



Administrative Approval Action

Case File / Name: ASR-0019-2024
DSLCL - Life Time Living Residential

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 2.05 acre site zoned CX-20 CU (TCZ-16-23) is located on the northwest corner of Social Street and Benson Drive at 1021 Social Street.

REQUEST: This proposal is for an 18 story mixed-use building consisting of a health club, restaurant/bar, multi-unit living, and a parking deck. The total proposed building space is 632,672 square feet with 241 dwelling units.

DA-7-2024 - Design Alternates for building massing, screening, and transparency
BOA-24-2024 - 5' relief from the parking setback from primary or side street right of way.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 12, 2024 by Advanced Civil Design.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Plans and other documentation shall be updated to reflect the accurate number of stories for the residential component.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. Revised impervious limits shall be approved and recorded through a revision to the subdivision SF

Urban Forestry

4. Tree protection fence protecting existing right of way trees bordering the site must be inspected by Urban Forestry staff prior to the issuance of a grading permit.



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
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<input checked="" type="checkbox"/>	Public Access Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A cross access agreement among the lots identified as New Lot 11 and New Lot 10 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded recombining the existing lots as shown on the preliminary plan.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

SITE DATA TABLE

PROPERTY INFORMATION: PIN: 1715270335, ADDRESS: 1021 SOCIAL STREET, TOTAL SITE AREA: 2.055/89,515 ACRES/SF, ZONING INFORMATION: CX-20-CU, DEVELOPMENT INFORMATION: FRONTAGE TYPE: N/A, EXISTING USE: EXISTING SURFACE PARKING MIXED-USE, PROPOSED BUILDING USES: LEVEL 1: HEALTH CLUB, LOBBY, LEVEL 2-3: HEALTH CLUB, LEVEL 4: HEALTH CLUB, APARTMENT, LEVEL 5-18: APARTMENT, EXISTING BUILDING AREA: N/A, PROPOSED BUILDING AREA: HEALTH CLUB 75,404 SF (INTERIOR SPACE), RESTAURANT/BAR 3,500 SF, MULTI-UNIT LIVING 33,730 SF, PROPOSED PARKING AREA: 220,038 SF, TOTAL GROSS FLOOR AREA: 632,672 SF, UNIT BREAKDOWN: 1-BR UNITS: 133, 2-BR UNITS: 97, 2-BR (PENTHOUSE) UNITS: 11, TOTAL UNITS: 241, BUILDING HEIGHT: (20 STORIES MAX) MIXED-USE BUILDING PARKING DECK: 241' (18 STORIES), 75'-8" (6 LEVELS), PRIMARY STREET: BENSON DRIVE, BUILDING SETBACKS: STREET- 5', SIDE - 0' OR 6', REAR - 0' OR 6'

REQUIRED BUILD-TO PER Z-13-16: PRIMARY STREET (BENSON) SIDE STREET (SOCIAL) PROVIDED BUILD-TO: PRIMARY STREET (BENSON) SIDE STREET (SOCIAL) PARKING SETBACKS: STREET- 10', SIDE - 0' OR 3', REAR - 0' OR 3'

IMPERVIOUS AREA CALCULATIONS: EX. IMPERVIOUS AREA: 1.300/56,620 ACRES/SF, PR. IMPERVIOUS AREA: 1.833/79,838 ACRES/SF, SITE COVERAGE: 1.833/2.055 = 89.2%

FLOOD HAZARD AREA: NO, FEMA MAP PANEL #372171500J, REQUIRED AMENITY AREA: (10% OF SITE AREA) 2.055 AC * 10% = 0.205 (8,952 SF)

PROVIDED AMENITY AREA: BUILDING TERRACE (LEVEL 4) 0.207 AC (9,000 SF)

*TERRACE OPEN TO ALL OCCUPANTS, INVITEES, & GUESTS OF THE DEVELOPMENT

PARKING CALCULATIONS: MAX PARKING ALLOWED (HEALTHCLUB) 260 SF = 75604 = 377 SPACES MAX, MAX PARKING ALLOWED (RESTAURANT/BAR) 180 SF = 3600 = 35 SPACES MAX, MAX PARKING ALLOWED (MULTI-UNIT LIVING) 1.5(18R)+2.25(28R)+3(38R) 1.5(133)+2.25(108) = 441 SPACES MAX

TOTAL MAX PARKING ALLOWED 853 SPACES MAX, TOTAL PROPOSED PARKING 697 SPACES

ACCESSIBLE PARKING: REQUIRED ACCESSIBLE PARKING: 2% OF TOTAL PARKING = 0.2(870) = 13.4 ~ 14, 29 SPACES, PROVIDED STANDARD ACCESSIBLE SPACES: 21 SPACES, REQUIRED VAN PARKING SPACES: 1/8 REQUIRED ACCESSIBLE PARKING = 1/8 (14 SPACES) = 2.33 ~ 3, 7 (2 OF 7 = EV VAN PARKING)

PROVIDED VAN PARKING SPACES: 36 SPACES

COMPACT PARKING: PROVIDED: 47 SPACES

ELECTRIC CAR CHARGING SPACES: REQUIRED ELECTRIC CAR 100,000 SF = 78,800 X 2 = 1.6 + 180 UNITS = 180 X 2 = 4.8, 1.6 + 4.8 = 6.3 ~> 7 SPACES, CHARGING STATION PER Z-13-16 PROVIDED ELECTRIC CAR CHARGING STATION 36 SPACES

BICYCLE CALCULATIONS: SHORT TERM BICYCLE PARKING: REQ. (HEALTH CLUB) 5000 SF = 25000 = 15 SPACES, REQ. (RESTAURANT/BAR) 50000 SF = 250000 = 4 SPACES, REQ. (MULTI-UNIT LIVING) 30 UNITS = 30 = 12.05 = 13 SPACES, REQ. SHORT TERM (TOTAL) 32 SPACES

LONG TERM BICYCLE PARKING: REQ. (HEALTH CLUB) NONE, REQ. (RESTAURANT/BAR) 25000 SF (4 MINIMUM) = 25000 = 4 SPACES, 1 PER 7 BR: 133(1)+108(2) = 349 BR, 349 = 49.8 ~> 50 SPACES, REQ. (MULTI-UNIT LIVING) 54 SPACES, REQ. LONG TERM (TOTAL) 54 SPACES

*BICYCLE PARKING EXEMPTION: NO MORE THAN 50 BICYCLE SPACES REQUIRED FOR MIXED-USE BUILDING (UDO 7.1.7.J)

PROVIDED SHORT/LONG TERM BICYCLE PARKING 83 (WALL RACKS INSIDE BLDG)

Proposed Site Data Table: Acres, Square Feet, New Lot 8 Area 0.860 37,468, New Lot 9 Area 0.612 26,679, New Lot 10 Area 1.119 48,725, New Lot 11 Area (Site) 2.055 89,515, Total Area 4.646 202,387

Existing Site Data Table: Owner: St Albans Holdings LLC, Address: 3410 Skygarden Way, PIN #: 1721-69-7242, Tract Data: D.B. 16847, Pg. 2029, Map Data: B.M. 1989, Pg. 216, Lot #: (Lot 8), Lot Area (square feet): 42,421, Lot Area (acres): 0.974

Administrative Site Review Application

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.1. Please check the appropriate building types and include the plan checklist document when submitting. Office Use Only: Case #: Planner (print):

Site Plan Tier: Tier Two Site Plan, Tier Three Site Plan, Building and Development Type (Check all that apply): Detached, Attached, Townhouse, Apartment, Tiny house, Open lot, General, Mixed use, Civic, Cottage Court, Frequent Transit Development Option, Subdivision case #, Site/sketch plan case #, Certificate of Appropriateness #, Board of Adjustment #, Zoning Case #, Zoning Alternate #, Development name, Inside City limits?, Property address(es), Site P.I.N.(s), Please describe the scope of work, Current Property Owner(s), Company, Address, Phone, Applicant Name, Company, Address, Phone #

Phone # 919-460-2024, Email: buzzzell@advancedcivildesign.com, NOTE: please attach purchase agreement or contract, lease or easement when submitting this form, Developer Contact: Company, Title, Address, Phone #, Applicant Name, Company, Address, Phone #

DEVELOPMENT TYPE & SITE DATA TABLE: Zoning district(s), Gross site acreage, # of parking spaces proposed, Max # parking permitted, Overlay District, Existing use, Proposed use, STORMWATER INFORMATION: Impervious Area on Parcel(s), Existing (sf), Proposed total (sf), RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS: Total # of dwelling units, # of bedroom units, # of lots

APPLICANT SIGNATURE BLOCK: Pursuant to state law (N.C. Gen. Stat. § 160D-402(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

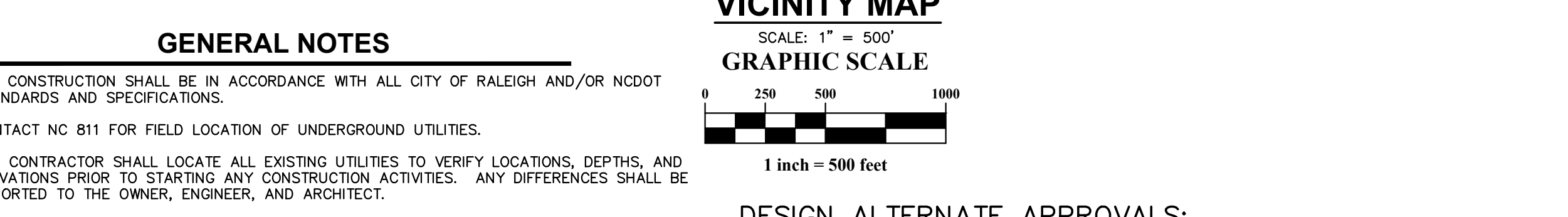
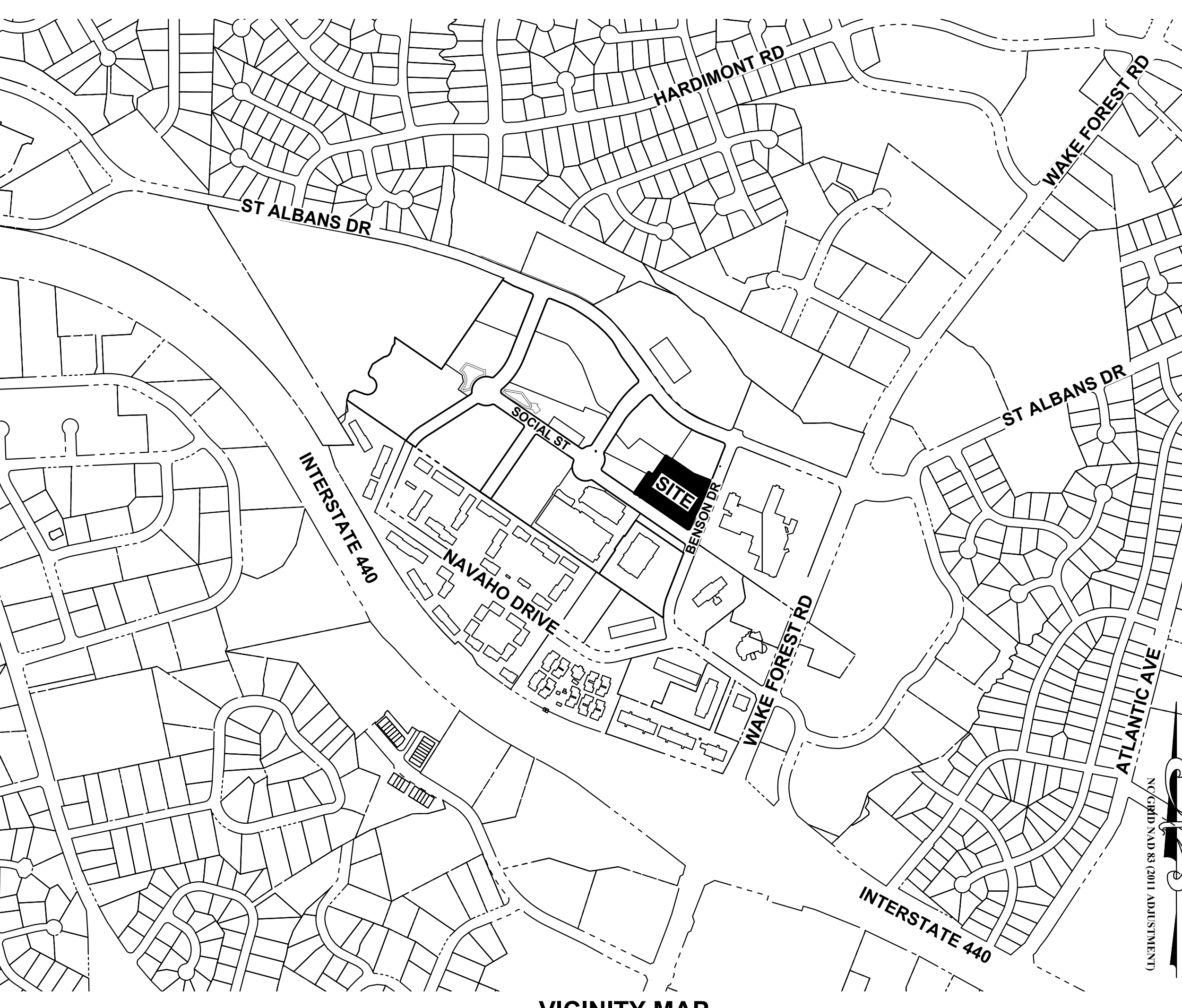
Continue to Applicant Signature Block on Page 4.

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

SOLID WASTE INSPECTION STATEMENT: 1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR, 2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL, 3. THIS PROJECT PROPOSES ONE TRASH COMPACTOR AND ONE MINI-MAC COMPACTOR THAT WILL BE SERVICED BY A PRIVATE SOLID WASTE SERVICE, 4. ALL COLLECTION OF GARBAGE, RECYCLING, AND YARD WASTE WILL OCCUR ON THE INTERNAL OF THE PROPERTY OFF THE PUBLIC RIGHT OF WAY.

ADMINISTRATIVE SITE REVIEW LIFE TIME LIVING RESIDENTIAL 1021 SOCIAL STREET CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA 2024



- GENERAL NOTES: 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS. 2. CONTACT NC 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES. 3. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES TO VERIFY LOCATIONS, DEPTHS, AND ELEVATIONS PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. 4. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH ENGINEERING DEPARTMENT. 5. LOCATIONS AND SIZES SHOWN FOR STORMWATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN. 6. LOCATIONS AND SIZES SHOWN FOR WATER AND SEWER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN. 7. PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN. 8. THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE. 9. HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CURRENT RALEIGH ENGINEERING STANDARD DRAWING DRAMINGS. 10. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH. 11. OUTDOOR CONSTRUCTION ACTIVITY, OUTDOOR BUILDING MAINTENANCE, OUTDOOR LANDSCAPING AND TRASH AND RECYCLING FACILITY SERVICE SHALL BE ALLOWED ONLY BETWEEN THE HOURS OF 7 AM TO 7 PM. 12. AT LEAST ONE EMERGENCY PHONE SHALL BE LOCATED ON EACH LEVEL OF A PARKING STRUCTURE.

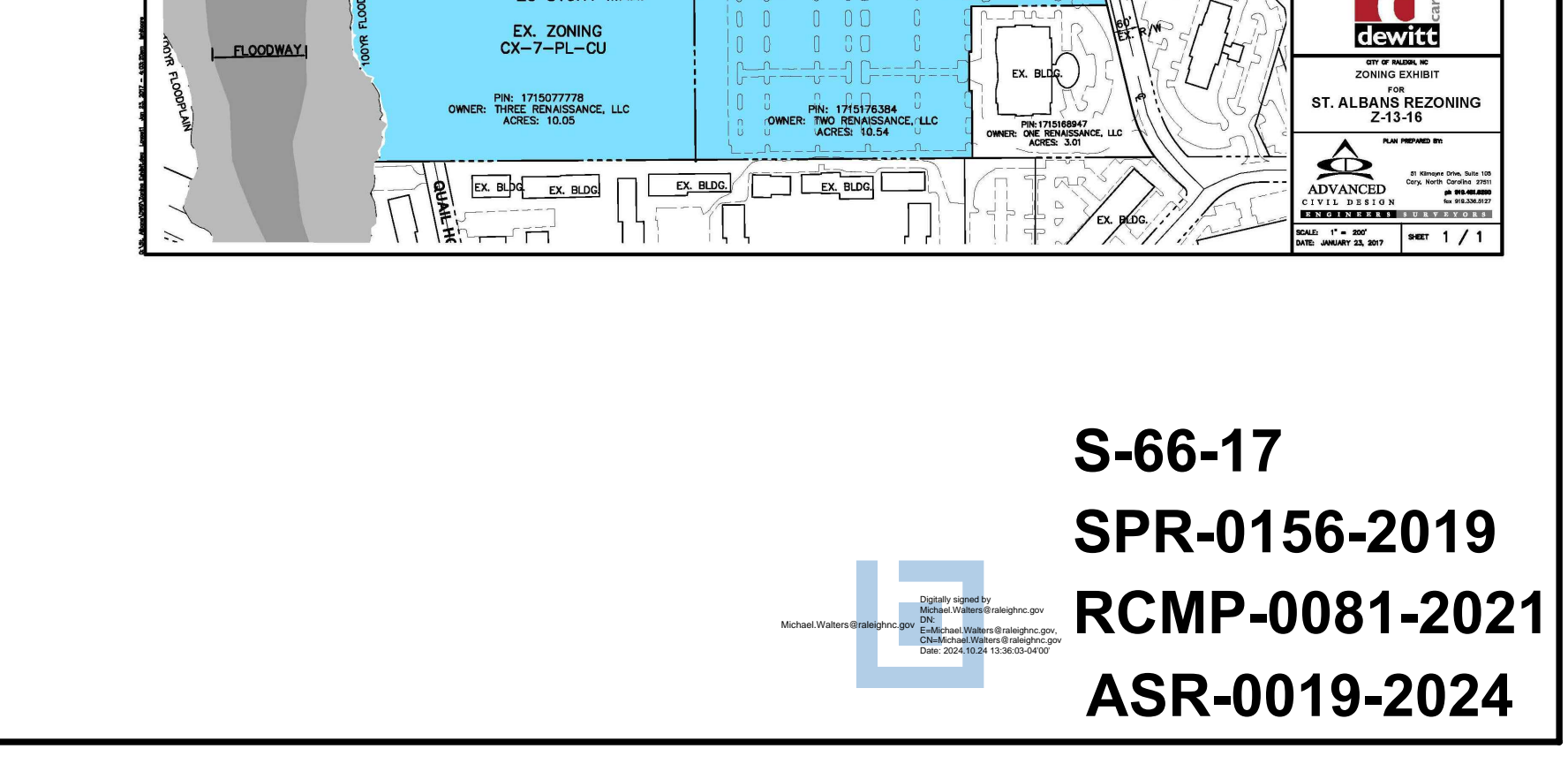
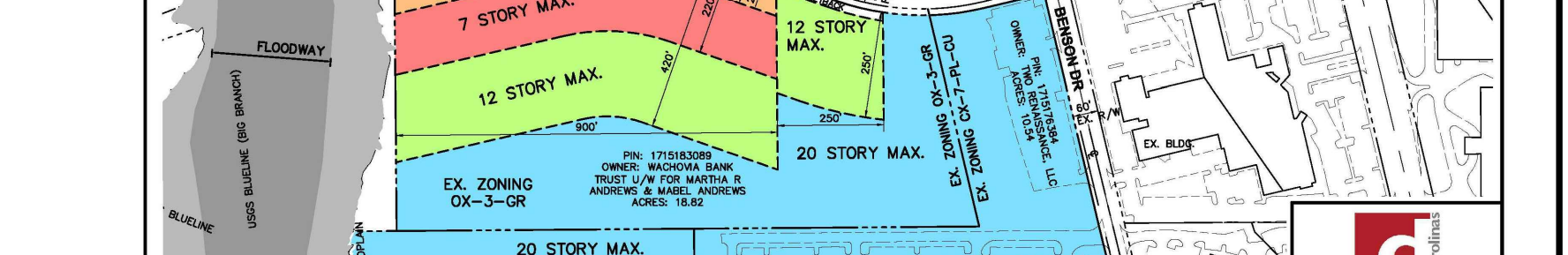
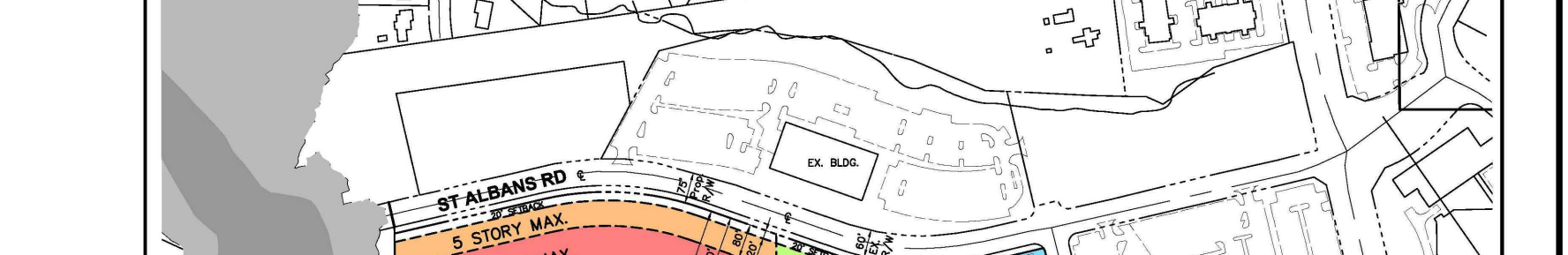
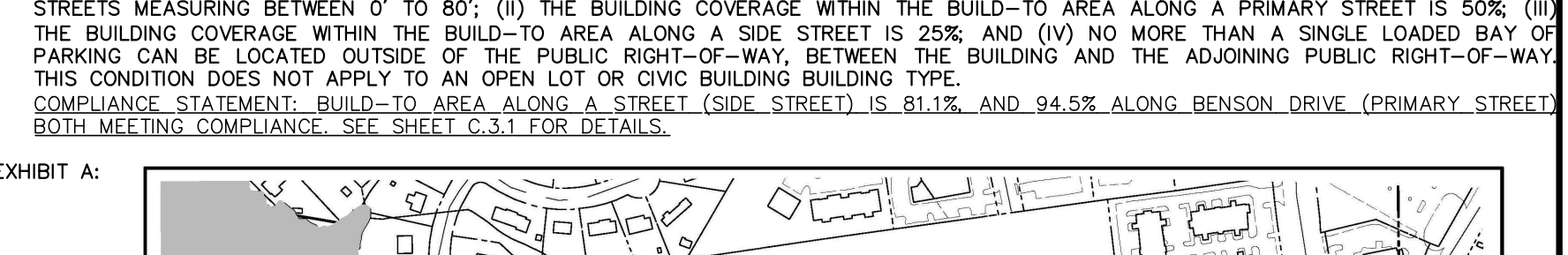
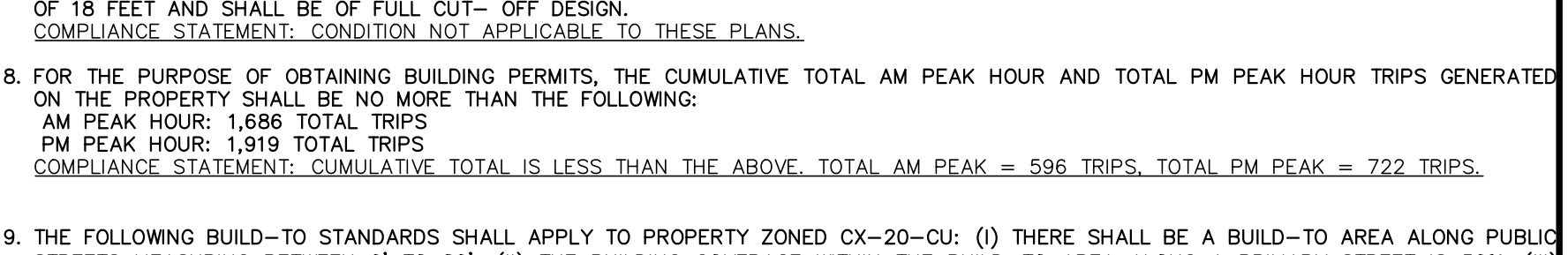
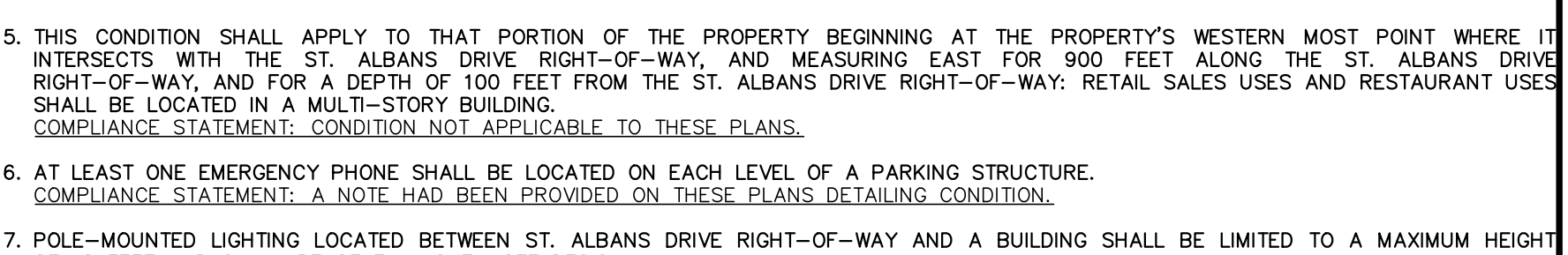
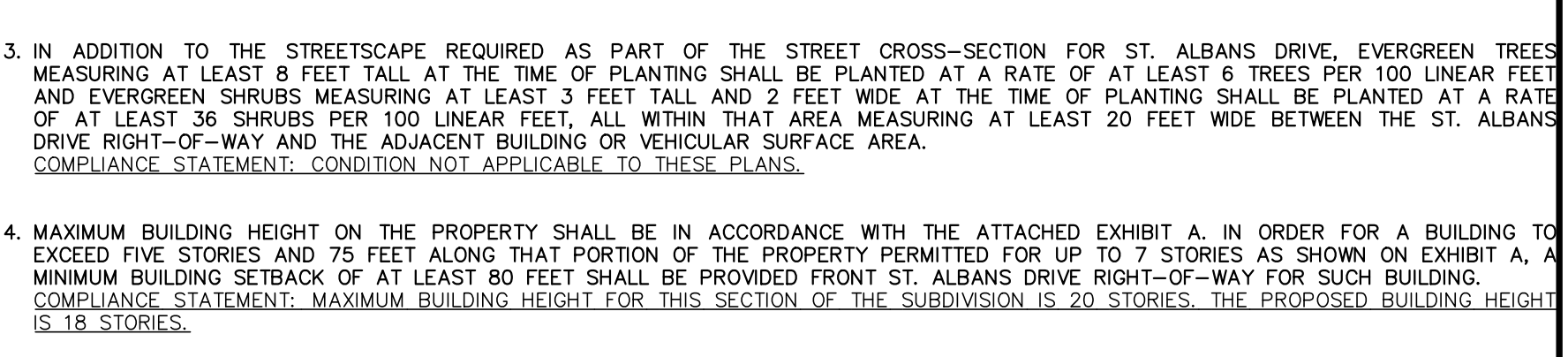
INDEX OF DRAWINGS

TITLE SHEET, BOA AND DA LETTERS, EXISTING CONDITIONS PLAN, DEMOLITION PLAN, SITE PLAN, LOTS & EASEMENTS PLAN, TRUCK TURN EXHIBIT, POST-DEVELOPED STORMWATER PLAN, UTILITY PLAN, FIRE DEPARTMENT ACCESS PLAN, STANDARD DETAILS, SITE LIGHTING PLAN, LANDSCAPE PLAN, FLOOR PLANS, EXTERIOR ELEVATIONS

CIVIL ENGINEER: ADVANCED CIVIL DESIGN, INC. LANDSCAPE ARCHITECT: STUDIOOUTSIDE. ARCHITECT: RULE JOY TRAMMELL + RUBIO, LLC. DEVELOPER: DEWITT CAROLINAS, INC. OWNER: ST ALBANS HOLDINGS LLC.

ZONING CONDITIONS (TCZ-16-23):

- TCZ-16-23 - MIDTOWN EXCHANGE, BEING AN ASSEMBLAGE OF PROPERTIES LOCATED EAST OF WAKE FOREST ROAD, ALONG ST. ALBANS DRIVE AND BENSON DRIVE ALONG ST. ALBANS DRIVE, BENSON DRIVE, SOCIAL STREET, QUAIL HOLLOW DRIVE, AND SKYGARDEN WAY, BEING WAKE COUNTY PINS 171519222, 171518304, 171518039, 171508918, 171518545, 171517472, 171519703, 1715178527, 171517467, 171527147, 171527035, 1715172434, 1715079605, 1715079554, 1715088084, 1715179145. AMENDED CONDITIONS DATED: MARCH 10, 2023 (Z-13-16, ORDINANCE NO. (2017) 553 ZC 865 ADOPTED/EFFECTIVE SEPTEMBER 10, 2023). 1. THE FOLLOWING PRINCIPAL USES LISTED IN THE ALLOWED PRINCIPAL USE TABLE SHALL BE PROHIBITED: CEMETERY; MAJOR UTILITIES - ALL TYPES; ADULT ESTABLISHMENT; VEHICLE FUEL SALES; DETENTION CENTER, JAIL, PRISON; LIGHT INDUSTRIAL - ALL TYPES; LIGHT MANUFACTURING - ALL TYPES; CAR WASH; VEHICLE REPAIR - ALL TYPES; ANY EATING ESTABLISHMENT WITH A DRIVE-THRU WINDOW SHALL BE LOCATED AT LEAST 300 FEET FROM THE RIGHT-OF-WAY FROM ST. ALBANS DRIVE. 2. FOR THE PROPERTIES LOCATED AT 800 ST. ALBANS DRIVE (PIN: 1715180399) (DEED BOOK 16847, PAGE 2029, WAKE COUNTY REGISTRY) AND 3420 QUAIL HOLLOW DRIVE (PIN: 171518545) (DEED BOOK 16847, PAGE 2029, WAKE COUNTY REGISTRY), THERE SHALL BE NO OUTDOOR SEATING OR PRIMARY PUBLIC ENTRANCE ASSOCIATED WITH A BAR, NIGHTCLUB, TAVERN, LOUNGE USE LOCATED ON THE GROUND LEVEL ALONG ST. ALBANS DRIVE RIGHT-OF-WAY THAT IS NOT RELIEVE THE AFFECTED BUILDINGS FROM MEETING THE RELEVANT FRONTAGE REQUIREMENTS OR OTHERWISE OBTAINING A DESIGN ALTERNATE. 3. PRIOR TO RECORDECTION OF A SUBDIVISION PLAT OR ISSUANCE OF A BUILDING PERMIT FOR NEW DEVELOPMENT, WHICHEVER EVENT FIRST OCCURS, A TRANSIT EASEMENT ALONG ST. ALBANS DRIVE SHALL BE DEEDED TO THE CITY AND RECORDED IN THE WAKE COUNTY REGISTRY PRIOR TO RECORDECTION OF EACH TRANSIT EASEMENT, THE DIMENSIONS (NOT TO EXCEED 15 FEET IN DEPTH OR 20 FEET IN WIDTH) AND THE LOCATION SHALL BE AS SHOWN ON THE TRANSPORTATION DEPARTMENT AND THE EASEMENT DOCUMENT APPROVED BY THE CITY ATTORNEY'S OFFICE. 4. THE FULL WIDTH OF RIGHT-OF-WAY DEDICATION AND IMPROVEMENTS FOR ST. ALBANS DRIVE REQUIRED BY THE CITY SHALL BE ACCORDANT WITH THE FOLLOWING IMPROVEMENTS TO BE CONSTRUCTED WITHIN THE TRANSIT EASEMENT, THEN SUCH SHALL BE CONSTRUCTED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY, WITH CONSTRUCTION PLANS APPROVED BY THE TRANSPORTATION DEPARTMENT: (A) A CEMENT PAD MEASURING NO GREATER THAN 15'X20', (B) A CEMENT LANDING ZONE PARALLEL TO THE STREET BETWEEN THE DRIVE AND THE BACK-OF-WAY FROM ST. ALBANS DRIVE, (C) A SLEEVE FOR INSTALLATION OF A 24" DIA. SLEEVE FOR INSTALLATION OF A 24" DIA. ACCESSIBLE SHELTER AND LITTER CONTAINER. 5. THE FULL WIDTH OF RIGHT-OF-WAY DEDICATION AND IMPROVEMENTS FOR ST. ALBANS DRIVE REQUIRED BY THE CITY SHALL BE ACCORDANT WITH THE FOLLOWING IMPROVEMENTS, SUCH THAT THE CURB ON THE NORTH SIDE OF THE ROAD SHALL NOT BE MOVED IN ORDER TO PROVIDE THE REQUIRED IMPROVEMENTS. 6. OUTDOOR CONSTRUCTION ACTIVITY, OUTDOOR BUILDING MAINTENANCE, OUTDOOR LANDSCAPING AND TRASH AND RECYCLING FACILITY SERVICE SHALL BE ALLOWED ONLY BETWEEN THE HOURS OF 7 AM AND 7 PM. 7. NO LATER THAN THE ISSUANCE OF THE FIRST BUILDING PERMIT FOR THE PROPERTY SUBJECT TO THIS REZONING, THE PROPERTY OWNER SHALL REQUEST THAT THE CITY POST THAT PORTION OF ST. ALBANS DRIVE ALONG THE PROPERTY WITH SIGNS INDICATING THAT NO COMMERCIAL OR CONSTRUCTION-RELATED PARKING, OR LOADING OR UNLOADING ACTIVITY SERVING DEVELOPMENT ON THE PROPERTY SHALL BE PERMITTED ALONG THE PROPERTY'S FRONTAGE ON ST. ALBANS DRIVE, IF PERMITTED BY THE CITY, SIGNS SHALL BE POSTED INDICATING THIS PROHIBITION. 8. SUBJECT TO THE APPROVAL OF THE APPROPRIATE GOVERNMENTAL AUTHORITY, EACH NEW CROSSWALK CROSSING ST. ALBANS DRIVE SHALL HAVE A MID-CROSSING BOLLARD-PROTECTED PEDESTRIAN REFUGE, PROMINENT PERMANENT PRISMATIC REFLECTIVE CROSSWALK WARNING SIGNS AND SIGNAGE, EACH NEW CROSSWALK CROSSING A PUBLIC STREET OR STRUCTURED PARKING ARE LOCATED AT THE PERIMETER OF A BUILDING EXTENSION, AND ANY OTHER PUBLIC STREET ON THE PROPERTY INTERSECTING WITH ST. ALBANS DRIVE AT THE INTERSECTION WITH ST. ALBANS DRIVE SHALL INCLUDE PROMINENT PERMANENT PRISMATIC REFLECTIVE CROSSWALK WARNING SIGNS, AND SIGNS COMMUNICATING THE PEDESTRIAN RIGHT-OF-WAY OR ACTUATED PEDESTRIAN COUNTERDOWN TIMERS, SUCH CROSSWALK IMPROVEMENTS CROSSING EACH OF THESE STREETS SHALL BE INSTALLED PRIOR TO ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY FOR DEVELOPMENT OF PROPERTY AT EACH INTERSECTION IDENTIFIED IN THIS CONDITION. 9. SUBJECT TO THE APPROVAL OF THE APPROPRIATE GOVERNMENTAL OR UTILITY AUTHORITY, ALL METERS, BREAKERS, TRANSFORMERS AND SWITCHES UNLESS OTHERWISE SPECIFIED, SHALL BE INSTALLED ABOVE THE PROPERTY PERMITTED FOR UP TO 7 STORES AS SHOWN ON EXHIBIT A. 10. WALL SIGNS THAT (I) FRONT ALONG ST. ALBANS DRIVE, (II) ARE NOT OTHERWISE SCREENED FROM VIEW FROM ST. ALBANS DRIVE, AND (III) ARE LOCATED HIGHER THAN FIFTEEN (15) FEET AS MEASURED FROM THE GROUND LEVEL OF THE BUILDING, SHALL NOT BE INTERNALLY ILLUMINATED. 11. THIS CONDITION SHALL APPLY TO BUILDINGS LOCATED WITHIN 200 FEET FROM ST. ALBANS DRIVE RIGHT-OF-WAY; THAT PORTION OF THE GROUND STORY OF STRUCTURED PARKING FRONTS ALONG ST. ALBANS DRIVE SHALL NOT BE OPEN EXCEPT FOR POINTS OF INGRESS AND EGRESS TO THE PARKING STRUCTURE OR UPPER STORES OF STRUCTURED PARKING ARE LOCATED AT THE PERIMETER OF A BUILDING, THEY MUST BE SCREENED SO THAT CARS ARE NOT VISIBLE FROM ST. ALBANS DRIVE, AND THE MAXIMUM LIGHT LEVEL OF PARKING DECK LIGHT FIXTURES SHALL NOT EXCEED 1.0 FOOT CANDLE MEASURED AT THE ST. ALBANS DRIVE RIGHT-OF-WAY. 12. THERE SHALL BE A MINIMUM BUILDING AND PARKING SETBACK OF 20 FEET ALONG ST. ALBANS DRIVE FOR THE PROPERTY LOCATED AT 800 ST. ALBANS DRIVE (PIN: 1715180399) (DEED BOOK 16847, PAGE 2029, WAKE COUNTY REGISTRY) (INCLUDING BENSON DRIVE, QUAIL HOLLOW DRIVE AND PARKING SETBACK OF 10 FEET ALONG ST. ALBANS DRIVE FOR THE PROPERTY LOCATED AT 3420 QUAIL HOLLOW DRIVE (PIN: 171518545) (DEED BOOK 16847, PAGE 2029, WAKE COUNTY REGISTRY). 13. IN ADDITION TO THE STREETScape REQUIRED AS PART OF THE STREET CROSS-SECTION FOR ST. ALBANS DRIVE, EVERGREEN TREES MEASURING AT LEAST 8 FEET TALL AT THE TIME OF PLANTING SHALL BE PLANTED AT A RATE OF AT LEAST 6 TREES PER 100 LINEAR FEET AND EVERGREEN SHRUBS MEASURING AT LEAST 3 FEET TALL AND 2 FEET WIDE AT THE TIME OF PLANTING SHALL BE PLANTED AT A RATE OF AT LEAST 36 SHRUBS PER 100 LINEAR FEET, ALL PLANTING THAT AREA MEASURING AT LEAST 20 FEET WIDE BETWEEN THE ST. ALBANS DRIVE RIGHT-OF-WAY AND THE ADJOINING PUBLIC RIGHT-OF-WAY OR VEHICULAR SURFACE AREA. 14. MAXIMUM BUILDING HEIGHT ON THE PROPERTY SHALL BE IN ACCORDANCE WITH THE ATTACHED EXHIBIT A. IN ORDER FOR A BUILDING TO EXCEED FIVE STORES AND 75 FEET TALL, AS PORTION OF THE PROPERTY PERMITTED FOR UP TO 7 STORES AS SHOWN ON EXHIBIT A, A MINIMUM BUILDING SETBACK OF AT LEAST 80 FEET SHALL BE PROVIDED FRONT ST. ALBANS DRIVE RIGHT-OF-WAY FOR SUCH BUILDING. 15. THIS CONDITION SHALL APPLY TO THAT PORTION OF THE PROPERTY BEGINNING AT THE PROPERTY'S WESTERN MOST POINT WHERE IT INTERSECTS WITH THE ST. ALBANS DRIVE RIGHT-OF-WAY AND MEASURING EAST FOR 850 FEET ALONG THE ST. ALBANS DRIVE RIGHT-OF-WAY, AND FOR A DEPTH OF 100 FEET FROM THE ST. ALBANS DRIVE RIGHT-OF-WAY; RETAIL SALES USES AND RESTAURANT USES SHALL BE LOCATED IN A MULTI-STORY BUILDING. 16. AT LEAST ONE EMERGENCY PHONE SHALL BE LOCATED ON EACH LEVEL OF A PARKING STRUCTURE. 17. POLE-MOUNTED LIGHTING LOCATED BETWEEN ST. ALBANS DRIVE RIGHT-OF-WAY AND A BUILDING SHALL BE LIMITED TO A MAXIMUM HEIGHT OF 18 FEET AND SHALL BE OF FULL CUT- OFF DESIGN. 18. FOR THE PURPOSE OF OBTAINING BUILDING PERMITS, THE CUMULATIVE TOTAL AM PEAK HOUR AND TOTAL PM PEAK HOUR TRIPS GENERATED ON THE PROPERTY SHALL BE NO MORE THAN THE FOLLOWING: AM PEAK HOUR: 1,686 TOTAL TRIPS, PM PEAK HOUR: 1,919 TOTAL TRIPS. 19. THE FOLLOWING BUILD-TO STANDARDS SHALL APPLY TO PROPERTY ZONED CX-20-CU: (i) THERE SHALL BE A BUILD-TO AREA ALONG PUBLIC STREETS MEASURING BETWEEN 0' TO 80'; (ii) THE BUILDING COVERAGE WITHIN THE BUILD-TO AREA ALONG A SIDE STREET IS 25%; AND (iv) NO MORE THAN A SINGLE LOADED BAY OF PARKING CAN BE LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY, BETWEEN THE BUILDING AND THE ADJOINING PUBLIC RIGHT-OF-WAY. THIS CONDITION DOES NOT APPLY TO AN OPEN LOT OR CIVIC BUILDING BUILDING TYPE. COMPLIANCE STATEMENT: BUILD-TO AREA ALONG A STREET (SIDE STREET) IS 81.1% AND 94.5% ALONG BENSON DRIVE (PRIMARY STREET) BOTH MEETING COMPLIANCE. SEE SHEET C.3.1 FOR DETAILS.



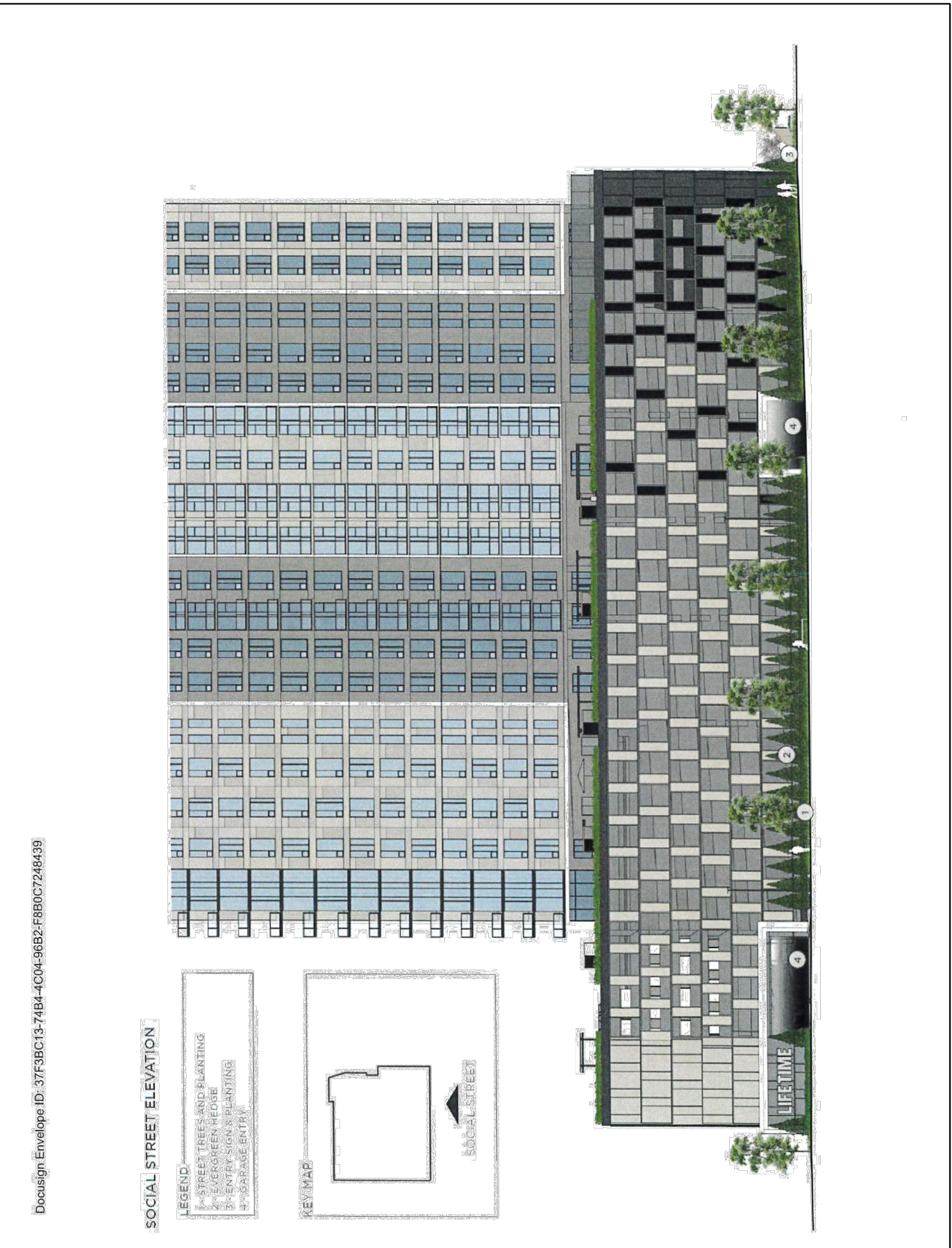
PLAN PREPARED FOR: dewitt carolinas, 51 Kilmoryne Drive, Suite 102, Cary, North Carolina 27511, ph: 919.481.6290, fax: 919.356.5127. ADVANCED CIVIL DESIGN ENGINEERS SURVEYOR. PRINTED: Rev #, Date, Issue/Revision. Date: 09/12/2024, Scale: AS NOTED. Drawn By: JLB, Checked By: JDW. TITLE SHEET: LIFE TIME LIVING RESIDENTIAL RALEIGH, NORTH CAROLINA ADMINISTRATIVE SITE REVIEW. COMMISSION NO: 24-0019-742, DRAWING NO: C.0.0.

BOA-0024-2024 - APPROVED 8/12/2024

1021 SOCIAL STREET, RALEIGH, NC
VARIANCE APPROVAL
CASE BOA-0024-2024
CITY OF RALEIGH BOARD OF ADJUSTMENT
FINDINGS OF FACT AND CONCLUSIONS OF LAW

10. The Project and Midtown Exchange development also includes a new two-way driveway access to Benson Drive that travels along the northern boundary of the site and provides an additional route to the parking deck. This driveway enhances internal circulation for the Project and Midtown Exchange development; however, it also pushes the building and parking deck closer to Social Street.
11. Without the Variance Requests, up to 100 parking spaces would be eliminated from the Project (1 row of 20 parking spaces along Social Street for 5 stories).
12. The Project includes evergreen hedge plantings to screen between the sidewalk and the parking garage along Social Street. This landscaping is illustrated on the Social Street Elevation plan included in the Applicant's PowerPoint presentation at the July 8, 2024 hearing, a copy of which is attached hereto and incorporated herein by reference.
13. Allowing the Variance Request will allow the Project with adequate on-site parking for the various uses contemplated within the new mixed-use tower, while also allowing the Project to provide a more pedestrian-friendly streetscape and enhanced internal circulation.

ACCORDINGLY, based on the foregoing FINDINGS OF FACT and CONCLUSIONS OF LAW, the BOA hereby grants the Variance Request, with a condition, as set forth above.
This the 12th day of August, 2024.
Rodney Swink, BOA Chair



DA-0007-2024 REQUEST - APPROVED WITH NO CONDITIONS ON 9/5/2024

LIFE TIME LIVING RESIDENTIAL
RESPONSES TO DESIGN ALTERNATE STANDARDS
Nature of Design Alternate Request
1. Stepback. Complete relief from UDO Section 3.3.3.E., which requires at least a 12' building setback between the 2nd and 12th story for any building at least 13 stories tall, in order to construct a 20-story building with no setback along Benson Drive.

outer street frontages (on the opposite sides of the central park), Social Street and Benson Drive. Both of these streets have surface parking lots on the opposite sides of the streets. In order to meet the intent of the transparency requirements, (which is to lend visual interest to street-facing building facades for both pedestrians and building occupants and minimize blank wall areas), careful attention was paid to both of these street frontages to meet that intent. Both of these street-facing facades utilize a combination of artistic composition, high-quality architectural materials with a variety of textures, and landscape elements to create visual interest.
2. The street-facing building facade utilizes other architectural, artistic, or landscaped treatments to create visual interest to offset the reduction in transparency. Response: The overall facade along Social Street is an artistic composition. From top to bottom, it has a large-scale playfulness utilizing a pattern of dancing vertical metal panels that contrast with the geometries of the angled lines of the architectural precast panels that screen the headlights of the cars within, while still providing daylighting and fresh air. This is all further contrasted with the stone-like precast panels that culminate at the corners. In addition, the two required parking entries are framed with high-contrast, asymmetrical banding that provides passive directional way-making. The overall composition is intended to evoke movement and whimsy that is visually interesting to pedestrians and occupants. The facade along Benson Drive continues the three-dimensional expression of the Social Street facade, with the addition of super-graphic signage that is visually striking against the dark stone-like precast at the corner. The northern half of this facade actually screens the necessary loading dock for the building. Since this part of the facade is actually the base of a mixed-use tower, it was composed with the classic organizing principle of base, middle and top in mind, the heaviest component being on the bottom. To soften and break up this area, a dog park has been added between the building and the sidewalk, which will be activated by residents, and will be shaded and softened even further by additional trees and planting areas. In fact, both facades will be softened by an additional layer of planting between the sidewalks and the building, in addition to the normal street trees.

Response: At the tower component of the building, visible along Benson Street, the facade incorporates fenestration changes and material and color changes to provide a distinguishable architectural base. As related in the response to Transparency (UDO Section 1.5.9), the parking area facades have a more artful composition that does not have a continuous distinguishable base, but creates an implied base that is visually interesting with the addition of the high-contrast banding at the entry areas.
3. If the approved alternate proposes a building setback behind the sidewalk in lieu of a required stepback, the resulting open space includes pedestrian amenities such as seating areas, trees and landscaping or outdoor dining. Response: At the 18-story portion of the facade along Benson Street, increased setbacks are provided at the ground level to provide an open space for a dog park, which will have additional planted areas in addition to normal street trees.
4. The building uses other architectural treatments to mitigate wind impacts, increase light at pedestrian level, and visually reduce the scale of the building; and Response: As mentioned, the building offers a significant 120-foot deep setback along Social Street which maximizes the separation between the 18-story portion of the building and the only other tall building in the area (1000 Social Street). This separation will mitigate any potential wind canyon effects exponentially more than a 12-foot setback. At the 18-story portion of the building on Benson Street, there are significant architectural details and projections in the facade at multiple levels that will break up any minor wind impacts at the pedestrian level, which also help to visually reduce the scale of the building.
5. The building does not cause undue shadow impacts on public spaces, amenity areas, and surrounding streets. Response: The building along Social Street will have no undue shadow impacts to the sidewalk or public realm. The 18-story portion of the building along Benson Street is less than 25% of the total street frontage, and is lower than the allowable height for the site by right, and will arguably have very little to no undue shadow impact compared to a tower that could be built to the maximum allowable height with a 12-foot setback.

