



# Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

| <b>Office Use Only:</b> Transaction #: _____                                                                                                                  |                                             | Planning Coordinator: <u>J. Purifoy</u>            |  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------|----------------------------------------------------|--|
| Building Type                                                                                                                                                 |                                             | Site Transaction History                           |  |
| <input type="checkbox"/> Detached                                                                                                                             | <input checked="" type="checkbox"/> General | Subdivision transaction #: _____                   |  |
| <input type="checkbox"/> Attached                                                                                                                             | <input type="checkbox"/> Mixed use          | Sketch transaction #: _____                        |  |
| <input checked="" type="checkbox"/> Apartment                                                                                                                 | <input type="checkbox"/> Open lot           | Certificate of Appropriateness #: _____            |  |
| <input type="checkbox"/> Townhouse                                                                                                                            | <input type="checkbox"/> Civic              | Board of Adjustment #: _____                       |  |
|                                                                                                                                                               |                                             | Zoning Case #: _____                               |  |
|                                                                                                                                                               |                                             | Administrative Alternate #: _____                  |  |
| GENERAL INFORMATION                                                                                                                                           |                                             |                                                    |  |
| Development name: 3402 Hillsborough Street Apartments                                                                                                         |                                             |                                                    |  |
| Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No                                                                       |                                             |                                                    |  |
| Property address(es): <b>3402 Hillsborough Street Apartments</b>                                                                                              |                                             |                                                    |  |
| Site P.I.N.(s): 0794-33-9776, 0794-43-1645, 0794-43-3517                                                                                                      |                                             |                                                    |  |
| Please describe the scope of work. Include any additions, expansions, and change of use.<br>71,000 sqft Apartment Building with related parking and utilities |                                             |                                                    |  |
| Current Property Owner/Developer Contact Name: _____                                                                                                          |                                             |                                                    |  |
| NOTE: please attach purchase agreement when submitting this form.                                                                                             |                                             |                                                    |  |
| Company: FMW at 3402 Hillsborough LLC                                                                                                                         |                                             | Title: _____                                       |  |
| Address: 132 Brevard Court Charlotte NC 28202                                                                                                                 |                                             |                                                    |  |
| Phone #: 704-334-7211                                                                                                                                         |                                             | Email: jim@fmwrealestate.com                       |  |
| Applicant Name: <del>FMW at 3402 Hillsborough LLC</del> <b>TIMMONS GROUP - PATRICK BARBEAU</b>                                                                |                                             |                                                    |  |
| Company: <b>TIMMONS GROUP</b>                                                                                                                                 |                                             | Address: <b>5410 TRINITY ROAD RALEIGH NC 27607</b> |  |
| Phone #: <b>919 - 866 - 4512</b>                                                                                                                              |                                             | Email: <b>PATRICK.BARBEAU@timmons.com</b>          |  |

**DEVELOPMENT TYPE + SITE DATE TABLE****(Applicable to all developments)**

| SITE DATA                                                                          | BUILDING DATA                                          |
|------------------------------------------------------------------------------------|--------------------------------------------------------|
| Zoning district (if more than one, please provide the acreage of each):<br>OX-3-UG | Existing gross floor area (not to be demolished):      |
| Gross site acreage: 2.06 AC                                                        | Existing gross floor area to be demolished:<br>0.85 AC |
| # of parking spaces required: 357                                                  | New gross floor area: 71000 SF                         |
| # of parking spaces proposed: 188                                                  | Total sf gross (to remain and new): 71000 SF           |
| Overlay District (if applicable):                                                  | Proposed # of buildings: 1                             |
| Existing use (UDO 6.1.4): RESIDENTIAL                                              | Proposed # of stories for each: 3                      |
| Proposed use (UDO 6.1.4): RESIDENTIAL                                              |                                                        |

**STORMWATER INFORMATION**

|                                                                                                                                                                                                    |                                                                              |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------|
| Existing Impervious Surface:<br>Acres: 0.87 Square Feet: 37897                                                                                                                                     | Proposed Impervious Surface:<br>Acres: 1.87 Square Feet: 81457               |
| Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No<br>If yes, please provide:<br>Alluvial soils: _____<br>Flood stu _____<br>FEMA Map Panel #: _____ |                                                                              |
| Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No                                                                                                             | Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

**RESIDENTIAL DEVELOPMENTS**

|                                                         |                                                                                           |
|---------------------------------------------------------|-------------------------------------------------------------------------------------------|
| Total # of dwelling units: 106                          | Total # of hotel units:                                                                   |
| # of bedroom units: 1br: 22 2br: 6 3br: 4br or more: 78 |                                                                                           |
| # of lots: 1                                            | Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No |

**SIGNATURE BLOCK**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate TIMMONS GROUP to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: FMW AT 3402 HILLSBOROUGH LLC By: J. M. Zanoni, Manager Date: 03/13/2020

Printed Name: JAMES M ZANONI



1. ON SITE BOUNDARY, TOPOGRAPHY AND PLANIMETRIC INFORMATION IS
2. TAKEN FROM A SURVEY BY NEWCOMB LAND SURVEYORS DATED 09/09/2014.
3. ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES
4. UNLESS OTHERWISE NOTED.
5. THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH.
6. BASIS OF BEARING SHOWN HEREON IS NCD GRID NAD 83 (NSRS 2007).
7. VERTICAL DATUM SHOWN HEREON IS NAVD88.
8. NOT LOCATED IN FLOOD HAZARD AREA PER FEMA MAP #3720079400J

(05-02-2006)

1. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
2. ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
3. REMOVED STOKES AND STOCKPILES APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
4. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WEATHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. A TRCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
5. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
6. THE CONTRACTOR SHALL USE NO ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
7. CONTRACTOR IS RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION, EITHER ONSITE OR IN PUBLIC ROW, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
8. ANY EXISTING UNIDENTIFIED SEPTIC SYSTEMS AND WELLS FOUND ON SITE SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT NO CHARGE TO THE OWNER.
9. VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
10. CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATION AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
11. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
12. EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WEATHER OR NOT INDICATED TO BE MODIFIED).
13. GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE OWNER.

REFERENCES:

BOOK OF MAPS 1924, PAGE 10  
BOOK OF MAPS 1986, PAGE 105  
BOOK OF MAPS 1981, PAGE 29  
BOOK OF MAPS 1998, PAGE 2306  
\*OTHERS SHOWN HEREON

**SYMBOLS**

- Ex. iron pipe/rod or nail
- Ex. concrete monument
- New iron pipe
- Calculated point
- C Cable pedestal
- T Telephone pedestal
- E Electric pedestal
- F Fiber-optic marker
- S Traffic signal box
- W Water meter
- F Fire hydrant
- V Valve (water or gas)
- S Sanitary sewer manhole
- S Sanitary sewer cleanout
- Storm curb inlet
- D Drainage inlet (w/ grate)
- D Storm drain manhole
- U Utility pole
- L Lamp post
- Signal pole
- G Guy wire
- ↓ Sign post

|        |                  |
|--------|------------------|
| — X —  | Fence            |
| — OU — | Overhead utility |
| — W —  | Water            |
| — SS — | Sanitary sewer   |
| — SD — | Storm drain      |

|          |                                        |
|----------|----------------------------------------|
| DB       | Deed Book                              |
| PB or BM | Plat Book / Book of Maps               |
| N/F      | Now or formerly                        |
| Pg.      | Page                                   |
| SF       | Square feet                            |
| Ac.      | Acres                                  |
| R/W      | Right-of-way                           |
| NCSR     | North Carolina State Route             |
| NCDOT    | North Carolina Dept. of Transportation |
| R/W      | Right-of-way                           |
| Ex.      | Existing                               |
| RCP      | Reinforced concrete pipe               |
| PVC      | Polyvinyl chloride pipe                |
| (M)      | Measured                               |
| (P)      | Platted                                |
| (D)      | Deed                                   |

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NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
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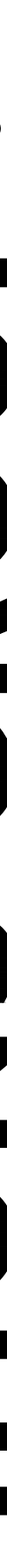
J. DOOLEY

J. DOOLEY

CHECKED BY

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AS SHOWN

The logo for the Timmons Group, featuring the company name in a bold, sans-serif font, followed by a graphic of several black dots of varying sizes arranged in a curved, upward-pointing arc.

