



# Administrative Approval Action

Case File / Name: ASR-0020-2022  
DSLCL - BUFFALOE BEND

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the south side of Buffalo Road, west of Forestville Road at 5100 Forestville Road, outside the city limits.

**REQUEST:** Development of Lot 5 of recently approved subdivision case SUB-0075-2021. This is a 14.57 acre site zoned CX-3-CU and SHOD-1. A proposed total 69,827 sf shopping center (63,180 sf of retail & 6,647 sf of restaurant uses) on Lot 5, consisting of 3 proposed buildings. Proposed Building #1 being 47,240 sf of retail space; Building #2 being 15,400 sf and Building #3 being 7,187 sf.

Z-3B-92 - Effective 4/7/92: Rezoning Part B/Bufalo Rd O&I-1 CU and Shopping Center. Rezoning to CX-3-CU with conditional uses.

DA-11-22 - Adopted October 6, 2022. Complete relief of transparency design requirements per UDO Sec.3.2.5 & Sec.1.5.9, from required transparency % and zones for the north elevation facade; complete relief of transparency design requirements for the east, south & west facades of building #1 and complete relief of the south facades of buildings #2, #3. Condition of approval for a berm design for Stormwater measure design control.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** SUB-0075-2021: DSLCL - Preliminary Subdivision/Preliminary Subdivision

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 23, 2023 by McAdams.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Note the approved preliminary subdivision case review information for this tract, SUB-0075-2021, as well as references to the development plan approvals for the adjacent tract, SUB-0047-2022, with the ASR & civil SPR case review #, on the coversheet.



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2. All conditions of subdivision approval (case SUB-0075-2021) to create the parcel for this development shall be met and the subdivision recorded at the Wake County Registry. Staff may approve the SPR, however a hold will be placed on the permits until lots in SUB-0075-2021 have been recorded.

## Engineering

3. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.
4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## Public Utilities

5. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
6. Submit a private sewer extension application.

## Stormwater

7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
9. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

## Urban Forestry

10. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
11. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
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<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Engineering

1. A cross access agreement among development lots shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
2. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.

## Public Utilities

3. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
4. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

## Stormwater

5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
8. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
9. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
10. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)



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## Urban Forestry

11. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.14 acres of tree conservation area.
12. A public infrastructure surety for 87 street trees along Timberfield Way shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## Engineering

1. A cross access agreement among the lots in this development shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

## Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

3. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 87 street trees along Timberfield Way.
6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

***The following are required prior to issuance of building occupancy permit:***





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## General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

## Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** March 7, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 03/07/2023  
Development Services Dir/Designee

Staff Coordinator: Jermont Purifoy

## Administrative Site Review Application

Planning and Development Customer Service Center • One Cityplace Plaza, Suite 401 | Raleigh, NC 27601 | 919-286-2920



This form is required when submitting all plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building type and include the plan checklist document when submitting.

Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8 as amended by last change case TC-14-18 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
<b>Building Type</b>	<b>Site Transaction History</b>
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
Administrative Alternate # _____	
<b>GENERAL INFORMATION</b>	
Development name: <b>Buffaloe Bend</b>	
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Property address: <b>5100 Forestville Road</b>	
Site P1.N.00.11400000	
Please describe the scope of work. Include any additions, expansions, and change of use.	
SITE WORK FOR 3 BUILDINGS ON LOT 5, ASSOCIATED PARKING, ROAD IMPROVEMENTS, UTILITY EXTENSIONS AND SERVICES, AND STORMWATER MANAGEMENT	
Current Property Owner/Developer Contact Name: <b>Kate Kesteven, Harris Development Partners, LLC</b>	
NOTE: please attach purchase agreement when submitting this form.	
Company: <b>Buffaloe Road LLC</b>	Title: <b>Partner</b>
Address: <b>4201 Congress Street, Suite 174</b>	
Phone #: <b>919-814-8002</b>	Email: <b>kate@hdpw.com</b>
Applicant Name: <b>JUSTIN BEARD</b>	
Company: <b>McAdams</b>	Address: <b>One Glenwood Ave, Suite 201, Raleigh, NC 27603</b>
Phone #: <b>919-823-4300</b>	Email: <b>beard@mcadamsco.com</b>

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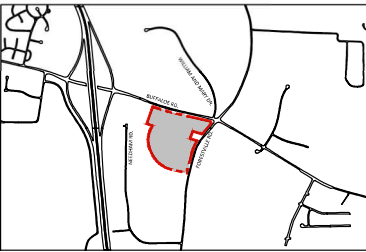
raleighnc.gov

<b>DEVELOPMENT TYPE - SITE DATA TABLE</b> (Available to all developments)	
<b>SITE DATA</b>	<b>BUILDING DATA</b>
Zoning district (if more than one, please provide the acreage of each): <b>CX-3-CU &amp; CX-3-CU</b>	Existing gross floor area (not to be demolished): _____
Gross site acreage: <b>SEE DATA TABLE</b>	Existing gross floor area to be demolished: _____
# of parking spaces required: <b>SEE DATA TABLE</b>	New gross floor area: <b>SEE DATA TABLE</b>
# of parking spaces proposed: <b>SEE DATA TABLE</b>	Total of gross (to remain and new): <b>SEE DATA TABLE</b>
County District (if applicable): <b>SHO-2</b>	Proposed # of buildings: <b>3</b>
Existing use (UDO 6.1.4): <b>Vacant</b>	Proposed # of acres for each: <b>1</b>
Proposed use (UDO 6.1.4): <b>Shopping Center</b>	
<b>STORMWATER INFORMATION</b>	
Existing Impervious Surface: Acres: <b>See site data table</b> Square Feet: <b>See site data table</b>	Proposed Impervious Surface: Acres: <b>See site data table</b> Square Feet: <b>See site data table</b>
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Flood study: _____ FEMA Map Panel #: _____	
House River Buffer: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
<b>RESIDENTIAL DEVELOPMENTS</b>	
Total # of dwelling units: <b>N/A</b>	Total # of hotel units: <b>N/A</b>
# of bedroom units: 1br <b>N/A</b> 2br <b>N/A</b> 3br <b>N/A</b>	4br or more: <b>N/A</b>
# of lots: <b>N/A</b>	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>SIGNATURE BLOCK</b>	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in the application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, <b>JUSTIN BEARD</b> , will serve as the agent regarding this application, and will receive and respond to administrative comments, required plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the City's review and public policy, which states applications will expire after 180 days of inactivity.	
Signature:	Date: <b>8/22/22</b>
Printed Name: <b>Justin Beard</b>	

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**VICINITY MAP**  
N.T.S.

# BUFFALOE BEND LOT 5

5100 FORESTVILLE ROAD

RALEIGH, NORTH CAROLINA, 27604

## ADMINISTRATIVE SITE REVIEW PLANS

CITY OF RALEIGH CASE NUMBER: ASR-0020-2022

PROJECT NUMBER: 2020110379

REVISED: JANUARY 23, 2023

### TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL ACCTD STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN AND INSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
  - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD).
  - PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG).
  - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS.
  - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

### ZONING CONDITIONS

- ACCESS TO BUFFALOE AND FORESTVILLE ROADS WILL BE IN ACCORDANCE WITH NCDOT AND THE CITY OF RALEIGH REGULATIONS AND STANDARDS.  
RESPONSE: ACCESS TO BUFFALOE AND FORESTVILLE ROADS ARE IN ACCORDANCE WITH NCDOT AND CITY OF RALEIGH REGULATIONS.
- THE PETITIONER WILL UTILITY THE STANDARDS OF THE CITY SHED-1 OVERLAY DISTRICT REQUIREMENTS WITHIN 1,250 FEET FROM THE PROPOSED RIGHT-OF-WAY BOUNDARY OF THE NORTHERN WAKE EXPRESSWAY.  
RESPONSE: SHED-1 OVERLAY DISTRICT REQUIREMENTS ARE MET WITHIN 1,250 FT OF THE NORTHERN WAKE EXPRESSWAY RIGHT-OF-WAY.
- IF A PACKAGE TREATMENT PLANT IS USED, THE DEVELOPER AGREES TO DISCONTINUE THIS PACKAGE TREATMENT PLANT AT THE TIME PUBLIC SEWERS ARE AVAILABLE AND UTILIZE THE PUBLIC SEWER SYSTEM.  
RESPONSE: PACKAGE TREATMENT PLANT NOT USED. THE PROPOSED SITE WILL TIE INTO THE PUBLIC SEWER SYSTEM.
- THE PETITIONER WILL RESERVE THE NECESSARY RIGHT-OF-WAY ALONG THE SUBJECT PROPERTY FRONTAGE FOR THE RELOCATION OF BUFFALO ROAD NEAR THE NORTHERN WAKE EXPRESSWAY. ALL RESERVATIONS SHALL BE IN ACCORDANCE WITH THE OFFICIAL NORTHERN WAKE EXPRESSWAY CORRIDOR PLAN.  
RESPONSE: APPROPRIATE ROW DEDICATION HAS BEEN PROVIDED ALONG THE PROJECT FRONTAGE.
- THE PETITIONER WILL RESERVE AN ADDITIONAL 15 FT OF RIGHT-OF-WAY ALONG BUFFALO AND FORESTVILLE ROADS FOR THE FUTURE CITY OF RALEIGH THROUGHFARE IMPROVEMENTS.  
RESPONSE: APPROPRIATE ROW DEDICATIONS HAVE BEEN PROVIDED ALONG THE PROJECT FRONTAGE.
- THE PETITIONER WILL RESERVE THE NECESSARY RIGHT-OF-WAY FOR THE REALIGNMENT AND EXTENSION OF NEEDHAM ROAD TO CONNECT TO BUFFALO ROAD. ALL RESERVATIONS SHALL BE IN ACCORDANCE WITH THE OFFICIAL NORTHERN WAKE EXPRESSWAY CORRIDOR PLAN.  
RESPONSE: APPROPRIATE ROW DEDICATION HAS BEEN PROVIDED ALONG THE PROJECT FRONTAGE.

