



Administrative Approval Action

Case File / Name: ASR-0020-2021
DSLC - City Gateway Apartments

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 2.01 acre site zoned DX- 20 is located at the end of Kindley Street, as part of a larger site found on the northeast corner of the intersection of Martin Luther King Blvd and S., McDowell Street. The address is 120 Kindley Street. This is on proposed lot one of subdivision case SUB-0012-2021 approved on September 1, 2021.
- REQUEST:** An approximately 221,608 square foot seven story mixed use building. Floors 1-2 retail, parking, residential amenity and lobby; floors 3-7, multi-family residential; a shared driveway and turn around on adjacent proposed lot two. This is a revision to the previously approved plan, the revision being the removal w/conditions of all TCA as per a variance granted after the fact (BOA-0048-2021).
- (BOA-0048-2021) - approved 10/13/21 - removal w/conditions of all TCA as per a variance granted after the fact
- DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SPR-0208-2021: DSLC - Site Permitting Review/Major [Signature Set]
SUB-0012-2021: DSLC - Preliminary Subdivision/Preliminary Subdivision
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 27, 2021 by Urban Design Partners.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The applicant or owner must provide a letter addressed to the assigned Planner, indicating the intent to withdraw ASR-SR-99-2016.
2. A Will Serve Letter from the private waste hauler must be provided to the City prior to final approval of the SPR application." (The Will Serve Letter must indicate that they have reviewed the plans, the point of collection, the number and type of containers that will be used, confirm that frequency can be increased based on need, and agree that they are able to service safely and effectively on a weekly basis. In conjunction with the Will Serve Letter a drawing should be included to show the general layout of the project indicating the point of collection in relation to public right of ways and streets. If collection happens within the development and not on a public street, this should be indicated.)



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3. Uncovered Outdoor Amenity Areas in DX zoning must demonstrate compliance with UDO Section 1.5.3 C 1-3.
4. Record the lot configuration in the approved subdivision, SUB-0012-2021.

Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Stormwater

1. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
2. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
3. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.
2. Initiation of the easement exchange process is required (via dedication of new easement on record plat, ending with abandonment of old easement on subsequent deed).
3. Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building).



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Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Kindley Street.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of right of way street trees by Urban Forestry Staff.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: January 19, 2025

