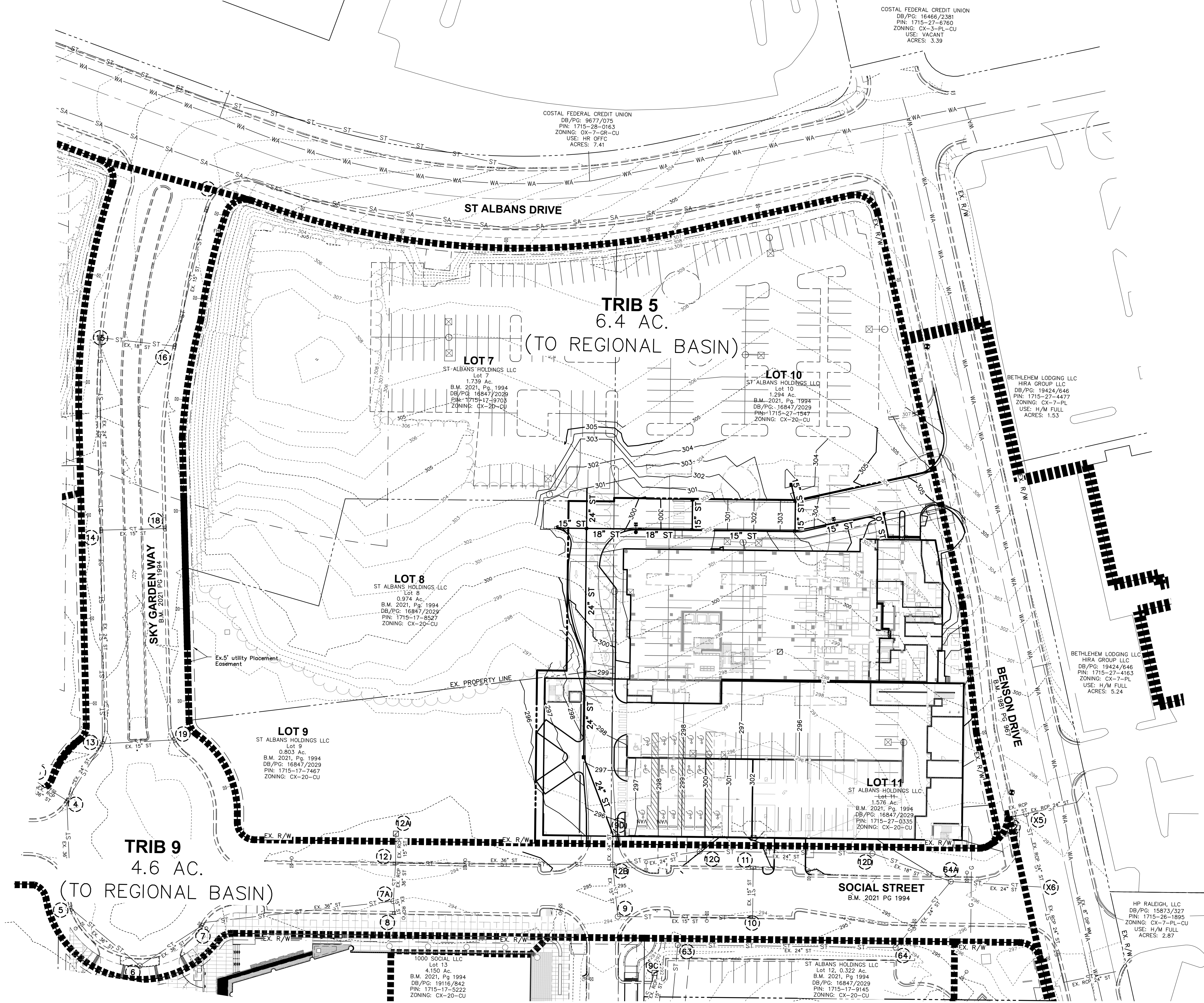
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LEGEND

- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- LIMITS OF DISTURBANCE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED TRIBUTARY AREA
- EXISTING TRIBUTARY AREA
- SURFACE FLOW ARROW
- EXISTING GROUND ELEVATION
- PROPOSED TOP CASTING
- PROPOSED TOP OF CURB
- PROPOSED TOP CASTING
- PROPOSED IMPERVIOUS AREA

PLAN PREPARED FOR:
FIRM # C-2798

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Rational Method	Pre-Development Peak Runoff Rate (cfs) Outlet A
2- year:	19.30
10- year:	41.93
25- year:	52.79
100-year:	72.56

TC = 15.2 MIN, CN = 74

Rational Method	Post-Development Peak Runoff Rate (cfs)
2- year:	18.73
10- year:	36.53
25- year:	43.73
100-year:	56.69

TC = 15.0 MIN, CN = 72

GRAPHIC SCALE

0 20 40 80
1 inch = 40 feet

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POST-DEVELOPED STORMWATER PLAN

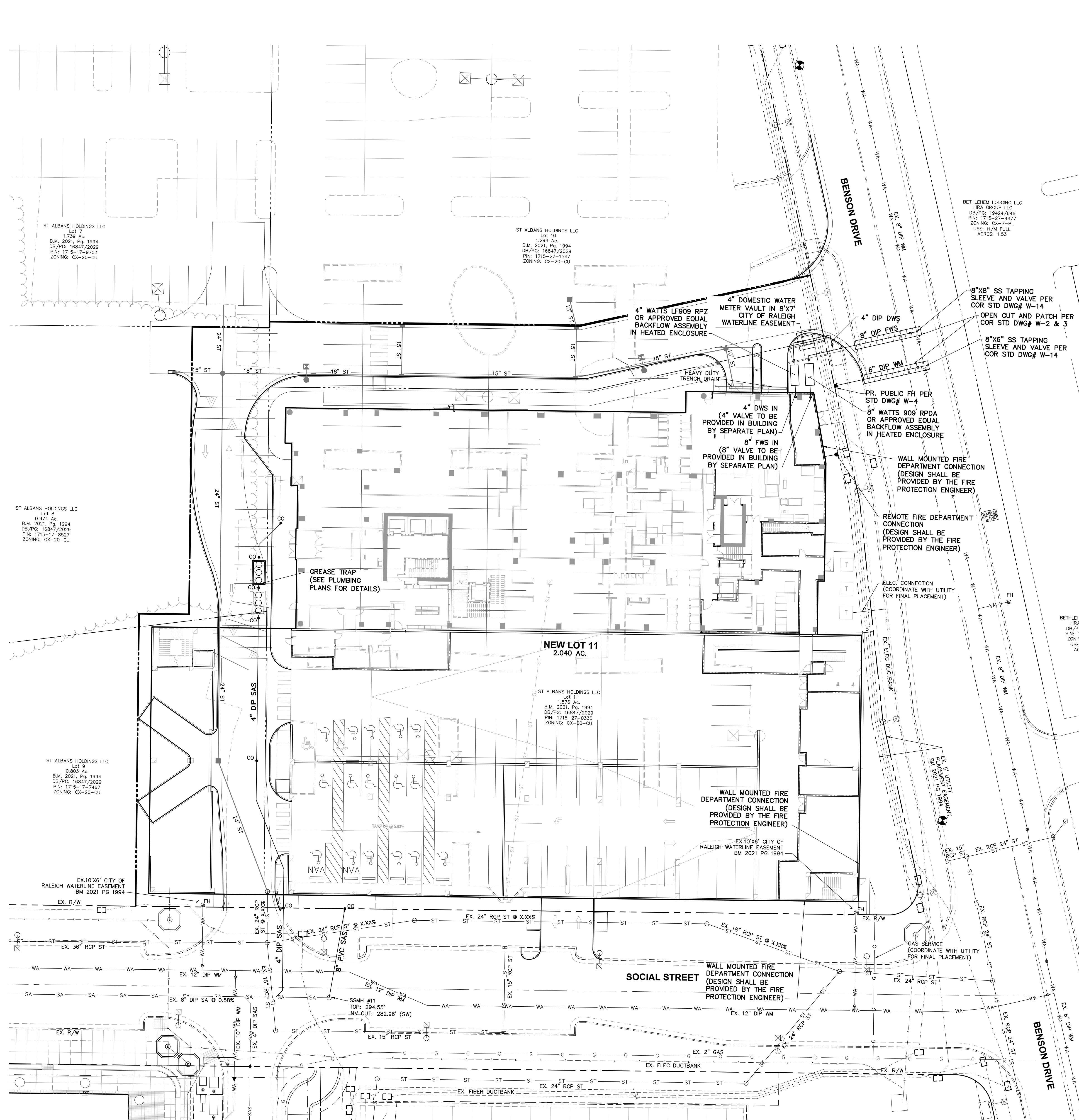
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ADMINISTRATIVE SITE REVIEW

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LEGEND	
MH 12" STM CB	PROPOSED STORM SEWER
SAN SERV. 8" SAN	PROPOSED SANITARY SEWER
WATER SERV. 8" WM WV	PROPOSED WATER MAIN
EX. 12" STM CB	EXISTING STORM SEWER
EX. 8" SAN SERV. 8" SAN	EXISTING SANITARY SEWER
EX. 8" WM WV	EXISTING WATER MAIN
G	UNDERGROUND GAS
FO	UNDERGROUND FIBER OPTIC
E	UNDERGROUND ELECTRIC
OHE	OVERHEAD ELECTRIC

- STANDARD UTILITY NOTES (AS APPLICABLE):**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
 - Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 18" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
 - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
 - Developer shall provide 30 days advance written notice to owner for any work required within an existing City of Raleigh Utility Easement traversing private property.
 - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
 - 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains.
 - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning top at main & removal of service from ROW or easement per CORPUD Handbook procedure.
 - Install 1.5" - 2" copper water services with meters located at ROW or within a 2'x2' Watertight Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
 - Install 6" PVC sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
 - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
 - All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
 - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
 - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOD Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverley at (919) 996-2334 or stephen.calverley@raleighnc.gov for more information.
 - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. A Certificate of Compliance shall also be obtained for each device prior to issuance of a Building Permit. Contact Jonnie Hartley at (919) 996-5923 or jonnie.hartley@raleighnc.gov for more information.

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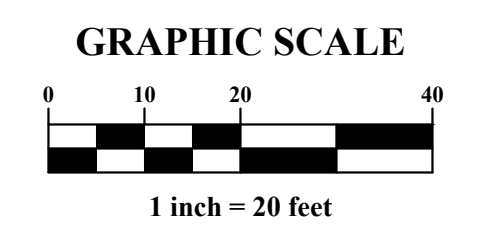
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ENGINEERS SURVEYORS

DATE: 03/19/2024
SCALE: 1" = 20'

Drawn By: JLB
Checked By: JDW

UTILITY PLAN
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COMMISSION NO: 24-0019-742
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C.6.0



