

Case File / Name: ASR-0020-2022 DSLC - BUFFALOE BEND City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION:

This site is located on the south side of Buffaloe Road, west of Forestville Road at

5100 Forestville Road, outside the city limits.

REQUEST: Development of Lot 5 of recently approved subdivision case SUB-0075-2021. This is

a 14.57 acre site zoned CX-3-CU and SHOD-1. A proposed total 69,827 sf shopping center (63,180 sf of retail & 6,647 sf of restaurant uses) on Lot 5, consisting of 3 proposed buildings. Proposed Building #1 being 47,240 sf of retail

space; Building #2 being 15,400 sf and Building #3 being 7,187 sf.

Z-3B-92 - Effective 4/7/92: Rezoning Part B/Buffaloe Rd O&I-1 CU and Shopping

Center. Rezoning to CX-3-CU with conditional uses.

DA-11-22 - Adopted October 6, 2022. Complete relief of transparency design requirements per UDO Sec.3.2.5 & Sec.1.5.9, from required transparency % and zones for the north elevation façade; complete relief of transparency design requirements for the east, south & west facades of building #1 and complete relief of the south façades of buildings #2, #3. Condition of approval for a berm design for Stormwater measure design control.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: SUB-0075-2021: DSLC - Preliminary Subdivision/Preliminary Subdivision

FINDINGS:

City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 23, 2023 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

 Note the approved preliminary subdivision case review information for this tract, SUB-0075-2021, as well as references to the development plan approvals for the adjacent tract, SUB-0047-2022, with the ASR & civil SPR case review #, on the coversheet.



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All conditions of subdivision approval (case SUB-0075-2021) to create the parcel for this
development shall be met and the subdivision recorded at the Wake County Registry. Staff may
approve the SPR, however a hold will be placed on the permits until lots in SUB-0075-2021 have
been recorded.

Engineering

- Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.
- 4. A public infrastructure surety shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

- 5. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
- 6. Submit a private sewer extension application.

Stormwater

- A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 9. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

- 10. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
- 11. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☑ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

\checkmark	Cross Access Agreements Required	Ø	Stormwater Maintenance Covenant
			Required



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☑ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

- A cross access agreement among development lots shall be approved by the Development Services
 Department for recording in the Wake County Registry, and a copy of the recorded offer of cross
 access easement shall be returned to the Development Services Department within one day of plat
 recordation. If a recorded copy of the document is not provided within this time, further recordings
 and building permit issuance will be withheld.
- 2. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.

Public Utilities

- 3. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
- 4. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

Stormwater

- A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
- 6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
- The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
- 10. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)



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Urban Forestry

- 11. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.14 acres of tree conservation area.
- 12. A public infrastructure surety for 87 street trees along Timberfield Way shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

 A cross access agreement among the lots in this development shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Public Utilities

A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

- 3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
- All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

- 5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 87 street trees along Timberfield Way.
- 6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:



Case File / Name: ASR-0020-2022 **DSLC - BUFFALOE BEND**

City of Raleigh **Development Services Department** One Exchange Plaza Raleigh, NC 27602 (919) 996-2492 currentplanning@raleighnc.gov www.raleighnc.gov

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

- As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- 3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: March 7, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision. Signed: Date: 03/07/2023 Development Services Dir/Designee Staff Coordinator: Jermont Purifoy

Administrative Site Re lanning and Development Customer Service Center			Raleigh
his form is required when submitting site pl 0.2.8. Please check the appropriate building			
Office Use Only: Case #:		Planner (print):	
Tease review UDO Section 10.2.8, as amer ssistance determining a Site Plan Tier is ne termit and Development Portal. (Note: Ther	eded a Site Pla	in Tier Verification request can be submitte	ian tier. If d online via the
Site Plan Tier: Tier Two Site Plan	Tier Three S	ite Plan 🗸	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: SUB-0075-2021	
Attached	Mixed use	Scoping/sketch plan case #:	
		Certificate of Appropriateness #:	
Apartment	Open lot	Board of Adjustment #:	
Townhouse	Civic	Zoning Case #:	
	CENEDAL II	FORMATION	
Development name: Buffaloe Bend	GENERAL IN	FORMATION	
Inside City limits? Yes No			
Property address(es): 5100 For	estville	Road	
Site P.I.N.(s): 1746322322			
Please describe the scope of work. Include	any additions.	expansions, and change of use.	
		ASSOCIATED PARKING, ROAD	
IMPROVEMENTS, UTILITY		AND SERVICES, AND STORMWATER	
MANAGEMENT			
Current Property Owner/Developer Contact	Manner M. L.		
NOTE: please attach purchase agreemen	at when submi	tting this form.	LLC
Company: Buffaloe Road LLC		Title: Partner	
Address: 4201 Congress Street, Su	ite 174		
Phone #: 919-410-6002	Email: kartad	Shdevp.com	
Applicant Name: JUSTIN BEARD			
Company: McAdams	Address: On	e Glenwood Ave. Suite 201, Ralei	nh. NC 27603
		d@mcadamsco.com	,.,
Phone #: 919-823-4300			

BUFFALOE BEND LOT 5

5100 FORESTVILLE ROAD RALEIGH, NORTH CAROLINA, 27604 **ADMINISTRATIVE SITE REVIEW PLANS**

CITY OF RALEIGH CASE NUMBER: ASR-0020-2022 PROJECT NUMBER: 2020110379 REVISED: JANUARY 23, 2023

SITE DATA

CX-3-CU & OX-3-CU Gross site acreage: SEE DATA TABLE # of parking spaces proposed: SEE DATA TABLE Overlay District (if applicable): SHOD-1 RESIDENTIAL DEVELOPMENTS

VICINITY MAP

2. THE STREET, LANE, SIDEWALK CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL INCOOT STREETS WITHIN BALEIGH'S JURISDICTION

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY
CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT.

ZONING CONDITIONS

1. ACCESS TO BUFFALOE AND FORESTVILLE ROADS WILL BE IN ACCORDANCE WITH NCDOT AND THE CITY OF RALEIGH REGULATION RESPONSE: ACCESS TO BUFFALOE AND FORESTVILLE ROADS ARE IN ACCORDANCE WITH INCOOT AND CITY OF RALEIGH REGULATIONS.

THE PETITIONER WILL UTILIZE THE STANDARDS OF THE CITY SHOD-L OVERLAY DISTRIC THE PROPOSED RIGHT-OF-WAY BOUNDARY OF THE NORTHERN WAKE EXPRESSWAY. RESPONSE: SHOD-1 OVERLAY DISTRICT REQUIREMENTS ARE MET WITHIN 1,250' OF THE NORTHERN WAKE EXPRESSIVA

THE PETITIONER WILL RESERVE THE NECESSARY RIGHT-OF-WAY ALONG THE SUBJECT PROPERTY FRONTAGE FOR THE RELC OF BUFFALOE ROAD NEAR THE NORTHERN WAKE EXPRESSIVAY, ALL RESERVATIONS SHALL BE IN ACCORDANCE WITH THE OFFICIAL NORTHERN WAKE EXPRESSIVAY CORRISOR PLAN.

RESPONSE: APPROPRIATE ROW DEDICATION HAS BEEN PROVIDED ALONG THE PROJECT FRONTAGE THE PETITIONER WILL RESERVE AN ADDITIONAL IS FEET OF RIGHT-OF-WAY ALONG BUFFALOE AND FORESTVILLE ROADS FOR THE FUTURE CITY OF RALEIGH THOROUGHFARE IMPROVEMENTS.

RESPONSE: APPROPRIATE ROW DEDICATIONS HAVE BEEN PROVIDED ALONG THE PROJECT FRONTAGE

RESPONSE: APPROPRIATE ROW DEDICATION HAS BEEN PROVIDED ALONG THE PROJECT FRONTAGE.

1. PER TC-SA-18 & SEC.1.5.4.C, THE PRIMARY STREET DESIGNATIONS SHALL BE LOT 5 - TIMBERFIELD WAY.



FLOODPLAIN/FIRM PANE OTAL: 69 827 5E JSE: SHOPPING CENTER (63.180 SF) AND RESTAURANT (6.647 SF) PETALIDANT: 67 COACCE MAYMHINAIG 647 CE/100 CE OE GOOG ELOOG ABEAL OTAL MAXIMUM: 383 SPACES ROVIDED: 362 SPACES CCESSIBLE PARKING REQUIRED: 8 SPACES (7 STANDARD AND 1 VAN ACCESSIBLE) ESSIBLE PARKING PROVIDED: 14 STALLS (5 STANDARD AND 9 VAN ACCESSIBLE) ESTAURANT SHORT TERM: 4 (6,647 SF/S0,000 SF OF GROSS FLOOR AREA ESTAURANT LONG TERM: 4 (6,647 SF/25,000 SF OF GROSS FLOOR AREA) TOTAL REQUIRED: 17 SHORT TERM/4 LONG TERM XWIDED: 17 SHORT TERM/4 LONG TERM LOT 5 REQUIRED: 63,488 SF (1.46 AC.) (10% OF 634,881 SF/14.57 AC.) PROVIDED: 66,798 SF (1.53 AC.)