2. The approved alternate does not substantially negatively impact the comfort and safety of pedestrians. Response: The parking deck, while exceeding the lateral spacing and open space requirements, still blocks vehicular headlights from escaping onto the public street. Additionally, the enhanced planting schedule offers visual interest to pedestrians rather than focusing on the parking deck.
3. The approved alternate utilizes other architectural or landscaping treatments to create visual interest. Response: The parking deck facades incorporate a large-scale playfulness utilizing a pattern of dancing vertical metal panels that contrast with the geometries of the angled lines or the architectural pre-cast panels that screen the headlights of the cars within. The additional spacing provides daylight and fresh air within the parking structure. As mentioned, the development also proposes additional landscaping treatments between the sidewalk and building to create visual interest at the ground level.
4. The approved alternate is considered equal to or better than the standard. Response: The requested parking screening design offers a much more artistic style than a standard parking deck that is compliant with UDO Section 7.2.5., while also blocking headlights from extending outside the parking deck. The additional landscaping along both street-facing facades also helps buffer the parking and adds visual interest to the pedestrian realm.
UDO Section 8.3.5 - Blocks, Lots and Access
1. The approved Design Alternate is consistent with the intent of Sections 8.3.2., 8.3.4., and 8.3.5. Response: The intent of the driveway spacing standards in Article 8.3 are intended to provide a means for safe, efficient and convenient vehicular and pedestrian access within developments and between adjacent developments. The driveway between the private drive entrance and the intersection of Benson Drive and Social Street is to be used for egress only, which reduces the total number of vehicles utilizing the driveway. This driveway exit is also separate from the main parking deck ramp and levels, further limiting the amount of use it will receive.

4. The Design Alternate is deemed reasonable due to one or more of the following:
a. Given the existing physical environment, compliance is not physically feasible. Response: Because of the driveway spacing requirements from the Social Street and Benson Drive intersection, the exit-only driveway cannot comply with both the intersection spacing and driveway spacing standards. Moving the exit-only driveway to at least 200' from the publicly accessible parking deck entrance would result in this driveway being extremely close to said intersection, which has significant safety concerns. We believe that by keeping the driveway outside of the minimum intersection spacing standards, and limiting the driveway's movements, the driveway configuration as shown will result in efficient and safe travel for both residents and guests.
b. Compliance would not meaningfully improve connectivity
c. Compliance is not compatible with adjacent uses; or
d. The burden of compliance is not reasonable given the size of the site or the intensity of the development.

NOT ISSUED FOR CONSTRUCTION

BOA & DA LETTERS

LIFE TIME LIVING RESIDENTIAL
RALEIGH, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW

COMMISSION NO: 24-0019-742
DRAWING NO:

C.0.1

Table with 3 columns: Rev #, Date, Issue/Revision. Includes entries for 3/19/24 ASR #1, 5/31/24 ASR #1 RESPONSES, 7/09/24 ASR #2 RESPONSES, and 9/12/24 ASR #3 RESPONSES.

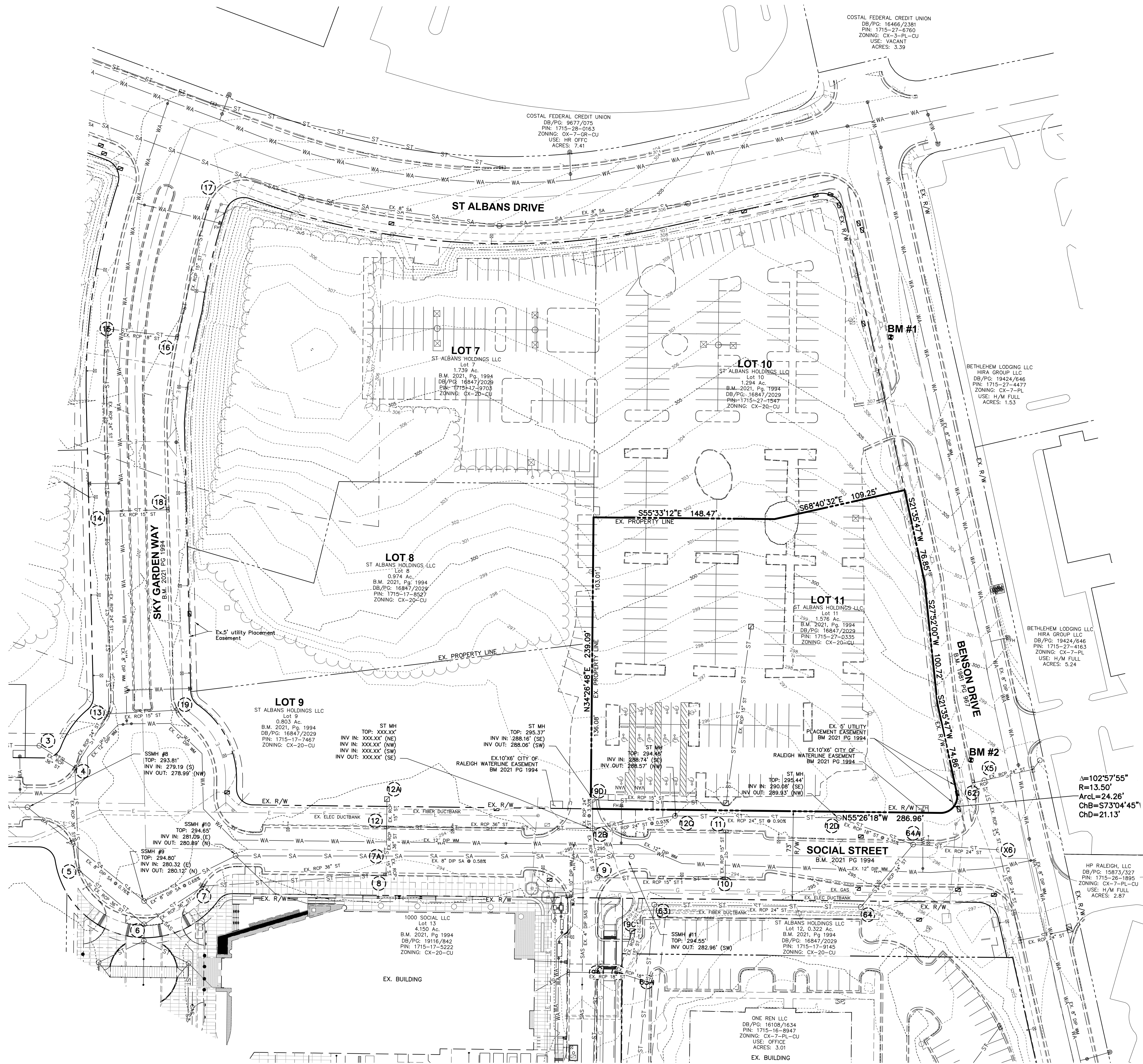
Date: 09/12/2024
Scale: NO SCALE
Drawn By: JLB
Checked By: JDW

ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS logo and contact information for Cary, North Carolina.

51 Kilmayne Drive
Suite 102
Cary, North Carolina 27511
ph 919.481.6290
fax 919.356.5127

carolinas dewitt logo

PLAN PREPARED FOR:



BENCHMARKS

BM #1: PK Nail North of Social Street along Benson Drive's western edge of pavement.
 N: 757824.4980
 E: 2112267.9670
 Elevation: 307.811'

BM #2: PK Nail South of Social Street along Benson Drive's western edge of pavement.
 N: 757199.8950
 E: 2112229.0870
 Elevation: 297.339'

LEGEND

—FD—	Underground Electric	○	Iron Pin Set
—F—	Underground Fiber Optic	●	PK Nail Found
—ST—	Underground Telecommunications	▲	RR Spike Found
—SA—	Storm Sewer	□	Monument Box
—WA—	Sanitary Sewer	⊕	Concrete Post
—WA—	Waterline	⊕	Electric Manhole
—X—	Fence Line	⊕	Electric Transformer
—X—	Edge of Pavement	⊕	Comm Manhole
—X—	Trees	⊕	Tel Pedestal
●	Iron Pin Found	⊕	Cable Box
▲	RR Spike Found	⊕	Guy Pole
□	Monument Box	⊕	Pole Elec Tel Light
⊕	Concrete Post	⊕	Pole Tel Light
⊕	Electric Manhole	⊕	Pole Light
⊕	Electric Transformer	⊕	Deciduous Tree
⊕	Comm Manhole	⊕	Pine Tree
⊕	Tel Pedestal	⊕	Shrub
⊕	Cable Box	⊕	Private Water Meter
⊕	Guy Wire	⊕	Water Well
⊕	Fire Hydrant	⊕	Water Valve
⊕	Sprinkler Valve Box	⊕	
⊕	Sanitary Manhole	⊕	
⊕	Sanitary Cleanout	⊕	
⊕	Storm Manhole	⊕	
⊕	Catch Basin	⊕	
⊕	Curb Inlet	⊕	
⊕	W / Grate	⊕	
⊕	Mailbox		

PLAN PREPARED FOR:
 FIRM # C-2798

51 Kilmayne Drive
 Suite 102
 Cary, North Carolina 27511
 ph 919.481.6290
 fax 919.356.5127

ADVANCED
 CIVIL DESIGN
 ENGINEERS SURVEYORS

PRINTED

Rev #	Date	Issue/Revision
3/19/24	ASR #1	
5/31/24	ASR #1 RESPONSES	
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9/12/24	ASR #3 RESPONSES	

Date: 09/12/2024
 Scale: 1" = 40'

Drawn By: JLB
 Checked By: JDW

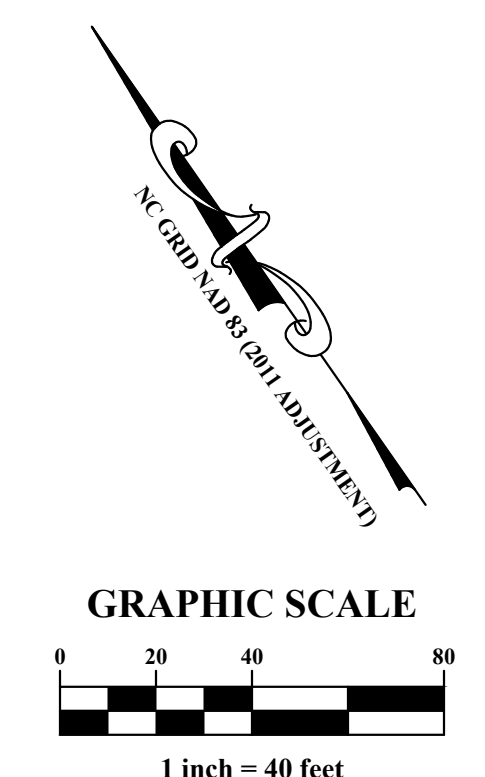
Existing Site Data Table

	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC	
Owner:	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC	
Address:	3410 Skygarden Way	1001 Social St	1020 St Albans Dr	1021 Social St	
PIN #:	1721-69-7242	1715-17-7467	1715-27-1547	1715-27-0335	
Tract Data:	D.B. 16847, Pg. 2029	D.B. 16847, Pg. 2029	D.B. 16847, Pg. 2029	D.B. 16847, Pg. 2029	
Map Data:	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216	
Lot #:	(Lot 8)	(Lot 9)	(Lot 10)	(Lot 11)	Total
Lot Area (square feet):	42,421	34,963	56,345	68,658	202,387
Lot Area (acres):	0.974	0.803	1.294	1.576	4.646

- GENERAL NOTES**
- EXISTING ZONING OF PROPERTY IS CX-20-CU.
 - BOUNDARY INFORMATION PROVIDED BY ADVANCED CIVIL DESIGN, INC.
 - TOPOGRAPHIC SURVEY PROVIDED BY ADVANCED CIVIL DESIGN, INC.
 - THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORDED DRAWINGS. LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM LOCATION HEREON.
 - EXISTING UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL EXISTING ABOVE AND BELOW GROUND UTILITIES PRIOR TO ANY CONSTRUCTION.
 - EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE AND MINIMUM CLEARING OF LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT.

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY THIS PROPERTY IS NOT LOCATED IN SPECIAL FLOOD HAZARD ZONE BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 372017500K WITH AN EFFECTIVE DATE OF JULY 19, 2022, IN WAKE COUNTY NORTH CAROLINA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE.



NOT ISSUED FOR CONSTRUCTION

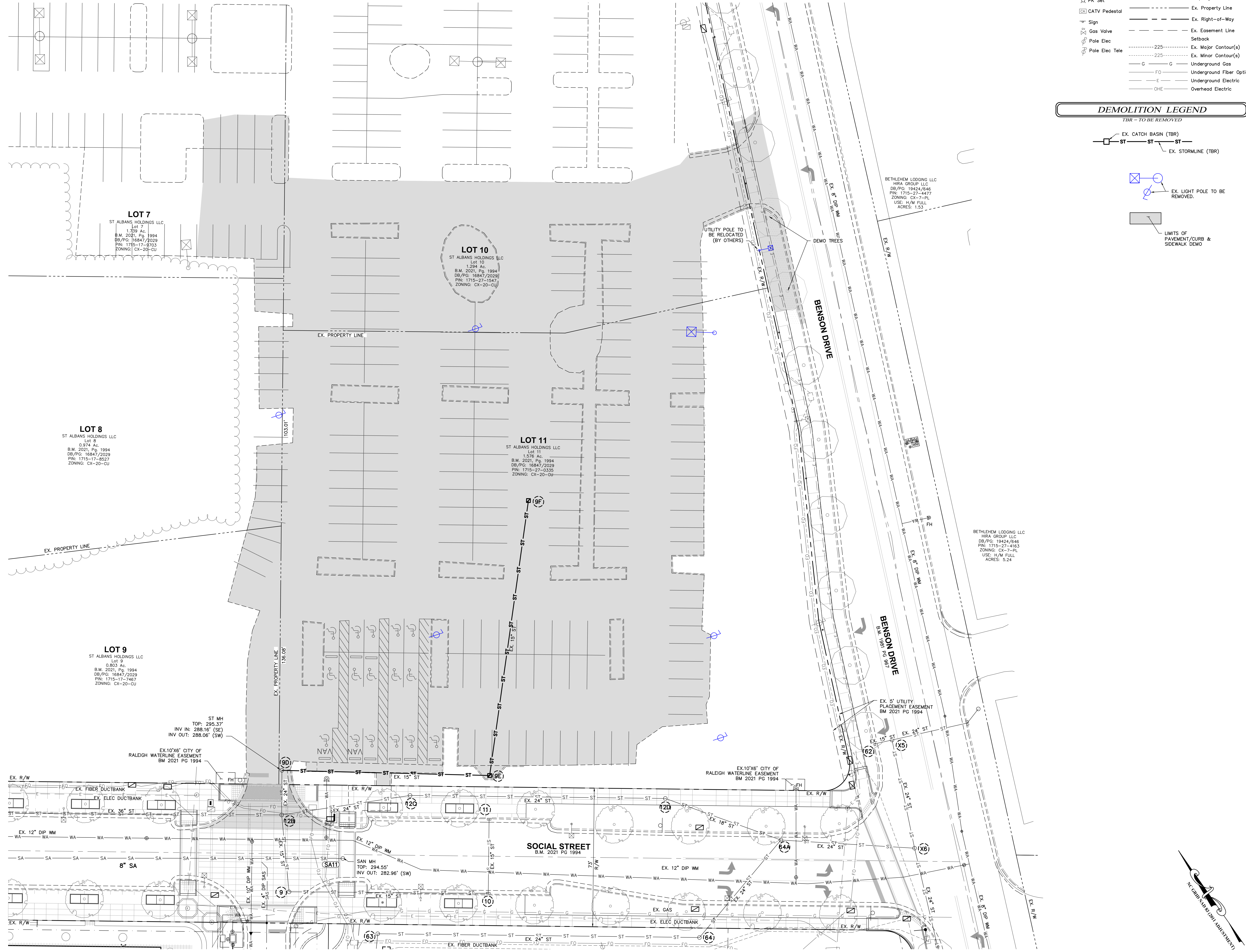
EXISTING CONDITIONS

LIFE TIME LIVING RESIDENTIAL

RALEIGH, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW

COMMISSION NO: 24-0019-742
 DRAWING NO:
C.1.0



EXISTING CONDITIONS LEGEND

- Iron Pipe Found
- Iron Pin Set
- ▲ Railroad Spike
- ☒ Light Pole
- ☒ Mailbox
- ☒ Traverse Point
- ☒ FK Set
- ☒ CATV Pedestal
- ▼ Sign
- ☒ Gas Valve
- ☒ Pole Elec
- ☒ Pole Elec Tele
- X — X — X — Fence Line
- Edge of Pavement
- WA — WA — WA — Undergrnd Water Line
- OHE — Overhead Electric Line
- ST — ST — Storm Sewer Line
- SA — SA — Sanitary Sewer Line
- — — — — Property Line
- — — — — Ex. Property Line
- — — — — Ex. Right-of-Way
- — — — — Ex. Easement Line
- — — — — Setback
- 225 — — — — — Ex. Major Contour(s)
- 225 — — — — — Ex. Minor Contour(s)
- G — G — Undergrnd Gas
- FO — FO — Undergrnd Fiber Optic
- E — E — Undergrnd Electric
- OHE — Overhead Electric

DEMOLITION LEGEND

TBR = TO BE REMOVED

- ☒ EX. CATCH BASIN (TBR)
- ☒ EX. STORMLINE (TBR)
- ☒ EX. LIGHT POLE TO BE REMOVED.
- ☐ LIMITS OF PAVEMENT/CURB & SIDEWALK DEMO



PLAN PREPARED FOR:
FIRM # C-2798

51 Kilmayne Drive
Suite 102
Cary, North Carolina 27511
ph 919.481.6290
fax 919.356.5127

ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

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Rev #	Date	Issue/Revision
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5/31/24	ASR #1 RESPONSES	
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9/12/24	ASR #3 RESPONSES	

Date: 09/12/2024
Scale: 1" = 20'

Drawn By: JLB
Checked By: JDW

DEMOLITION PLAN

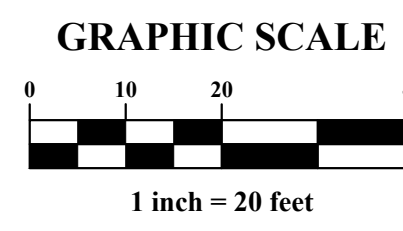
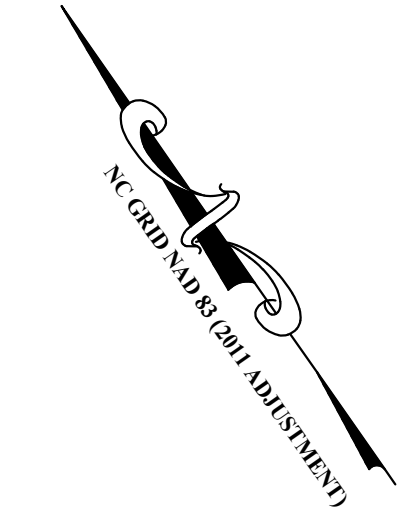
LIFE TIME LIVING RESIDENTIAL

RALEIGH, NORTH CAROLINA

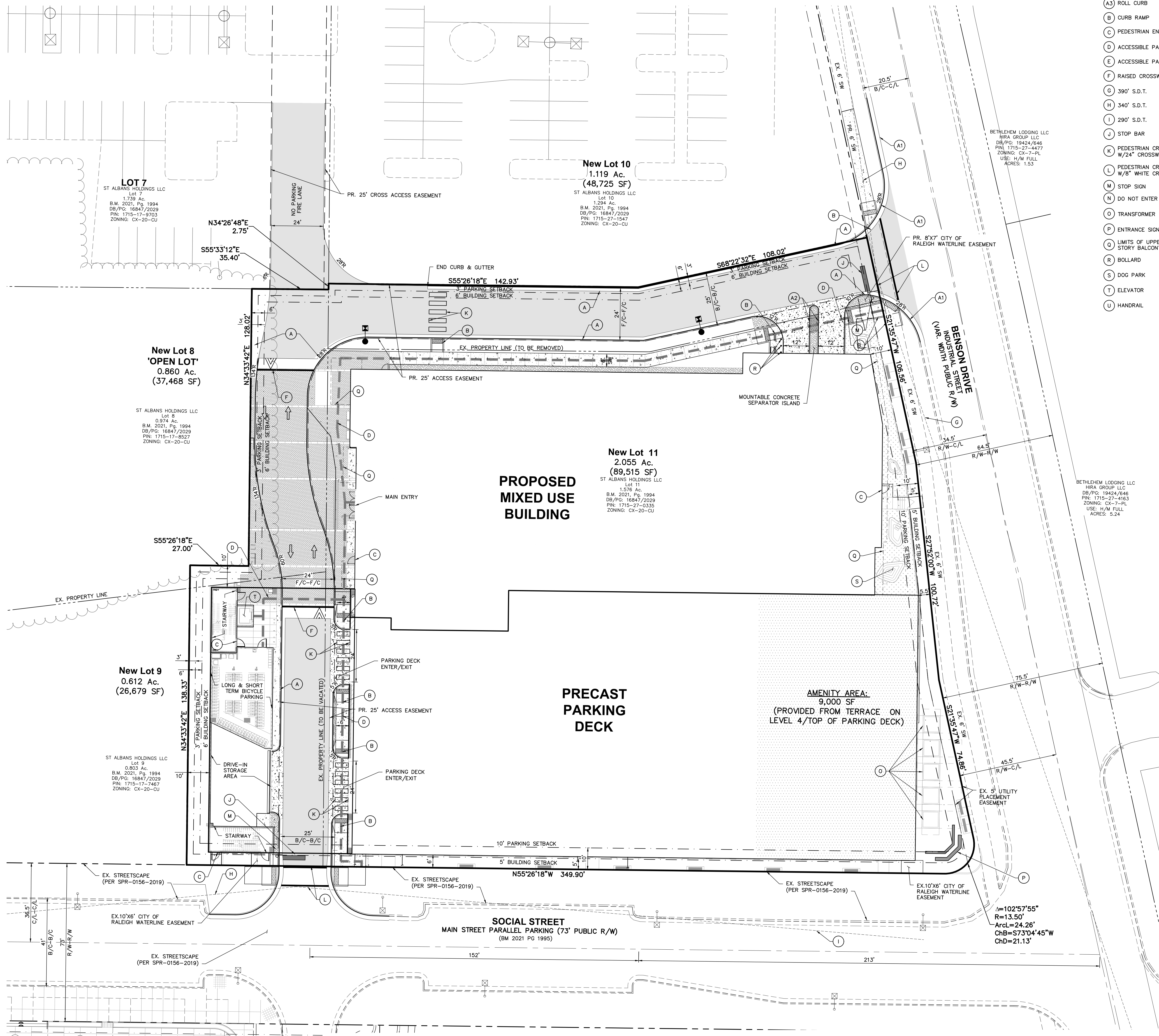
ADMINISTRATIVE SITE REVIEW

COMMISSION NO: 24-0019-742
DRAWING NO:

C.2.0



NOT ISSUED FOR CONSTRUCTION



CODED NOTE

- (A) 24" CURB & GUTTER
- (A1) 30" CURB & GUTTER
- (A2) 24" MOUNTABLE CURB
- (A3) ROLL CURB
- (B) CURB RAMP
- (C) PEDESTRIAN ENTRANCE
- (D) ACCESSIBLE PATH
- (E) ACCESSIBLE PARKING SIGN
- (F) RAISED CROSSWALK
- (G) 390' S.D.T.
- (H) 340' S.D.T.
- (I) 290' S.D.T.
- (J) STOP BAR
- (K) PEDESTRIAN CROSSWALK W/24" CROSSWALK LINE
- (L) PEDESTRIAN CROSSWALK W/6" WHITE CROSSWALK LINE
- (M) STOP SIGN
- (N) DO NOT ENTER SIGN
- (O) TRANSFORMER
- (P) ENTRANCE SIGN
- (Q) LIMITS OF UPPER STORY BALCONY
- (R) BOLLARD
- (S) DOG PARK
- (T) ELEVATOR
- (U) HANDRAIL

SITE DATA TABLE

PROPERTY INFORMATION:		1715270335
PIN:		1021 SOCIAL STREET
ADDRESS:		2.055/89,515 ACRES/SF
TOTAL SITE AREA:		
ZONING INFORMATION:		CX-20-CU
EXISTING ZONING:		(COMMERCIAL MIXED USE-20 STORIES-CONDITIONAL USE)
CUD CASE NUMBER:		TCZ-16-23
DEVELOPMENT INFORMATION:		
FRONTAGE TYPE:		N/A
EXISTING USE:		EXISTING SURFACE PARKING MIXED-USE
PROPOSED USE:		
PROPOSED BUILDING USES:		LEVEL 1: HEALTH CLUB, LOBBY LEVEL 2-3: HEALTH CLUB LEVEL 4: HEALTH CLUB, APARTMENT LEVEL 5-18: APARTMENT
EXISTING BUILDING AREA:		N/A
PROPOSED BUILDING AREA:		75,404 SF (INTERIOR SPACE)
HEALTH CLUB RESTAURANT/BAR:		3,500 SF
MULTI-UNIT LIVING:		337,230 SF
PROPOSED PARKING AREA:		220,338 SF
TOTAL GROSS FLOOR AREA:		632,672 SF
UNIT BREAKDOWN:		
1-BR UNITS:		133
2-BR UNITS:		97
2-BR (PENTHOUSE) UNITS:		11
TOTAL UNITS:		241
BUILDING HEIGHT: (20 STORIES MAX)		
MIXED-USE BUILDING:		241' (18 STORIES)
PARKING DECK:		75'-8" (6 LEVELS)
PRIMARY STREET:		BENSON DRIVE
BUILDING SETBACKS:		STREET- 5' SIDE - 0' OR 6' REAR - 0' OR 6'
REQUIRED BUILD-TO PER Z-13-16:		
PRIMARY STREET (BENSON)		50% 0'-80' FROM R/W
SIDE STREET (SOCIAL)		20% 0'-80' FROM R/W
PROVIDED BUILD-TO:		
PRIMARY STREET (BENSON)		228/281 = 81.1%
SIDE STREET (SOCIAL)		326/345 = 94.5%
PARKING SETBACKS:		STREET- 10' SIDE - 0' OR 3' REAR - 0' OR 3'
IMPERVIOUS AREA CALCULATIONS:		
EX. IMPERVIOUS AREA:		1,300/56,620 ACRES/SF
PR. IMPERVIOUS AREA:		1,833/79,838 ACRES/SF
SITE COVERAGE:		1,833/2,055 = 89.2%
FLOOD HAZARD AREA:		NO, FEMA MAP PANEL #372171500J
REQUIRED AMENITY AREA: (10% OF SITE AREA)		2.055 AC * 10% = 0.205 (8,952 SF)
PROVIDED AMENITY AREA:		
BUILDING TERRACE (LEVEL 4)		0.207 AC (9,000 SF)
*TERRACE OPEN TO ALL OCCUPANTS, INVITEES, & GUESTS OF THE DEVELOPMENT		
PARKING CALCULATIONS:		
MAX PARKING ALLOWED (HEALTHCLUB)		200 SF = $\frac{75000}{375} = 377$ SPACES MAX
MAX PARKING ALLOWED (RESTAURANT/BAR)		100 SF = $\frac{3500}{35} = 35$ SPACES MAX
MAX PARKING ALLOWED (MULTI-UNIT LIVING)		1.5(1BR)+2.25(2BR)+3(3BR) 1.5(133)+2.25(108) = 441 SPACES MAX
TOTAL MAX PARKING ALLOWED		853 SPACES MAX
TOTAL PROPOSED PARKING		697 SPACES
ACCESSIBLE PARKING:		
REQUIRED ACCESSIBLE PARKING:		2% OF TOTAL PARKING = .02(670) = 13.4 => 14
TOTAL PROVIDED ACCESSIBLE PARKING:		29 SPACES
PROVIDED STANDARD ACCESSIBLE SPACES:		21 SPACES
REQUIRED VAN PARKING SPACES:		$\frac{1}{4}$ (14 SPACES) = 2.33 => 3
PROVIDED VAN PARKING SPACES:		7 (2 OF 7 = EV VAN PARKING)
COMPACT PARKING:		
PROVIDED:		47 SPACES ($\frac{47}{697} = 6.72\%$)
ELECTRIC CAR CHARGING SPACES:		
REQUIRED ELECTRIC CAR:		$\frac{2}{100,000} SF = \frac{75,404}{100,000} \times 2 = 1.6 +$ $\frac{100}{100,000} UNITS = \frac{697}{100} \times 2 = 4.8$ 1.6 + 4.8 = 6.3 => 7 SPACES
CHARGING STATION PER Z-13-16:		36 SPACES
PROVIDED ELECTRIC CAR CHARGING STATION:		
BICYCLE CALCULATIONS:		
SHORT TERM BICYCLE PARKING:		
REQ. (HEALTH CLUB)		5000 SF = $\frac{75000}{5000} = 15$ SPACES
REQ. (RESTAURANT/BAR)		5000 SF (4 MINIMUM) = $\frac{3500}{5000} = 4$ SPACES
REQ. (MULTI-UNIT LIVING)		$\frac{20}{100} UNITS = \frac{241}{100} = 2.41 = 12.05 = 13$ SPACES
REQ. SHORT TERM (TOTAL)		32 SPACES
LONG TERM BICYCLE PARKING:		
REQ. (HEALTH CLUB)		NONE
REQ. (RESTAURANT/BAR)		20000 SF (4 MINIMUM) = $\frac{3500}{20000} = 4$ SPACES
REQ. (MULTI-UNIT LIVING)		1 PER 7 BR: $\frac{133(1)+108(2)}{7} = 349$ BR $\frac{349}{7} = 49.8 => 50$ SPACES
REQ. LONG TERM (TOTAL)		54 SPACES
BICYCLE PARKING EXEMPTION		
NO MORE THAN 50 BICYCLE SPACES REQUIRED FOR MIXED-USE BUILDING (UDO 7.1.7.1)		
PROVIDED SHORT/LONG TERM BICYCLE PARKING:		83 (WALL RACKS INSIDE BLDG)

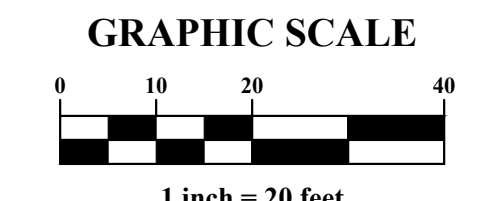
Existing Site Data Table					
Owner:	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC
Address:	3410 Skygarden Way	1001 Social St	1020 St Albans Dr	1021 Social St	
PIN #:	1721-69-7242	1715-17-7467	1715-27-1547	1715-27-0335	
Tract data:	D.B. 18847, Pg. 2029	D.B. 18847, Pg. 2029	D.B. 18847, Pg. 2029	D.B. 18847, Pg. 2029	
Map Data:	B.M. 1389, Pg. 216	B.M. 1389, Pg. 216	B.M. 1389, Pg. 216	B.M. 1389, Pg. 216	
Lot #:	(Lot 8)	(Lot 9)	(Lot 10)	(Lot 11)	Total
Lot Area (square feet):	42,421	34,963	56,345	68,658	202,387
Lot Area (acres):	0.974	0.803	1.294	1.576	4.646

Proposed Site Data Table		
	Acres	Square Feet
New Lot 8 Area	0.860	37,468
New Lot 9 Area	0.612	26,679
New Lot 10 Area	1.119	48,725
New Lot 11 Area	2.055	89,515
Total Area	4.646	202,387

LEGEND			
---	EX. BOUNDARY LINE	---	ACCESSIBLE PATH
---	EX. RIGHT-OF-WAY LINE	---	PAVEMENT SECTION
---	PR. BOUNDARY LINE	---	CONCRETE SIDEWALK
---	BUFFER LINE	---	CONCRETE PAVEMENT
---	EASEMENT LINE	---	HARDSCAPE - BY OTHERS
---	240' S.D.T.	---	AMENITY AREA
---	SIGHT DISTANCE TRIANGLE		

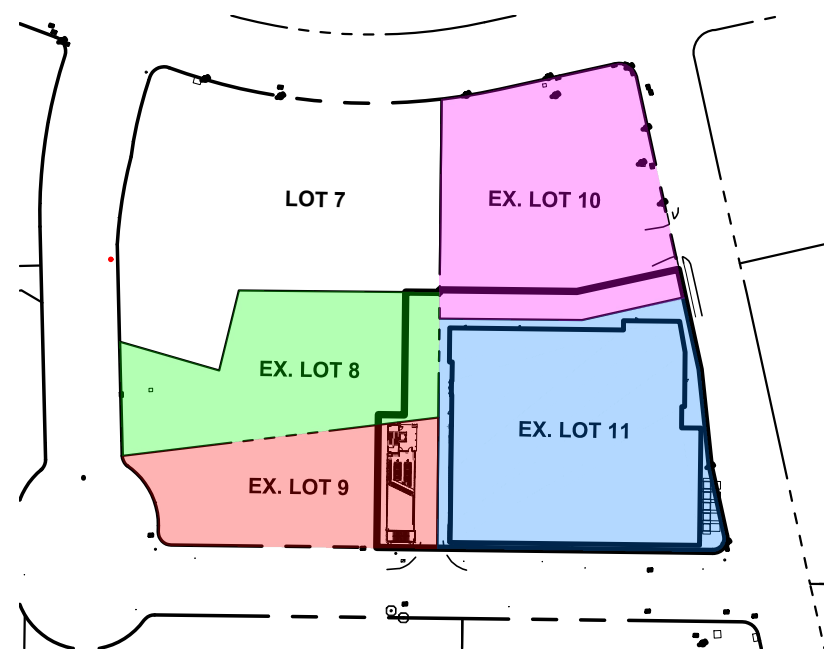
SITE PLAN NOTES

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY THE CITY OF RALEIGH.
 ALL PRIVATE PAVEMENT MARKINGS SHALL BE WHITE UNLESS OTHERWISE NOTED.
 WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURBLINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.
 THESE PLANS ARE FOR PRELIMINARY PURPOSES AND IS NOT INTENDED AS A FINAL DESIGN.
 THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
 HANDICAP ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CURRENT RALEIGH ENGINEERING STANDARD DRAWING STANDARD DRAWINGS.
 NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEANING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
 OUTDOOR CONSTRUCTION ACTIVITY, OUTDOOR BUILDING MAINTENANCE, OUTDOOR LANDSCAPING AND TRASH AND RECYCLING FACILITY SERVICE SHALL BE ALLOWED ONLY BETWEEN THE HOURS OF 7 AM TO 7 PM WITHIN THOSE AREAS OF THE PROPERTY WHERE BUILDING HEIGHT IS RESTRICTED TO LESS THAN 50 STORIES. COMMERCIAL PICKUP OR DELIVERY SHALL BE ALLOWED ONLY BETWEEN THE HOURS OF 7 AM AND 7 PM. THIS CONDITION DOES NOT APPLY TO PUBLIC ROADWAY OR PUBLIC UTILITY CONSTRUCTION ACTIVITY, OR TO ACTIVITIES RELATED TO SPECIAL USE PERMITS SUBSEQUENTLY ISSUED BY THE CITY.



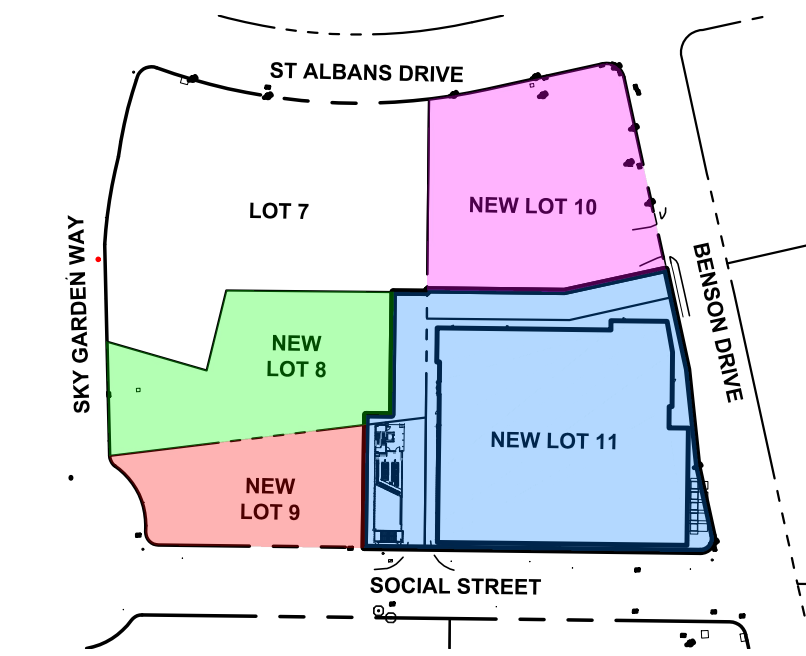
PLAN PREPARED FOR: **carolinas dewitt**
 51 Kilmoyne Drive, Suite 102, Cary, North Carolina 27511
 ph 919.481.6290, fax 919.356.5127
 PLAN # C-2798
 ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
 PRINTED
 Date: 09/12/2024, Scale: 1" = 20'
 Drawn By: JLB, Checked By: JDW
 LIFE TIME LIVING RESIDENTIAL RALEIGH, NORTH CAROLINA ADMINISTRATIVE SITE REVIEW
 COMMISSION NO: 24-0019-742, DRAWING NO: C.3.0

EXISTING CONDITIONS

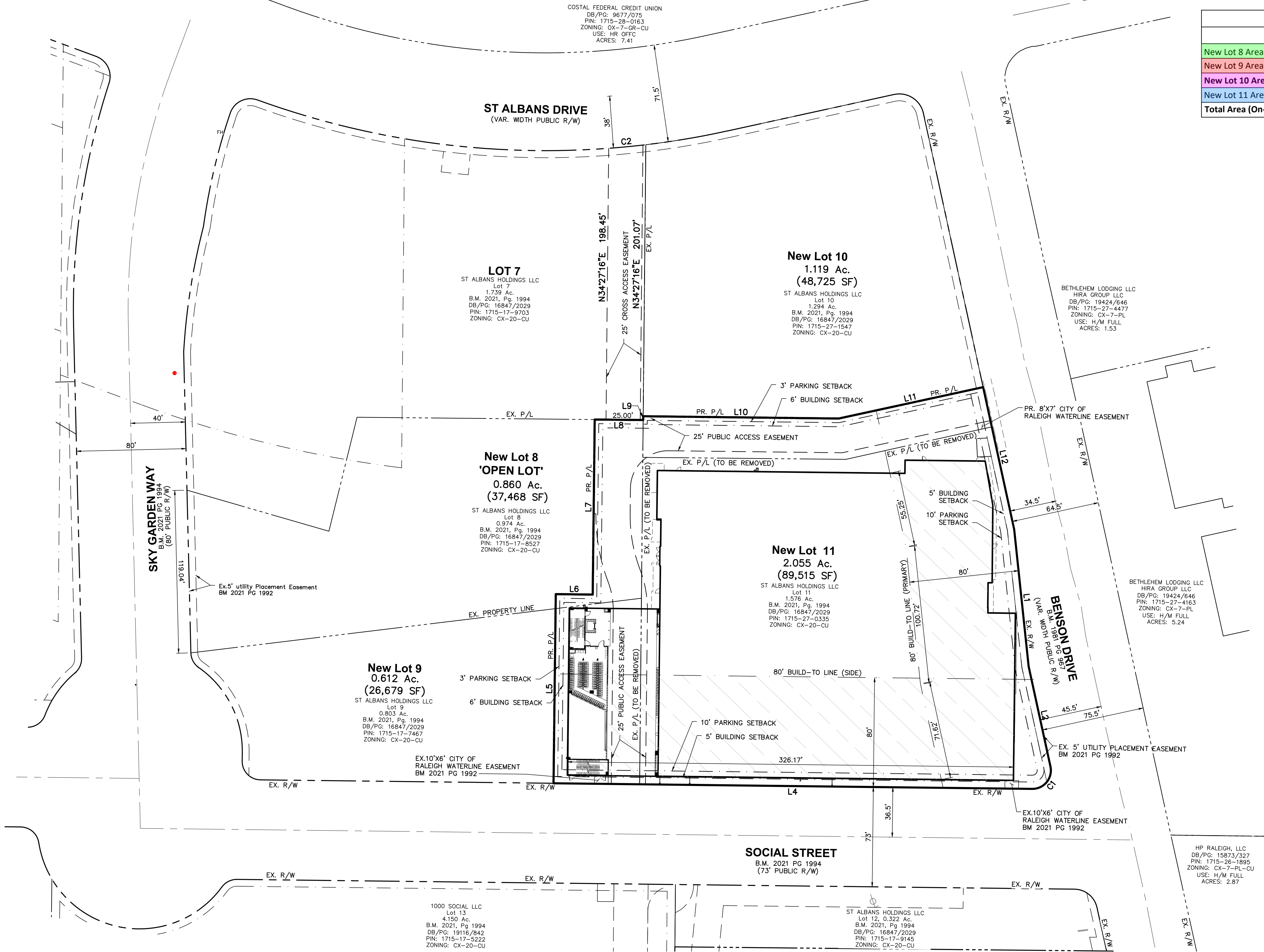


Existing Site Data Table				
Owner:	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC	St Albans Holdings LLC
Address:	3410 Skygarden Way	1001 Social St	1020 St Albans Dr	1021 Social St
PNR#:	1721-69-7242	1715-17-7467	1715-27-1547	1715-27-0335
Tract Data:	D.B. 16847, Pg. 2029	D.B. 16847, Pg. 2029	D.B. 16847, Pg. 2029	D.B. 16847, Pg. 2029
Map Data:	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216	B.M. 1989, Pg. 216
Lot #:	(Lot 8)	(Lot 9)	(Lot 10)	(Lot 11)
Lot Area (Square Feet):	42,421	34,963	56,345	68,658
Lot Area (Acres):	0.974	0.803	1.284	1.576
Existing Use:	OPEN SPACE	VACANT	PARKING (DECOMMISSIONED)	PARKING (DECOMMISSIONED)
Total				202,387

PROPOSED/NEW CONDITIONS



Proposed Site Data Table			
	Acres	Square Feet	Proposed/Projected Use
New Lot 8 Area	0.860	37,468	OPEN SPACE
New Lot 9 Area	0.612	26,679	APARTMENT, GENERAL, OR MIXED-USE BUILDING
New Lot 10 Area	1.119	48,725	APARTMENT, GENERAL, OR MIXED-USE BUILDING
New Lot 11 Area	2.055	89,515	MIXED-USE BUILDING
Total Area (On-site)	4.646	202,387	



CURVE TABLE					
NO.	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD DIST.
C1	102°57'55"	13.50'	24.26'	S73°04'45"W	21.13'
C2	002°19'48"	618.19'	25.14'	S61°31'46"E	25.14'

LINE TABLE		
LINE	DISTANCE	BEARING
L1	100.72'	S27°52'00"W
L2	74.86'	S21°35'47"W
L4	349.90'	N55°26'18"W
L5	138.33'	N34°33'42"E
L6	27.00'	S55°26'18"E
L7	128.02'	N34°33'42"E
L8	35.40'	S55°33'12"E
L9	2.75'	N34°26'48"E
L10	142.93'	S55°26'18"E
L11	108.02'	S68°22'32"E
L12	106.56'	S21°35'47"W

REQUIRED BUILD-TO PER Z-13-16:
 PRIMARY STREET (BENSON) 50% 0'-80' FROM R/W
 SIDE STREET (SOCIAL) 20% 0'-80' FROM R/W

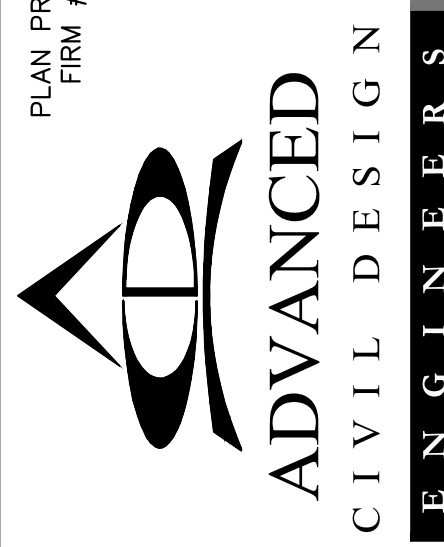
PROVIDED BUILD-TO:
 PRIMARY STREET (BENSON) 228/281 = 81.1%
 SIDE STREET (SOCIAL) 326/345 = 94.5%

FRONTAGE REQUIREMENTS:
 LOT 8: OPEN SPACE 50' MIN LOT WIDTH (UDO 3.2.7)
 LOT 9: APARTMENT, GENERAL, OR MIXED-USE N/A (UDO 3.2.4-6)
 LOT 10: APARTMENT, GENERAL, OR MIXED-USE N/A (UDO 3.2.4-6)
 LOT 11: MIXED-USE N/A (UDO 3.2.6)



PLAN PREPARED FOR:
 FIRM # C-2798

51 Kilmayne Drive
 Suite 102
 Cary, North Carolina 27511
 ph 919.481.8290
 fax 919.336.5127



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5/31/24	ASR #1 RESPONSES	
7/09/24	ASR #2 RESPONSES	
9/12/24	ASR #3 RESPONSES	

Date: 09/12/2024
 Scale: 1" = 40'