1. PER TC-5A-18 & SEC 1.5.4.C, THE PRIMARY STREET DESIGNATIONS SHALL BE LOT 5 - TIMBERFIELD WAY.

IMPERVIOUS AREA TRACKING TABLE	
	LOTS
ACREAGE	14.57 AC
MAX IMPERVIOUS AREA	33.84 AC



Know what's below.  
Call before you dig.

### SOLID WASTE INSPECTION STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMEDIATION FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) WILL NOT SERVICE THIS DESIGN.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

### SHEET INDEX

C0.00	PROJECT NOTES
C1.01	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01-C2.03	SITE PLAN - AREA "A" THRU "C"
C3.00	OVERALL GRADING AND STORM DRAINAGE PLAN
C3.01-C3.03	GRADING AND STORM DRAINAGE PLAN - AREA "A" THRU "C"
C3.04-C3.05	AVERAGE GRADE PLANS
C4.00	OVERALL UTILITY PLAN
C4.01-C4.03	UTILITY PLAN - AREA "A" THRU "C"
C8.00-C8.02	SITE DETAILS
C8.03-C8.04	STORM DRAINAGE DETAILS
C8.05	SANITARY SEWER DETAILS
C8.06	WATER DETAILS
C8.07	PUBLIC DETAILS
C8.08	DRIVEWAY ACCESS & TRUCK TURN EXHIBIT
C9.01	STORMWATER CONTROL MEASURE "A" DETAILS
L5.00	OVERALL LANDSCAPE PLAN
L5.01-L5.03	CODE LANDSCAPE PLAN - AREA "A" THRU "C"
L8.00	TREE CONSERVATION PLAN (SUBMITTED UNDER SUB-0075-2021)
L8.01	TREE CONSERVATION CALCULATIONS
1-2	RECORDED PLAT
2-2	RECORDED PLAT

### ARCHITECTURAL AND LIGHTING PLANS

EL-01	ARCHITECTURAL ELEVATIONS
EL-02	ARCHITECTURAL ELEVATIONS
EL-03	ARCHITECTURAL ELEVATIONS
PH-1	LIGHTING PLAN
PH-2	LIGHTING PLAN
AB.01A	ARCHITECTURAL DETAILS
AB.01B	ARCHITECTURAL DETAILS

### BUFFALOE ROAD AND FORESTVILLE ROAD OFF-SITE PLANS

C7.01-C7.02	BUFFALOE ROAD IMPROVEMENTS PLAN
C7.03-C7.04	FORESTVILLE ROAD IMPROVEMENTS PLAN

### NCDOT PERMIT NUMBERS:

D051-092-22-00XXX  
E051-092-22-00XXX  
E051-092-22-00XXX

### APPEARANCE COMMISSION APPROVAL:



November 8, 2022  
APPEARANCE COMMISSION DECISION

VIA ELECTRONIC MAIL TO:  
mabe@ncdot.com; fima@ncdot.com; and kate@hdpw.com

Re: **Appearance Commission Case DA-11-2022**  
Subject Property: **5100 Forestville Road**

Dear Applicant and/or Property Owner:

At the October 6, 2022 meeting of the Raleigh Appearance Commission (the "Commission"), the Commission approved the above-referenced request.

Decision: **Approved with condition**

WHEREAS Buffaloe Road (DCC) LLC, BRC Buffaloe Road Retail LLC, Buffaloe Road (RD) LLC, and WBT Buffaloe Road Retail LLC, property owners, request the following design alternatives be related from the transparency requirements set forth in UDO Sections 3.3.5.F and Section 1.5.9 (i) to provide 10% transparency for the ground level facade on the 10 to 120 feet in line of the maximum 3% required, and a minimum 7% in the 30 to 80 feet in line of the maximum 16.5% required, for the north building facade of Building #1, (ii) complete relief from the transparency requirements for the east building facade of Building #1, (iii) complete relief from the transparency requirements for the west building facade of Building #1, (iv) complete relief from the transparency requirements for the south building facade of Building #1, (v) complete relief from the transparency requirements for the south building facade of Building #2, and (vi) complete relief from the transparency requirements for the south building facade of Building #3, to order to construct four general buildings on the 15.24 acre property zoned CX-3-CU located at 5100 Forestville Road.

Condition of Approval:

- A berm shall be installed in the area between the south side of stormwater control measure A (the stormwater pond) and Timberfield Way. The elevation at the top of the berm shall be at least three (3) feet higher than the center elevation of the Timberfield Way cross section.
- In accordance with N.C. Gen. Stat. § 160D-406, please find enclosed a copy of the Commission's adopted written decision approving this request.

City of Raleigh (mailing address) | Post Office Box 580 | Raleigh, North Carolina 27602-0580

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWINGS - NOT RELEASED FOR CONSTRUCTION



**McADAMS**  
The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

### CONTACT

Gray Itterell  
harrell@mcadamsco.com  
PHONE: 919.287.0728

### CLIENT

HALVORSEN DEVELOPMENT CORP.  
851 SOUTH FEDERAL HIGHWAY,  
SUITE 301  
BOCA RATON, FLORIDA 33432

### PROJECT DIRECTORY

DEVELOPER  
HALVORSEN DEVELOPMENT CORP.  
851 SOUTH FEDERAL HIGHWAY,  
SUITE 301  
BOCA RATON, FLORIDA 33432

### REVISIONS

NO.	DATE	DESCRIPTION
1	08.18.2022	REVISED PER COR 24 ASR COMMENTS
2	08.26.2022	REVISED PER COR 24 ASR COMMENTS
3	12.01.2022	REVISED PER COR 24 ASR COMMENTS
4	01.23.2023	REVISED PER COR 40 ASR COMMENTS




### ADMINISTRATIVE SITE REVIEW PLANS FOR:

BUFFALOE ROAD RETAIL  
RALEIGH, NORTH CAROLINA, 27604  
PROJECT NUMBER: 2020110379








### DEMOLITION LEGEND

	TREE OR OTHER VEGETATION TO BE REMOVED
	UNDERGROUND UTILITY TO BE REMOVED
	AREA TO BE REMOVED EXISTING WALL, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SCHEDULING.

### TREE CONSERVATION & OPEN SPACE LEGEND

	TREE CONSERVATION AREA PRIMARY
	TREE CONSERVATION AREA SECONDARY
	OPEN SPACE



**McADAMS**  
The John R. McAdams Company, Inc.  
One Glenwood Avenue  
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phone 919. 823. 4300  
fax 919. 361. 2269  
license number: C-0293, C-187  
[www.mcadamsco.com](http://www.mcadamsco.com)

## CLIENT

HALVORSEN DEVELOPMENT CORP.  
851 SOUTH FEDERAL HIGHWAY,  
SUITE 201  
BOCA RATON, FLORIDA 33432

**BUFFALO BEND - LOT 5**  
ADMINISTRATIVE SITE REVIEW  
5100 FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA  
ASR-0020-2022 & DA-11-22



## REVISIONS

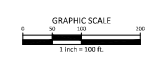
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2	09.30.2022	REVISED PER COR 2nd ASR COMMENTS
3	12.01.2022	REVISED PER COR 3rd ASR COMMENTS
4	01.25.2023	REVISED PER COR 4th ASR COMMENTS

## PLAN INFORMATION

PROJECT NO.	2020110379
FILENAME	2020110379-ASR-DM1
CHECKED BY	CGH
DRAWN BY	CDR
SCALE	1"=100'
DATE	03. 16. 2022
<b>SHEET</b>	

## DEMOLITION PLAN

## C1.01



SEE SHEET CD.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION







**BUFFALO BEND - LOT 5**  
**ADMINISTRATIVE SITE REVIEW**  
**5100 FORESTVILLE ROAD**  
**RALEIGH, NORTH CAROLINA**  
**ASR-0020-2022 & DA-11-22**