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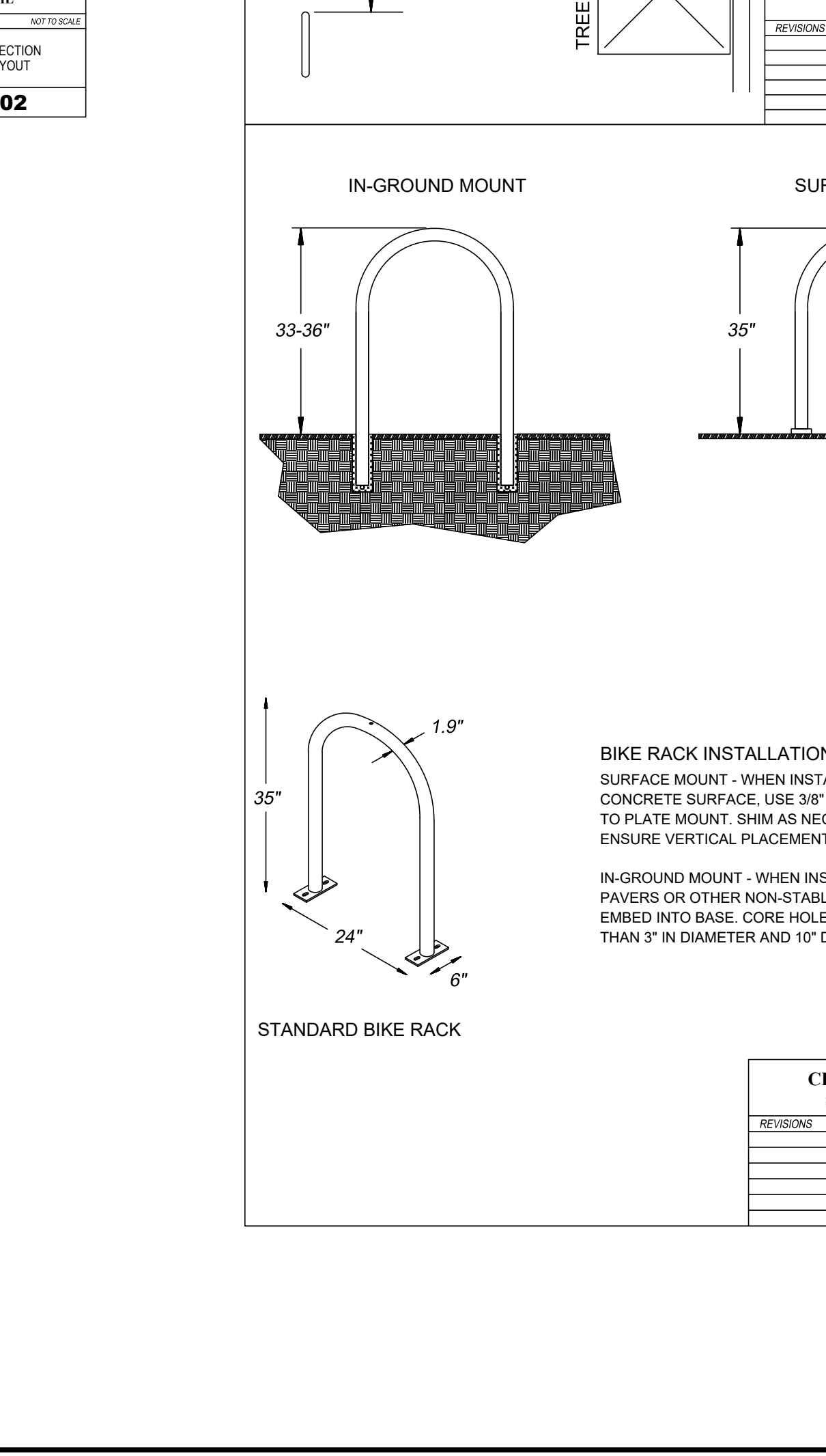
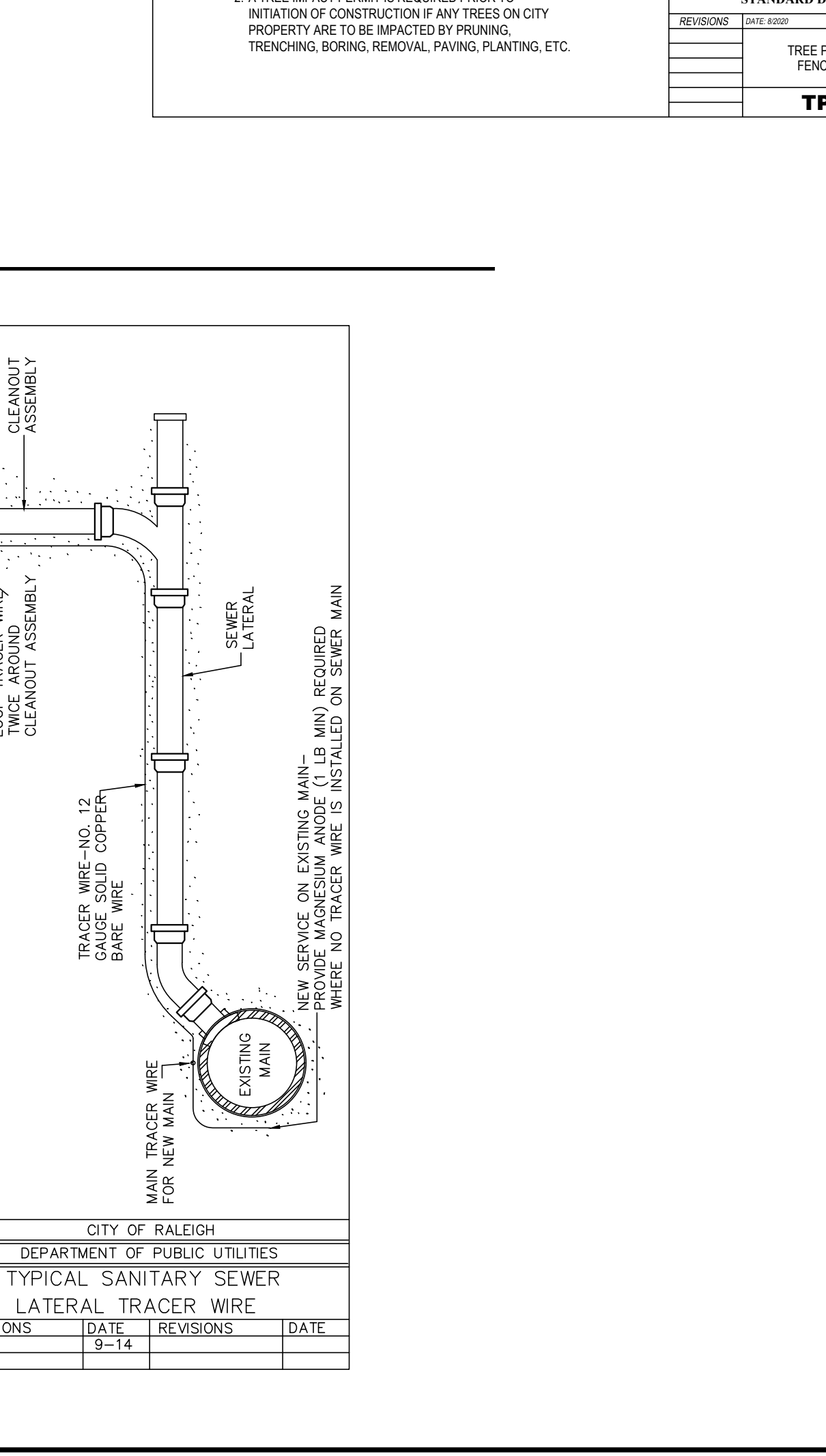
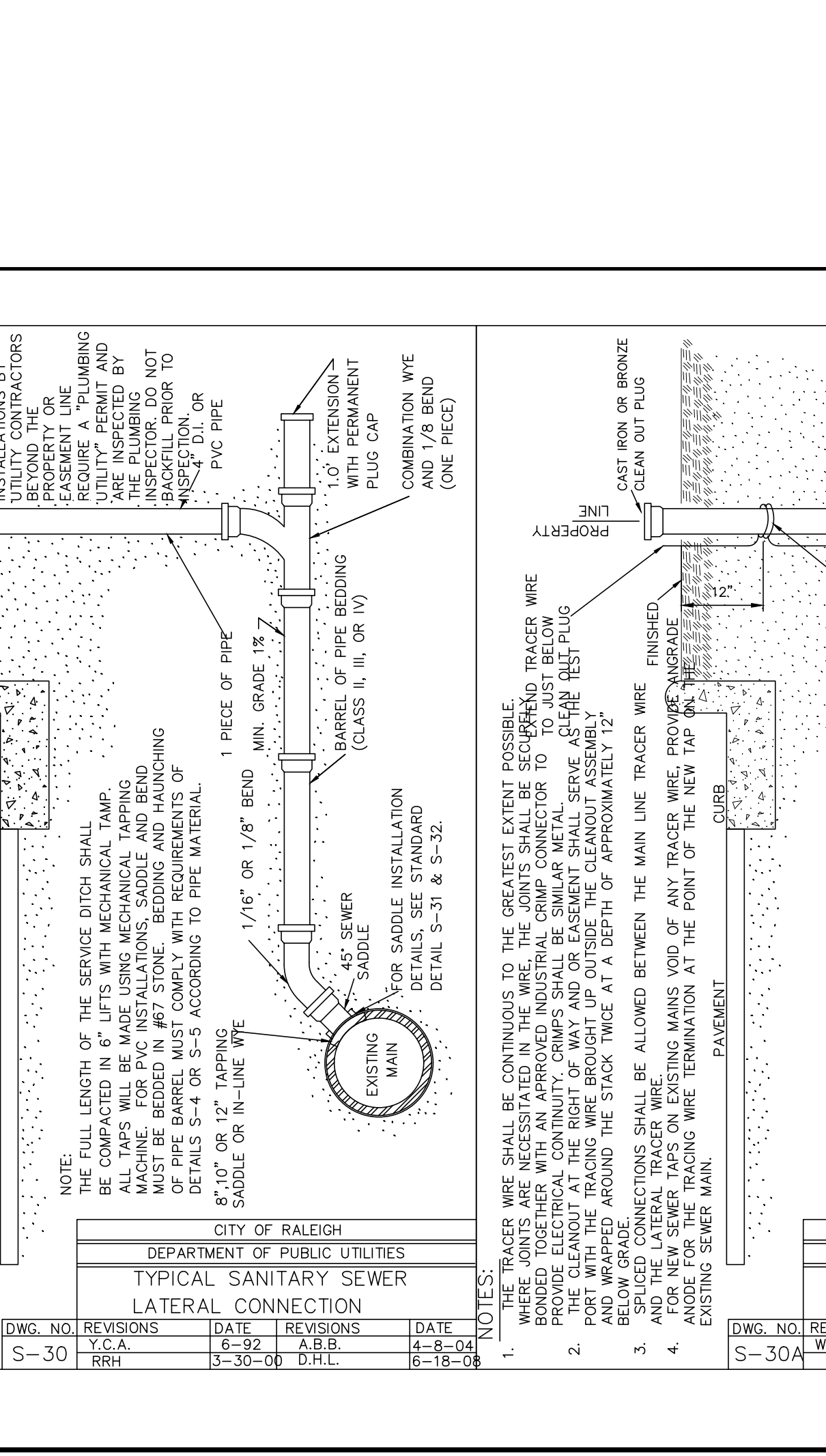
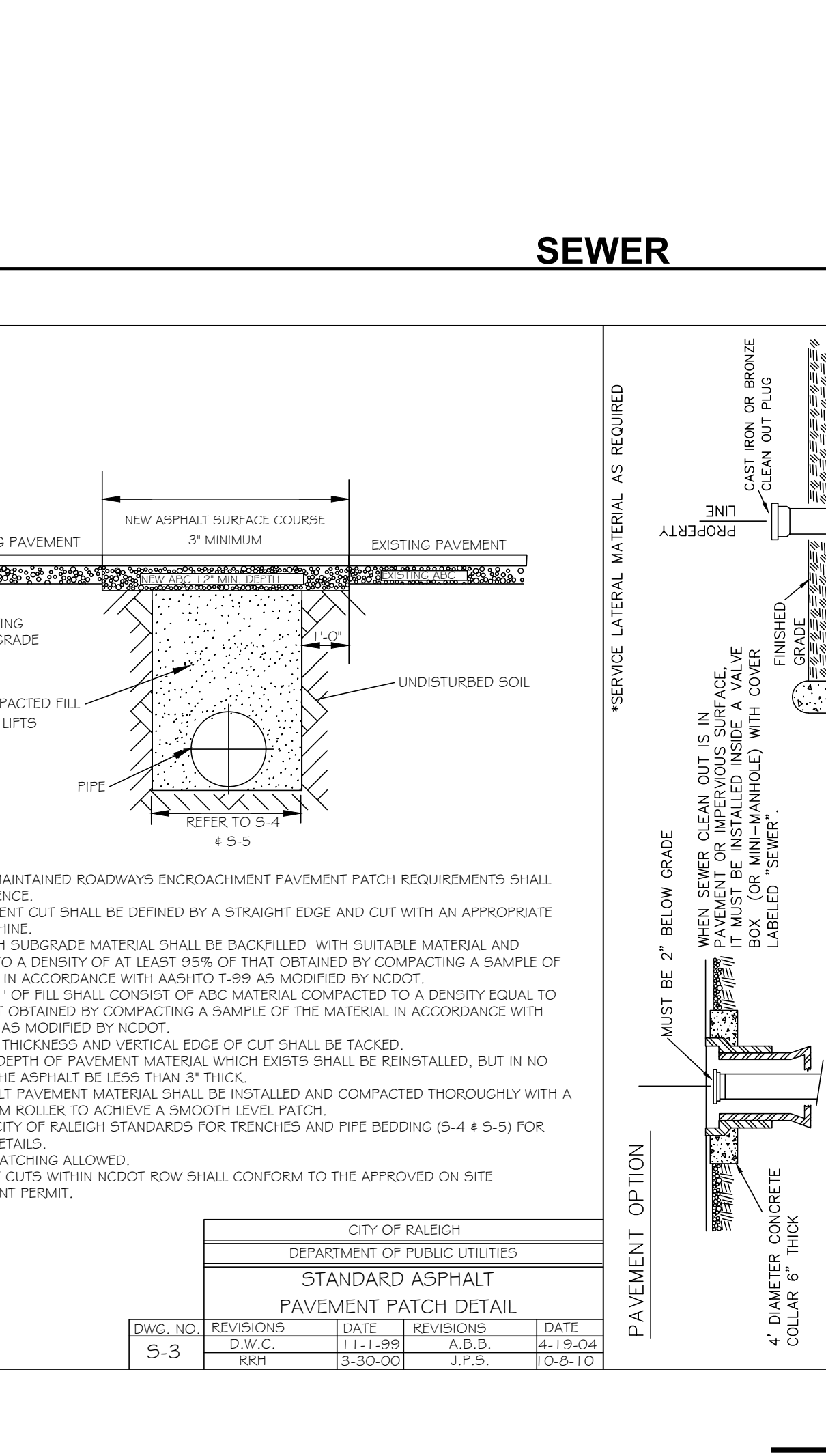
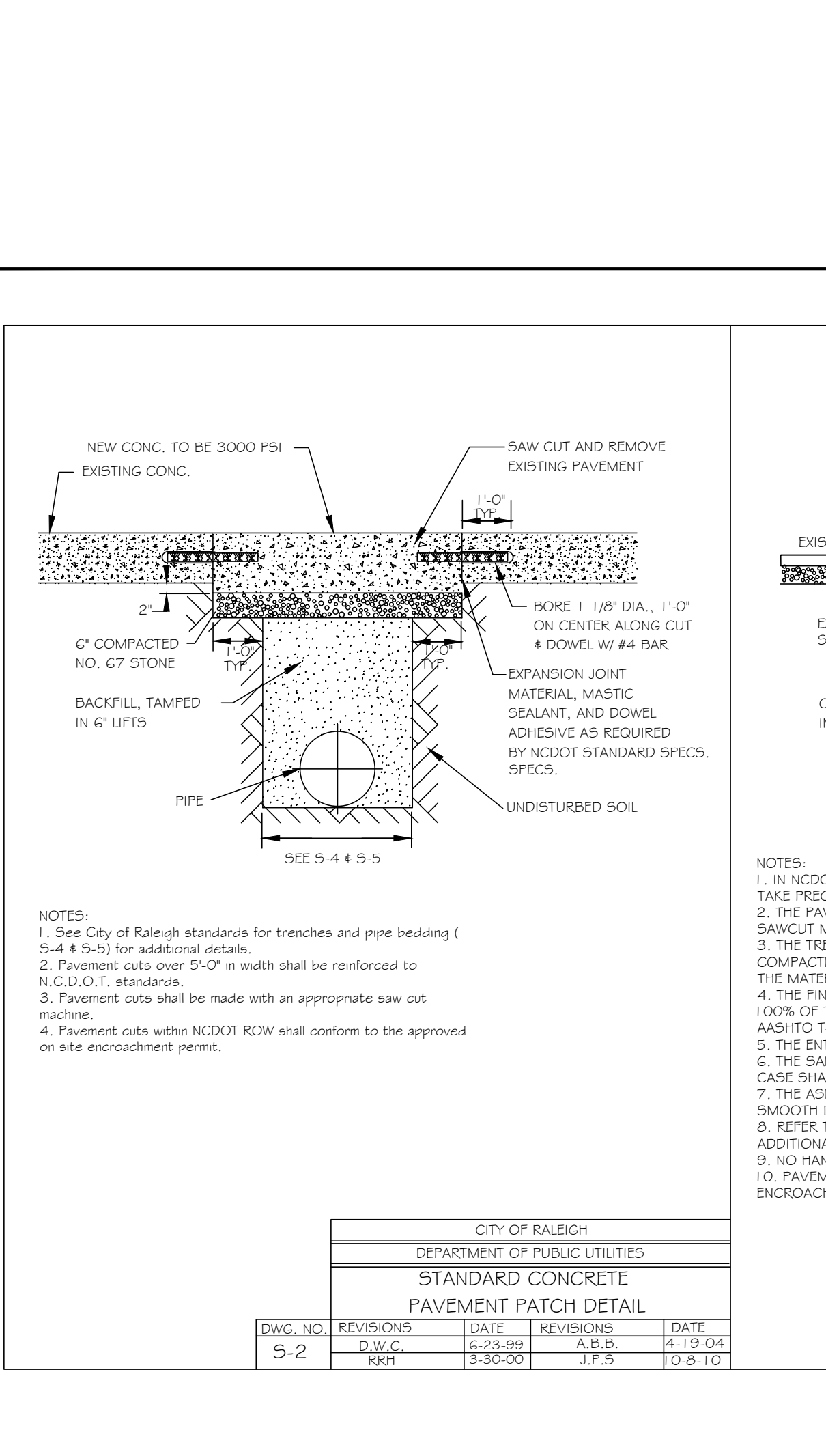
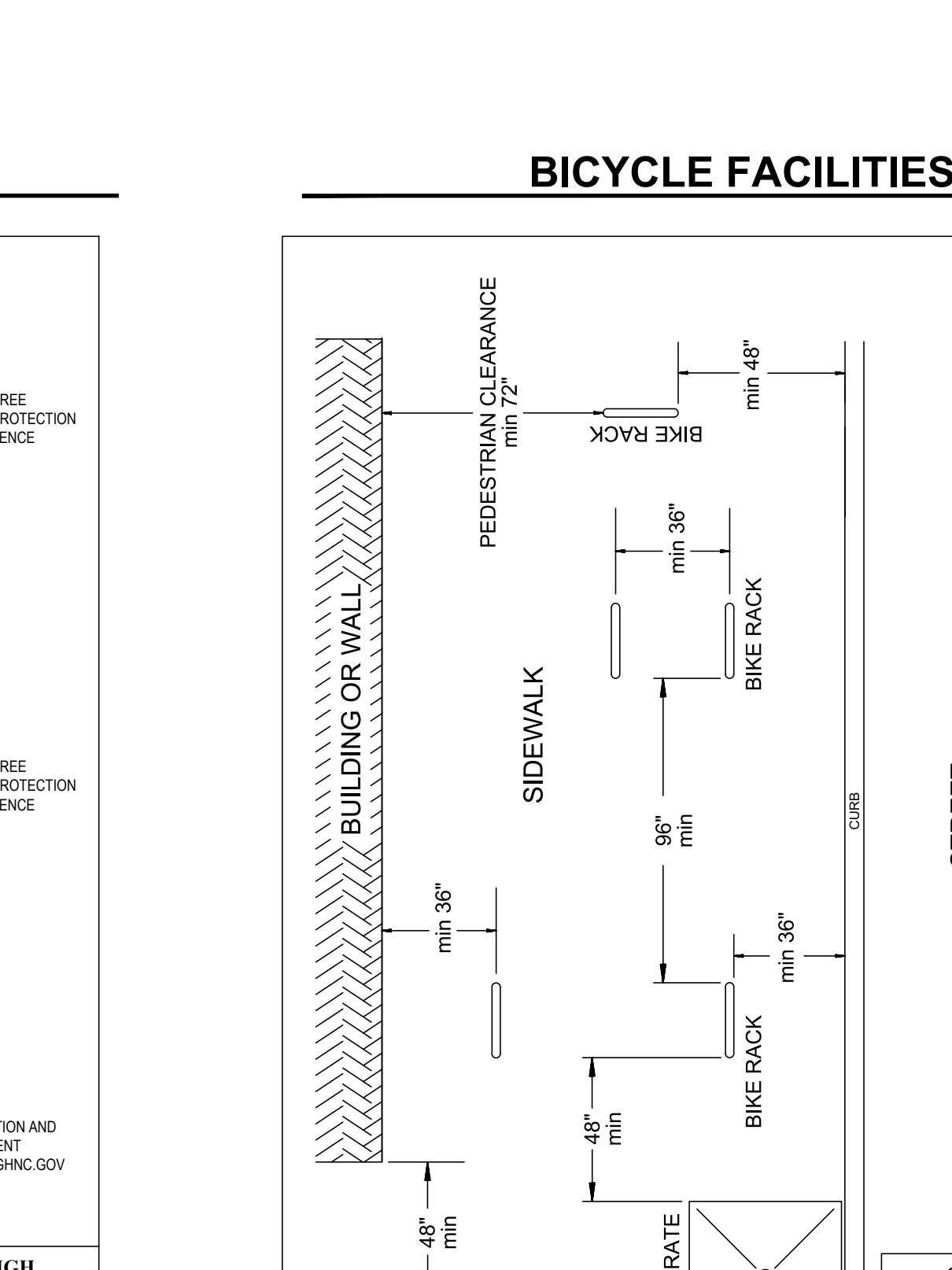
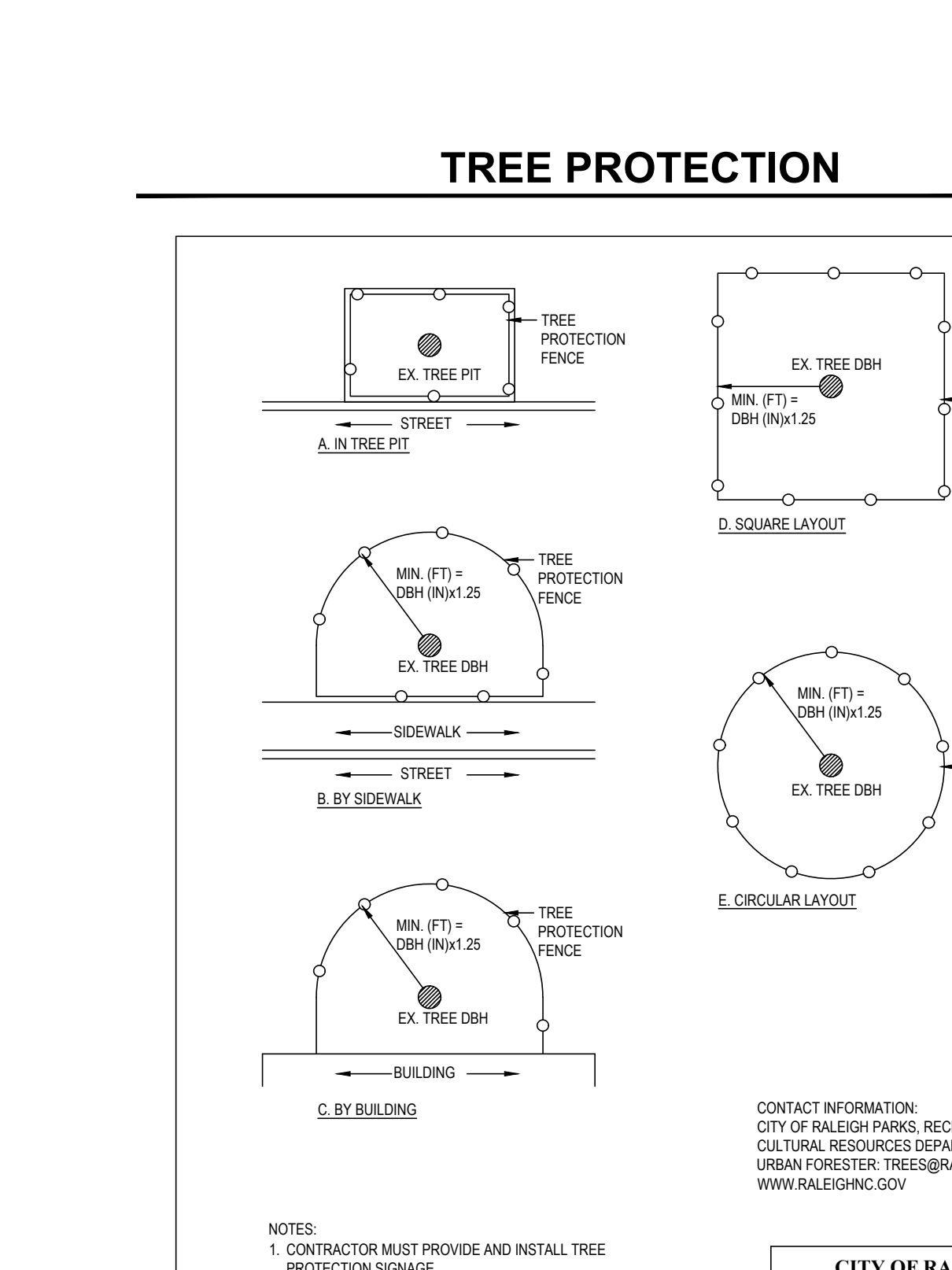
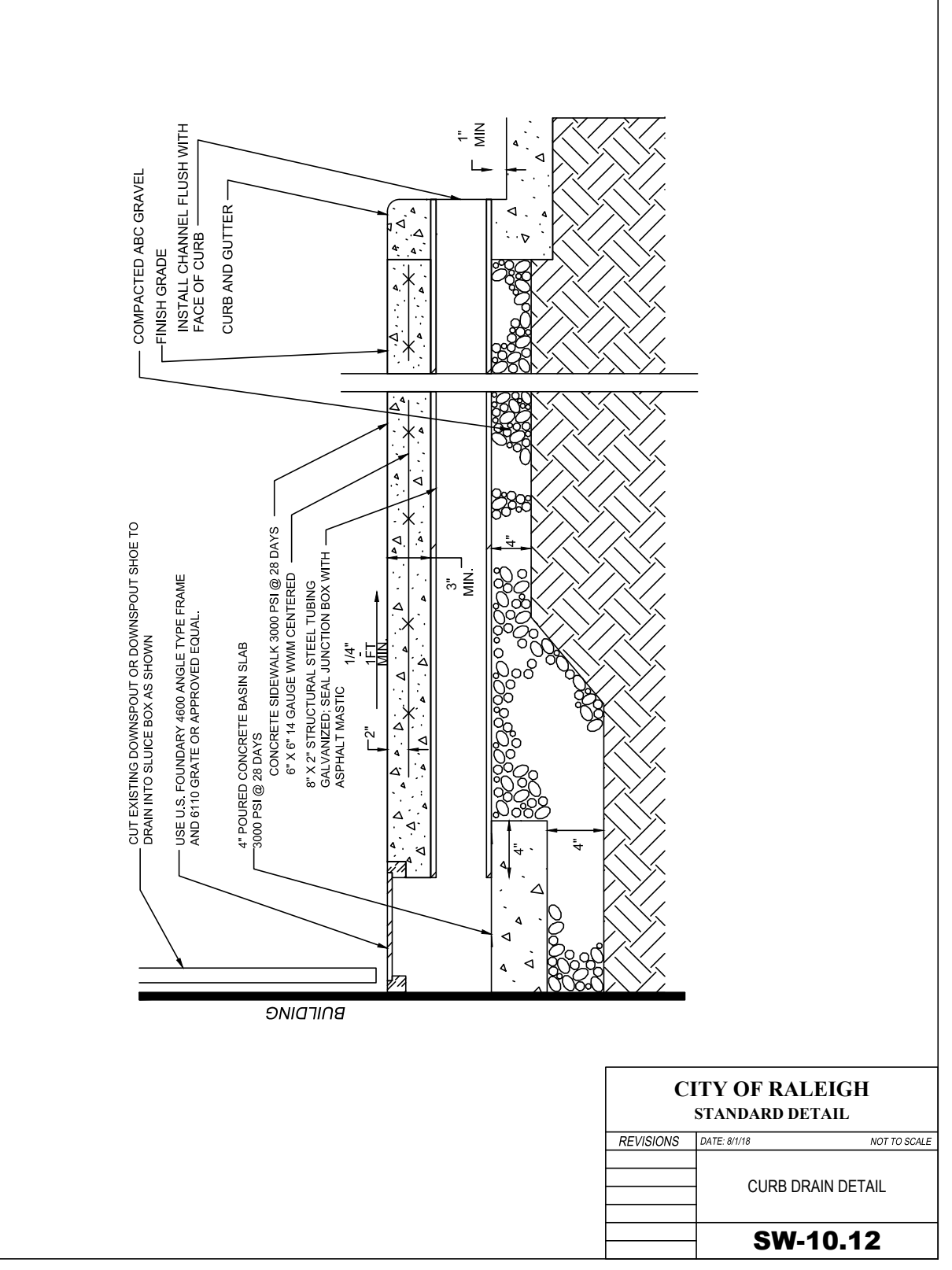
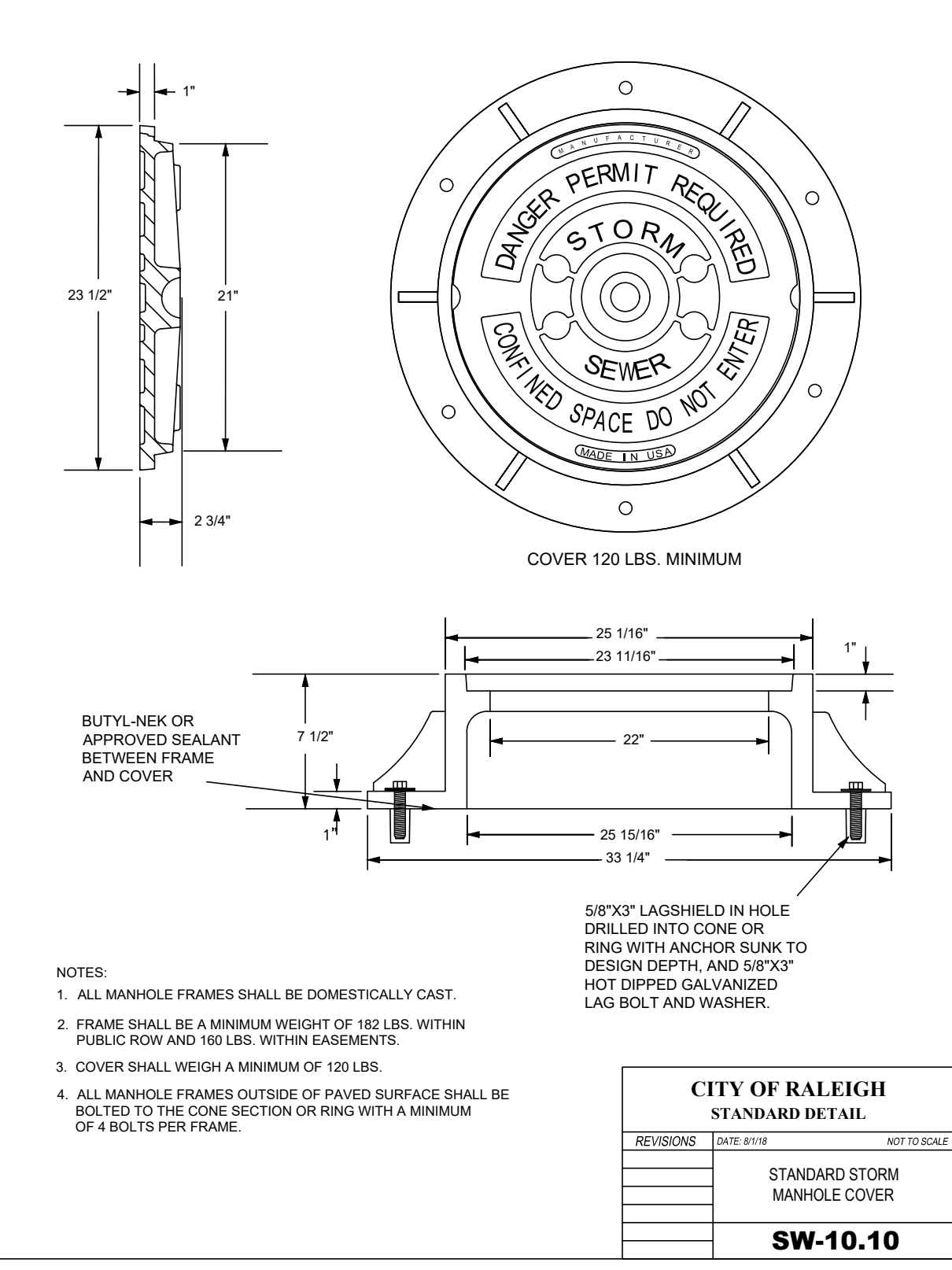
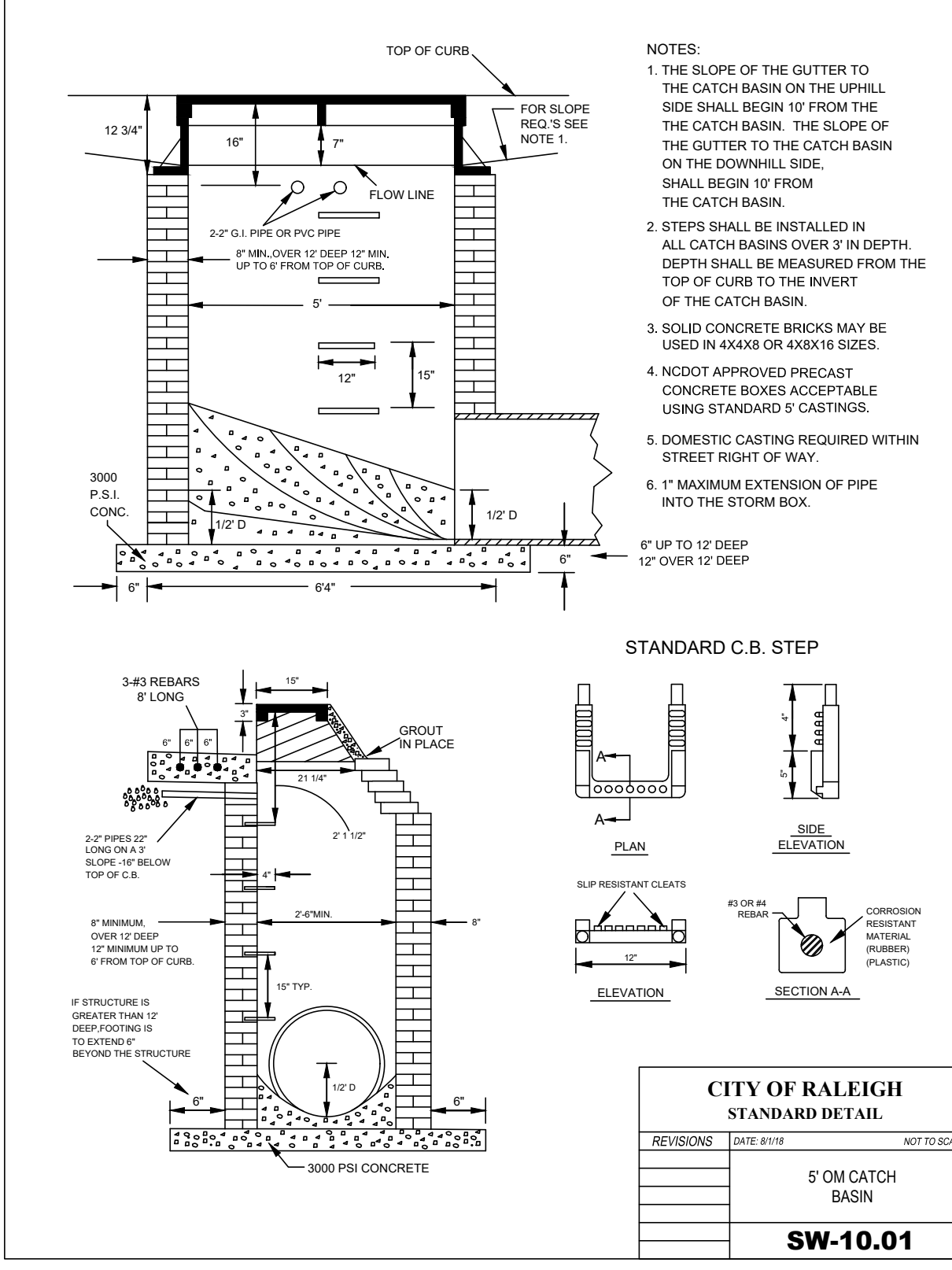
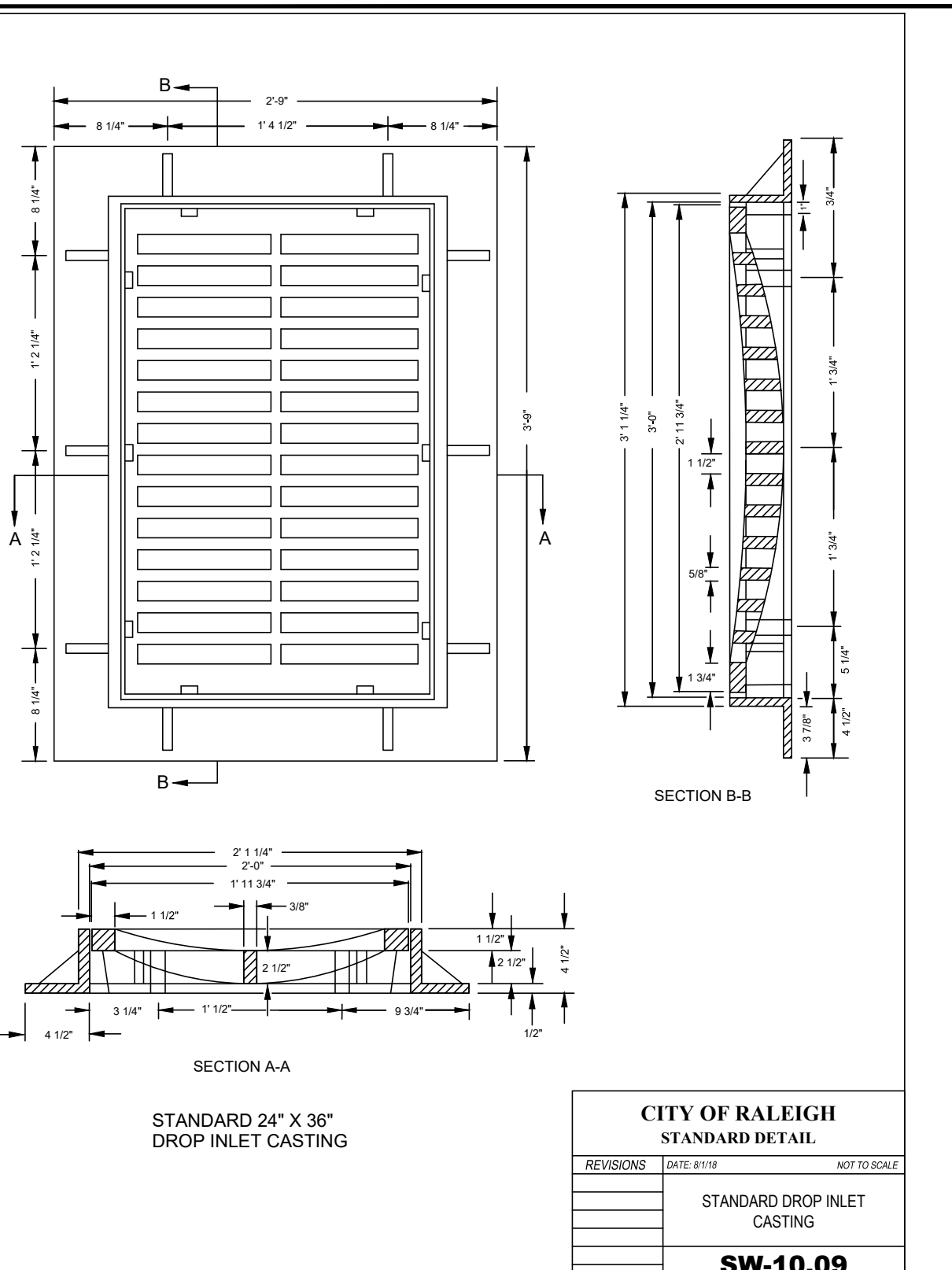
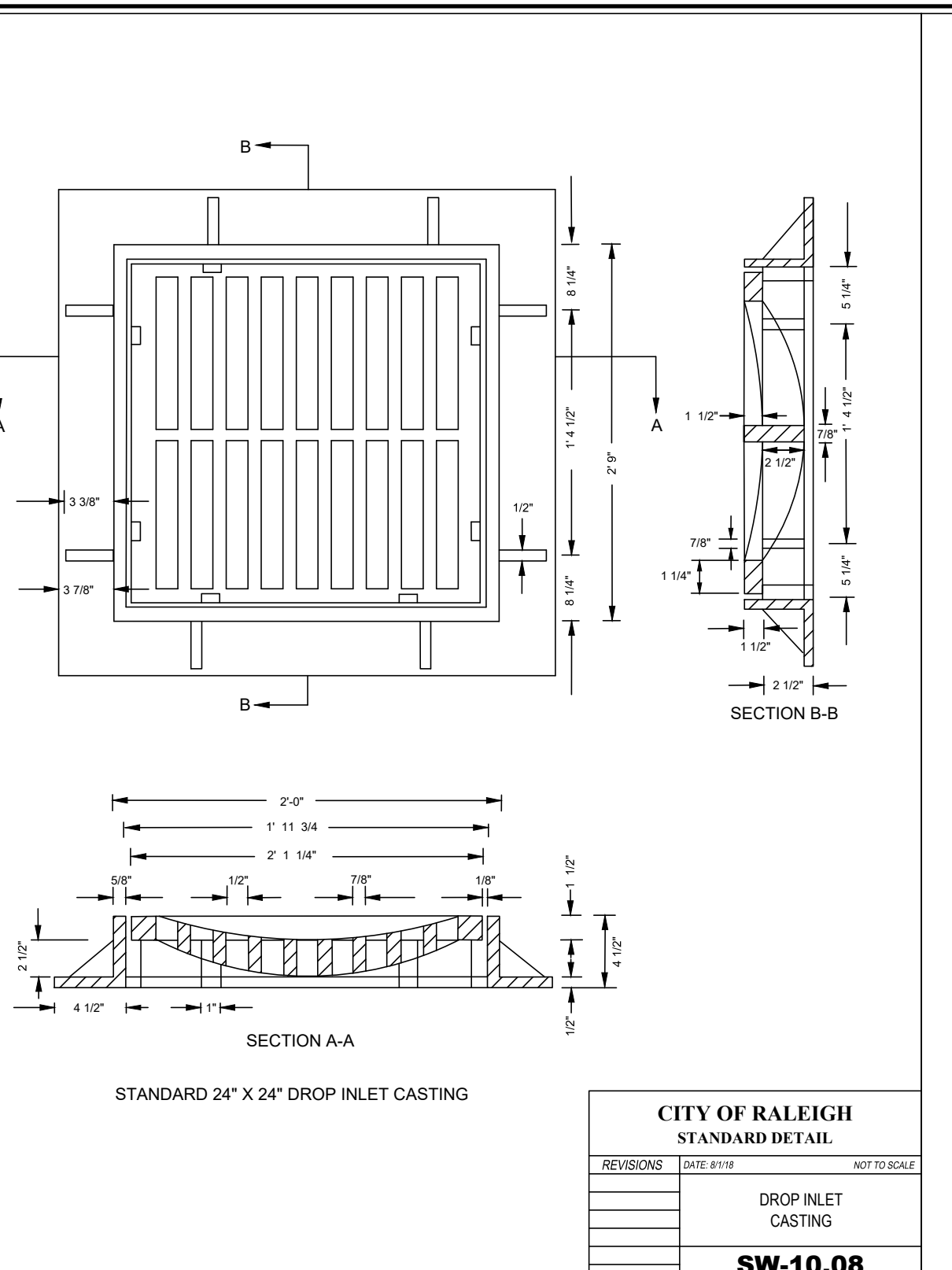
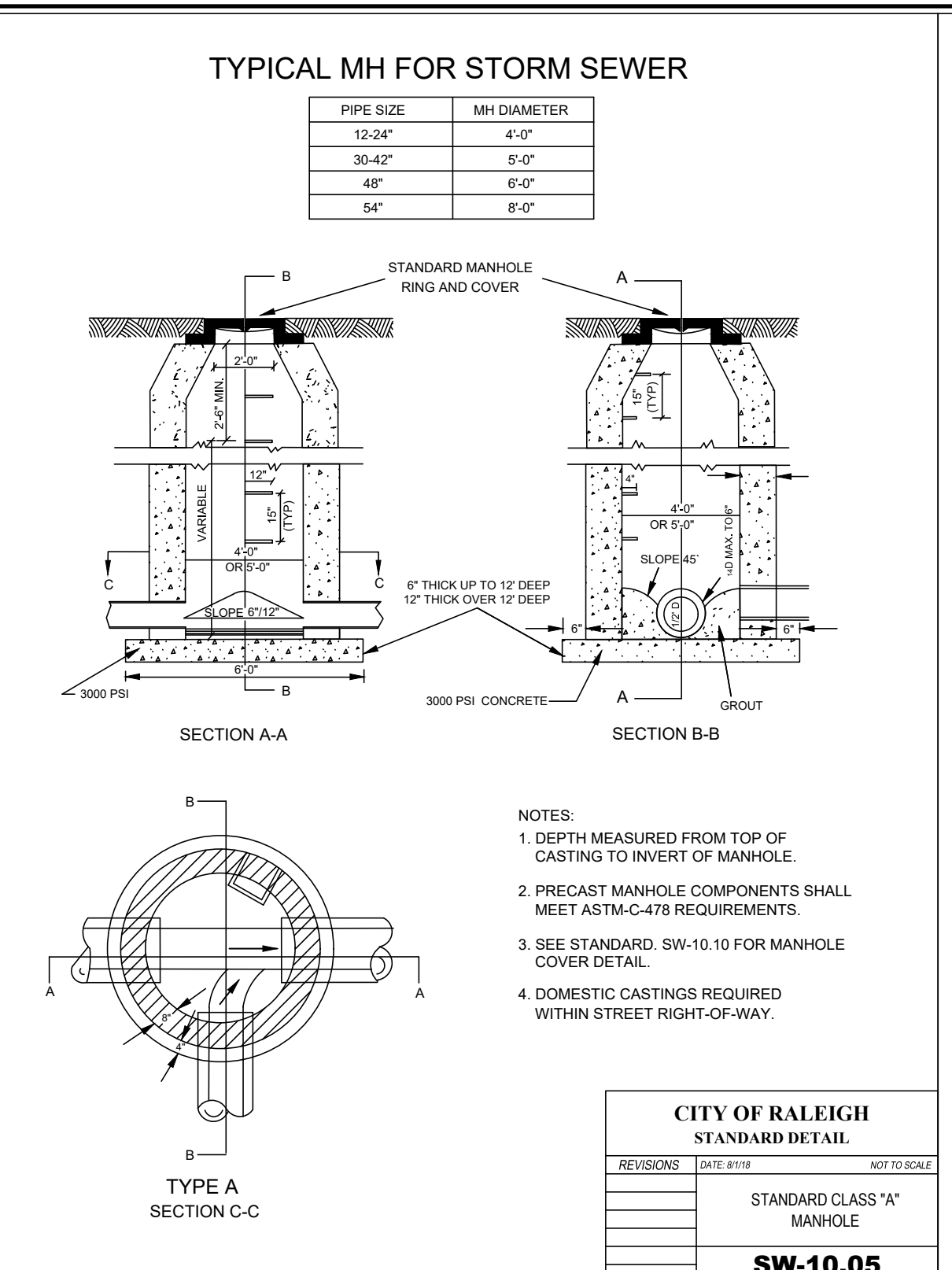
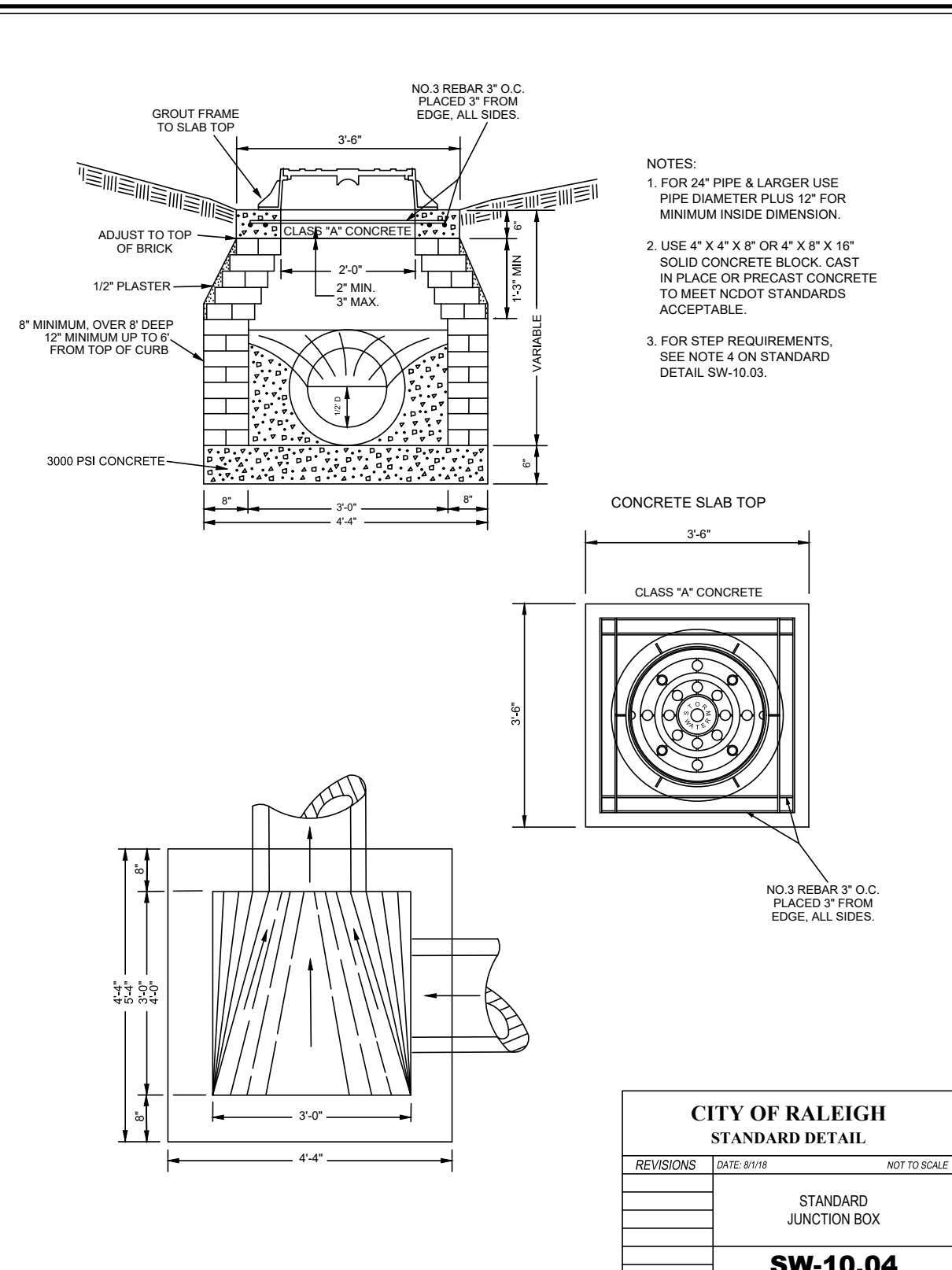
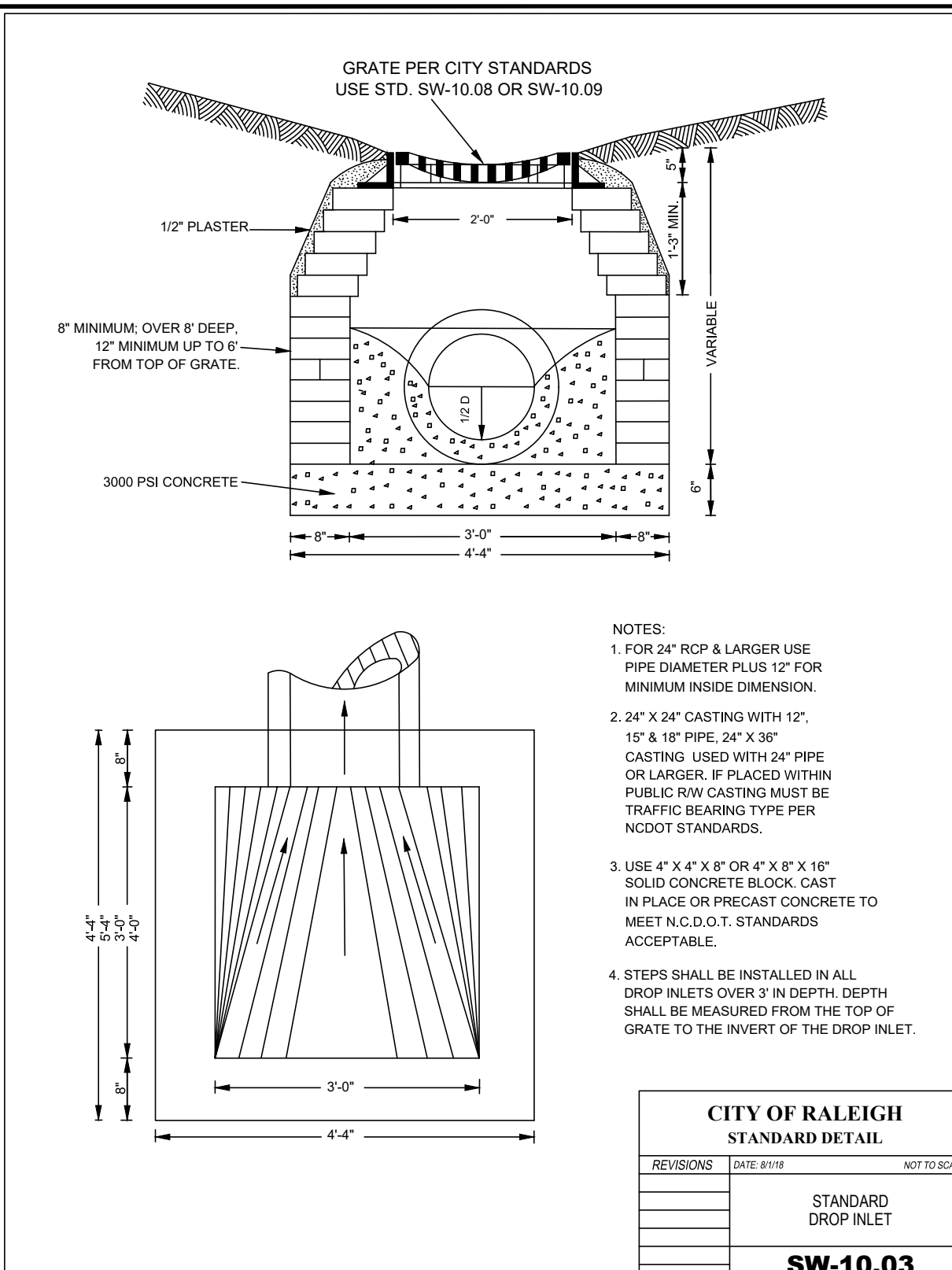
STANDARD DETAILS