IO FORESTVILLE ROAD, RALEIGH NORTH CAROLINA 27604

SOLID WASTE INSPECTION STATEMENT:

ONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT FAST 3 FULL BUSINESS DAYS PRIOR TO REGINNING CONSTRUCTIO EASTS FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION
PREXCAVATION TO HAVE EXISTING UTILITIES LOCATED,
CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE
HEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". PORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATEL

SHEET INDEX

C9 01

C1.01	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01-C2.03	SITE PLAN - AREA "A" THRU "C"
C3.00	OVERALL GRADING AND STORM DRAINAGE PLAN
C3.01-C3.03	GRADING AND STORM DRAINAGE PLAN - AREA "A" THRU "C
C3.04-C3.05	AVERAGE GRADE PLANS
C4.00	OVERALL UTILITY PLAN
C4.01-C4.03	UTILITY PLAN - AREA "A" THRU "C"
C8.00-C8.02	SITE DETAILS
C8.03-C8.04	STORM DRAINAGE DETAILS
C8.05	SANITARY SEWER DETAILS
C8.06	WATER DETAILS
C8.07	PUBLIX DETAILS
C8 08	DDIVEWAY ACCESS 9. TRUCK TURN EVUIDIT

OVERALL LANDSCAPE PLAN L5.00 CODE LANDSCAPE PLAN - AREA "A" THRU "C"
TREE CONSERVATION PLAN (SUBMITTED UNDER SUB-0075-2021) L5.01-L5.03 L8.00

STORMWATER CONTROL MEASURE "A" DETAILS

L8.01 TREE CONSERVATION CALCULATIONS

PROJECT NOTES

1-2 2-2 RECORDED PLAT

ARCHITECTURAL AND LIGHTING PLANS

EL-01	ARCHITECTURAL ELEVATION
EL-02	ARCHITECTURAL ELEVATION
EL-03	ARCHITECTURAL ELEVATION
PH-1	LIGHTING PLAN
PH-2	LIGHTING PLAN
A8.01A	ARCHITECTURAL DETAILS
A8.01B	ARCHITECTURAL DETAILS

BUFFALOE ROAD AND FORESTVILLE ROAD OFF-SITE PLANS

C7 03-C7 04 FORESTVILLE ROAD IMPROVEMENTS PLAN

NCDOT PERMIT NUMBERS:

D051-092-22-00XXX E051-092-22-0XXXX E051-092-22-0XXXX

APPEARANCE COMMISSION APPROVAL



APPEARANCE COMMISSION DECISION

Re: Appearance Commission Case DA-11-2022 Subject Property: 5100 Forestyille Road

WHEREAS Buffaloe Road (IDC) LLC, BRC Buffaloe Road Retail LLC, Buffaloe Road (SRE) LLC,

Condition of Approval:

• A berm shall be installed in the area between the south side of stormwater control measure A (the stormwater pond) and Timberfield Way. The elevation at the top of the berm shall be at least three (3) feet higher than the center elevation of the Timberfield Way cross section.

in accordance with N.C. Gen. Stat. § 160D-406, please find enclosed a copy of the Comm adopted written decision approving this request.

DRAINAGE AND UTILITY NOTES ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE

DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCT



621 Hillsborough Stree phone 919, 361, 5000

CONTACT

Gray Harrell PHONE: 919, 287, 0728

CHENT

HALVORSEN DEVELOPMENT CORP 851 SOUTH FEDERAL HIGHWAY

PROJECT DIRECTORY

DEVELOPER HALVORSEN DEVELOPMENT CORP 851 SOUTH FEDERAL HIGHWAY,

BOCA RATON, FLORIDA 33432





REVISIONS

140.	DATE	
1	06.14.2022	REVISED PER COR 1st ASR COMMENTS
2	09. 30. 2022	REVISED PER COR 2nd ASR COMMENT
3	12.01.2022	REVISED PER COR 3rd ASR COMMENTS
4	01. 23. 2023	REVISED PER COR 4th ASR COMMENTS

ADMINISTRATIVE SITE **REVIEW PLANS FOR:**

BUFFALOE ROAD RETAIL RALEIGH, NORTH CAROLINA, 27604 PROJECT NUMBER: 2020110379

- . RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINIOR RESIDENTIAL, RESIDENTIAL, AND RESIDENTIAL COLLECTOR INTRESECTIONS. THE FULL LENGTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR, & SENTIFIVE AREA THROUGHEARES.
- WITHIN THE AREA DEFINED SIGHT TRANSLES SHOWN ON THESE FLANS, THERE SHALL BE NO SHET COSTILLETING ON OBSTRUCTION WILL FIRST, SIGN, FRILDER ERROR, OR RANGED VEHICLS SETWING THE TIGHTS OF SIGHT, AND AROVE THE CLUSE LIKE ELEVATION OR THE NEAREST TRAVEL WAY IF NO CLIRS LIKE EXISTS, REFER TO SECTION 6.3.2 OF VERSION OF THE ALLERH STEEP DESIGN MANAUL FOR ADDITIONAL DETAILS.
- . MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEGISH TRANSPORTATION DIVISION THAT THE MULTIWAY STOP INSTALLATION WARRANTS CAN BE MET AND ORDINANCE BY STOTY COUNCLAPPROVICE.
- 5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- 6. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION
 AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADE AND ALIGNMENTS DEPICTED ON THE PLANS.
- CONTRACTOR SHALL NOTEY "ROLL" (RILL) OR 15. 800-522-5469) AT LEAST 3 HUL BISSUESS DAYS PRIOR TO RESIMING CONSTRUCTION OR DICKYATION TO HAVE BISSTHING URLITIES LOCATED, COMPRACTOR SHALL CONTRACT ANY LOCAL UTILITIES HAVE PROVIDED HERE OWN LOCATOR SERVICES INSIDEMENT OF "MOSIL", REPORT ANY LOCATESPACES TO THE ENGINEER IMMEDIATE.
- PRIOR TO REDIEVANC CONTRUCTOR RETORN THROUGH CONTROL MEASURES, THE CREMEN CONTROL TO SHALL SCHILDLE AN ANTHER A NEW CONTROLLE CONTROLLE OF THE MEASURE OF TH
- 13. ALL DIMPISIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VISITIES BY THE CONTRACTOR PRIOR TO CONSTRUCTOR CONTRACTOR SHALL BOTH BY THE RIGHELER FLAN PISICERANCIES SENT PRIOR TO PROCEEDING WITH CONTRACTOR FROM RECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPRISATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSION OR GRADES SHOWN INCORRECT FOR THIS PLANS IT SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSION OR GRADES SHOWN INCORRECT FOR THIS PLANS IT SHALL BE PAID TO THE PAID AND AND AND AND THE PAID.
- 14. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDD) DETAILS.
- ALL SOURMACE THAT CONNECT TO THE PURICE RIGHT-CHAVE MUST BE ACCESSIBLE TO PRESIDES WHO HE BLIND, MANKE LOW YOURN AND POOL WITH MOBILITY POSSABITIES, PRESIDENIA BESTINGS ADOLTES AND AITEMANE PRESIDENIA PROTIES QUARNO CONSTRUCTION WILL BE REQUERT TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBLE TO QUERIES (PROWAG). 2010 ADD STRANGERS OF ACCESSIBLE DESISH AND THE MANUAL ON UNIFORM TREATE CONTROL DEMOS (MICHOLD).
- 16. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHICAL REPORT SHALL OVER RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHICAL ENGINEER DEEMS A HEAVIES ESCIONI IS REQUIRED.
- 17. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN VIRTIMG PRIOR TO ORDERING OR INSTALLATION, THE CONTRACTOR SHALL WAVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF AUTEMATE COURPMENT.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
- 19. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCO STANDARDS AND SPECIFICATIONS.
- ANY TRANSIT STOP LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL LOCATION SHALL BE DETERMINED ONCE THE CITY OF RALEIGH TRANSIT ROUTE HAS BEEN FINALIZED, ALL TRANSIT STOPS SHALL HAVE A 10'x20'x6" (3000 PSI) CONCRETE PAD.
- 21. ALL WORK TO BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE GEOTECHNICAL REPORT BY S&ME.