Drawn By: JLB
 Checked By: JDW

NOT ISSUED FOR CONSTRUCTION

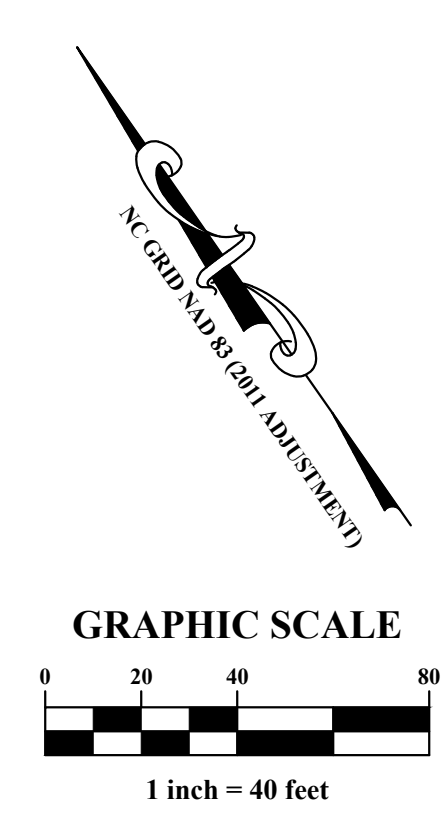
LOTS & EASEMENTS PLAN

LIFE TIME LIVING RESIDENTIAL

RALEIGH, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW

COMMISSION NO. 24-0019-742
 DRAWING NO:
C.3.1

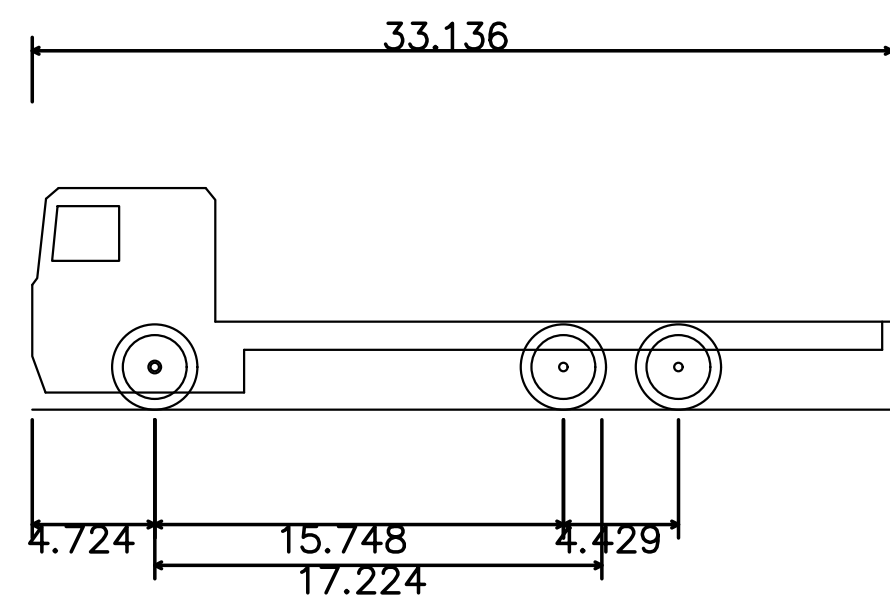
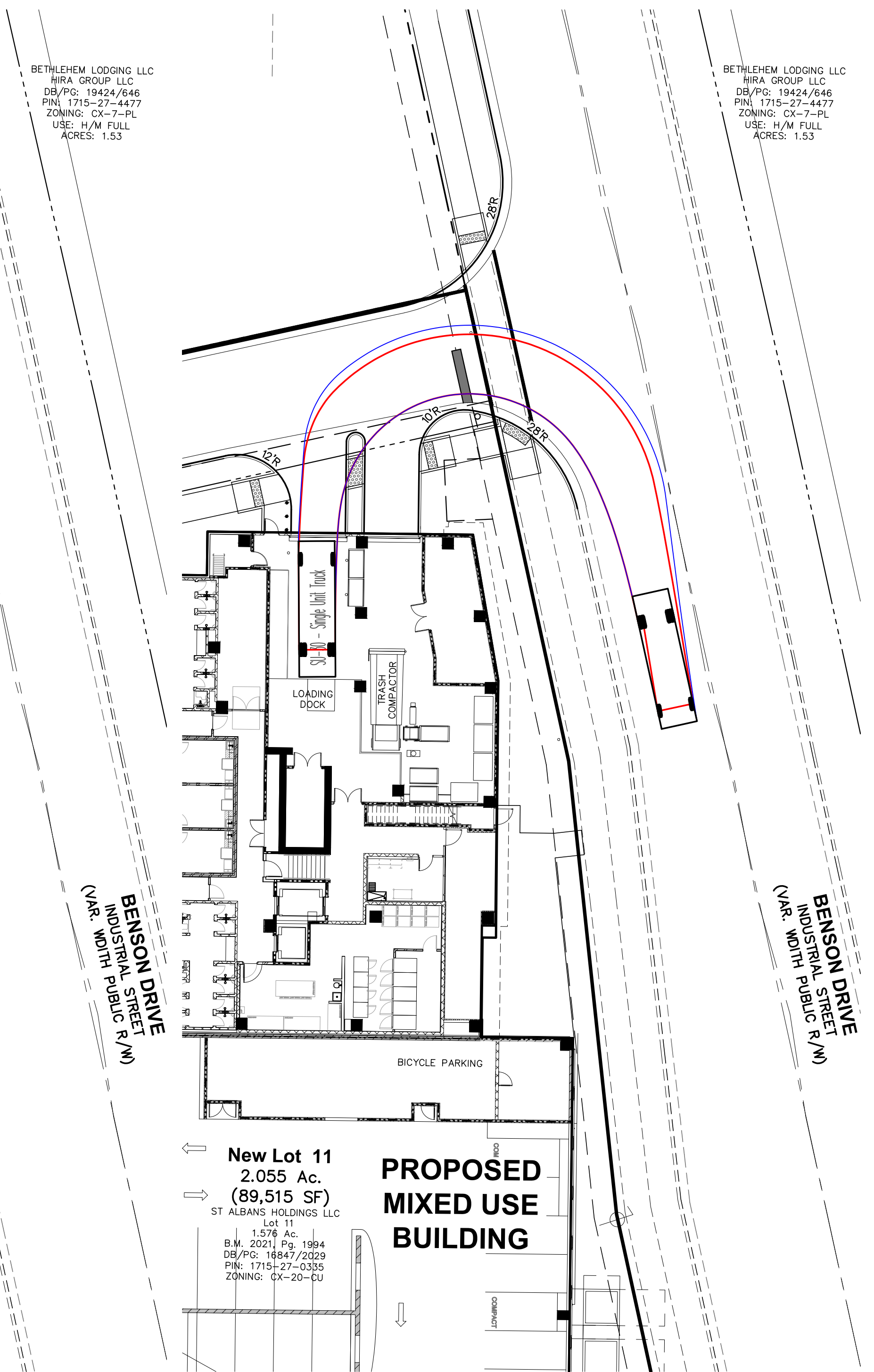
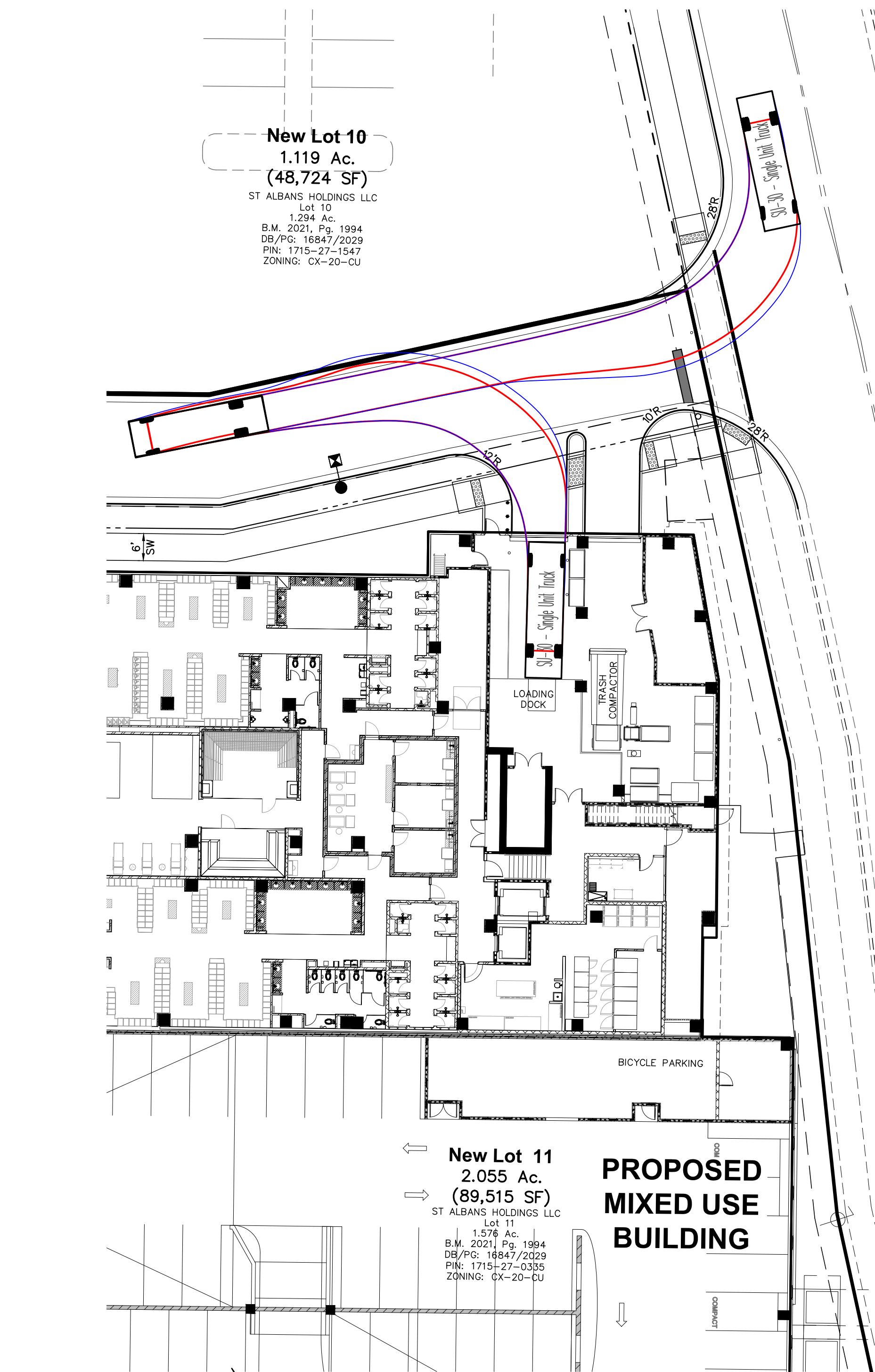
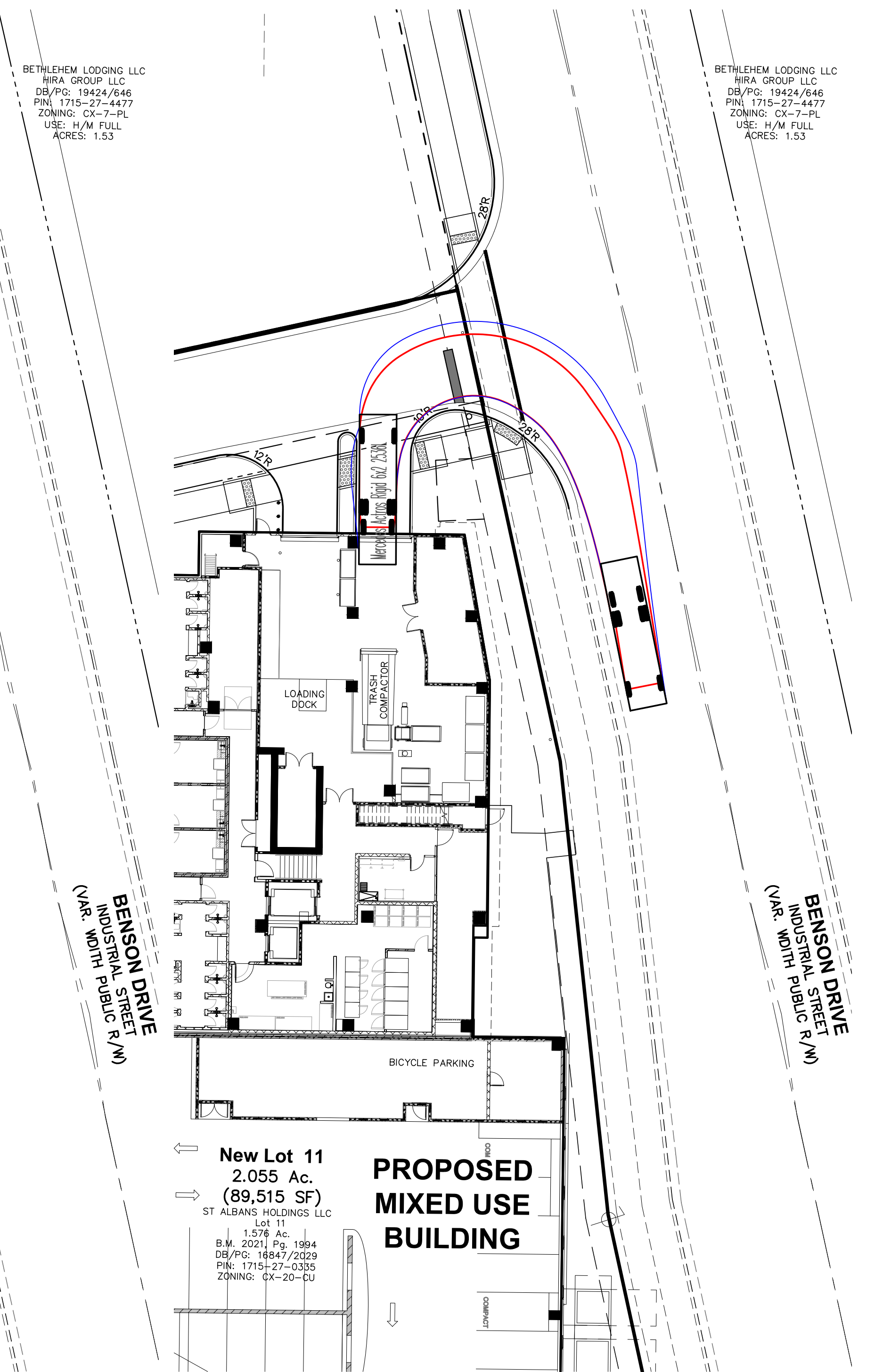
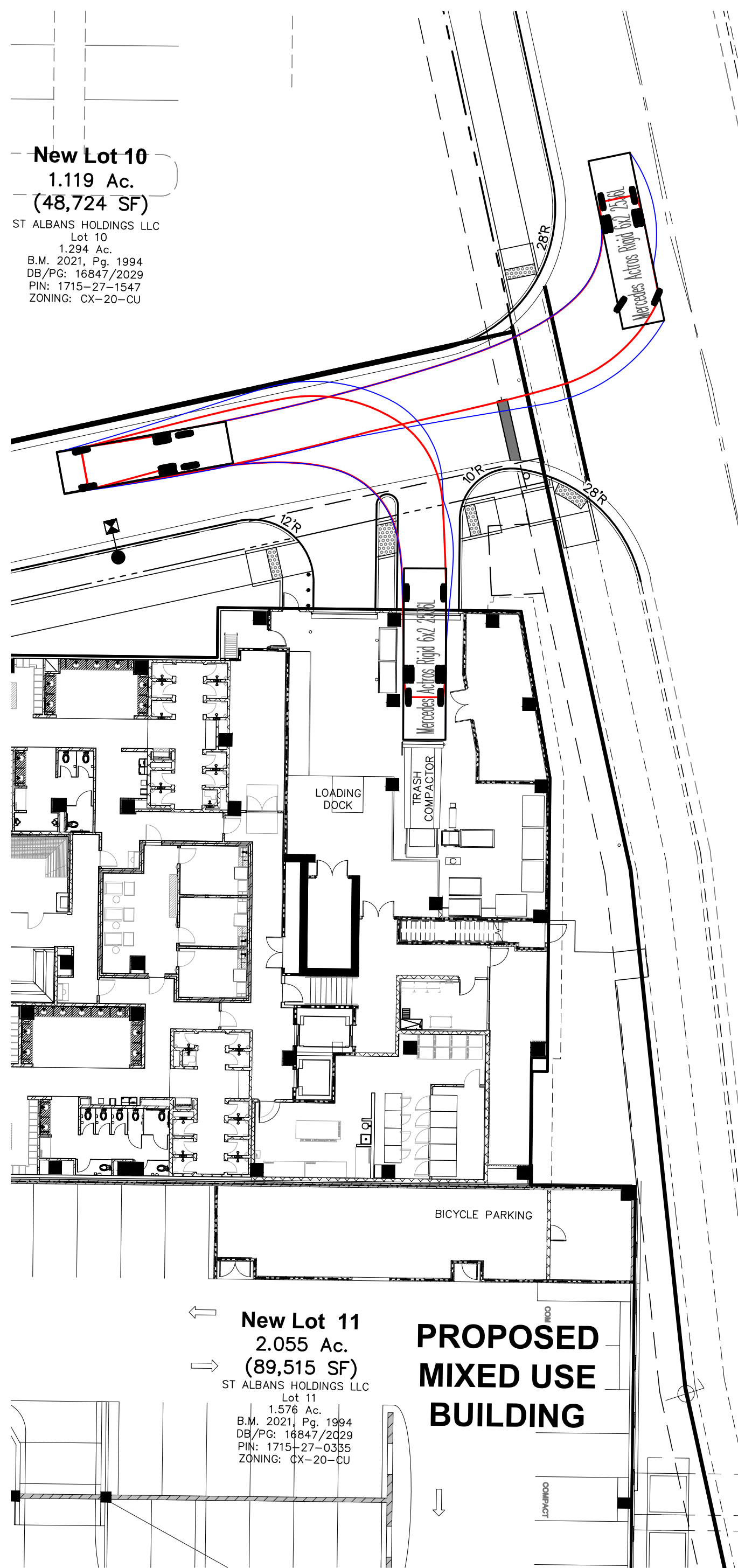


TRUCK ENTERING

TRUCK EXITING

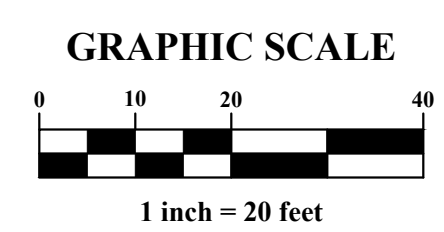
TRUCK ENTERING

TRUCK EXITING

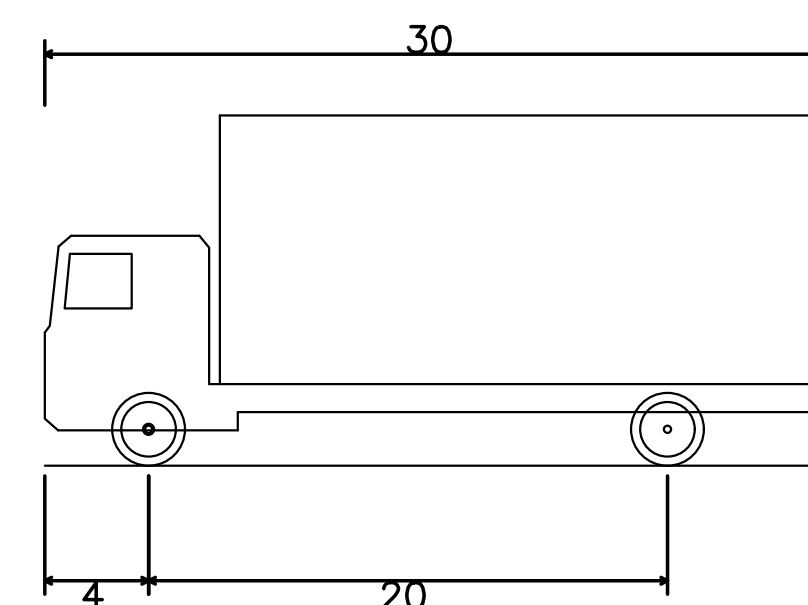


Mercedes Actros Rigid 6x2 2536L
 Overall Length 33.136ft
 Overall Width 8.182ft
 Overall Body Height 11.466ft
 Min Body Ground Clearance 0.656ft
 Max Track Width 8.182ft
 Lock-to-lock time 5.00s
 Wall to Wall Turning Radius 33.136ft

ROLL-OFF FLATBED TRUCK EQUIVALENT



GRAPHIC SCALE



SU-30 - Single Unit Truck
 Overall Length 30.000ft
 Overall Width 8.000ft
 Overall Body Height 13.500ft
 Min Body Ground Clearance 1.367ft
 Track Width 8.000ft
 Lock-to-lock time 5.00s
 Curb to Curb turning Radius 41.800ft

3-BEDROOM MOVING TRUCK EQUIVALENT



May 22, 2024
 Neil King
 Dewitt Carolinas
 3302 Benson Dr
 Suite #103
 Raleigh, NC 27609

RE: Life Time - 1021 Social St.

Attn: Neil

This is a letter of support for trash and recycling services for your new facility being planned for 1021 Social St., Raleigh, NC. We have reviewed the plans and have found that GFL Environmental can and will be able to safely perform all needed services for collecting the trash and recycling.

Current design plans include the following:

- **Trash**
 - o Residential - Trash will be thrown into a chute within a trash room on each floor. The chute and room will have negative pressure. The chute will have a sanitation system. Per GFL, the expected weekly trash load is 72 yards uncompact, 24 yards compacted for residential alone.
 - o Club - Trash will be taken to the first-floor trash room via a cart. The compactor will be outfitted with a cart tipper.
 - o Equipment - Chutes will dump into a 34 yard self-contain compactor with a cart tipper.
 - o Management - Schedule will start with (1) pull per week (likely Friday) and will increase as necessary. Drivers will pull the compactor, take to the dump, and return. Turnaround time is expected to be 90 minutes, chute doors will be locked during this time.
- **Recycling**
 - o Residential - Recycling will be thrown into a chute within a trash room on each floor. The chute and room will have negative pressure. The chute will have a sanitation system.
 - o Club - Recycling will be taken to the first-floor trash room. Bagged recycling will be placed in 4-yard containers on casters.
 - o Equipment - Chutes will dump recycling into a mini-mac compactor that feeds into an enclosed 2-yard mini-mac container. We expect a handful of containers are necessary in the trash room.

- o Management - Schedule will start with (1) pull per week and will increase as necessary. 2-yard mini-mac containers will need to be brought down the ramp to the street where they will be picked up and emptied by a front loader.
- **Cardboard**
 - o Residential - Residents will take cardboard to the first-floor trash room. Cardboard will be placed in designated 4-yard containers on casters. Signage will attempt to prevent residents from throwing cardboard down a chute.
 - o Club - Cardboard will be taken to the first-floor trash room and be placed in 4 yard containers on casters.
 - o Equipment - We anticipate the need for at least (2) 4-yard containers on casters.
 - o Management - Schedule will start with (2) pulls per week and will increase as necessary. 4-yard containers will need to be brought down the ramp to the street where they will be picked up and emptied by a front loader.

Service frequency and number of containers is subject to change. If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service.

We look forward to providing waste and recycling services at your new property once it has been completed.

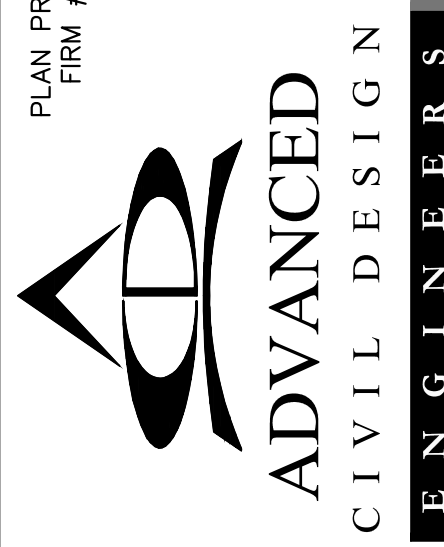
Should you have any questions or need more information, please contact me at lara.zents@dewitt.com.

Sincerely,
Lara Zents
 Account Manager
 GFL Environmental - Raleigh
 3741 Conquest Drive
 Garner NC, 27529
 (919) 427-2399



PLAN PREPARED BY:
 FIRM # C-2798

51 Kilmayne Drive
 Suite 102
 Cary, North Carolina 27511
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 fax 919.336.5127



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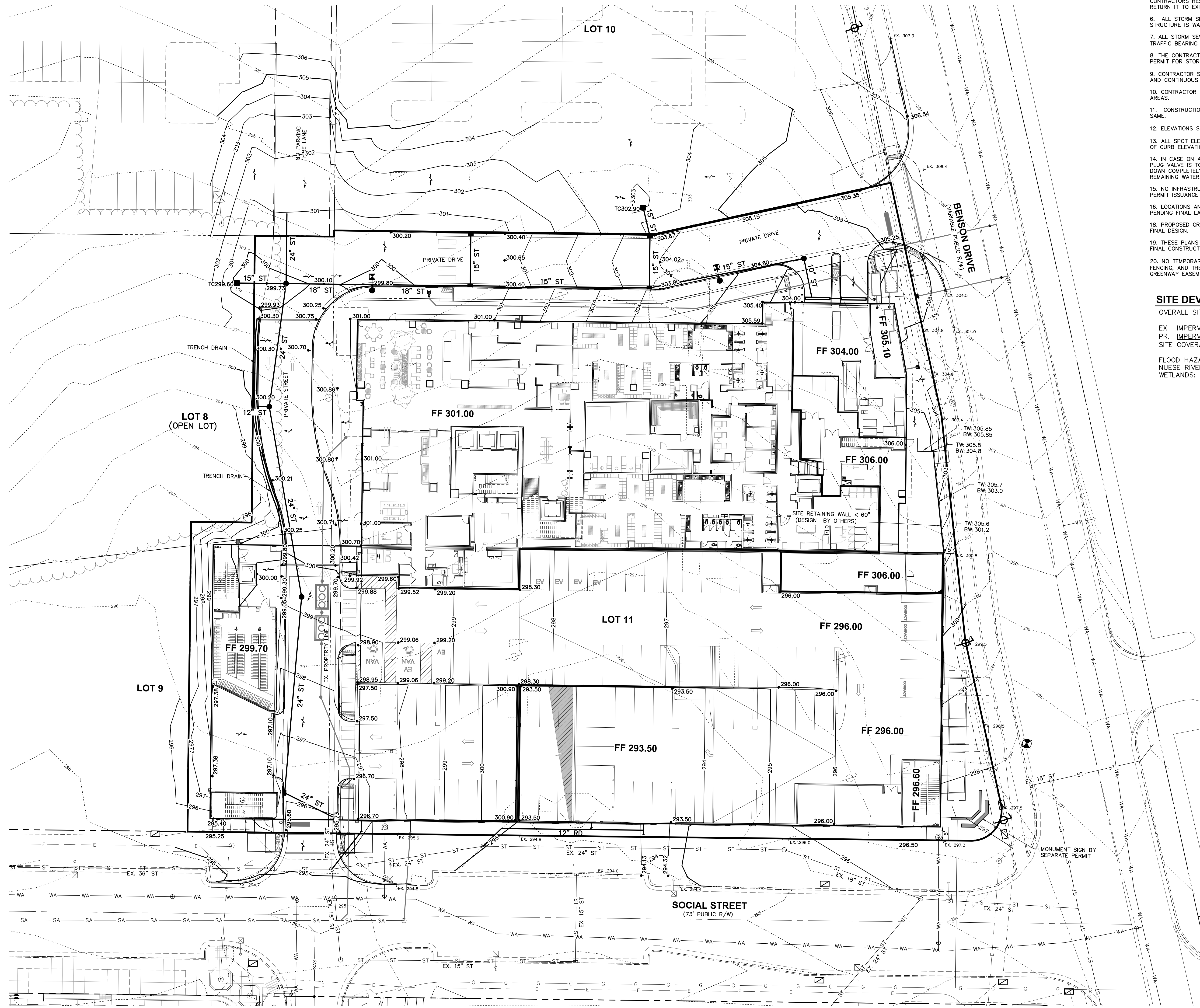
Rev #	Date	Issue/Revision
3/19/24	ASR #1	
5/31/24	ASR #1 RESPONSES	
7/09/24	ASR #2 RESPONSES	
9/12/24	ASR #3 RESPONSES	

Date: 09/12/2024
 Scale: 1" = 20'

Drawn By: JLB
 Checked By: JDW

TRUCK TURN EXHIBIT
 L.L.L. LIVING RESIDENTIAL
 RALEIGH, NORTH CAROLINA
 ADMINISTRATIVE SITE REVIEW
 MISSIION NO: 24-0019-742
 DRAWING NO:
C.3.2

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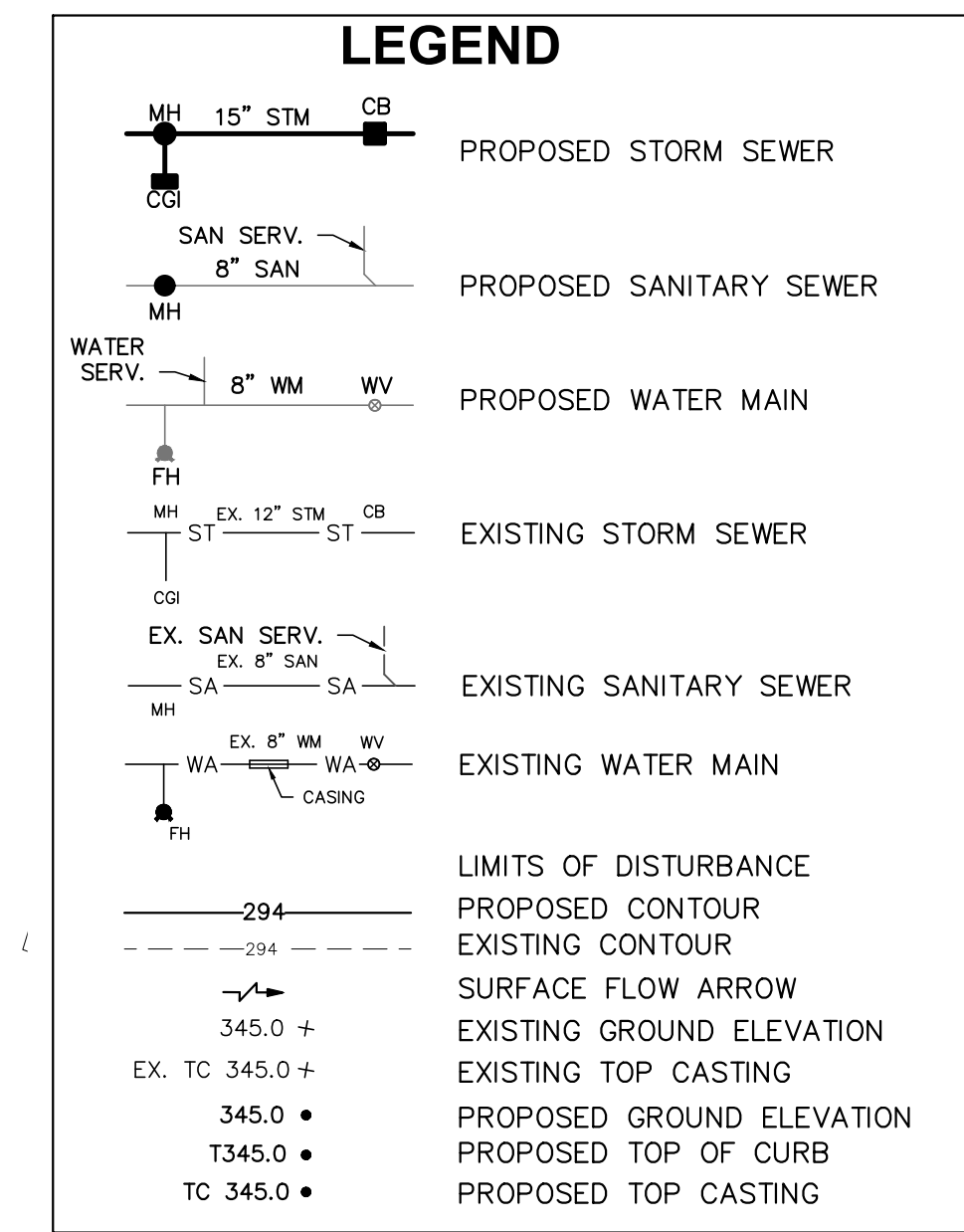


STANDARD GRADING NOTES (AS APPLICABLE)

1. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
2. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
3. EXISTING CONTOURS SHOWN AT 1 FOOT INTERVALS.
4. PROPOSED GRADE CONTOURS SHOWN AT 1 FOOT INTERVALS.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. ALL STORM SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATER-TIGHT.
7. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS, LIDS SHALL BE LABELED "STORM SEWER".
8. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
9. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
11. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
12. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
13. ALL SPOT ELEVATIONS SHOWN ARE FINISHED GRADE/TOP OF PAVEMENT UNLESS OTHERWISE NOTED. TOP OF CURB ELEVATIONS DENOTED AS TXXX.XX. TOP OF CASTING ELEVATIONS DENOTED AS TO XXX.XX.
14. IN CASE ON AN EMERGENCY OR MAINTENANCE RELATED ISSUES WITH THE POND, THE HAND WHEEL AND PLUG VALVE IS TO BE USED TO DRAW DOWN THE POND AS MUCH AS POSSIBLE. IF POND IS TO BE DRAWN DOWN COMPLETELY, OWNER IS TO COORDINATE WITH CONTRACTOR TO BRING IN PUMP TO PUMP OUT REMAINING WATER.
15. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE CITY OF RALEIGH ENGINEERING DEPARTMENT.
16. LOCATIONS AND SIZES SHOWN FOR STORMWATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
17. PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND FINAL DESIGN.
18. THESE PLANS AND ALL CALCULATIONS HEREIN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION PLAN DESIGN.
19. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

SITE DEVELOPMENT DATA

OVERALL SITE AREA:	2.055/89,515 ACRES/SF
EX. IMPERVIOUS AREA:	1.300/56,620 ACRES/SF
PR. IMPERVIOUS AREA:	1.833/79,838 ACRES/SF
SITE COVERAGE:	1.833/2,055 = 89.2%
FLOOD HAZARD AREA:	NO, FEMA MAP PANEL #3720171500K
NEUSE RIVER BUFFER:	NO
WETLANDS:	NO



PLAN PREPARED FOR:
FIRM # C-2798

51 Kilmoyne Drive
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Cary, North Carolina 27511
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fax 919.356.5127

ADVANCED
CIVIL DESIGN
ENGINEERS SURVEYORS

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9/12/24	ASR #3 RESPONSES	

Date: 09/12/2024
Scale: 1" = 20'

Drawn By: JLB
Checked By: JLB

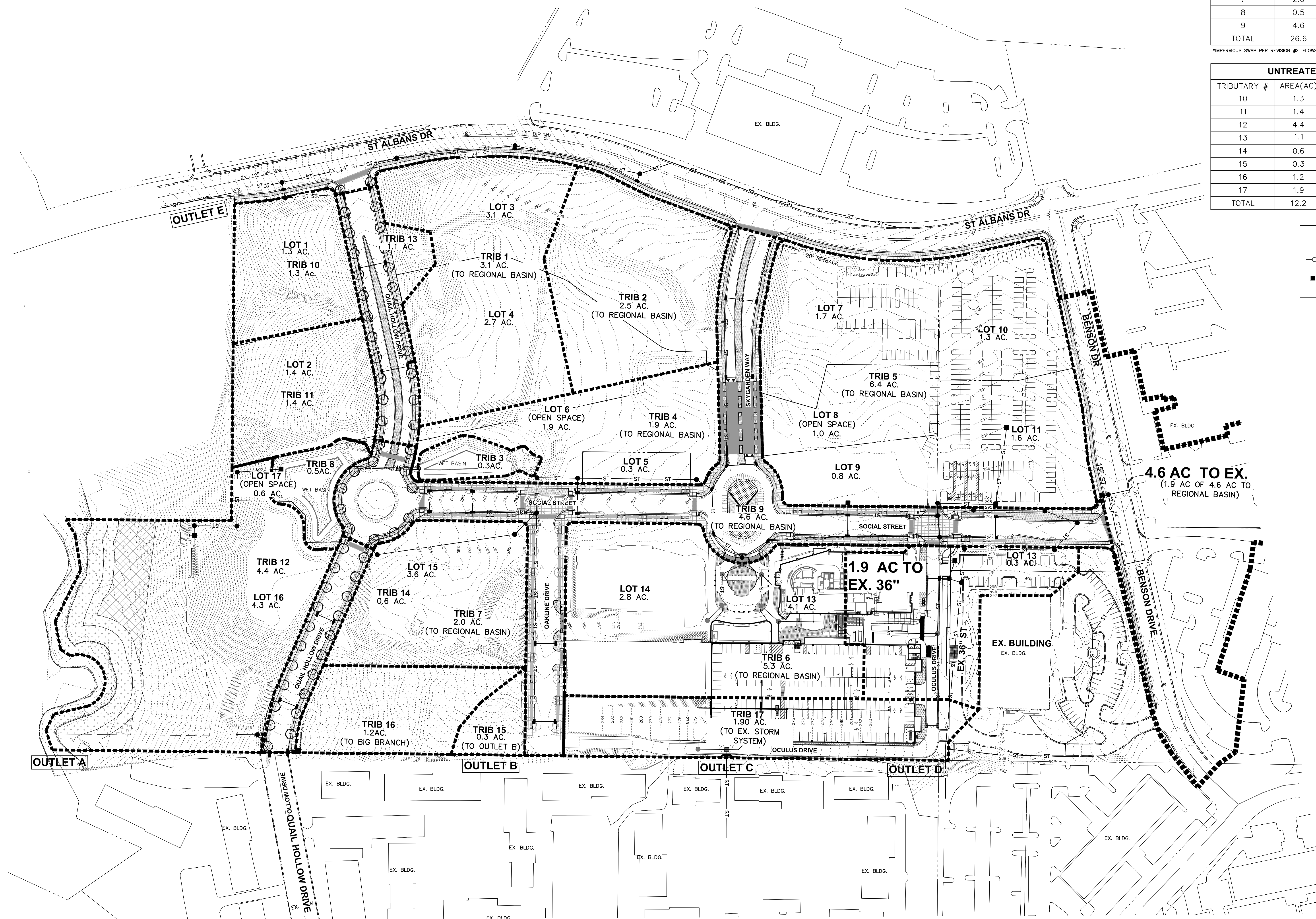
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GRADING PLAN & DRAINAGE PLAN
L.L.L. LIVING RESIDENTIAL

MISSION NO: 24-0019-742
DRAWING NO:

C.4.0

RALEIGH, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW



WET BASIN TRIBUTARY AREA TABLE			
TRIBUTARY #	AREA(AC)	IMPERVIOUS(AC)	PERCENTAGE (%)
1	3.1	2.8	90
2	2.5	2.2	88
3	0.3	0.1	33
4	1.9	0.8	42
5	6.4	4.99	78
6*	5.3	5.0	94
7	2.0	1.8	90
8	0.5	0.35	70
9	4.6	3.85	84
TOTAL	26.6	21.89	82

UNTREATED AREA TABLE			
TRIBUTARY #	AREA(AC)	IMPERVIOUS(AC)	PERCENTAGE (%)
10	1.3	1.0	77
11	1.4	1.1	79
12	4.4	1.4	32
13	1.1	1.0	90
14	0.6	0.5	83
15	0.3	0.0	0
16	1.2	0.0	0
17	1.9	1.6	84
TOTAL	12.2	6.6	54

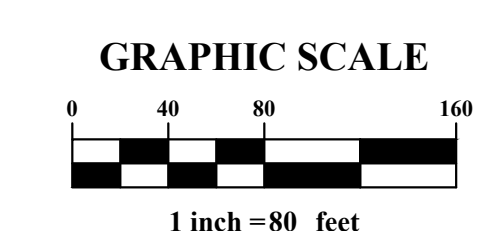
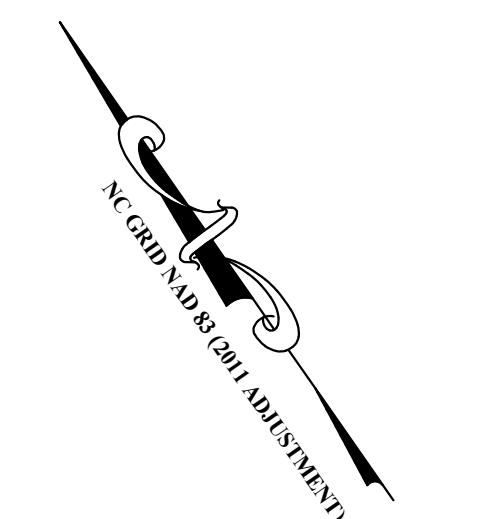
LEGEND

— EX. 12" ST. — EXISTING STORM SEWER

— TRIBUTARY AREA LINE

4.6 AC TO EX.
(1.9 AC OF 4.6 AC TO REGIONAL BASIN)

1.9 AC TO EX. 36"



PLAN PREPARED FOR:

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ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

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Date: 09/12/2024
Scale: 1" = 40'

Drawn By: JLB
Checked By: JDW

PRE-DEVELOPMENT STORMWATER PLAN

LIFE TIME LIVING RESIDENTIAL

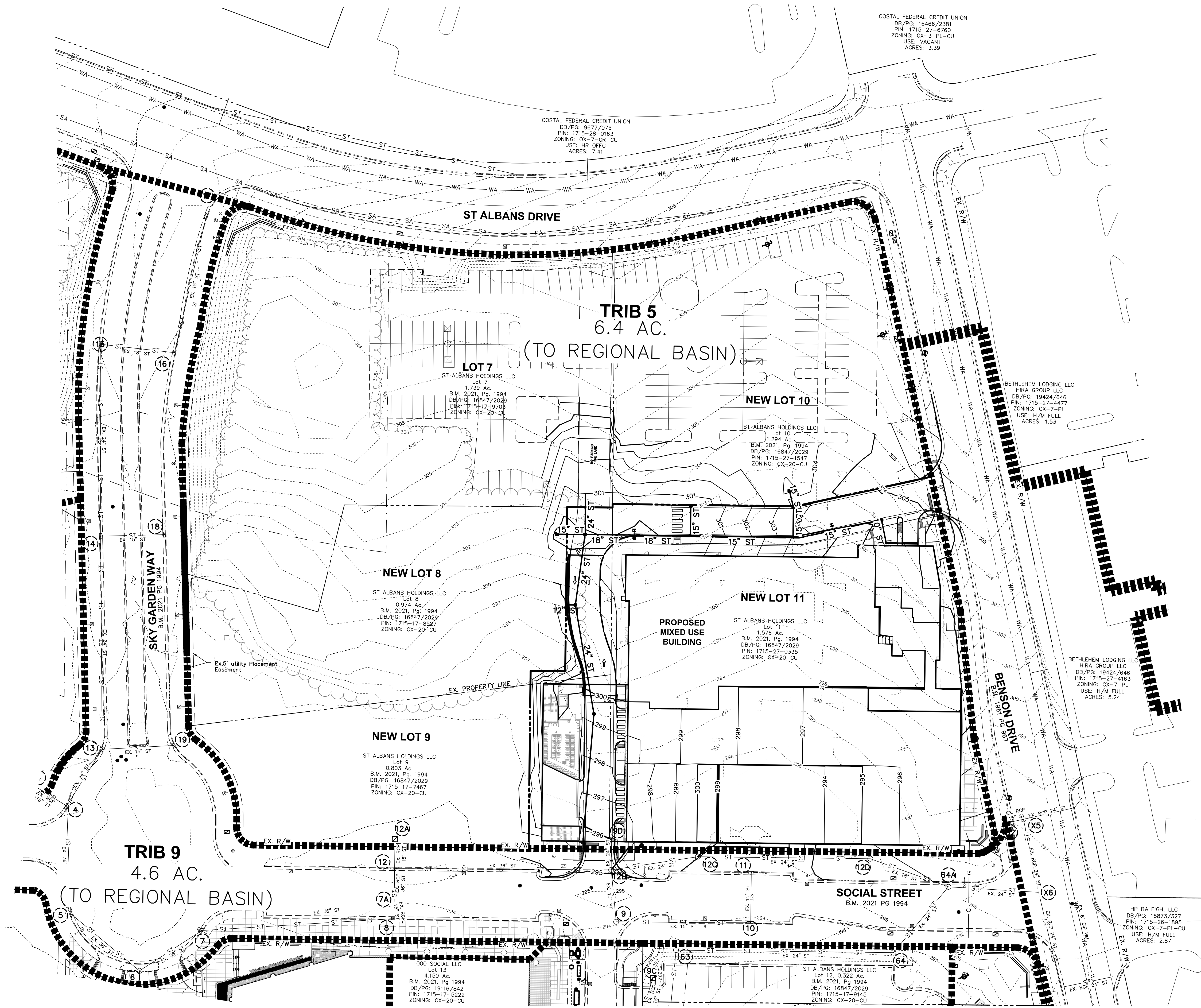
RALEIGH, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW

COMMISSION NO: 24-0019-742
DRAWING NO:

C.5.0

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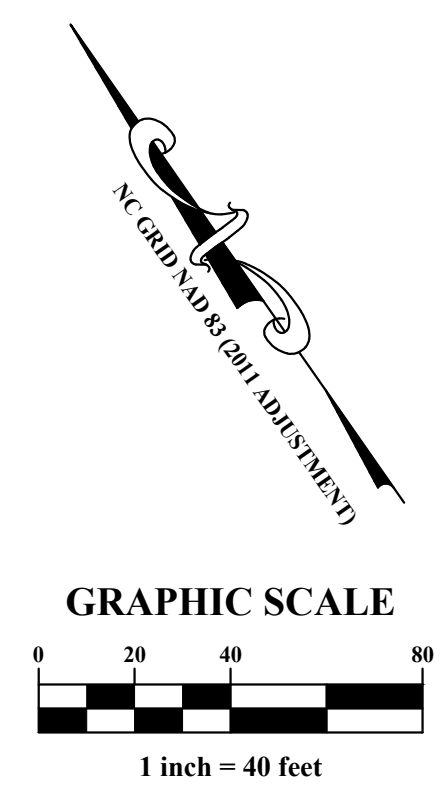


LEGEND

- PROPOSED STORM SEWER
- EXISTING STORM SEWER
- LIMITS OF DISTURBANCE
- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED TRIBUTARY AREA
- EXISTING TRIBUTARY AREA
- SURFACE FLOW ARROW
- EXISTING GROUND ELEVATION
- PROPOSED TOP CASTING
- PROPOSED TOP OF CURB
- PROPOSED TOP CASTING
- PROPOSED IMPERVIOUS AREA

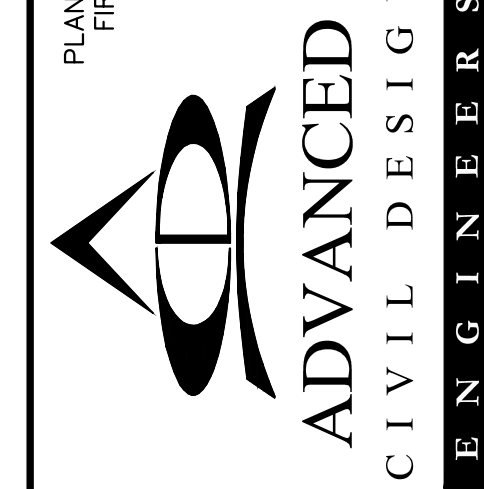
Rational Method	Pre-Development Peak Runoff Rate (cfs)	
	Outlet A	
2- year:	19.30	
10- year:	41.93	
25- year:	52.79	
100-year:	72.56	
TC = 15.2 MIN, CN = 74		

Rational Method	Post-Development Peak Runoff Rate (cfs)	
	2- year:	18.73
10- year:	36.53	
25- year:	43.73	
100-year:	56.69	
TC = 15.0 MIN, CN = 72		



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Checked By: JDW

POST-DEVELOPED STORMWATER PLAN

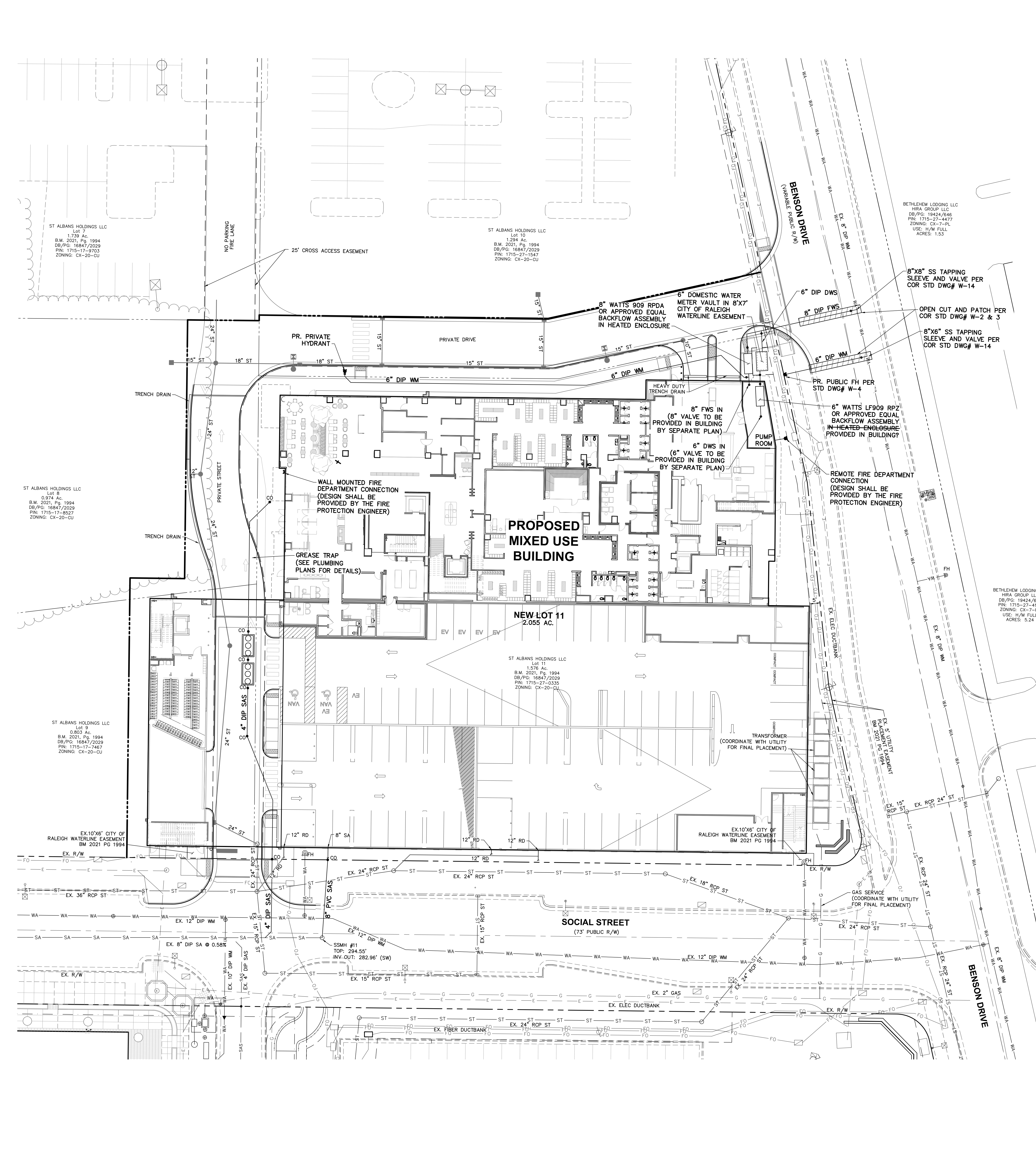
LIFE TIME LIVING RESIDENTIAL

RALEIGH, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW

NOT ISSUED FOR CONSTRUCTION

COMMISSION NO: 24-0019-742
DRAWING NO:

C.5.1



LEGEND

- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN
- UNDERGROUND GAS
- UNDERGROUND FIBER OPTIC
- UNDERGROUND ELECTRIC
- OVERHEAD ELECTRIC

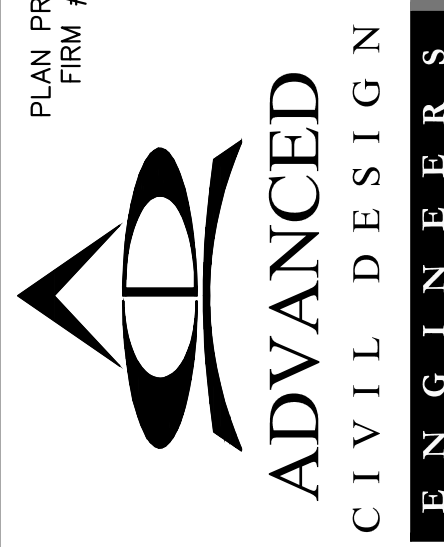
STANDARD UTILITY NOTES (AS APPLICABLE):

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLICWELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
7. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
9. INSTALL 1.5"-2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
10. INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
12. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
13. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
14. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 998-4516 OR EDG@RALEIGH.ORG FOR MORE INFORMATION.
15. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
16. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
17. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
18. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGH.ORG FOR MORE INFORMATION.
19. NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT, ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.