**REVISIONS**

01	08.14.2022	REVISED PER COR 240 ASR COMMENTS
2	09.30.2022	REVISED PER COR 240 ASR COMMENTS
3	02.01.2023	REVISED PER COR 420 ASR COMMENTS
4	02.23.2023	REVISED PER COR 420 ASR COMMENTS

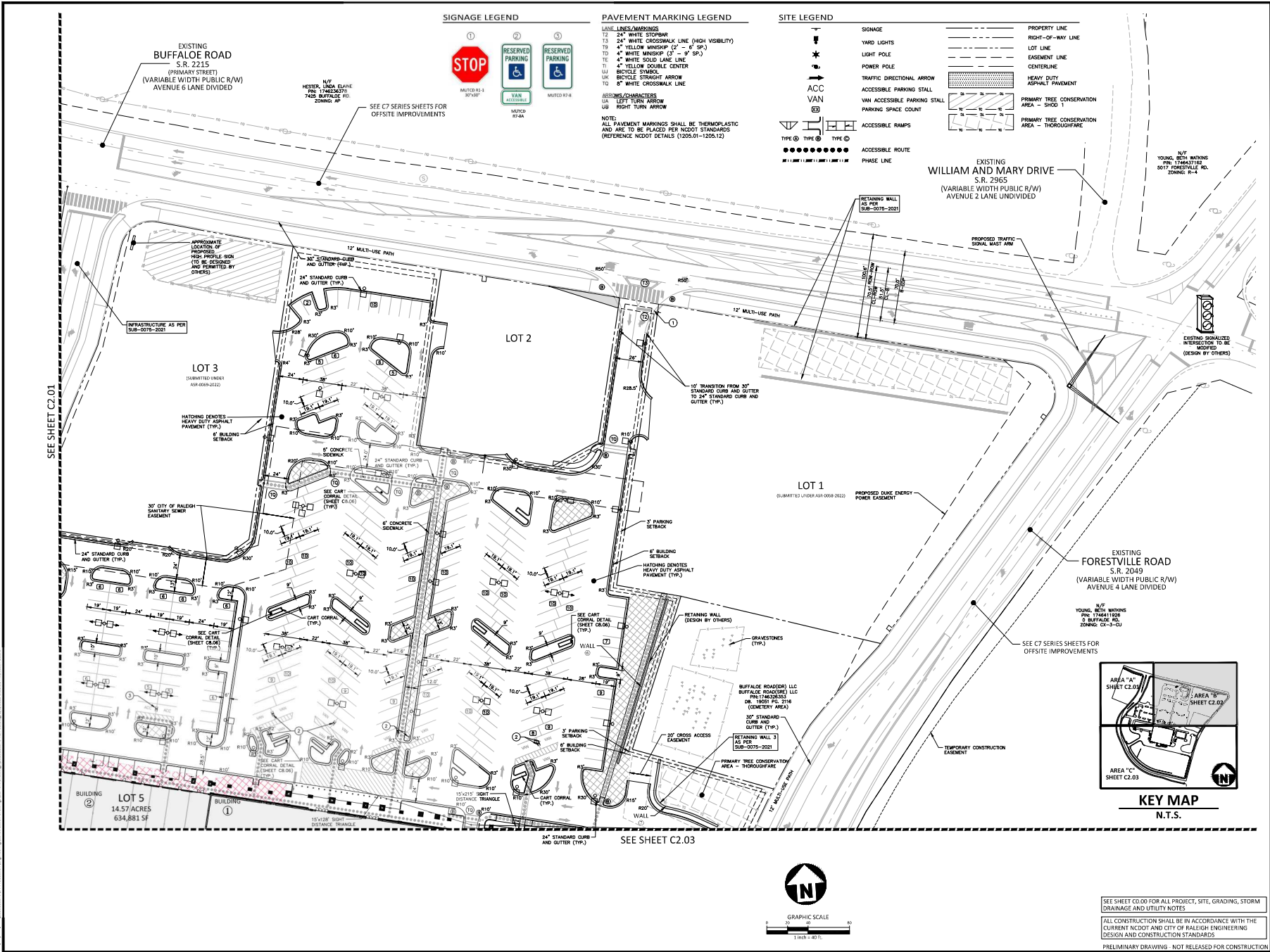
**PLAN INFORMATION**

PROJECT NO.	2020110379
FILENAME	2020110379-ASR-51
CHECKED BY	CGH
DRAWN BY	CDR
SCALE	1"=40'
DATE	03.16.2022

**SHEET**

**SITE PLAN - AREA "B"**

**C2.02**





## CLIENT

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**BUFFALO BEND - LOT 5**  
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5100 FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA  
ASR-0020-2022 & DA-11-22

RALEIGH, NORTH CAROLINA  
ASB 0030 3033 & DA 11 33

## REVISIONS

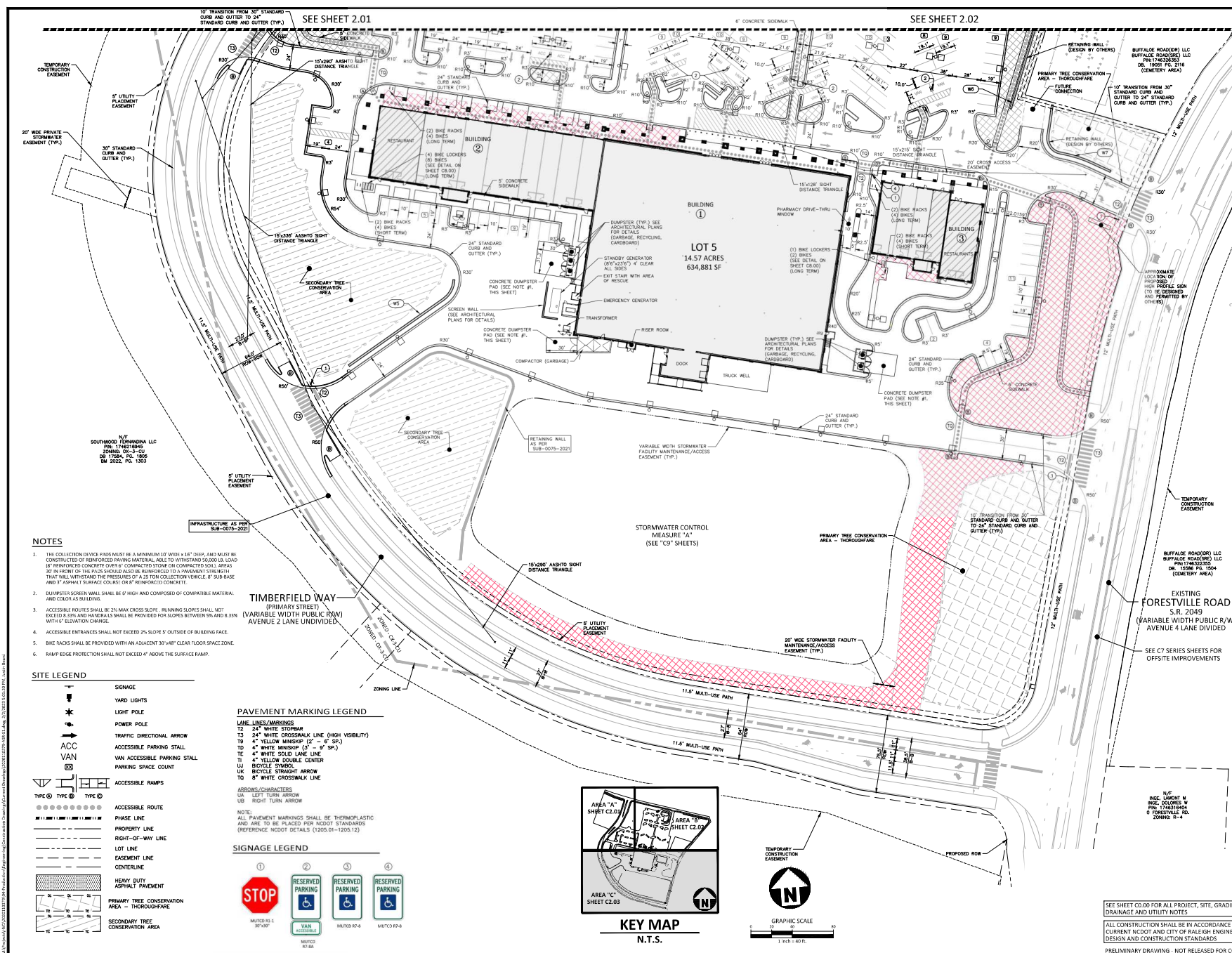
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2	09.30.2022	REVISED PER COR 2nd ASR COMMENT
3	12.01.2022	REVISED PER COR 3rd ASR COMMENT
4	01.23.2023	REVISED PER COR 4th ASR COMMENT