ADDITIONAL UTILITY NOTES

- ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
- . ALL SEWER MAINS SHALL BE EITHER PIX'OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALECH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNITHED DEVICE/DIVENT (ORDINANCE (UDO).
- 3. ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 5'WX5'L CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT PROPERTY.
- IN ACCORDANCE WITH GENERAL STATUTE 87-121(G), ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2014 SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPICIPICATIONS FOR MEETING THESE REQUISITATIONS.
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION, AND DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENRINGER MANEGORIEV. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
- ALL WATER AND SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER.
- CONTRACTOR SHALL NOTEY "NCB11" (B11) OR IL-800-632-6949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING
 CONSTRUCTION OR SEXMATION TO HAVE SESTING URLIST LOCATIO. CONTROL OS SHALL CONTACT ARY LOCAL UTILITIES
 AND LOCATION FIRST OWN LOCATION SERVICES INDEPENDENT OF "NASEL", PROFIX ANY DESCRIPANCES TO THE CHARGES.
 AMAZIBATICS.
- 10. ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2' MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND MARKED.

RETAINING WALL NOTES

- THE SET AUMON VALLA LICHIART SHOWN ON THESE PLAND SEPTED THE LOCATION OF THE FRONT FACE OF THE SET HINDS.
 WALLAST THE TOO CHIT HOURS. IT THE SET HINDS WALLAST THE TOO CHIT HE REST THE SET HINDS WALLAST THE TOO CHIT HE REST HINDS WALLAST THE TOO CHIT HE REST HINDS WAS TREAMS USFFERS, AND THESE CONSTRUCTION DOES NOT ENCROACH HITTO ANY ADJACEST PROPERTIES DUE TO ANY BATTER HICOSPORATED IN THE DESSIN OF THE WALLS.
- RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR
- RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE COMPACTOR CAN PROVIDE TO THE OWNER WITH CONFIRMATION FROM THE GEOTIC-INICAL ENGINEER AND THE RETAINING WALL DESIGNEE, THAT READILY AVAILABLE OF SITE SOILS CAN BE USED.
- THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLAYS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED OF THE TRAINING WALL CONSTRUCTION DEVAININGS.
- 5. ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
- ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT AGREEMENT ENCROACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL.
- ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
- STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS, ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALLS SHALL SE KEPT TO AN ASSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THE RETEX
- 9. ALL WORK TO BE CONSTRUCTED IN STRICT COMPLIANCE WITHE GEOTECHNICAL REPORT

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- 2. UTILITY SEPARATION REQUIREMENTS:
- a) A DISTANCE OF 100 SHALL SE MANY TANKO DETIVE SENTENY SOURSE, ANY PRIVATE OR PUBLIC WATTER SEPTIM SOURCE SICH AS AN IMPOSITION DESIGN AS OWNER OF PROBING WOMER IS ADDITIONAL TOTAL SENSE, AND THE ADDITION OF ANY BE ACHIEVED, PERSOUS SANTANY SEVIES PRIF SHALL BE SPICEED & INSTALLED TO WATTERLINE SPECIFOATIONS, HOWEVER, THE MINIMUM SPRAKERION SHALL HOT BE LESS THAN 25 FROM A PRIVATE WILL Q SE SPICA A PUBLIC WILL.
- b) WHEN REVAILING WATER A,OR SEWER MAINS, THE HORDONIAL SEPARATION BETWEEN UTILITIES BANK BETWEEN THE SEPARATION CONTROL REMAINED DUE TO DESTINE CONDITIONS, THE WARRIAND ALLOWED SET HE WATER MAIN SEPARATE RESIDENT WHITH HE ELEVATION OF THE WATER MAIN SEPARATION FOR WHITH HE ELEVATION OF THE WATER MAIN SEPARATION BY THE PURPOSE HOUSE OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE PURPOSE HORDONIS OF THE WATER MAIN SEPARATION BY THE WATER MAIN SEPARATION
- d) S.OT MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANTARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- e) IMAINTANI 35" MIN. VERTICAL SEPARATION AT ALL VATERMANI & RCC STORM DRAIN CROSSINGS, MANTANI 24" MIN VERTICAL SID-PARTION AT ALL SANITIANY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADSOLATE SID-PARTIONS CANOTI EL ACIDITED, SPECIFY DP MATERIALS & A CONCERT COMPLE NAVING OF IRIN. CLEAPANCE (PER CORPU) D W41 & 5-49.
- f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT, MAY INCESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RAILER PRIJECT UPITIES DEPARTMENT.
- 3.0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0" MINIMUM COVER IS REQUIRED ON ALL
 REUSE MAINS.
- INSTALL 8/4" COPPER" WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2"X2" WATERLINE EASEMENT IMMEDIATELY ADJACENT, NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SZE THE WATER SERVICE FOR EACH CONNECTION TO PROPIOTE ADJACENT ROW BY PRESSURE.
- PRESIDER REDICING VALYS ARE REQUIRED ON ALL WATER SERVICES DECEDING BO PS, WHERE SAMERAY SERVICES AND SERVICES ARE SERVICES AS RELIGIONS RESTALLED ON A LOCK WITHIN A RESIDED DOOR BELVATION BELOW THE ELEVATION OF THE MANAGEMENT WAS USED. WHICH SERVICES AS VALUE OF THE MANAGEMENT WAS USED. WHICH SERVICES AS VALUE OF THE MANAGEMENT WAS USED. WHICH SERVICES AND A RESTAURT WAS USED. WHICH SERVICES AND A RESIDENCE OF THE MANAGEMENT WAS USED. WHICH WAS
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- . GREASE INTERCEPTOR / OIL WATER SEPARATOR SZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PROFETO ISSUANCE OF A BUILDING PRIMIT, CONTACT STEPHEN CALVERLEY AT (919) 296-2334 OR STEPHEN-CALVEREY/BALTICHEC OOK FOR MORE INFORMATION.
- 26. CROS. COMICTION CONTROL PROTECTION COVERS ARE RECURSTO MALED ON LOSSES OF HEALT HAWARD INVOLVED AS LISTED REGISSRANTS. THE SPRICES SHALL MIST AMBIGNAS SOCRET OF MANTANY EMBELIERANG ASSESS STANDARDOR HE OF ON THE WINNESTORY OF SURPRISE ANALOGUENA PROPERTY OF THE MASS SHALL HE REPORT LAND HE REPORT AND LISTED AND

GRADING NOTES

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLASS SHALLS BETTEL BY REPORT FOR CONTRACTION PRIOR TO CONSTRUCTION.
 CONTRACTION SHALL ORDER THE SHALLS HERE AND YALKSHEEP EAST PRIOR TO PROCEEDING WITH CONSTRUCTION, ON INCESSARY PLAN OR GRADE CHANGES. AND GETTAL COMPRESSIONS SHALL BE PRIOR TO THE CONTRACTOR FOR ANY WORK DONE DONE TO DIMENSIONS OR GRADES SHOWN MORRORICT OF THIS PLASS PLASS I FAULD INTERCRATION SHALL BE THE TO THE CONTRACTOR FOR ANY WORK DONE DONE TO DIMENSIONS OR GRADES SHOWN MORRORICT. OF THIS PLASS PLASS I FAULD INTERCRATION SHALL BE SHOWN THE SHALL BE THE PLASS PLASS I FAULD INTERCRATION SHALL BE SHOWN THE SHALL BE THE PLASS PLASS I FAULD INTERCRATION SHALL BE SHOWN THE SHALL BE THE PLASS PLASS I FAULD THE PLASS PLASS PLASS I FAULD THE PLASS P
- OCCUPATIONAL SURFITATION HASTI HADMINISTRATION (DURK) STANDARDS FOR EXCLANIOUS, FINAL BUIL SOUR PART 1976, SUBJECT FOR THE STANDARD STANDA
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- 4. CONTRACTOR SHALL NOTIFY "RESL" SELD OR 1,800-632-049(9) AT LEST 3 FULL BUSINESS DAYS PRIDE TO BEDINNING CONSTRUCTION OR PECAVATION TO MAKE BUSING UNITIES LOCATE CONTRACTOR SHALL CONTRACT SHALL CONTRACT OR SHALL CONTRACT OR SHALL CONTRACT SHALL CONTRACT OR SHALL CONTRACT SHALL CONTRACT OR SHALL CONTRACT SHALL CONTR
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF BULLIGH STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AN THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERBY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO THE FREIGHER IMMEDIATELY.
- 9. ALL WORK TO BE CONSTRUCTED IN STRICT COMPLIANCE WITHE GEOTECHNICAL REPORT