# 2 HILLSBOROUGH STREET

HILLSBOROUGH ST

3402

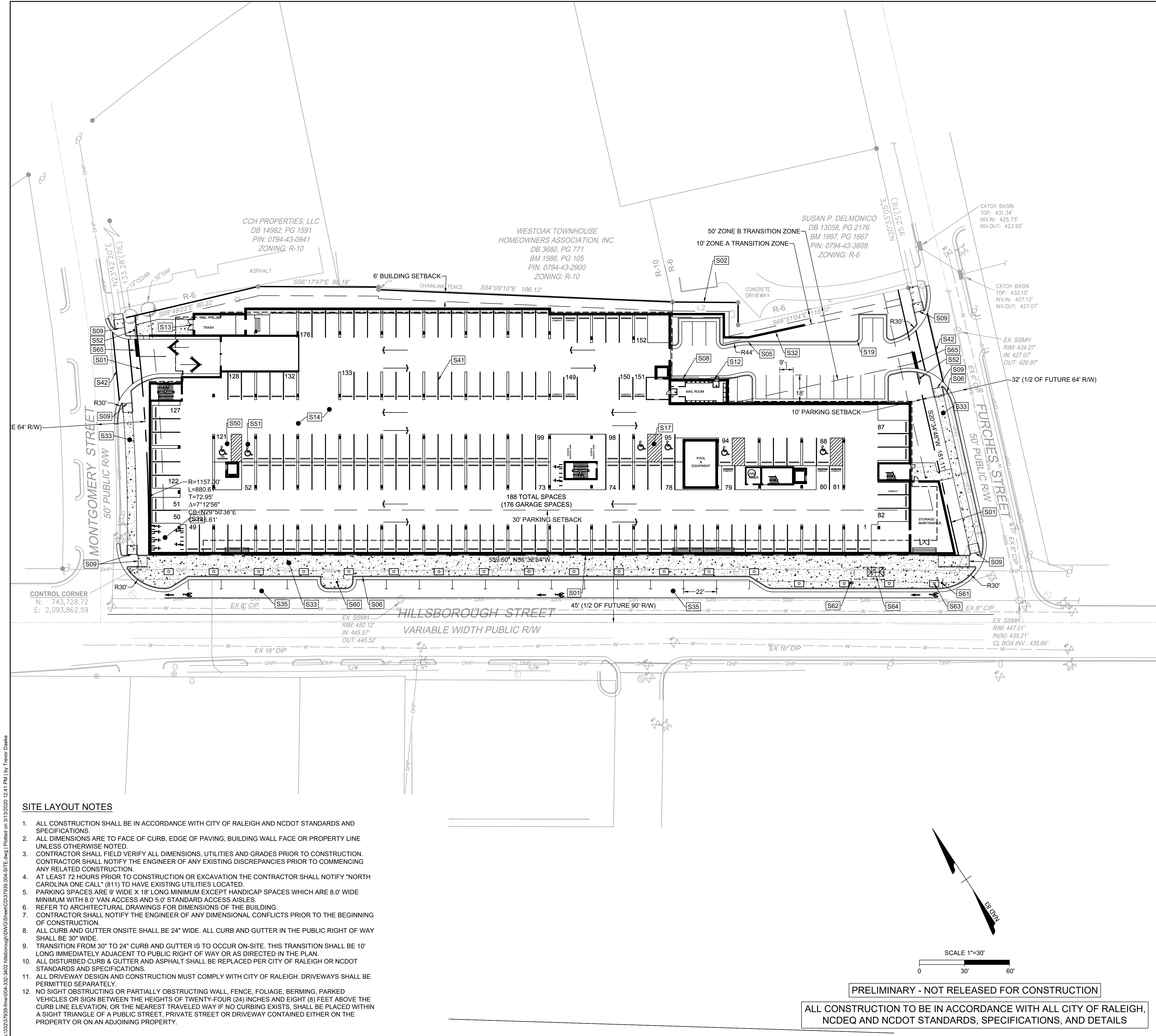
JOB NO.

SHEET NO. \_\_\_\_\_

C1.0

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SITE LAYOUT NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) TO HAVE EXISTING UTILITIES LOCATED.
- PARKING SPACES ARE 9' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESS AISLES.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER ONSITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY OR AS DIRECTED IN THE PLAN.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH CITY OF RALEIGH. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

| SITE LAYOUT KEYNOTES |                                                                                                       |
|----------------------|-------------------------------------------------------------------------------------------------------|
| NUMBER               | DESCRIPTION                                                                                           |
| S01                  | RIGHT-OF-WAY (TYP.)                                                                                   |
| S02                  | PROPERTY BOUNDARY (TYP.)                                                                              |
| S05                  | 24" CONCRETE CURB & GUTTER; REFER TO DETAIL                                                           |
| S06                  | 30" CONCRETE CURB & GUTTER; REFER TO NCDOT 846.01                                                     |
| S08                  | FLUSH CURB                                                                                            |
| S09                  | SIDEWALK RAMP @ 8.33% MAXIMUM (TYPICAL - PER ADA AND LOCAL CODES)                                     |
| S10                  | DETECTABLE WARNINGS PER ADA REQUIREMENTS                                                              |
| S12                  | BUILDING; REFER TO ARCHITECTURAL PLANS                                                                |
| S13                  | ROLL OUT BIN LOCATION, REFER TO DETAIL AND ARCH PLANS                                                 |
| S14                  | BUILDING PRIMARY ENTRANCE                                                                             |
| S16                  | PODIUM PARKING                                                                                        |
| S17                  | CONCRETE ADA STALL (TYP.)                                                                             |
| S19                  | 3' CURB RADIUS (TYP.)                                                                                 |
| S28                  | EXISTING ROAD CENTERLINE                                                                              |
| S29                  | BIKE RACK; REFER TO DETAIL                                                                            |
| S32                  | RETAINING WALL (DESIGN BY OTHERS)                                                                     |
| S33                  | 4" THICK CONCRETE SIDEWALK; REFER TO PLANS FOR WIDTH DIMENSIONS                                       |
| S35                  | ROAD WIDENING FOR BICYCLE LANE AND PARALLEL PARKING                                                   |
| S40                  | EXISTING PAVEMENT TO REMAIN                                                                           |
| S41                  | PARKING STALL STRIPING PER LOCAL CODES (TYP.)                                                         |
| S42                  | PEDESTRIAN CROSSWALK STRIPING (PER NCDOT REQUIREMENTS)                                                |
| S43                  | STANDARD DUTY CONCRETE; REFER TO DETAIL                                                               |
| S50                  | VAN ACCESSIBLE PARKING SIGN (TYPICAL - PER ADA AND LOCAL REQUIREMENTS); R7-8A (MUTCD)                 |
| S51                  | ADA ACCESSIBLE PARKING SPACE STRIPING AND SYMBOL OF ACCESSIBILITY (TYPICAL - PER ADA AND LOCAL CODES) |
| S52                  | "STOP" SIGN; R1-1 (MUTCD)                                                                             |
| S59                  | TURN LANE STRIPING PER NCDOT STD DETAIL 1205.05                                                       |
| S60                  | NCDOT SIGN TO BE RELOCATED TO THIS LOCATION                                                           |
| S61                  | NO PARKING SIGN TO BE RELOCATED TO THIS LOCATION                                                      |
| S62                  | EXISTING BUS STOP SIGN TO REMAIN                                                                      |
| S63                  | PROPOSED LANDSCAPE MEDIAN FEATURES (TYP.)                                                             |
| S64                  | PROPOSED BUS STOP STRUCTURE AND LOCATION; TO BE DESIGNED BY OTHERS                                    |
| S65                  | STOP BAR                                                                                              |