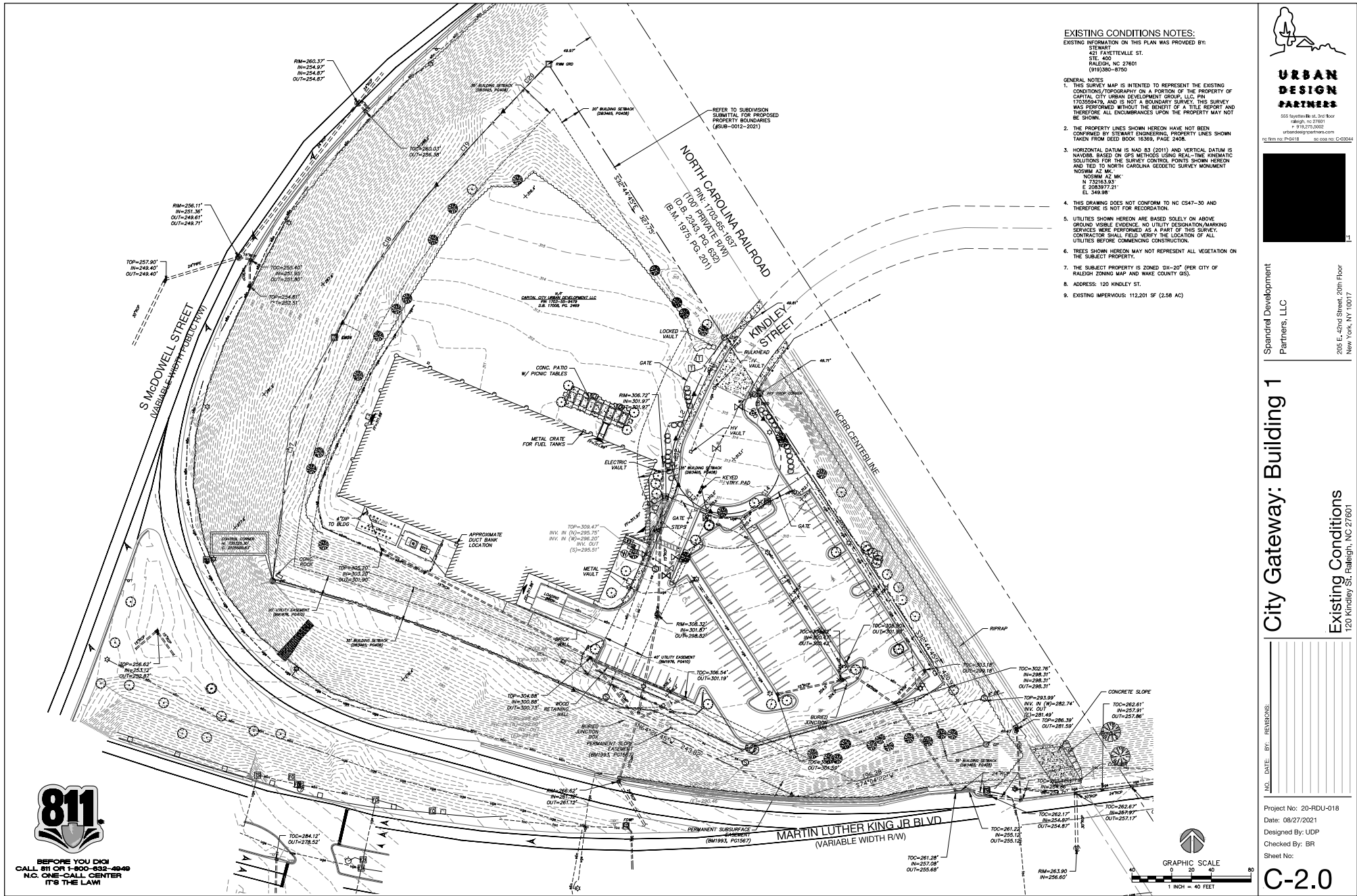
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysis Bailey Taylor Date: 09/22/2021
Development Services Dir/Designee
Staff Coordinator: Michael Walters



EXISTING CONDITIONS NOTES:

EXISTING INFORMATION ON THIS PLAN WAS PROVIDED BY:
STEWART
421 FAYETTEVILLE ST.
STE. 400
RALEIGH, NC 27601
(919)360-8750

GENERAL NOTES:

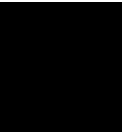
1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY OF CAPITAL CITY URBAN DEVELOPMENT GROUP, LLC. PIN 173555479, AND IS NOT A BOUNDARY SURVEY. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
2. THE PROPERTY LINES SHOWN HEREON HAVE NOT BEEN CONFIRMED BY STEWART ENGINEERING. PROPERTY LINES SHOWN TAKEN FROM DEED BOOK 16369, PAGE 2408.
3. HORIZONTAL DATUM IS NAD 83 (2011) AND VERTICAL DATUM IS NAVD83. BASED ON GPS METHODS USING REAL-TIME KINEMATIC SOLUTIONS FOR THE SURVEY CONTROL POINTS SHOWN HEREON AND TIED TO NORTH CAROLINA GEODETIC SURVEY MONUMENT NOSMM AZ MK:
N 732163.93
E 208377.21
EL 349.98
4. THIS DRAWING DOES NOT CONFORM TO NC CS47-30 AND THEREFORE IS NOT FOR RECORDATION.
5. UTILITIES SHOWN HEREON ARE BASED SOLELY ON ABOVE GROUND VISIBLE EVIDENCE. NO UTILITY DESIGNATION/MARKING SERVICES WERE PERFORMED AS A PART OF THIS SURVEY. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION.
6. TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
7. THE SUBJECT PROPERTY IS ZONED: OX-20* (PER CITY OF RALEIGH ZONING MAP AND WAKE COUNTY ZOS).
8. ADDRESS: 120 KINDLEY ST.
9. EXISTING IMPERVIOUS: 112,201 SF (2.58 AC)