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIX
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCO (MOST CURRENT EDITION).
- PRIOR TO THE START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
- THE COSTRACTOR SHALL OSTAIN A RIGHT-O-ANY OBSTRUCTION PERMIT FOR ANY YORK WHICH REQUESTS THE TEMPORARY COURSE OF THE TRAVEL ANY COURSE OF THE TRAVEL ANY CONSTRUCT THAT CLASS IN PROVINCE SYCLE OF STEWARD AND THE RIGHT OF VALVES STEPRES AT LOST AS FOUND IS ADVANCE. ANY TEMPORARY STREET CLOSSINE BUSTS BE SUBMITTED 2 WEEKS PRICE, SEE "RIGHT-OF-VAVA" CLOSSINES" ON VAW SALEKINANCO OF ON SO HOST OF THE SIGHT-OF-VAVA CLOSSINES".
- 6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.

PAVEMENT MARKING NOTES

- 1. ALL PURCHENT AMERICS SHOWN IN THESE PLANS FOR GIT OF REALISM AMERICATIONS TREETS ARE SUBJECT TO FINAL APPRIAN. I FROM MIGHE VIOLENT STANSFORTATION OPERATIONS DIVINOL CONTRACTOR SHALL CONTACT THAN SPORTATION OPERATIONS AT 915-966-3030 FOR COORDINATION AND FINAL APPROVAL PRIOR TO PLACEMENT OF ANY PAMEMENT MARK AMERICASS WITHIN INCORD TREET OF AVAIS SHALL BE IN COMPLANCE WITH INCOT STANDARDS AND SPECIFICATIONS.
- ALL SKINS & PAVEMENT MARKINGS ASSOCIATED WITH THE PUBLIC STREET SYSTEM WILL REQUIRE APPROVAL BY CITY COUNCIL TO BE DROMANICED FOR ENFORCEMENT.
- ALL PAVEMENT MARKINGS SHALL BE PLACED PER THE NODOT DIVISION 12 STANDARD DETAILS, BICYCLE LANE MARKINGS SHALL BE PLACED PER CITY OF PALEIGH STANDARD BICYCLE FACILITIES DETAILS.

STORM DRAINAGE NOTES

- ALL STORM DIALNACE PIES SHOWN SHALL BE SERVERED COCKETE REPT (INTRIBUTE CASE III DIRESS NOTED OTHERWISE, CONTRACTOR TO CORROBANT WITH THE GOTOR'S TO VIGINITY POE DISTORDING FOUNDED BASED ON SOIL COMBINIOS. CONTRACTOR TO STITICT REQUIRED CASE OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PIR THE AMPRICAL ORGANICET PIPE ASSOCIATION GUIDELINIS.
- 2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANI
- 4 ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MIXED TO MANUPACTURER'S SPECIFICATIONS.
- ALL BACKFLL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER GRECTIONARIE MATERIAL SAID MATTERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TEMBORATY OF JOIN OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 NO THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT 18) KEHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- 10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- 11. ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NODOT STANDARDS BY MANUFACTURER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION
 ANY DAYAGED ITEMS SHALL NOT BE INSTALLED. "KNOCK-OUT" BOXES OR HDPE PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY CITY OF BALFIGH STORMWATER DEPARTMENT



103 Rupert Rd Raleigh, NC 27603 P: (216) 233-7448

January 12th, 2023

Retail Development at Buffaloe Road and Forestville Road

Raleigh, NC

Meridian Waste Services will service the location listed above in accordance with all requirements and in a workman like manner consistent with industry standards and regulatory requirements. Meridian will provide Temporary Construction Services and Permanent Container Service. We provide Solid Waste MSW and Recycle Services in Wake & Durham County.

Please feel to reach out to me if you require further assistance

Respectfully,

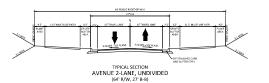
Sarah Saute Meridian Waste Services Area Sales Representative

MeridianMasterom

TYPICAL SECTION AVENUE 6-LANE, DIVIDED (104' R/W, 66' B-B) FORESTVILLE ROAD

SR 2049





TIMBERFIELD WAY Know what's below. Call before you dig.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NODOT AND CITY OF RALEIGH ENGINEERING

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTIO OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811".
REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTI



The John R. McAdams Company, Inc

One Glenwood Avenue Suite 201 Raleigh, NC 27603 phone 919, 823, 4300 fox 919 361 2269 license number: C-0293, C-187

CLIENT

HALVORSEN DEVELOPMENT CORP. 851 SOUTH FEDERAL HIGHWAY,

SUITE 201 BOCA RATON, FLORIDA 33432

BUFFALOE BEND - LOT 5 ADMINISTRATIVE SITE REVIEW 5100 FORESTVILLE ROAD RALEIGH, NORTH CAROLINA ASR-0020-2022 & DA-11-22 5



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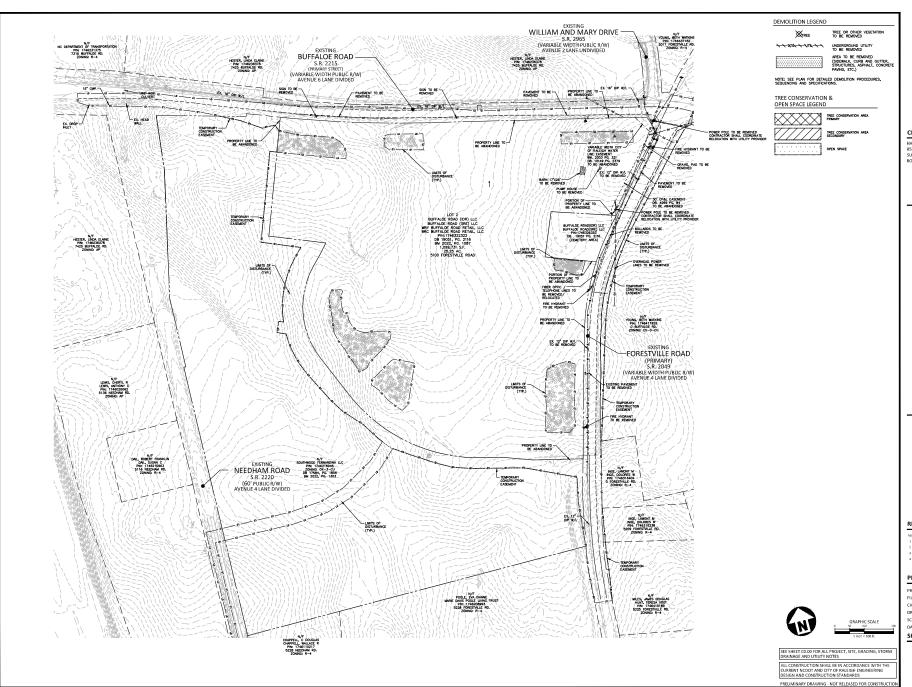
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PROJECT NO. 2020110379 FILENAME 2020110379-ASR-N1 CHECKED BY DRAWN BY SCALE

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PROJECT NOTES

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BUFFALOE BEND - LOT 5
ADMINISTRATIVE SITE REVIEW
5100 FORESTVILLE ROAD
RALEIGH, NORTH CARGUINA
ASR-0020-2022 & DA-11-22