## PLAN INFORMATION

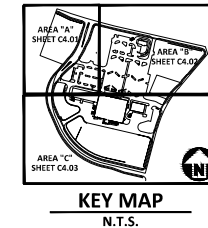
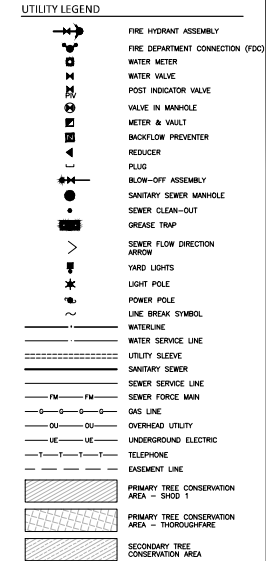
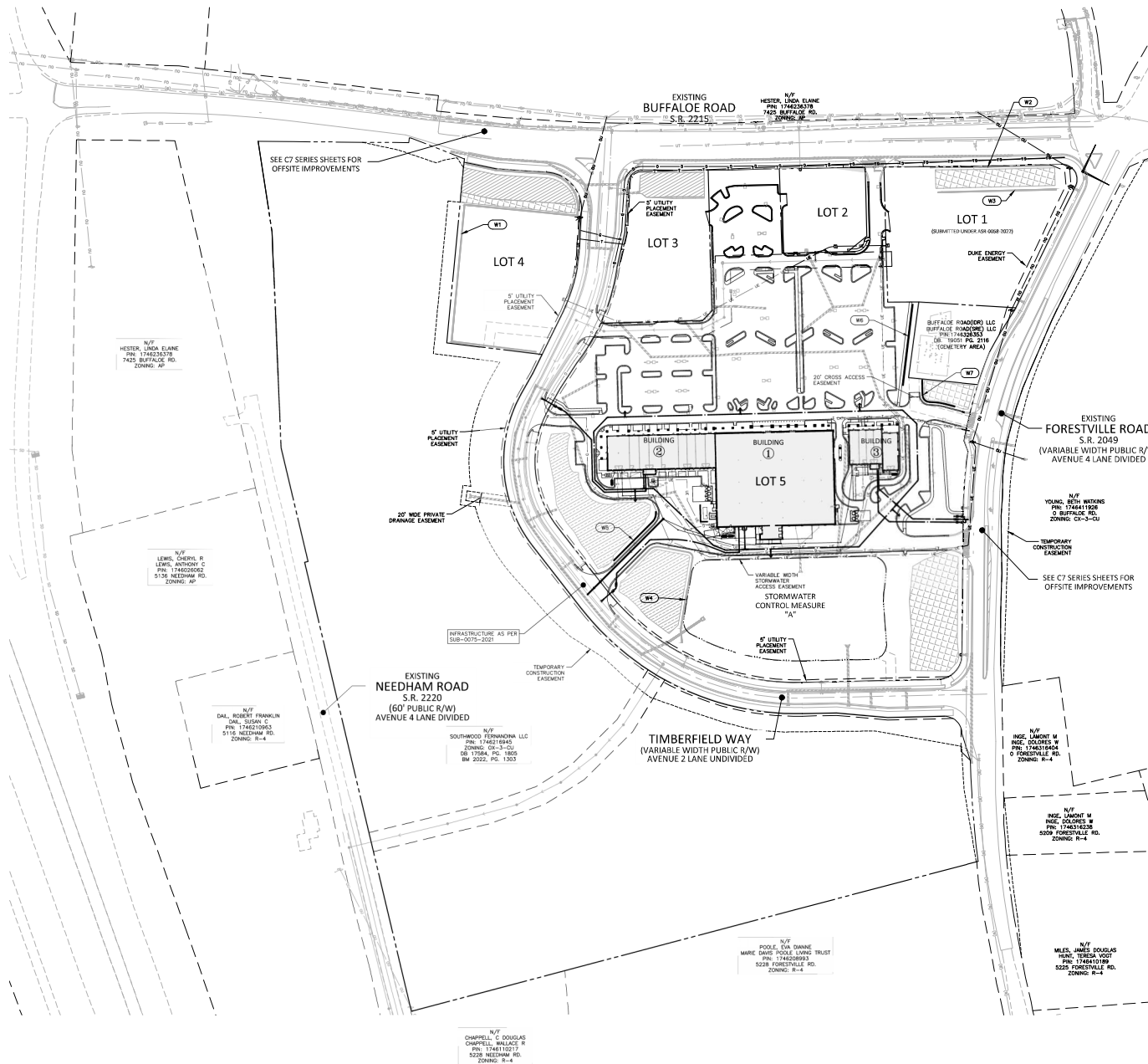
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FILENAME	2020110379-ASR-SI
CHECKED BY	CGH
DRAWN BY	CDR
SCALE	1"=40'
DATE	03.16.2022

**SITE PLAN - AREA "C"**

## C2.03



McAdams Engineering & Construction, Inc. 10/20/2023 10:00 AM C:\Users\jmcadams\Documents\Drawings\2023\03\0310379-ASR-C4.00.dwg 10/20/2023 3:37 PM jmcadams



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## BUFFALO BEND - LOT 5 ADMINISTRATIVE SITE REVIEW 5100 FORESTVILLE ROAD RALEIGH, NORTH CAROLINA ASR-0020-2022 & DA-11-22

REVISIONS		
NO.	DATE	DESCRIPTION
1	08.14.2022	REVISED PER COR 240 ASR COMMENTS
2	09.30.2022	REVISED PER COR 240 ASR COMMENTS
3	02.01.2022	REVISED PER COR 240 ASR COMMENTS
4	01.23.2023	REVISED PER COR 420 ASR COMMENTS

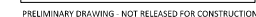
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FILENAME	2020110379-ASR-C4.01	
CHECKED BY	CGH	
DRAWN BY	CDR	
SCALE	1"=100'	
DATE	03.16.2022	

**SHEET**

**OVERALL UTILITY PLAN**

# C4.00

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES  
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCOTD AND CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS  
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



## C4.01



**BUFFALO BEND - LOT 5**  
**ADMINISTRATIVE SITE REVIEW**  
5100 FORESTVILLE ROAD  
RALEIGH, NORTH CAROLINA  
ASR-0020-2022 & DA-11-22

**REVISIONS**

NO.	DATE	REVISION
1	06.14.2022	REVISED PER COR 310 ASR COMMENTS
2	09.30.2022	REVISED PER COR 2nd ASR COMMENTS
3	12.01.2022	REVISED PER COR 3rd ASR COMMENTS
4	01.23.2023	REVISED PER COR 4th ASR COMMENTS