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01/23/2020

DATE  
03/13/2020

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P. BARBEAU

SCALE  
AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

3402 HILLSBOROUGH STREET

RALEIGH - WAKE COUNTY - NORTH CAROLINA

SITE PLAN

JOB NO.  
37939.004

SHEET NO.  
C2.0

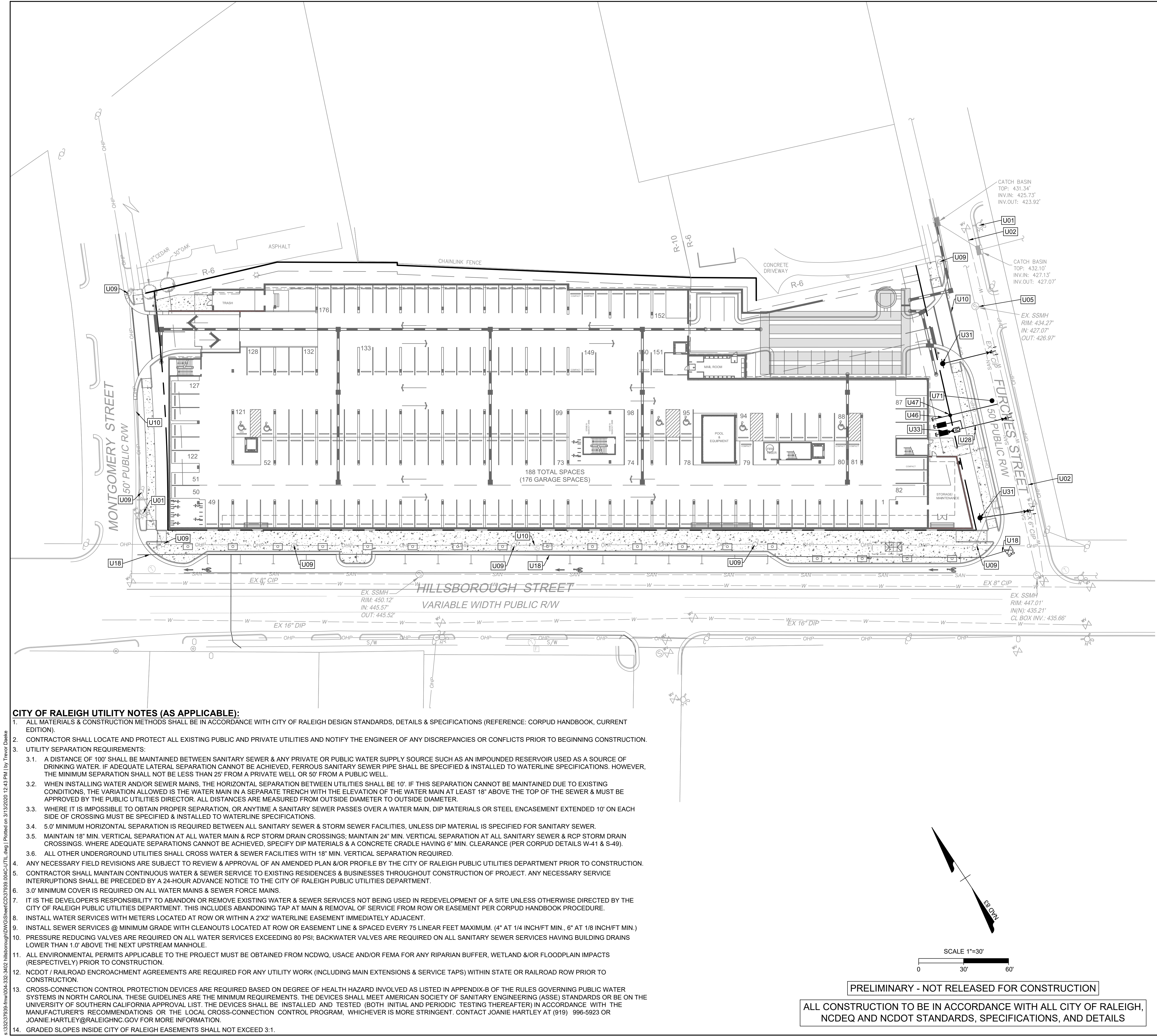
PRELIMINARY - NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

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- CITY OF RALEIGH UTILITY NOTES (AS APPLICABLE):**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
  - CONTRACTOR SHALL LOCATE AND PROTECT ALL EXISTING PUBLIC AND PRIVATE UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
  - UTILITY SEPARATION REQUIREMENTS:
    - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
    - WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
    - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
    - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
    - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS.
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
  - INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT.
  - INSTALL SEWER SERVICES @ MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM. (4" AT 1/4 INCH/FT MIN., 6" AT 1/8 INCH/FT MIN.)
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
  - GRADED SLOPES INSIDE CITY OF RALEIGH EASEMENTS SHALL NOT EXCEED 3:1.

| UTILITY KEYNOTES |                                                                                                                                                       |
|------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------|
| NUMBER           | DESCRIPTION                                                                                                                                           |
| U01              | EXISTING FIRE HYDRANT                                                                                                                                 |
| U02              | EXISTING WATER LINE; CONFIRM PRIOR TO CONSTRUCTION                                                                                                    |
| U06              | EXISTING SANITARY SEWER MANHOLE (TYP.)                                                                                                                |
| U09              | EXISTING UTILITY POLE (TYP.)                                                                                                                          |
| U10              | EXISTING OVERHEAD UTILITY LINE (TYP.)                                                                                                                 |
| U18              | EXISTING GAS MAIN TO REMAIN                                                                                                                           |
| U26              | 2" TYPE "K" SOFT COPPER DOMESTIC WATER SERVICE (TYP.)                                                                                                 |
| U31              | FIRE HYDRANT ASSEMBLY (TYP.)                                                                                                                          |
| U33              | 2" RPZ DOMESTIC BFP IN ABOVE GRADE AND INSULATED ENCLOSURE (WILKINS 375 OR AS APPROVED BY CITY OF RALEIGH); BACKFLOW PREVENTER (REFER TO DETAIL W-36) |
| U34              | 2" DOMESTIC WATER METER & CURB STOP                                                                                                                   |
| U46              | 6" PVC SANITARY SEWER SERVICE (TYP.)                                                                                                                  |
| U47              | CLEANOUT (TYP.), TRAFFIC RATED IF LOCATED WITHIN PAVEMENT; REFER TO DETAIL.                                                                           |
| U71              | CUT AND PATCH EXISTING PAVEMENT                                                                                                                       |

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

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DATE  
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DATE  
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DRAWN BY  
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DESIGNED BY  
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CHECKED BY  
P. BARBEAU

SCALE  
AS SHOWN

REVISION DESCRIPTION

REVISION PER CITY OF RALEIGH COMMENTS

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

3402 HILLSBOROUGH STREET

RALEIGH - WAKE COUNTY - NORTH CAROLINA

UTILITY PLAN

JOB NO.  
37939.004

SHEET NO.  
C5.0



PRELIMINARY  
NOT FOR  
CONSTRUCTION

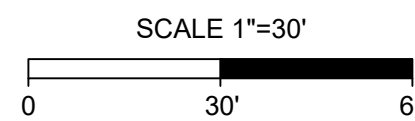
REVISION DESCRIPTION  
REVISION PER CITY OF RALEIGH COMMENTS

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### HATCH LEGEND

|                                                                                      |                        |
|--------------------------------------------------------------------------------------|------------------------|
|  | VEHICULAR SURFACE AREA |
|  | A2 PROTECTIVE YARD     |



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH,  
NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

1. PROPERTY CONTAINS NO QUALIFYING TREE CONSERVATION AREAS PER UDO SEC. 9.1.
2. SEE DETAIL SHEETS FOR PERTINENT TREE PLANTING DETAILS.
3. MECHANICAL EQUIPMENT TO BE ROOF MOUNTED. SEE ARCHITECTURAL DRAWINGS FOR SCREENING/PARAPET DETAILS.
4. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

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**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866.4951 FAX 919.833.8124 [www.timmons.com](http://www.timmons.com)