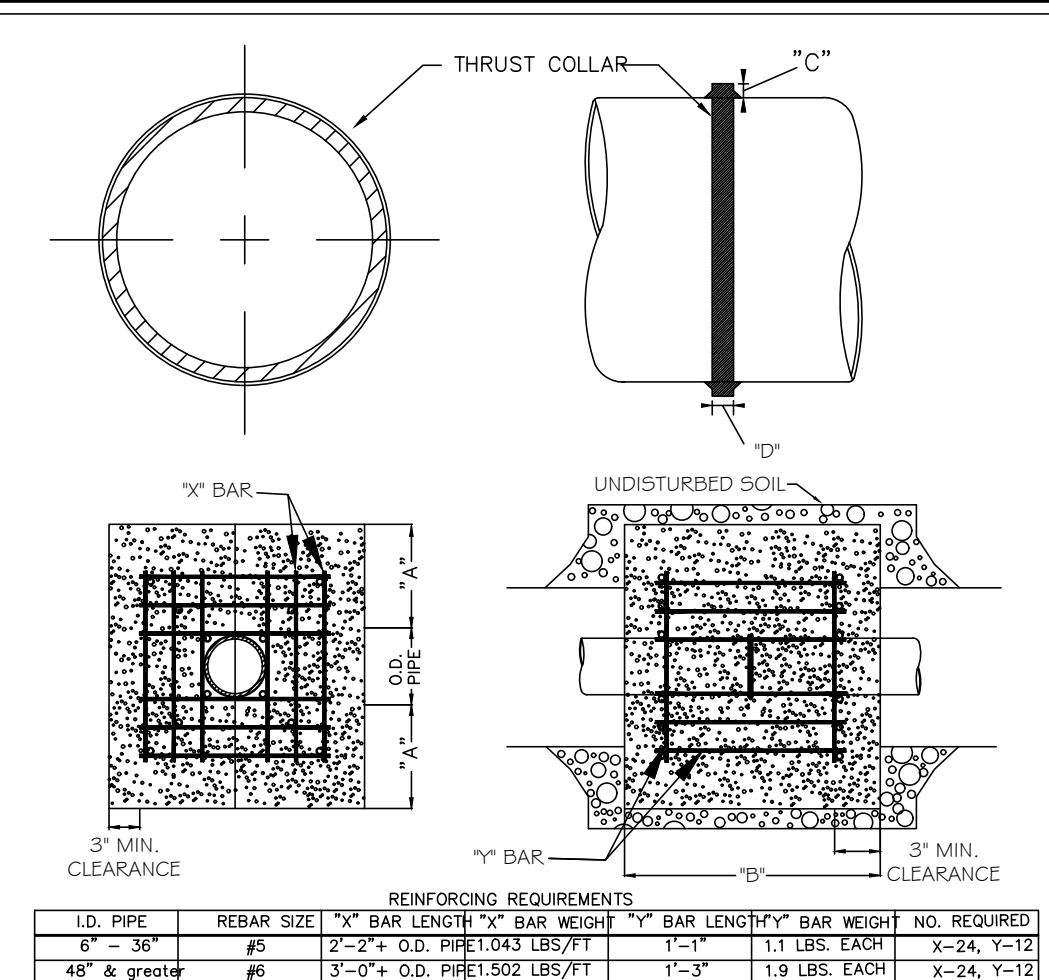
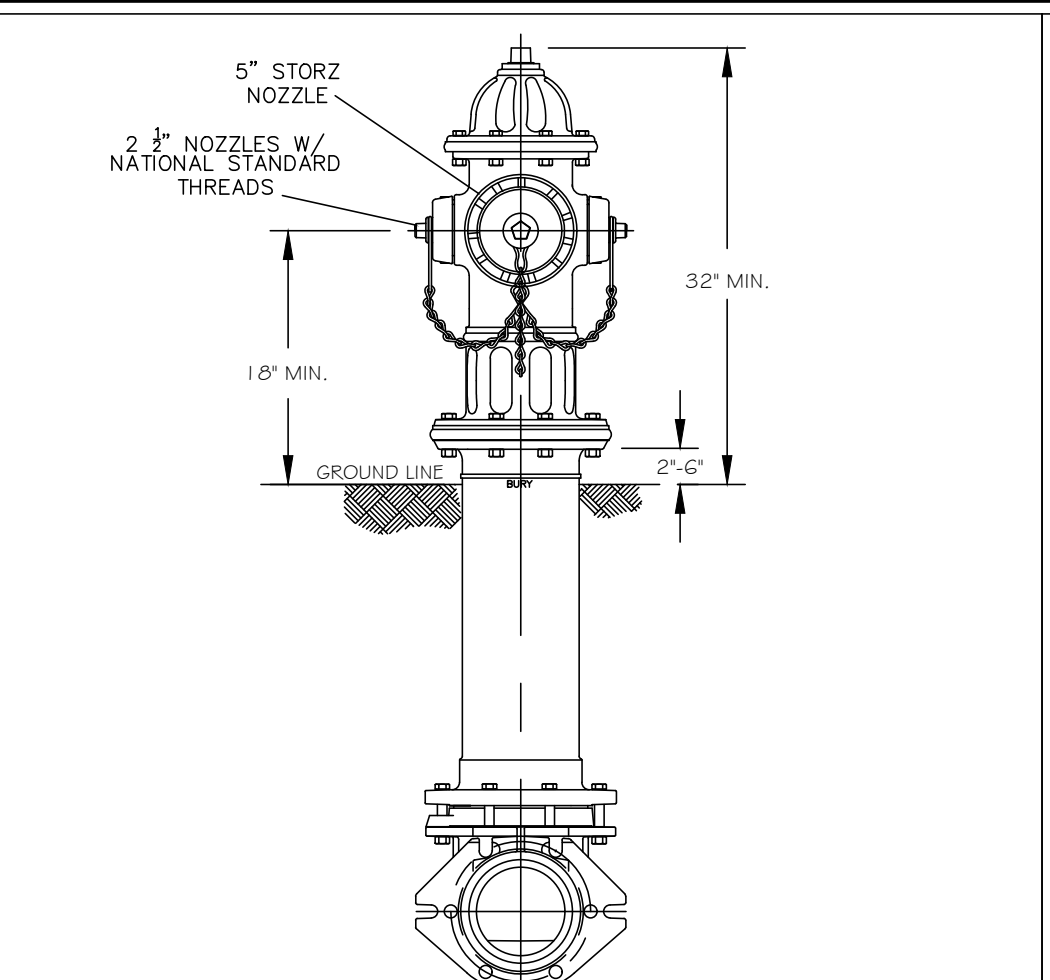
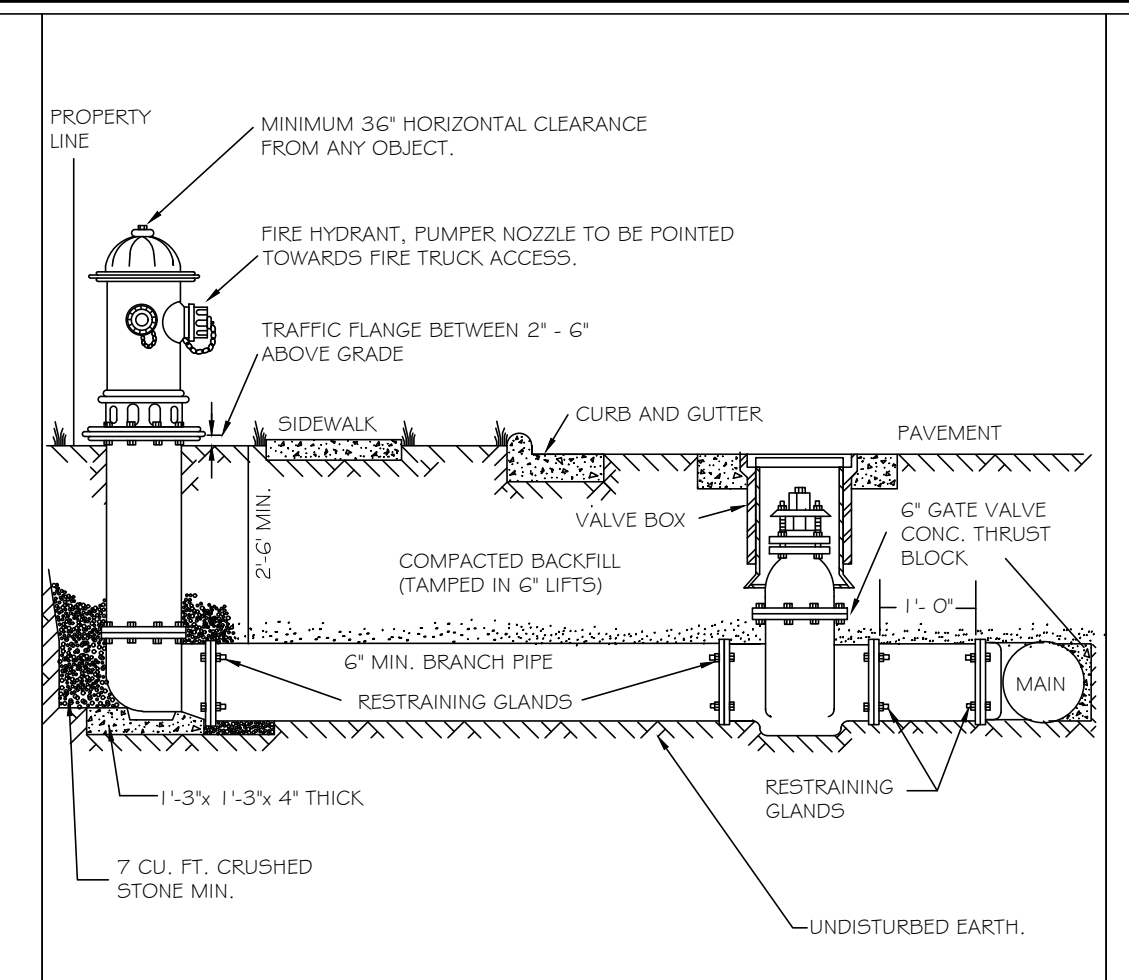
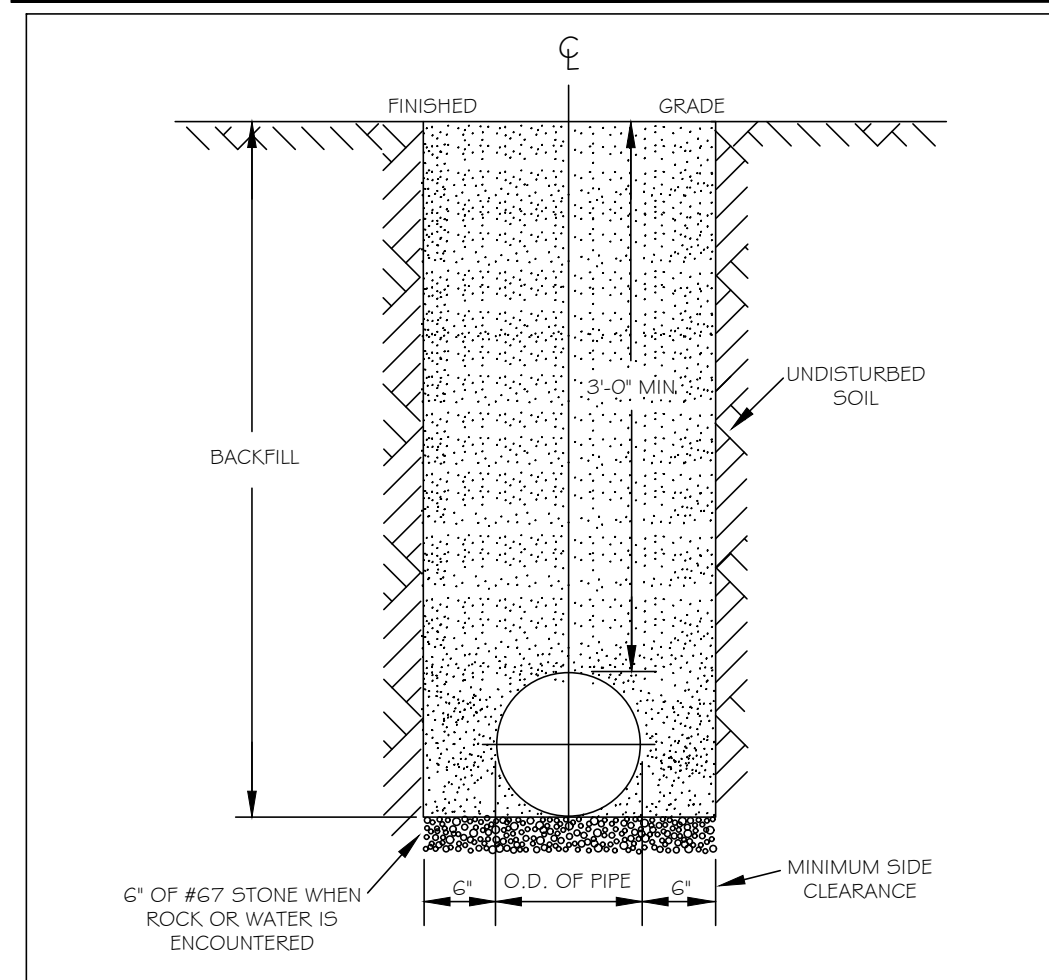
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RALEIGH, NORTH CAROLINA