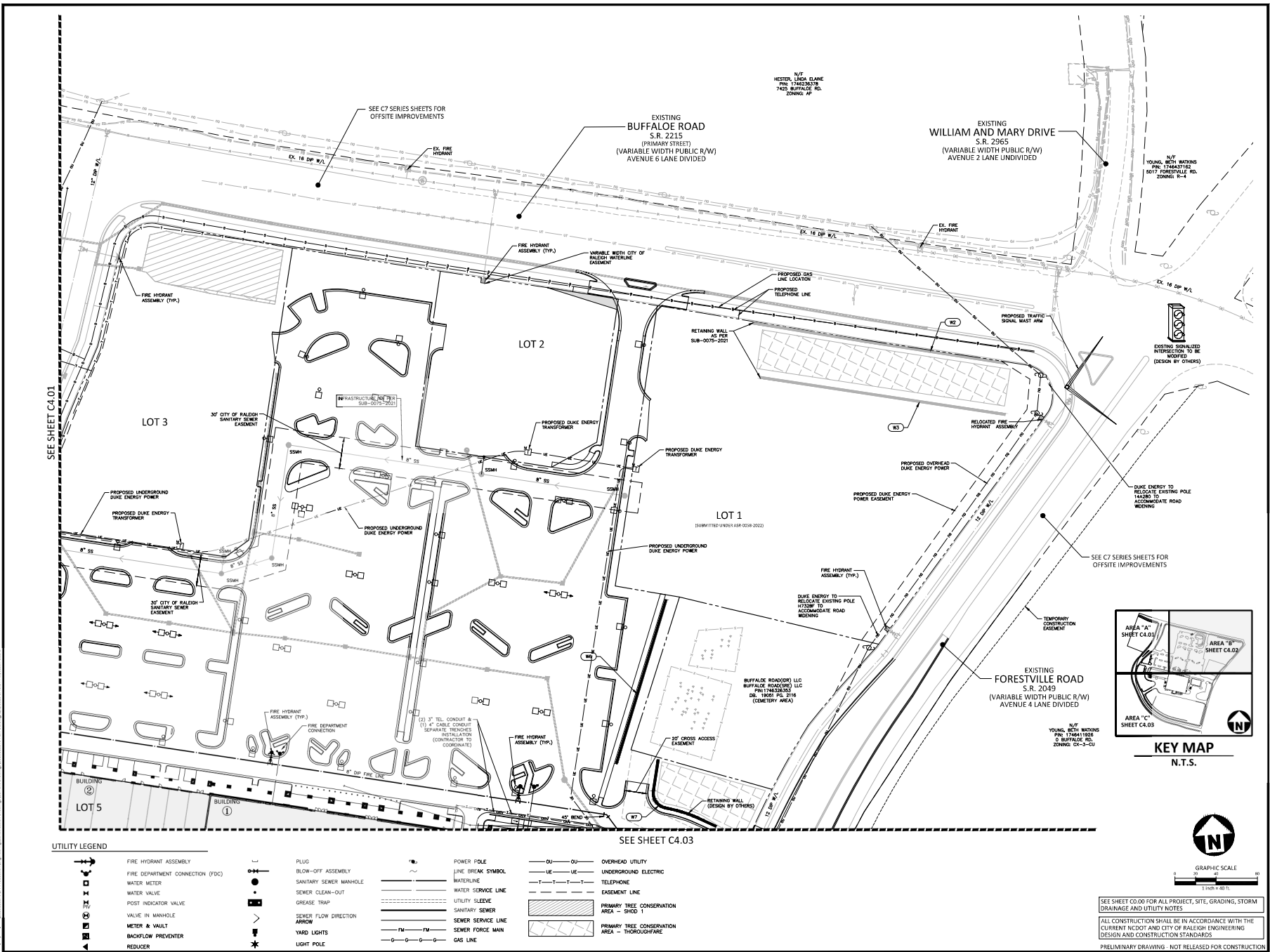
**PLAN INFORMATION**

PROJECT NO.	2020110379
FILENAME	2020110379-ASR-U1
CHECKED BY	CGH
DRAWN BY	CDR
SCALE	1"=40'
DATE	03.16.2022

**SHEET**

**UTILITY PLAN - AREA "B"**

**C4.02**



#### CLIENT

HALVORSEN DEVELOPMENT CORP.  
853 SOUTH FEDERAL HIGHWAY,  
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BOCA RATON, FLORIDA 33432

## BUFFALO BEND - LOT 5 ADMINISTRATIVE SITE REVIEW 5100 FORESTVILLE ROAD RALEIGH, NORTH CAROLINA ASR-0020-2022 & DA-11-22

#### REVISIONS

NO.	DATE	REVISION
1	06.14.2022	REVISED PER COR 310 ASR COMMENTS
2	09.30.2022	REVISED PER COR 2nd ASR COMMENTS
3	12.01.2022	REVISED PER COR 3rd ASR COMMENTS
4	02.23.2023	REVISED PER COR 4th ASR COMMENTS

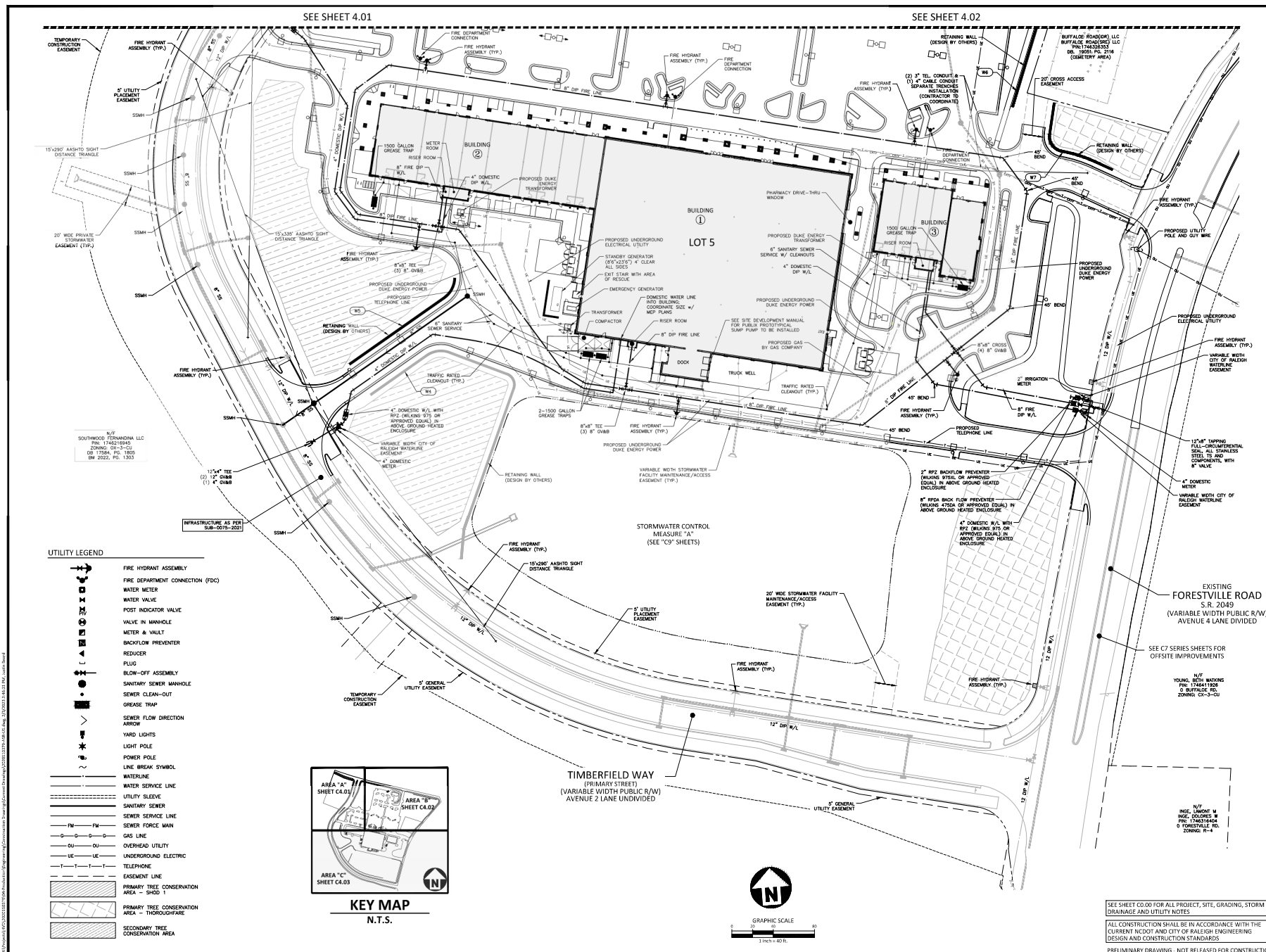
#### PLAN INFORMATION

PROJECT NO. 2020110379  
FILENAME 2020110379-ASR-U1  
CHECKED BY CGH  
DRAWN BY CDR  
SCALE 1"=40'  
DATE 03.16.2022

#### SHEET

UTILITY PLAN - AREA "C"

# C4.03



**BUFFALO BEND - LOT 5**  
**ADMINISTRATIVE SITE REVIEW**  
**5100 FORESTVILLE ROAD**  
**RALEIGH, NORTH CAROLINA**  
**ASR-0020-2022 & DA-11-22**