PLAN PREPARED BY:
FIRM # C-2798

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fax 919.336.5127



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Rev #	Date	Issue/Revision
3/19/24	ASR #1	
5/31/24	ASR #1 RESPONSES	
7/09/24	ASR #2 RESPONSES	
9/12/24	ASR #3 RESPONSES	

Date: 09/12/2024
Scale: 1" = 20'

Drawn By: JLB
Checked By: JWB

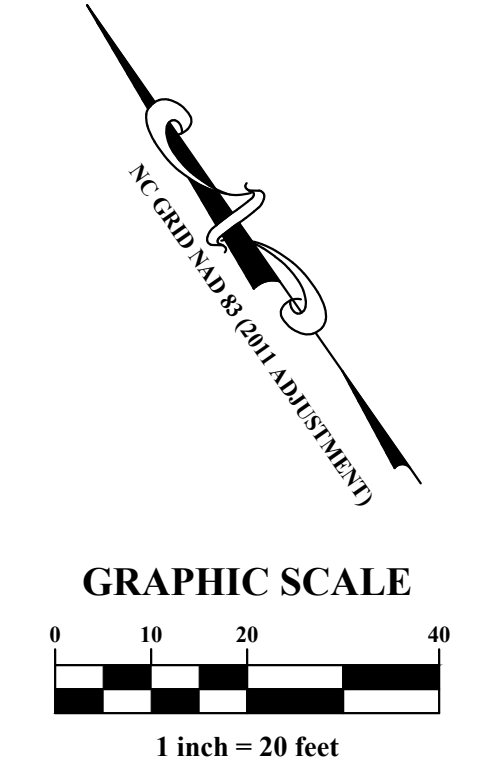
UTILITY PLAN

LIFE TIME LIVING RESIDENTIAL

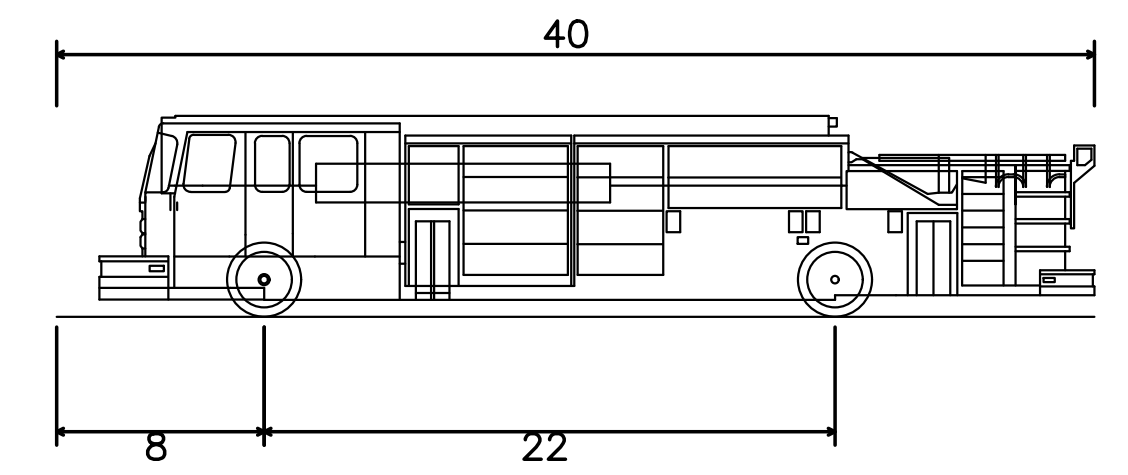
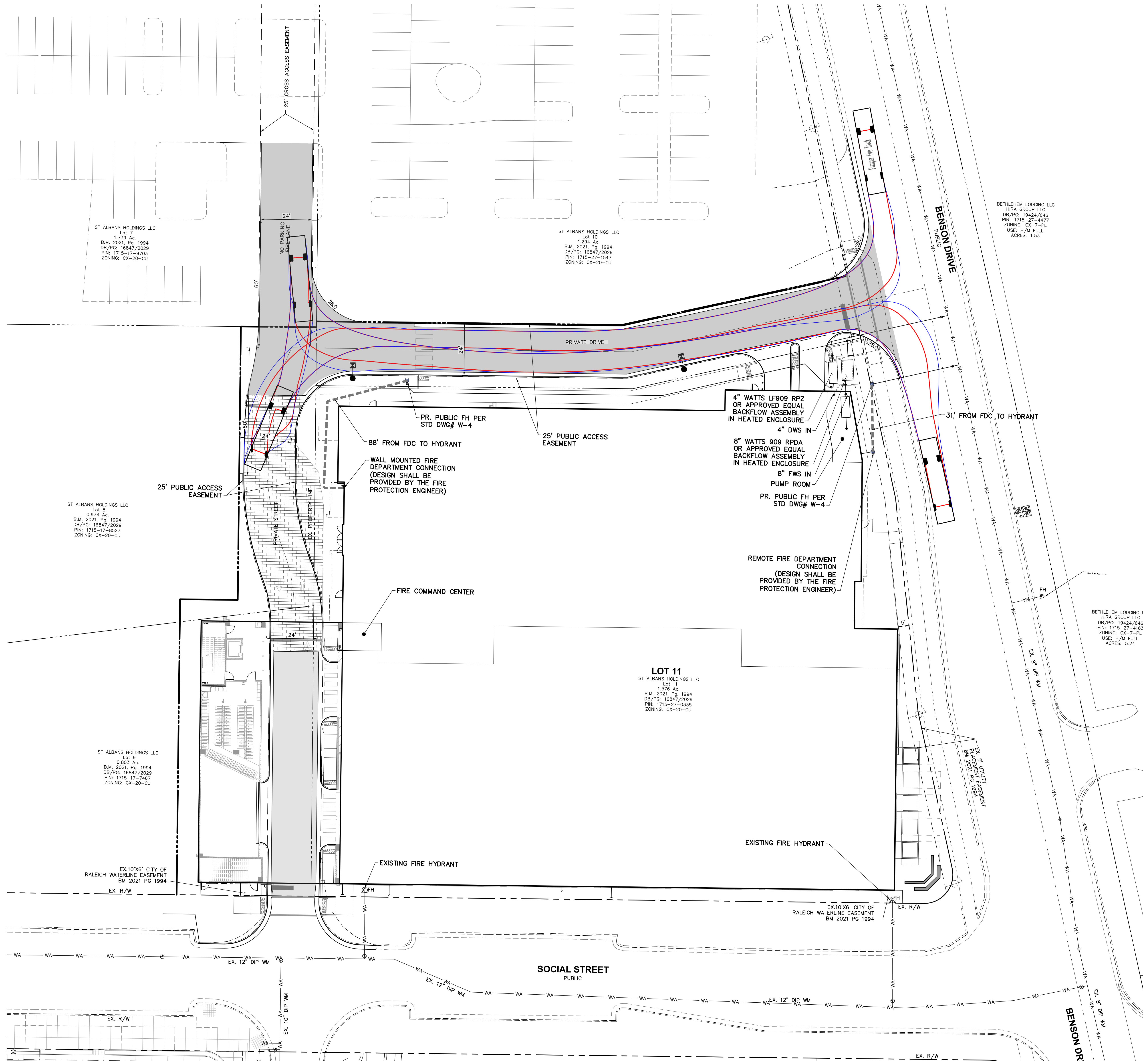
RALEIGH, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW

COMMISSION NO. 24-0019-742
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40.000ft
 8.167ft
 7.745ft
 0.656ft
 8.167ft
 5.00s
 45.00°

PLAN NOTES

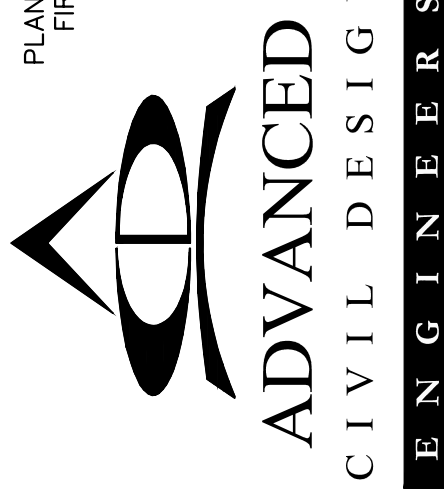
BUILDING CONTAINS NFPA 13 AUTOMATIC SPRINKLER SYSTEM.

LEGEND

---	EX. RIGHT-OF-WAY
---	EX. BOUNDARY LINE
---	PR. BOUNDARY LINE
---	SETBACK LINE
---	TRUCK BODY OVERHANG
---	OUTER TIRE PATH
---	HYDRANT HOSE PULL LINE



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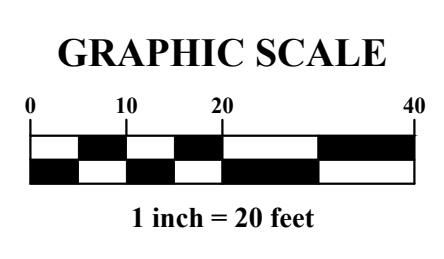
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FIRE DEPARTMENT ACCESS PLAN
LIFE TIME LIVING RESIDENTIAL
 RALEIGH, NORTH CAROLINA
 ADMINISTRATIVE SITE REVIEW

COMMISSION NO: 24-0019-742
 DRAWING NO:

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GRAPHIC SCALE
 0 10 20 30 40
 1 inch = 20 feet

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3/19/24	ASR #1	
5/31/24	ASR #1 RESPONSES	
7/09/24	ASR #2 RESPONSES	
9/12/24	ASR #3 RESPONSES	

Date: 09/12/2024
Scale: NO SCALE
Drawn By: JLB
Checked By: JDW

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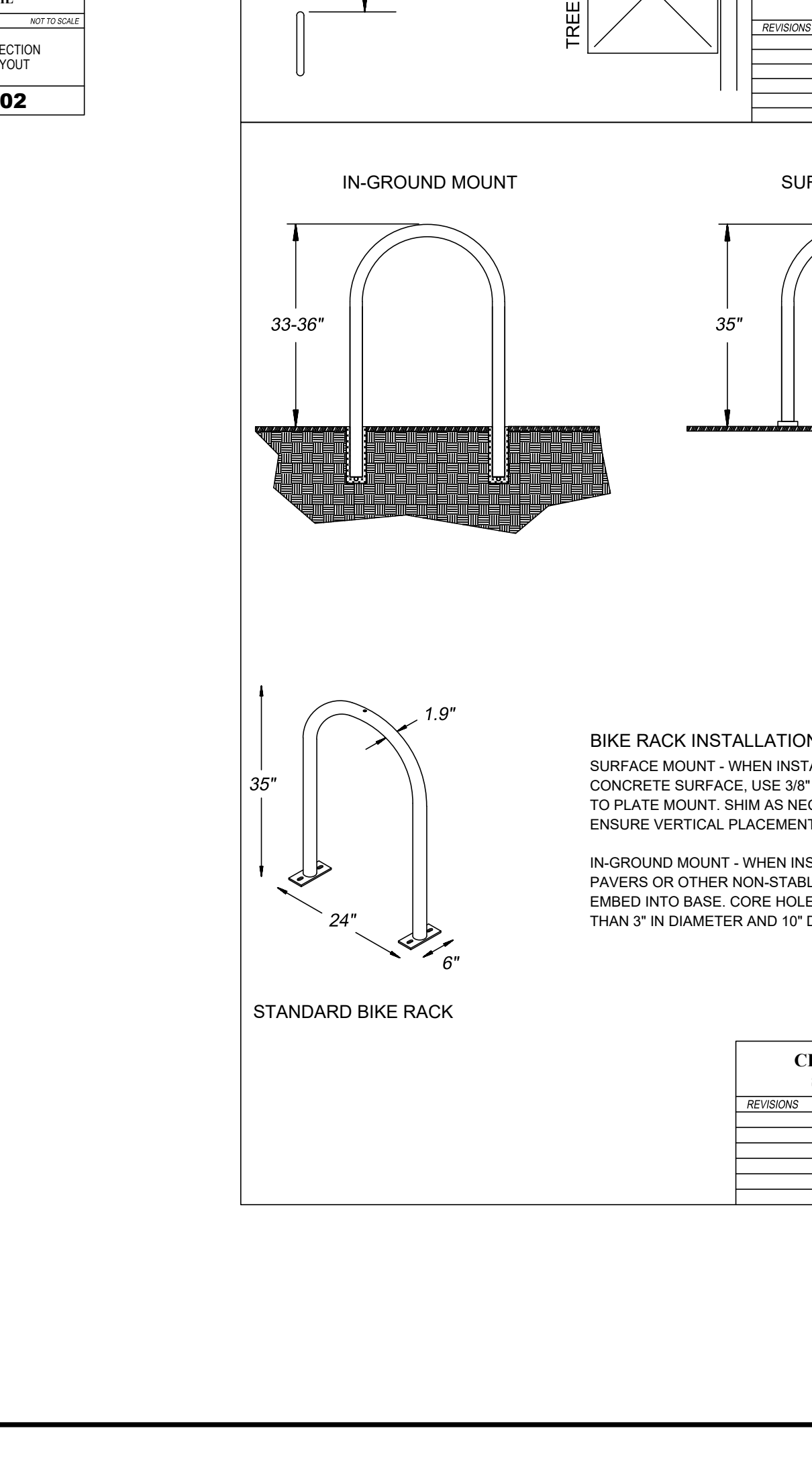
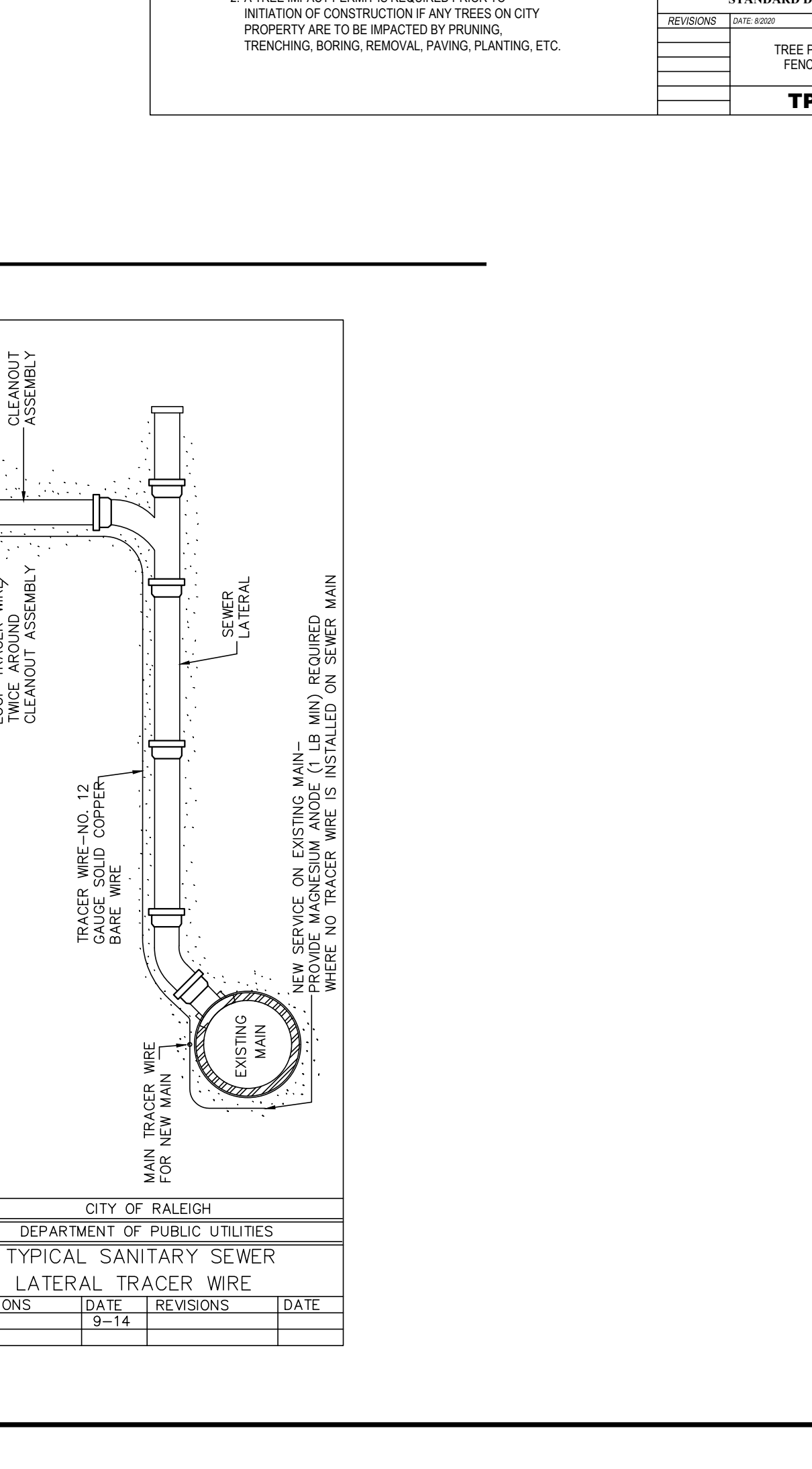
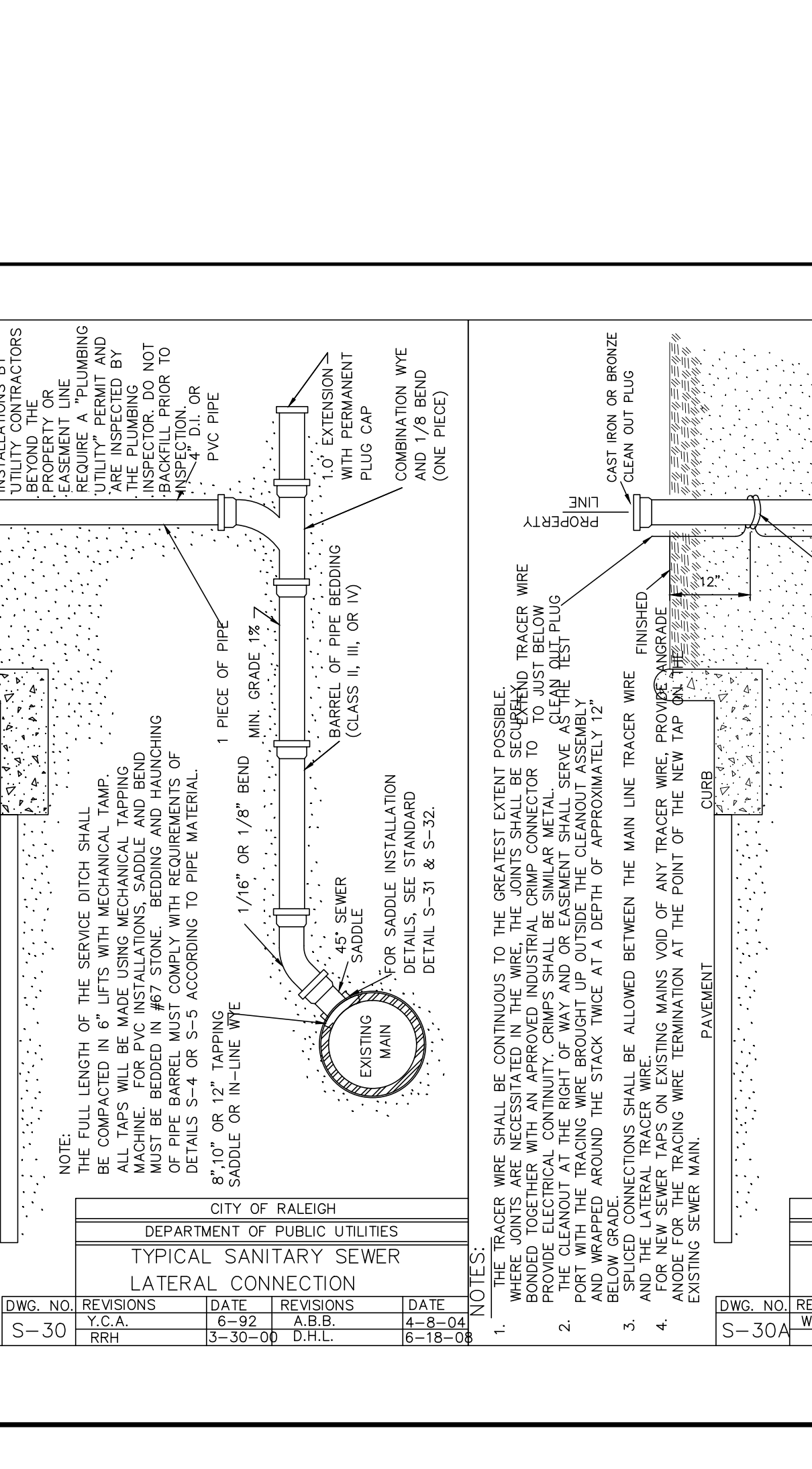
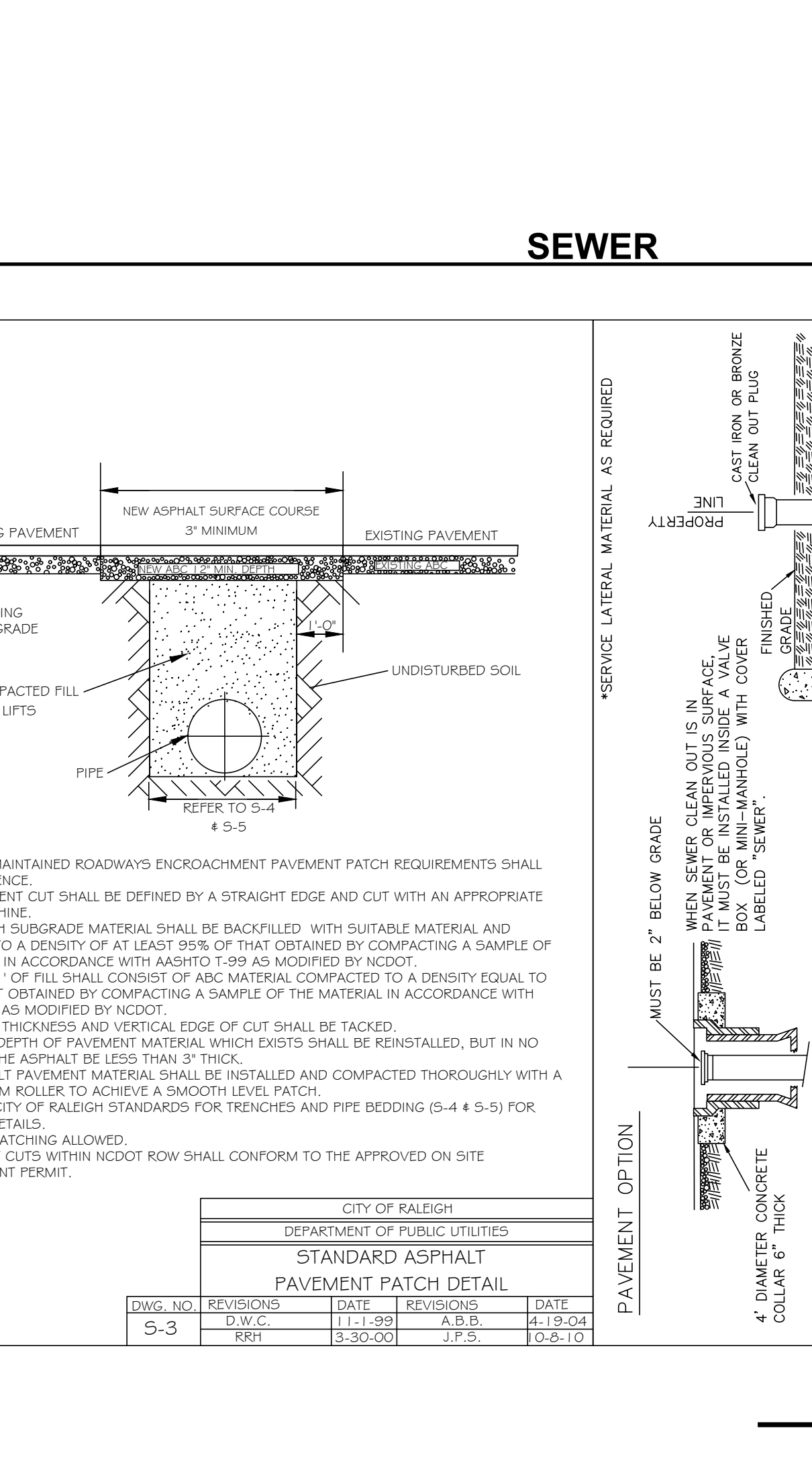
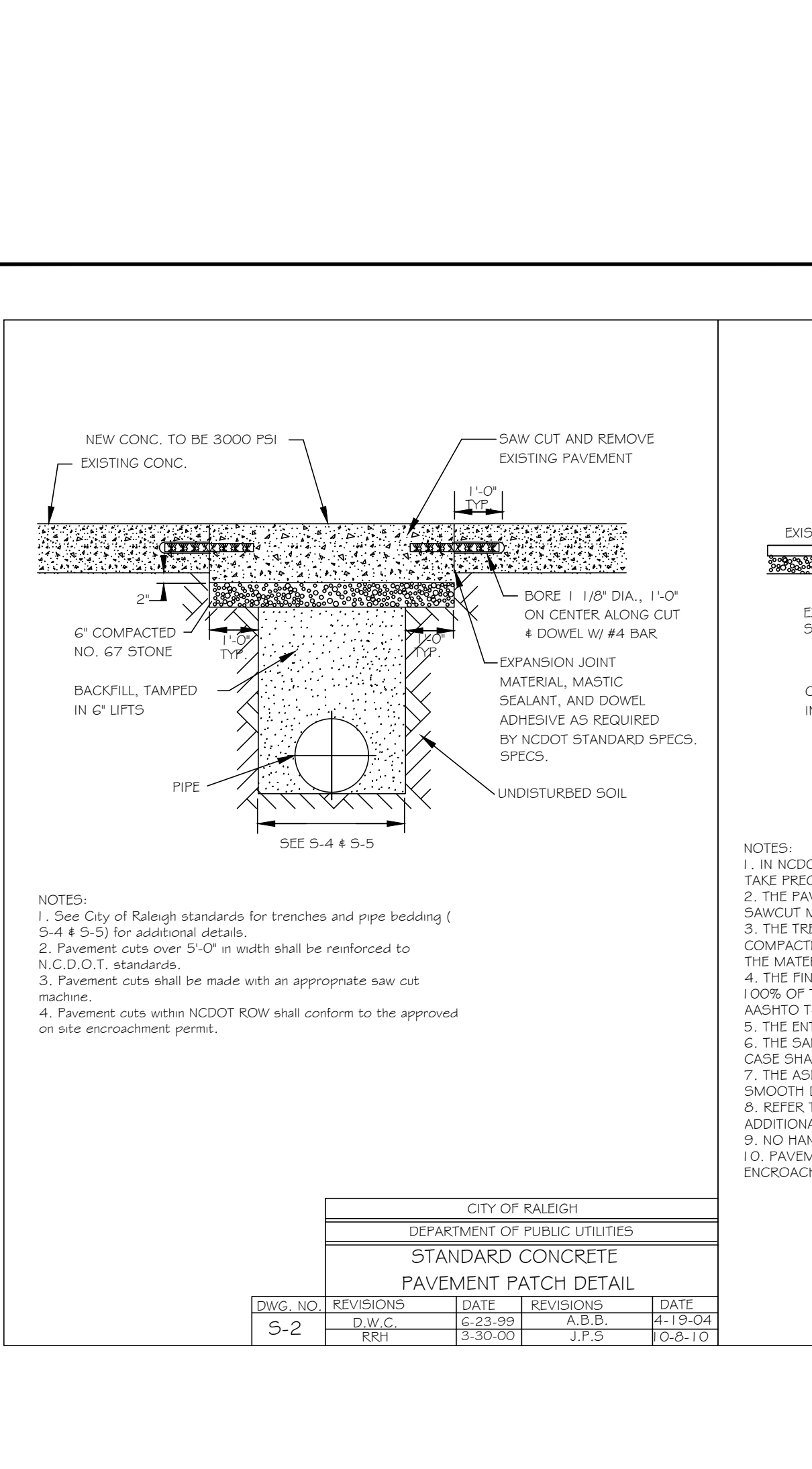
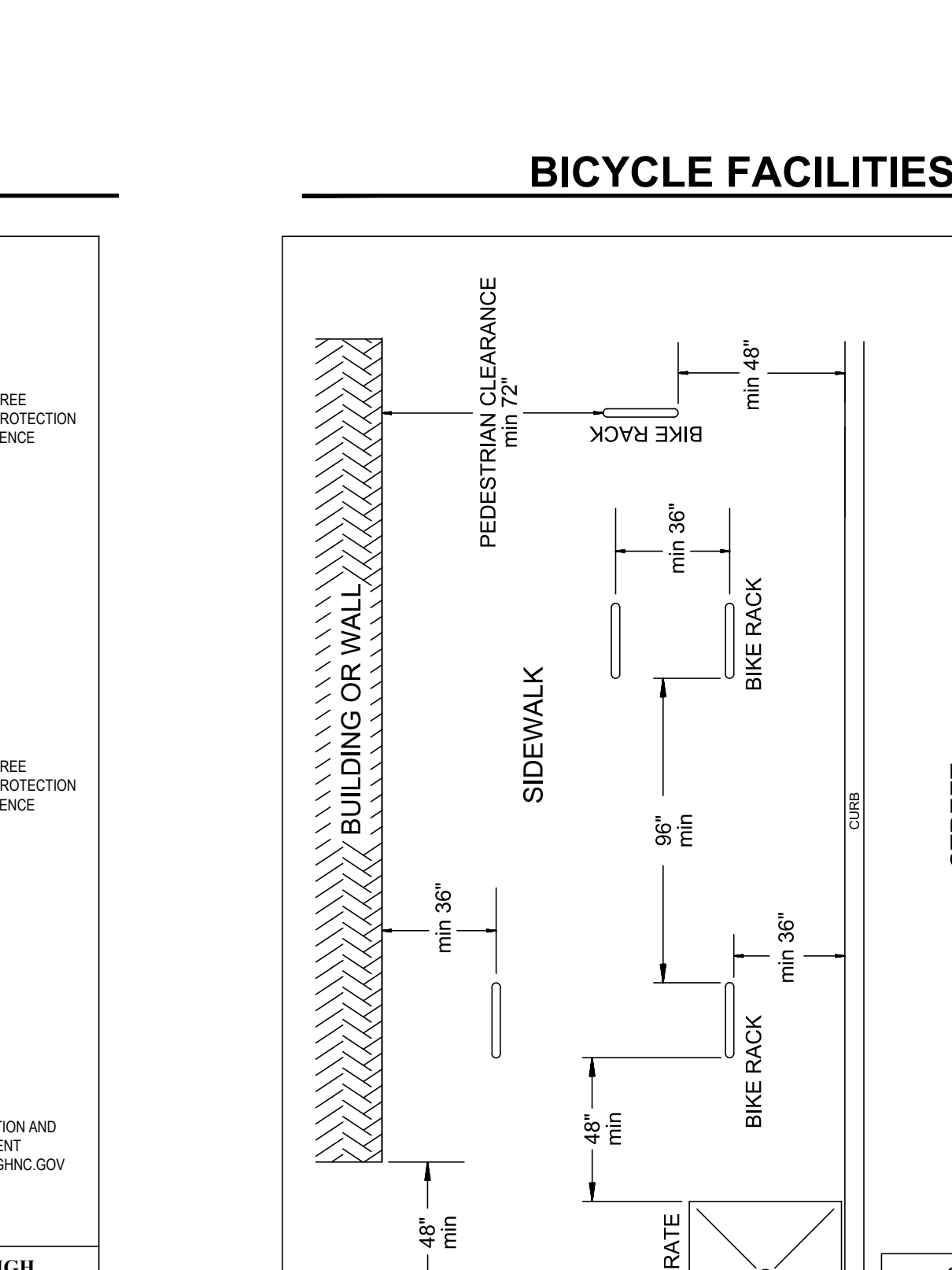
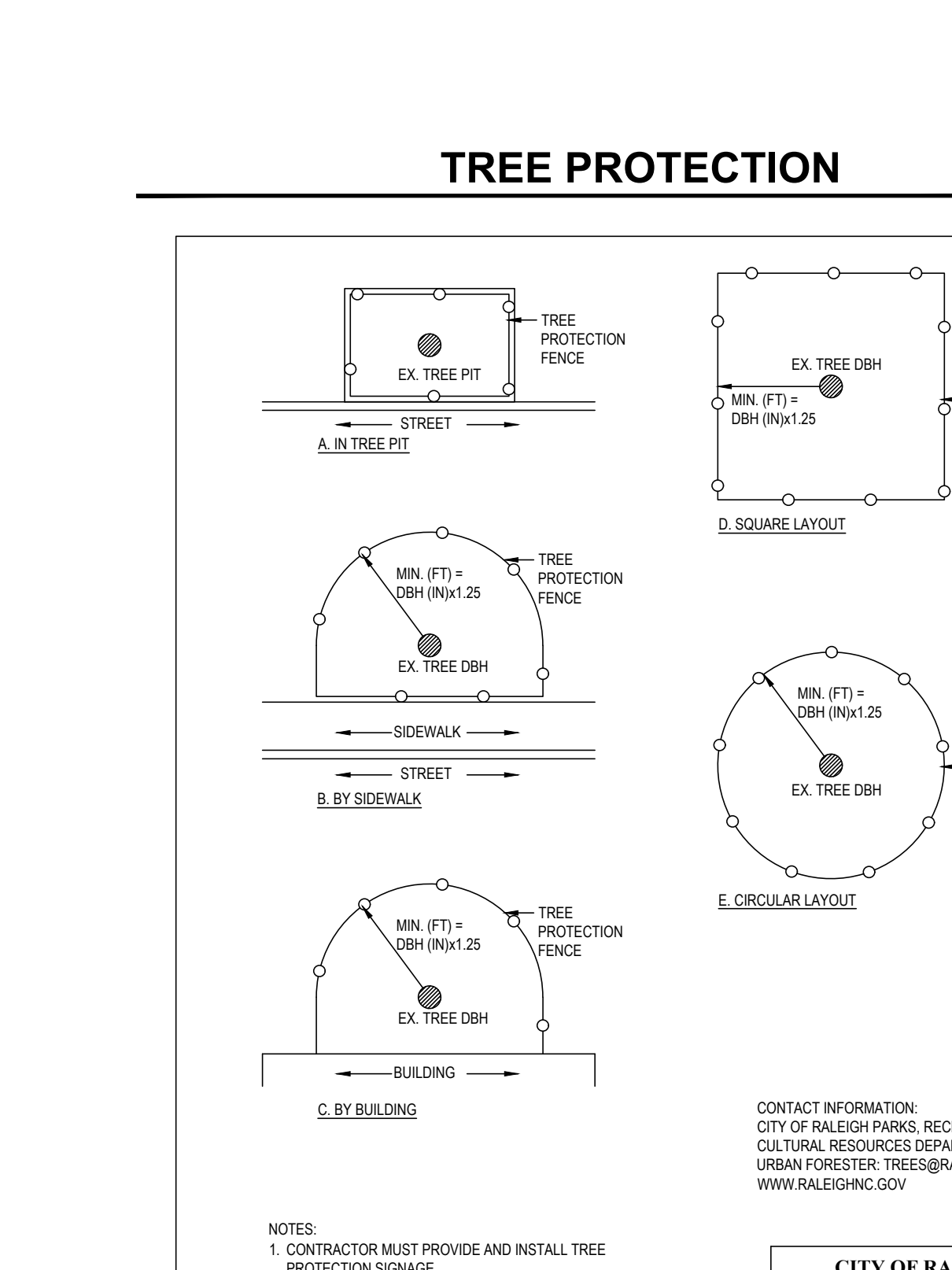
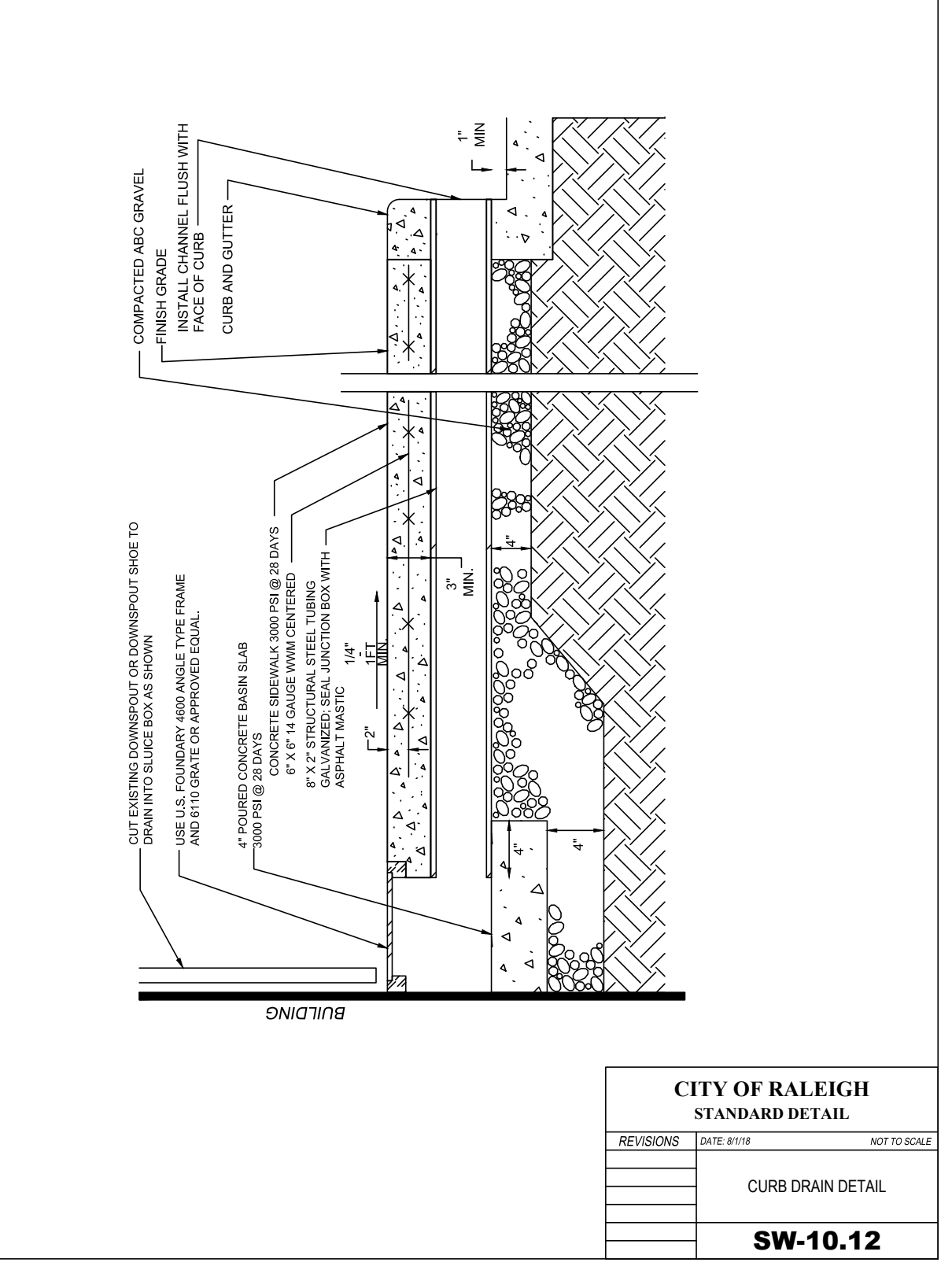
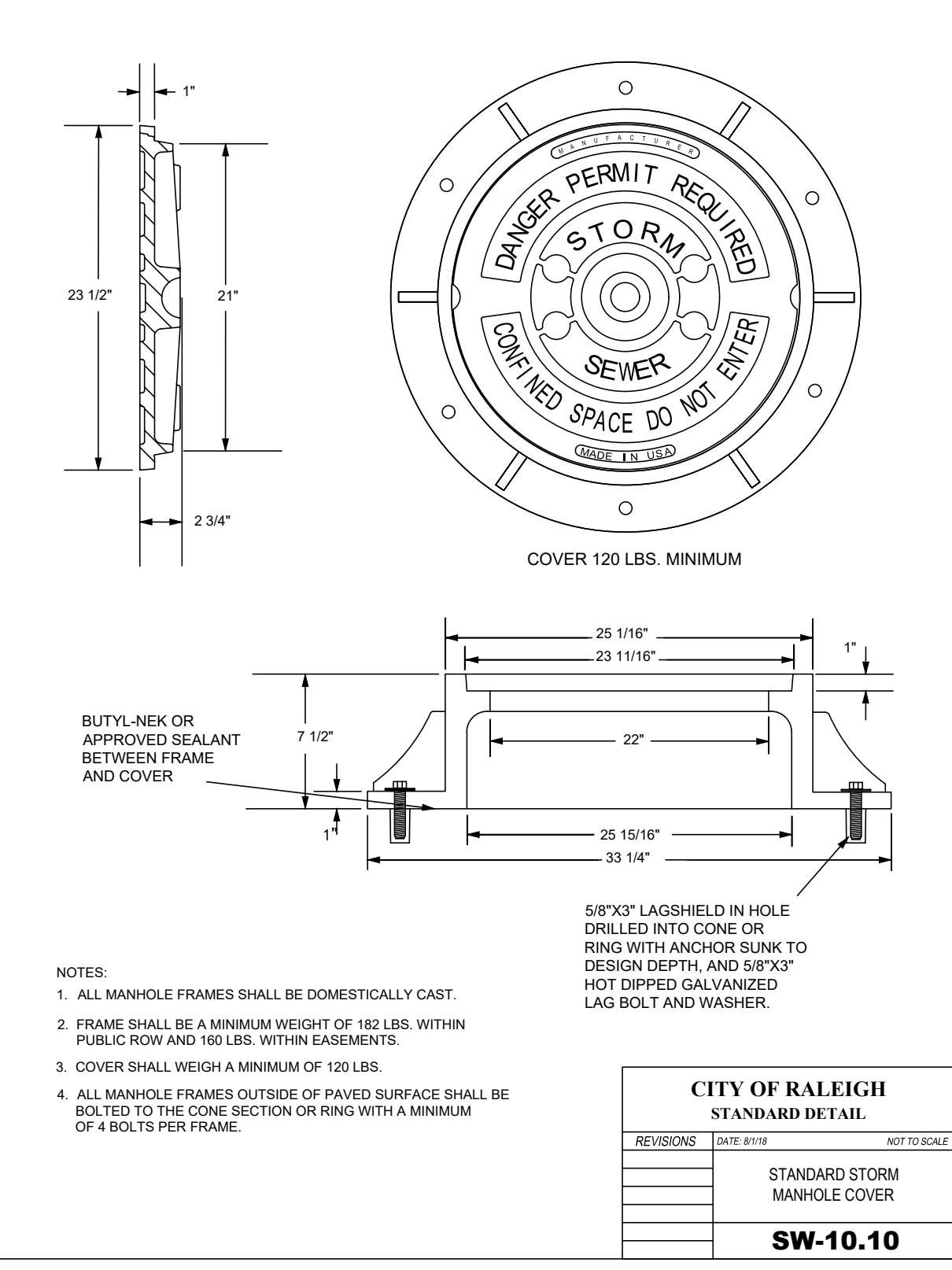
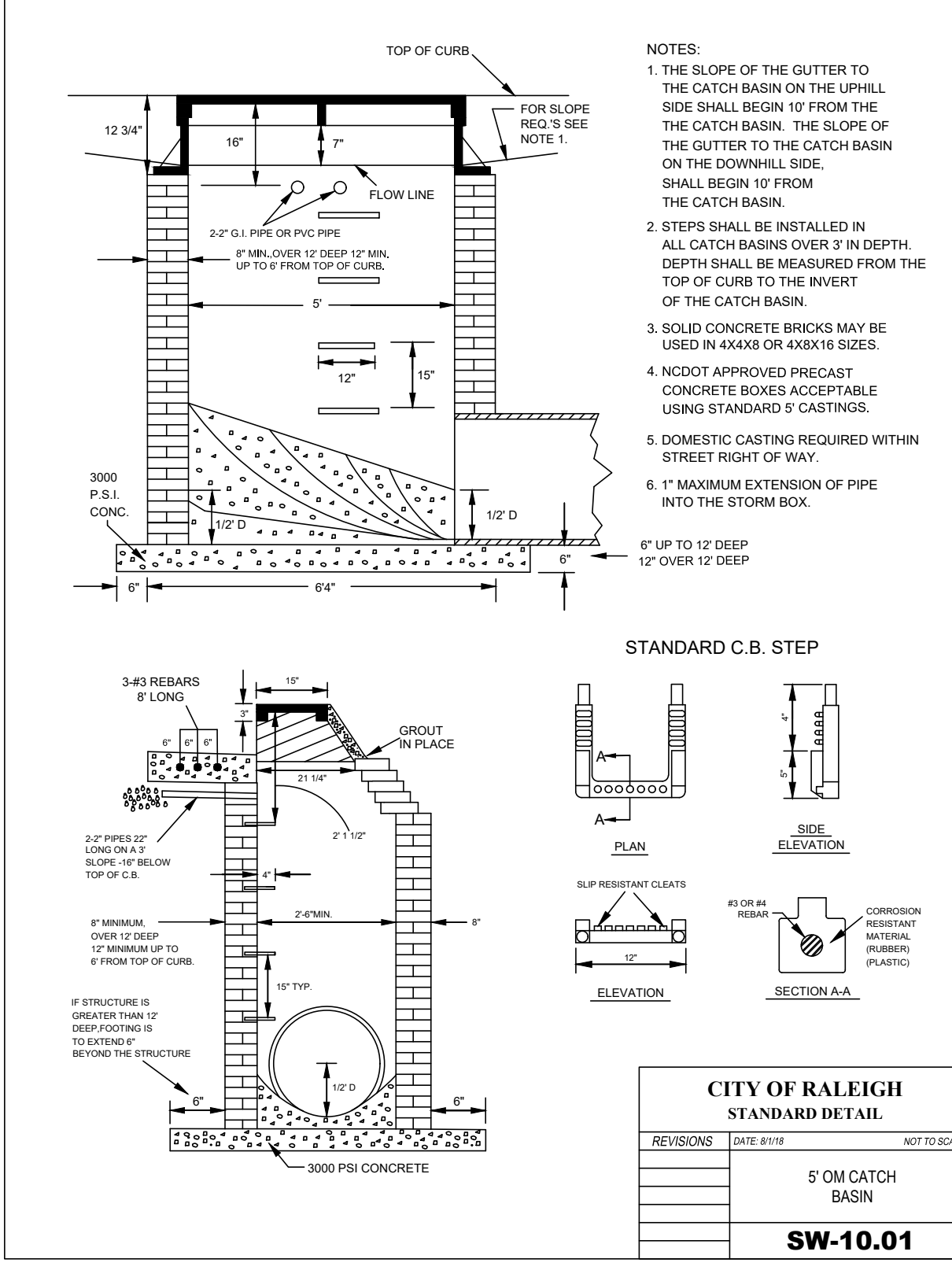
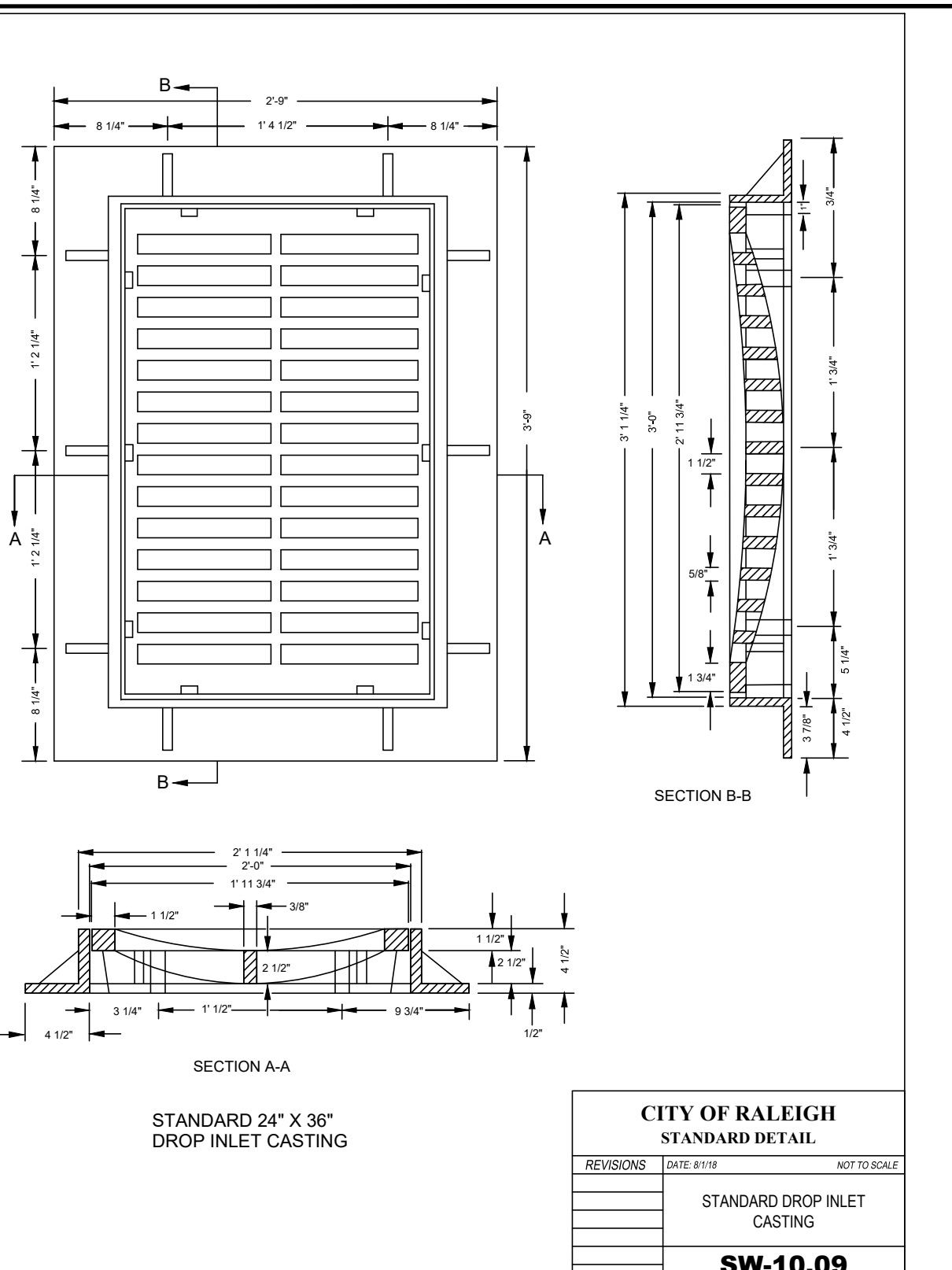
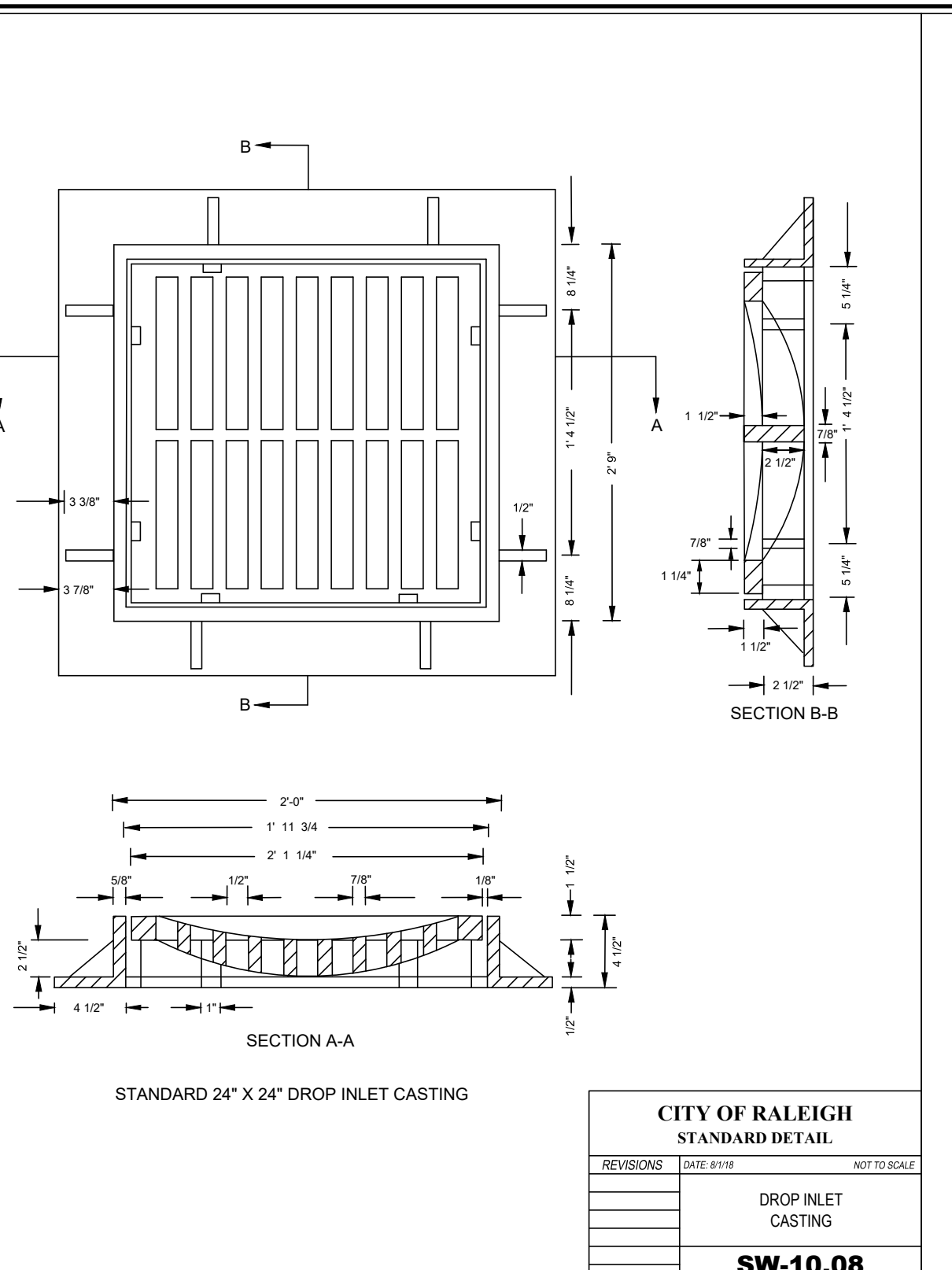
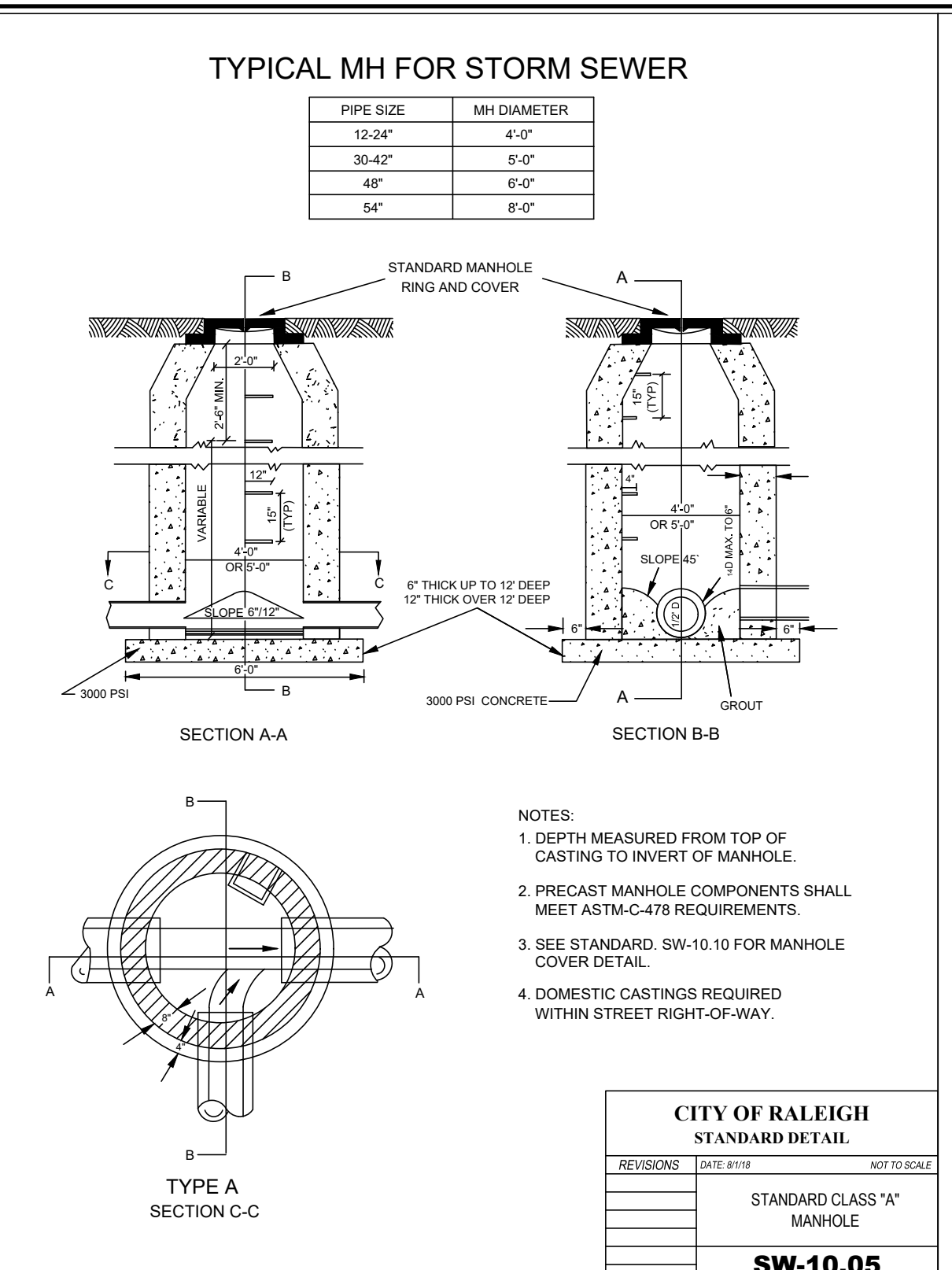
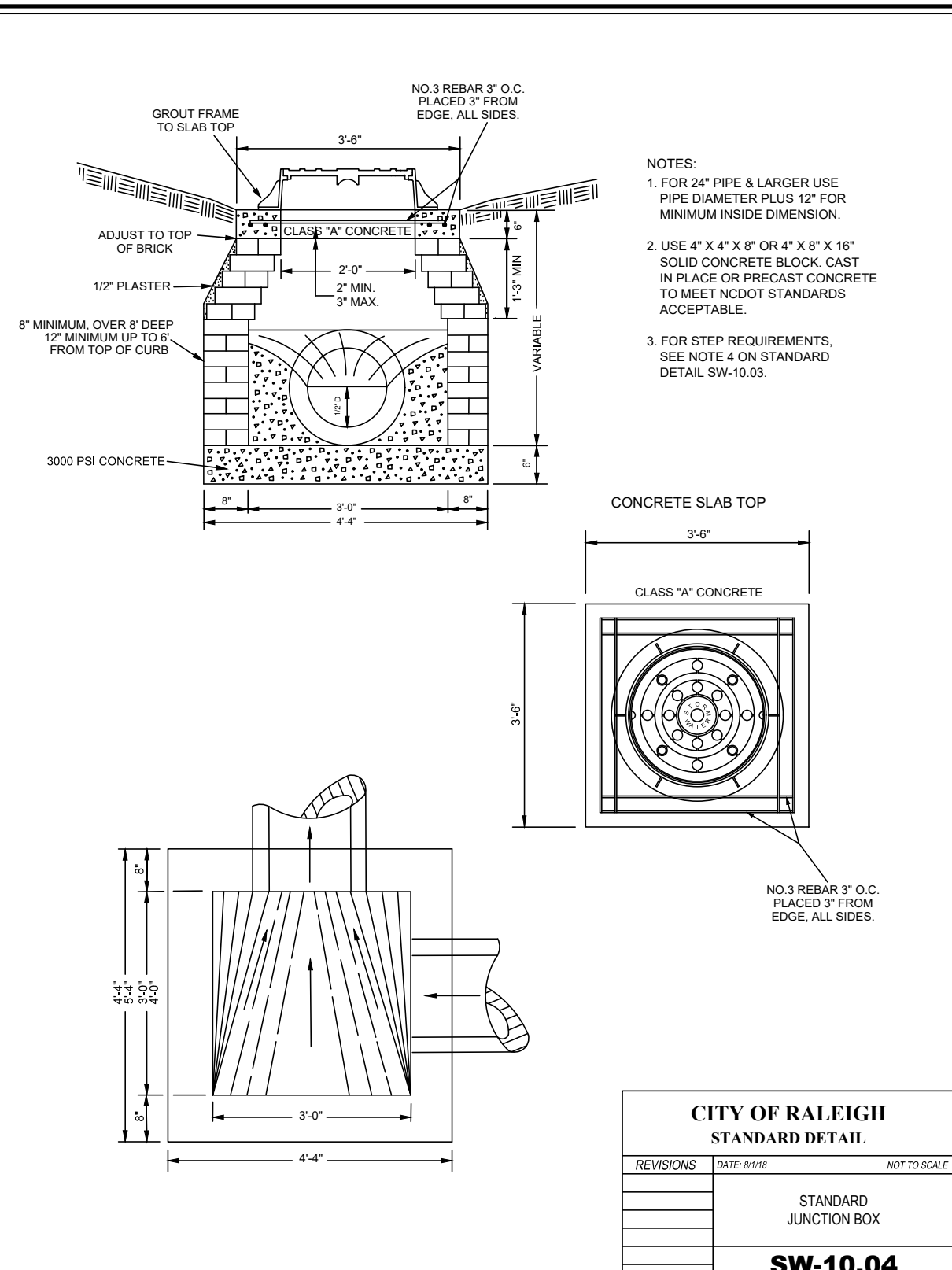
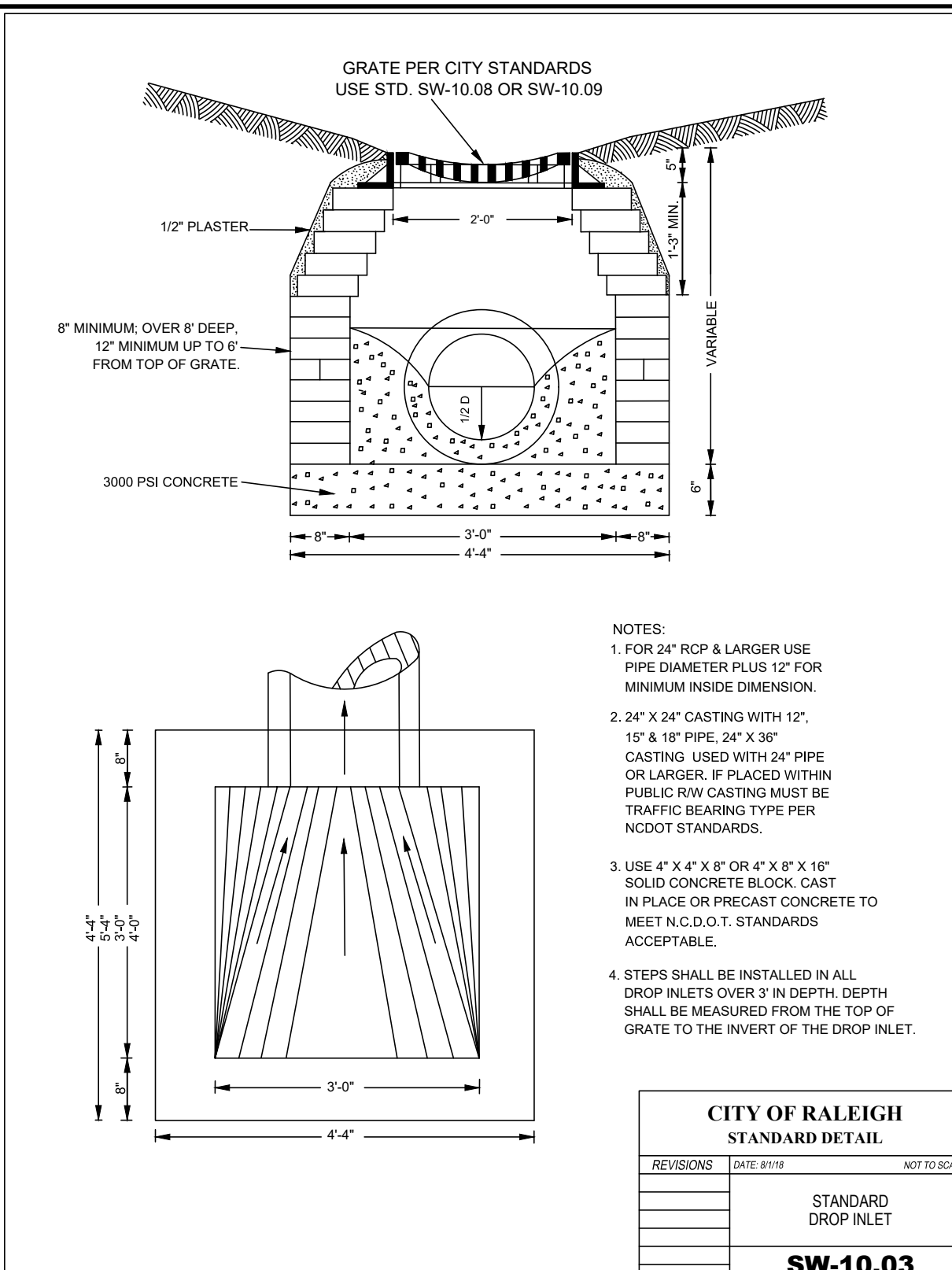
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COMMISSION NO: 24-0019-742
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STANDARD DETAILS