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COMMISSION NO: 24-0019-742
DRAWING NO: C.8.0





NOTES:
 1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BouldERS 4" OR LARGER TO BE USED IN BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS.
 5. ACHIEVE 95% COMPACTION IN BACKFILL.

NOTES:
 1. FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARLING, KENNEDY, MPH, WATERLOO, GLOW, EAST GROUND ROSS WORKS, OR LIO PIPE.
 2. BRANCH PIPE SHALL BE DUCTILE IRON (AWWA C150) NS.
 3. 6" GATE VALVE SHALL BE AWWA C500 TYPE LEFT.
 4. STEEL RODS AND BOLTS SHALL BE #2 HOT DIPPED GALVANIZED.
 5. FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION.
 6. ROADS SHALL NOT BE COUPLED MORE THAN ONCE. IF THE LENGTH FROM THE VALVE TO THE HYDRANT EXCEEDS 50' THEN A MECHANICAL RESTRAINING GLAND WITH A REBAR CAGE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE.
 7. FIRE HYDRANTS TO BE LOCATED IN ROW OR 2' FOOT EXCESSIVE ADJACENT TO ROW.

NOTES:
 1. ALL PUBLIC FIRE HYDRANTS IN THE CITY OF RALEIGH AND THE MERGER TOWNS OF GARNER, KOLESVILLE, WAKE FOREST, KNIGHTDALE, WENDELL AND ZEBULON SHALL BE PAINTED CHROME YELLOW WITH HIGH REFLECTIVE ALUMINUM SILVER CAPS, BONNETS AND OPERATING NUTS.
 2. ALL PRIVATE FIRE HYDRANTS SHALL BE RED.

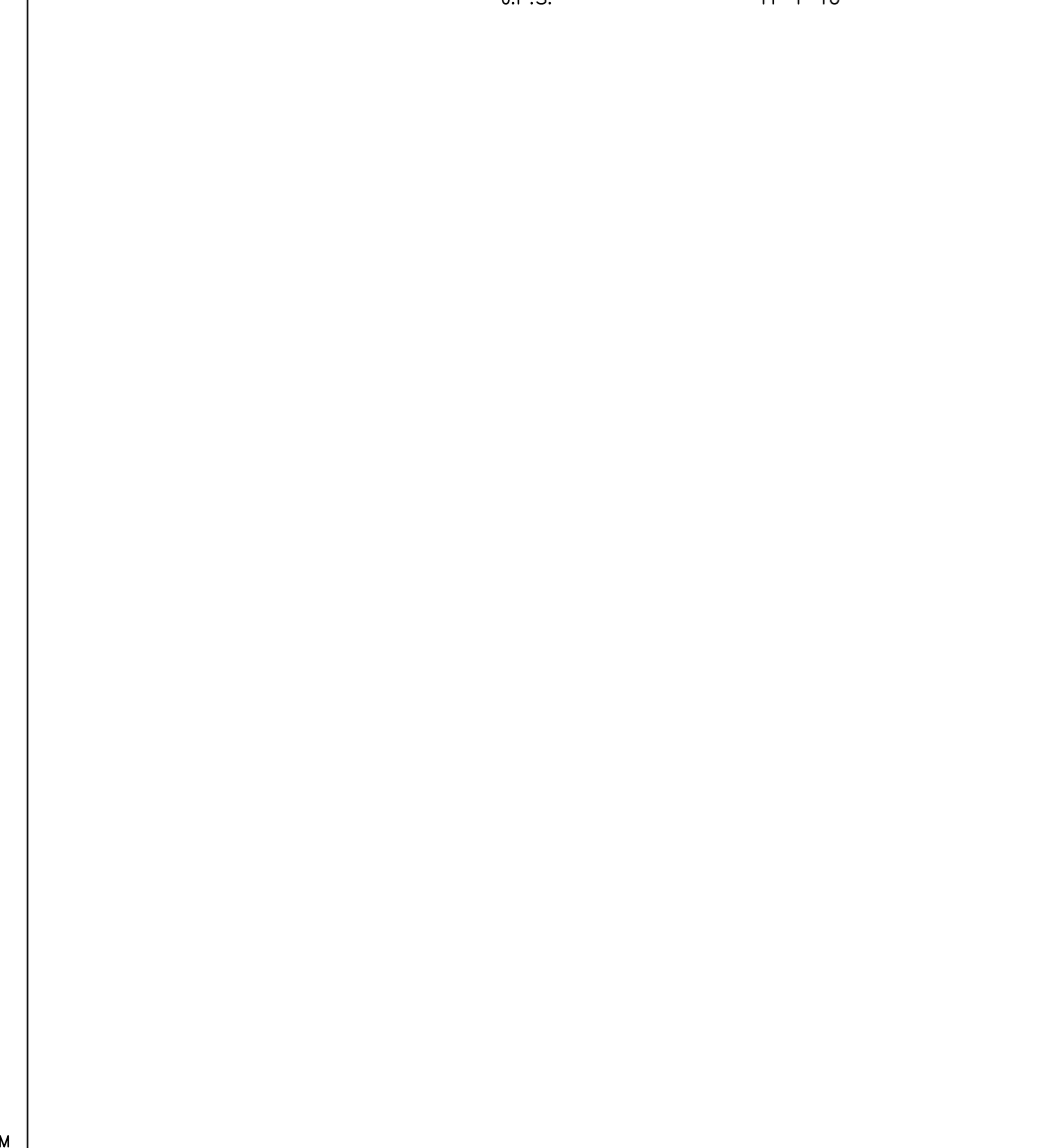
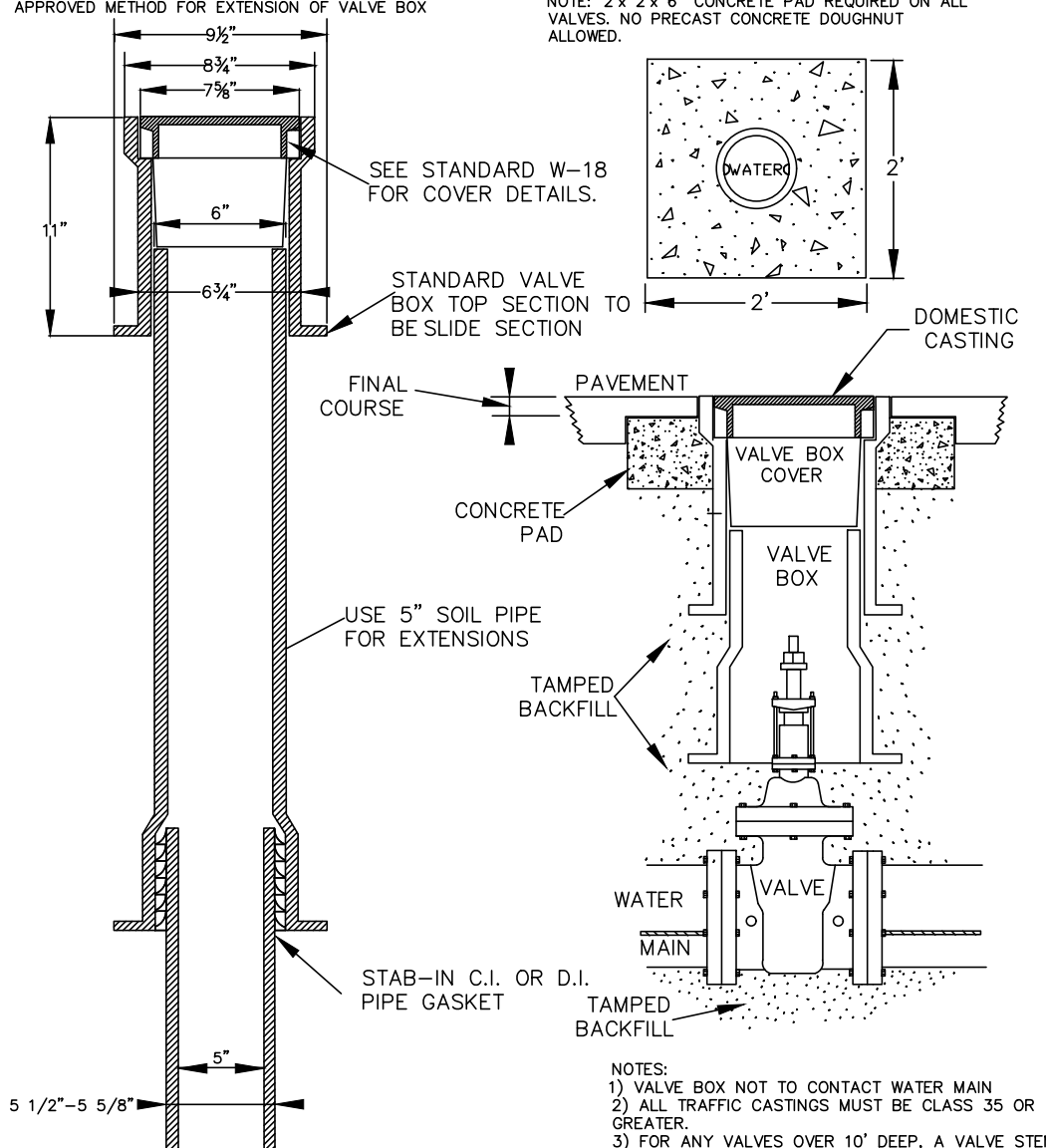
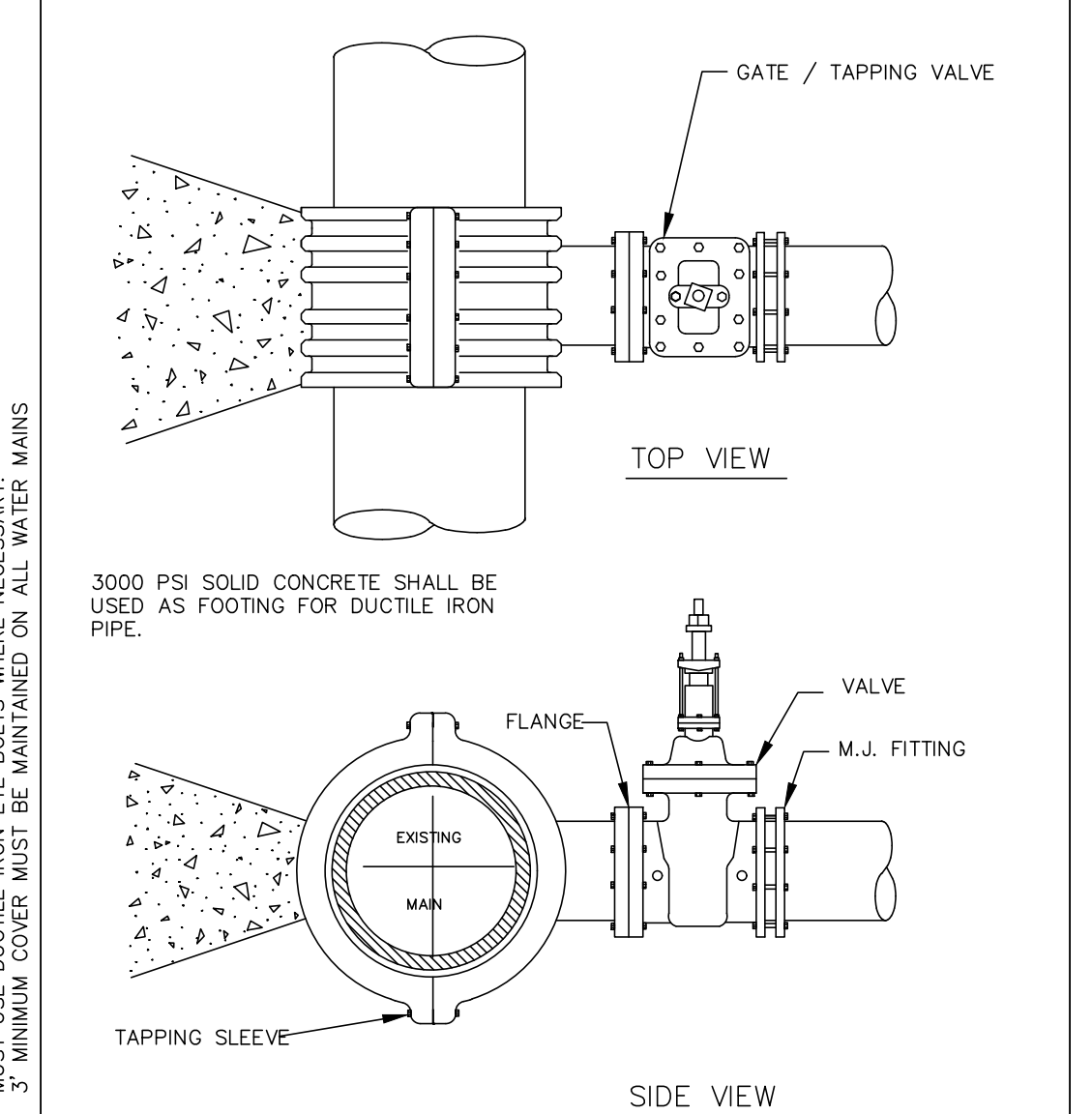
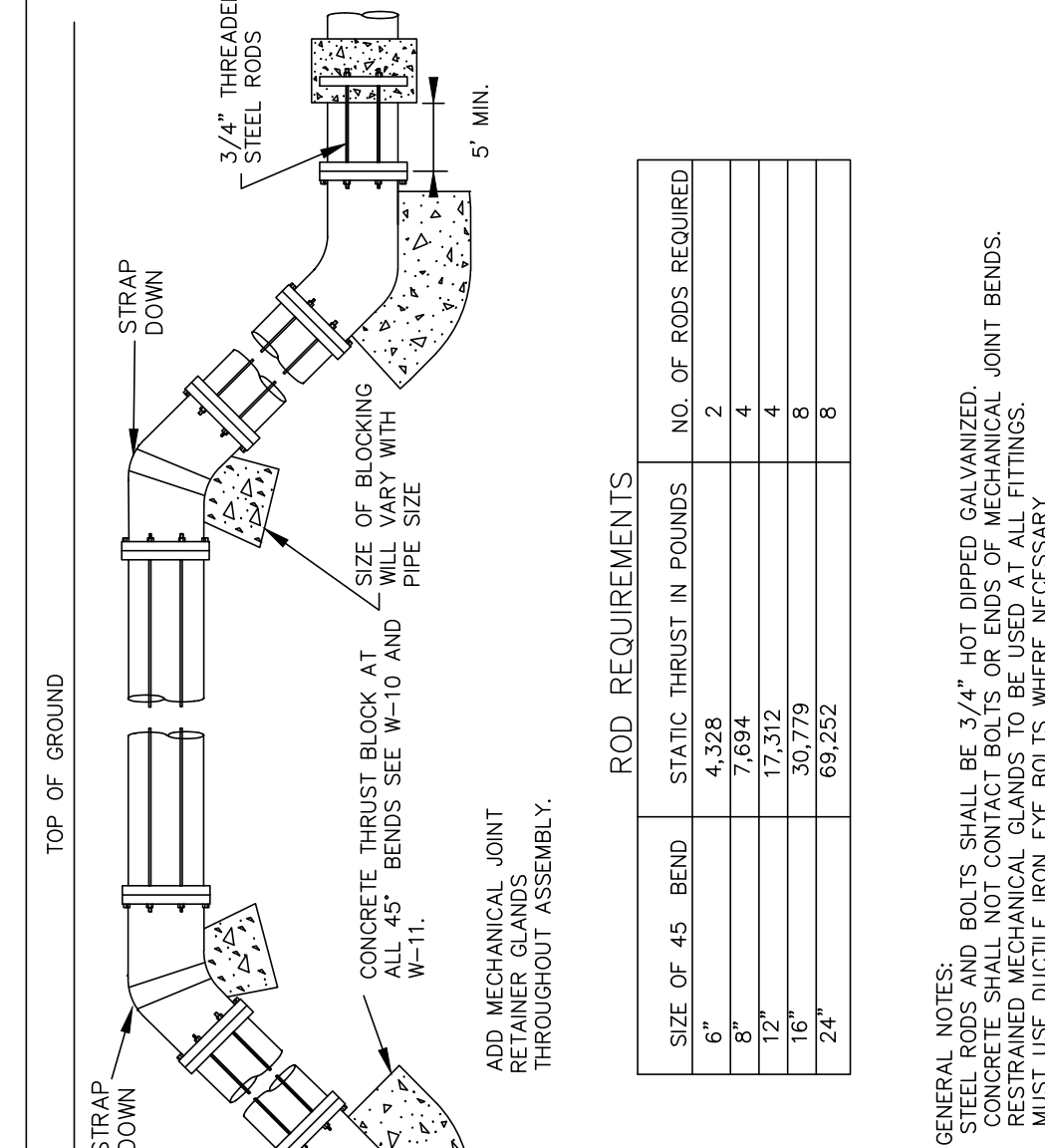
NOTES:
 1. SEE STANDARD DETAIL W-9 FOR THRUST BLOCK LOCATIONS.
 2. CONCRETE SHALL BE 3000 PSI AND TRANSLIT MIXED.
 3. REINFORCING BARS SHALL BE DEFORMED AND TIED TOGETHER.
 4. TRENCH BOTTOM WIDTH IN VICINITY OF THRUST BLOCK INSTALLATION SHALL BE THE MINIMUM WIDTH AS SHOWN ON STANDARD DETAIL W-3.
 5. BACKFILL TAMPED IN 6" LIFTS PER STANDARD DETAIL W-3.
 6. THRUST COLLAR MUST BE FACTORY WELDED ON BOTH SIDES ALONG BOTH EDGES OF COLLAR AROUND CIRCUMFERENCE.