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DATE  
03/13/2020

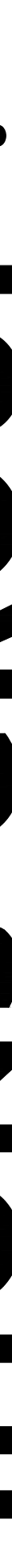
332

332

BARBEAU

SCALE  
SHOWN

|  |  |
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**TIMMONS GROUP**

3402 HILLSBOROUGH STREET  
RALEIGH - WAKE COUNTY - NORTH CAROLINA

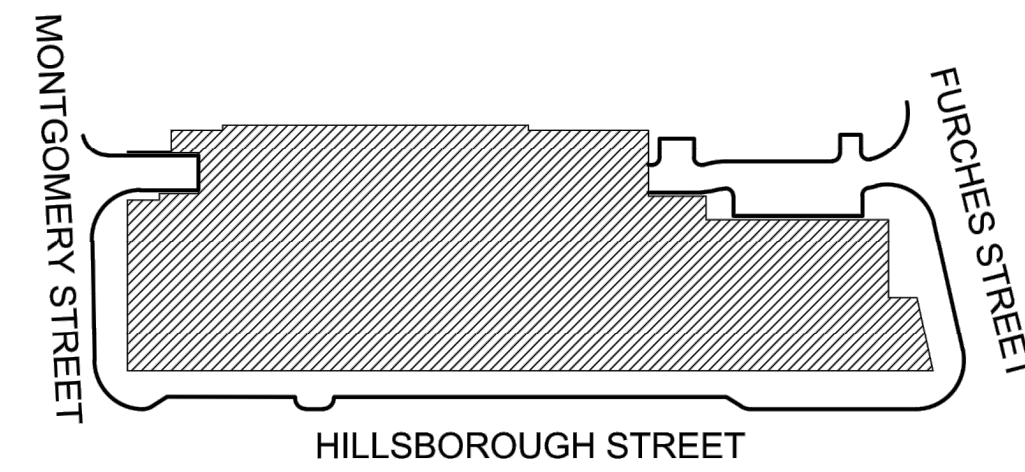
LANDSCAPE PLAN

JOB NO.  
7939.004

SHEET NO.  
C6 0

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6 KEY PLAN  
NOT TO SCALE



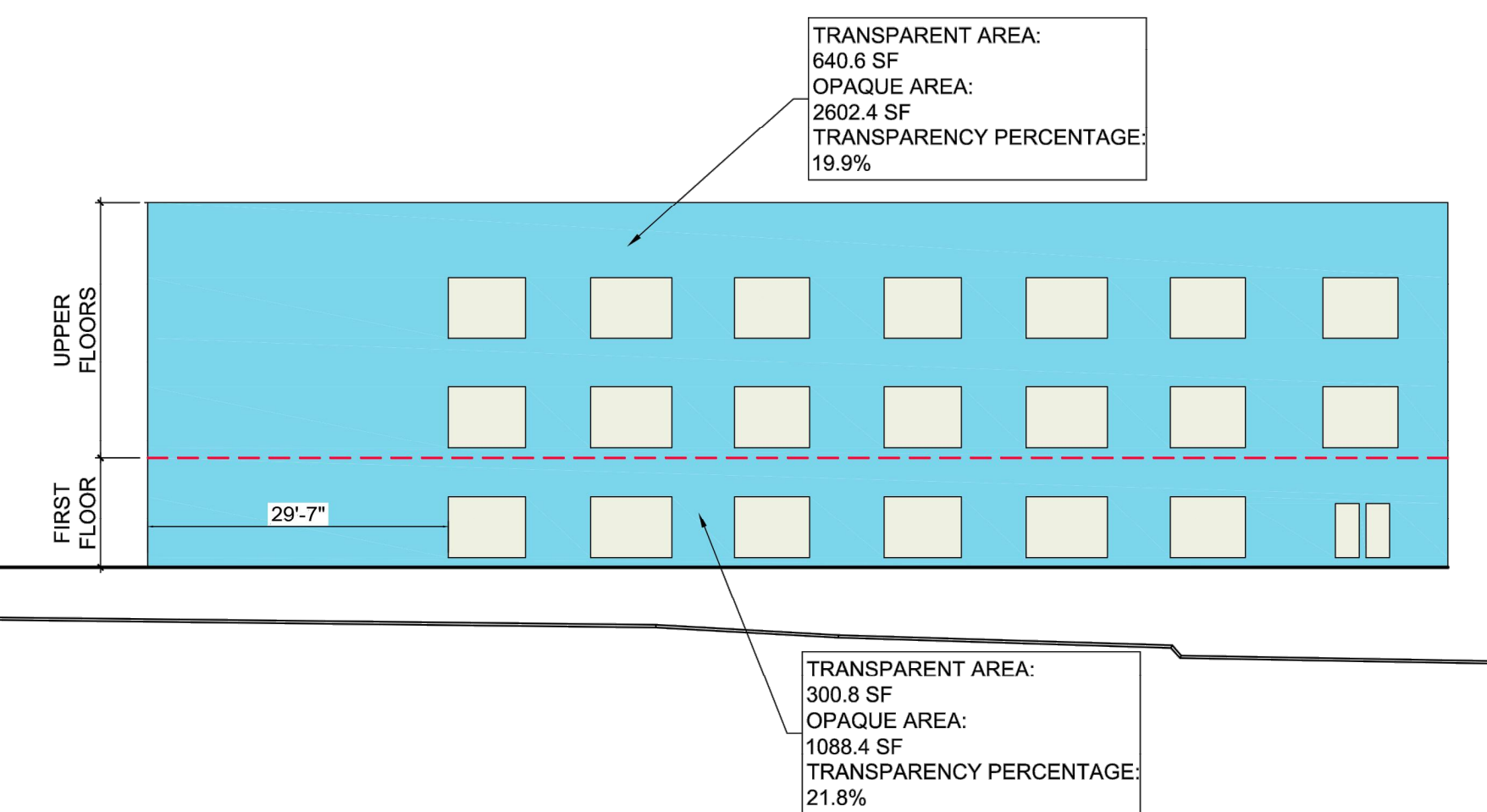
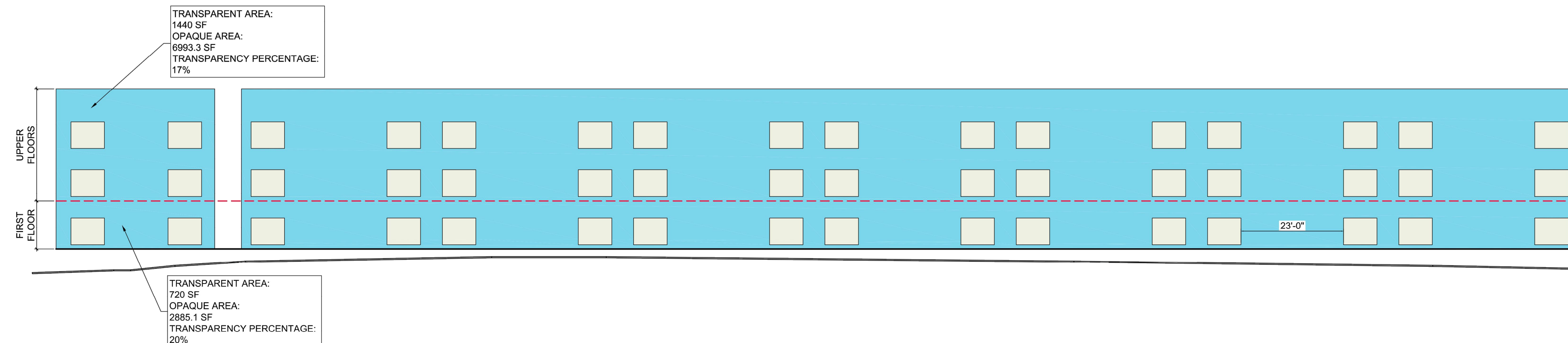
5 HILLSBOROUGH PERSPECTIVE  
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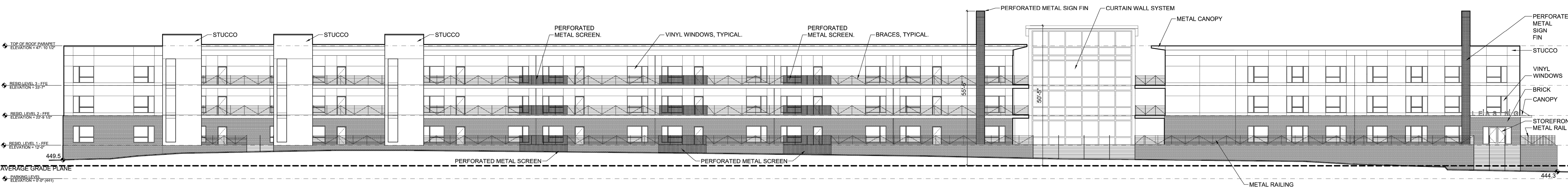
4 HILLSBOROUGH PERSPECTIVE  
NOT TO SCALE