**URBAN
DESIGN
PARTNERS**

5555 Fayetteville Rd., Ste. 300
Raleigh, NC 27601
P: 919.275.2000
urban@urbandesignpartners.com

PL 1000 no. P-0418 SE 008 no. C-00044



Spandor Development
Partners, LLC

City Gateway: Building 1

NO. DATE BY: REVISIONS

Project No: 20-RDU-018
Date: 08/27/2021
Designed By: UDP
Checked By: BR
Sheet No:

C-2.0

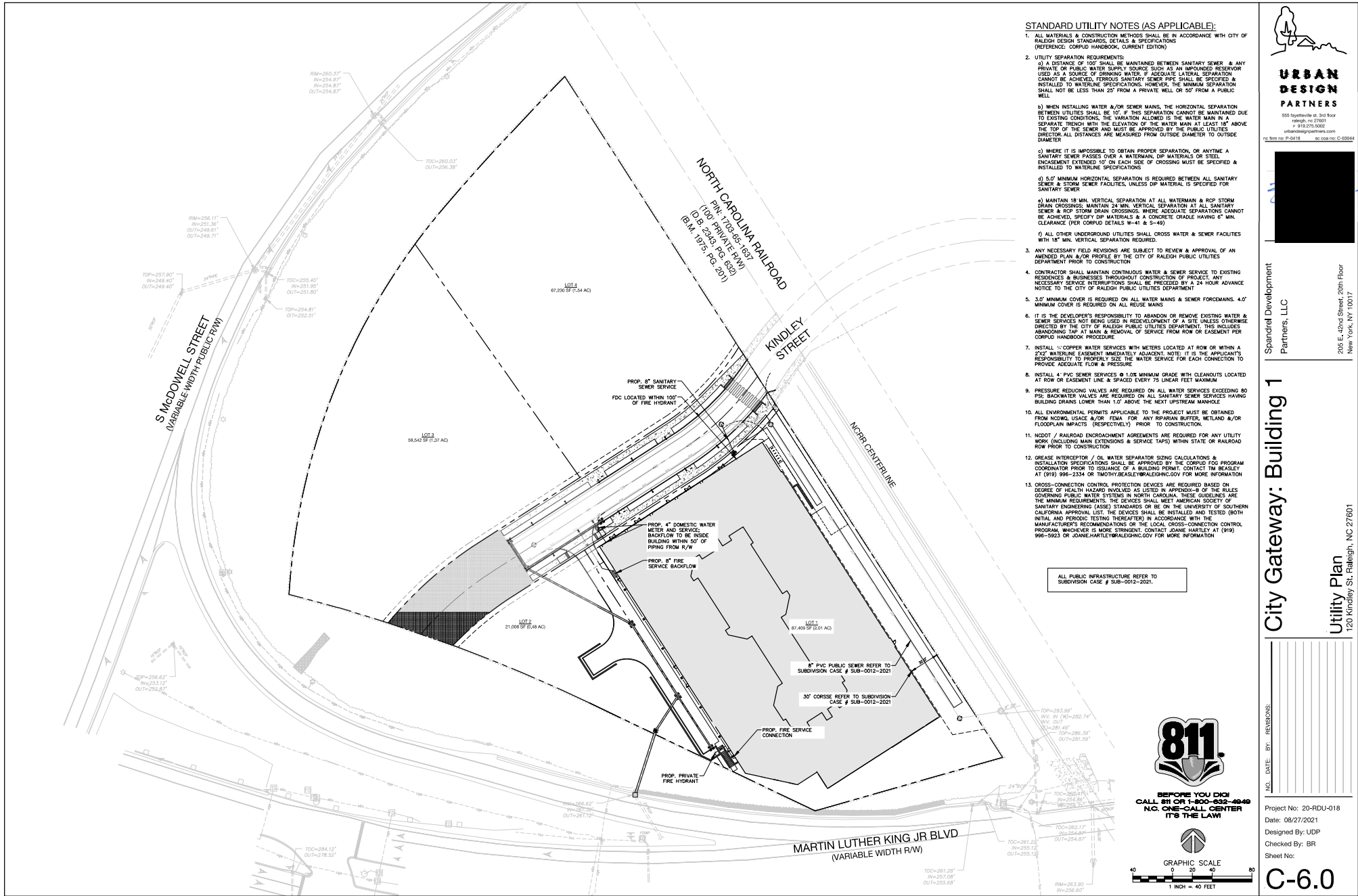
Existing Conditions
120 Kindley St. Raleigh, NC 27601