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-3	D.W.C.	9-3-99	ABB
	RRH	3-21-00	J.P.S.

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD FIRE HYDRANT INSTALLATION DETAIL			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-4	ABB	4-8-04	FAP
	RRH	3-31-00	DHL

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD FIRE HYDRANT WITH 5" STORZ PUMPER NOZZLE			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-4	ABB	4-8-04	FAP
	RRH	3-31-00	DHL

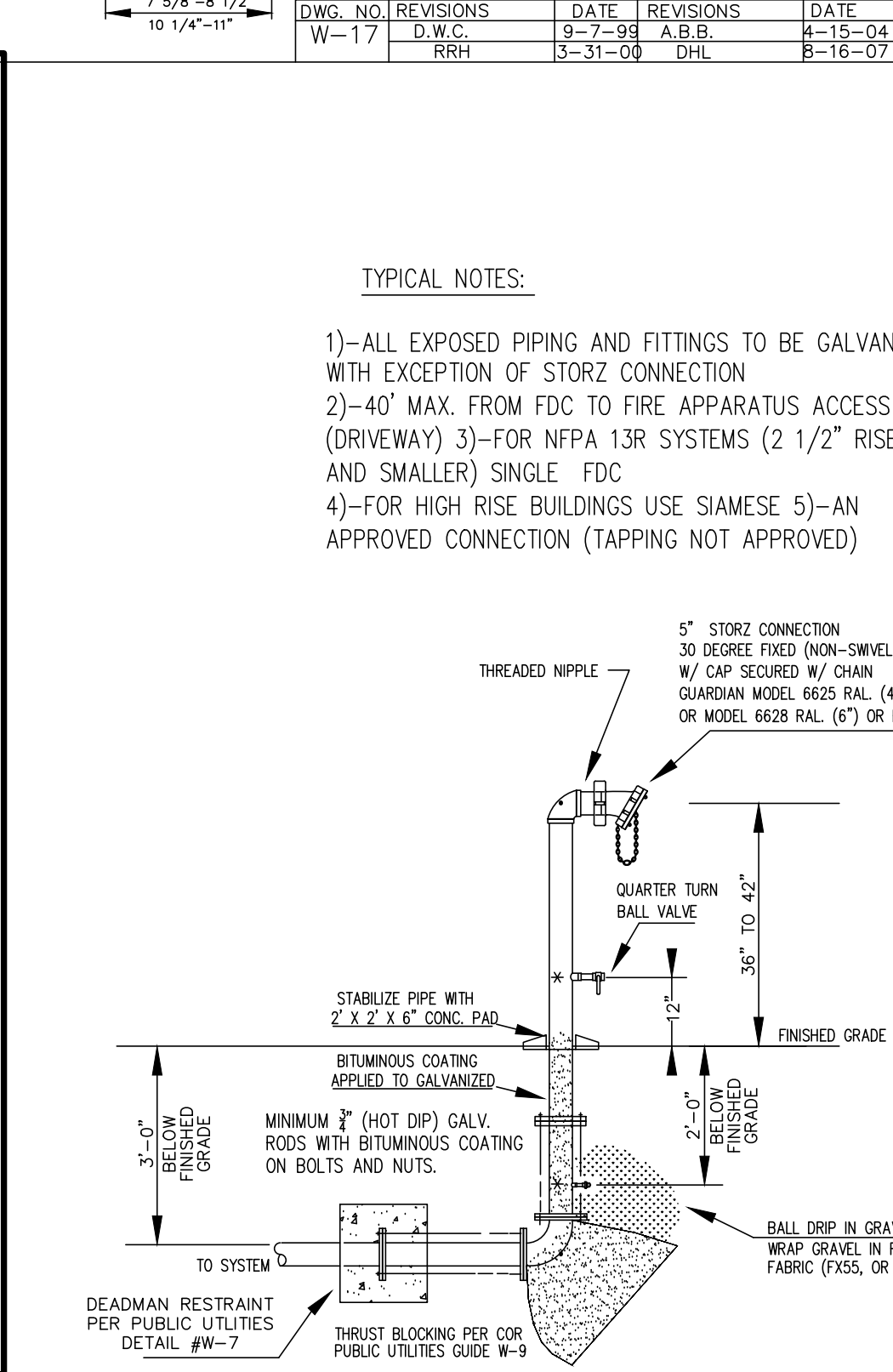
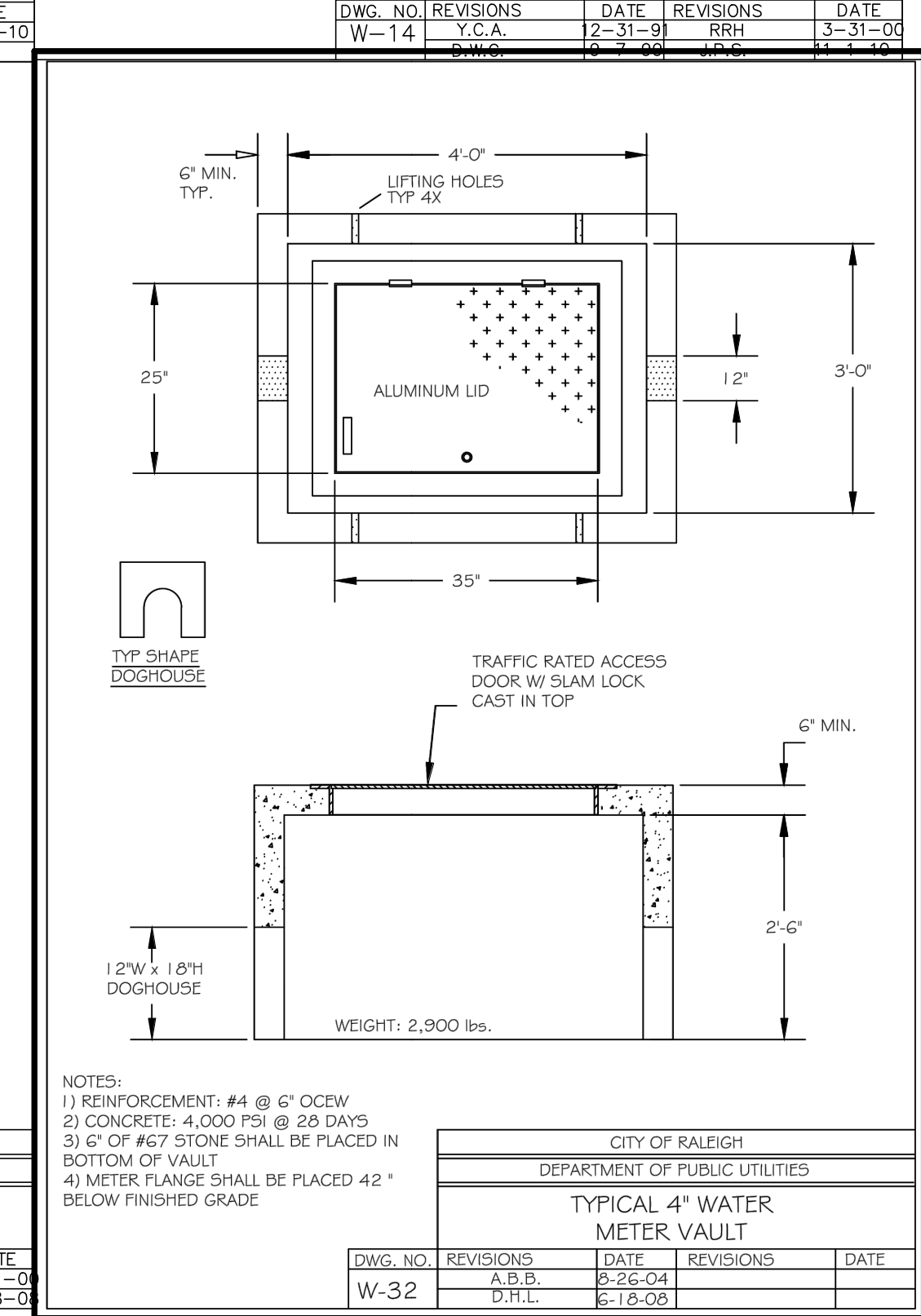
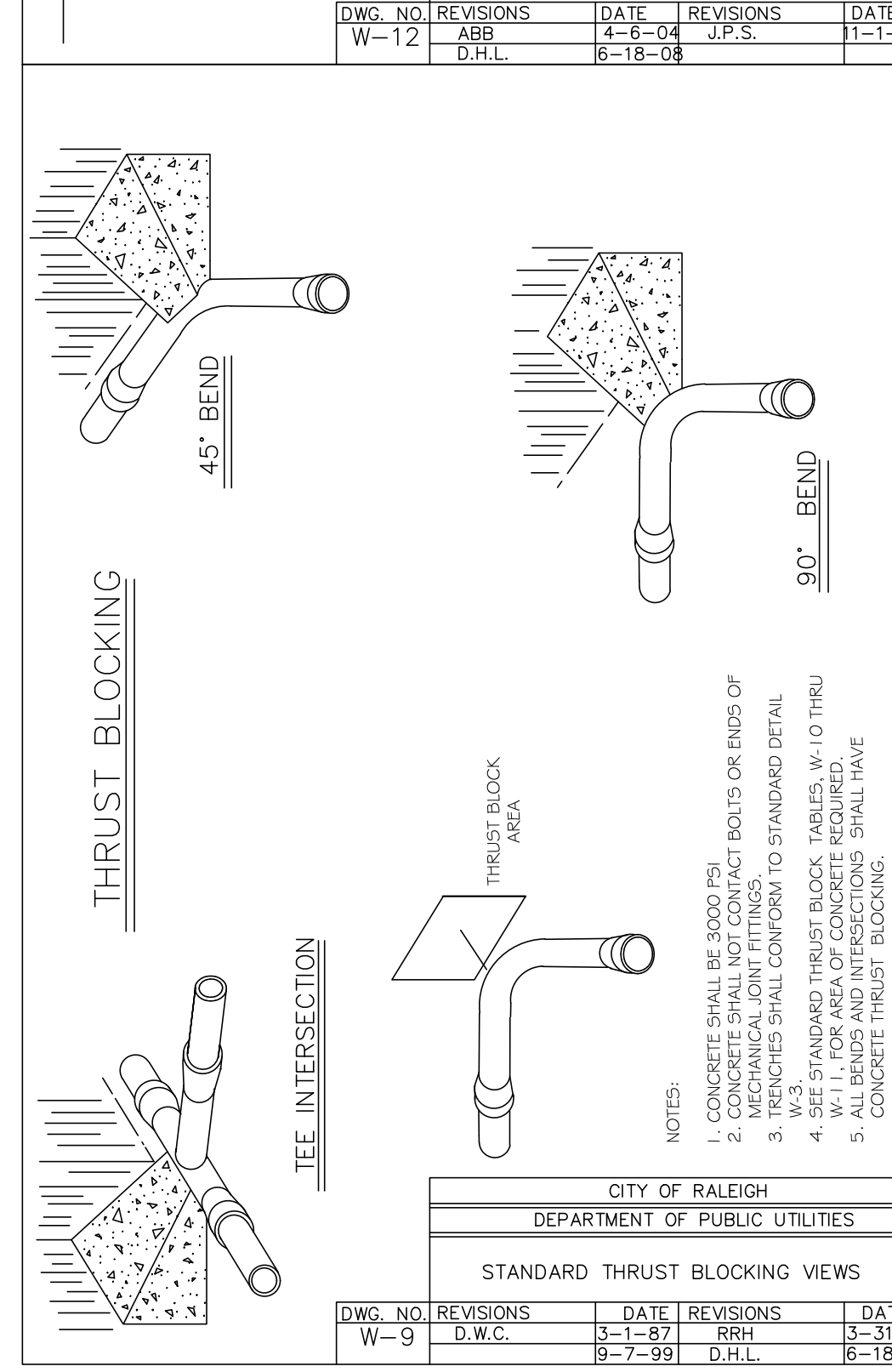
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
THRUST BLOCKING DESIGN DATA FOR WATER MAINS			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-7	BRH	1-21-00	
	S.H.L.	6-18-08	
	J.P.S.	11-1-10	



CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD VERTICAL BEND			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-12	D.H.L.	6-18-08	

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-14	V.C.A.	2-31-09	RRH
	D.W.C.	9-3-99	ABB
	D.H.L.	6-18-08	

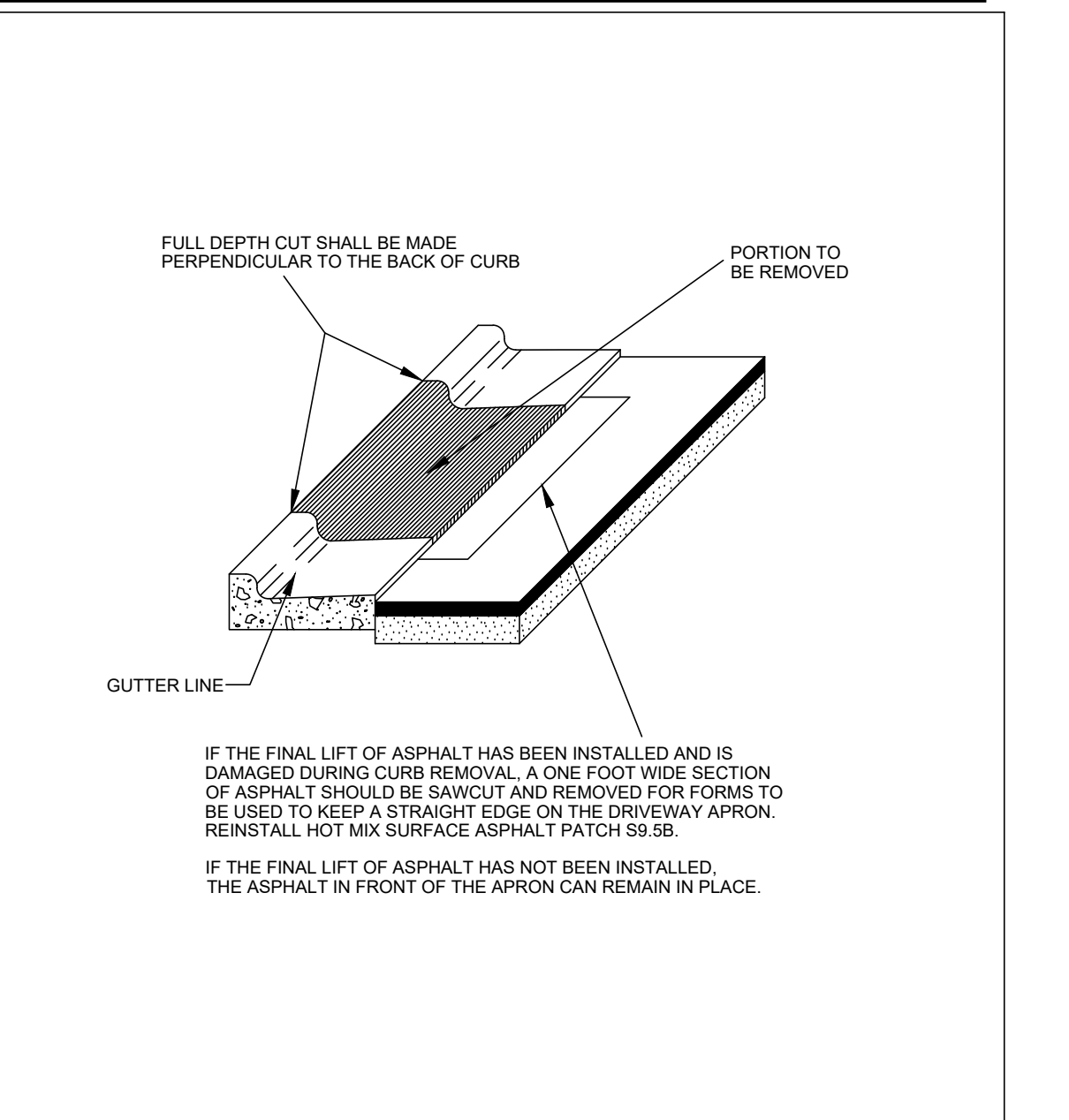
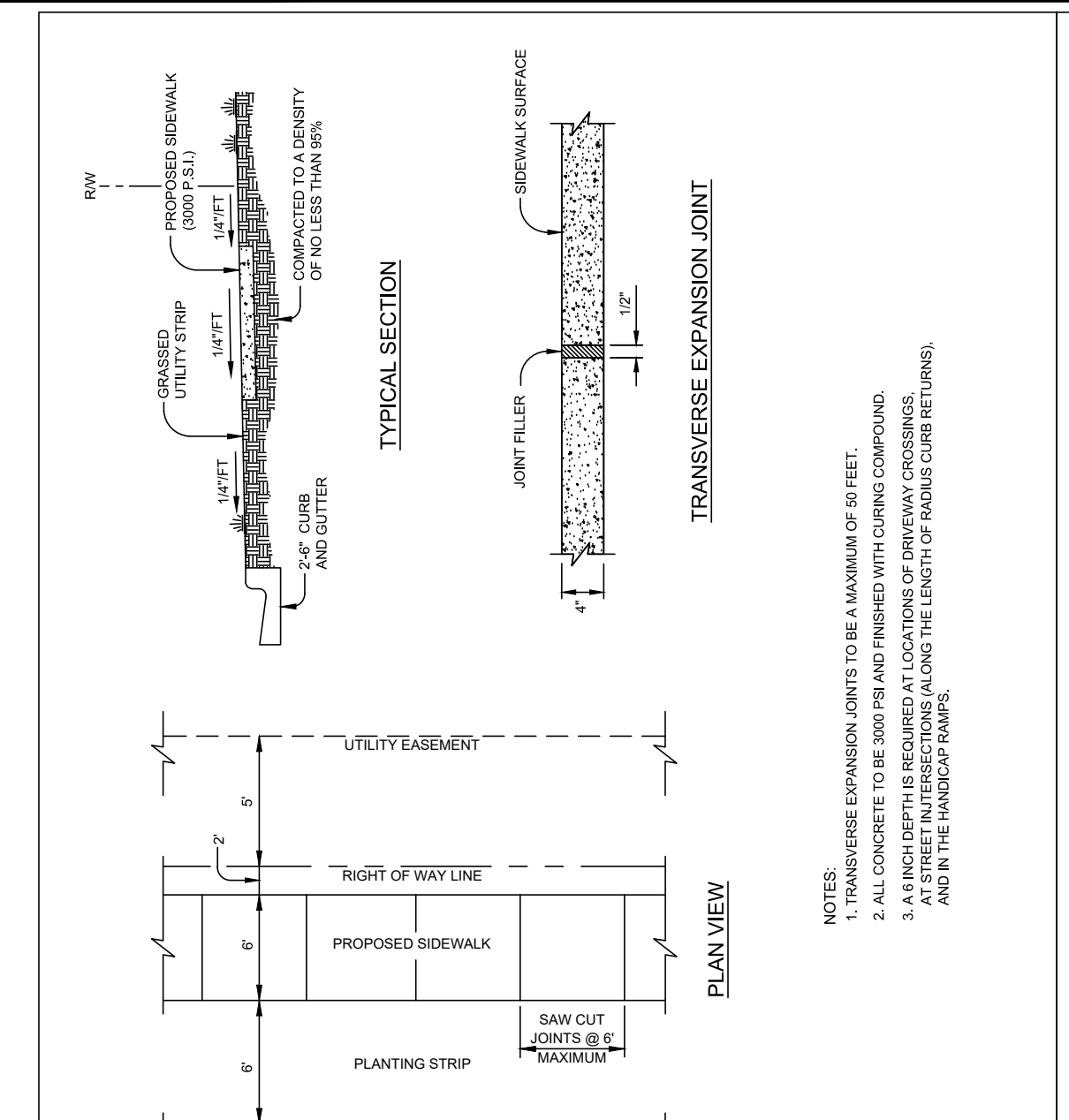
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
VALVE BOX INSTALLATION AND EXTENSION DETAIL			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-17	D.W.C.	9-3-99	ABB
	RRH	3-31-00	DHL
	D.H.L.	6-18-08	



CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD THRUST BLOCKING VIEWS			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-9	D.W.C.	3-1-87	BRH
	D.H.L.	6-18-08	

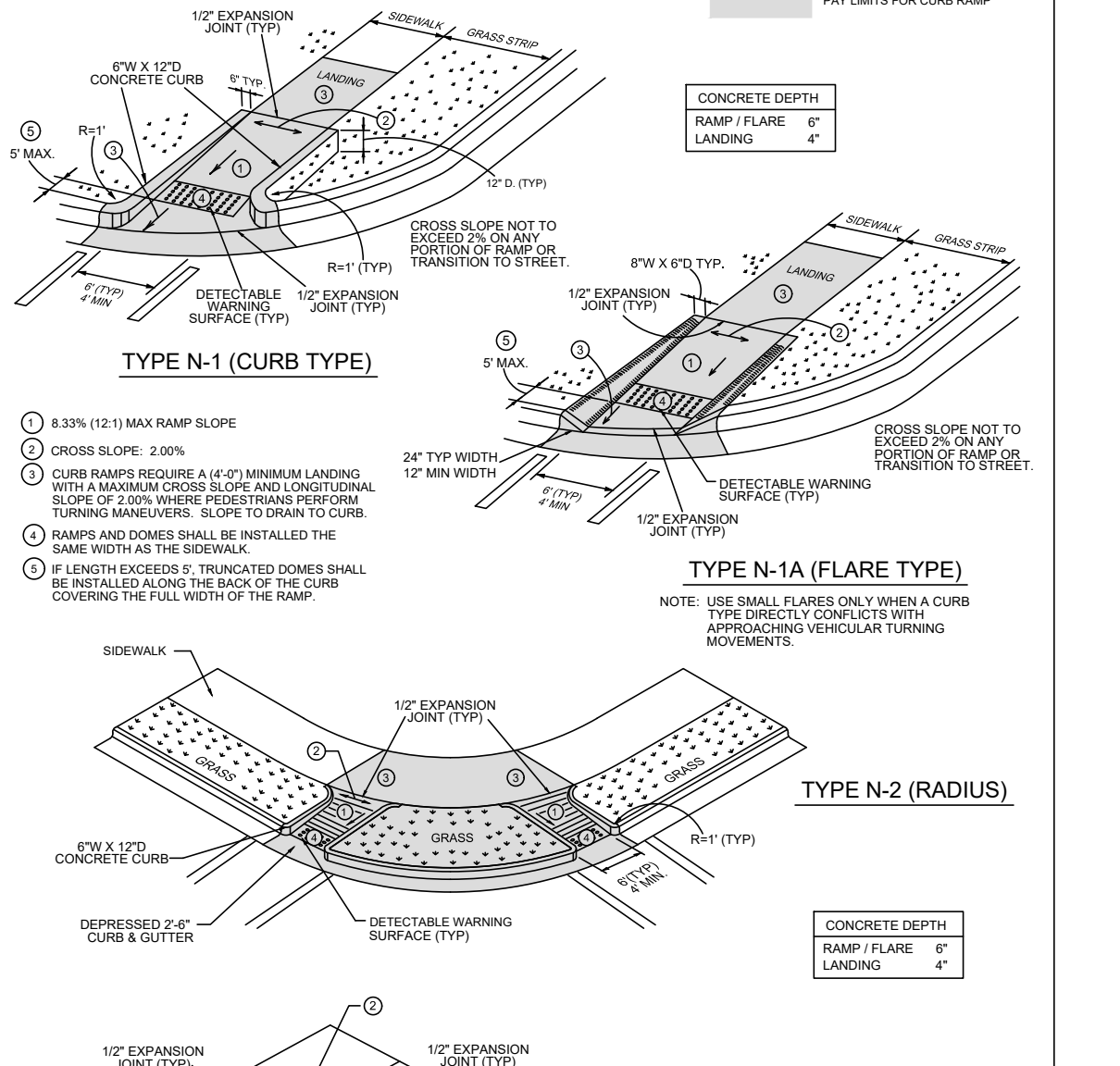
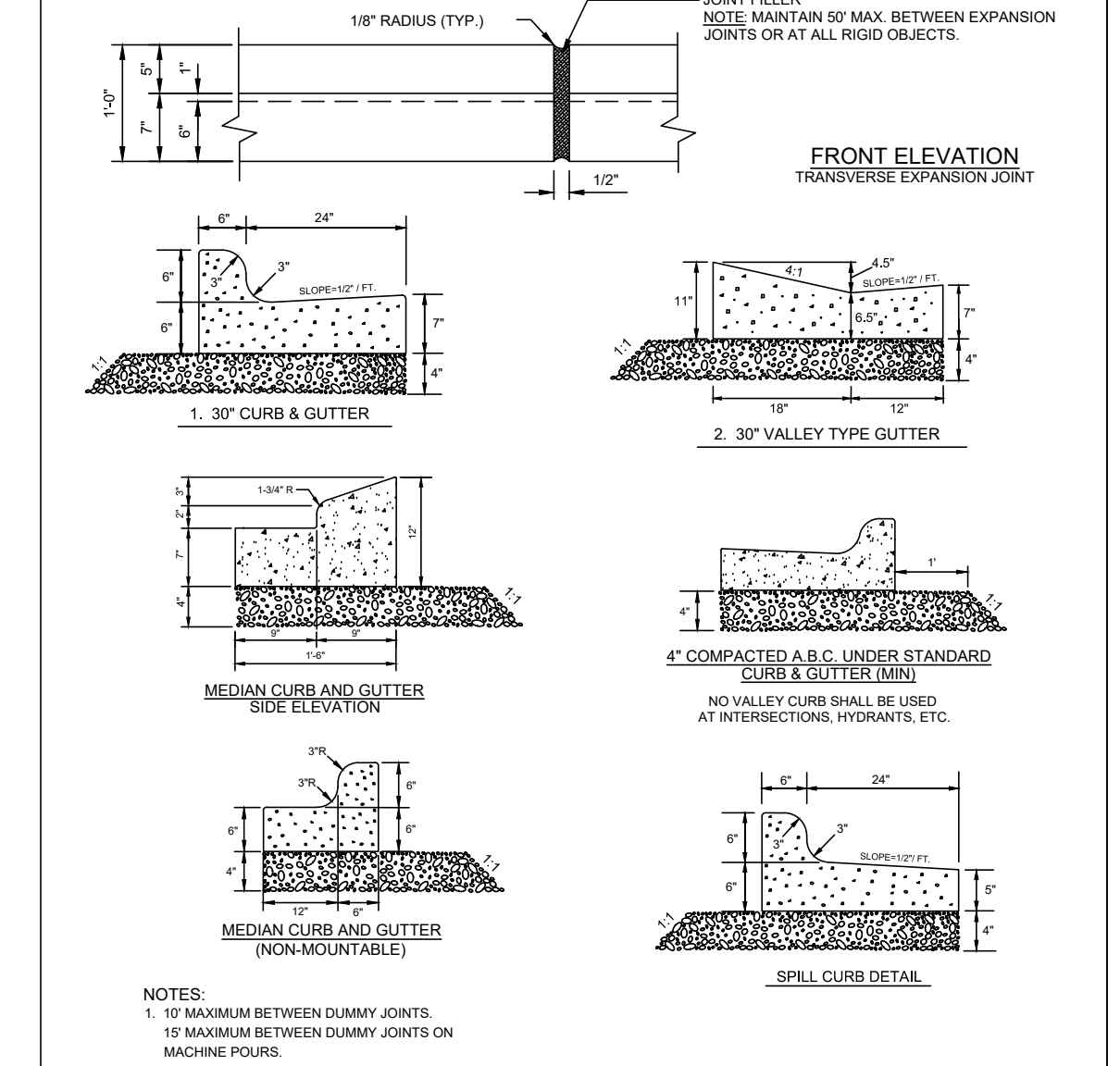
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TYPICAL 4" WATER METER VAULT			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-32	A.B.D.	8-26-04	
	D.H.L.	6-18-08	