REVISIONS

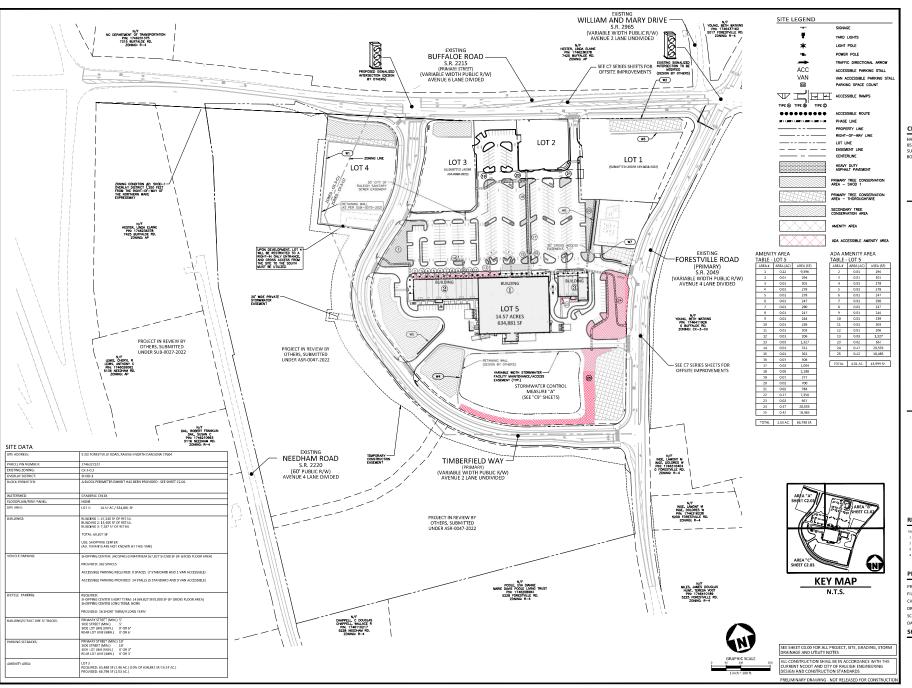
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2	09. 30. 2022	REVISED PER COR 2nd ASR COMMENT
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PLAN INFORMATION

PROJECT NO. FILENAME 2020110379-ASR-DM1 CHECKED BY CGH DRAWN BY SCALE 1"=100" 03. 16. 2022 DATE SHEET

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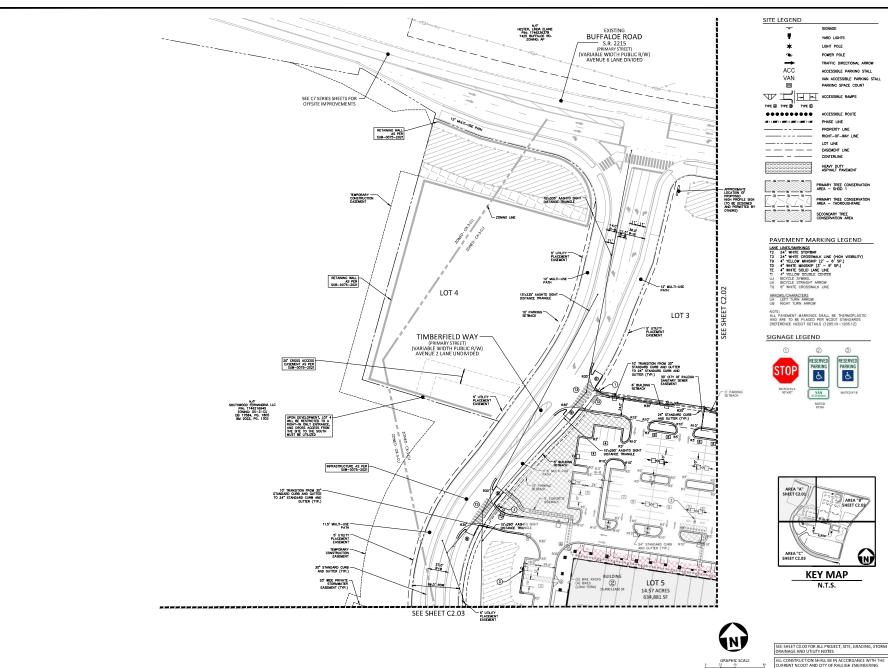
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PLAN INFORMATION

FILENAME 2020110379-ASR-OAS1 CHECKED BY CGH DRAWN BY SCALE 1"=100" DATE 03. 16. 2022 SHEET

OVERALL SITE PLAN





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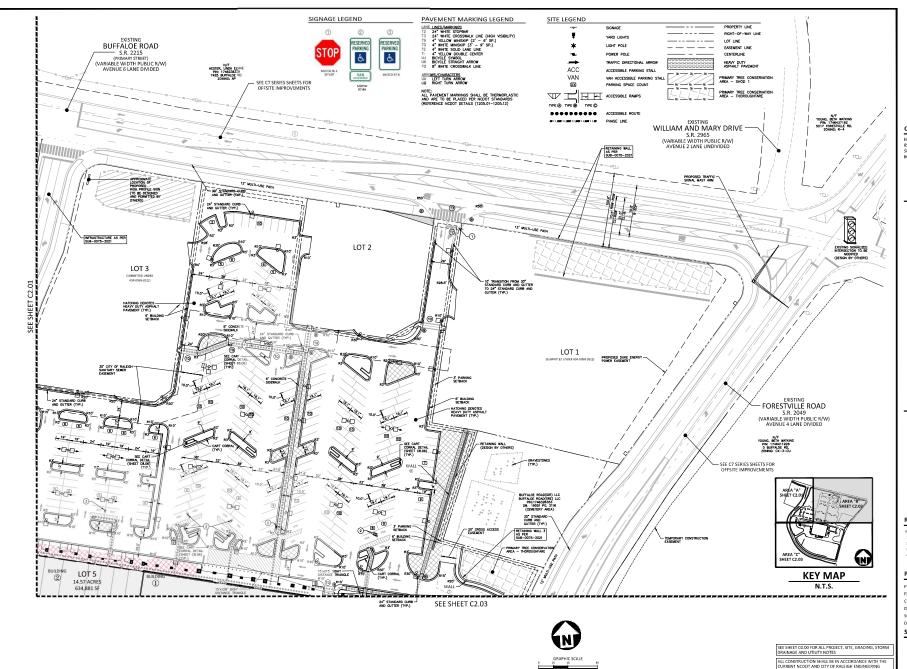
PLAN INFORMATION

PROJECT NO. FILENAME 2020110379-ASR-S1 CHECKED BY CGH DRAWN BY SCALE 1"=40" DATE

03. 16. 2022 SHEET

SITE PLAN - AREA "A"

DESIGN AND CONSTRUCTION STANDARDS PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCT C2.01





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BUFFALOE BEND - LOT 5 ADMINISTRATIVE SITE REVIEW 5100 FORESTVILLE ROAD RALEIGH, NORTH CAROLINA ASR-0020-2022 & DA-11-22

REVISIONS

PLAN INFORMATION

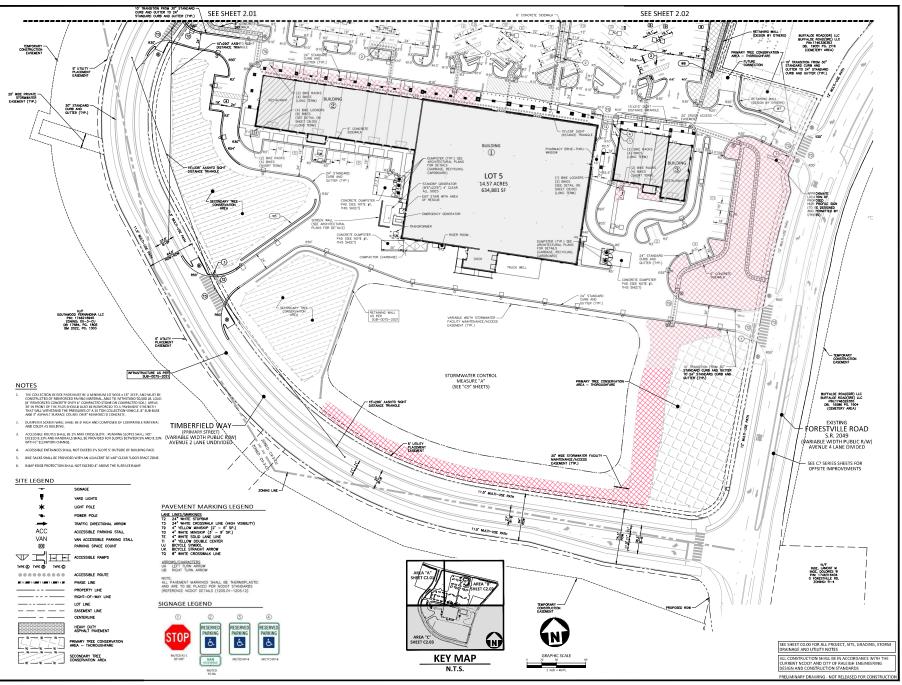
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DESIGN AND CONSTRUCTION STANDARDS PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCT

03. 16. 2022 SHEET

SITE PLAN - AREA "B"