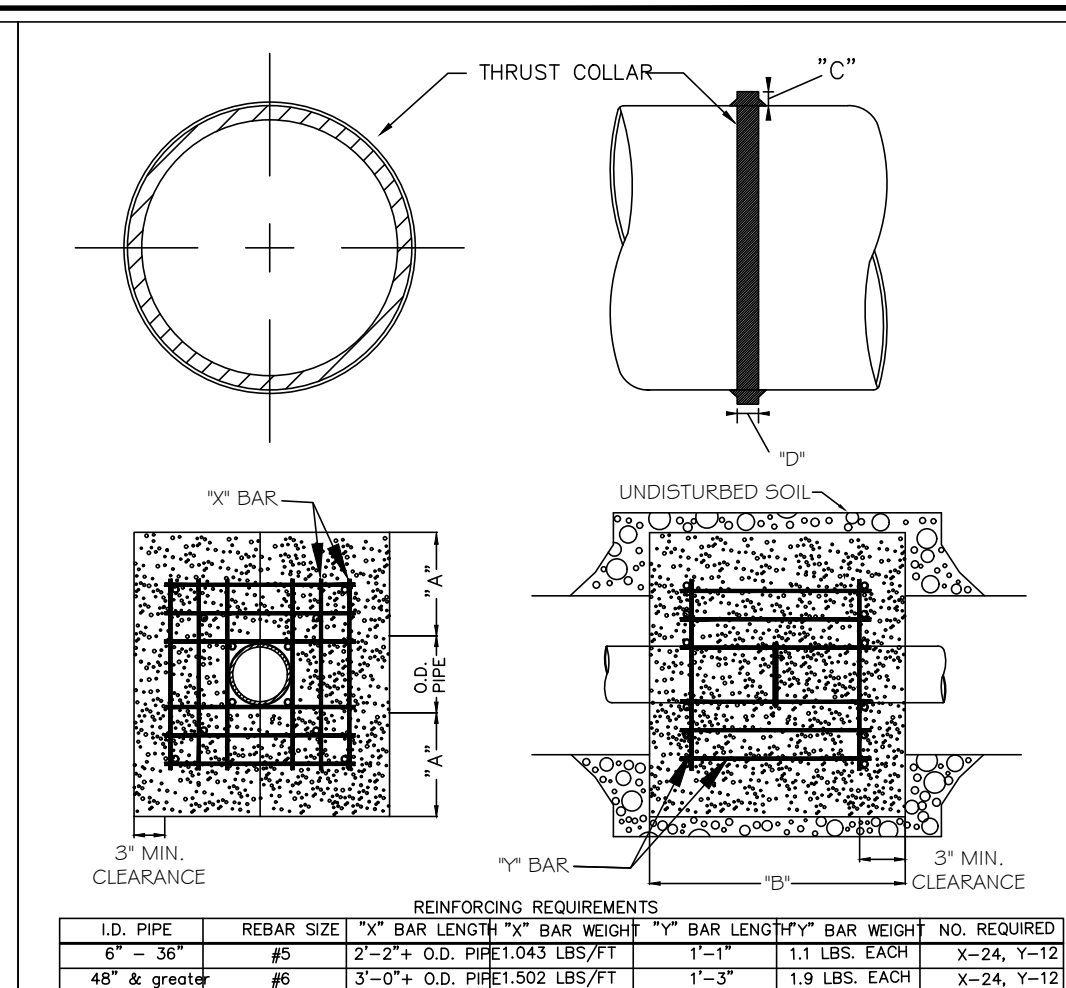
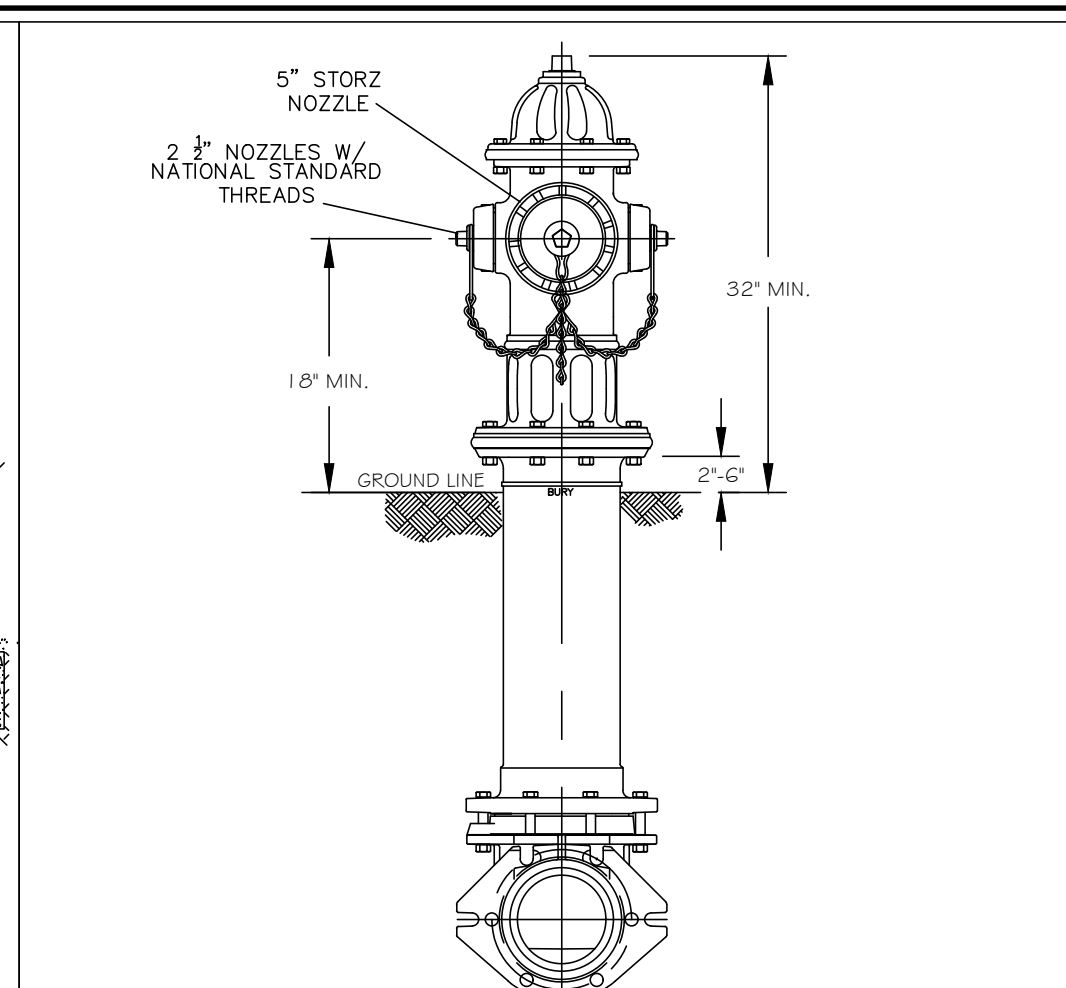
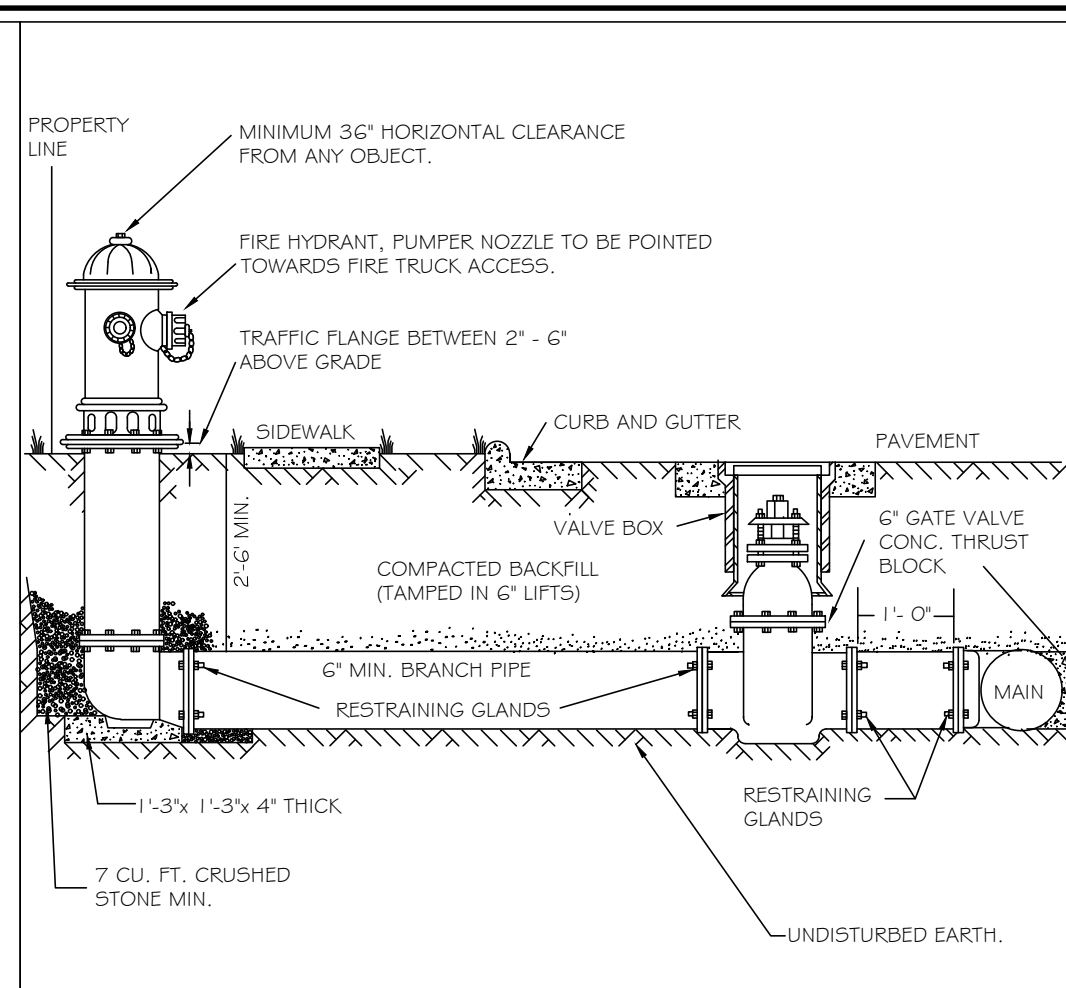
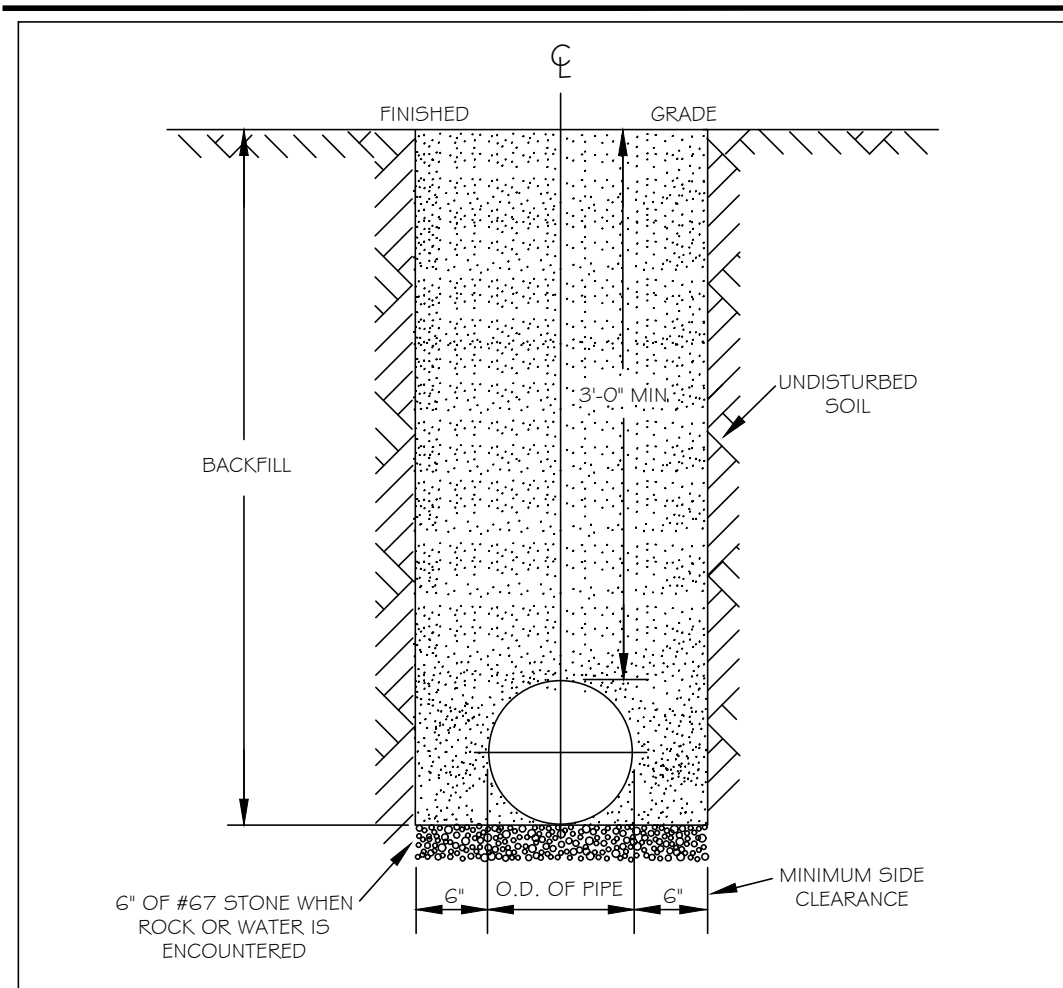
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RALEIGH, NORTH CAROLINA
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C.8.0

WATER



NOTES:
 1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BouldERS 4" OR LARGER TO BE USED IN BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS.
 5. ACHIEVE 95% COMPACTION IN BACKFILL.

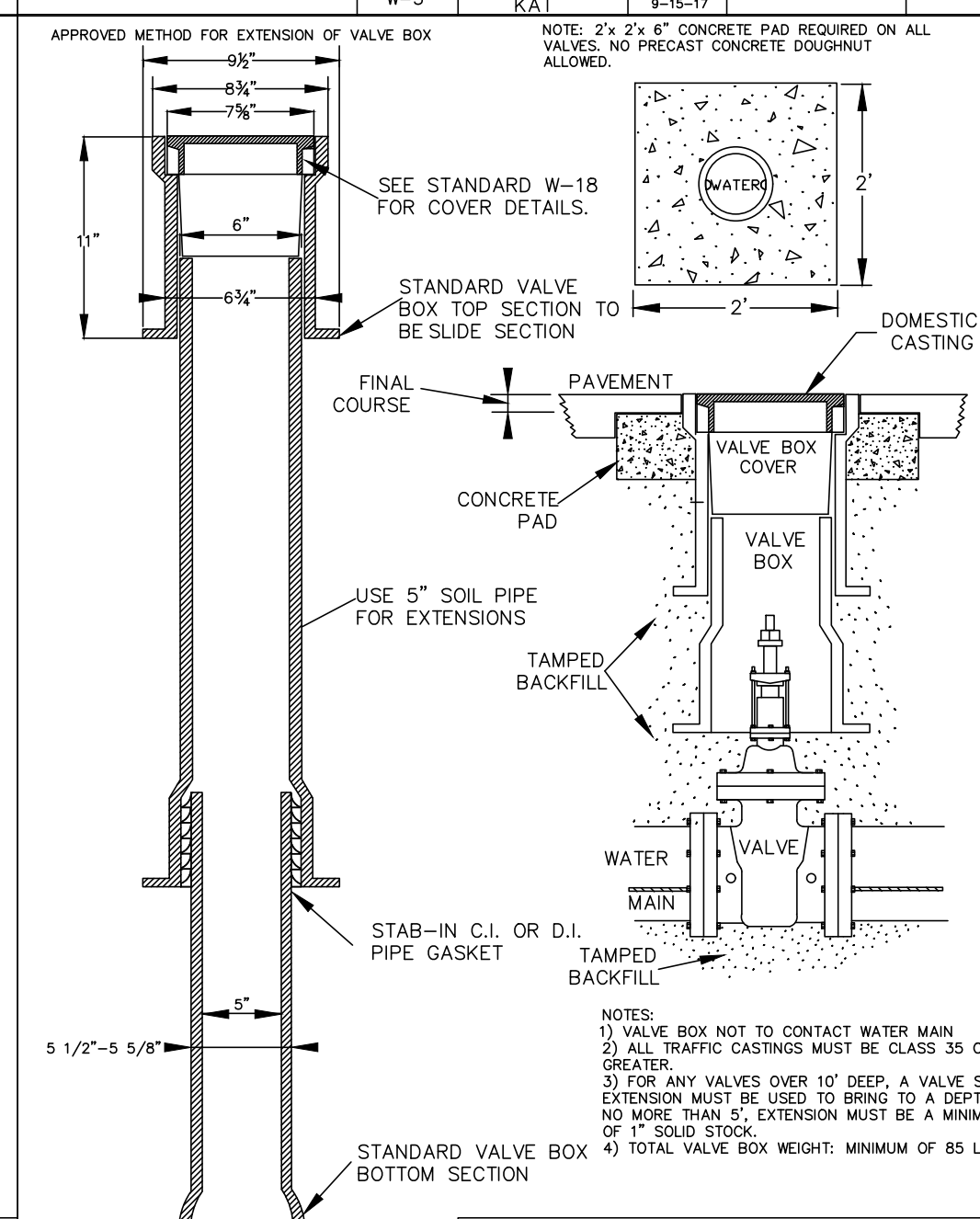
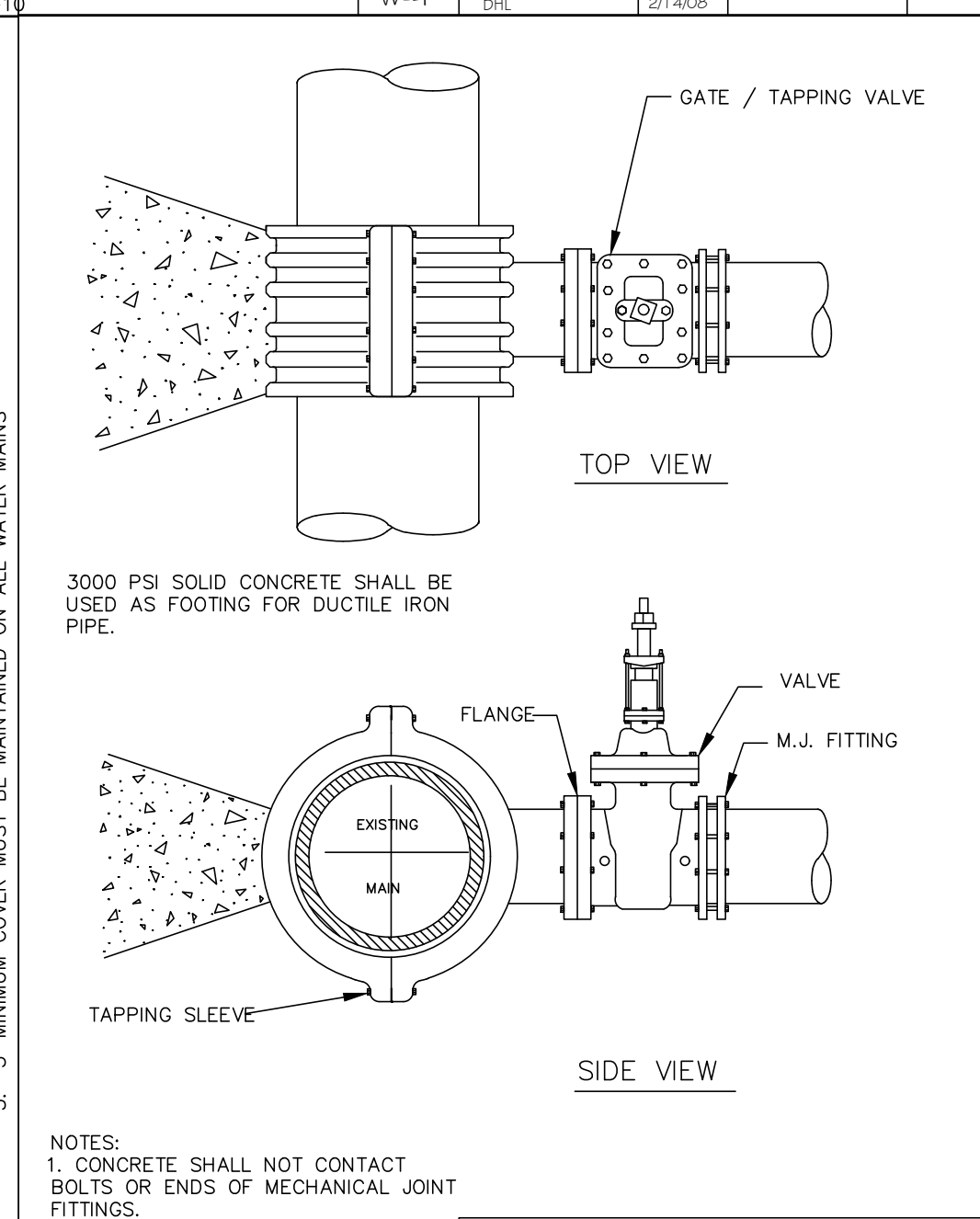
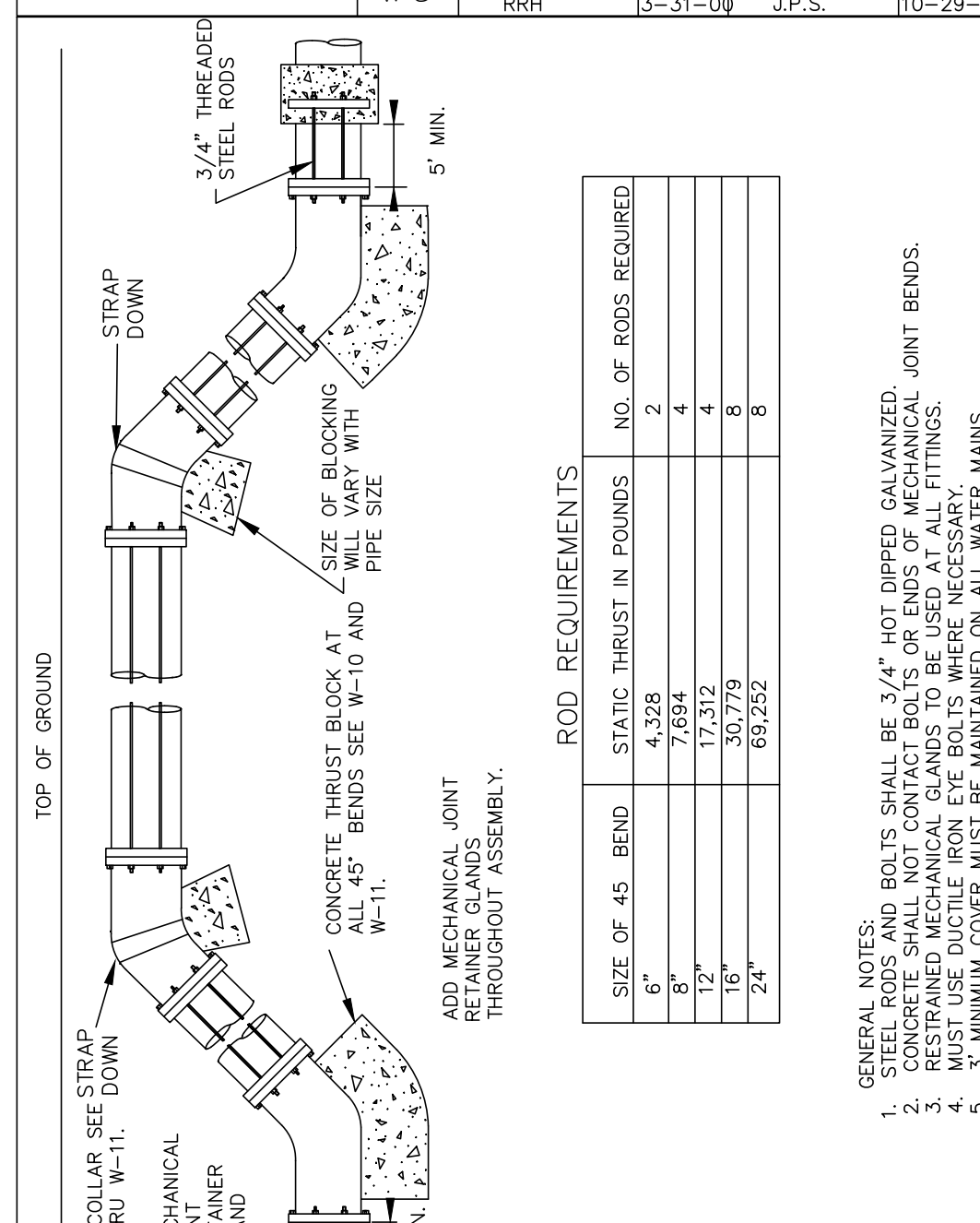
NOTES:
 1. FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARLING, KENNEDY, MPH, WATERLOO, GLOW, EAST GROUND, OR WORKS, OR LIO PIPE.
 2. BRANCH PIPE SHALL BE DUCTILE IRON (AWWA C150) 30" S.
 3. 4" GATE VALVE SHALL BE AWWA C500 (TYPE 1).
 4. STEEL ROADS AND BOLTS SHALL BE #2 HOT DIPPED GALVANIZED.
 5. FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION. ROADS SHALL NOT BE COUPLED MORE THAN ONCE. IF THE LENGTH FROM THE VALVE TO THE HYDRANT EXCEEDS 50' THEN A MECHANICAL RESTRAINING GLAND WITH A REBAR CAGE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE.
 6. FIRE HYDRANTS TO BE LOCATED IN ROW OR 2' FOOT EXTERIOR ADJACENT TO ROW.

NOTES:
 1. ALL PUBLIC FIRE HYDRANTS IN THE CITY OF RALEIGH AND THE MERGER TOWNS OF GARNER, ROLESVILLE, WAKE FOREST, KNIGHTDALE, WENDELL AND ZEBULON SHALL BE PAINTED CHROME YELLOW WITH HIGH REFLECTIVE ALUMINUM SILVER CAPS, BONNETS AND OPERATING NUTS.
 2. ALL PRIVATE FIRE HYDRANTS SHALL BE RED.

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-3	D.W.C.	9-3-99	ABB
	R.H.H.	3-21-00	J.P.S.

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD FIRE HYDRANT INSTALLATION DETAIL			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-4	ABB	4-10-04	F.A.P.
	D.H.L.	3-7-08	

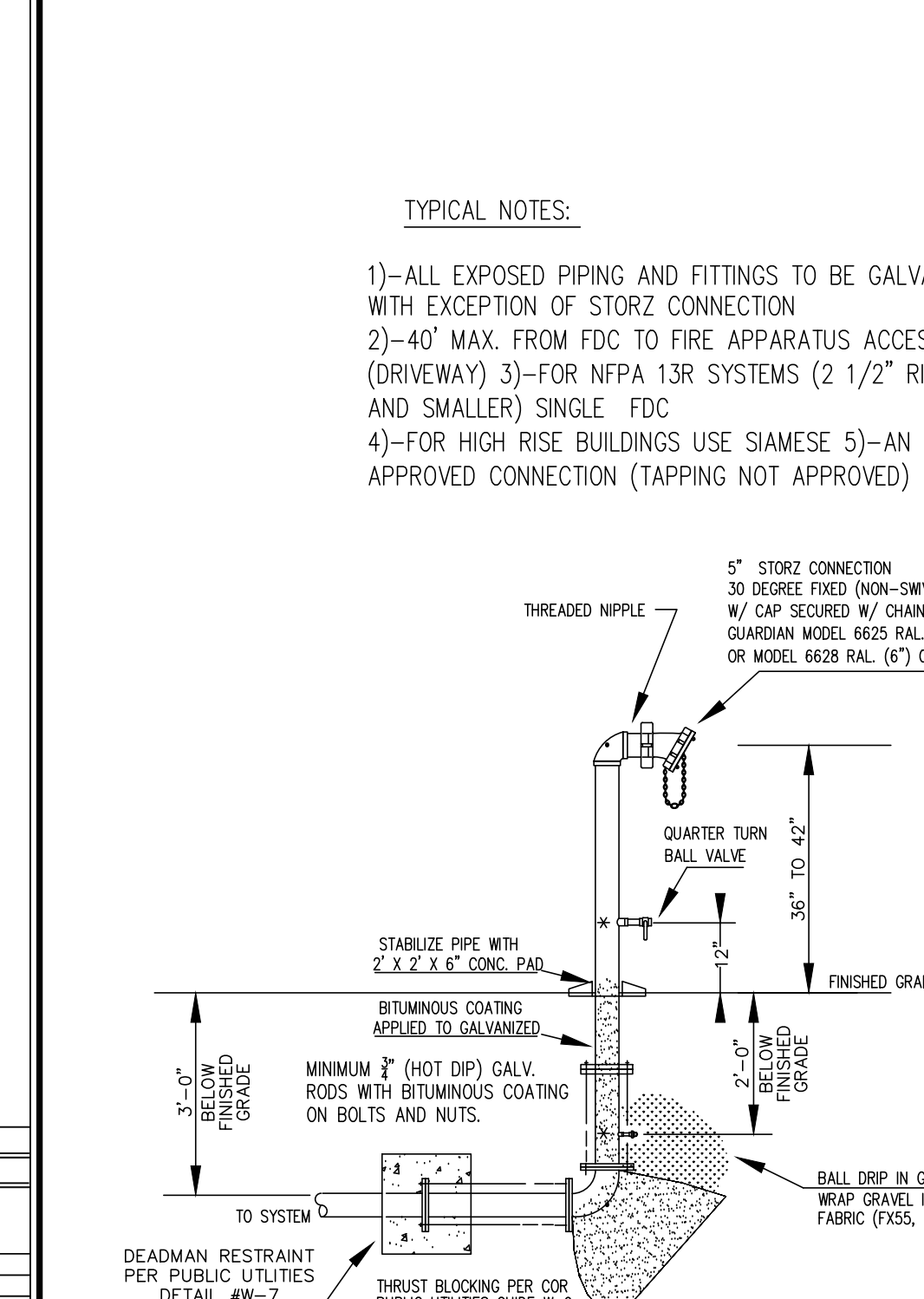
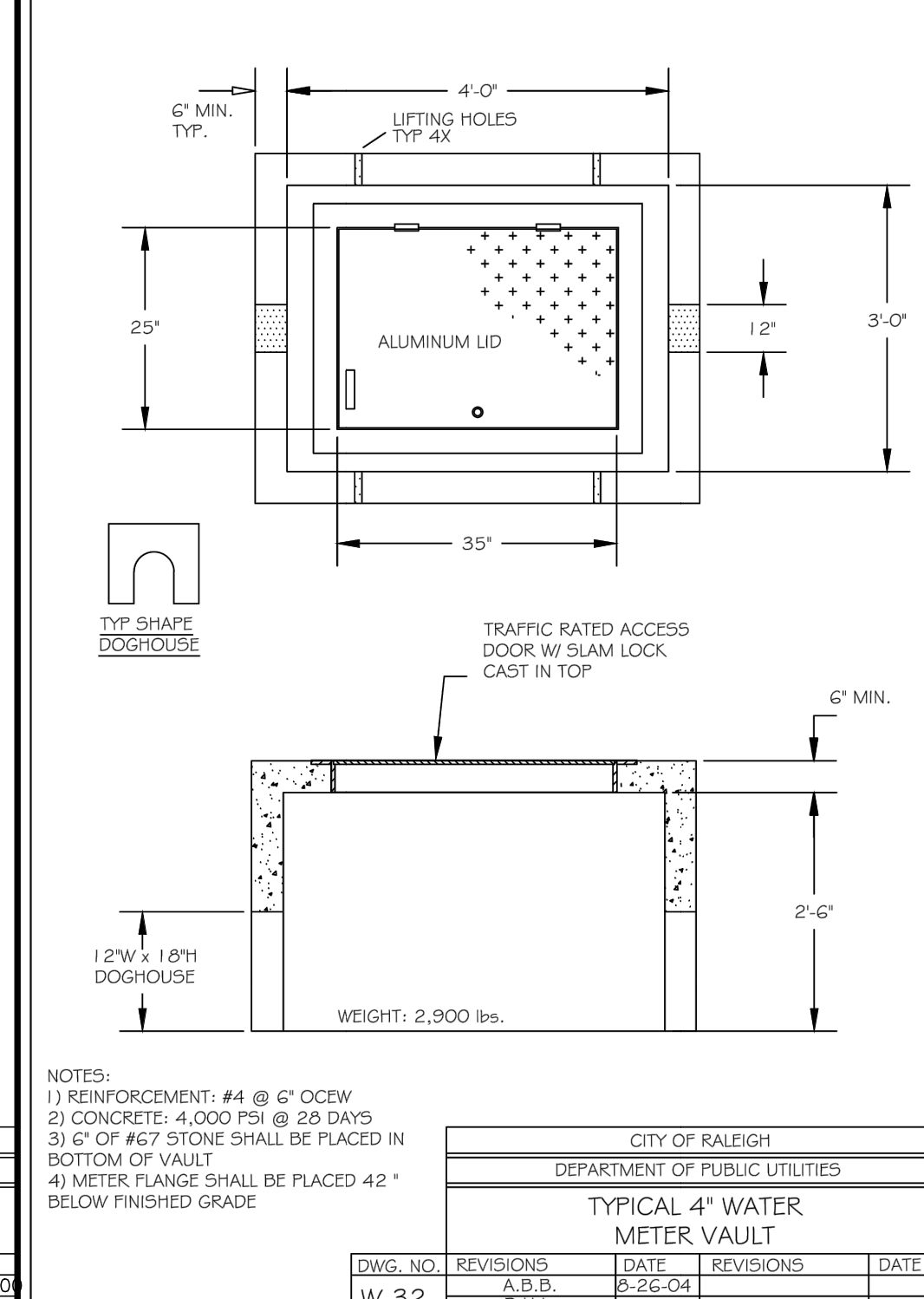
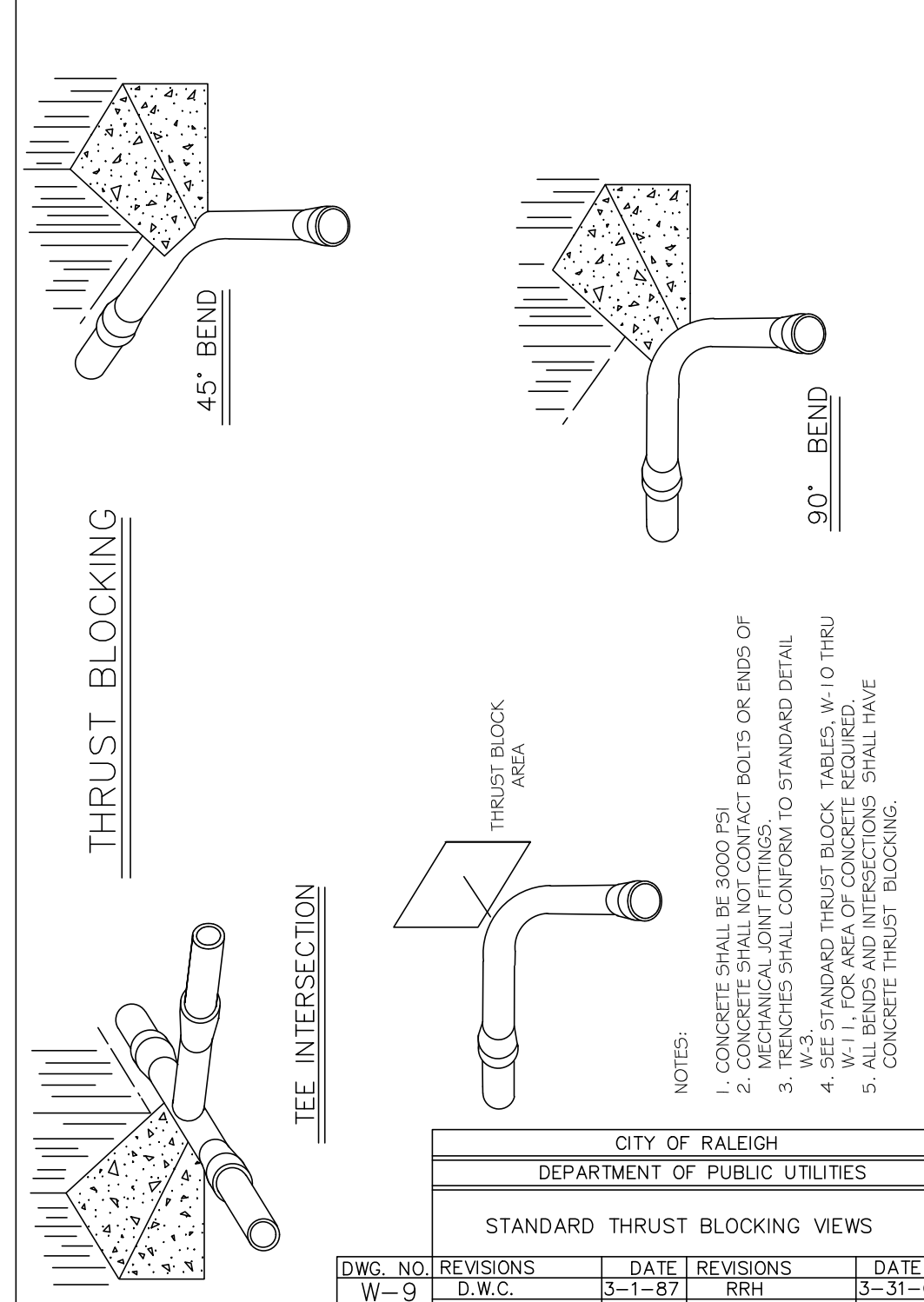
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD FIRE HYDRANT WITH 5" STORZ PUMPER NOZZLE			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-7	BRH	1-21-00	
	D.H.L.	6-18-08	
	J.P.S.	11-1-10	



CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD VERTICAL BEND			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-12	D.H.L.	6-18-08	

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-14	V.C.A.	2-31-09	R.H.H.
	D.H.L.	6-18-08	

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
VALVE BOX INSTALLATION AND EXTENSION DETAIL			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-17	D.W.C.	9-7-00	A.B.S.
	R.H.H.	3-31-09	D.H.L.