205 E. 42nd Street, 20th floor
New York, NY 10017



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N.C. ONE-CALL CENTER
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- STANDARD UTILITY NOTES (AS APPLICABLE):**
1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION)
 2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49).
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
 7. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 8. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDD, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT THE BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

ALL PUBLIC INFRASTRUCTURE REFER TO SUBDIVISION CASE # SUB-0012-2021.



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GRAPHIC SCALE
1 INCH = 40 FEET



**URBAN
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P: 919.275.5000
urban@urbandesignpartners.com

NC firm reg. P-0418 NC civil reg. C-03344



Spandor Development
Partners, LLC

City Gateway: Building 1

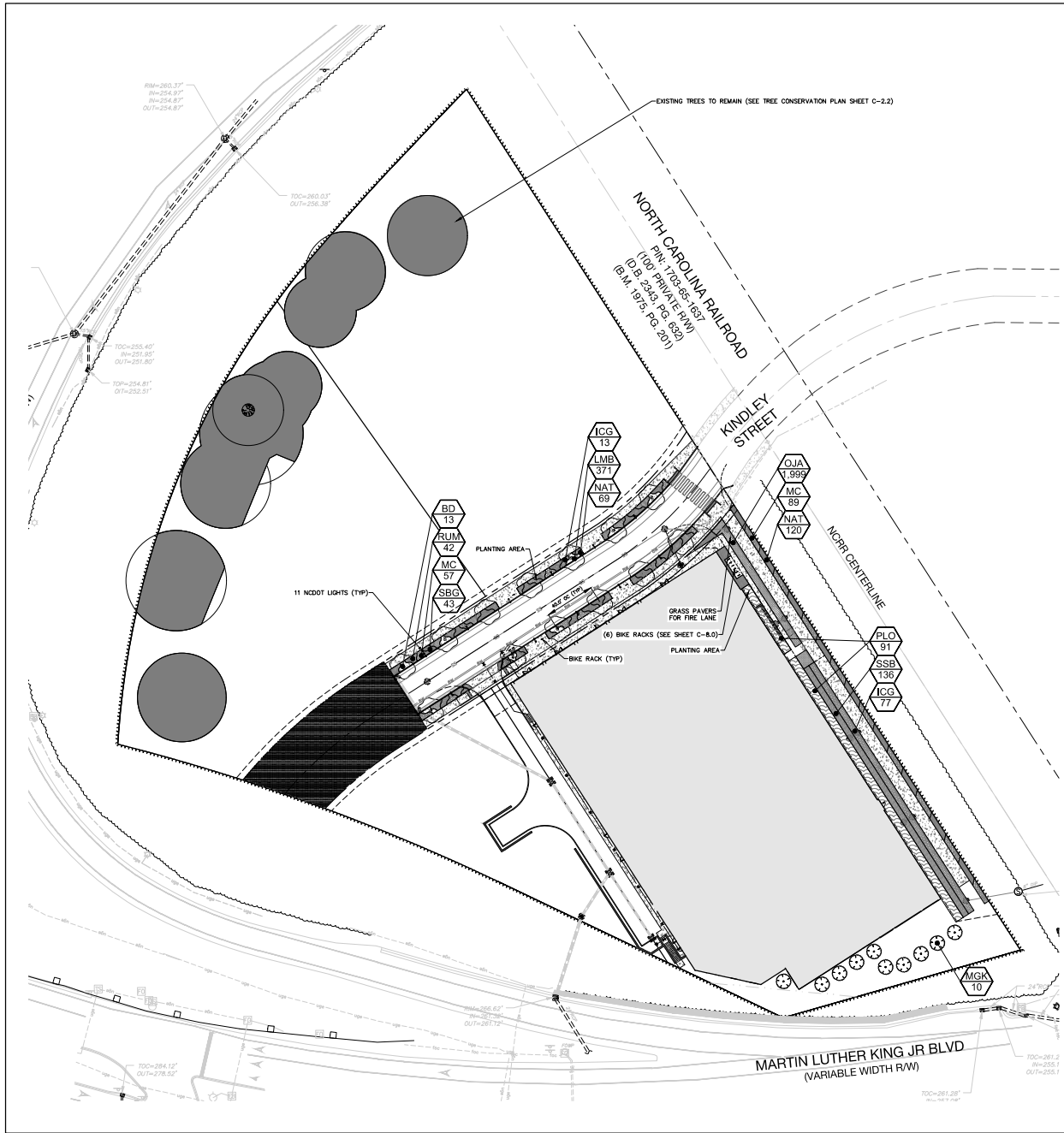
Utility Plan

120 Kindley St. Raleigh, NC 27601

NO. DATE BY: REVISIONS

Project No: 20-RDU-018
Date: 08/27/2021
Designed By: UDP
Checked By: BR
Sheet No:

C-6.0



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	NOTES
	BD	13	BETULA NIGRA "BNMTF" TM / DURAE HEAT RIVER BIRCH	B & B	3" CAL	10'-12" H	SINGLE STEM

PLANTING AREAS

- PLANTING AREA ± 6,933 SF PLANTING
- GRASS PAVERS FOR FIRE LANE ± 854 SF GRASS PAVERS

LANDSCAPE NOTES:

- GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DO NOT MATCH QUANTITIES IN PLANT SCHEDULE. GRAPHIC REPRESENTATION OF PLANTINGS WILL GOVERN.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING GRADING, UTILITIES, ETC., REFER TO GRADING AND UTILITY PLANS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NOTED, IF APPLICABLE.
- NO CHANGES TO ANY ASPECT OF THIS PLAN SET, INCLUDING BUT NOT LIMITED TO LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF THE GOVERNING MUNICIPALITY.
- THE SITE SHALL BE STABILIZED AND SEEDING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
- ALL FUTURE ABOVE GROUND HVAC EQUIPMENT AND UTILITY DEVICES (TELEPHONE & CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW PREVENTERS, HYDRO, ETC.) SHALL BE SLOTTED IN ACCORDANCE TO CITY OF RALEIGH UDO SEC. 22.5.
- ALL PLANTS AND PLANTING PROCEDURES SHALL MEET OR EXCEED A.N.L.A. STANDARDS AS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK," 2004 OR LATER EDITION.
- ALL TREES AND SHRUBS SHALL BE FULL AND WELL-BRANCHED AS IT APPLIES TO EACH SPECIES.
- ALL PLANT BEDS TO BE MULCHED WITH A MINIMUM OF 3" DEPTH. TYPICAL MATERIAL IS SHREDDED HARDWOOD. SEE CITY OF RALEIGH TREE MANUAL PG. 21 FOR EXACT SPECIFICATIONS.
- TOPSOIL SHALL BE SPREAD OVER THE ENTIRE LANDSCAPE AREA TO A DEPTH OF AT LEAST 4 INCHES IN LAWN AREAS AND 6 INCHES IN SHRUB AND GROUND COVER BEDS.
- FINAL LOCATION OF ALL TURF AREAS SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- LOCATION OF ALL PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- VERIFICATION OF PLANT QUANTITIES SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITIES PRIOR TO INSTALLATION OF ANY PLANT MATERIAL. IF CONFLICTS OCCUR, PLANT LOCATIONS SHOULD BE ADJUSTED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT BEFORE ANY HOLE IS DUG.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN OR PARKED VEHICLE.
- ALL STREET TREES PLANTED ON THE PUBLIC RIGHT-OF-WAY SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF RALEIGH CITY TREE MANUAL.
- A TREE IMPACT PRINT IS REQUIRED TO PLANT STREET TREES ON THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF BUILDING PERMITS.
- LANDSCAPING SHALL REMAIN CLEAR FROM ANY FIRE HYDRANTS ON SITE.
- ALL TREES MUST BE A MINIMUM OF 3" IN CALIPER AND 10' IN HEIGHT AT THE TIME OF PLANTING.
- ALL LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF COMPLIANCE.
- ALL TREES PLANTED WITHIN 10' OF PAVEMENT SHALL REQUIRE THE USE OF "TWO-HANDS" OR EQUIVALENT ACCORDING TO MANUFACTURER'S RECOMMENDATION.
- DRAINAGE SHALL BE PROVIDED ACCORDING TO TREE PLANTING STANDARD DETAIL (SEE SHEET LS-2.0) AND DRAINAGE SHALL BE TESTED BEFORE TREES ARE PLANTED. ALL STREET TREES REQUIRE A MINIMUM ROOT ACCESSIBLE SOIL VOLUME OF 600 CUBIC FEET.
- ALL TREES SHALL BE CENTERED IN THE TREE PIT.
- TREE PITS SHALL ACCOMMODATE A DEPTH OF 3' OF PLANTING SOIL.
- HIGH QUALITY PLANTING SOIL SHALL BE USED IN THE TREE PIT.

LANDSCAPE REQUIREMENTS:

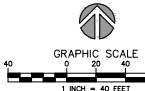
STREET TREES IN PROPOSED PUBLIC ROW

- REQUIRED TREES:
1 TREE PER 40' OF FRONTAGE
(1356 LF/40) = 9 TREES
- PROPOSED TREES: 13 TREES

XXX	PLANT CODE
XX	PLANT QUANTITY



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555 Fayetteville St., 2nd Floor
Raleigh, NC 27601
P 919.275.2600
urban@designpartners.com
N.C. Firm No. P-0418 SC 028 No. C-0304

Spandorf Development
Partners, LLC

205 E. 42nd Street, 20th Floor
New York, NY 10017

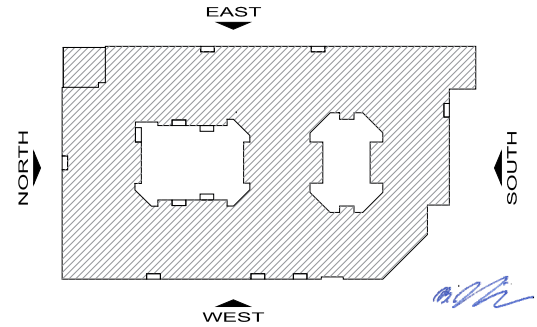
City Gateway: Building 1

Landscape Plan
120 Kindley St. Raleigh, NC 27601

NO.	DATE	BY	REVISIONS
1	08/27/2021	UDP	ISSUED FOR PERMIT

Project No: 20-RDU-018
Date: 08/27/2021
Designed By: UDP
Checked By: BR
Sheet No:

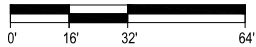
LS-1.0



NORTH ELEVATION

TRANSPARENCY % ON GROUND RETAIL AREA: 66%
(BETWEEN 0' - 12' ALONG FINISH GRADE)

SCALE: 1/16" = 1'-0" (24"x36" SHEET)



HUMPHREYS & PARTNERS ARCHITECTS, L.P.