3 HILLSBOROUGH STREET RENDERING  
NOT TO SCALE

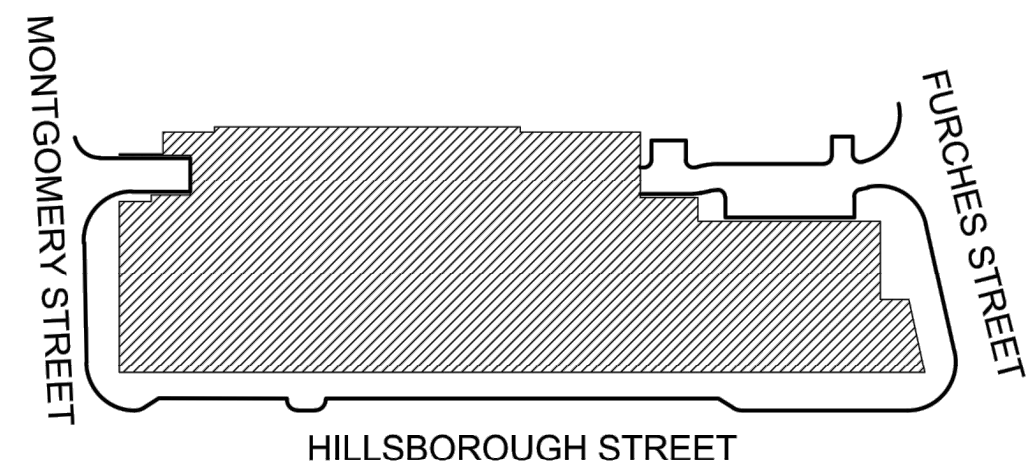


2 HILLSBOROUGH STREET ELEVATION TRANSPARENCY CALCULATIONS  
1/16"=1'-0"



1 HILLSBOROUGH STREET ELEVATION  
1/16"=1'-0"





9 KEY PLAN  
NOT TO SCALE



8 FURCHES STREET RENDERING  
NOT TO SCALE



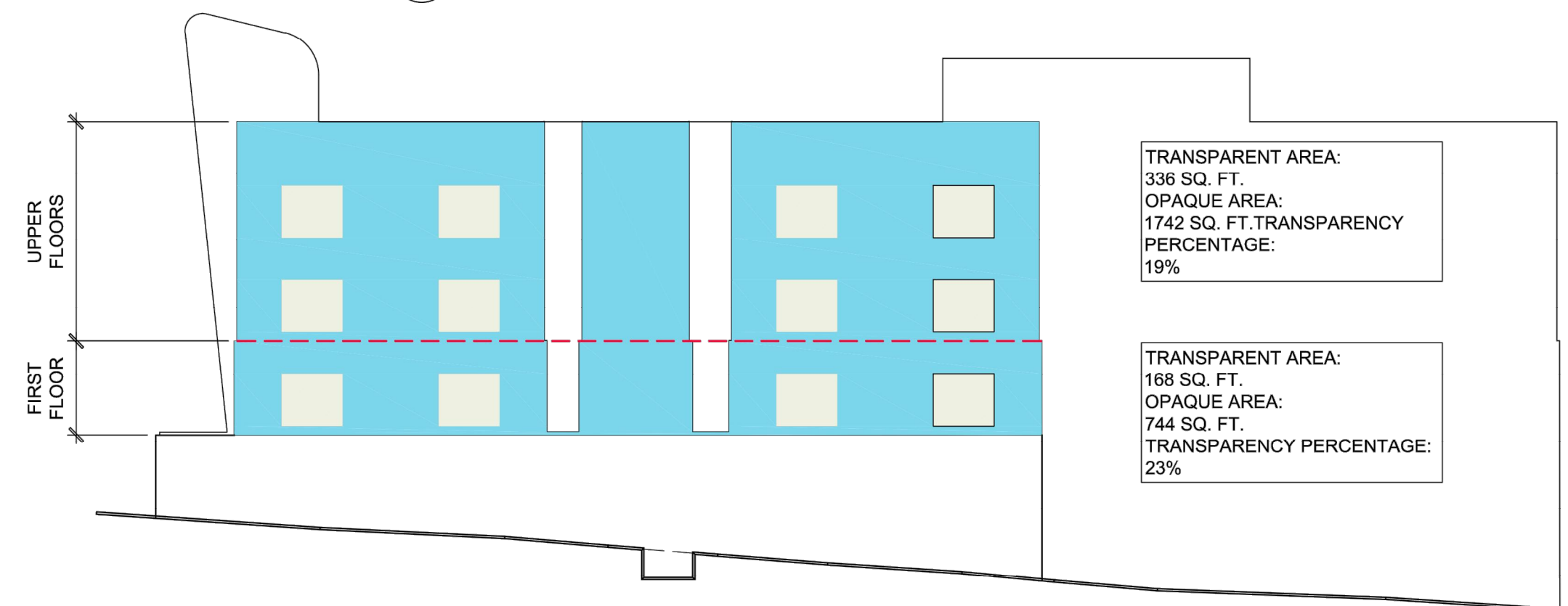
7 MONTGOMERY STREET RENDERING  
NOT TO SCALE



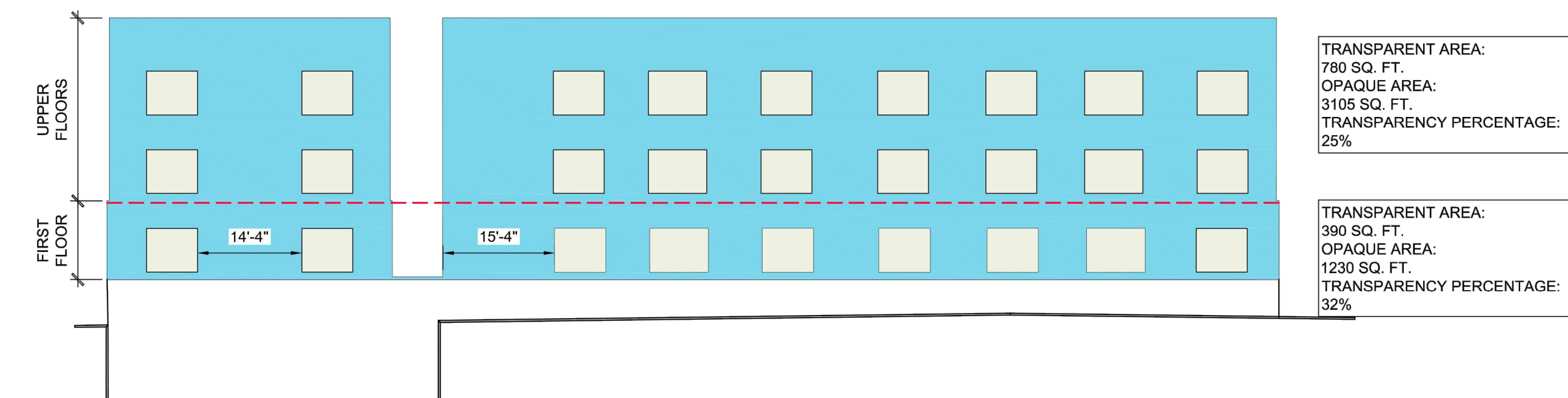
6 FURCHES STREET RENDERED ELEVATION  
NOT TO SCALE