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD FIRE HYDRANT WITH 5" STORZ PUMPER NOZZLE			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-4	ABB	4-8-04	FAP
	RRH	3-31-00	DHL



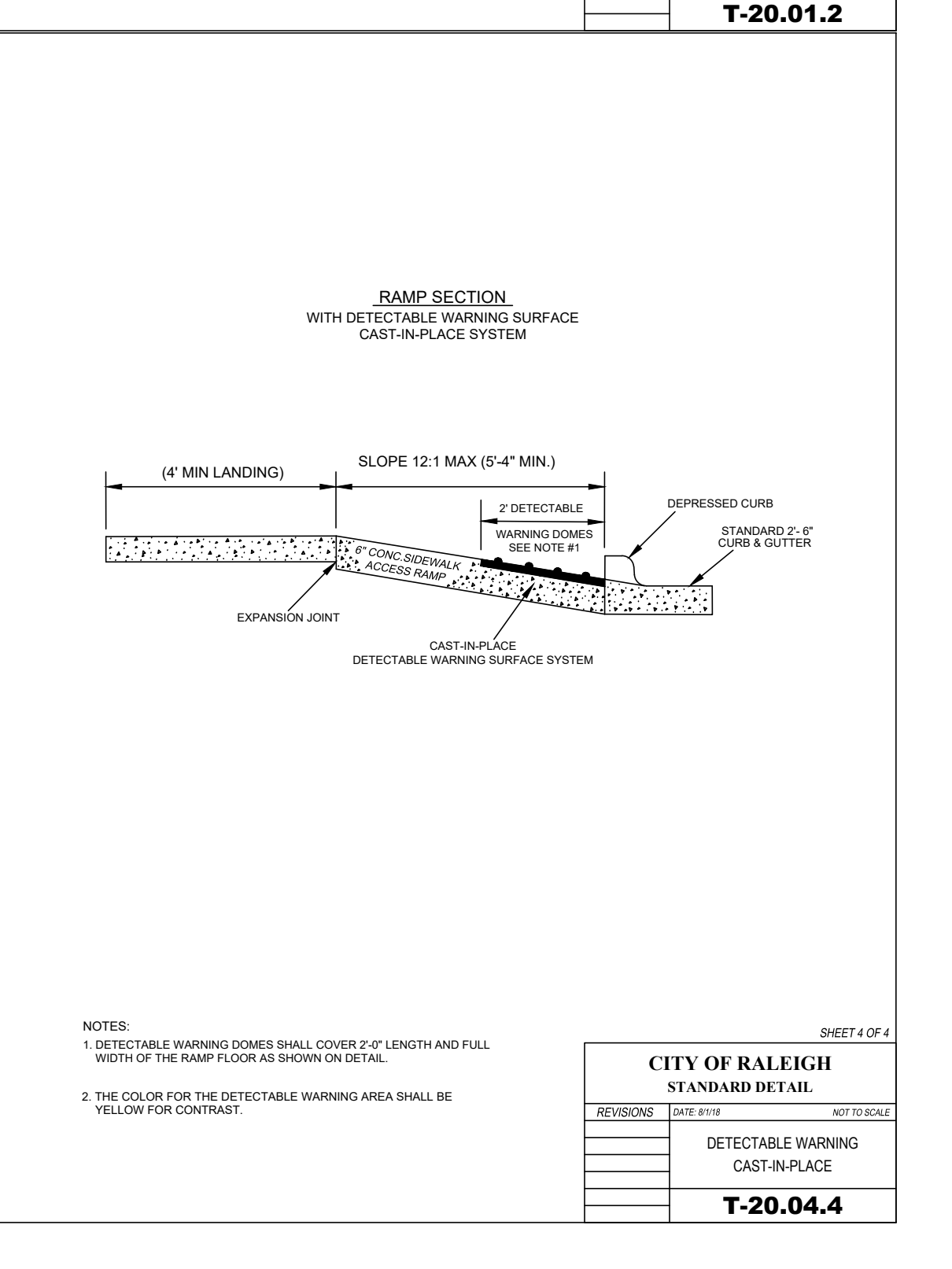
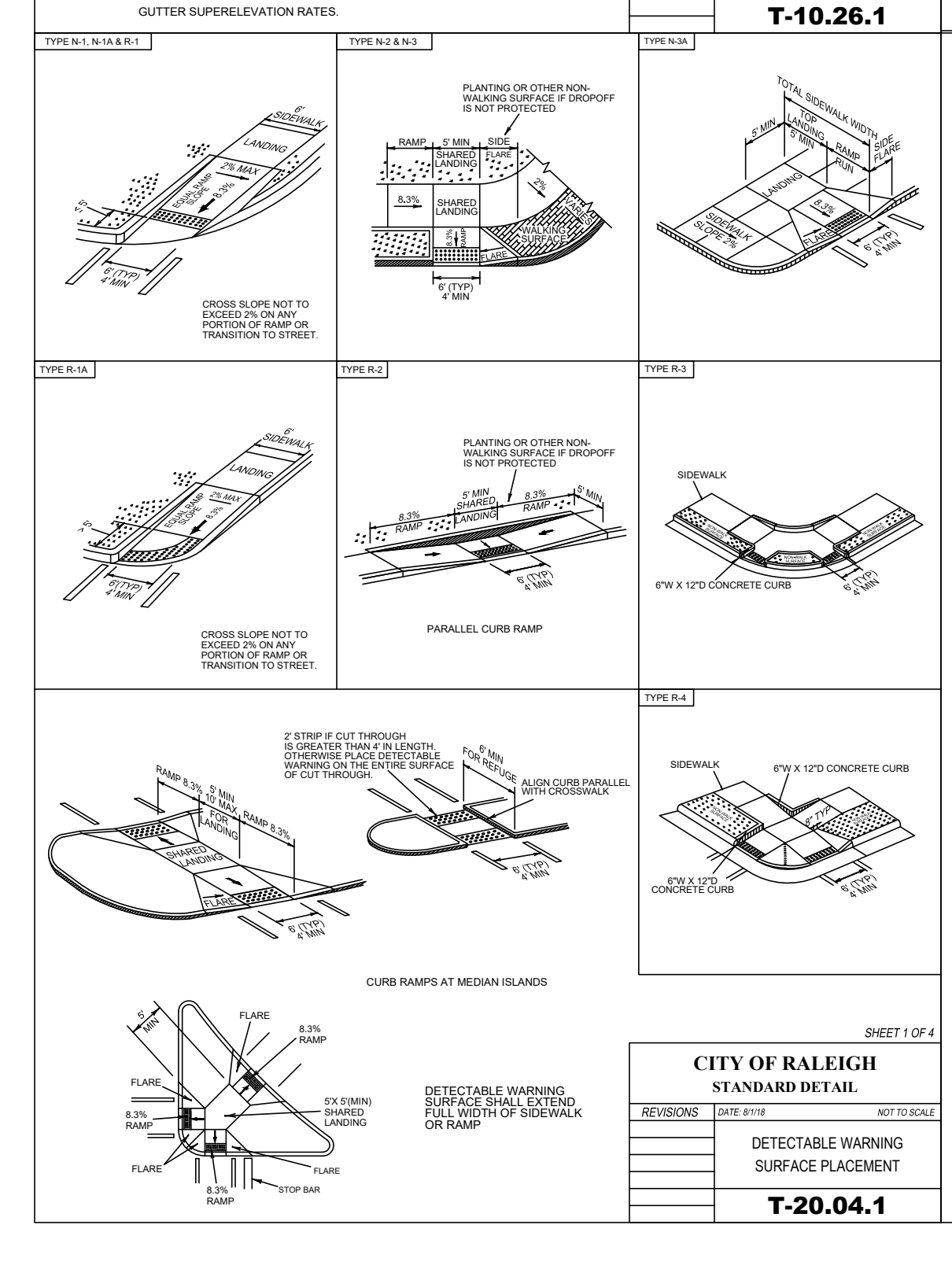
CITY OF RALEIGH			
STANDARD DETAIL			
CONCRETE SIDEWALK			
REVISIONS	DATE	BY	CHKD

CITY OF RALEIGH			
STANDARD DETAIL			
CONCRETE SIDEWALK			
REVISIONS	DATE	BY	CHKD



CITY OF RALEIGH			
STANDARD DETAIL			
CURB AND GUTTER			
REVISIONS	DATE	BY	CHKD

CITY OF RALEIGH			
STANDARD DETAIL			
CURB AND GUTTER			
REVISIONS	DATE	BY	CHKD



CITY OF RALEIGH			
STANDARD DETAIL			
CURB AND GUTTER			
REVISIONS	DATE	BY	CHKD

CITY OF RALEIGH			
STANDARD DETAIL			
CURB AND GUTTER			
REVISIONS	DATE	BY	CHKD

PLAN PREPARED BY:
 FIRM # C-2798

51 Kilmoyne Drive
 Suite 102
 Cary, North Carolina 27511
 ph 919.481.6290
 fax 919.356.5127

carolinascivil.com
 dewitt

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Rev #	Date	Issue/Revision
3/19/24	ASR #1	

Date: 03/19/2024
 Scale: NO SCALE

Drawn By: JLB
 Checked By: JDW

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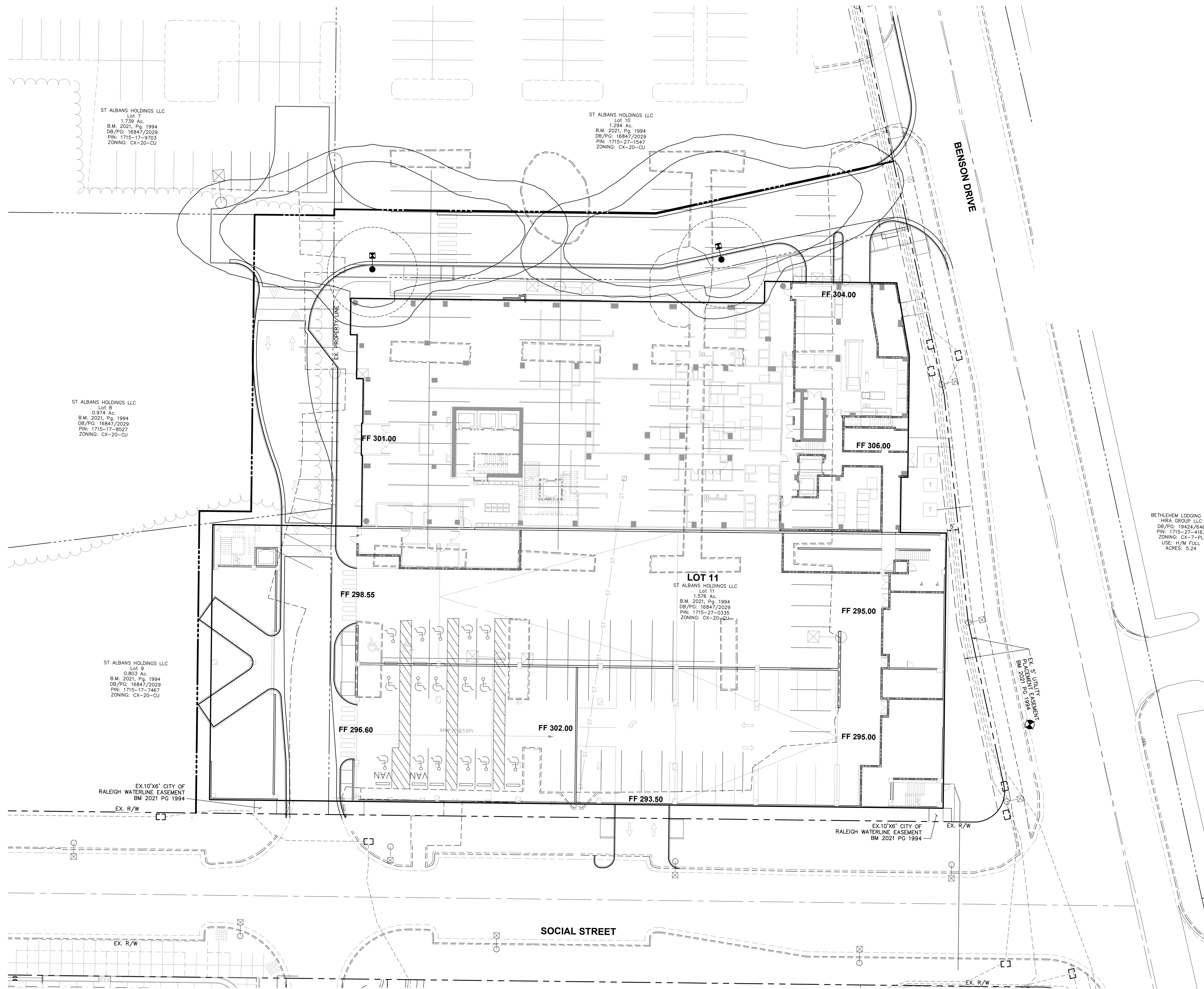
STANDARD DETAILS

LIFE TIME LIVING RESIDENTIAL

RALEIGH, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW

COMMISSION NO: 24-0019-742
 DRAWING NO: C.8.1



ST ALBANS HOLDINGS LLC
Lot 7
2.759 Ac.
B.M. 2021, Pg. 1994
DB/PG: 16847/2029
PIN: 1715-17-9703
ZONING: CX-20-CU

ST ALBANS HOLDINGS LLC
Lot 10
1.294 Ac.
B.M. 2021, Pg. 1994
DB/PG: 16847/2029
PIN: 1715-27-1547
ZONING: CX-20-CU

ST ALBANS HOLDINGS LLC
Lot 8
0.974 Ac.
B.M. 2021, Pg. 1994
DB/PG: 16847/2029
PIN: 1715-17-8527
ZONING: CX-20-CU

LOT 11
ST ALBANS HOLDINGS LLC
Lot 11
1.578 Ac.
B.M. 2021, Pg. 1994
DB/PG: 16847/2029
PIN: 1715-27-0335
ZONING: CX-20-CU

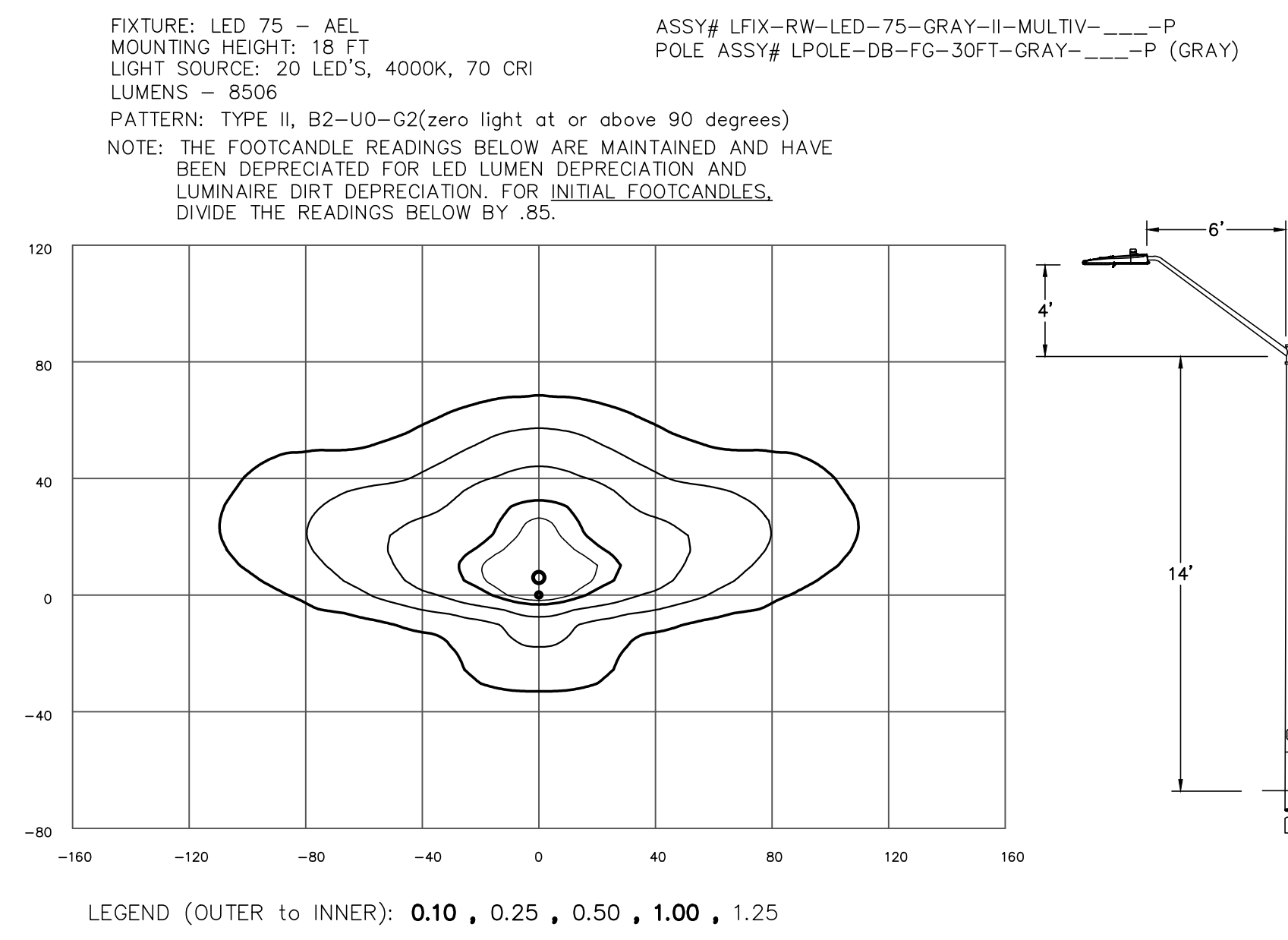
ST ALBANS HOLDINGS LLC
Lot 9
0.903 Ac.
B.M. 2021, Pg. 1994
DB/PG: 16847/2029
PIN: 1715-17-7467
ZONING: CX-20-CU

BETHLEHEM LODGING LLC
HRA GROUP LLC
DB/PG: 19424/846
PIN: 1715-27-4163
ZONING: CX-7-PL
USE: H/M FULL
ACRES: 5.24

EX 10'x6' CITY OF
RALEIGH WATERLINE EASEMENT
BM 2021 PG 1994

EX 10'x6' CITY OF
RALEIGH WATERLINE EASEMENT
BM 2021 PG 1994

ISOFOOTCANDLE CURVES



THE PROPOSED WALL LIGHTING FIXTURES ARE AS MANUFACTURED BY LITHONIA LIGHTING, SERIES CSXW LED T3M DISTRIBUTION AND 277V WITH PHOTO ELECTRIC CONTROL, MOUNTED 18" ABOVE GRADE AS SHOWN ON THE PLAN. STANDARD WHITE FINISH. FIXTURES ARE TO BE FULL-CUTOFF

PROPOSED LIGHT FIXTURE
HORIZONTAL FOOT CANDLES
LITHONIA LIGHTING, INC.