5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com

SPANDREL DEVELOPMENT PARTNERS, LLC

ELEVATIONS

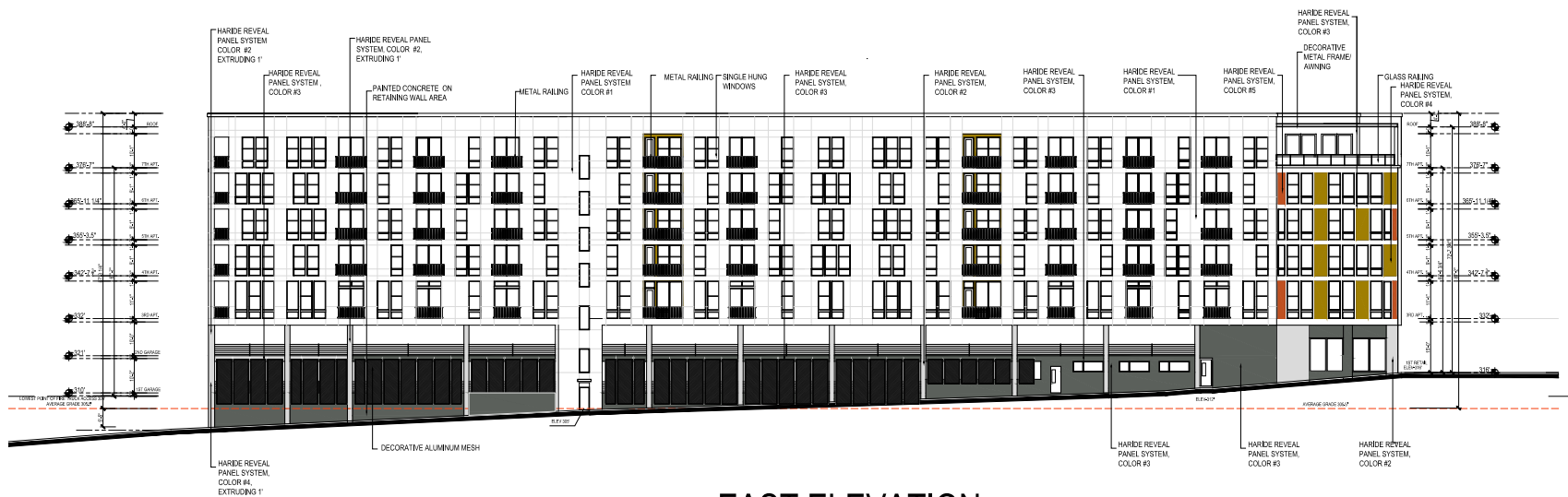
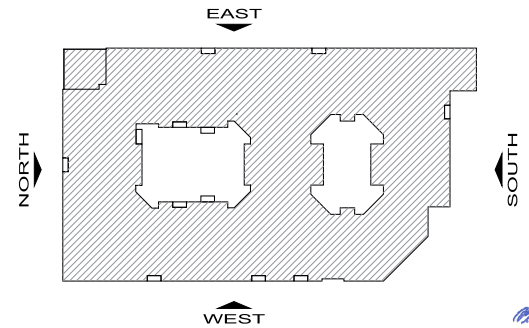
July 16, 2021

GATEWAY APARTMENTS

RALEIGH, NC
HPA# 20312

A417

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EAST ELEVATION

SCALE: 1/16" = 1'-0" (24"x36" SHEET)