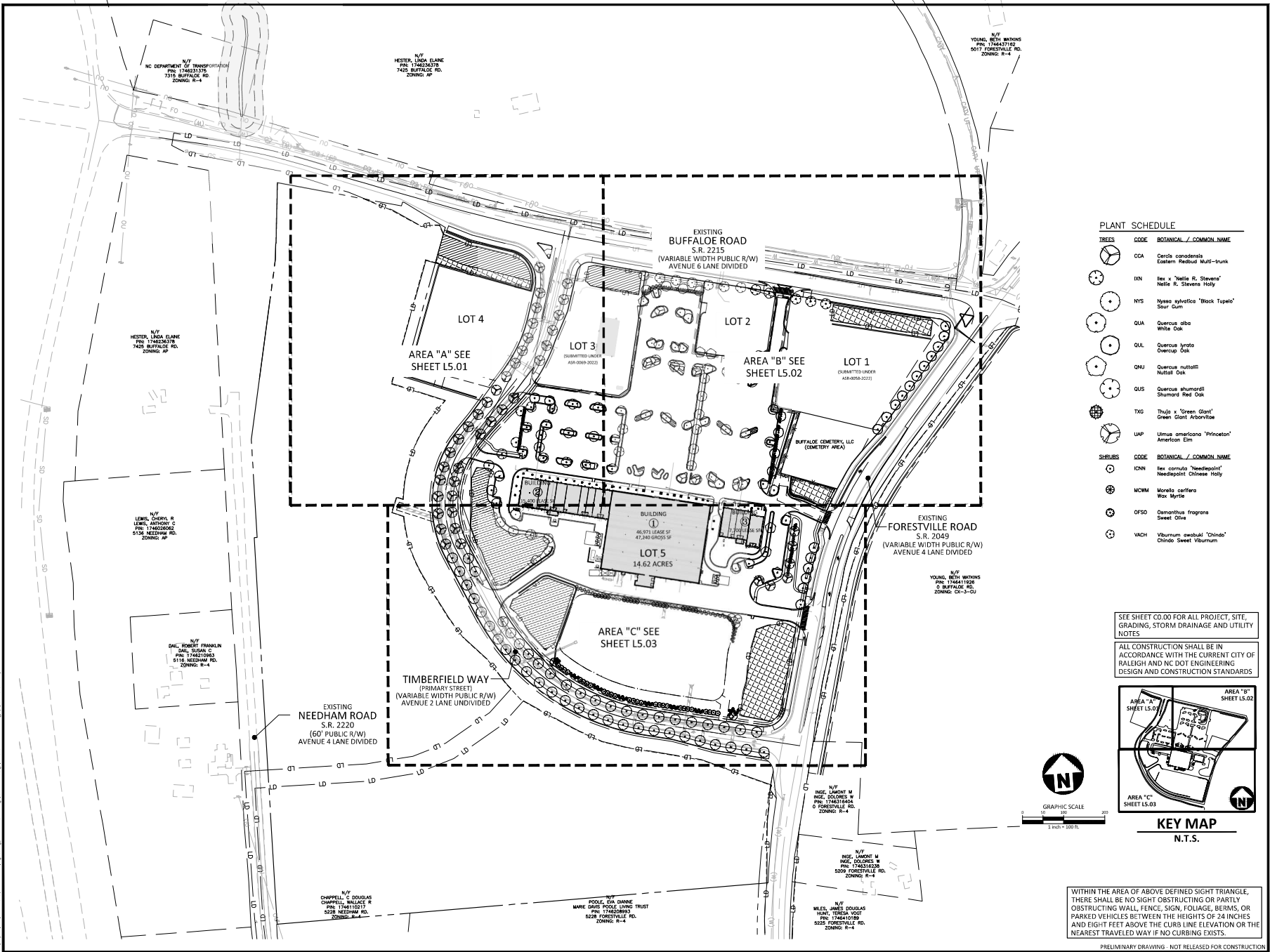
**REVISIONS**

NO.	DATE	DESCRIPTION
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2	09.30.2022	REVISED PER COR 240 ASR COMMENTS
3	02.01.2023	REVISED PER COR 240 ASR COMMENTS
4	01.23.2023	REVISED PER COR 420 ASR COMMENTS

**PLAN INFORMATION**

PROJECT NO.	2020110379
FILENAME	2020110379-ASR-L51
CHECKED BY	CGH
DRAWN BY	CDR
SCALE	1"=100'
DATE	03.16.2022

**OVERALL**  
**LANDSCAPE PLAN**  
**L5.00**

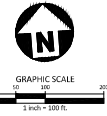
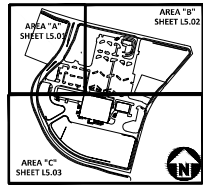


**PLANT SCHEDULE**

TREES	CODE	BOTANICAL / COMMON NAME
CCA	CCA	Cercis canadensis Eastern Redbud Multi-trunk
DN	DN	Ilex x 'Nelle R. Stevens' Nelle R. Stevens Holly
NYS	NYS	Nyssa sylvatica "Black Tupelo" Star Gum
QUA	QUA	Quercus alba White Oak
QUL	QUL	Quercus lyrata Overcup Oak
QNU	QNU	Quercus nuttallii Nuttall Oak
QUS	QUS	Quercus shumardii Shumard Red Oak
TGS	TGS	Tulipa x 'Green Giant' Green Giant Anemone
UAP	UAP	Ulmus americana "Princeton" American Elm
SHRUBS	CODE	BOTANICAL / COMMON NAME
ICN	ICN	Ilex cornuta "Needpoint" Needpoint Chinese Holly
MCM	MCM	Morella caroliniana Wax Myrtle
QFS	QFS	Quercus agrifolia Sweet Olive
VACN	VACN	Viburnum acerifolium "Chindo" Chindo Sweet Viburnum

SEE SHEET CD.00 FOR ALL PROJECT, SITE,  
GRADING, STORM DRAINAGE AND UTILITY  
NOTES

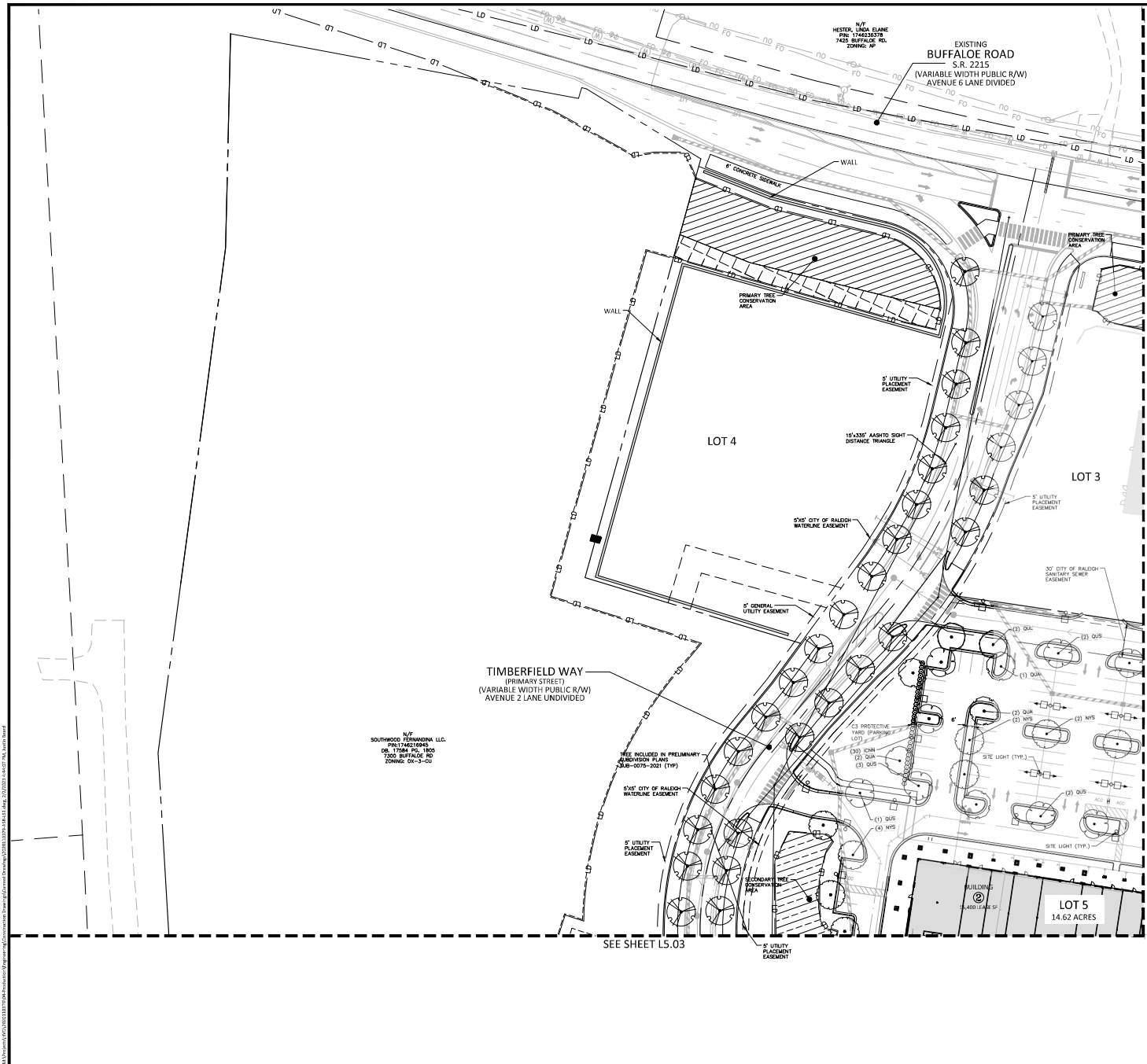
ALL CONSTRUCTION SHALL BE IN  
ACCORDANCE WITH THE CURRENT CITY OF  
RALEIGH AND NC DOT ENGINEERING  
DESIGN AND CONSTRUCTION STANDARDS



WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE,  
THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY  
OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERRIES, OR  
PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES  
AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE  
NEAREST TRAVELED WAY IF NO CURBING EXISTS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





**SITE LEGEND**

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA

**PLANT SCHEDULE AREA A**

TREES	CODE	COMMON NAME
	NYS	Sour Gum
	QUA	White Oak
	QUL	Overcup Oak
	QUS	Shumard Red Oak
SHRUBS	CODE	COMMON NAME
	ICNH	Needlepoint Chinese Holly