C2.02





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BUFFALOE BEND - LOT 5 ADMINISTRATIVE SITE REVIEW 5100 FORESTVILLE ROAD RALEIGH, NORTH CAROLINA ASR-0020-2022 & DA-11-22



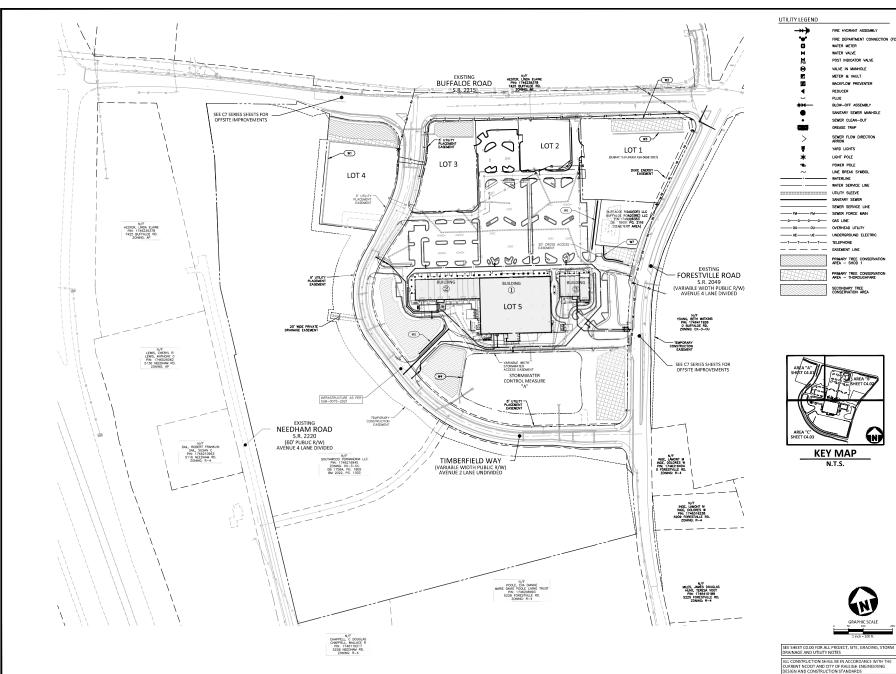
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PLAN INFORMATION

FILENAME 2020110379-ASR-S1 CHECKED BY CGH DRAWN BY SCALE 1"-40" DATE 03. 16. 2022 SHEET

SITE PLAN - AREA "C"

C2.03





HALVORSEN DEVELOPMENT CORP

851 SOUTH FEDERAL HIGHWAY,

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BUFFALOE BEND - LOT 5
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BLOW-OFF ASSEMBLY SANITARY SEWER MANHOLI SEWER CLEAN-OUT GREASE TRAP

SEWER FLOW DIRECTION ARROW YARD LIGHTS LIGHT POLE

POWER POLE LINE BREAK SYMBOL WATER SERVICE LINE

SANITARY SEWER SEWER SERVICE LINE - SEWER FORCE MAIN -0-0-0-0- GAS LINE OVERHEAD UTILITY - UE ----- UNDERGROUND ELECTRIC

PRIMARY TREE CONSERVATIO AREA - SHOD 1 PRIMARY TREE CONSERVATION AREA — THOROUGHFARE

SECONDARY TREE CONSERVATION AREA



KEY MAP N.T.S.

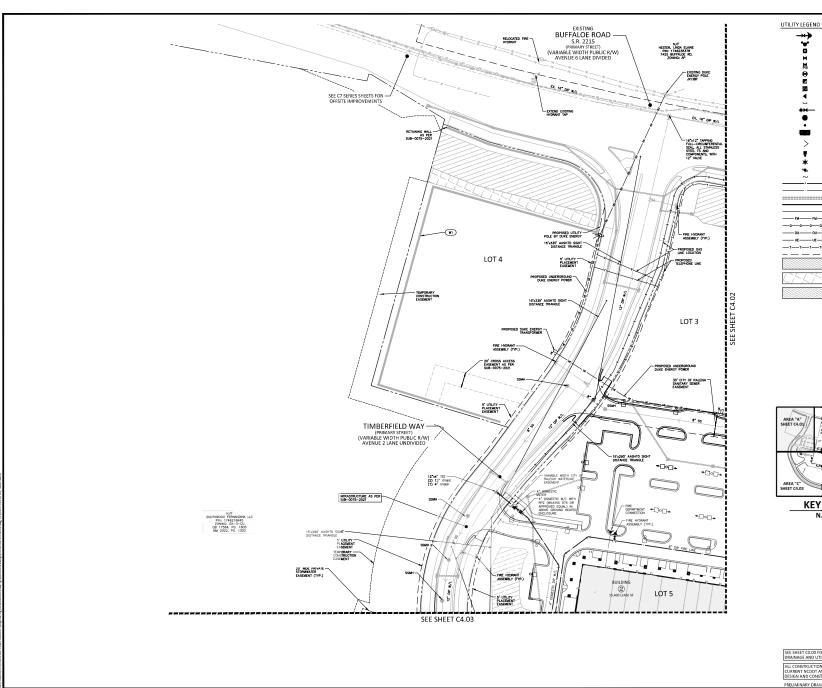
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCT



PLAN INFORMATION

PROJECT NO. FILENAME 2020110379-ASR-OAU1 CHECKED BY CGH DRAWN BY SCALE 1"=100" 03. 16. 2022 DATE SHEET

OVERALL UTILITY PLAN





METER & VAULT BACKFLOW PREVENTER REDUCER PLUG SANITARY SEWER MANHOLE SEWER CLEAN-OUT GREASE TRAP SEWER FLOW DIRECTION

FIRE HYDRANT ASSEMBLY

WATER VALVE POST INDICATOR VALVE VALVE IN MANHOLE

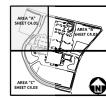
FIRE DEPARTMENT CONNECTION (FD WATER METER

YARD LIGHTS LIGHT POLE POWER POLE LINE BREAK SYMBOL

- WATER SERVICE LINE ----- UTILITY SLEEVE - SANITARY SEWER SEWER SERVICE LINE -FW--- SEWER FORCE MAIN OU---- OVERHEAD UTILITY

— UF — UNDERGROUND ELECTRIC PRIMARY TREE CONSERVE AREA - SHOD 1

PRIMARY TREE CONSERVATION AREA - THOROUGHFARE SECONDARY TREE CONSERVATION AREA



KEY MAP N.T.S.



SEE SHEET CO.OD FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT AND CITY OF RALEIGH ENGINEERING

DESIGN AND CONSTRUCTION STANDARDS PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION The John R. McAdams Company, Inc. One Glenwood Avenue Suite 201 Raleigh, NC 27603 phone 919. 823. 4300 fax 919. 361. 2269 license number: C-0293, C-187

CLIENT HALVORSEN DEVELOPMENT CORP

851 SOUTH FEDERAL HIGHWAY, SUITE 201 BOCA RATON, FLORIDA 33432

BUFFALOE BEND - LOT 5
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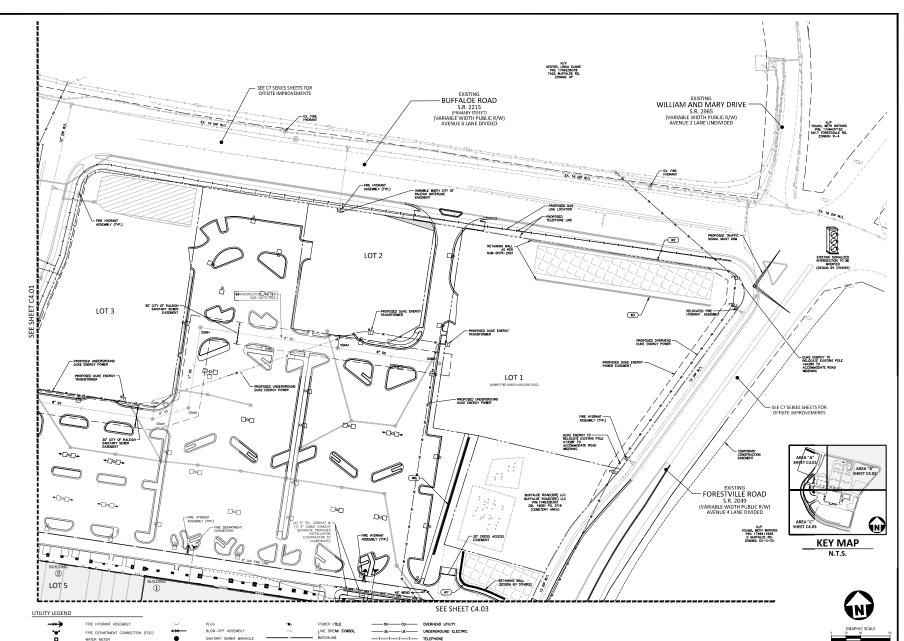
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PLAN INFORMATION