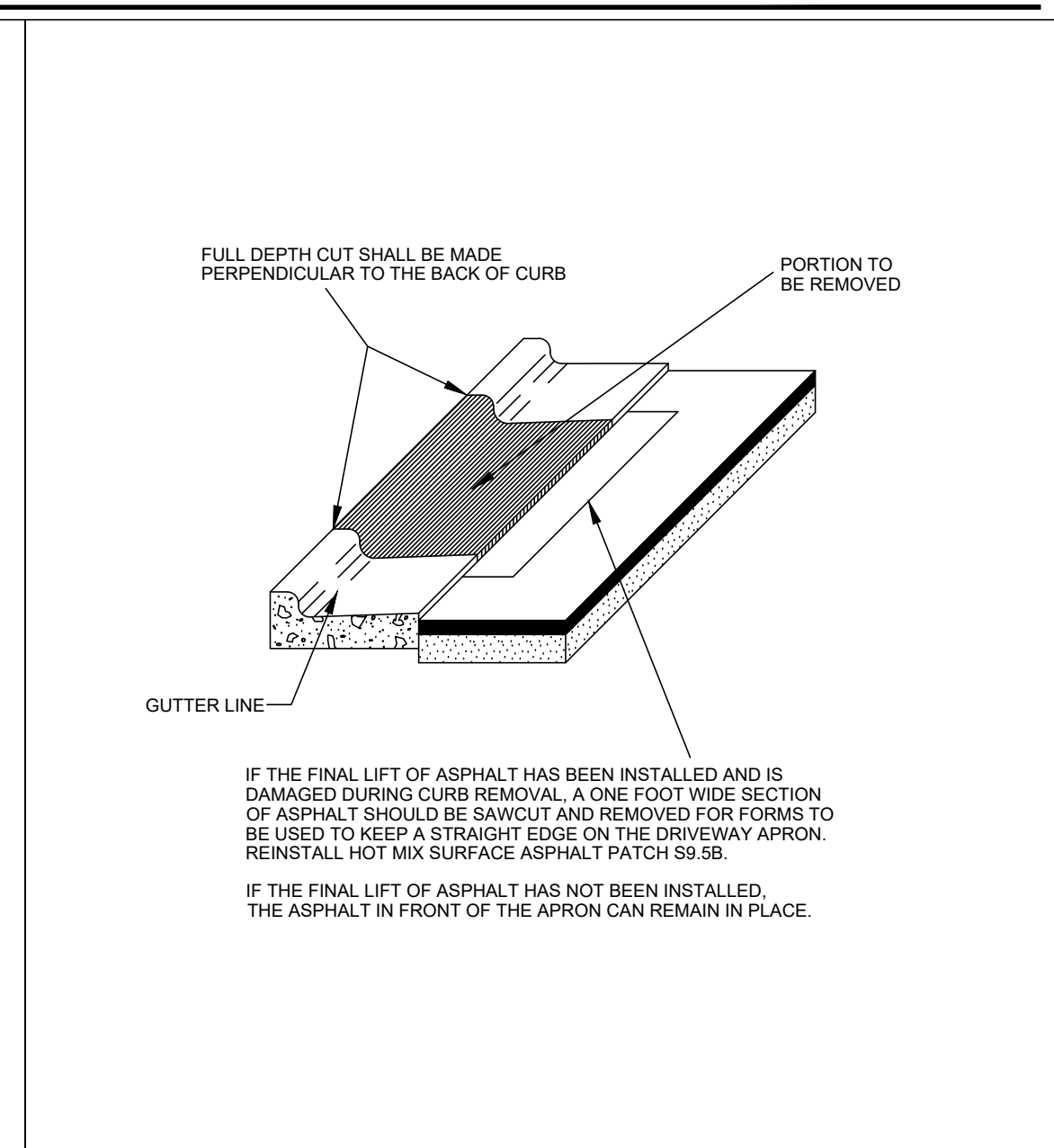
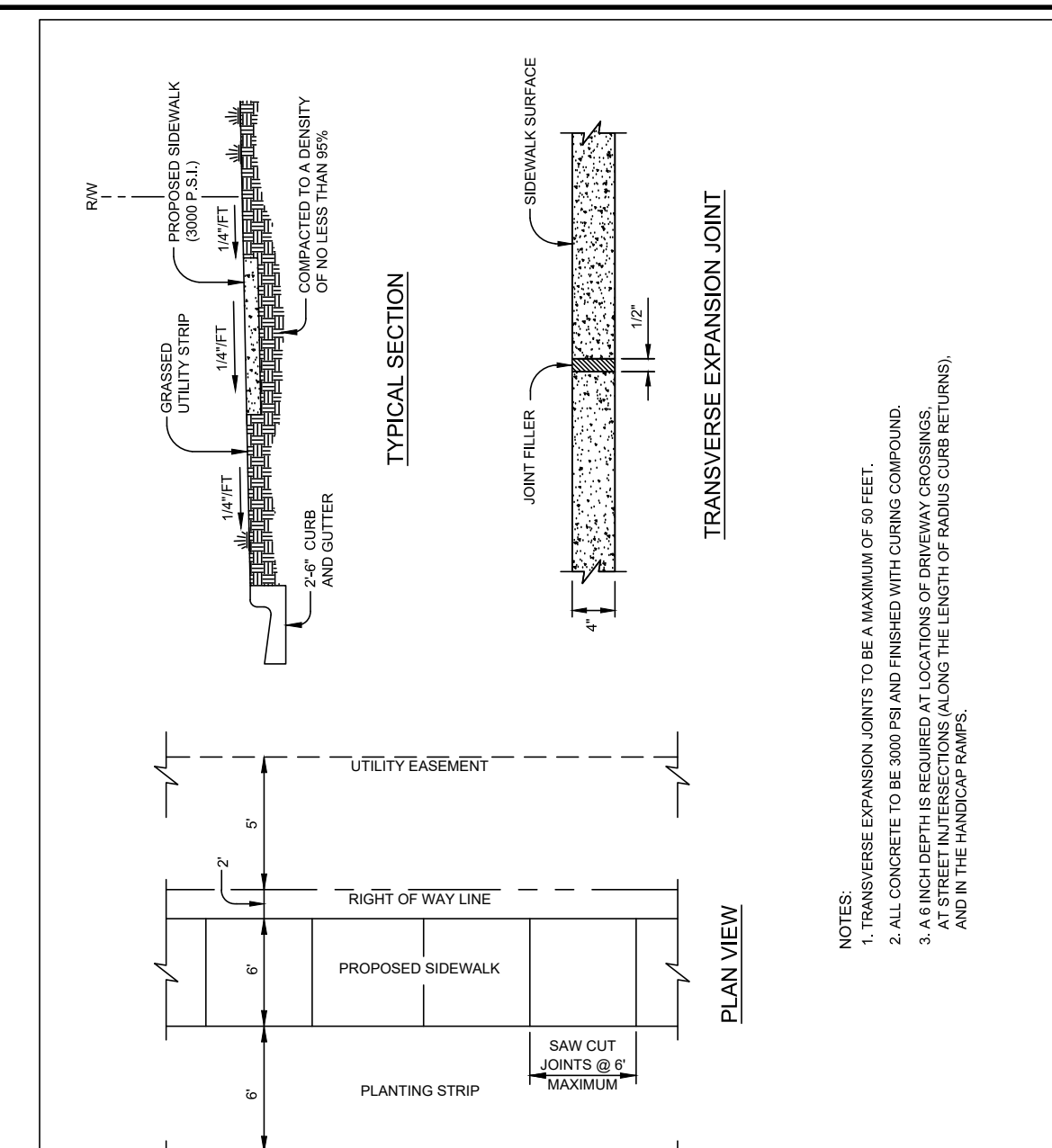


CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD THRUST BLOCKING VIEWS			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-9	D.W.C.	3-1-87	BRH
	D.H.L.	6-18-08	

CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TYPICAL 4" WATER METER VAULT			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-32	A.D.D.	6-26-04	
	D.H.L.	6-18-08	

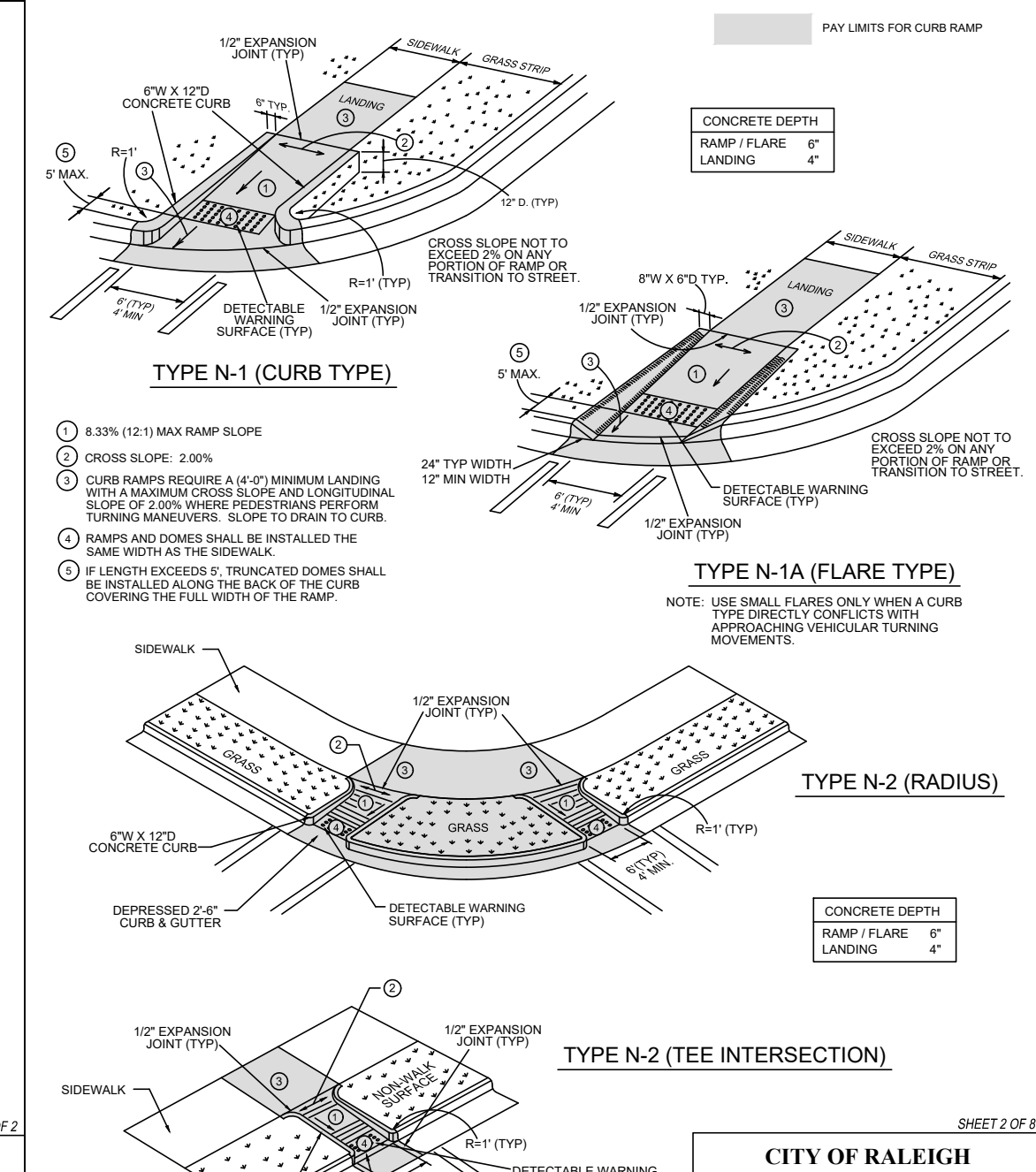
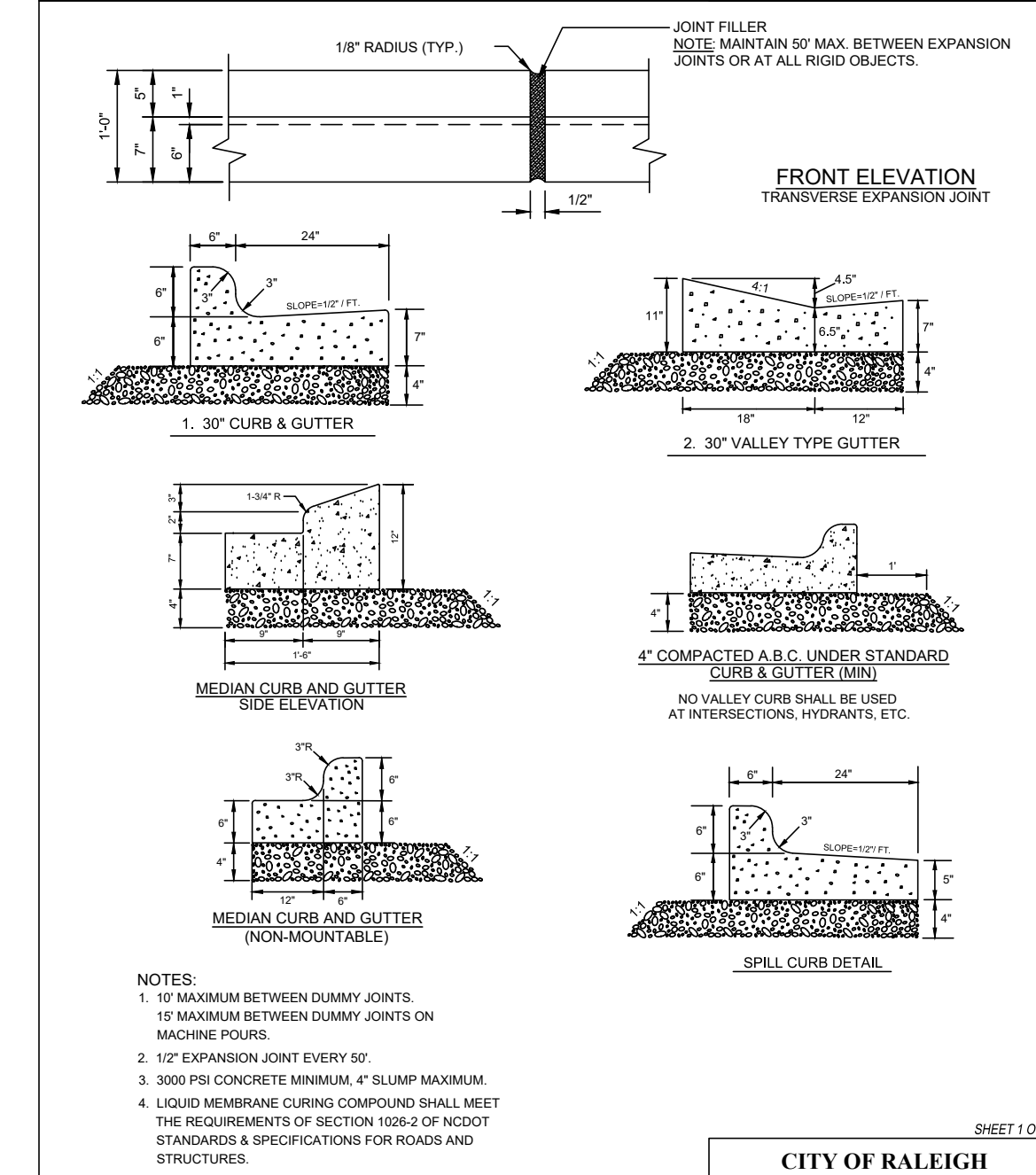
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
5" STORZ CONNECTION			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-17	D.W.C.	9-7-00	A.B.S.
	R.H.H.	3-31-09	D.H.L.

TRANSPORTATION



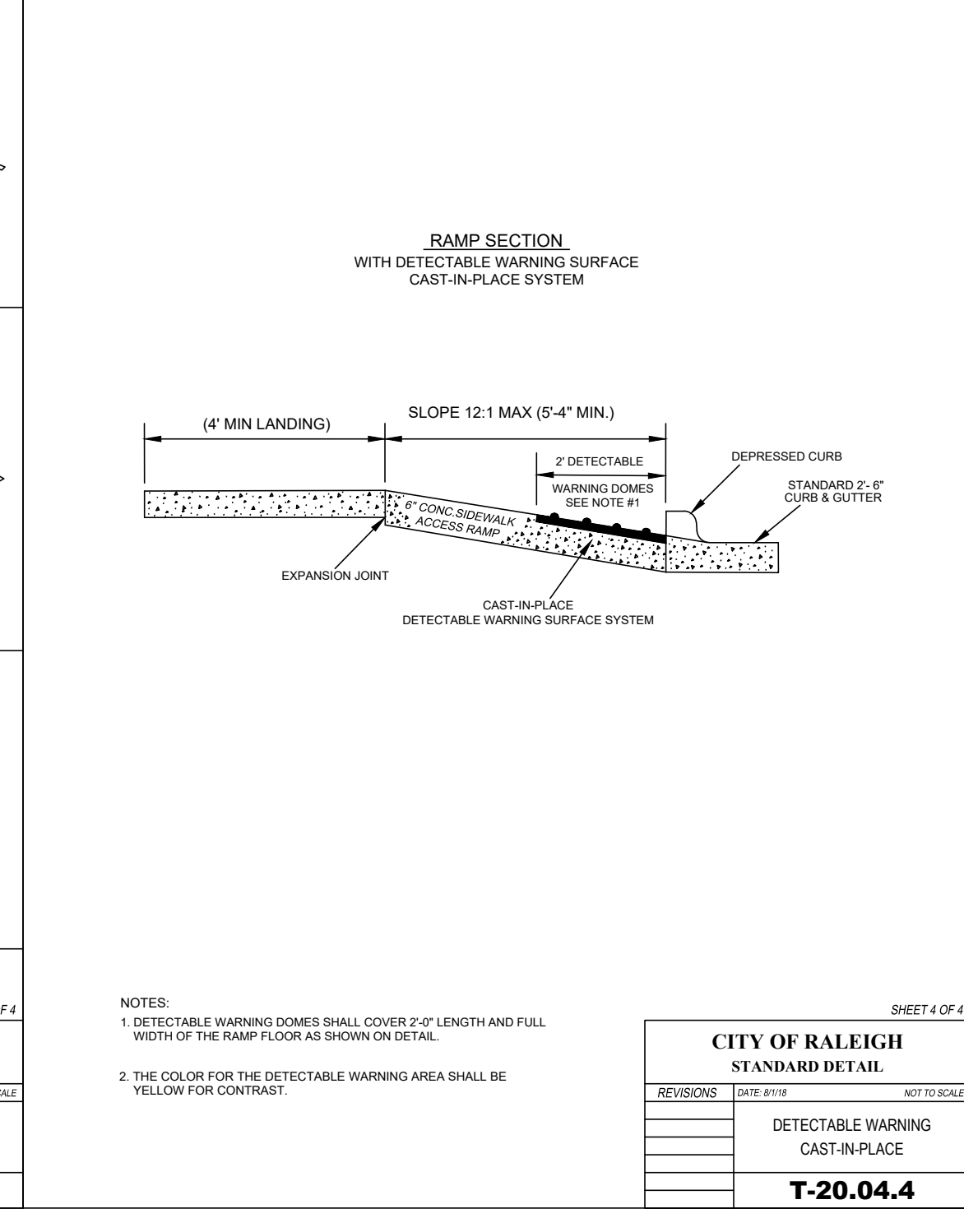
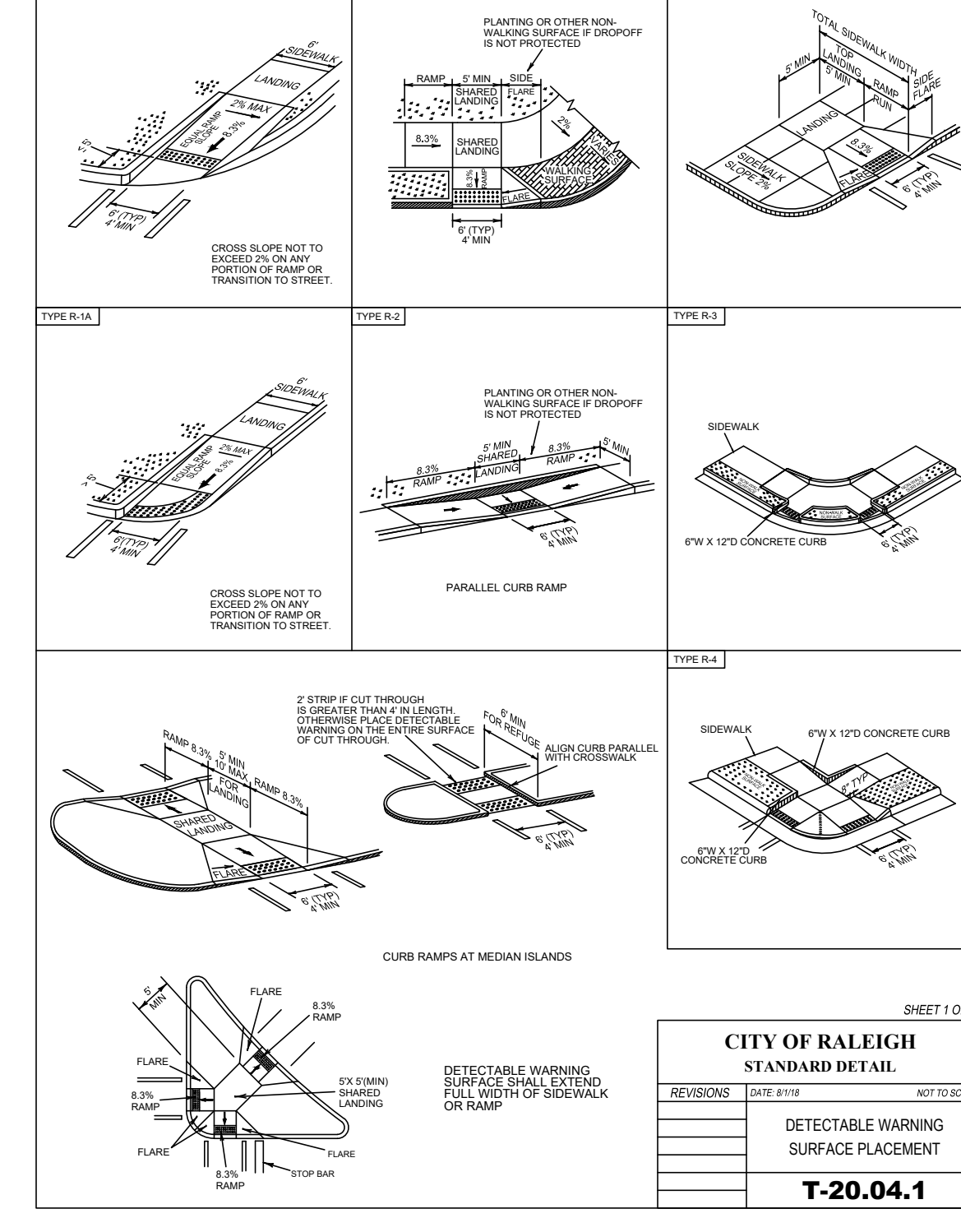
CITY OF RALEIGH			
STANDARD DETAIL			
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CITY OF RALEIGH			
STANDARD DETAIL			
REVISIONS	DATE	BY	CHK'D



CITY OF RALEIGH			
STANDARD DETAIL			
REVISIONS	DATE	BY	CHK'D

CITY OF RALEIGH			
STANDARD DETAIL			
REVISIONS	DATE	BY	CHK'D

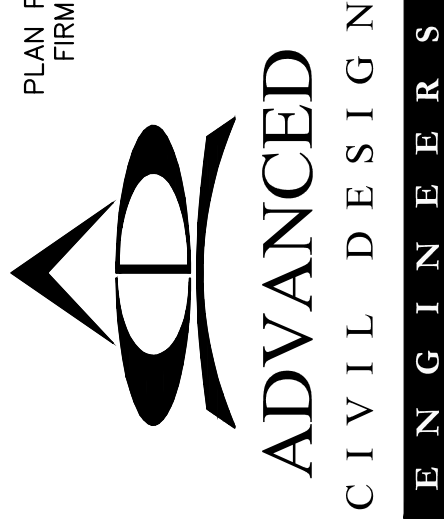


CITY OF RALEIGH			
STANDARD DETAIL			
REVISIONS	DATE	BY	CHK'D

CITY OF RALEIGH			
STANDARD DETAIL			
REVISIONS	DATE	BY	CHK'D



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7/09/24	ASR #2 RESPONSES	
9/12/24	ASR #3 RESPONSES	

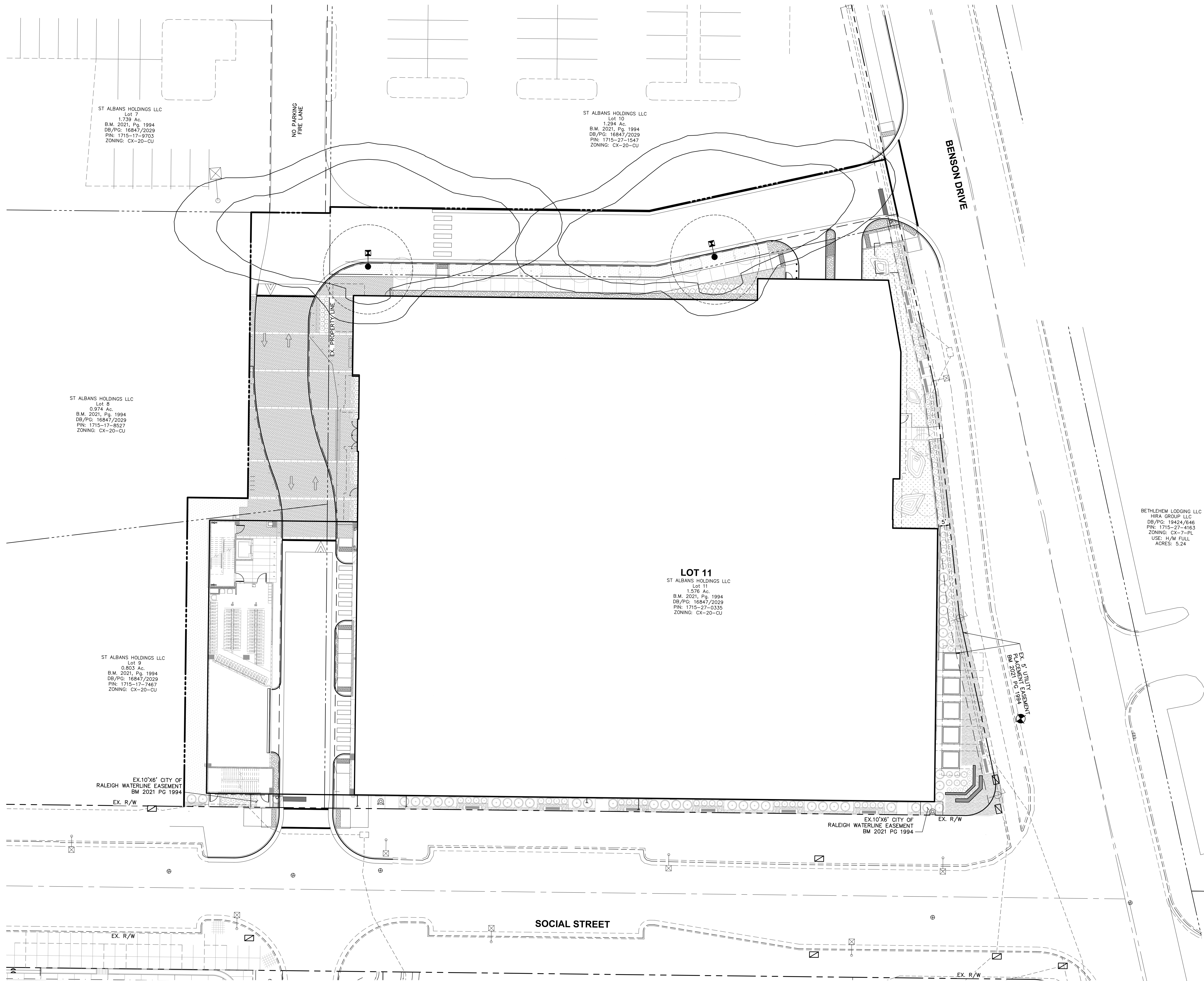
Date: 09/12/2024
 Scale: NO SCALE

Drawn By: JLB
 Checked By: JDW

STANDARD DETAILS
 LIFE TIME LIVING RESIDENTIAL
 RALEIGH, NORTH CAROLINA
 ADMINISTRATIVE SITE REVIEW

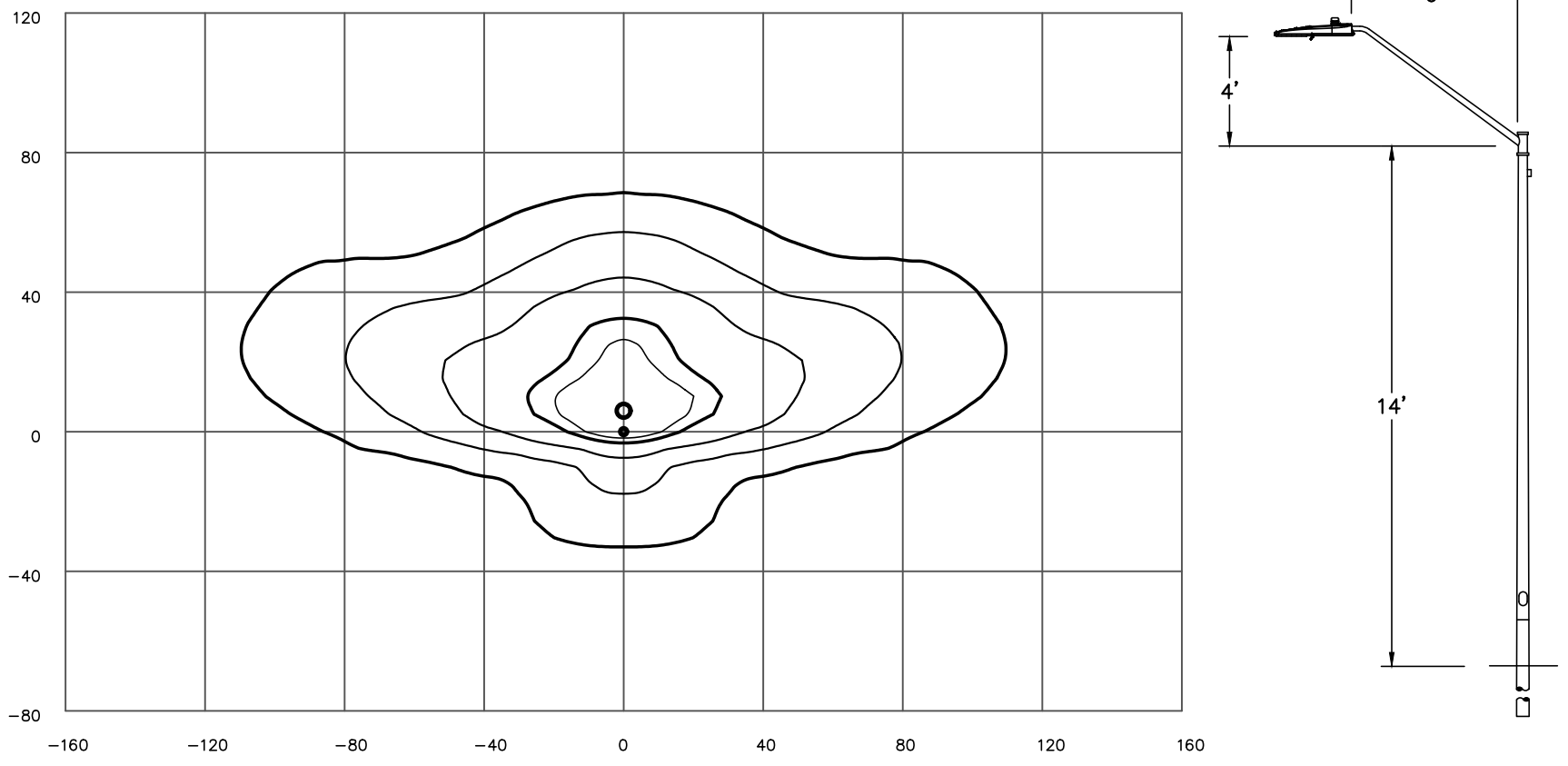
COMMISSION NO: 24-0019-742
 DRAWING NO:
C.8.1

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ISOFOOTCANDLE CURVES

FIGURE: LED 75 - AEL
 MOUNTING HEIGHT: 18 FT
 LIGHT SOURCE: 20 LED'S, 4000K, 70 CRI
 LUMENS - 8506
 PATTERN: TYPE II, B2-U0-02(zero light at or above 90 degrees)
 NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



LEGEND (OUTER TO INNER): 0.10 , 0.25 , 0.50 , 1.00 , 1.25

THE PROPOSED WALL LIGHTING FIXTURES ARE AS MANUFACTURED BY LITHONIA LIGHTING. SERIES CS3W LED T3M DISTRIBUTION AND 277V WITH PHOTO ELECTRIC CONTROL. MOUNTED 16" ABOVE GRADE AS SHOWN ON THE PLAN. STANDARD WHITE FINISH. FIXTURES ARE TO BE FULL-CUTOFF.

ISOLUX CONTOUR: 1.1, 0.6, 0.2

PROPOSED LIGHT FIXTURE

HORIZONTAL FOOT CANDLES

LITHONIA LIGHTING, INC.

TRUCK COURT LIGHTING DATA

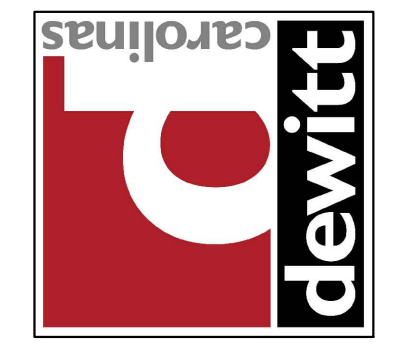
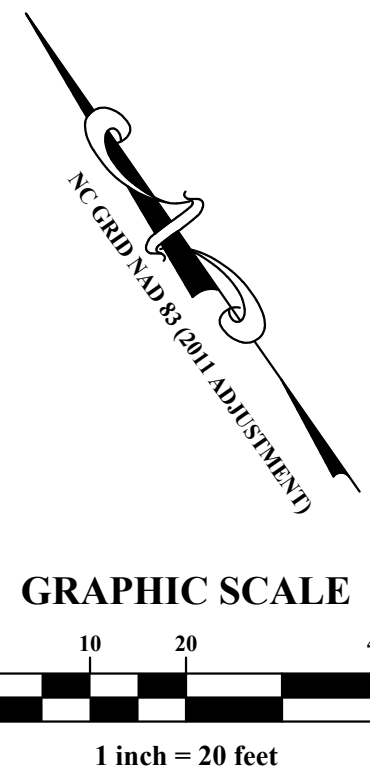
LEGEND

- EX. BOUNDARY LINE
- EX. RIGHT-OF-WAY LINE
- PR. RIGHT-OF-WAY LINE
- PR. BOUNDARY LINE
- SETBACK LINE
- STANDARD SECTION
- CONCRETE PAVEMENT SECTION
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- FLOODPLAIN FILL
- 20' OFFSET CIRCLE

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	✕	1.1 fc	2.3 fc	0.3 fc	7.7:1	3.7:1

Schedule	Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
	●	A	2	LED 150w Roadway - Type IV - 4000K - House Side Shield	1	13017	0.85



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 Suite 102
 Cary, North Carolina 27511
 ph 919.481.8290
 fax 919.336.5127

ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS

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Rev #	Date	Issue/Revision
3/19/24	ASR #1	
5/31/24	ASR #1 RESPONSES	
7/09/24	ASR #2 RESPONSES	
9/12/24	ASR #3 RESPONSES	

Date: 09/12/2024
 Scale: 1" = 20'

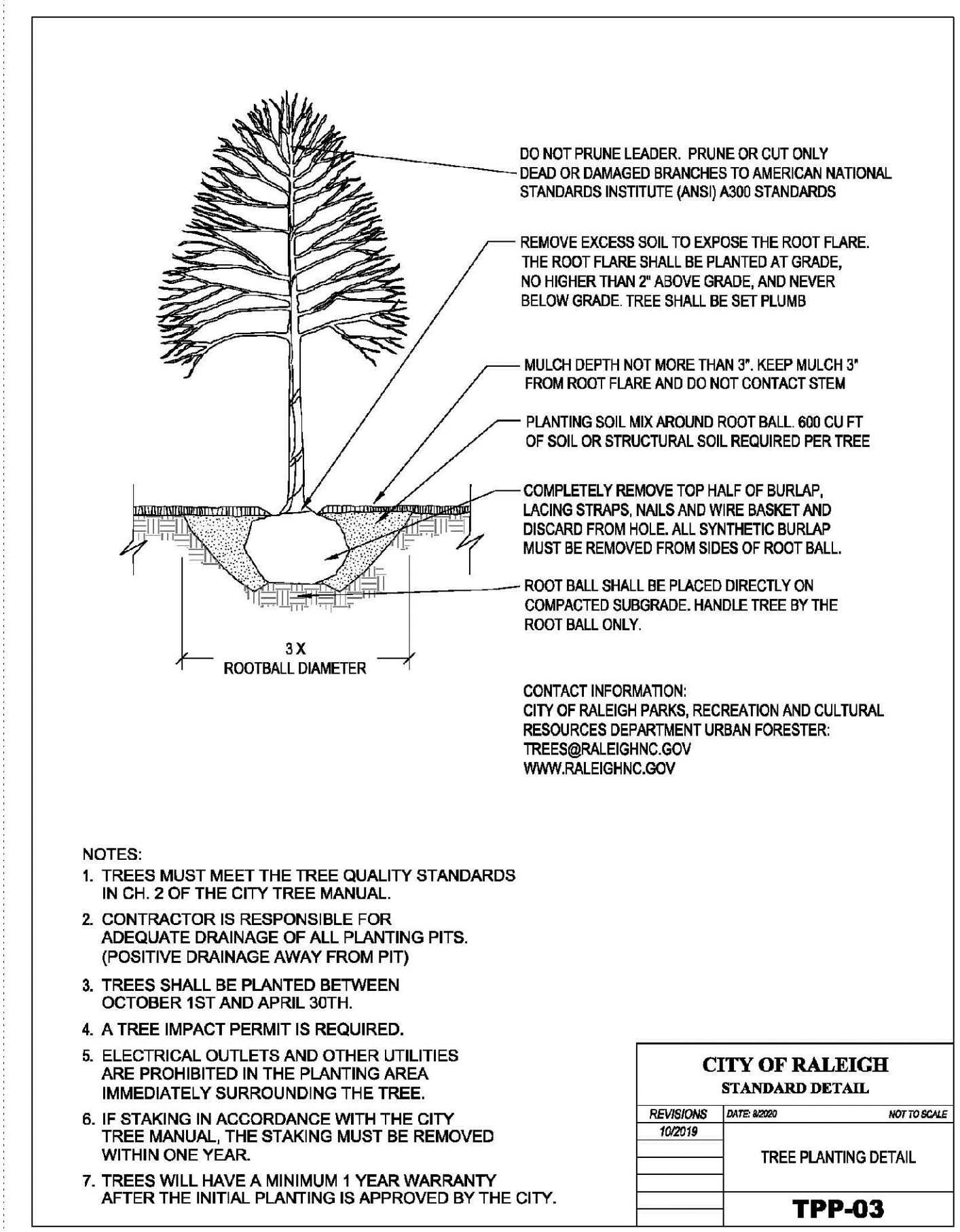
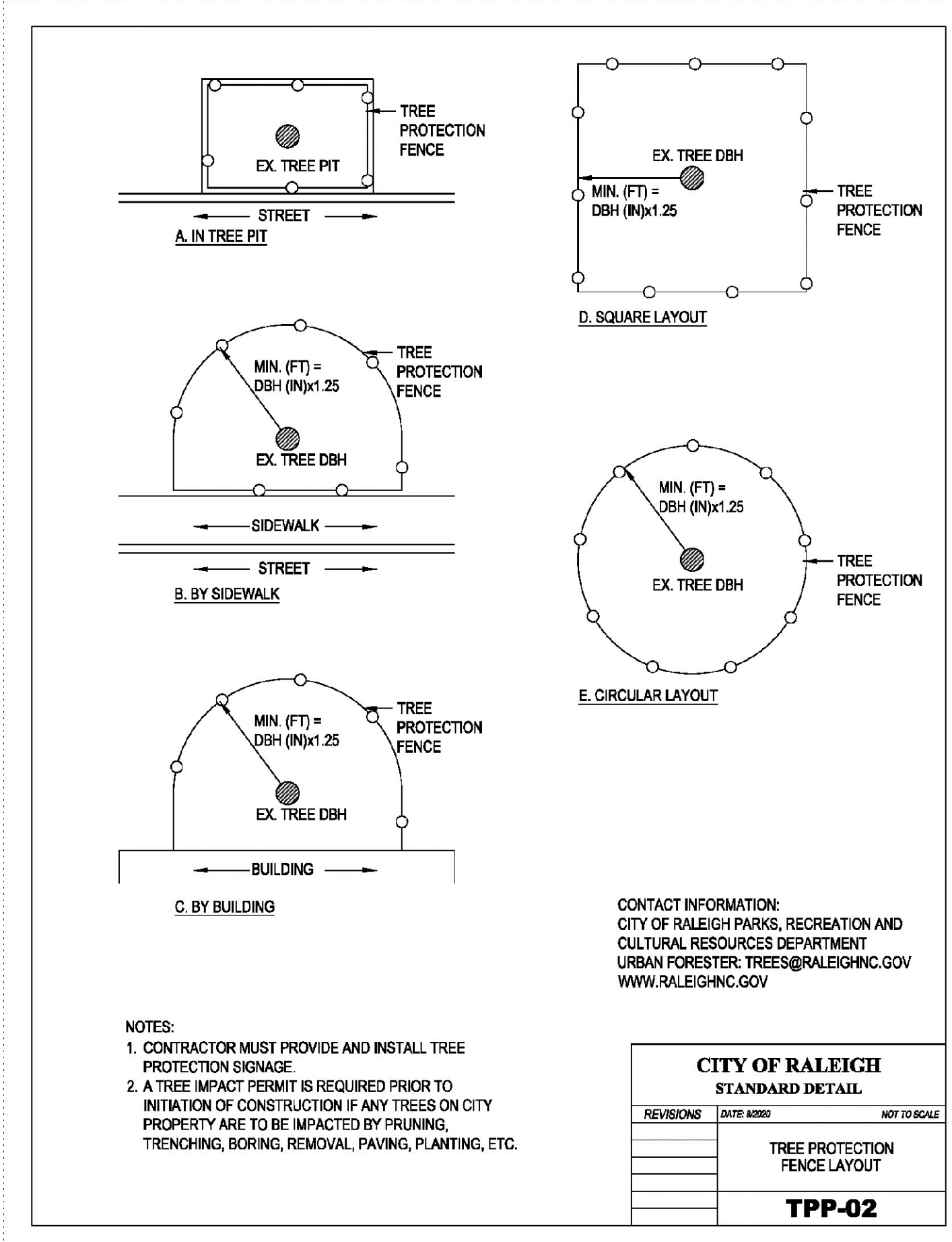
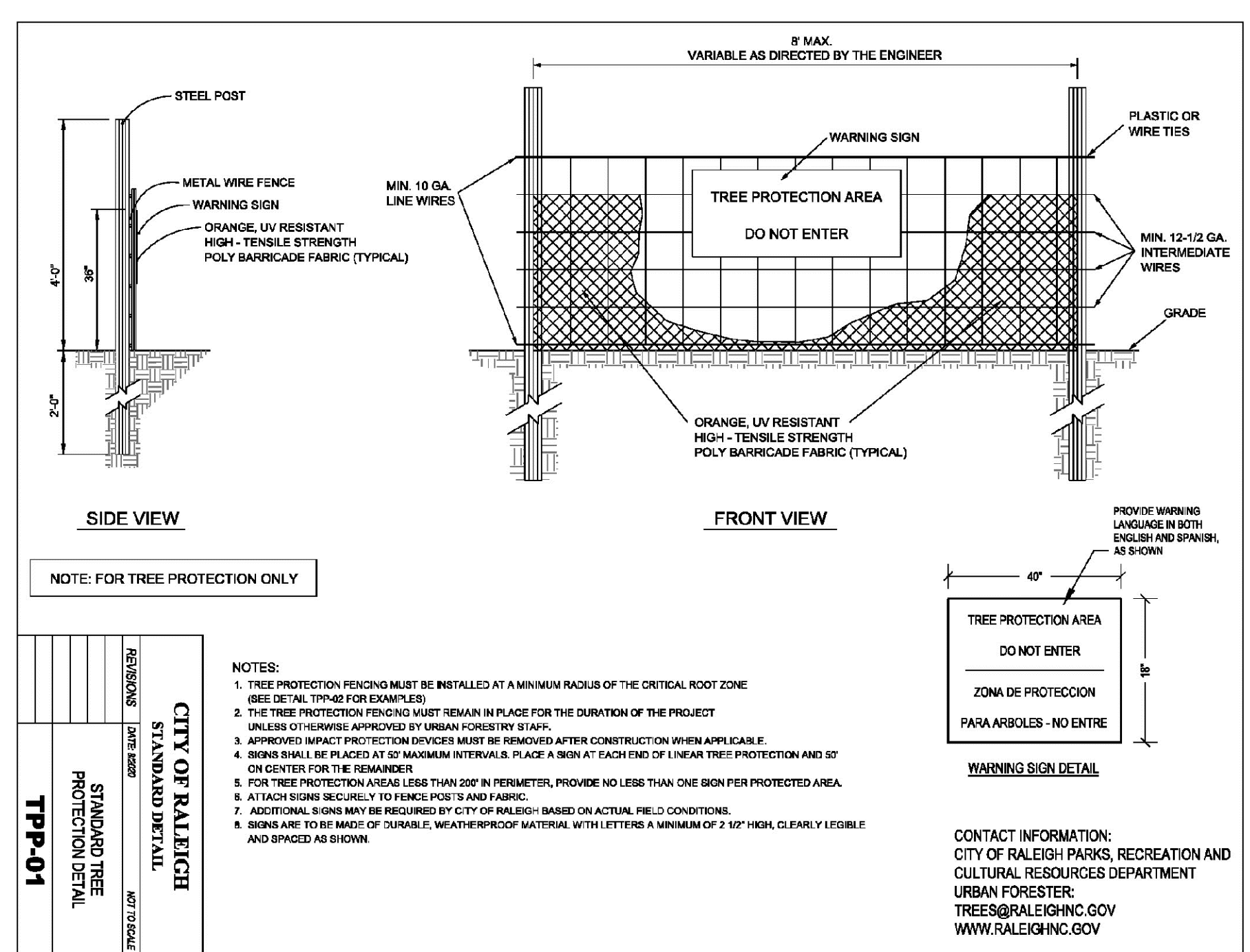
Drawn By: JLB
 Checked By: JDW

LIFE TIME LIVING RESIDENTIAL
 RALEIGH, NORTH CAROLINA
 ADMINISTRATIVE SITE REVIEW

COMMISSION NO. 24-0019-742
 DRAWING NO.:

SL1.0

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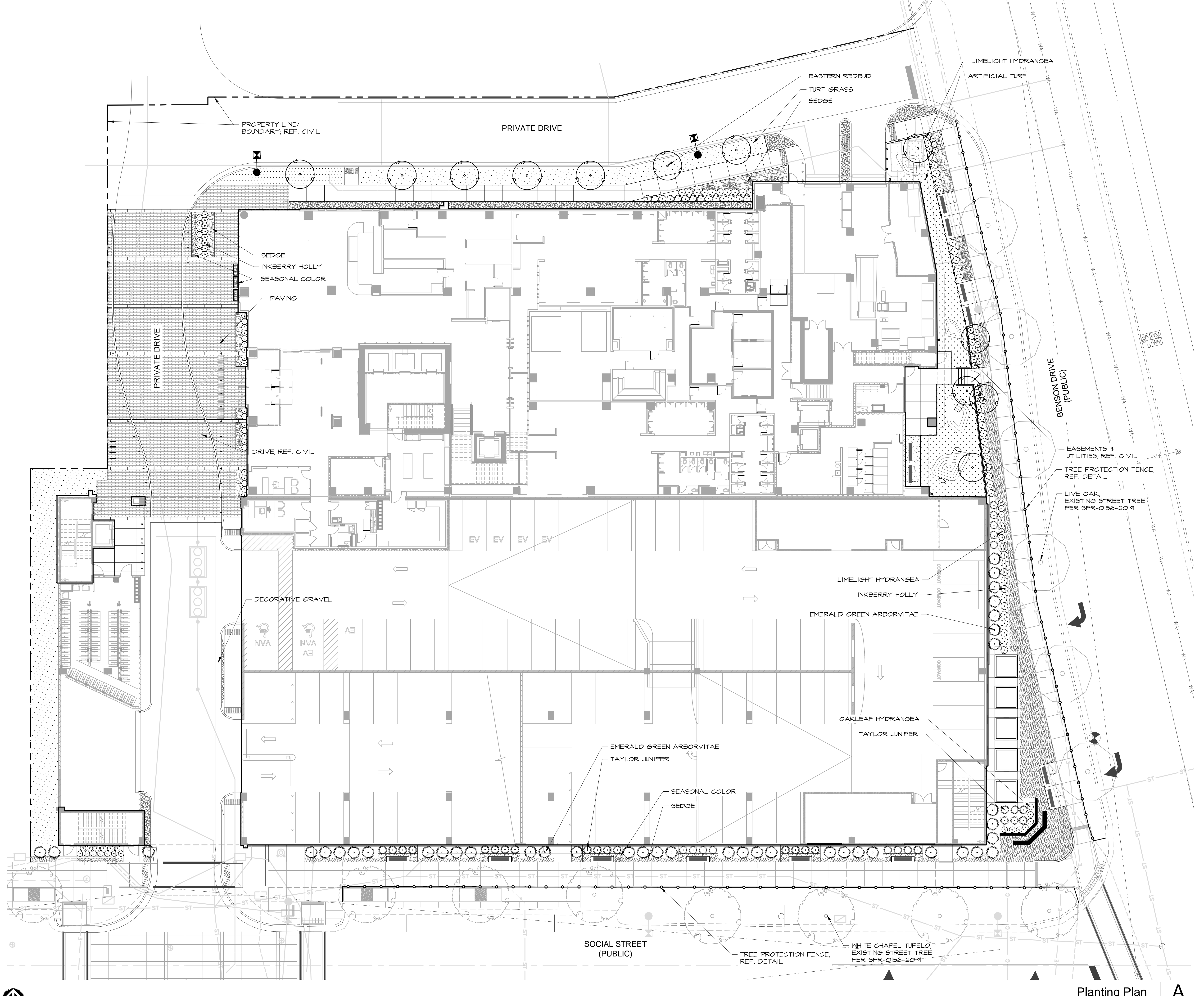


PLANT LEGEND:

PLANT SYM.	PLANT QTY.	COMMON NAME	BOTANICAL NAME	MIN. INSTALL SIZE	MIN. INSTALL HEIGHT	MIN. INSTALL SPREAD	MIN. SPACING	COMMENTS	
TREES									
○	-	Nyssa sylvatica	WHITE CHAPEL TUPELO (EXISTING TREE)	4"	CAL.	14'-15'	5'-6'	25'-0"	NURSERY GROWN, SINGLE-TRUNK, FULL, WELL BRANCHED
○	-	Quercus virginiana	LIVE OAK (EXISTING TREE)	4"	CAL.	14'-15'	5'-6'	25'-0"	NURSERY GROWN, SINGLE-TRUNK, FULL, WELL BRANCHED
○	-	Cercis canadensis	EASTERN REDBUD	2.5"	CAL.	-	-	24" O.C.	NURSERY GROWN, MATCHED & WELL ROOTED, CONTAINER GROWN, 4 FULL
SHRUBS									
○	-	Thuja occidentalis	'Emerald Green'	30	GAL.	8'	-	5'-0" O.C.	NURSERY GROWN, MATCHED & WELL ROOTED, CONTAINER GROWN, 4 FULL
○	-	Juniperus virginiana	'Taylor'	30	GAL.	8'	-	5'-6" O.C.	NURSERY GROWN, MATCHED & WELL ROOTED, CONTAINER GROWN, 4 FULL
○	-	Ilex glabra	'Shamrock'	5	GAL.	-	-	30" O.C.	NURSERY GROWN, MATCHED & WELL ROOTED, CONTAINER GROWN, 4 FULL
○	-	Hydrangea paniculata	'Limelight'	5	GAL.	-	-	24" O.C.	NURSERY GROWN, MATCHED & WELL ROOTED, CONTAINER GROWN, 4 FULL
○	-	Hydrangea quercifolia	'Oakleaf'	5	GAL.	-	-	30" O.C.	NURSERY GROWN, MATCHED & WELL ROOTED, CONTAINER GROWN, 4 FULL
GROUND COVER									
○	-	Carex spp.	'Sedge'	4"	POT	-	-	36" O.C.	NURSERY GROWN, MATCHED & WELL ROOTED, CONTAINER GROWN, 4 FULL
○	-		'Seasonal Color'	1	GAL.	-	-	6" O.C.	NURSERY GROWN, MATCHED & WELL ROOTED, CONTAINER GROWN, 4 FULL
○	-		'Tall Fescue'	5	SOD	-	-	6" O.C.	NURSERY GROWN, MATCHED & WELL ROOTED, CONTAINER GROWN, 4 FULL

PLANTING NOTES:

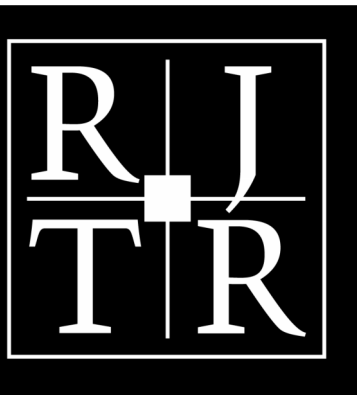
- CONTRACTOR SHALL STAKE OUT ALL TREE LOCATIONS IN FIELD FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- PLANTING BEDS SHALL BE STAKED FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO EXCAVATION AND BED PREP.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- REFER TO PLANS FOR STEEL EDGING LAYOUT / LOCATIONS. EDGING ONLY USED TO BORDER GRAVEL AND BERMUDA GRASS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. LATEST EDITION AMERICAN ASSOCIATION OF NURSEYMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS. OVER SPRAY ON STREETS AND PARKS IS PROHIBITED.