**PLANT SCHEDULE STREET TREES**

TREES	CODE	COMMON NAME
	NYS	Sour Gum
	QUL	Overcup Oak
	QUS	Shumard Red Oak
	UAP	American Elm

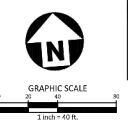
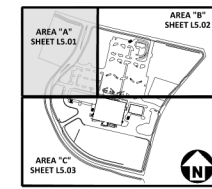
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SEE SHEET L5.02

SEE SHEET L5.03



**KEY MAP**  
N.T.S.

**McADAMS**  
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**BUFFALO BEND - LOT 5**  
**ADMINISTRATIVE SITE REVIEW**  
**5100 FORESTVILLE ROAD**  
**RALEIGH, NORTH CAROLINA**  
ASR-0020-2022 & DA-11-22

**REVISIONS**

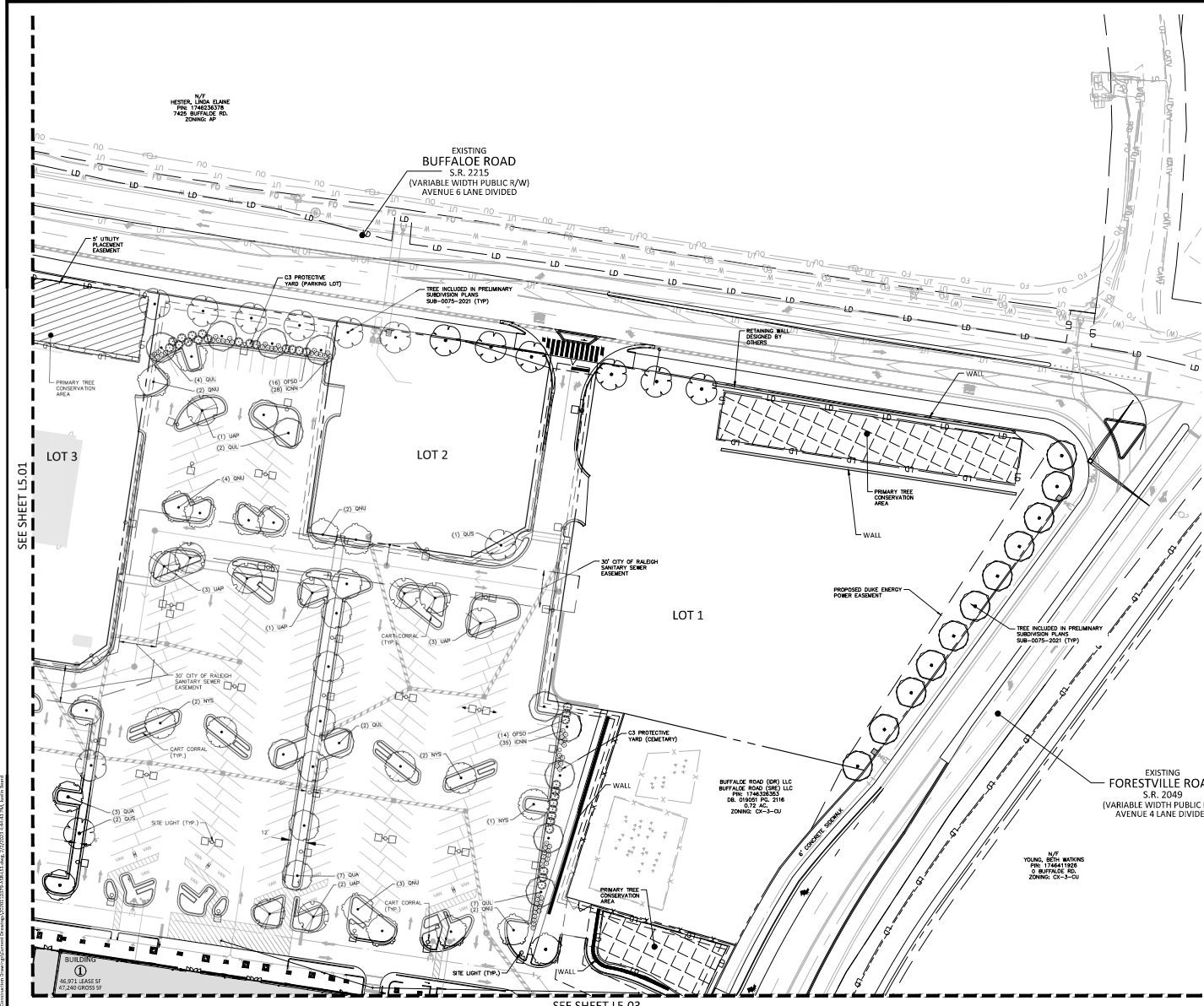
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2	09.30.2022	REVISED PER COR 240 FOR COMMENTS
3	12.01.2022	REVISED PER COR 340 FOR COMMENTS
4	01.23.2023	REVISED PER COR 400 FOR COMMENTS

**PLAN INFORMATION**

PROJECT NO. 2020110379  
FILENAME 2020110379-ASR-L51  
CHECKED BY CGH  
DRAWN BY CDR  
SCALE 1"=40'  
DATE 03.16.2022

**SHEET**  
**CODE LANDSCAPE PLAN**  
**AREA "A"**  
**L5.01**





**SITE LEGEND**

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	VAN ACCESSIBLE PARKING STALL
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA

**PLANT SCHEDULE AREA B**

TREES	CODE	COMMON NAME
	NYS	Sour Gum
	QUA	White Oak
	QUL	Overcup Oak
	QNU	Nuttall Oak
	QUS	Shumard Red Oak
	UAP	American Elm

SHRUBS	CODE	COMMON NAME
	ICNN	Needpoint Chinese Holly
	OFSD	Sweet Olive

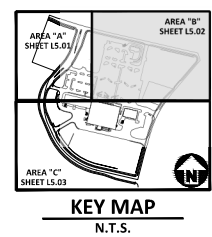
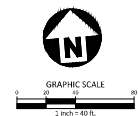
**PLANT SCHEDULE STREET TREES**

TREES	CODE	COMMON NAME
	NYS	Sour Gum
	QUL	Overcup Oak
	QUS	Shumard Red Oak
	UAP	American Elm

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ASR-0020-2022 & DA-11-22

**REVISIONS**

NO.	DATE	REVISION
1	08.14.2022	REVISED PER COR 240 ASR COMMENTS
2	09.30.2022	REVISED PER COR 240 ASR COMMENTS
3	12.01.2022	REVISED PER COR 240 ASR COMMENTS
4	01.23.2023	REVISED PER COR 420 ASR COMMENTS

**PLAN INFORMATION**  
PROJECT NO. 2020110379  
FILENAME 2020110379-ASR-L51  
CHECKED BY CGH  
DRAWN BY CDR  
SCALE 1"=40'  
DATE 03.16.2022

**SHEET**  
**CODE LANDSCAPE PLAN**  
**AREA "B"**  
**L5.02**

#### CLIENT

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## BUFFALO BEND - LOT 5 ADMINISTRATIVE SITE REVIEW 5100 FORESTVILLE ROAD RALEIGH, NORTH CAROLINA ASR-0020-2022 & DA-11-22

#### REVISIONS

NO.	DATE	REVISION
1	08.14.2022	REVISED PER COR 310 FOR COMMENTS
2	09.30.2022	REVISED PER COR 240 FOR COMMENTS
3	02.01.2023	REVISED PER COR 304 FOR COMMENTS
4	02.23.2023	REVISED PER COR 420 FOR COMMENTS