LEGEND

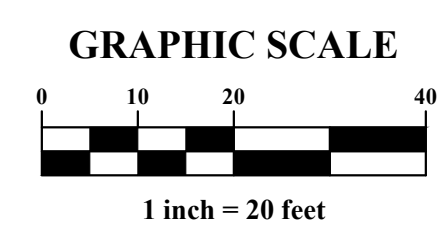
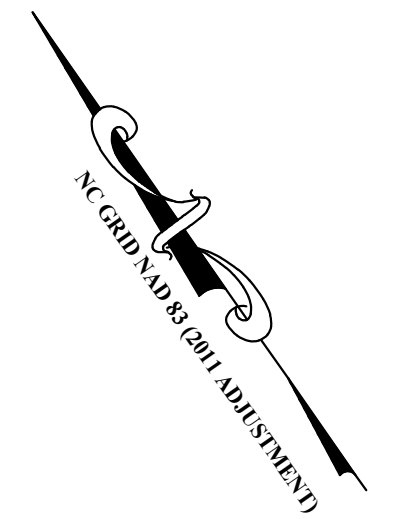
- EX. BOUNDARY LINE
- EX. RIGHT-OF-WAY LINE
- PR. RIGHT-OF-WAY LINE
- PR. BOUNDARY LINE
- SETBACK LINE
- STANDARD SECTION
- CONCRETE PAVEMENT SECTION
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- FLOODPLAIN FILL
- 20' OFFSET CIRCLE

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	X	1.1 fc	2.3 fc	0.3 fc	7.7:1	3.7:1

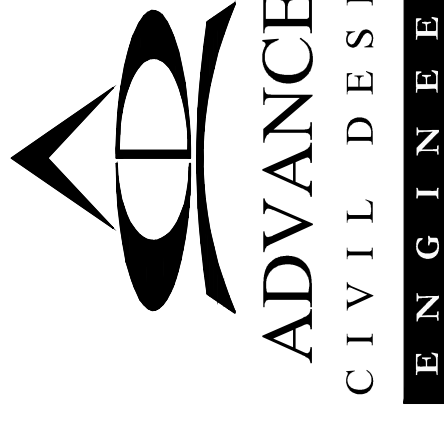
Schedule

Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
A	A	2	LED 150w Roadway - Type IV - 4000K - House Side Shield	1	13017	0.85



PLAN PREPARED BY:
FIRM # C-2798

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Suite 102
Cary, North Carolina 27511
ph 919.481.6290
fax 919.356.5127



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Rev #	Date	Issue/Revision
	3/19/24	ASR #1

Date: 03/19/2024
Scale: 1" = 20'

Drawn By: JLB
Checked By: JDW

SIGHT LIGHTING PLAN
LIFE TIME LIVING RESIDENTIAL
RALEIGH, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW

COMMISSION NO: 24-0019-742
DRAWING NO:

SL1.0

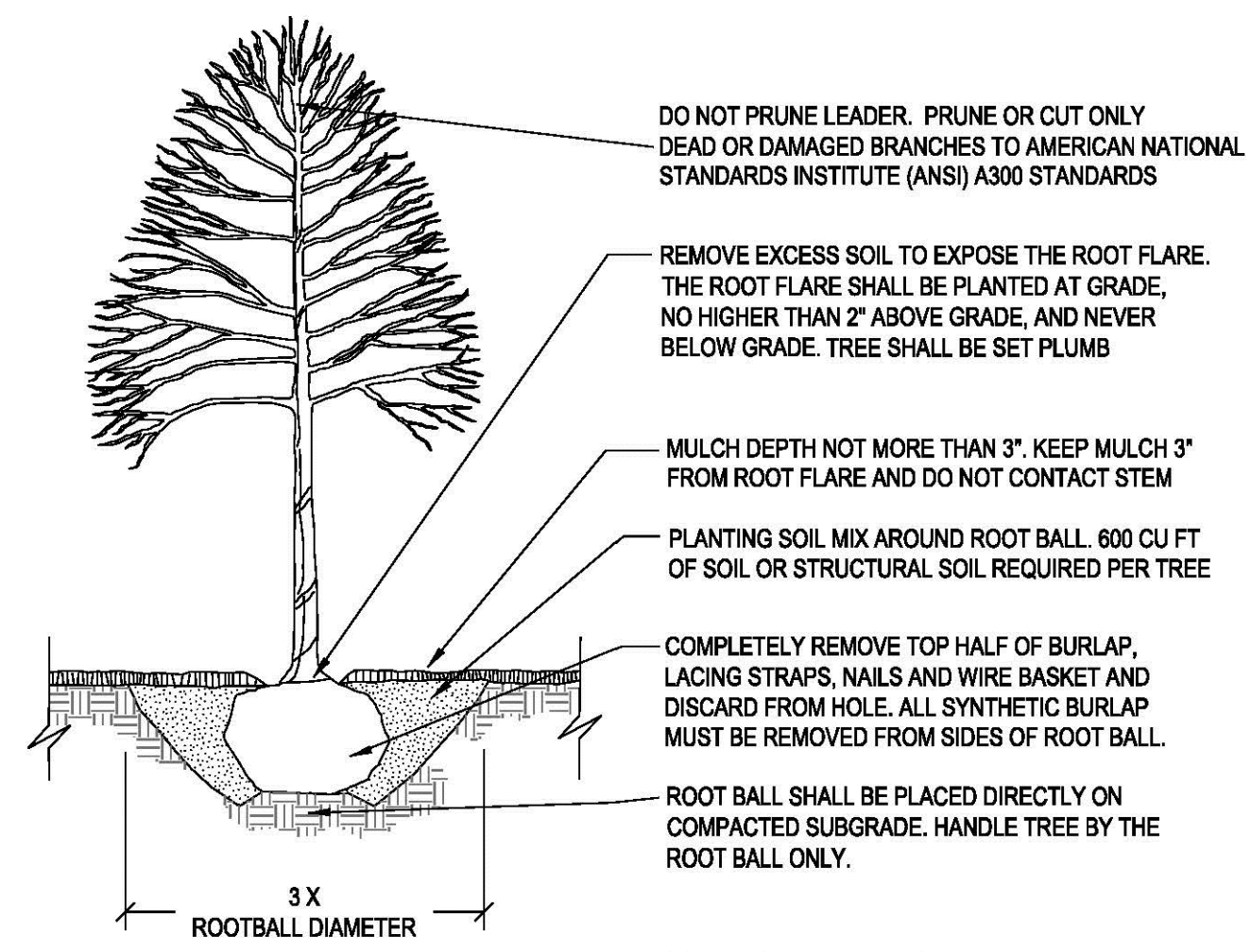
NOT ISSUED FOR CONSTRUCTION

PLANTING NOTES:

- CONTRACTOR SHALL STAKE OUT ALL TREE LOCATIONS IN FIELD FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- PLANTING BEDS SHALL BE STAKED FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO EXCAVATION AND BED PREP.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- REFER TO PLANS FOR STEEL EDGING LAYOUT / LOCATIONS. EDGING ONLY USED TO BORDER GRAVEL AND BERMUDA GRASS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION AMERICAN ASSOCIATION OF NURSEYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.

PLANT LEGEND:

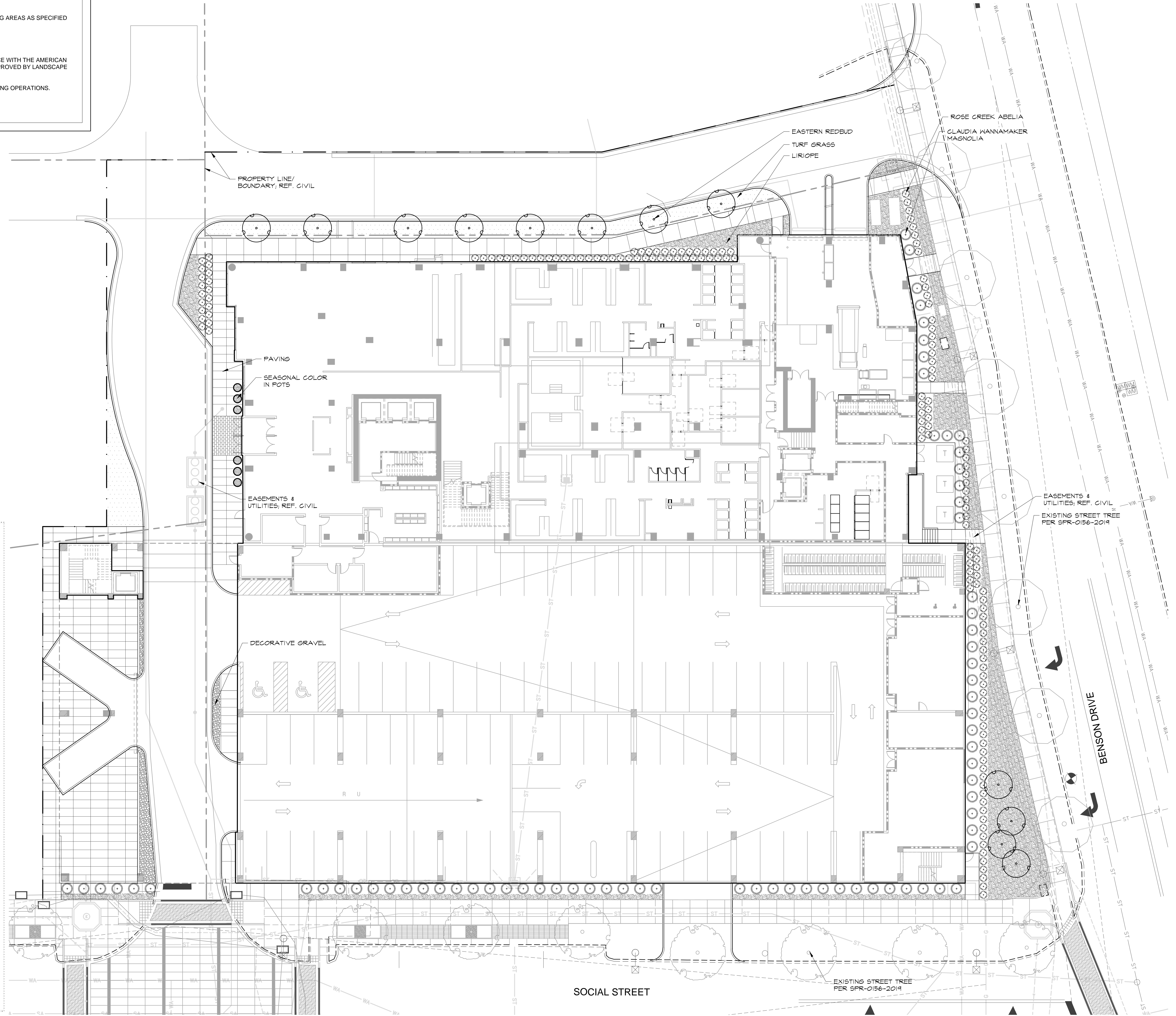
PLANT ABBV.	COMMON NAME BOTANICAL NAME	MINIMUM SIZE
TREES		
(Symbol)	- EXISTING STREET TREE	
(Symbol)	- EXISTING STREET TREE	
(Symbol)	- <i>Cercis canadensis</i> EASTERN REDBUD	2.5" CAL.
SHRUBS		
(Symbol)	- <i>Magnolia grandiflora</i> 'CLAUDIA WANNAMAKER' SOUTHERN MAGNOLIA	30 CAL.
(Symbol)	- <i>Abelia x. grandiflora</i> 'Rose Creek' ROSE CREEK ABELIA	5 CAL.
GROUND COVER		
(Symbol)	- <i>Liriope muscari</i> 'Big Blue' 'BIG BLUE' LIRIOPE	4" POT
(Symbol)	- SEASONAL COLOR IN POTS	1 CAL.
(Symbol)	- TALL FESCUE	SOD



CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

- NOTES:**
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS (POSITIVE DRAINAGE AWAY FROM PIT)
 - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 - A TREE IMPACT PERMIT IS REQUIRED.
 - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL	
REVISIONS	DATE BY
02/2019	02/2019
TREE PLANTING DETAIL	
TPP-03	



Planting Plan A
Scale: 1"=20'

studioOutside
824 Exposition Avenue, Ste. 5
Dallas, Texas 75226
214.954.7160

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Rev #	Date	Issue/Revision
	03/19/24	ASR #1

PLANTING PLAN
LIFE TIME LIVING RESIDENTIAL
RALEIGH, NC

COMMISSION NO: 21.130.00
DRAWING NO:
L5.01

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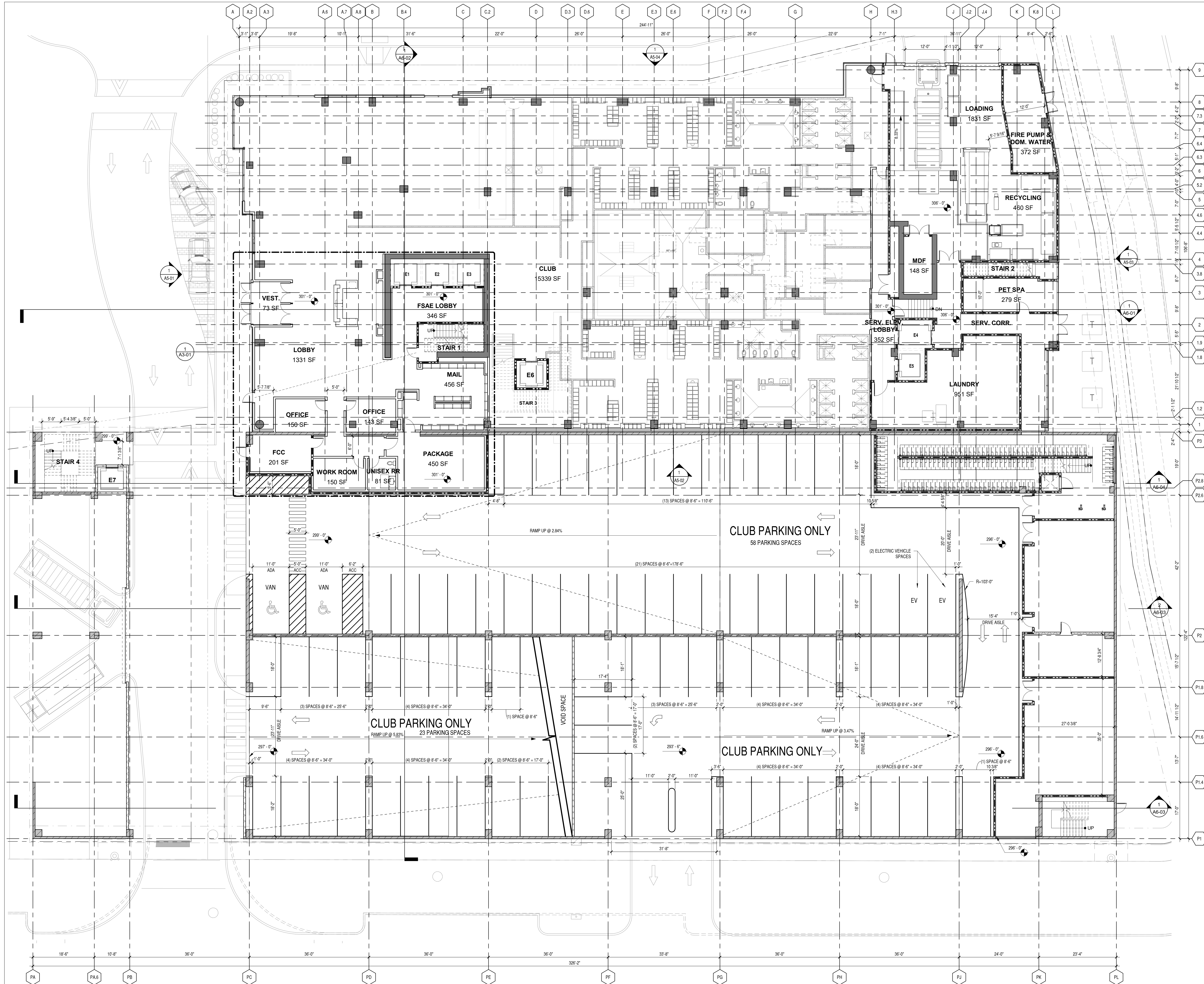
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Rev #	Date	Issue/Revision
03/19/24	ASR #1	

FLOOR PLAN - LEVEL 1 (LIFE TIME / PARKING)
LIFE TIME LIVING RESIDENTIAL
 COMMISSION NO: 21.130.00
 DRAWING NO:
RALEIGH, NC

A1-01

NOT ISSUED FOR CONSTRUCTION

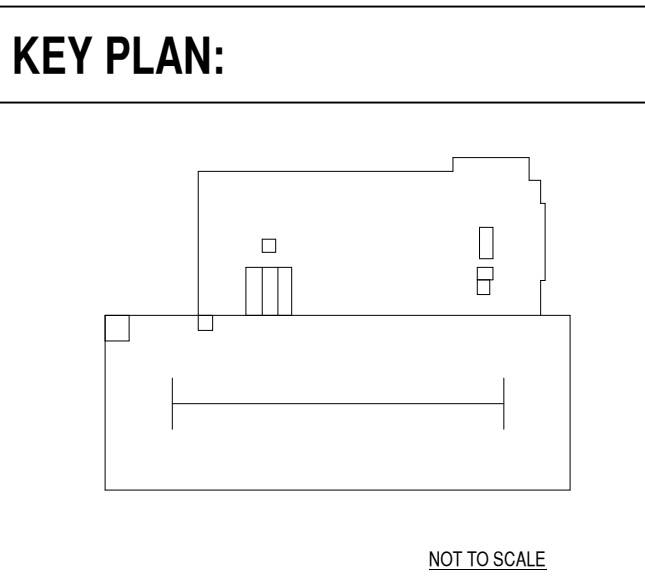


PARTITION LEGEND:

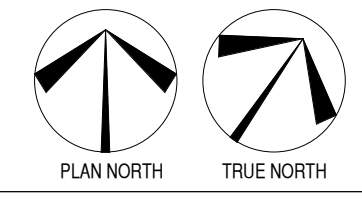
[Symbol]	1-HOUR FIRE-RATING
[Symbol]	2-HOUR FIRE-RATING
[Symbol]	3-HOUR FIRE-RATING
[Symbol]	4-HOUR FIRE-RATING

- PARTITION GENERAL NOTES:**
- REFER TO SPECIFICATIONS AND SHEET A1-XXX AND A1-XXX FOR ADDITIONAL GENERAL NOTES.
 - SEE A1-XXX FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
 - REFER TO A1-XXX FOR TYPICAL PARTITION TYPES, HEIGHTS, SOUND ATTENUATION AND THICKNESS.
 - REFER TO LIFE SAFETY SHEETS FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
 - CONTRACTOR SHALL FINISH AND INSTALL FIRE-TREATED WOOD BLOCKING CONCEALED IN WALLS FOR ALL WALL-MOUNTED MILLWORK, CABINETRY, COUNTERTOPS, SHELVING FIXTURES, GRAB BARS AND AV EQUIPMENT AS REQUIRED. UNO.
 - ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY UNO. MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN.
 - ALL PARTITIONS ARE DIMENSIONED TO FINISH FACE OF PARTITION, TO CENTERLINE OF COLUMNS, AND TO FACE OF CONCRETE ON MASONRY WALLS UNO. ALL DIMENSIONS INDICATED ON DRAWINGS SHALL BE CONSIDERED CRITICAL. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DEVIATIONS IN PLACEMENT PRIOR TO INSTALLATION. MAINTAIN DIMENSIONS MARKED 'CLEAR' OR 'HOLD'. ALLOW FOR THICKNESS OF FINISHES.
 - DOOR OPENINGS - IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 6" FROM THE ADJACENT WALL UNO.

- PARTITION PLAN KEY NOTES:**
- XXX
 - XXX
 - XXX



1 FLOOR PLAN - LEVEL 1 (LIFE TIME PARKING)
 3/32" = 1'-0"



NOT TO SCALE



RULE JOY TRAMMELL RUBIO, LLC
 ARCHITECTURE INTERIOR DESIGN
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 770-661-1492 (phone) 770-661-1493 (fax)
 www.rjtrdesign.com

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FLOOR PLAN - LEVEL P2 (PARKING)
LIFE TIME LIVING RESIDENTIAL
 RALEIGH, NC

COMMISSION NO: 21.130.00
 DRAWING NO:

A1-02

NOT ISSUED FOR CONSTRUCTION

PARTITION LEGEND:

- 1-HOUR FIRE-RATING
- 2-HOUR FIRE-RATING
- 3-HOUR FIRE-RATING
- 4-HOUR FIRE-RATING

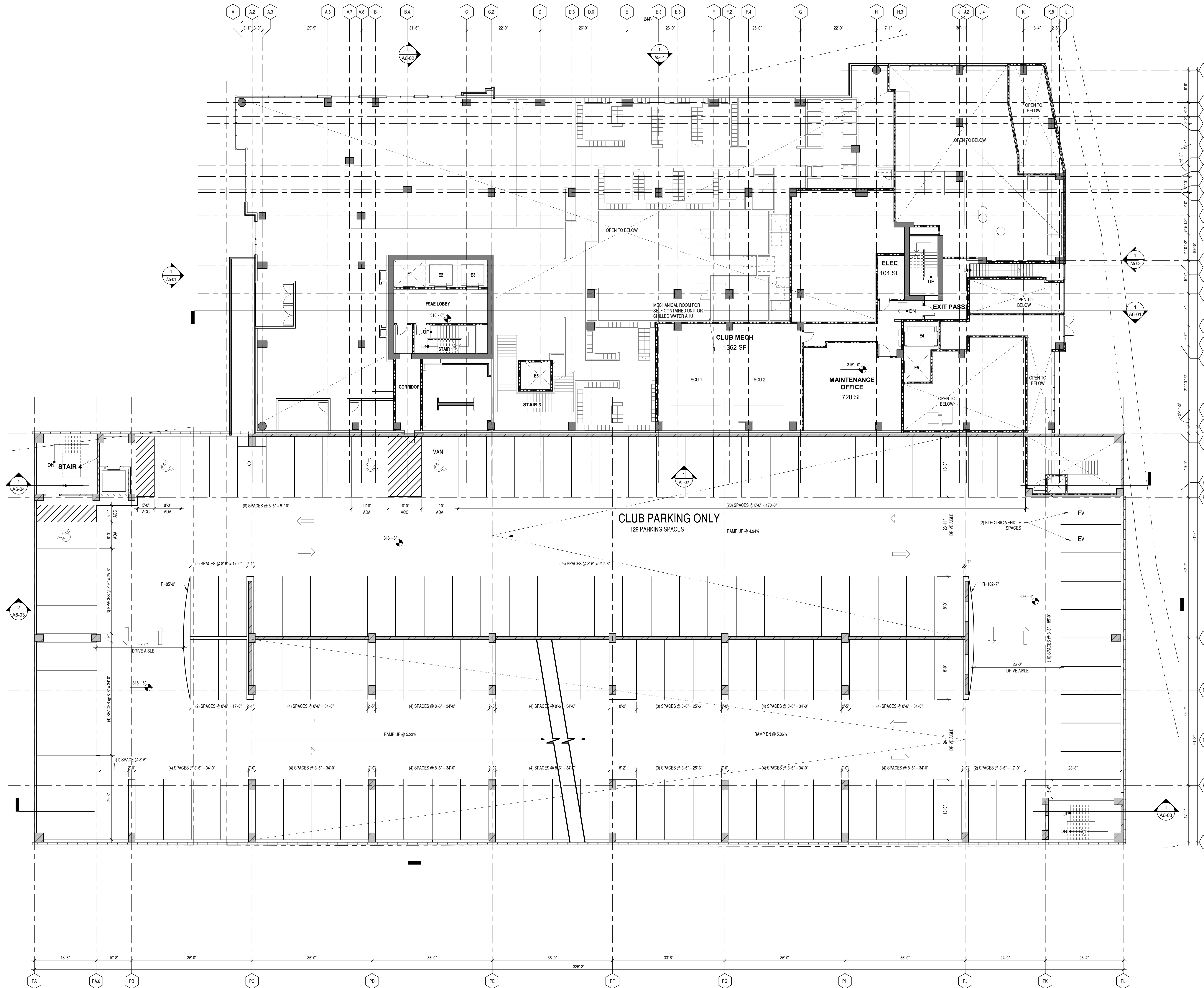
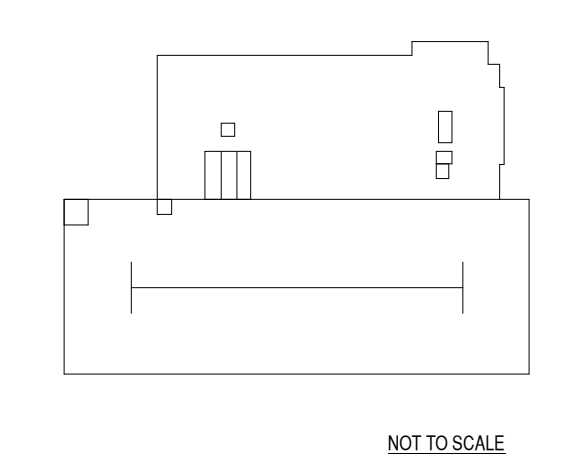
PARTITION GENERAL NOTES:

1. REFER TO SPECIFICATIONS AND SHEET A1-XXX AND A1-XXX FOR ADDITIONAL GENERAL NOTES.
2. SEE A1-XXX FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
3. REFER TO A1-XXX FOR TYPICAL PARTITION TYPES, HEIGHTS, SOUND ATTENUATION AND THICKNESS.
4. REFER TO LIFE SAFETY SHEETS FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
5. CONTRACTOR SHALL FURNISH AND INSTALL FIRE-TREATED WOOD BLOCKING CONCEALED IN WALLS FOR ALL WALL-MOUNTED MILLWORK, CABINETRY, COUNTERTOPS, SHELVING FIXTURES, GRAB BARS AND AV EQUIPMENT AS REQUIRED. UNO.
6. ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY UNO. MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
7. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN.
8. ALL PARTITIONS ARE DIMENSIONED TO FINISH FACE OF PARTITION, TO CENTERLINE OF COLUMNS, AND TO FACE OF CONCRETE ON MASONRY WALLS UNO. ALL DIMENSIONS INDICATED ON DRAWINGS SHALL BE CONSIDERED CRITICAL. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DEVIATIONS IN PLACEMENT PRIOR TO INSTALLATION. MAINTAIN DIMENSIONS MARKED 'CLEAR' OR 'HOLD'. ALLOW FOR THICKNESS OF FINISHES.
9. DOOR OPENINGS - IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 6" FROM THE ADJACENT WALL UNO.