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Rev #	Date	Issue/Revision
03/19/24	ASR #1	
05/17/24	ASR #2	
07/09/24	ASR #3	
09/12/24	ASR #4	

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 www.rjtrdesign.com

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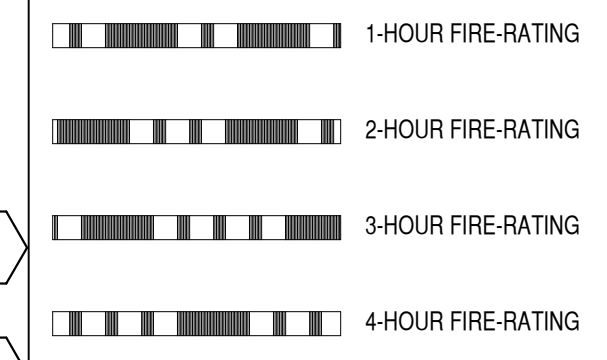
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Rev #	Date	Issue/Revision
05/31/24		ASR RESPONSES #1
07/11/24		ASR RESPONSES #2
07/26/24		100% DESIGN DEVELOPMENT
09/12/24		ASR RESPONSES #3

FLOOR PLAN - LEVEL 0.5
LIFE TIME LIVING RESIDENTIAL
 COMMISSION NO: 21.130.00
 DRAWING NO:
A1-00.5
 RALEIGH, NC

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PARTITION LEGEND:

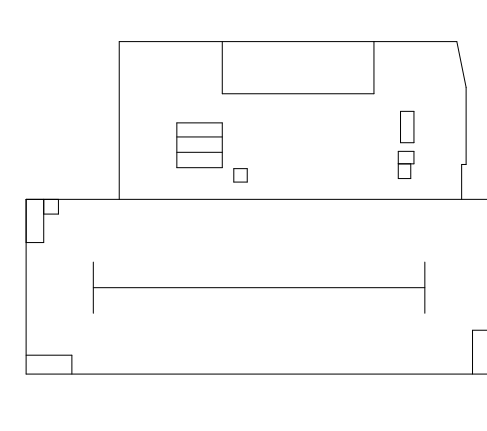


GENERAL NOTES:

- REFER TO SPECIFICATIONS AND SHEET AT-02A FOR ADDITIONAL GENERAL NOTES.
- SEE AT-05A-C FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
- REFER TO AT-03A-B FOR TYPICAL PARTITION TYPES, HEIGHTS, SOUND ATTENUATION AND THICKNESS.
- REFER TO LIFE SAFETY SHEETS FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
- CONTRACTOR SHALL FINISH AND INSTALL FIRE-TREATED WOOD BLOCKING CONCEALED IN WALLS FOR ALL WALL-MOUNTED MILLWORK, CABINETRY, COUNTERTOPS, SHELVING FIXTURES, GRAB BARS AND AV EQUIPMENT AS REQUIRED. UNO.
- ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY UNO. MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN.
- ALL PARTITIONS ARE DIMENSIONED TO FINISH FACE OF PARTITION, TO CENTERLINE OF COLUMNS, AND TO FACE OF CONCRETE ON MASONRY WALLS UNO. ALL DIMENSIONS INDICATED ON DRAWINGS SHALL BE CONSIDERED CRITICAL. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DEVIATIONS IN PLACEMENT PRIOR TO INSTALLATION. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD". ALLOW FOR THICKNESS OF FINISHES.
- DOOR OPENINGS - IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 6" FROM THE ADJACENT WALL UNO.
- TYPICAL PARTITION TYPES:
 A. ALL LINT DEMISING PARTITIONS ARE TYPE 1-15S, UNO
 B. ALL LINT CORRIDOR PARTITIONS ARE TYPE 1-24S, UNO
 C. ALL INTERIOR PARTITIONS ARE TYPE 9-S, UNO
 D. ALL RECTANGULAR STRUCTURAL COLUMNS TO RECEIVE TYPE 2 FLOORING UNO
 E. ALL ROUND STRUCTURAL COLUMNS TO RECEIVE GYPSUM SEMI-COAT AND PAINT, UNO.
 F. ALL PLUMBING WALLS REQUIRING 6" STUDS ARE TYPE 1-S, UNO
 G. SEE AT-05A FOR FIRE EXTINGUISHER CABINET DETAIL.

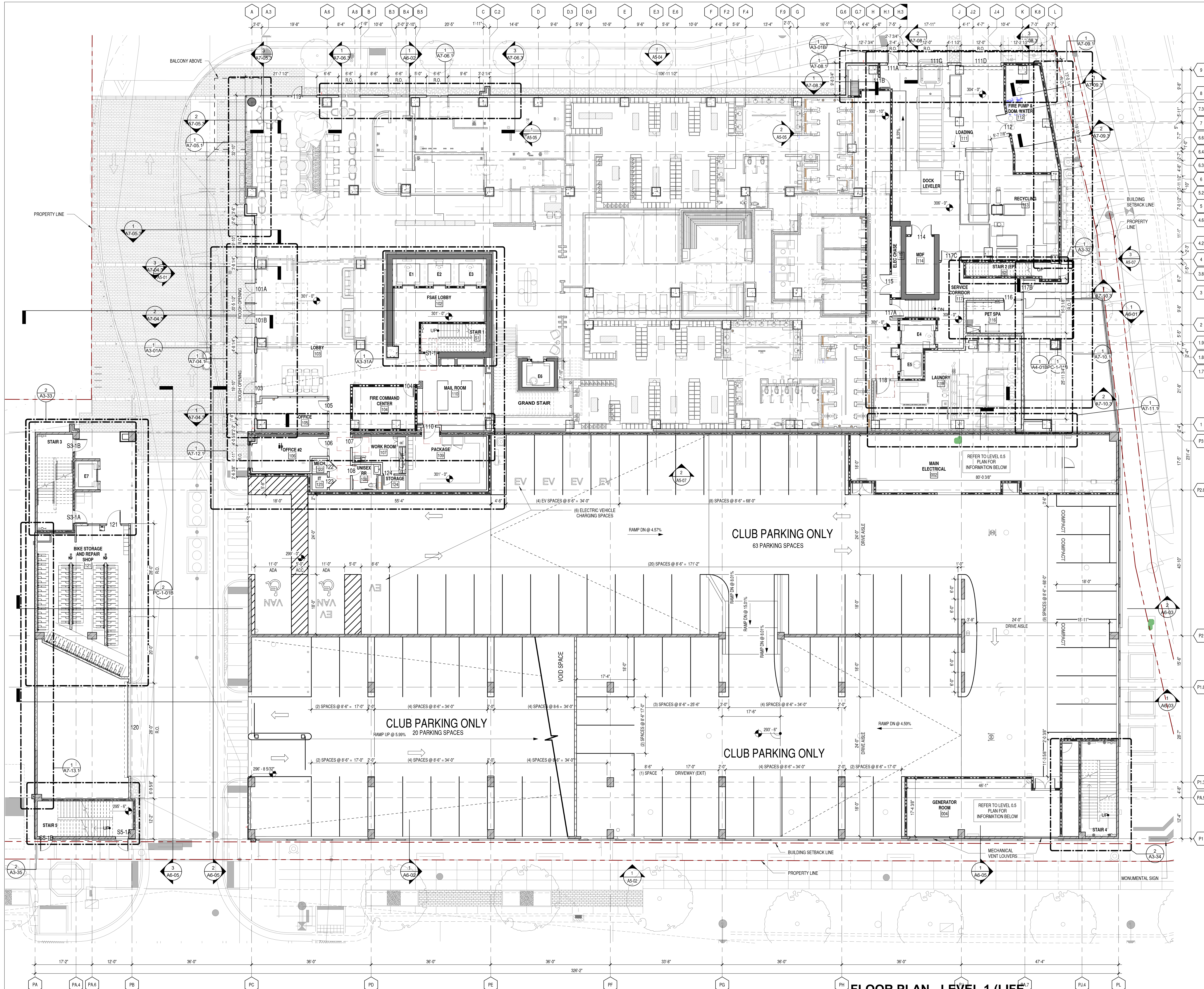


KEY PLAN:



1 LEVEL 0.5 (P1)
 3/32" = 1'-0"

NOT TO SCALE



PARTITION LEGEND:

[Symbol]	1 HOUR FIRE-RATING
[Symbol]	2 HOUR FIRE-RATING
[Symbol]	3 HOUR FIRE-RATING
[Symbol]	4 HOUR FIRE-RATING

- GENERAL NOTES:**
- REFER TO SPECIFICATIONS AND SHEET AT-02A FOR ADDITIONAL GENERAL NOTES.
 - SEE AT-05A-C FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
 - REFER TO AT-02A-B FOR TYPICAL PARTITION TYPES, HEIGHTS, SOUND ATTENUATION AND THICKNESS.
 - REFER TO LIFE SAFETY SHEETS FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
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 - DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN.
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 - DOOR OPENINGS - IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 6" FROM THE ADJACENT WALL UNO.
 - TYPICAL PARTITION TYPES:
 - A. ALL LINTEL DRESSING PARTITIONS ARE TYPE 1-15S, UNO
 - B. ALL LINTEL CORRIDOR PARTITIONS ARE TYPE 1-24S, UNO
 - C. ALL INTERIOR PARTITIONS ARE TYPE 9-S, UNO
 - D. ALL RECTANGULAR STRUCTURAL COLUMNS TO RECEIVE TYPE 2 FLOORING, UNO
 - E. ALL ROUND STRUCTURAL COLUMNS TO RECEIVE GYPSUM SKIM COAT AND PAINT, UNO
 - F. ALL PLUMBING WALLS REQUIRING 6" STUDS ARE TYPE 10-S, UNO
 - G. SEE AT-05A FOR FIRE EXTINGUISHER CABINET DETAIL.

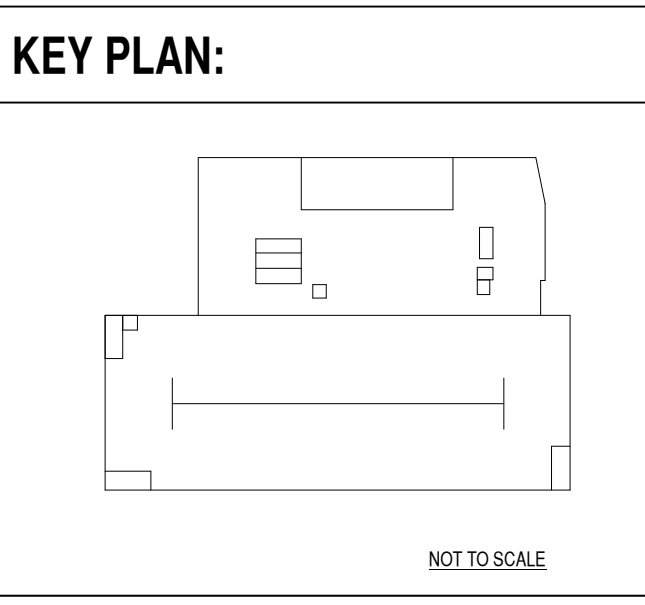
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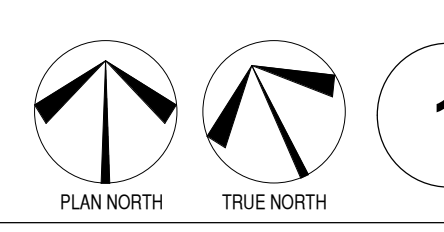
Rev #	Date	Issue/Revision
03/19/24		ASR #1
03/21/24		SCHEMATIC DESIGN
04/19/24		25% DESIGN DEVELOPMENT
05/31/24		ASR RESPONSES #1
07/11/24		ASR RESPONSES #2
07/26/24		100% DESIGN DEVELOPMENT
09/12/24		ASR RESPONSES #3

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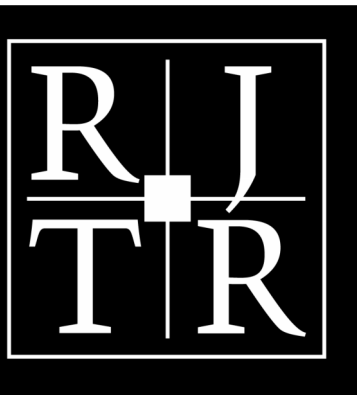
FLOOR PLAN - LEVEL 1 (LIFE TIME / PARKING)
LIFE TIME LIVING RESIDENTIAL
 COMMISSION NO: 21.130.00
 DRAWING NO:
A1-01
 RALEIGH, NC



FLOOR PLAN - LEVEL 1 (LIFE TIME PARKING)
 3/32" = 1'-0"



NOT TO SCALE



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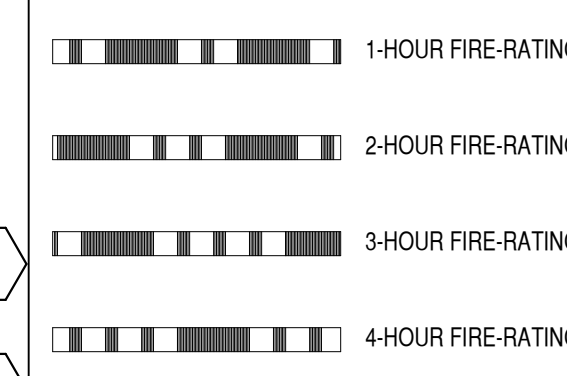
Rev #	Date	Issue/Revision
03/19/24		ASR #1
03/21/24		SCHEMATIC DESIGN
04/19/24		25% DESIGN DEVELOPMENT
05/31/24		ASR RESPONSES #1
07/11/24		ASR RESPONSES #2
07/26/24		100% DESIGN DEVELOPMENT
09/12/24		ASR RESPONSES #3

FLOOR PLAN - LEVEL 1.5 / P2 (PARKING)
LIFE TIME LIVING RESIDENTIAL
 COMMISSION NO: 21.130.00
 DRAWING NO:
RALEIGH, NC

A1-01.5

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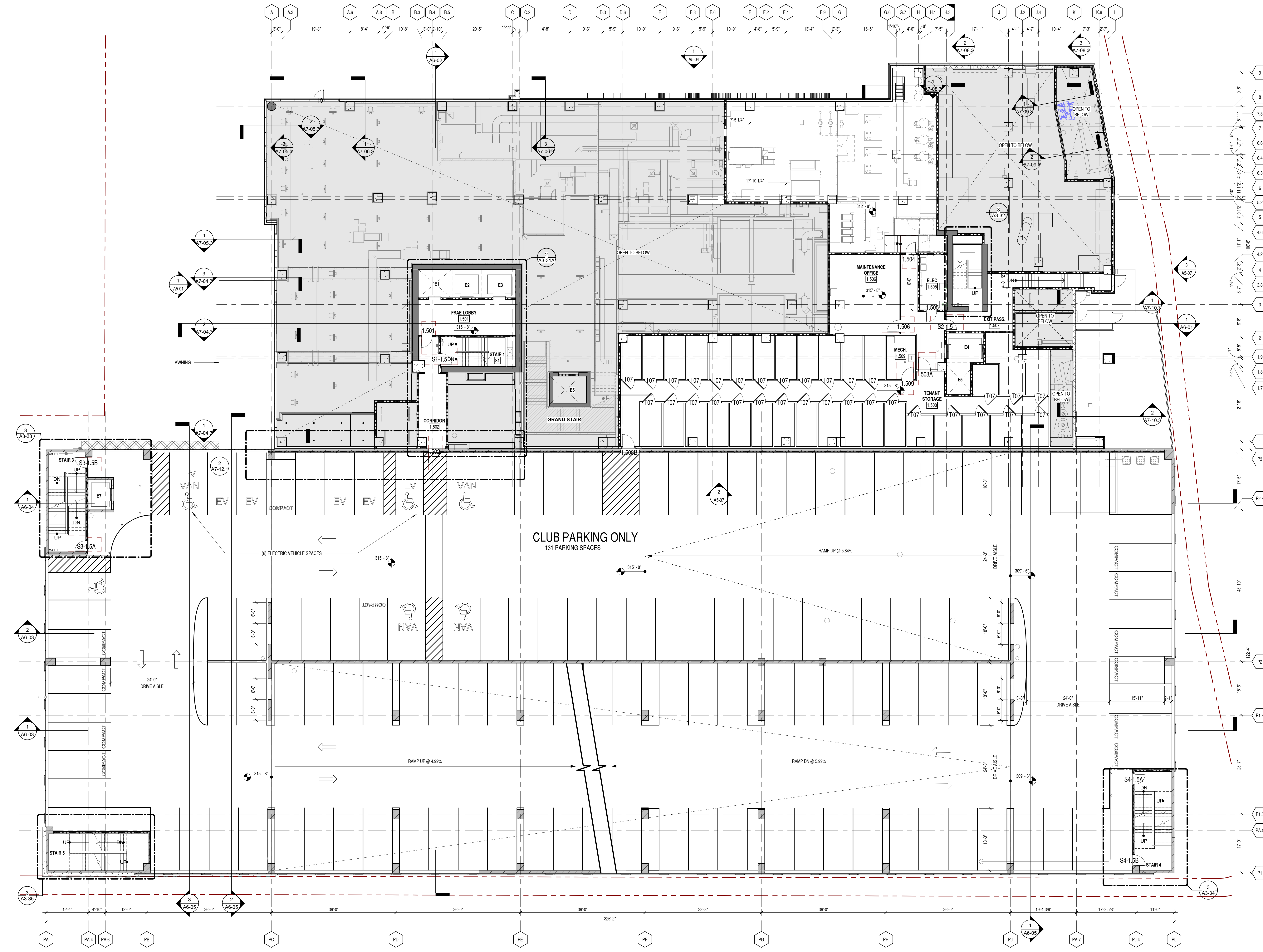
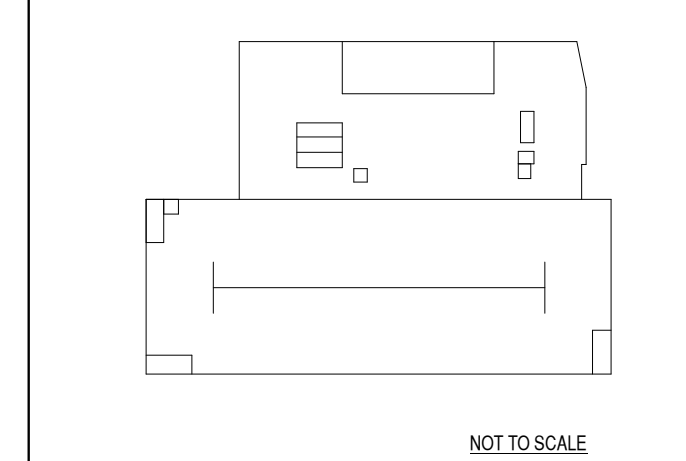
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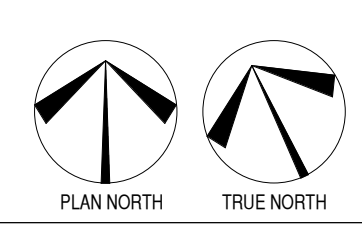
GENERAL NOTES:

- REFER TO SPECIFICATIONS AND SHEET AT-02A FOR ADDITIONAL GENERAL NOTES.
- SEE AT-02A-C FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
- REFER TO AT-02A-B FOR TYPICAL PARTITION TYPES, HEIGHTS, SOUND ATTENUATION AND THICKNESS.
- REFER TO LIFE SAFETY SHEETS FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
- CONTRACTOR SHALL FURNISH AND INSTALL FIRE-TREATED WOOD BLOCKING CONCEALED IN WALLS FOR ALL WALL-MOUNTED MILLWORK, CABINETRY, COUNTERTOPS, SHELVING FIXTURES, GRAB BARS AND AV EQUIPMENT AS REQUIRED. UNO.
- ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY UNO. MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN. UNO.
- ALL PARTITIONS ARE DIMENSIONED TO FINISH FACE OF PARTITION, TO CENTERLINE OF COLUMNS, AND TO FACE OF CONCRETE ON MASONRY WALLS UNO. ALL DIMENSIONS INDICATED ON DRAWINGS SHALL BE CONSIDERED CRITICAL. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DEVIATIONS IN PLACEMENT PRIOR TO INSTALLATION. MAINTAIN DIMENSIONS MARKED "CLEAR" OR "HOLD". ALLOW FOR THICKNESS OF FINISHES.
- DOOR OPENINGS - IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 6" FROM THE ADJACENT WALL UNO.
- TYPICAL PARTITION TYPES:
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 B. ALL LINT CORRIDOR PARTITIONS ARE TYPE 1-24S, UNO.
 C. ALL INTERIOR PARTITIONS ARE TYPE 9-S, UNO.
 D. ALL RECTANGULAR STRUCTURAL COLUMNS TO RECEIVE TYPE 2 FLOORING, UNO.
 E. ALL ROUND STRUCTURAL COLUMNS TO RECEIVE GYPSUM SKIM COAT AND PAINT, UNO.
 F. ALL PLUMBING WALLS REQUIRING 6" STUDS ARE TYPE 10-S, UNO.
 G. SEE AT-06A FOR FIRE EXTINGUISHER CABINET DETAIL.

KEY PLAN:

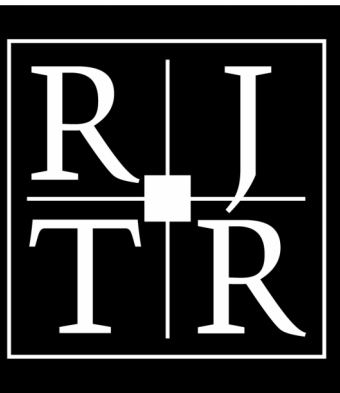


FLOOR PLAN - LEVEL 1.5 (P2 PARKING)
 3/32" = 1'-0"



1

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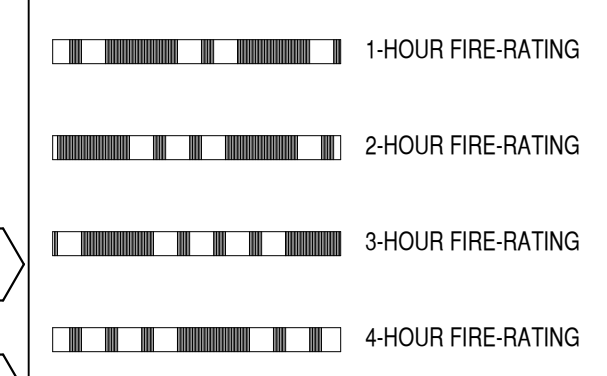
Rev #	Date	Issue/Revision
03/19/24		ASR #1
03/21/24		SCHEMATIC DESIGN
04/19/24		25% DESIGN DEVELOPMENT
05/31/24		ASR RESPONSES #1
07/11/24		ASR RESPONSES #2
07/26/24		100% DESIGN DEVELOPMENT
09/12/24		ASR RESPONSES #3

FLOOR PLAN - LEVEL 2 / P3 (LIFE TIME PARKING)
LIFE TIME LIVING RESIDENTIAL
 COMMISSION NO: 21.130.00
 DRAWING NO:
RALEIGH, NC

A1-02

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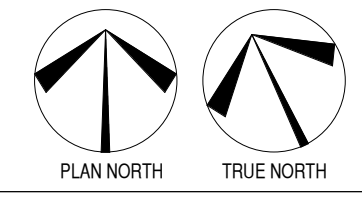
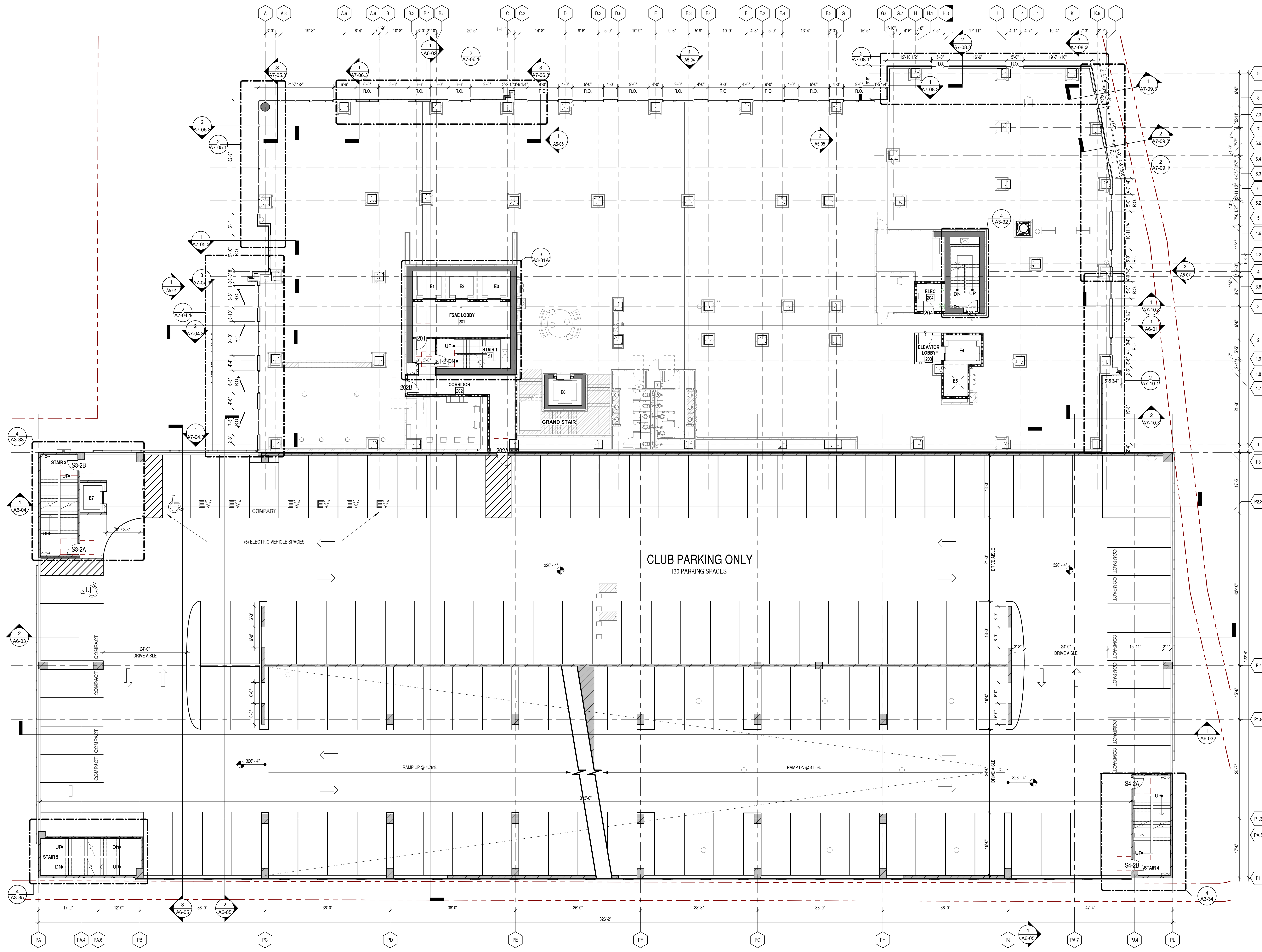
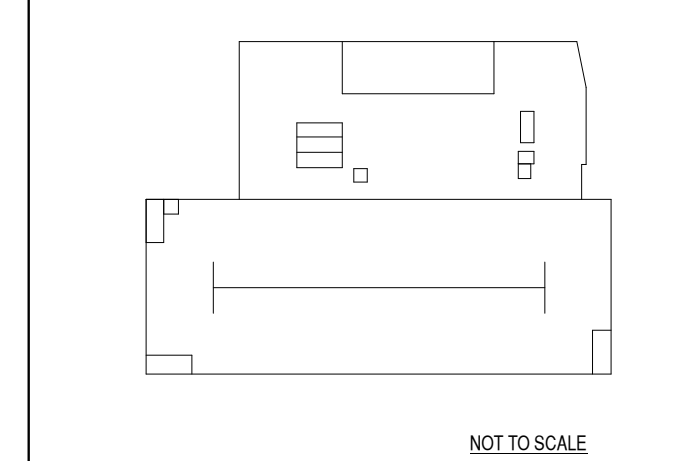
PARTITION LEGEND:



GENERAL NOTES:

- REFER TO SPECIFICATIONS AND SHEET AT-02A FOR ADDITIONAL GENERAL NOTES.
- SEE AT-05A-C FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
- REFER TO AT-02A-B FOR TYPICAL PARTITION TYPES, HEIGHTS, SOUND ATTENUATION AND THICKNESS.
- REFER TO LIFE SAFETY SHEETS FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
- CONTRACTOR SHALL FURNISH AND INSTALL FIRE-TREATED WOOD BLOCKING CONCEALED IN WALLS FOR ALL WALL-MOUNTED MILLWORK, CABINETRY, COUNTERTOPS, SHELVING FIXTURES, GRAB BARS AND AV EQUIPMENT AS REQUIRED. UNO.
- ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY UNO. MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
- DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN.
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- DOOR OPENINGS - IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 6" FROM THE ADJACENT WALL UNO.
- TYPICAL PARTITION TYPES:
 A. ALL LINT DRESSING PARTITIONS ARE TYPE 1-15S, UNO.
 B. ALL LINT CORRIDOR PARTITIONS ARE TYPE 1-24S, UNO.
 C. ALL INTERIOR PARTITIONS ARE TYPE 9-S, UNO.
 D. ALL RECTANGULAR STRUCTURAL COLUMNS TO RECEIVE TYPE 2 FLOORING, UNO.
 E. ALL ROUND STRUCTURAL COLUMNS TO RECEIVE GYPSUM SKIM COAT AND PAINT, UNO.
 F. ALL PLUMBING WALLS REQUIRING 6" STUDS ARE TYPE 10-S, UNO.

KEY PLAN:



1

FLOOR PLAN - LEVEL 2 (P3)
 3/32" = 1'-0"

NOT TO SCALE



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 ARCHITECTURE INTERIOR DESIGN
 300 Galleria Parkway Suite 740 Atlanta, Georgia 30339
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Rev #	Date	Issue/Revision
03/19/24	ASR #1	
03/21/24	ASR #1	SCHEMATIC DESIGN
04/19/24	ASR #1	25% DESIGN DEVELOPMENT
05/31/24	ASR #1	ASR RESPONSES #1
07/11/24	ASR #1	ASR RESPONSES #2
07/26/24	ASR #1	100% DESIGN DEVELOPMENT
09/12/24	ASR #1	ASR RESPONSES #3

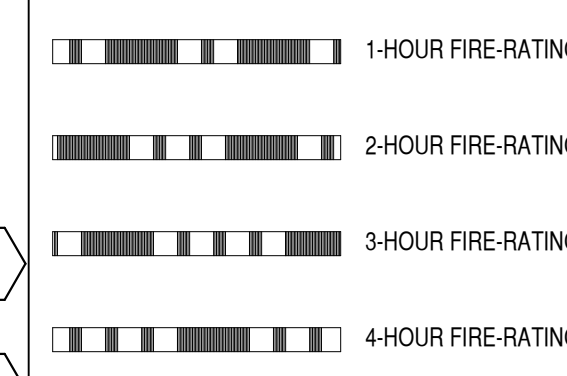
FLOOR PLAN - LEVEL 2.5 / P4 (PARKING)
LIFE TIME LIVING RESIDENTIAL
 RALEIGH, NC

COMMISSION NO: 21.130.00
 DRAWING NO:

A1-02.5

NOT ISSUED FOR CONSTRUCTION

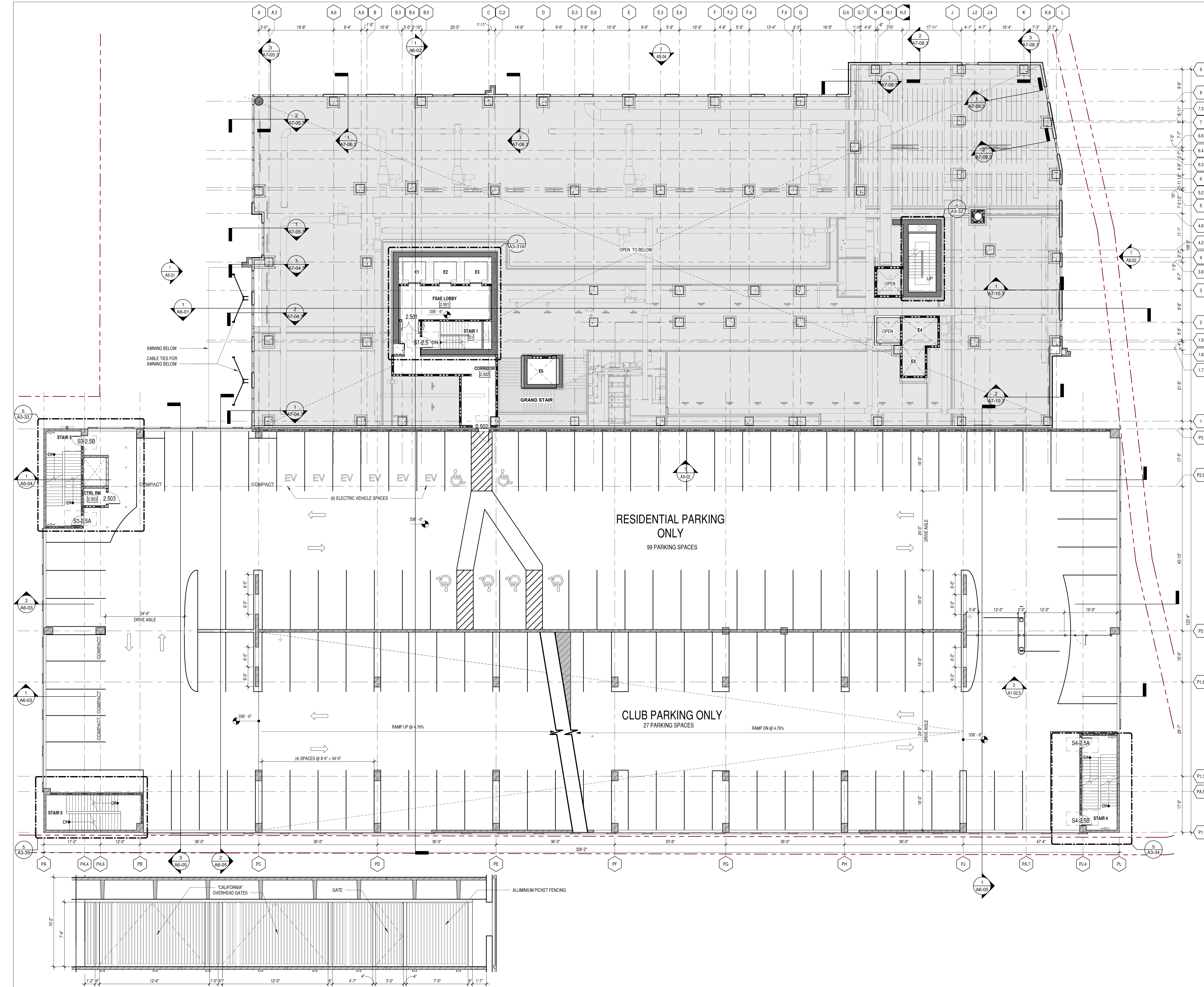
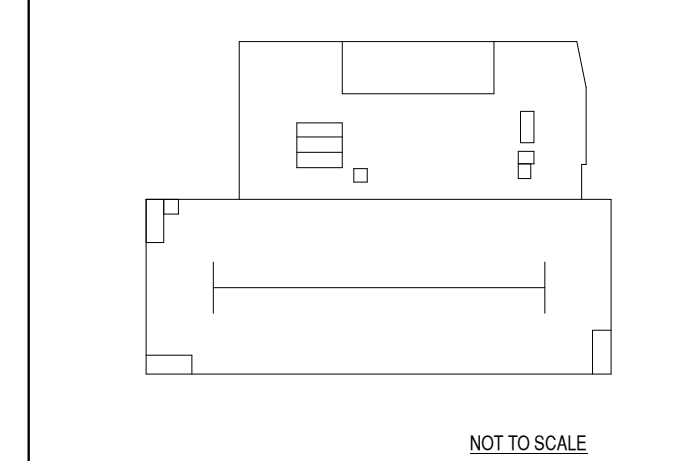
PARTITION LEGEND:



GENERAL NOTES:

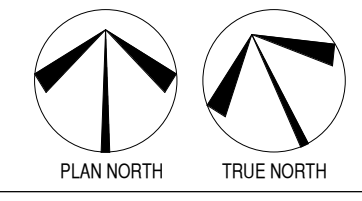
- REFER TO SPECIFICATIONS AND SHEET AT-02A FOR ADDITIONAL GENERAL NOTES.
- SEE AT-02A-C FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
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 F. ALL PLUMBING WALLS REQUIRING 6" STUDS ARE TYPE 10-S, UNO.
 G. SEE AT-06A FOR FIRE EXTINGUISHER CABINET DETAIL.

KEY PLAN:

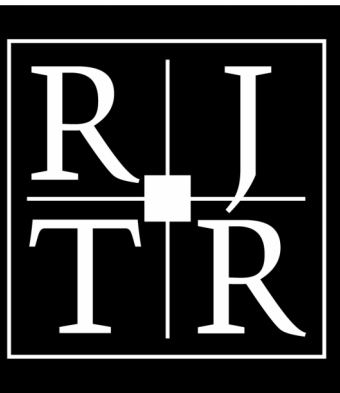


2 PARKING GATE ELEVATION
 1/4" = 1'-0"

1 FLOOR PLAN - LEVEL P4
 3/32" = 1'-0"



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07/11/24	ASR RESPONSES #2	
07/26/24	100%	DESIGN DEVELOPMENT
09/12/24	ASR RESPONSES #3	

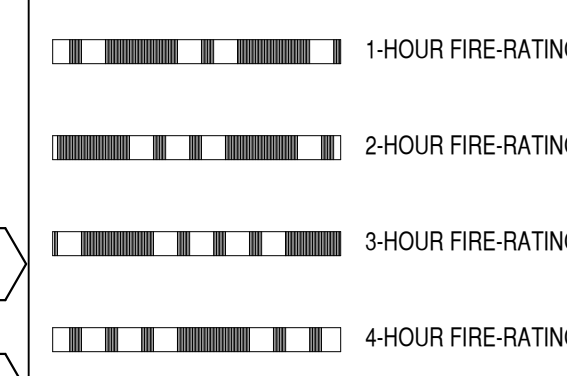
FLOOR PLAN - LEVEL 3 / P5 (LIFE TIME / PARKING)
LIFE TIME LIVING RESIDENTIAL
 RALEIGH, NC

COMMISSION NO: 21.130.00
 DRAWING NO:

A1-03

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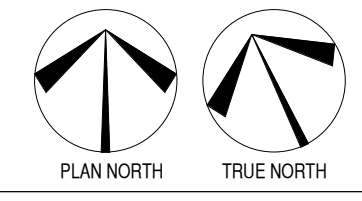
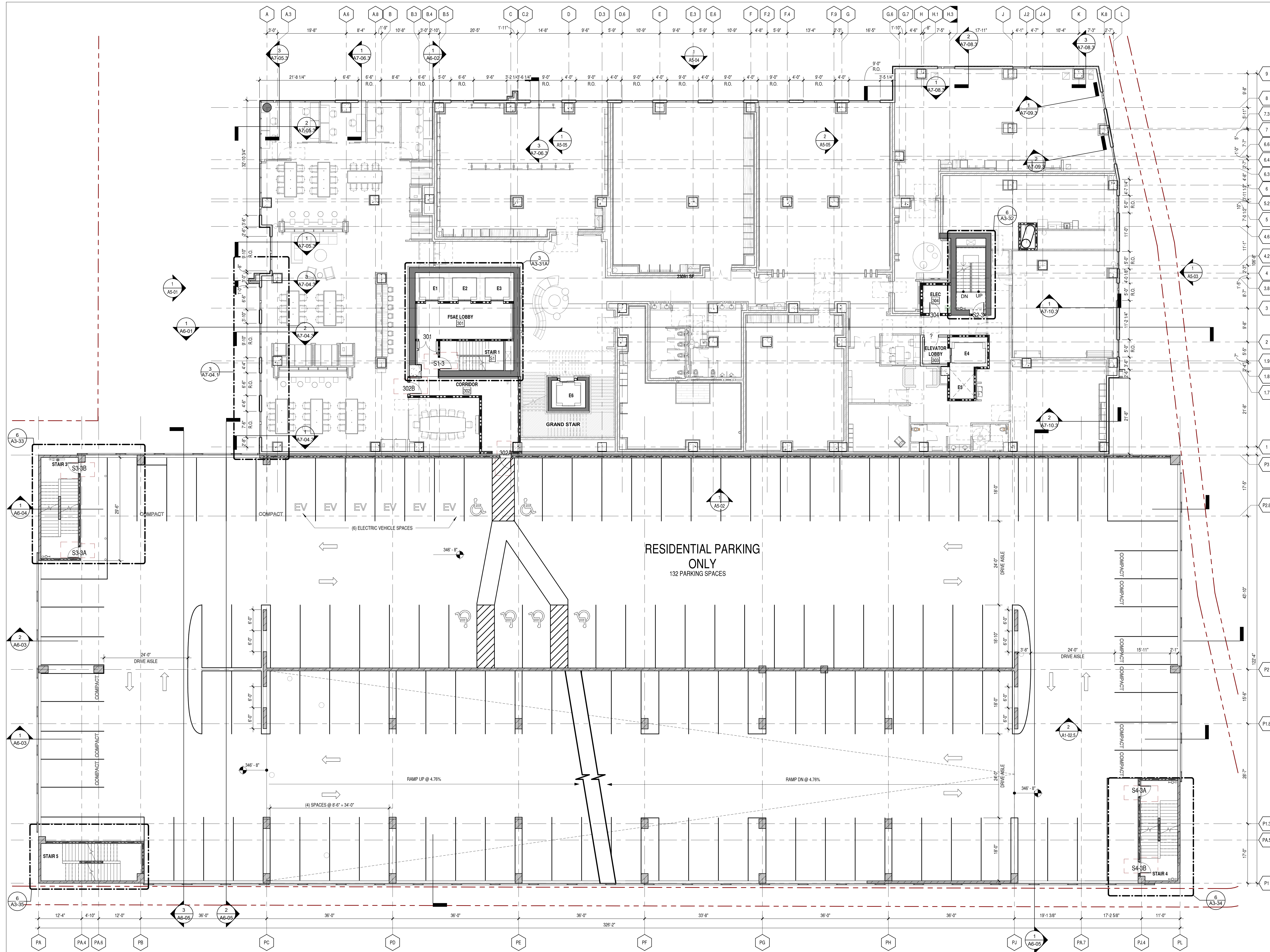
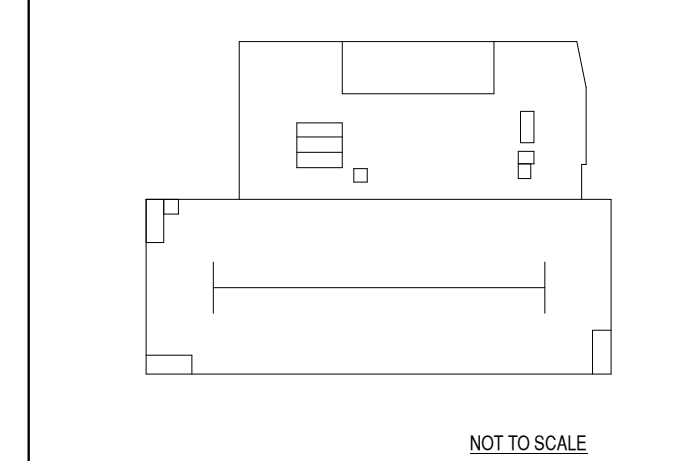
PARTITION LEGEND:



GENERAL NOTES:

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- SEE AT-05A-C FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
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 D. ALL RECTANGULAR STRUCTURAL COLUMNS TO RECEIVE TYPE 2 FLOORING, UNO
 E. ALL ROUND STRUCTURAL COLUMNS TO RECEIVE GYPSUM SKIM COAT AND PAINT, UNO
 F. ALL PLUMBING WALLS REQUIRING 6" STUDS ARE TYPE 10-S, UNO
 G. SEE AT-05A FOR FIRE EXTINGUISHER CABINET DETAIL

KEY PLAN:



1 FLOOR PLAN - LEVEL 3 (P5)
 3/32" = 1'-0"

NOT TO SCALE



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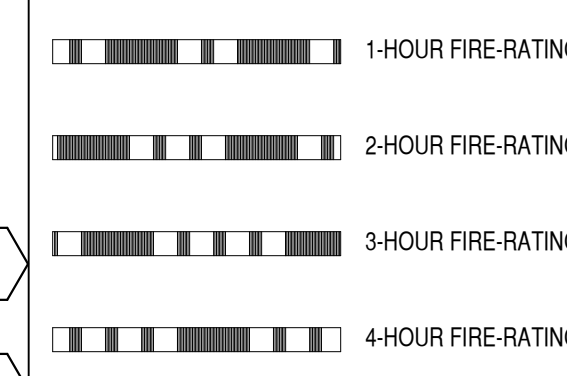
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07/11/24	ASR RESPONSES #2	
07/26/24	100% DESIGN DEVELOPMENT	
09/12/24	ASR RESPONSES #3	

FLOOR PLAN - LEVEL 3.5 / P6 (PARKING)
LIFE TIME LIVING RESIDENTIAL
 COMMISSION NO: 21.130.00
 DRAWING NO:
A1-03.5
 RALEIGH, NC

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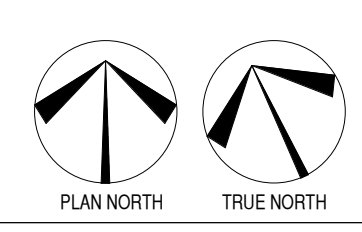
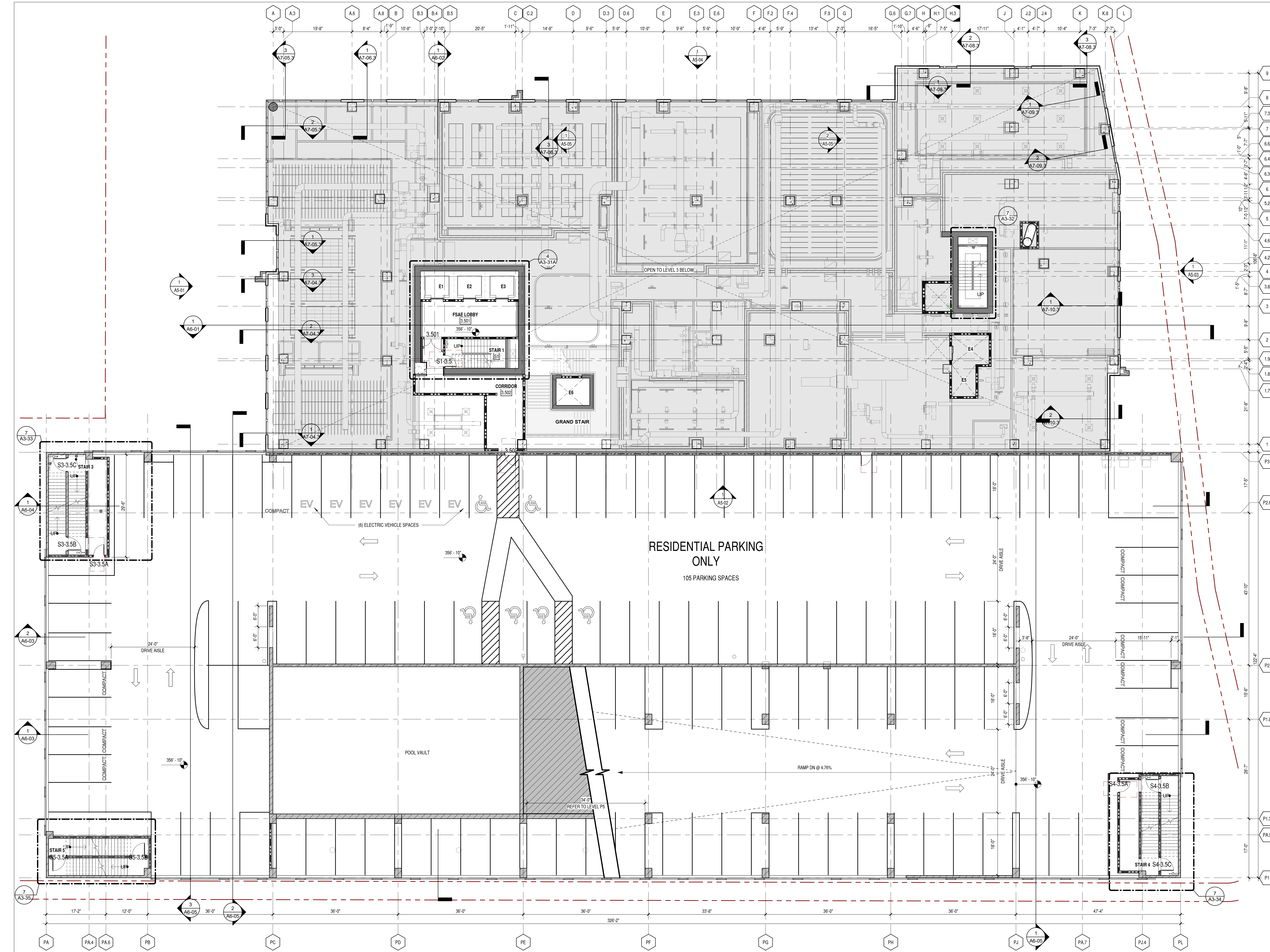
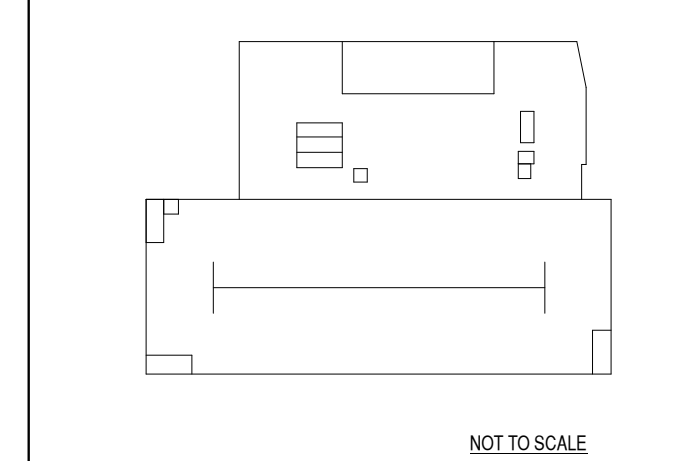
PARTITION LEGEND:



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 E. ALL ROUND STRUCTURAL COLUMNS TO RECEIVE GYPSUM SKIM COAT AND PAINT, UNO.
 F. ALL PLUMBING WALLS REQUIRING 6" STUDS ARE TYPE 10-S, UNO.
 G. SEE AT-06A FOR FIRE EXTINGUISHER CABINET DETAIL.