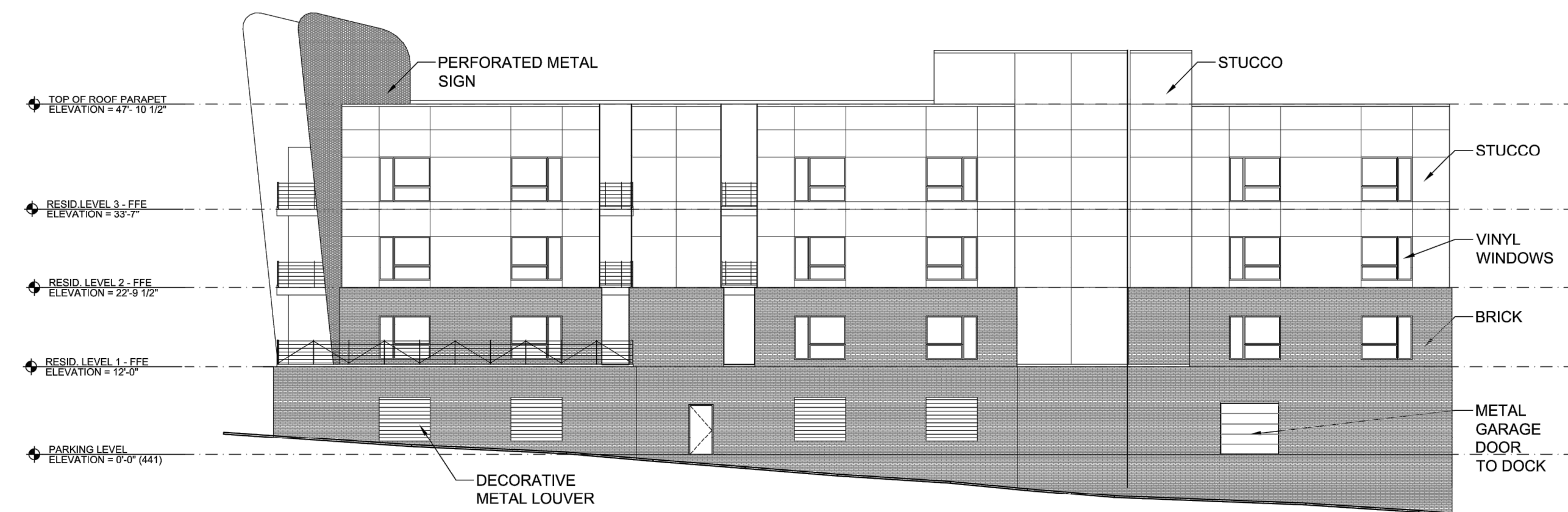
5 MONTGOMERY STREET RENDERED ELEVATION  
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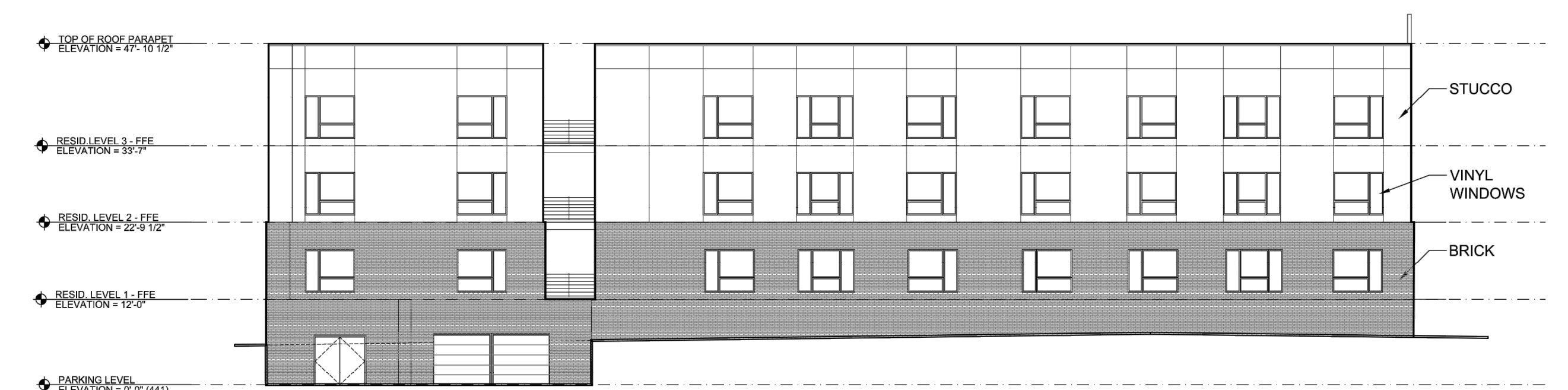
4 FURCHES STREET ELEVATION TRANSPARENCY CALCULATIONS  
1/16"=1'-0"