PARTITION PLAN KEY NOTES:

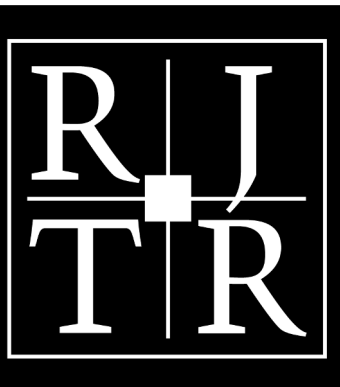
- 1 XXX
- 2 XXX
- 3 XXX

KEY PLAN:



FLOOR PLAN - LEVEL 1.5 (P2 PARKING)
 3/32" = 1'-0"
 PLAN NORTH TRUE NORTH

NOT TO SCALE



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 770-661-1492 (phone) 770-661-1493 (fax)
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FLOOR PLAN - LEVEL 2 (P3 LIFE TIME PARKING)
LIFE TIME LIVING RESIDENTIAL
 RALEIGH, NC

COMMISSION NO: 21.130.00
 DRAWING NO:

A1-03

PARTITION LEGEND:

- 1-HOUR FIRE-RATING
- 2-HOUR FIRE-RATING
- 3-HOUR FIRE-RATING
- 4-HOUR FIRE-RATING

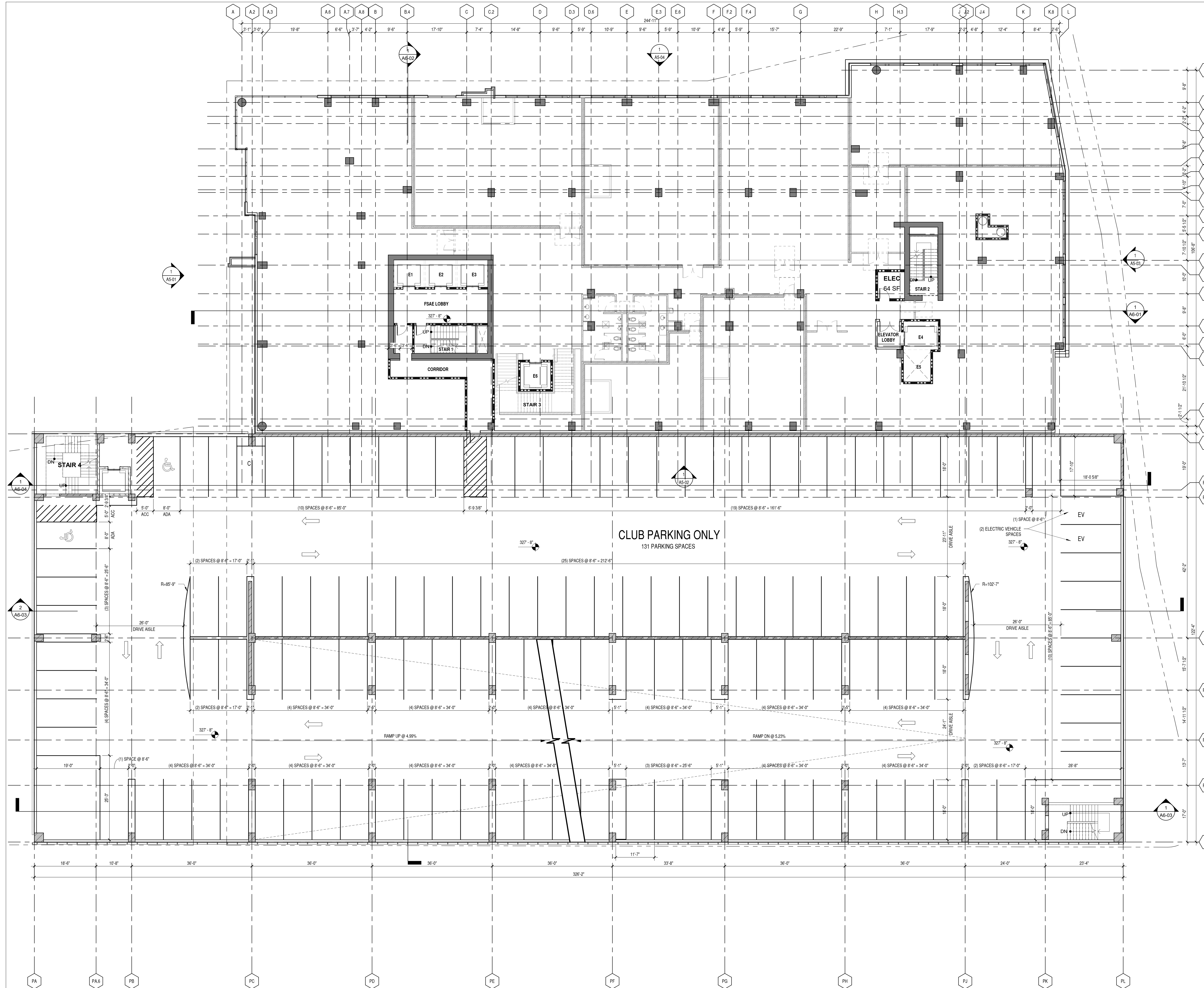
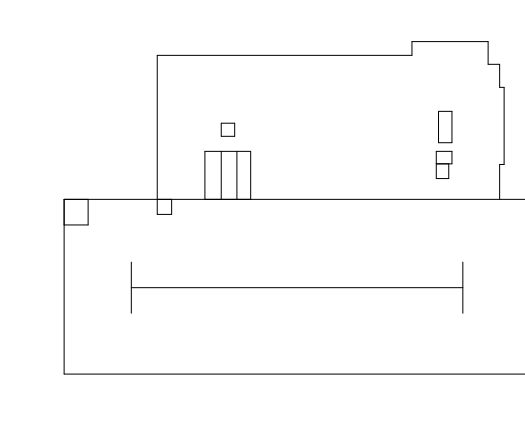
PARTITION GENERAL NOTES:

1. REFER TO SPECIFICATIONS AND SHEET A1-XXX AND A1-XXX FOR ADDITIONAL GENERAL NOTES.
2. SEE A1-XXX FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
3. REFER TO A1-XXX FOR TYPICAL PARTITION TYPES, HEIGHTS, SOUND ATTENUATION AND THICKNESS.
4. REFER TO LIFE SAFETY SHEETS FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
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7. DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN.
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9. DOOR OPENINGS - IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 6" FROM THE ADJACENT WALL UNO.

PARTITION PLAN KEY NOTES:

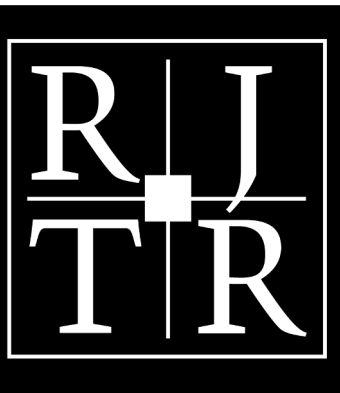
- 1 XXX
- 2 XXX
- 3 XXX

KEY PLAN:



FLOOR PLAN - LEVEL 2 (P3)
 3/32" = 1'-0"
 PLAN NORTH TRUE NORTH

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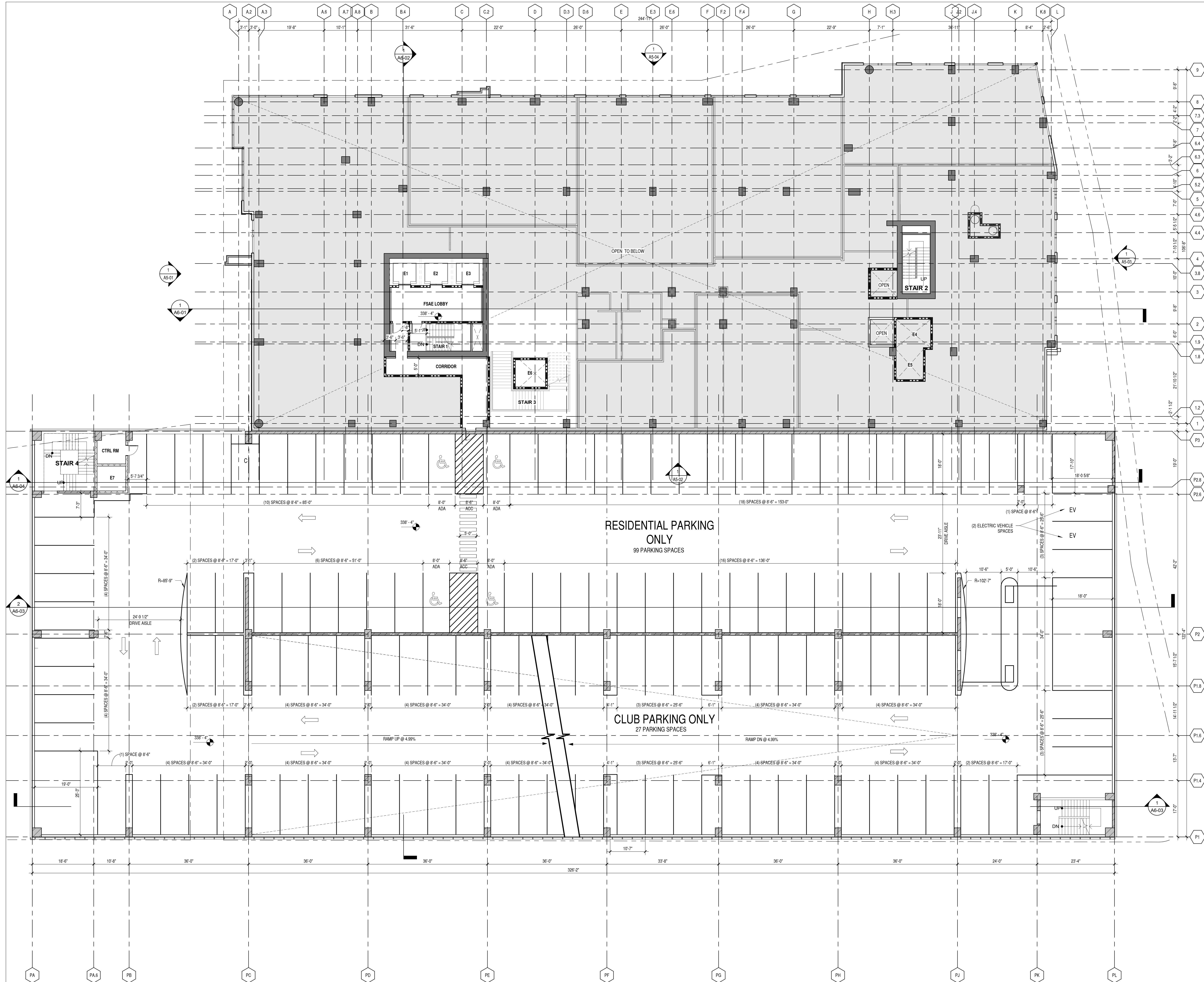
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Rev #	Date	Issue/Revision
1	03/19/24	ASR #1

FLOOR PLAN - LEVEL P4 (PARKING)
LIFE TIME LIVING RESIDENTIAL
 RALEIGH, NC

COMMISSION NO: 21.130.00
 DRAWING NO:

A1-04

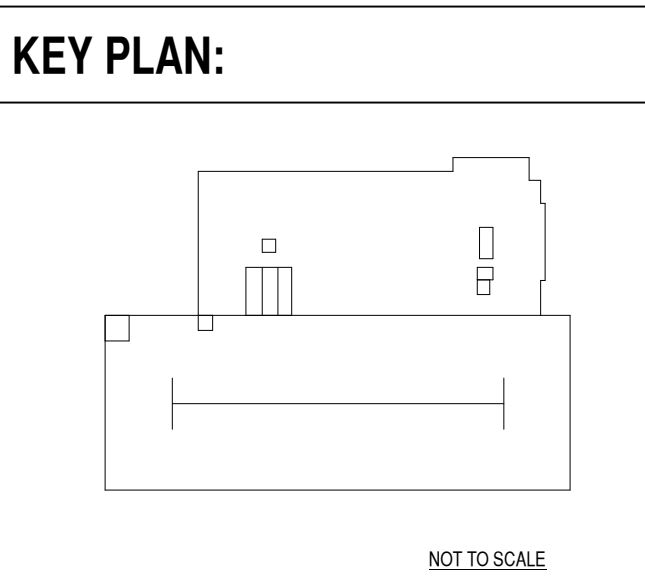


PARTITION LEGEND:

[Symbol]	1 HOUR FIRE-RATING
[Symbol]	2 HOUR FIRE-RATING
[Symbol]	3 HOUR FIRE-RATING
[Symbol]	4 HOUR FIRE-RATING

- PARTITION GENERAL NOTES:**
- REFER TO SPECIFICATIONS AND SHEET A1-XXX AND A1-XXX FOR ADDITIONAL GENERAL NOTES.
 - SEE A1-XXX FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
 - REFER TO A1-XXX FOR TYPICAL PARTITION TYPES, HEIGHTS, SOUND ATTENUATION AND THICKNESS.
 - REFER TO LIFE SAFETY SHEETS FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
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 - DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN.
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 - DOOR OPENINGS - IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 6" FROM THE ADJACENT WALL UNO.

- PARTITION PLAN KEY NOTES:**
- 1 XXX
 - 2 XXX
 - 3 XXX



FLOOR PLAN - LEVEL P4
 3/32" = 1'-0"

NOT ISSUED FOR CONSTRUCTION



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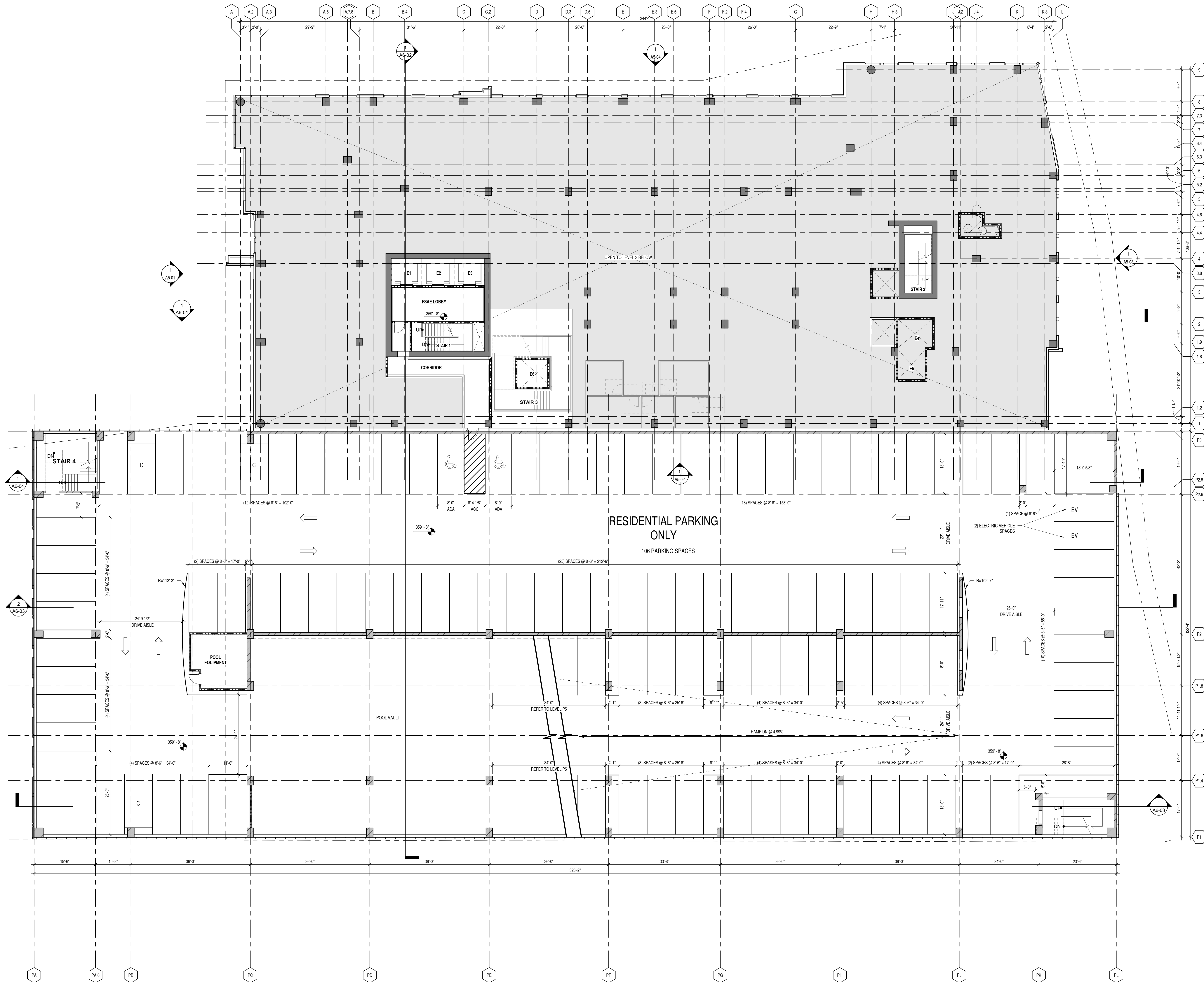
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Rev #	Date	Issue/Revision
03/19/24	ASR #1	

FLOOR PLAN - LEVEL P6 (PARKING)
LIFE TIME LIVING RESIDENTIAL
 RALEIGH, NC

COMMISSION NO: 21.130.00
 DRAWING NO:

A1-06

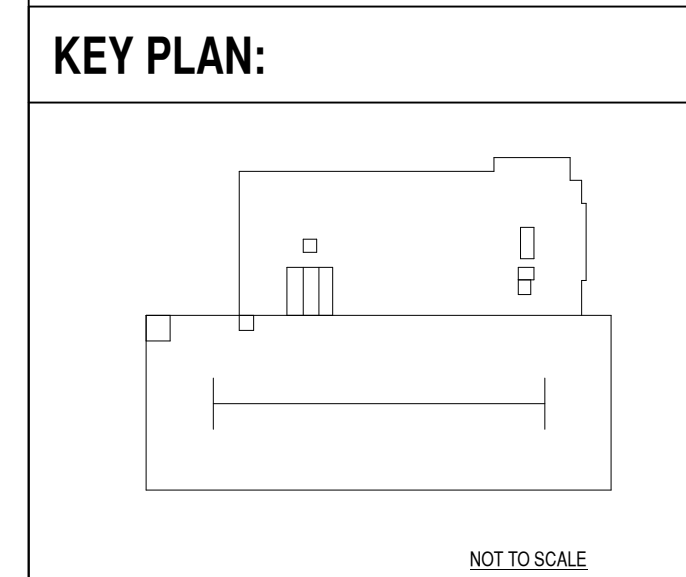


PARTITION LEGEND:

[Symbol]	1 HOUR FIRE-RATING
[Symbol]	2 HOUR FIRE-RATING
[Symbol]	3 HOUR FIRE-RATING
[Symbol]	4 HOUR FIRE-RATING

- PARTITION GENERAL NOTES:**
- REFER TO SPECIFICATIONS AND SHEET A1-XXX AND A1-XXX FOR ADDITIONAL GENERAL NOTES.
 - SEE A1-XXX FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
 - REFER TO A1-XXX FOR TYPICAL PARTITION TYPES, HEIGHTS, SOUND ATTENUATION AND THICKNESS.
 - REFER TO LIFE SAFETY SHEETS FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
 - CONTRACTOR SHALL FURNISH AND INSTALL FIRE-TREATED WOOD BLOCKING CONCEALED IN WALLS FOR ALL WALL-MOUNTED MILLWORK, CABINETRY, COUNTERTOPS, SHELVING FIXTURES, GRAB BARS AND AV EQUIPMENT AS REQUIRED. UNO.
 - ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY UNO. MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN.
 - ALL PARTITIONS ARE DIMENSIONED TO FINISH FACE OF PARTITION, TO CENTERLINE OF COLUMNS, AND TO FACE OF CONCRETE ON MASONRY WALLS UNO. ALL DIMENSIONS INDICATED ON DRAWINGS SHALL BE CONSIDERED CRITICAL. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DEVIATIONS IN PLACEMENT PRIOR TO INSTALLATION. MAINTAIN DIMENSIONS MARKED 'CLEAR' OR 'HOLD'. ALLOW FOR THICKNESS OF FINISHES.
 - DOOR OPENINGS - IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 6" FROM THE ADJACENT WALL UNO.

- PARTITION PLAN KEY NOTES:**
- XXX
 - XXX
 - XXX



1 FLOOR PLAN - LEVEL P6
 3/32" = 1'-0"

NOT ISSUED FOR CONSTRUCTION



1 WEST ELEVATION
3/32" = 1'-0"

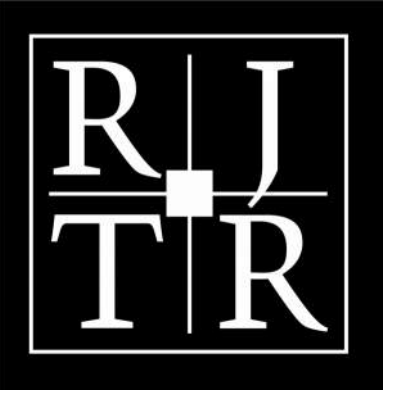
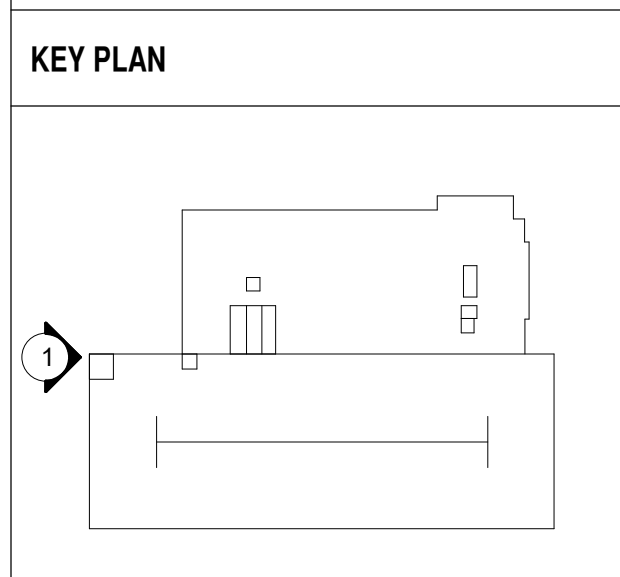
EXTERIOR MATERIAL LEGEND

A	DRAINABLE EIFS - COLOR 1
B	DRAINABLE EIFS - COLOR 2
C	PREFINISHED ALUMINUM BALCONY RAILING W/ PREFINISHED METAL MESH INFILL PANELS
D	PREFINISHED ALUMINUM BALCONY RAILING W/ CLEAR LAMINATED TEMPERED GLASS INFILL PANELS
E	COATED BALCONY SLAB
F	PREFINISHED ALUMINUM WINDOW WALL SYSTEM W/ HIGH PERFORMANCE 1" INSULATING GLASS PANELS - COLOR 1
G	PREFINISHED ALUMINUM WINDOW WALL SYSTEM W/ HIGH PERFORMANCE 1" INSULATING GLASS PANELS - COLOR 2
H	STRUCTURAL PRECAST PARKING DECK PANELS W/ ARCHITECTURAL FACE MIX, W/ 1" DEEP REVEALS (2 COLORS AS INDICATED ON ELEVATIONS)
I	ARCHITECTURAL MESH SCREEN SYSTEM (50% OPENNESS) OPEN TO PRECAST DECK STRUCTURE BEHIND (BY SOUTHEASTERN ARCHITECTURAL SYSTEMS OR SIMILAR)
J	EXTERIOR STONE CLADDING TYPE 1
K	EXTERIOR STONE CLADDING TYPE 2
L	EXTERIOR STONE CLADDING TYPE 3
M	3 STORY CURTAINWALL SYSTEM
N	PREFINISHED ALUMINUM CLAD CANOPY

NOTE: ALL LIVING ROOMS TO HAVE SLIDING DOORS AT BALCONY. ALL BEDROOMS TO HAVE ONE LITE OF GLASS W/ AWNING WINDOW IN TOP HALF OF GLASS PANEL.

LIGHTING & SIGNAGE LEGEND

[Symbol]	TYP. RETAIL WALL SCONCE
[Symbol]	WALL MOUNTED SIGNAGE W/ STEEL CHANNEL
[Symbol]	CANOPY SIGNAGE
[Symbol]	BEAM SIGNAGE / PARKING ENTRY SIGNAGE
[Symbol]	PARKING BLADE SIGN
[Symbol]	BANNER SIGN



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Rev #	Date	Issue/Revision
1	03/19/24	ASR #1

WEST ELEVATION
LIFE TIME LIVING RESIDENTIAL
RALEIGH, NC

COMMISSION NO: 21.130.00
DRAWING NO:
A5-01

NOT ISSUED FOR CONSTRUCTION