PROJECT NO. 2020110379 FILENAME 2020110379-ASR-U1 CHECKED BY CGH DRAWN BY SCALE 1"=40" 03. 16. 2022 DATE SHEET

UTILITY PLAN - AREA "A"



PRIMARY TREE CONSERVATION AREA - SHOD 1

PRIMARY TREE CONSERVATION AREA — THOROUGHFARE

WATER SERVICE LINE

SEWER SERVICE LINE

UTILITY SLEEVE

SANITARY SEWER

WATER METER

WATER VALVE

POST INDICATOR VALVE

BACKFLOW PREVENTER

METER & VAULT

REDUCER

GREASE TRAP

YARD LIGHTS

LIGHT POLE

SEWER FLOW DIRECTION ARROW



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SUITE 201 BOCA RATON, FLORIDA 33432

BUFFALOE BEND - LOT 5 ADMINISTRATIVE SITE REVIEW 5100 FORESTVILLE ROAD RALEIGH, NORTH CAROLINA ASR-0020-2022 & DA-11-22



1 06. 14. 2022 REVISED PER COR 1st ASR COMMENTS
2 09. 30. 2022 REVISED PER COR 3st ASR COMMENTS
3 12. 01. 2022 REVISED PER COR 3st ASR COMMENTS
4 01. 23. 2023 REVISED PER COR 4sh ASR COMMENTS

PLAN INFORMATION

PROJECT NO. FILENAME 2020110379-ASR-U1 CHECKED BY CGH DRAWN BY SCALE 1"=40" 03. 16. 2022 DATE

SHEET

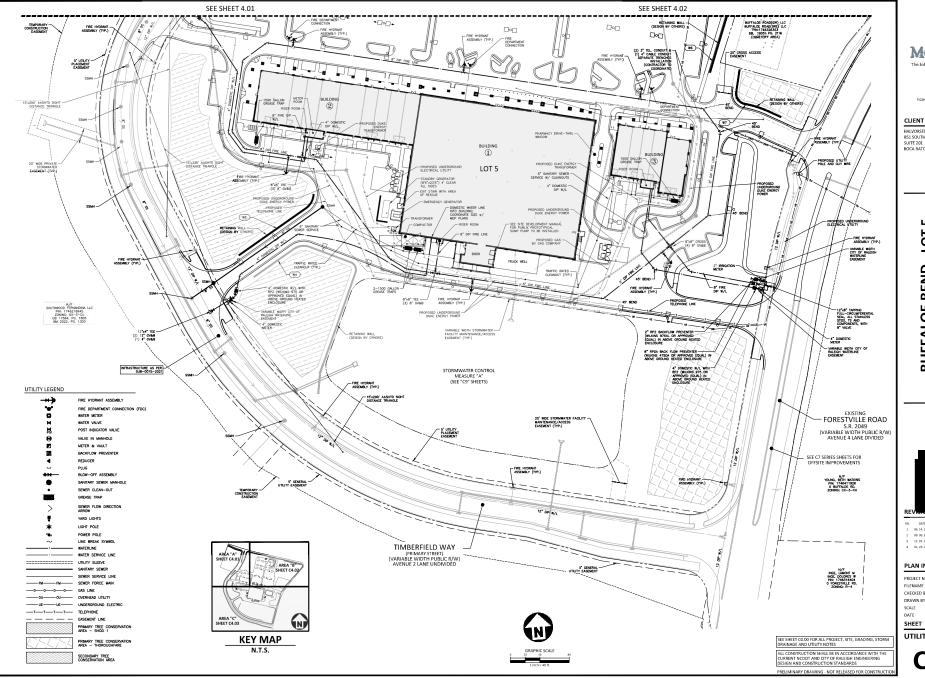
UTILITY PLAN - AREA "B"

SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT AND CITY OF RALEIGH ENGINEERING

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCT

DESIGN AND CONSTRUCTION STANDARDS





The John R. McAdams Company, Inc. One Glenwood Avenue Suite 201 Raleigh, NC 27603 phone 919, 823, 4300 fox 919 361 2269

license number: C-0293, C-187

CLIENT

HALVORSEN DEVELOPMENT CORP 851 SOUTH FEDERAL HIGHWAY,

SUITE 201 BOCA RATON, FLORIDA 33432

BUFFALOE BEND - LOT 5
ADMINISTRATIVE SITE REVIEW
5100 FORESTVILLE ROAD
RALEIGH, NORTH CARGUINA
ASR-0020-2022 & DA-11-22

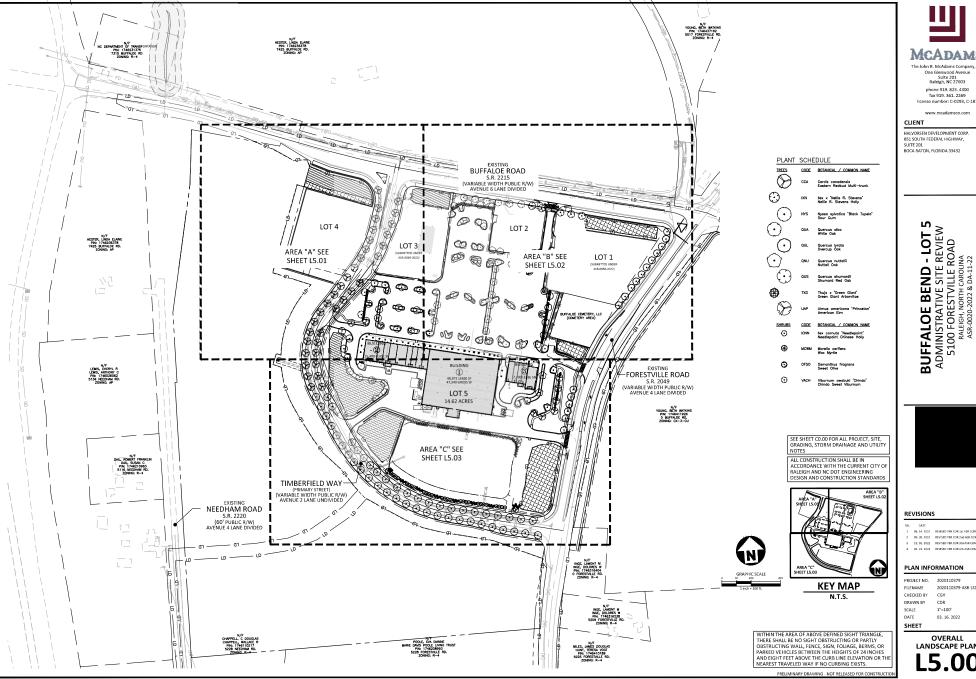


1 06. 14. 2022 REVISED PER COR 1st ASR COMMENTS
2 09. 39. 2022 REVISED PER COR 3nd ASR COMMENTS
3 12. 01. 2022 REVISED PER COR 3nd ASR COMMENTS
4 01. 23. 2023 REVISED PER COR 4th ASR COMMENTS

PLAN INFORMATION

PROJECT NO. FILENAME 2020110379-ASR-U1 CHECKED BY CGH DRAWN BY SCALE 1"-40" 03. 16. 2022 DATE

UTILITY PLAN - AREA "C"





The John R. McAdams Company, Inc.