3 MONTGOMERY STREET ELEVATION  
1/16"=1'-0"

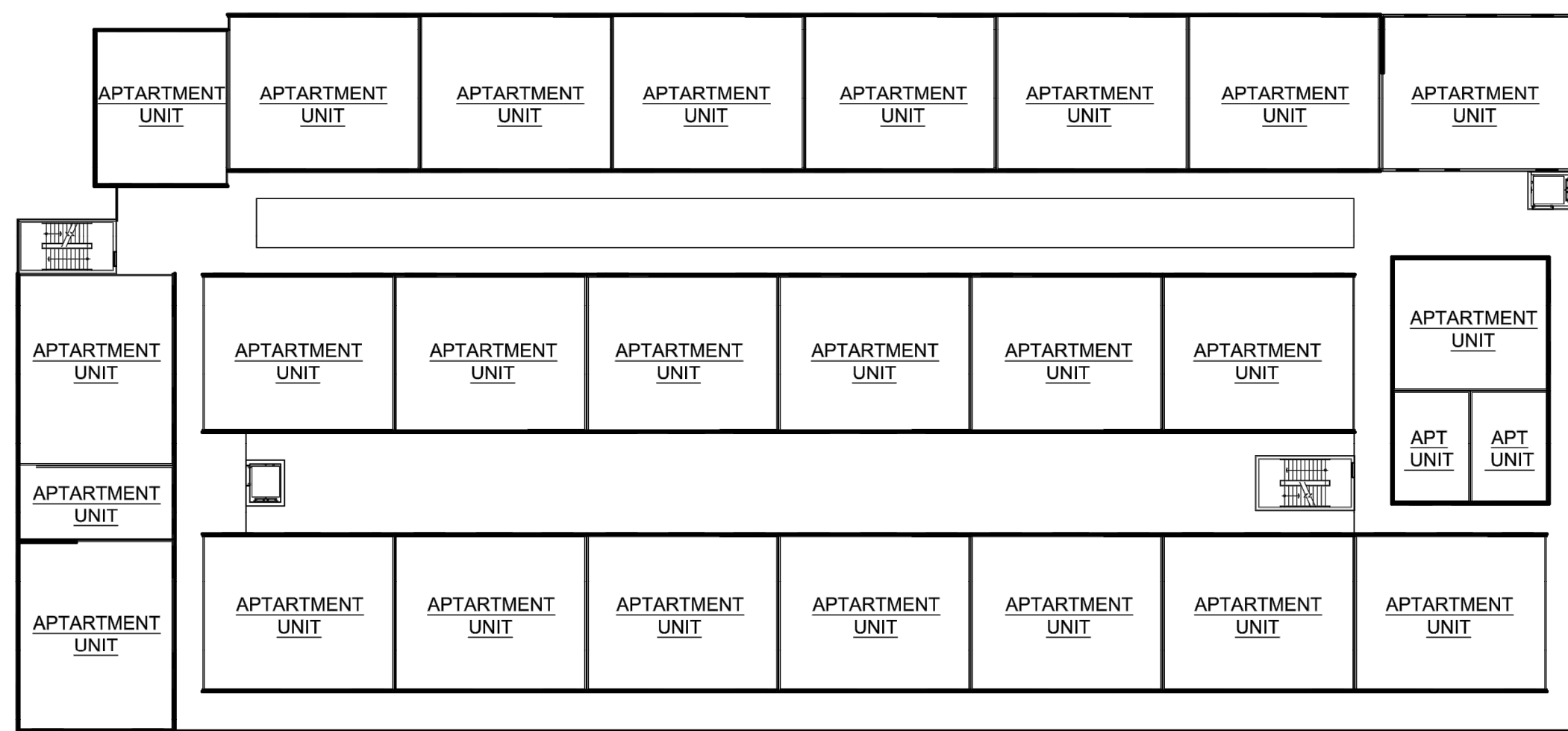


2 FURCHES STREET ELEVATION  
1/16"=1'-0"

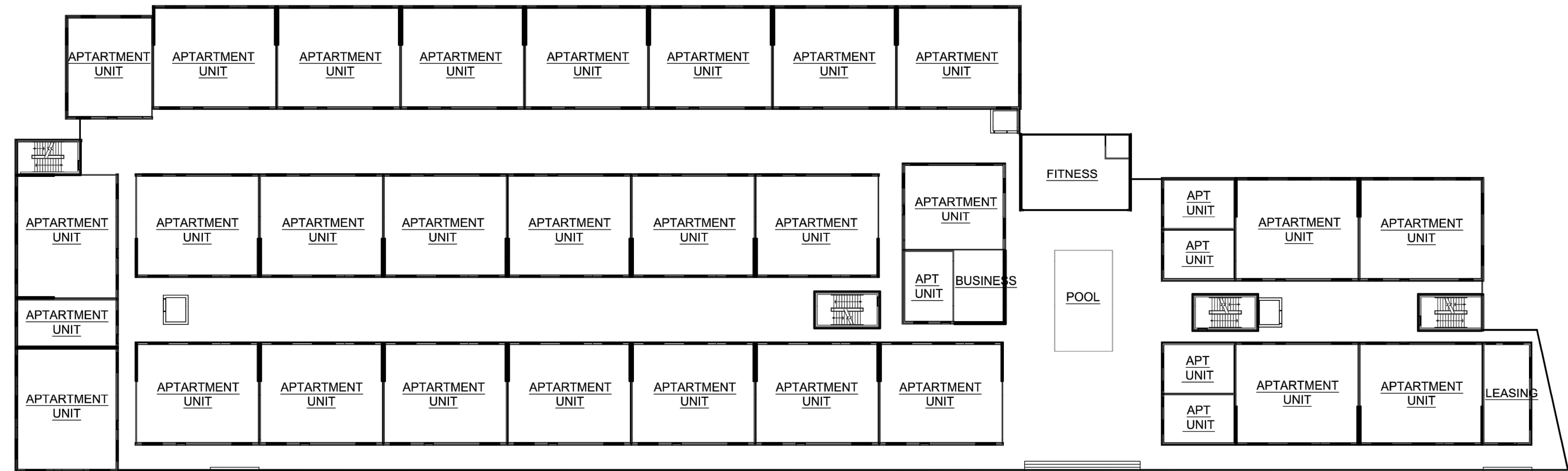
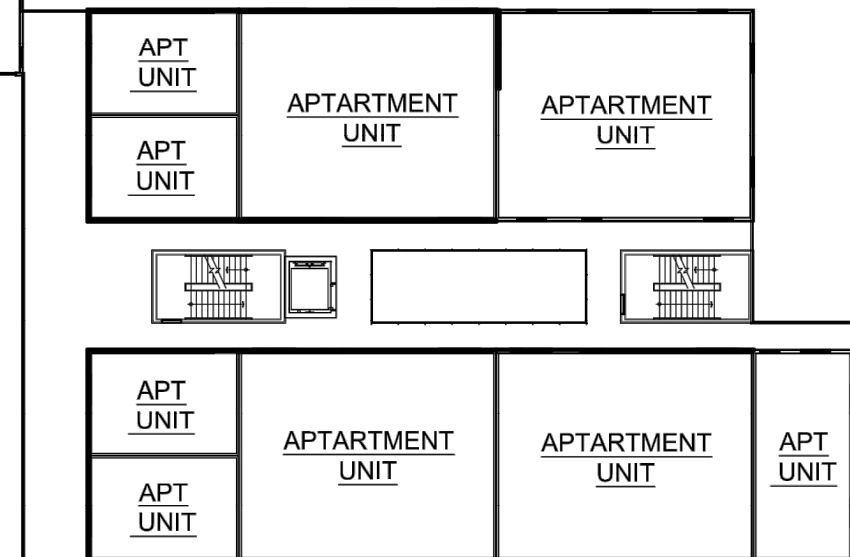