KEY PLAN:



1 FLOOR PLAN - LEVEL P6
 3/32" = 1'-0"

NOT TO SCALE



PRINTED

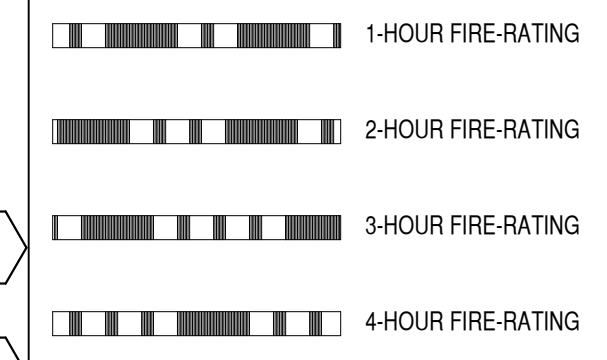
Rev #	Date	Issue/Revision
03/21/24		SCHEMATIC DESIGN
04/19/24		25% DESIGN DEVELOPMENT
07/26/24		100% DESIGN DEVELOPMENT
09/12/24		ASR RESPONSES #3

COMMISSION NO: 21.130.00
 DRAWING NO:

A1-04

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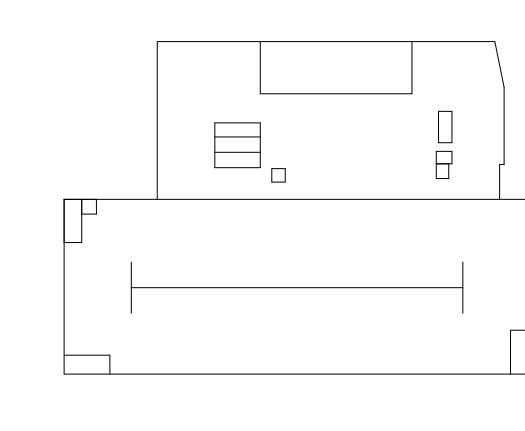
PARTITION LEGEND:



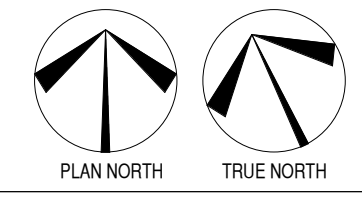
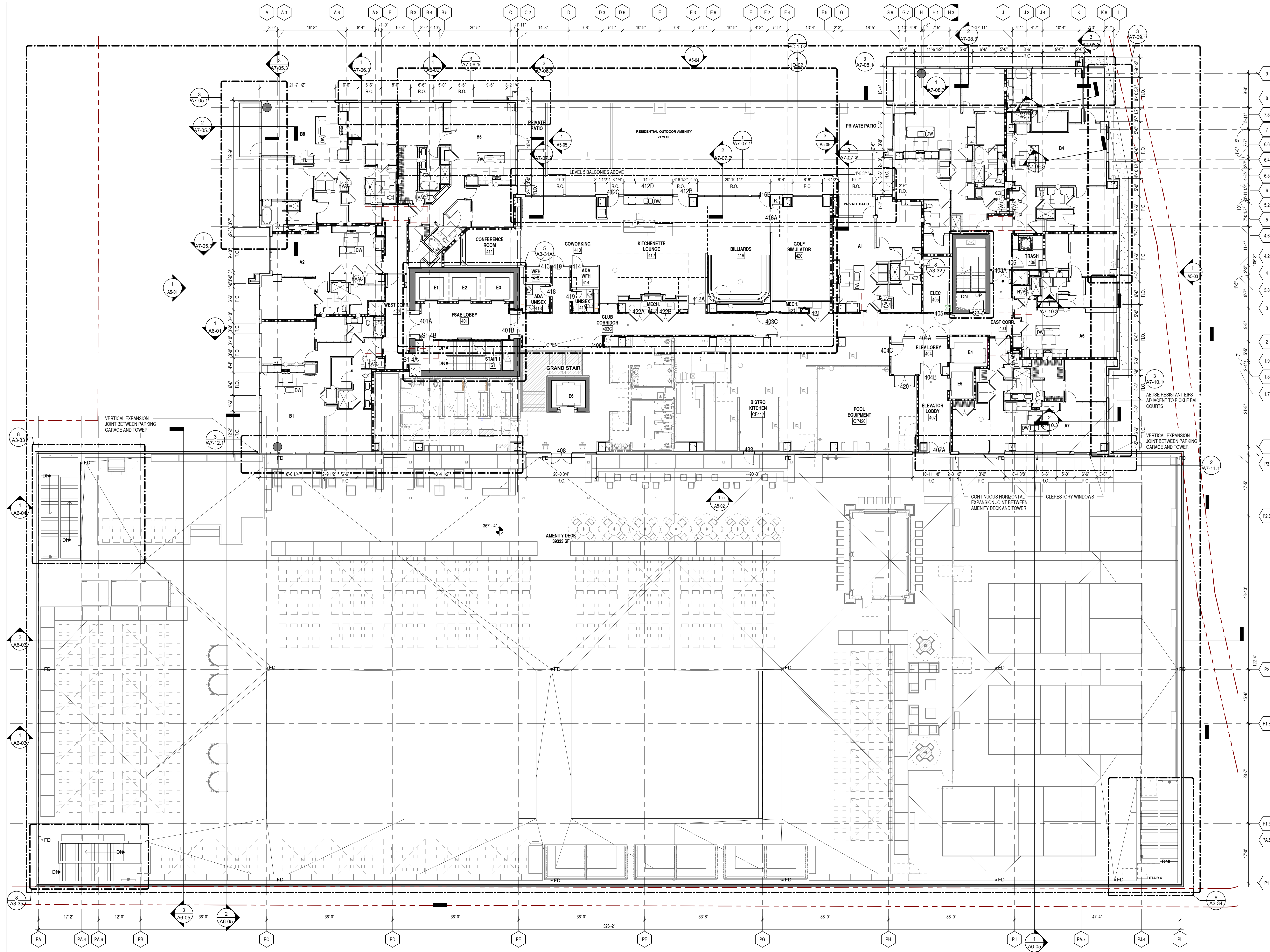
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 E. ALL ROUND STRUCTURAL COLUMNS TO RECEIVE GYPSUM SKIM COAT AND PAINT, UNO
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 G. SEE AT-05A FOR FIRE EXTINGUISHER CABINET DETAIL.

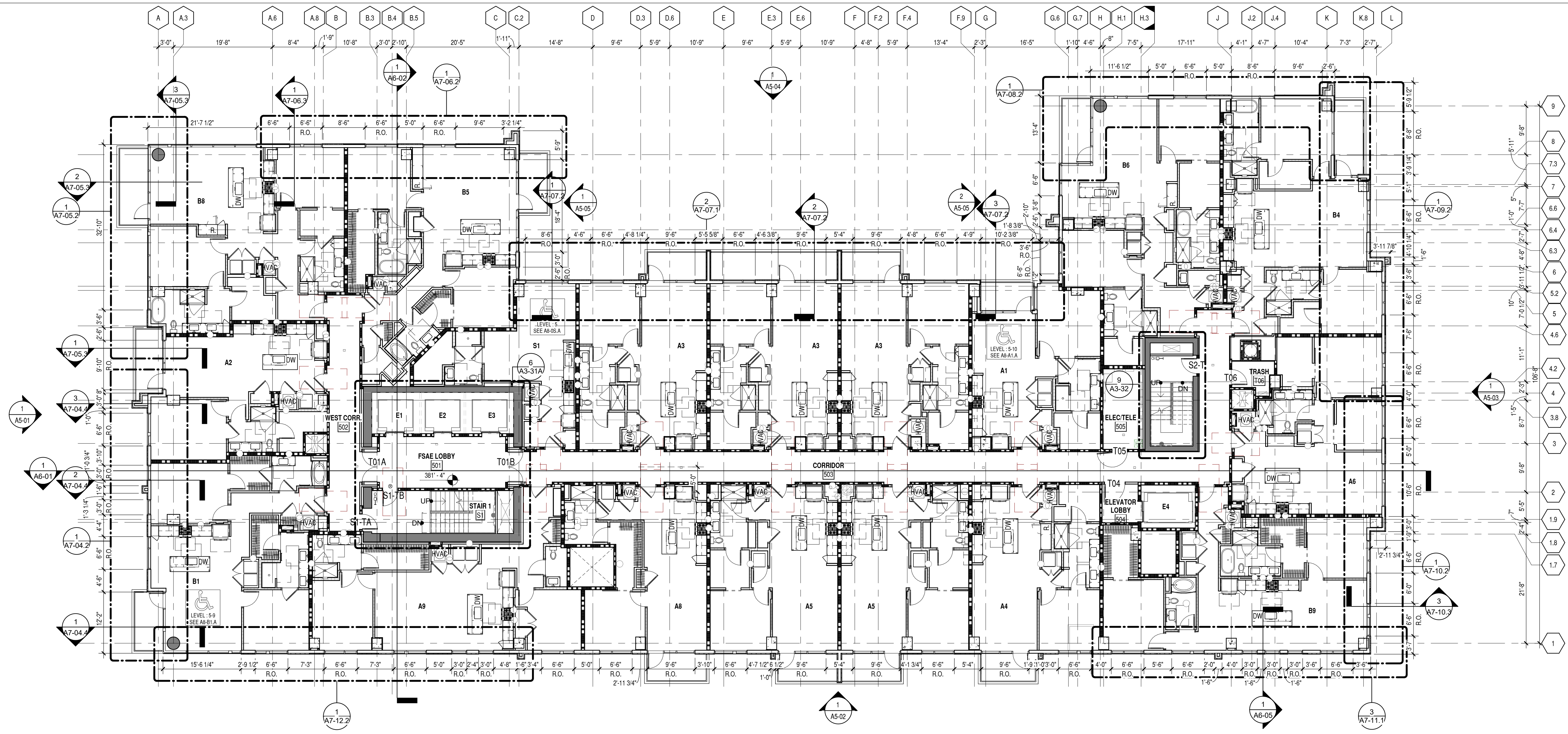
KEY PLAN:



NOT TO SCALE



1 FLOOR PLAN - LEVEL 4
 3/32" = 1'-0"



FLOOR PLAN - LEVEL 5
(RESIDENTIAL)
 3/32" = 1'-0"

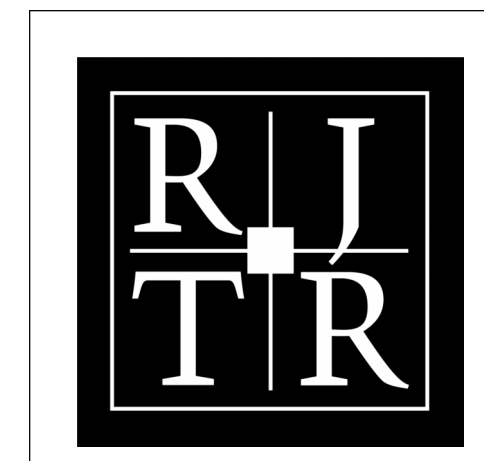
PARTITION LEGEND:

	1-HOUR FIRE-RATING
	2-HOUR FIRE-RATING
	3-HOUR FIRE-RATING
	4-HOUR FIRE-RATING

- GENERAL NOTES:**
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 - ALL INTERIOR PARTITIONS ARE TYPE 9-S, UNO
 - ALL RECTANGULAR STRUCTURAL COLUMNS TO RECEIVE TYPE 2 FURRING, UNO
 - ALL ROUND STRUCTURAL COLUMNS TO RECEIVE GYPSUM SCAM COAT AND PAIN, UNO.
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 - SEE AT-05A FOR FIRE EXTINGUISHER CABINET DETAIL.

KEY PLAN:

NOT TO SCALE



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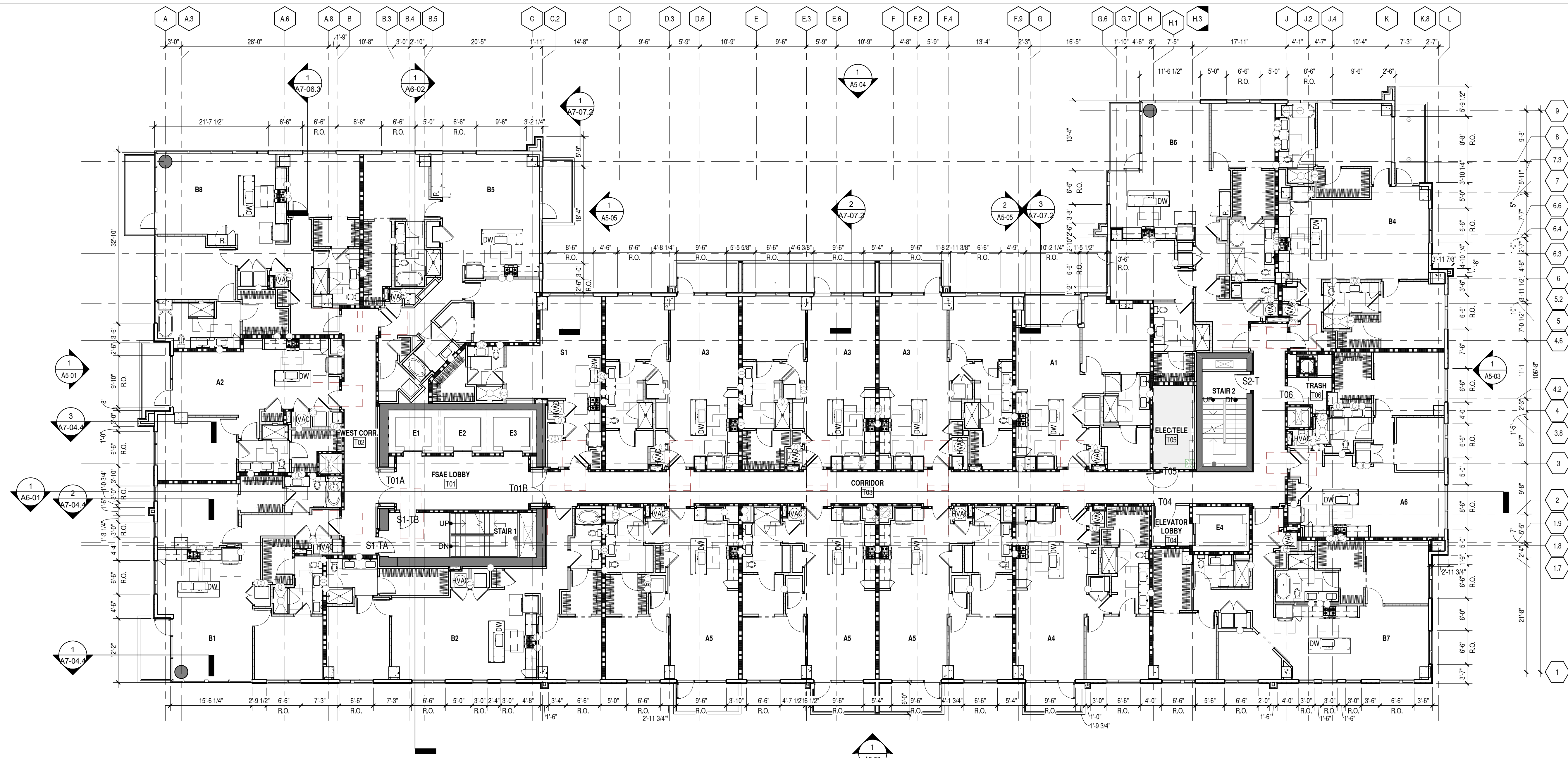
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07/26/24		100% DESIGN DEVELOPMENT
09/12/24		ASR RESPONSES #3

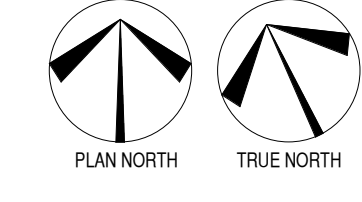
FLOOR PLAN - LEVEL 5 (RESIDENTIAL)
LIFE TIME LIVING RESIDENTIAL
 COMMISSION NO: 21.130.00
 DRAWING NO:
A1-05
 RALEIGH, NC

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**FLOOR PLAN - LEVELS 6-18
(TYP. RESIDENTIAL)**



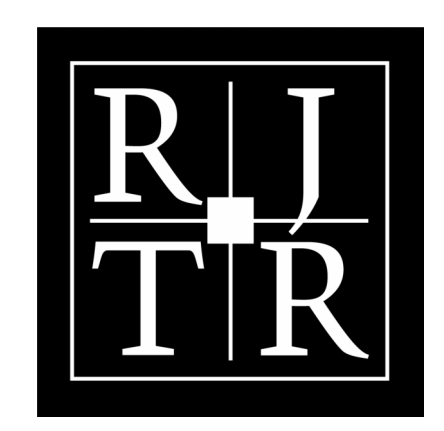
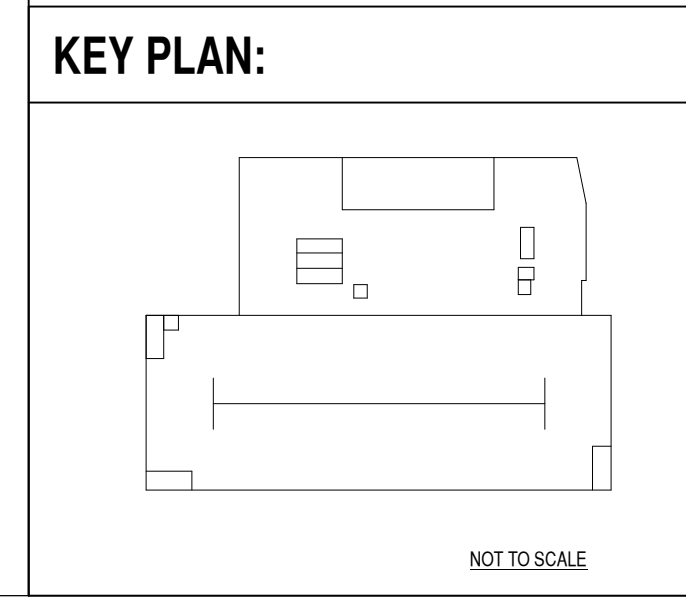
1
3/32" = 1'-0"

PER UDO 3.3.3.C, THE MAXIMUM ALLOWABLE AREA PER FLOOR ABOVE LEVEL 12 IS 30,000SF.
PROPOSED FLOOR PLATES FOR LEVELS 12-18 ARE 22,050SF EACH.

PARTITION LEGEND:

[Symbol]	1-HOUR FIRE-RATING
[Symbol]	2-HOUR FIRE-RATING
[Symbol]	3-HOUR FIRE-RATING
[Symbol]	4-HOUR FIRE-RATING

- GENERAL NOTES:**
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D. ALL RECTANGULAR STRUCTURAL COLUMNS TO RECEIVE TYPE 2 FLOORING, UNO
E. ALL ROUND STRUCTURAL COLUMNS TO RECEIVE GYPSUM SKIM COAT AND PAINT, UNO
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G. SEE AT-05A FOR FIRE EXTINGUISHER CABINET DETAIL.



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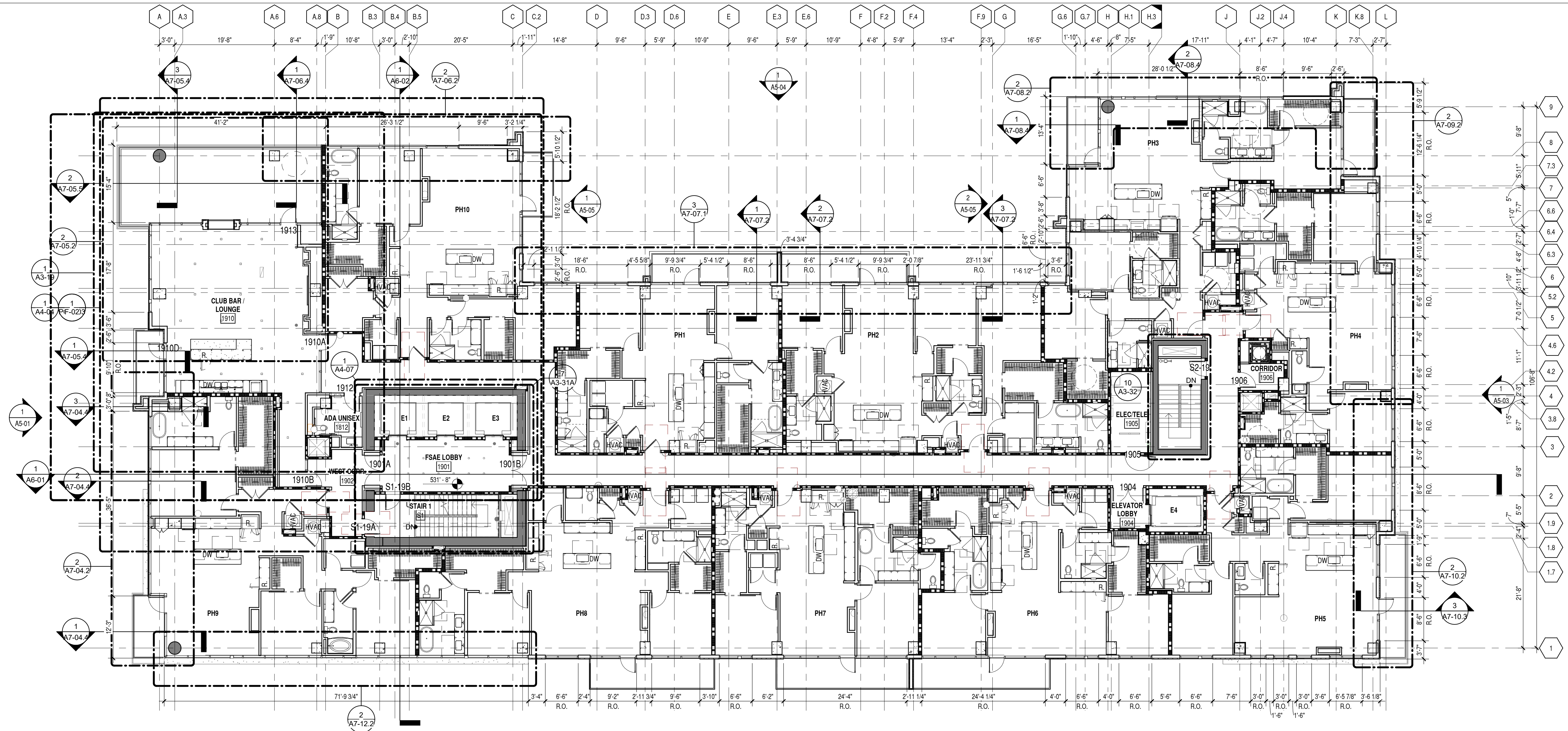
Rev #	Date	Issue/Revision
03/21/24		SCHEMATIC DESIGN
04/19/24		25% DESIGN DEVELOPMENT
07/26/24		100% DESIGN DEVELOPMENT
09/12/24		ASR RESPONSES #3

FLOOR PLAN - LEVEL 6-18 (RESIDENTIAL)
LIFE TIME LIVING RESIDENTIAL
RALEIGH, NC

COMMISSION NO: 21.130.00
DRAWING NO:
A1-06

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PARTITION LEGEND:

	1-HOUR FIRE-RATING
	2-HOUR FIRE-RATING
	3-HOUR FIRE-RATING
	4-HOUR FIRE-RATING

- GENERAL NOTES:**
- REFER TO SPECIFICATIONS AND SHEET AT-02A FOR ADDITIONAL GENERAL NOTES.
 - SEE AT-05A-C FOR TYPICAL MOUNTING HEIGHTS OF PLUMBING FIXTURES, TOILET ACCESSORIES, DRINKING FOUNTAINS, AND OTHER DEVICES.
 - REFER TO AT-02A-B FOR TYPICAL PARTITION TYPES, HEIGHTS, SOUND ATTENUATION AND THICKNESS.
 - REFER TO LIFE SAFETY SHEETS FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS.
 - CONTRACTOR SHALL FINISH AND INSTALL FIRE-TREATED WOOD BLOCKING CONCEALED IN WALLS FOR ALL WALL-MOUNTED MILLWORK, CABINETRY, COUNTERTOPS, SHELVING FIXTURES, GRAB BARS AND AV EQUIPMENT AS REQUIRED. UNO.
 - ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY UNO. MATERIALS AND EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS - DIMENSIONS GOVERN.
 - ALL PARTITIONS ARE DIMENSIONED TO FINISH FACE OF PARTITION, TO CENTERLINE OF COLUMNS, AND TO FACE OF CONCRETE ON MASONRY WALLS UNO. ALL DIMENSIONS INDICATED ON DRAWINGS SHALL BE CONSIDERED CRITICAL. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DEVIATIONS IN PLACEMENT PRIOR TO INSTALLATION. MAINTAIN DIMENSIONS MARKED 'CLEAR' OR 'HOLD'. ALLOW FOR THICKNESS OF FINISHES.
 - DOOR OPENINGS - IF NOT DIMENSIONED, THE HINGE SIDE OF DOOR JAMBS SHALL BE SPACED 6" FROM THE ADJACENT WALL UNO.
 - TYPICAL PARTITION TYPES:
 - ALL LINT DIMENSION PARTITIONS ARE TYPE 1-15S, UNO
 - ALL LINT CORRIDOR PARTITIONS ARE TYPE 1-24S, UNO
 - ALL INTERIOR PARTITIONS ARE TYPE 9-S, UNO
 - ALL RECTANGULAR STRUCTURAL COLUMNS TO RECEIVE TYPE 2 FLOORING, UNO
 - ALL ROUND STRUCTURAL COLUMNS TO RECEIVE GYPSUM SKIM COAT AND PAINT, UNO.
 - ALL PLUMBING WALLS REQUIRING 6" STUDS ARE TYPE 10-S, UNO
 - SEE AT-05A FOR FIRE EXTINGUISHER CABINET DETAIL.

FLOOR PLAN - LEVEL 19 (PENTHOUSE)
 3/32" = 1'-0"

PLAN NORTH TRUE NORTH

PER UDO 3.3.3.C, THE MAXIMUM ALLOWABLE AREA PER FLOOR ABOVE LEVEL 12 IS 30,000SF.

PROPOSED FLOOR PLATES FOR LEVEL 19(PH) IS 21,760SF.

KEY PLAN:

NOT TO SCALE

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FLOOR PLAN - LEVEL 19 (PENTHOUSE)

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RALEIGH, NC

COMMISSION NO: 21.130.00
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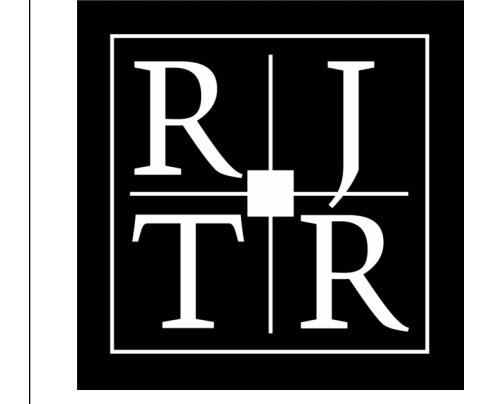
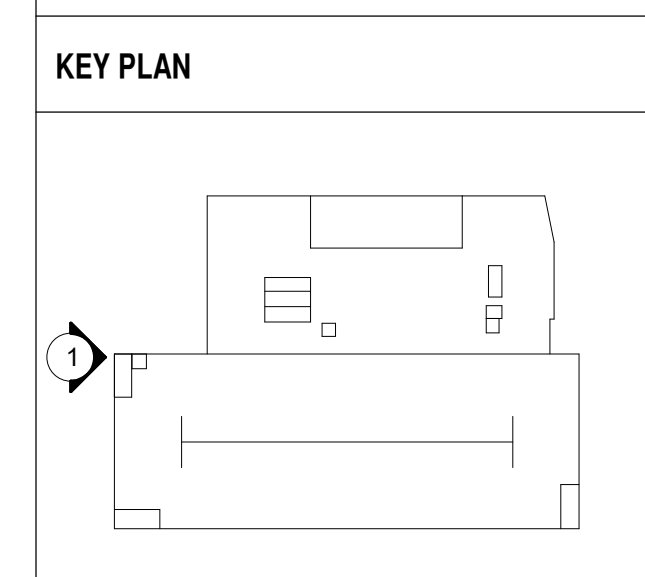
1 WEST ELEVATION
3/32" = 1'-0"

EXTERIOR MATERIAL LEGEND

- DRAINABLE EIFS 1 - TAN COLOR - TOWER
- DRAINABLE EIFS 2 - WARM TAN COLOR - TOWER / AMENITY LEVELS
- DRAINABLE EIFS 3 - DARK TAUPE COLOR - TOWER / AMENITY LEVELS
- DRAINABLE EIFS 4 - DARK GREY COLOR - TOWER / GROUND LEVEL ENTRANCE
- DRAINABLE EIFS 5 - WHITE COLOR - FINS / RIBBONS
- DRAINABLE EIFS 6 - OFF BLACK COLOR - AMENITY LEVEL / PARKING DECK
- PREFINISHED ALUMINUM BALCONY RAILING W/ CLEAR LAMINATED TEMPERED GLASS INFILL PANELS
- COATED BALCONY SLAB
- PREFINISHED ALUMINUM WINDOW WALL SYSTEM W/ HIGH PERFORMANCE 1" INSULATING LOW-E VISION GLASS, COLOR: BRIGHT
- PREFINISHED ALUMINUM WINDOW WALL SYSTEM W/ HIGH PERFORMANCE 1" INSULATING LOW-E VISION GLASS, COLOR: DEEP
- PREFINISHED ALUMINUM WINDOW WALL SYSTEM W/ HIGH PERFORMANCE 1" INSULATING ULTRA CLEAR LOW-E VISION GLASS
- STRUCTURAL PRECAST PARKING DECK PANELS W/ ARCHITECTURAL FACE MIX, W/ 1" DEEP REVEALS (3 COLORS AS INDICATED ON ELEVATIONS)
- STRUCTURAL PRECAST PARKING DECK PANELS W/ ARCHITECTURAL FACE MIX, W/ 1" DEEP REVEALS (3 COLORS AS INDICATED ON ELEVATIONS)
- STRUCTURAL PRECAST PARKING DECK PANELS W/ ARCHITECTURAL FACE MIX, W/ 1" DEEP REVEALS (3 COLORS AS INDICATED ON ELEVATIONS)
- ARCHITECTURAL MESH SCREEN SYSTEM 80% OPENNESS OPEN TO PRECAST DECK STRUCTURE BEHIND (BY SOUTH-EASTERN ARCHITECTURAL SYSTEMS OR SIMILAR) - 2 COLORS
- LEVEL 1 - CURTAIN WALL ULTRA CLEAR LOW-E VISION GLASS, LEVEL 203 - CURTAIN WALL LOW-E VISION GLASS, COLOR: BRIGHT
- PREFINISHED ALUMINUM CLAD CANOPY

LIGHTING & SIGNAGE LEGEND

- TYP. RETAIL WALL SCONCE
- WALL MOUNTED SIGNAGE W/ STEEL CHANNEL
- CANOPY SIGNAGE
- BEAM SIGNAGE / PARKING ENTRY SIGNAGE
- PARKING BLADE SIGN
- BANNER SIGN



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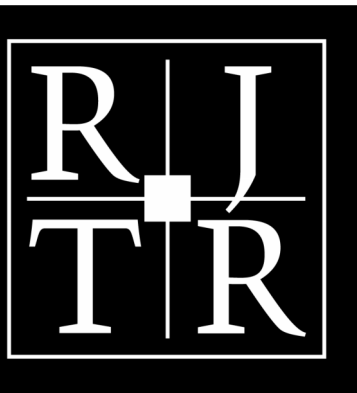
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WEST ELEVATION
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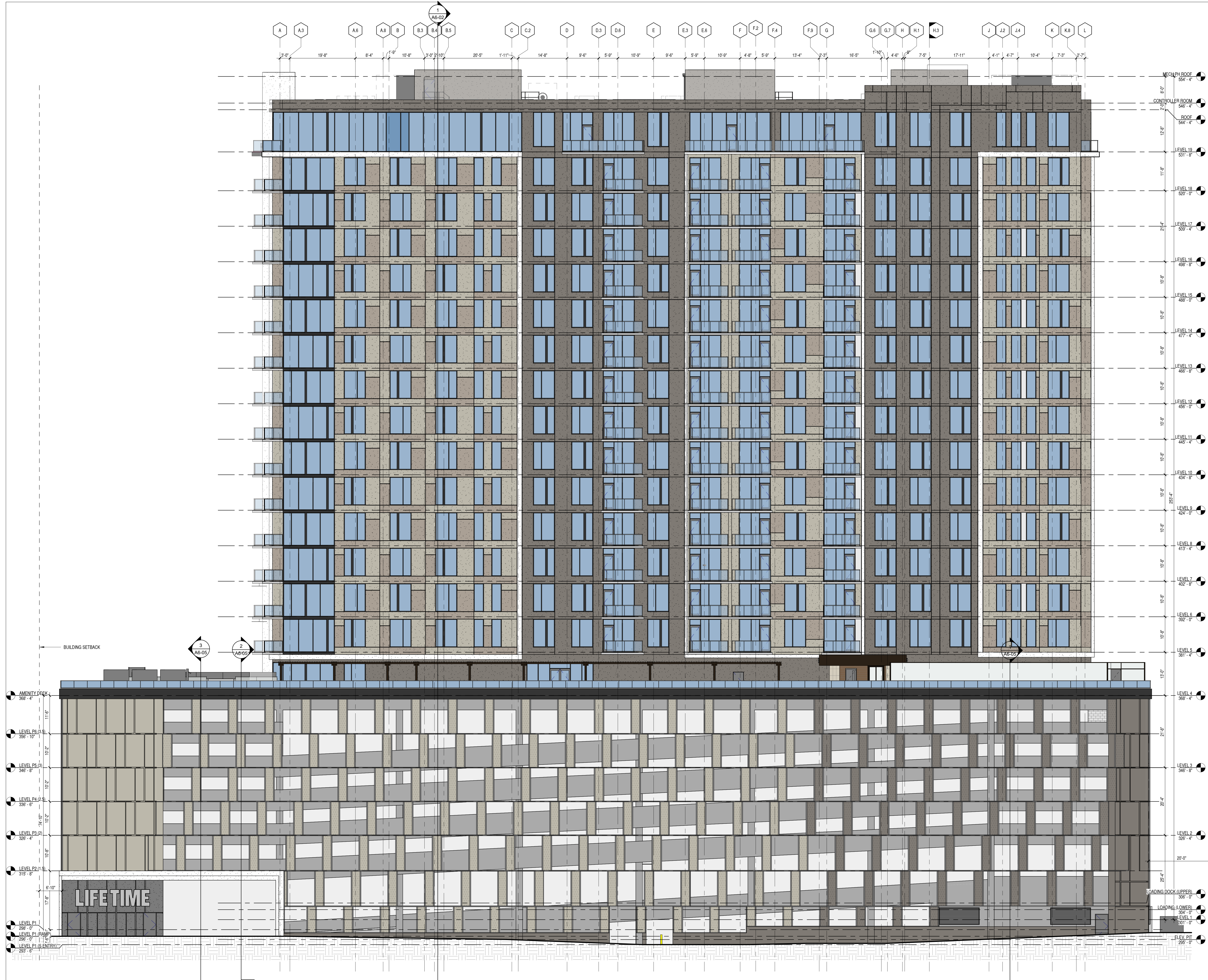
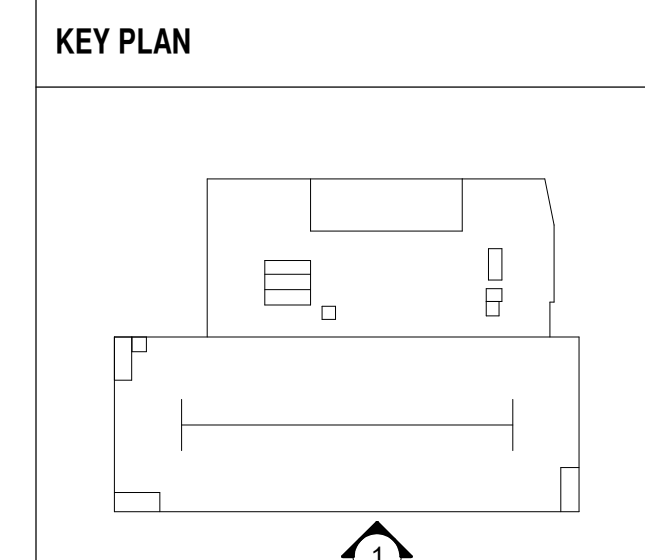
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07/26/24	100% DESIGN DEVELOPMENT	

- EXTERIOR MATERIAL LEGEND**
- DRAINABLE EIFS 1 - TAN COLOR - TOWER
 - DRAINABLE EIFS 2 - WARM TAN COLOR - TOWER / AMENITY LEVELS
 - DRAINABLE EIFS 3 - DARK TAUPE COLOR - TOWER / AMENITY LEVELS
 - DRAINABLE EIFS 4 - DARK GREY COLOR - TOWER / GROUND LEVEL ENTRANCE
 - DRAINABLE EIFS 5 - WHITE COLOR - FINS / RIBBONS
 - DRAINABLE EIFS 6 - OFF BLACK COLOR - AMENITY LEVEL / PARKING DECK
 - PREFINISHED ALUMINUM BALCONY RAILING W/ CLEAR LAMINATED TEMPERED GLASS INFILL PANELS
 - COATED BALCONY SLAB
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 - PREFINISHED ALUMINUM CLAD CANOPY

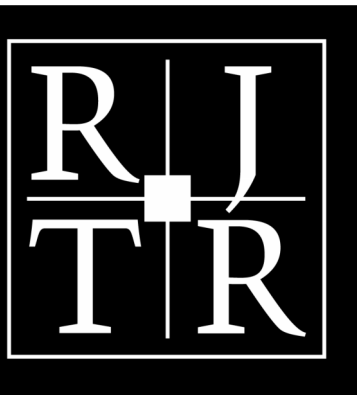
- LIGHTING & SIGNAGE LEGEND**
- TYP. RETAIL WALL SCONCE
 - WALL MOUNTED SIGNAGE W/ STEEL CHANNEL
 - CANOPY SIGNAGE
 - BEAM SIGNAGE / PARKING ENTRY SIGNAGE
 - PARKING BLADE SIGN
 - BANNER SIGN



1 SOUTH ELEVATION
 3/32" = 1'-0"

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SOUTH ELEVATION
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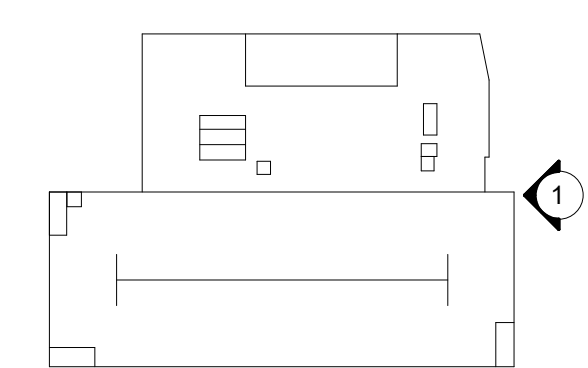
EXTERIOR MATERIAL LEGEND

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LIGHTING & SIGNAGE LEGEND

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- WALL MOUNTED SIGNAGE W/ STEEL CHANNEL
- CANOPY SIGNAGE
- BEAM SIGNAGE / PARKING ENTRY SIGNAGE
- PARKING BLADE SIGN
- BANNER SIGN

KEY PLAN



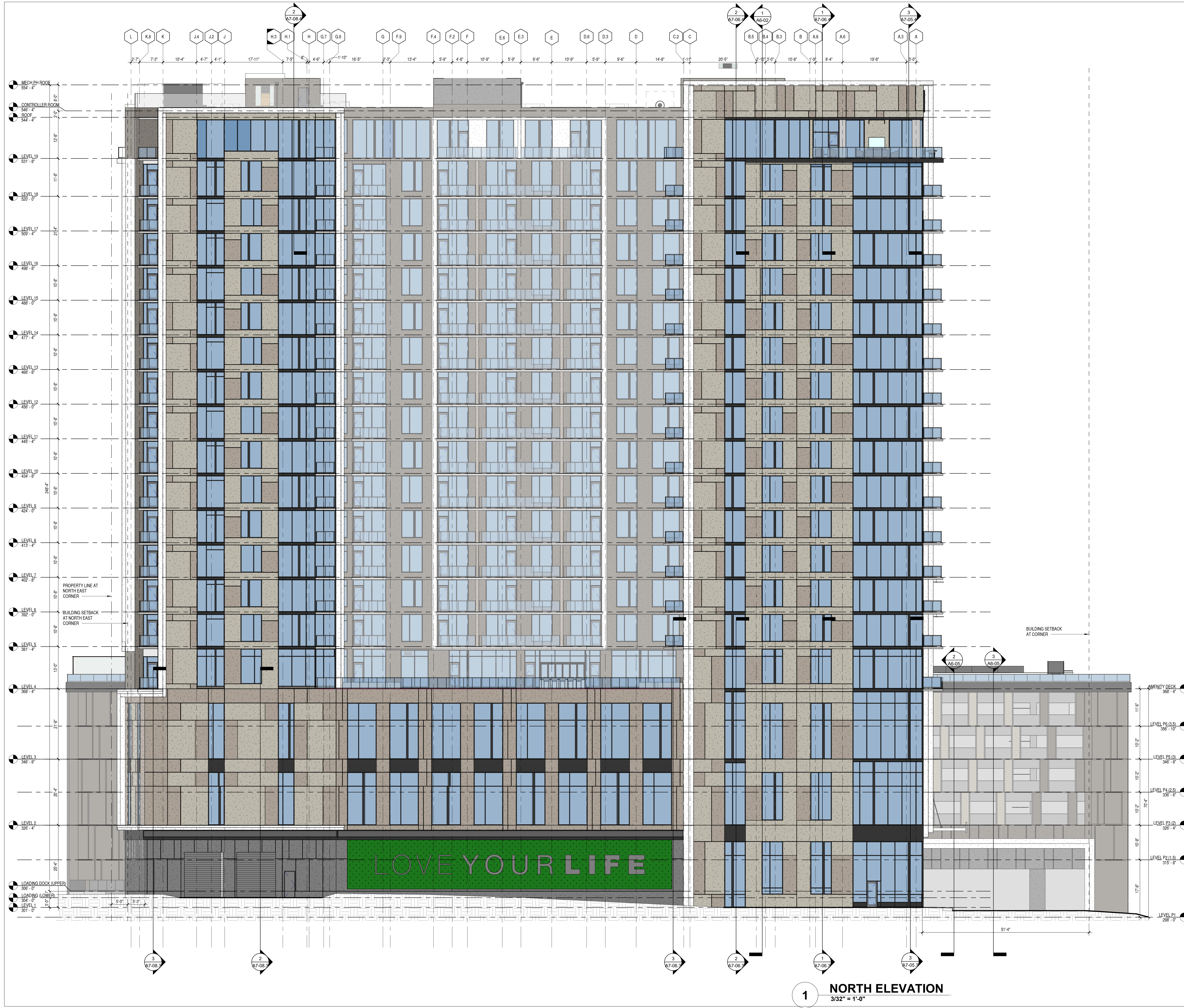
1 EAST ELEVATION
 3/32" = 1'-0"

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EAST ELEVATION
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 COMMISSION NO: 21.130.00
 DRAWING NO:

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RALEIGH, NC



EXTERIOR MATERIAL LEGEND

- DRAINABLE EIFS 1 - TAN COLOR - TOWER
- DRAINABLE EIFS 2 - WARM TAN COLOR - TOWER / AMENITY LEVELS
- DRAINABLE EIFS 3 - DARK TAUPE COLOR - TOWER / AMENITY LEVELS
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LIGHTING & SIGNAGE LEGEND

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- WALL MOUNTED SIGNAGE W/ STEEL CHANNEL
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- PARKING BLADE SIGN
- BANNER SIGN

KEY PLAN

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07/26/24		100% DESIGN DEVELOPMENT

1 NORTH ELEVATION
3/32" = 1'-0"

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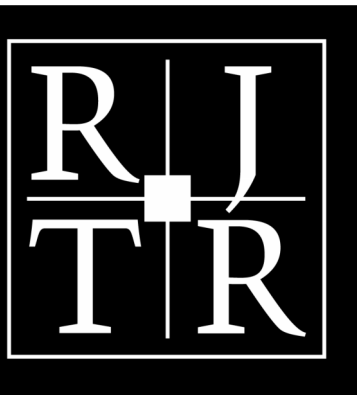
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NORTH ELEVATION
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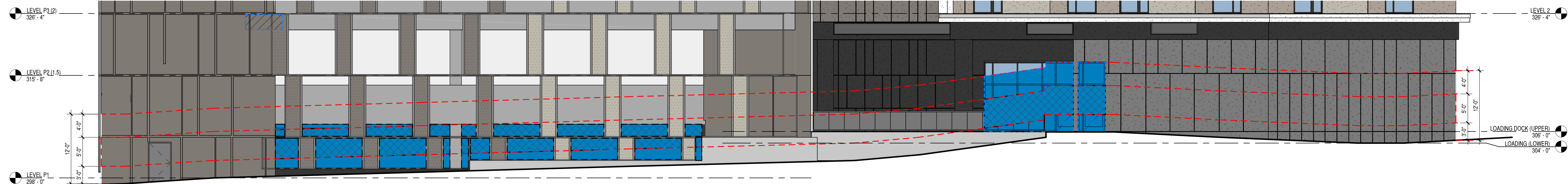


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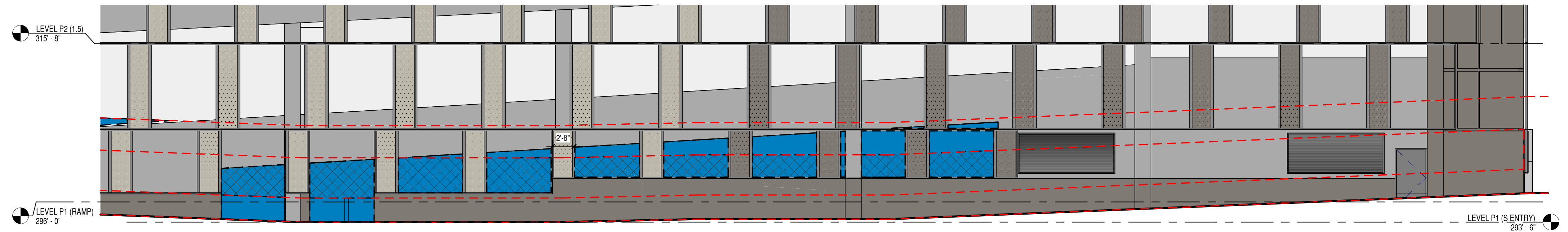
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TRANSPARENCY CALCULATIONS

GROUND STORY FACADE AREA (BETWEEN 0'-0" - 12'-0"):	2813 SF
REQUIRED WINDOWS & DOORS WITHIN GROUND STORY FACADE AREA (50%):	1406 SF
PROVIDED TRANSPARENCY WITHIN GROUND STORY FACADE AREA:	905 SF
REQUIRED WINDOWS & DOORS WITHIN 3'-0" - 8'-0" OF GROUND STORY FACADE AREA (50% OF REQUIRED AREA):	703 SF
PROVIDED TRANSPARENCY WITHIN 3'-0" - 8'-0" OF GROUND STORY FACADE AREA:	344 SF



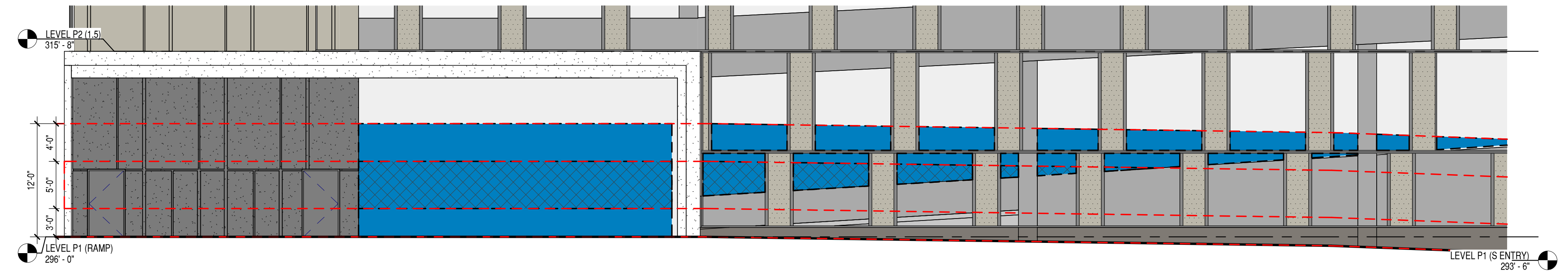
3 EAST ELEVATION - TRANSPARENCY
 1/8" = 1'-0"



2 SOUTH ELEVATION
 1/8" = 1'-0"

TRANSPARENCY CALCULATIONS

GROUND STORY FACADE AREA (BETWEEN 0'-0" - 12'-0"):	3972 SF
REQUIRED WINDOWS & DOORS WITHIN GROUND STORY FACADE AREA (50%):	1986 SF
PROVIDED TRANSPARENCY WITHIN GROUND STORY FACADE AREA:	2291 SF
REQUIRED WINDOWS & DOORS WITHIN 3'-0" - 8'-0" OF GROUND STORY FACADE AREA (50% OF REQUIRED AREA):	993 SF
PROVIDED TRANSPARENCY WITHIN 3'-0" - 8'-0" OF GROUND STORY FACADE AREA:	1034 SF



1 SOUTH ELEVATION - TRANSPARENCY
 1/8" = 1'-0"

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ENLARGED ELEVATIONS - TRANSPARENCY
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