One Glenwood Avenue Suite 201 Raleigh, NC 27603 phone 919. 823. 4300 fax 919. 361. 2269 license number: C-0293, C-187

HALVORSEN DEVELOPMENT CORP

HALVORSEN DEVELOPMENT COP 851 SOUTH FEDERAL HIGHWAY, SUITE 201 BOCA RATON, FLORIDA 33432

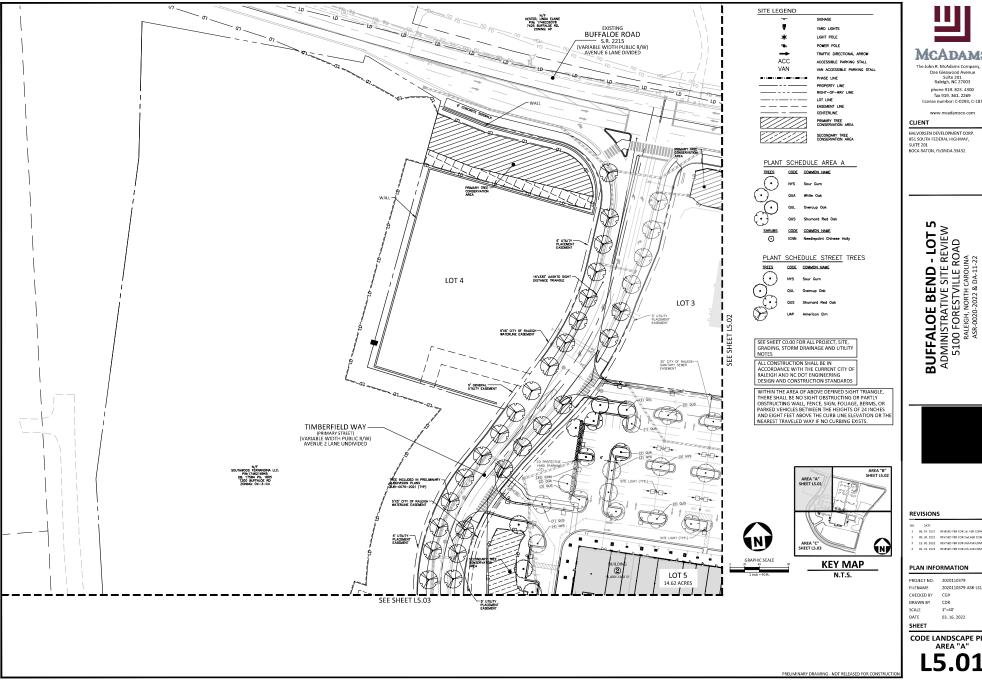
REVISIONS

PLAN INFORMATION

FILENAME 2020110379-ASR-LS1 CHECKED BY CGH DRAWN BY 1"=100" 03. 16. 2022

> OVERALL LANDSCAPE PLAN

L5.00





The John R. McAdams Company, Inc. One Glenwood Avenue Suite 201 Raleigh, NC 27603 phone 919, 823, 4300 fax 919, 361, 2269 license number: C-0293, C-187

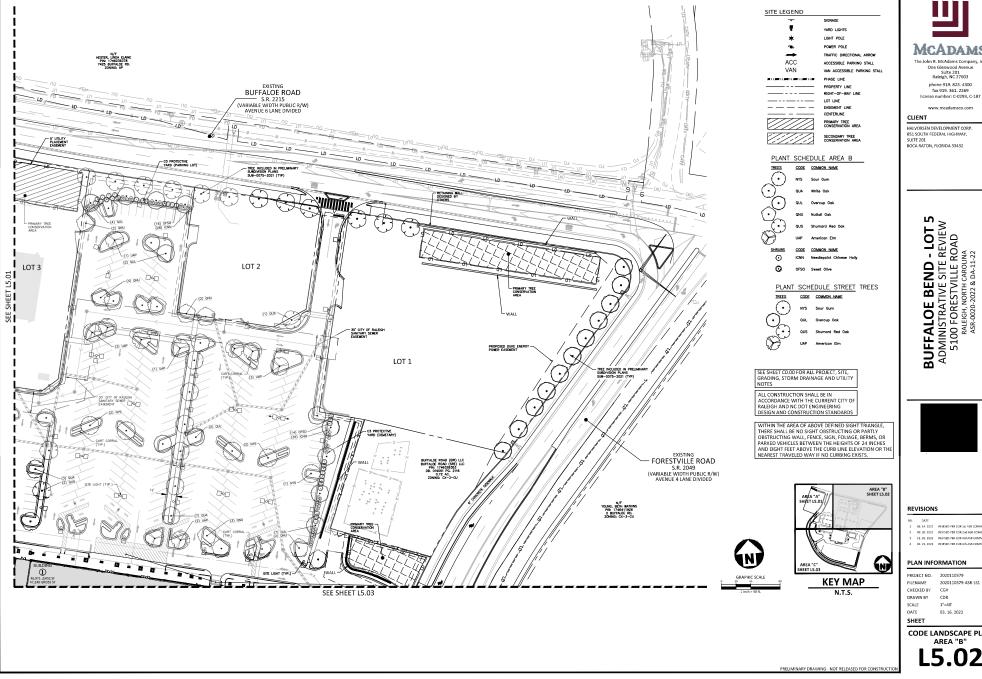
REVISIONS

PLAN INFORMATION

PROJECT NO. 2020110379-ASR-LS1 CGH 1"=40" 03. 16. 2022

code landscape plan area "a"

L5.01





The John R. McAdams Company, Inc. One Glenwood Avenue Suite 201 Raleigh, NC 27603

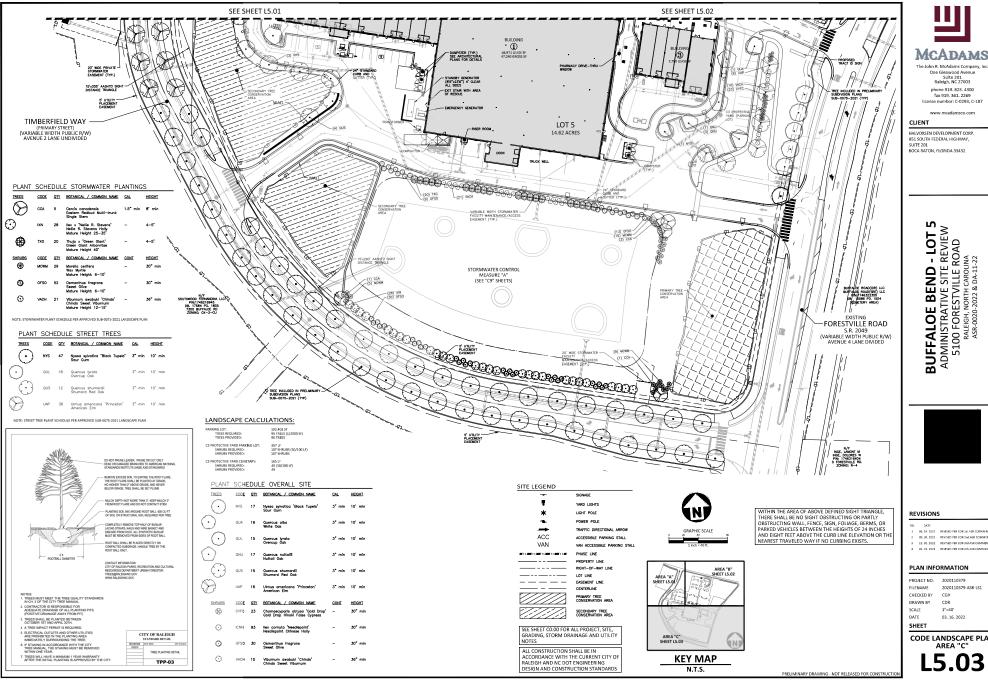
REVISIONS

0. DATE
1 06. 14. 2022 REVISED PER COR 151 ASR COMMENTS
2 09. 30. 2022 REVISED PER COR 2nd ASR COMMENTS
3 12. 01. 2022 REVISED PER COR 2nd ASR COMMENTS
1 03. 28. 2023 REVISED PER COR 2nd ASR COMMENTS

PLAN INFORMATION

PROJECT NO. 2020110379-ASR-LS1 CGH 1"=40" 03. 16. 2022

CODE LANDSCAPE PLAN AREA "B"





One Glenwood Avenue Suite 201 Raleigh, NC 27603 phone 919, 823, 4300 fax 919, 361, 2269

CLIENT

HALVORSEN DEVELOPMENT CORP 851 SOUTH FEDERAL HIGHWAY,

SUITE 201 BOCA RATON, FLORIDA 33432

BUFFALOE BEND - LOT 5 ADMINISTRATIVE SITE REVIEW 5100 FORESTVILLE ROAD RALEIGH, NORTH CAROLINA ASR-0020-2022 & DA-11-22



REVISIONS

10.	DATE	
1	06.14.2022	REVISED PER COR 1st ASR COMMENTS
2	09. 30. 2022	REVISED PER COR 2nd ASR COMMENTS
3	12.01.2022	REVISED PER COR 3rd ASR COMMENTS

PLAN INFORMATION

PROJECT NO.	2020110379
FILENAME	2020110379-ASR-LS
CHECKED BY	CGH
DRAWN BY	CDR
SCALE	1"=40"
DATE	03. 16. 2022
CHEET	

code landscape plan area "c"

L5.03