#### PLAN INFORMATION

PROJECT NO. 2020110379  
FILENAME 2020110379-ASR-L51  
CHECKED BY CGH  
DRAWN BY CDR  
SCALE 1"=40'  
DATE 03.16.2022

#### SHEET

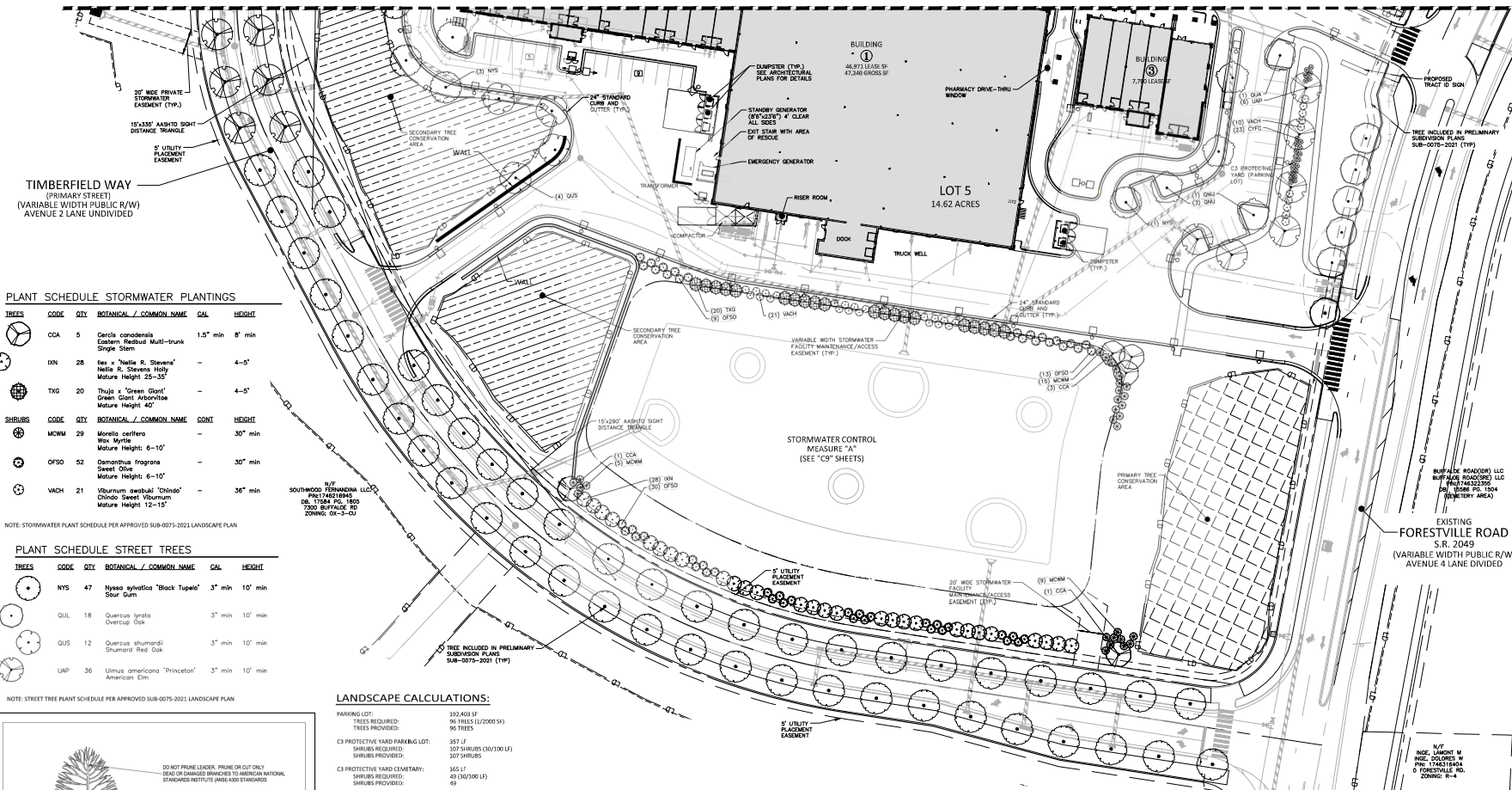
CODE LANDSCAPE PLAN  
AREA "C"

# L5.03

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

SEE SHEET L5.01

SEE SHEET L5.02



#### PLANT SCHEDULE STORMWATER PLANTINGS

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT
CCA	5		<i>Cercis canadensis</i> Eastern Redbud Multi-trunk Single Stem	1.5" min	8' min
IKN	28		<i>Ilex x 'Nellie R. Stevens'</i> Nellie R. Stevens Holly	-	4'-5'
TGQ	20		<i>Thuja x 'Green Giant'</i> Green Giant Arborvitae	-	4'-5'
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
MCWM	29		<i>Morella cerifera</i> Wax Myrtle	-	30' min
OF50	52		<i>Osmunda fragrans</i> Sweet Olive	-	30' min
VACH	21		<i>Viburnum cuneifolium</i> 'Chindo' Chindo Sweet Viburnum	-	36' min

NOTE: STORMWATER PLANT SCHEDULE PER APPROVED SUB-0075-2021 LANDSCAPE PLAN

#### PLANT SCHEDULE STREET TREES

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT
NYS	47		<i>Nyssa sylvatica</i> 'Black Tupelo' Sour Gum	3" min	10' min
QUL	18		<i>Quercus lyrata</i> Overcup Oak	3" min	10' min
QUS	12		<i>Quercus shumardii</i> Shumard Red Oak	3" min	10' min
UAP	36		<i>Ulmus americana</i> 'Princeton' American Elm	3" min	10' min

NOTE: STREET TREE PLANT SCHEDULE PER APPROVED SUB-0075-2021 LANDSCAPE PLAN

#### LANDSCAPE CALCULATIONS:

PARKING LOT:	232,462 SF
TREES REQUIRED:	96 TREES (1/2000 SF)
TREES PROVIDED:	96 TREES
C3 PROTECTIVE YARD PARKING LOT:	257 SF
SHRUBS REQUIRED:	327 SHRUBS (30/100 LF)
SHRUBS PROVIDED:	327 SHRUBS
C3 PROTECTIVE YARD CEMETARY:	155 LF
SHRUBS REQUIRED:	49 (30/100 LF)
SHRUBS PROVIDED:	49

#### PLANT SCHEDULE OVERALL SITE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT
NYS	17		<i>Nyssa sylvatica</i> 'Black Tupelo' Sour Gum	3" min	10' min
QUL	16		<i>Quercus alba</i> White Oak	3" min	10' min
QUL	15		<i>Quercus lyrata</i> Overcup Oak	3" min	10' min
QNU	17		<i>Quercus nuttallii</i> Nuttall Oak	3" min	10' min
QUS	15		<i>Quercus shumardii</i> Shumard Red Oak	3" min	10' min
UAP	16		<i>Ulmus americana</i> 'Princeton' American Elm	3" min	10' min
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT
CYFC	23		<i>Chamaecyparis obtusa</i> 'Gold Drop' Gold Drop Hinoki False Cypress	-	30' min
ICNH	93		<i>Ilex cornuta</i> 'Needlepoint' Needlepoint Chinese Holly	-	30' min
OF50	30		<i>Osmunda fragrans</i> Sweet Olive	-	30' min
VACH	10		<i>Viburnum cuneifolium</i> 'Chindo' Chindo Sweet Viburnum	-	36' min

#### SITE LEGEND

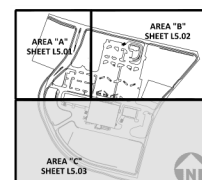
YARD LIGHTS	PHASE LINE
LIGHT POLE	PROPERTY LINE
POWER POLE	RIGHT-OF-WAY LINE
TRAFFIC DIRECTIONAL ARROW	LOT LINE
ACCESSIBLE PARKING STALL	EASEMENT LINE
VAN ACCESSIBLE PARKING STALL	CENTURLINE
ACC VAN	PRIMARY TREE CONSERVATION AREA
	SECONDARY TREE CONSERVATION AREA

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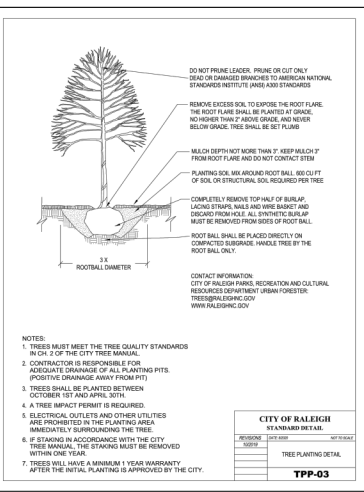


GRAPHIC SCALE  
1" = 40'



KEY MAP  
N.T.S.

WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.



NOTES:  
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CL 2 OF THE CITY TREE MANUAL.  
2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS (POSITIVE DRAINAGE AWAY FROM PITS).  
3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.  
4. A TREE IMPACT PERMIT IS REQUIRED.  
5. ELECTRICAL, OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.  
6. IF STANDING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.  
7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL	
REVISION	DATE
0001	01/01/2021
TREE PLANTING DETAIL	
TTP-03	







Architectural elevation drawing of the rear of a building. The drawing shows a two-story structure with a central gabled section and side wings. Key dimensions include a total width of 19'-5 1/2" and a gable width of 12'-0". A label "POST-DEVELOPMENT SPOT GRADE (+284.587)" points to the ground line on the left. Section markers B, C, and D are indicated at the top.

SCALE 1/8" = 1'-0"



BUILDING #3 (SOUTH) PER TC-420	GRADES
PRIMARY STREET: TIMBERFIELD WAY	
HIGH	+296
LOW	+293.83
AVERAGE	+294.92

SCALE 1/8" = 1'-0"

SCALE 1/8" = 1'-0"



④ BUILDING #1 DUMPSTER ENCLOSURE

JOB NUMBER	20036
SCALE	AS NOTED
PROJECT DATE	
ISSUE DATE	10-6-25
END DATE	
DRAWN BY	RW
CHECKED BY	RW
DISCIPLINE	ARCHITECTURE
PLAN TYPE	ELEVATIONS
INSET NUMBER	EL-03

JOB NUMBER	20036
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PROJECT DATE	
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