1 MONTGOMERY STREET ELEVATION  
1/16"=1'-0"

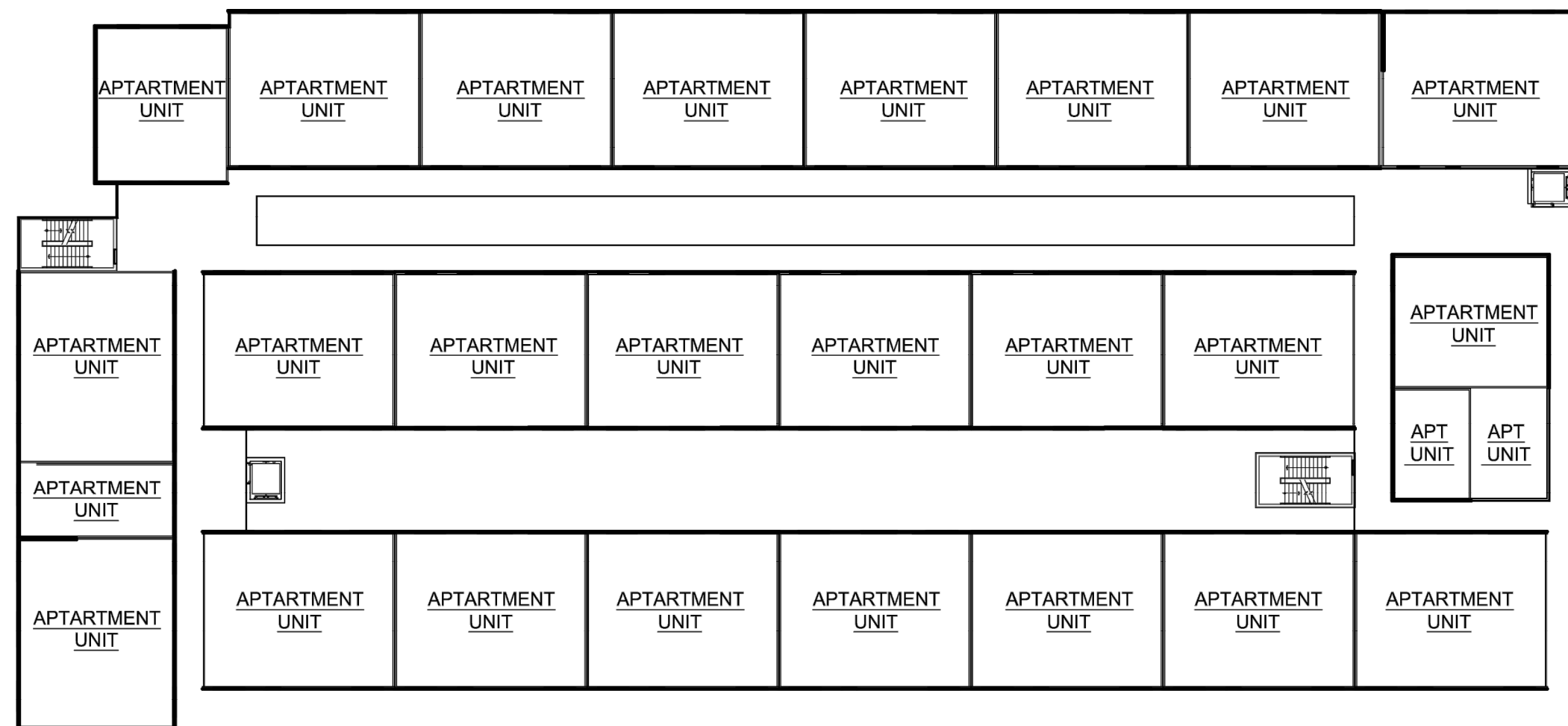




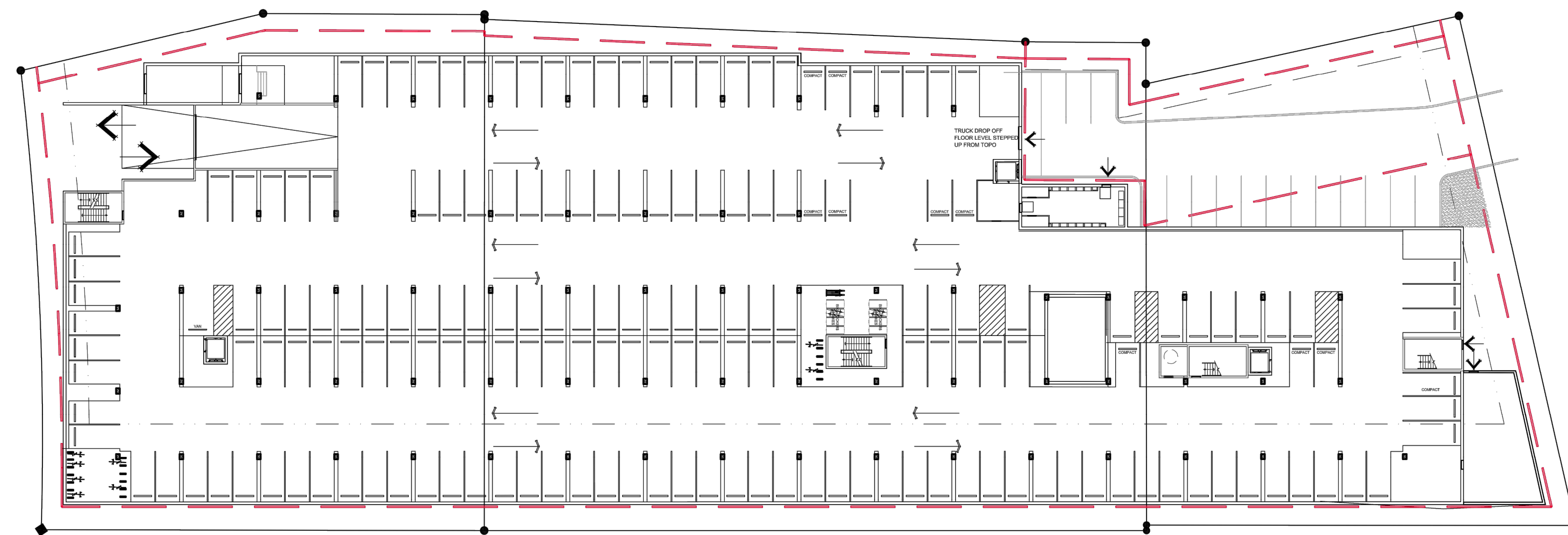
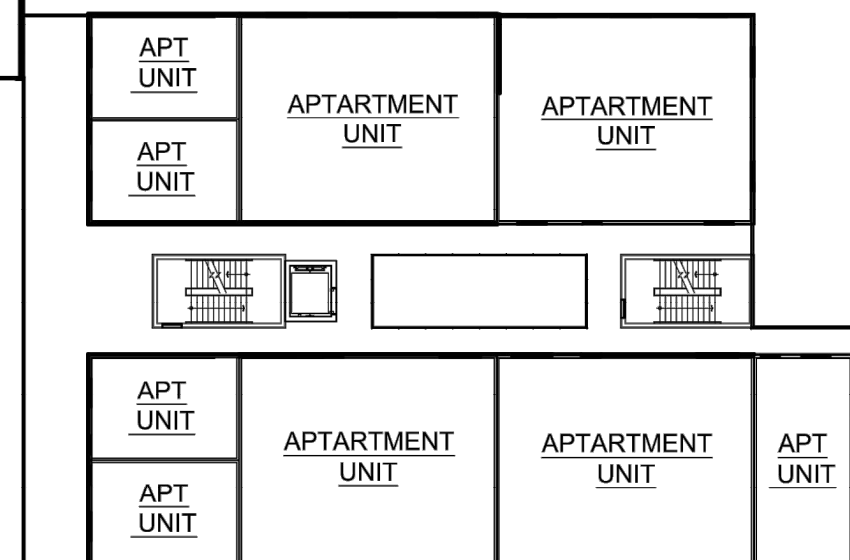
4 THIRD FLOOR PLAN  
1/32"=1'-0"



2 FIRST FLOOR PLAN  
1/32"=1'-0"



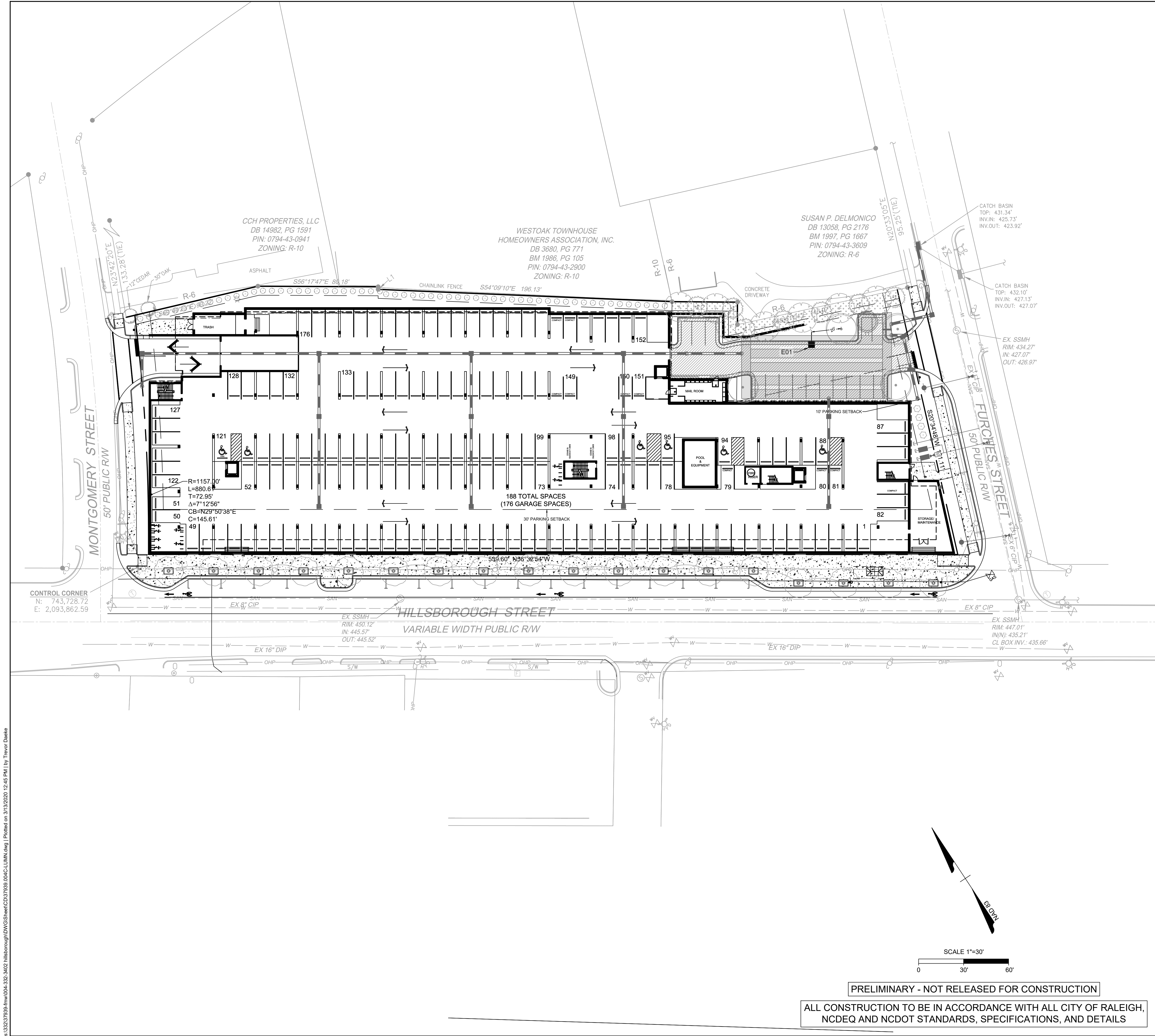
3 SECOND FLOOR PLAN  
1/32"=1'-0"



1 GARAGE PLAN  
1/32"=1'-0"



s:\32\37939\fmw\004-332-3402 Hillsborough\DWG\Sheet\CD\37939-004\CD-LUMN.dwg | Plotted on 3/13/2020 12:45 PM | by Trevor Deike



| SITE LAYOUT KEYNOTES |                   |
|----------------------|-------------------|
| NUMBER               | DESCRIPTION       |
| E01                  | LIGHT POLE (TYP.) |

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CONSTRUCTION

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REVISION DESCRIPTION

REVISION PER CITY OF RALEIGH COMMENTS

DATE

01/23/2020

DATE

03/13/2020

DRAWN BY

332

DESIGNED BY

332

CHECKED BY

P. BARBEAU

SCALE

AS SHOWN

**TIMMONS GROUP**

NORTH CAROLINA LICENSE NO. C-1652

3402 HILLSBOROUGH STREET

RALEIGH - WAKE COUNTY - NORTH CAROLINA

SITE LIGHTING PLAN

JOB NO.

37939.004

SHEET NO.

E1.0

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