



Administrative Approval Action

Case File / Name: ASR-0020-2023
DSLCL - StudioRes

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 15.42 acre site zoned CX-5-PK CU (Z-75-95) with SHOD-2 Overlay is located on the southwest corner of the intersection of Triangle Town Blvd and I-540 at 6701 Town Center Drive.
- REQUEST:** This is a four story hotel with associated infrastructure.
- DESIGN
ADJUSTMENT(S):** DA-0015-2023
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan by SAMBATEK.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. For ease of reference add approved Design Adjustment note to the cover sheet -DA-15-2023 with condition -to allow the proposed service area to be located in front of the building in lieu of being located to the side or rear of building as required per UDO Section 7.2.5.C.1,

Public Utilities

2. confirm that exist 8" san sew outfall upstream of 18" interceptor has sufficient capacity to convey flow from hotel & upstream town center apt project (pipe less than 50% full @ Qpeak)

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry



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7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.

Engineering

2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

3. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department to verify no adverse project impact to san sew outfall traversing lot 2

Stormwater

4. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).



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5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
6. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

Urban Forestry

7. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.92 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Exempt plat should be submitted, reviewed, approved and recorded showing all easements, and dedications prior to issuance of building permits.

Public Utilities

2. sewer outfall traversing lot 2, designed & constructed by others under SPR-0255-2021, shall be accepted by the city for maintenance
3. A plat must be recorded at the Wake County Register of Deeds office for CORWLE dedication

Stormwater

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 9 street trees along Triangle Town Blvd. Existing street trees along Town Center Drive will also be evaluated. Trees found to be in poor or dead condition will require replacement with a 3" caliper large maturing tree species.



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7. A public infrastructure surety for 9 street trees along Triangle Town Blvd. shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 23, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

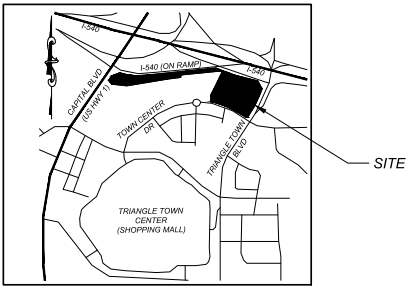
I hereby certify this administrative decision.

Signed: _____

Development Services Director/Designee

Date: 5/23/24

Staff Coordinator:



VICINITY MAP
NTS

STUDIORES

CONCORD WP COL MX RALEIGH TTC, LLC
1140 COMMON OAKS DRIVE
RALEIGH, NORTH CAROLINA 27614
PHONE: (919) 455-2900

ADMINISTRATIVE SITE PLAN CASE NUMBER: ASR-0020-2023

SITE ADDRESS: 6701 TOWN CENTER DRIVE
RALEIGH, NORTH CAROLINA

CSD PROJECT NUMBER: WSS-2004

SITE INFORMATION																
OWNER:	ETHEL LIMITED PARTNERSHIP 1517 CASWELL STREET RALEIGH, NC 27608															
DEVELOPER:	CONCORD WP COL MX RALEIGH TTC, LLC 1140 COMMON OAKS RALEIGH, NC 27614 PHONE: (919) 455-2900															
DESIGNER:	COMMERCIAL SITE DESIGN, A SAMBATEK COMPANY 8312 CREEDEMOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-8121															
ZONING:	CX-5-PK-CU (COMMERCIAL MIXED USE) SHOD 2 - OVERLAY DISTRICT															
EXISTING USE:	VACANT															
PROPOSED USE:	HOTEL															
SITE ADDRESS:	6701 TOWN CENTER DRIVE															
PARCEL IDENTIFICATION NUMBER:	1727-72-0832															
PARKING REQUIREMENTS (MAX):	1.5 SPACES PER ROOM OR BEDROOM 1.5 SPACES X 124 ROOMS = 186 SPACES MAX															
PARKING PROVIDED:	122 REGULAR SPACES A MANICARE SPACES 127 TOTAL SPACES															
BICYCLE PARKING:	SHORT TERM: NOT REQUIRED LONG TERM: 1 SPACE PER 20 ROOMS MIN 4 SPACES 124 SPACES / 20 = 7 SPACES REQUIRED 7 BIKE LOCKERS PROVIDED															
BUILDING HEIGHT:	4 STORIES (50'-8" HIGH)															
BUILDING SETBACKS:	<table border="1"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>1-540 (NORTH)</td> <td>25 FEET</td> <td>148.7 FEET</td> </tr> <tr> <td>TRIANGLE TOWN BLVD SIDE (WEST)</td> <td>50 FEET</td> <td>399.9 FEET</td> </tr> <tr> <td>TOWN CENTER DR. (SOUTH)</td> <td>0 OR 3 FEET</td> <td>141.6 FEET</td> </tr> <tr> <td></td> <td>50 FEET</td> <td>347.5 FEET</td> </tr> </tbody> </table>		REQUIRED	PROVIDED	1-540 (NORTH)	25 FEET	148.7 FEET	TRIANGLE TOWN BLVD SIDE (WEST)	50 FEET	399.9 FEET	TOWN CENTER DR. (SOUTH)	0 OR 3 FEET	141.6 FEET		50 FEET	347.5 FEET
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TOTAL SITE AREA:	871,110 SF OR 15.42 ACRES															
PROJECT DISTURBED AREA:	1,163,040 SF OR 26.69 ACRES															
EXISTING IMPERVIOUS AREA:	0 SF OR 0 ACRES															
PROPOSED IMPERVIOUS AREA:	22,070 SF OR 0.50 ACRES															
PROPOSED BUILDING AREA:	214,222 SF AT GROUND LEVEL (4 STORIES = ± 56,888 SF)															
WATER:	CITY OF RALEIGH PUBLIC UTILITIES															
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES															
AMENITY AREA:	REQUIRED = 10% x 671,110 = 67,111 SF PROVIDED = 10% OR 67,144 SF															
TREE CONSERVATION AREA:	REQUIRED = 671,110 SF x 0.10 = 67,111 SF PROVIDED = 93,638 SF OR 1.92 ACRES OR 12.46%															
FREQUENT TRANSIT DEVELOPMENT OPTION:	NOT USED															

REVISIONS:

NO.	DATE	DESCRIPTION	BY
▲	07-17-2023	ASR REVIEW COMMENTS #1	NL
▲	08-29-2023	ASR REVIEW COMMENTS #2	NL
▲	10-30-2023	ASR REVIEW COMMENTS #3	NL

SHEET INDEX

- C-1 RECORD PLAT
- C-1a ZONING CONDITIONS
- C-2 EXISTING CONDITION / DEMOLITION PLAN
- C-3 SITE PLAN
- C-3a SOLID WASTE & TRUCK TURN PLAN
- C-4 GRADING PLAN
- C-4a ALLUVIAL SOILS PLAN
- C-5 UTILITY PLAN
- C-6 LANDSCAPE PLAN
- C-6a TREE CONSERVATION PLAN
- C-6b TREE CONSERVATION NOTES
- C-6c TREE CONSERVATION NOTES
- C-6d TREE CONSERVATION NOTES
- C-7 LIGHTING PLAN
- C-8 BMP STORMWATER DETAILS
- A-1 INTERIOR ELEVATIONS
- A-2 INTERIOR ELEVATIONS

GREENWAY NOTE:

NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES), ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

STORMWATER NOTE:
ALL PRIVATE STORM DRAINAGE & STORMWATER MEASURES WILL BE MAINTAINED BY THE PROPERTY OWNERS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

Administrative Site Review Application
Planning and Development Customer Service Center - One Exchange Place, Suite 403 - Raleigh, NC 27601 (919) 996-2000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 17.2.8. Please check the appropriate building types and include the plan (sheet) document when submitting.