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com

SPANDREL DEVELOPMENT PARTNERS, LLC

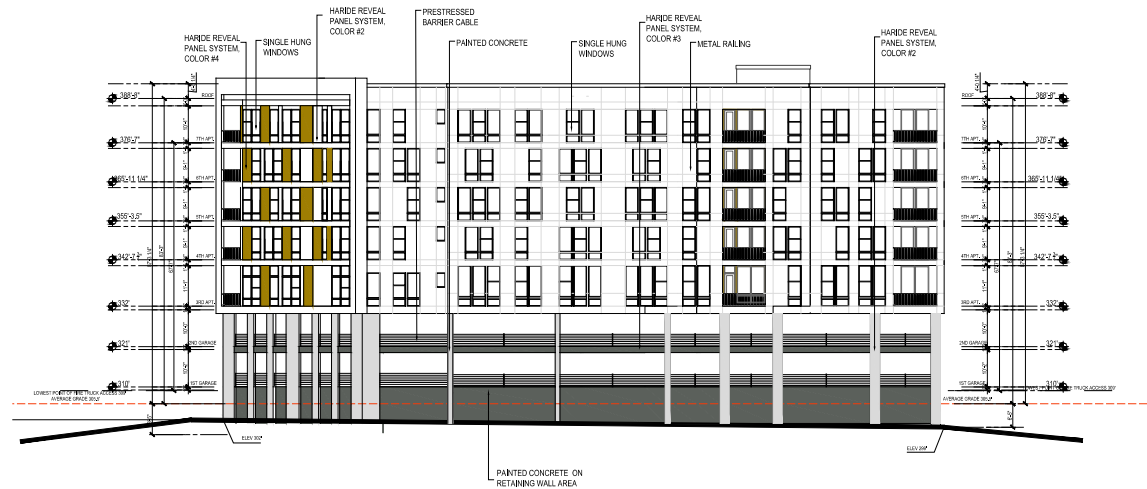
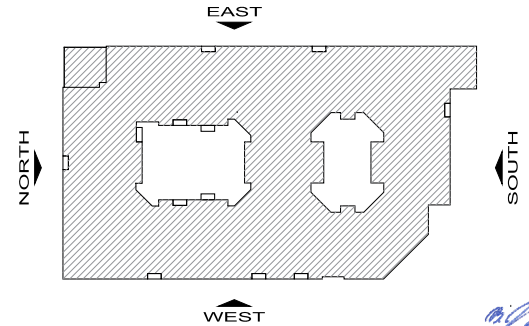
ELEVATIONS

May 13, 2021

GATEWAY APARTMENTS
RALEIGH, NC
HPA# 20312

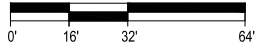
A418

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SOUTH ELEVATION

SCALE: 1/16" = 1'-0" (24"x36" SHEET)



HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com

SPANDREL DEVELOPMENT PARTNERS, LLC

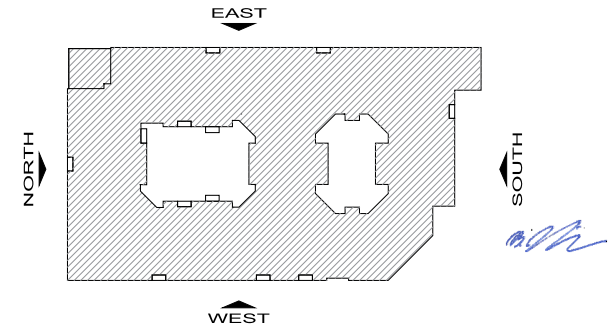
ELEVATIONS

May 13, 2021

GATEWAY APARTMENTS
RALEIGH, NC
HPA# 20312

A419

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WEST ELEVATION

SCALE: 1/16" = 1'-0" (24"x36" SHEET)



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5339 Alpha Rd., Suite 300, Dallas, TX 75240 | 972.701.9636 | www.humphreys.com

SPANDREL DEVELOPMENT PARTNERS, LLC

ELEVATIONS

May 13, 2021

GATEWAY APARTMENTS

RALEIGH, NC
HPA# 20312

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