Office Use Only: Case # _____ Planner (print): _____

Please review UDO Section 17.2.8 to determine the site plan fee. If assistance determining a Site Plan Fee is needed, a Site Plan Fee Verification request can be submitted online via the <https://www.ncdot.gov/development> page. There is a fee for this verification service.

Site Plan Fee: Yes No Fee: Three Site Plan

Building and Development Type (Check all that apply):

Detached Office Subdivision case # _____
 Attached Mixed-use Reorganization case # _____
 Townhouse Civic Certificate of Appropriateness # _____
 Apartment College Court Board of Appropriateness # _____
 Tiny House Frequent Transit Zoning Case # _____
 Open lot Development Option Design Alternative # _____

GENERAL INFORMATION

Development name: STUDIORES

Is this City project? Yes No

Property address(es): 6701 TOWN CENTER DRIVE

Site # (NID): 1727-72-0832

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4):
Construct a hotel with associated utilities and parking.

Current Property Owner(s): ETHEL LIMITED PARTNERSHIP

Company: ETHEL LIMITED PARTNERSHIP | Title: Fee

Address: 1517 Caswell Street, Raleigh, NC 27608

Phone # _____ Email _____

Applicant Name (if different from owner): See "who can apply" in instructions.

Relationship to owner: Owner or contract purchaser Owner's authorized agent Assessment holder

Company: CSD/CO Purchase Company LLC, Address: 1149 Common Oaks, Raleigh, NC 27614

Phone # 919-455-2900 Email: julie.richter@concordohs.com

NOTE: please attach purchase agreement or contract, lease or agreement when submitting this form.

Developer Contact: Julie Richter

Company: C/HECO Purchase Company LLC Title: Vice President

Address: 1140 Common Oaks, Raleigh, NC 27614

Phone # 919-455-2900 Email: julie.richter@concordohs.com

Applicant Name: BRIAN SOULTZ

Company: Commercial Site Design, Address: 8312 Creedmoor Road, Raleigh, NC 27613

Phone # 919-848-8121 Email: bsoultz@samatek.com

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (please provide the acreage of each): CX-5-PK-CU - SHOD 2	Existing gross floor area (not to be demolished): 15.42
Gross site acreage:	Existing gross floor area to be demolished: 15.42
# of parking spaces proposed: 127	New gross floor area: 426,888 SF
Max # parking permitted (7.3.2.C): 186	Total of gross floor area and new: 456,888 SF
Change District (if applicable): N/A	Total of gross floor area and new: 456,888 SF
Existing use (UDO 6.1.4): Vacant	Proposed # of buildings: 1
Proposed use (UDO 6.1.4): Hotel	Proposed # of stories for each: 4
	Proposed # of assessment levels (UDO 11.7.A.6): 0

STORMWATER INFORMATION

Impervious Area on Parcels: _____ Impervious Area for Compliance: _____

Existing (if 0): _____ Proposed (not on): 22768

RECREATIONAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: _____ Total # of motel bedrooms: 124

of bedroom units: 1st: 2nd: 3rd: 4th or more: _____

of units: 1: _____ Is your project a cottage court? Yes No

Is a frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

Pursuant to 89B-100 (as amended), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An assessment holder may also apply for development approval for such development as is authorized by the assessment.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by law (N.C.G.S. 160C-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. The undersigned also acknowledges that the information and statements made in this application are true and correct and the undersigned understands that development approvals are subject to mandatory final appeal or interpretations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160C-403(a).

The undersigned hereby acknowledges that, pursuant to Article 14C (N.C.G.S. 143-150(c)), if the permit applicant fails to respond to comments or provide additional information requested by the City for a period of 30 consecutive business days or more, then the application will be deemed withdrawn and a new application will be required to process and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Julie A. Richter Date: 07/18/23

Printed Name: Julie A. Richter

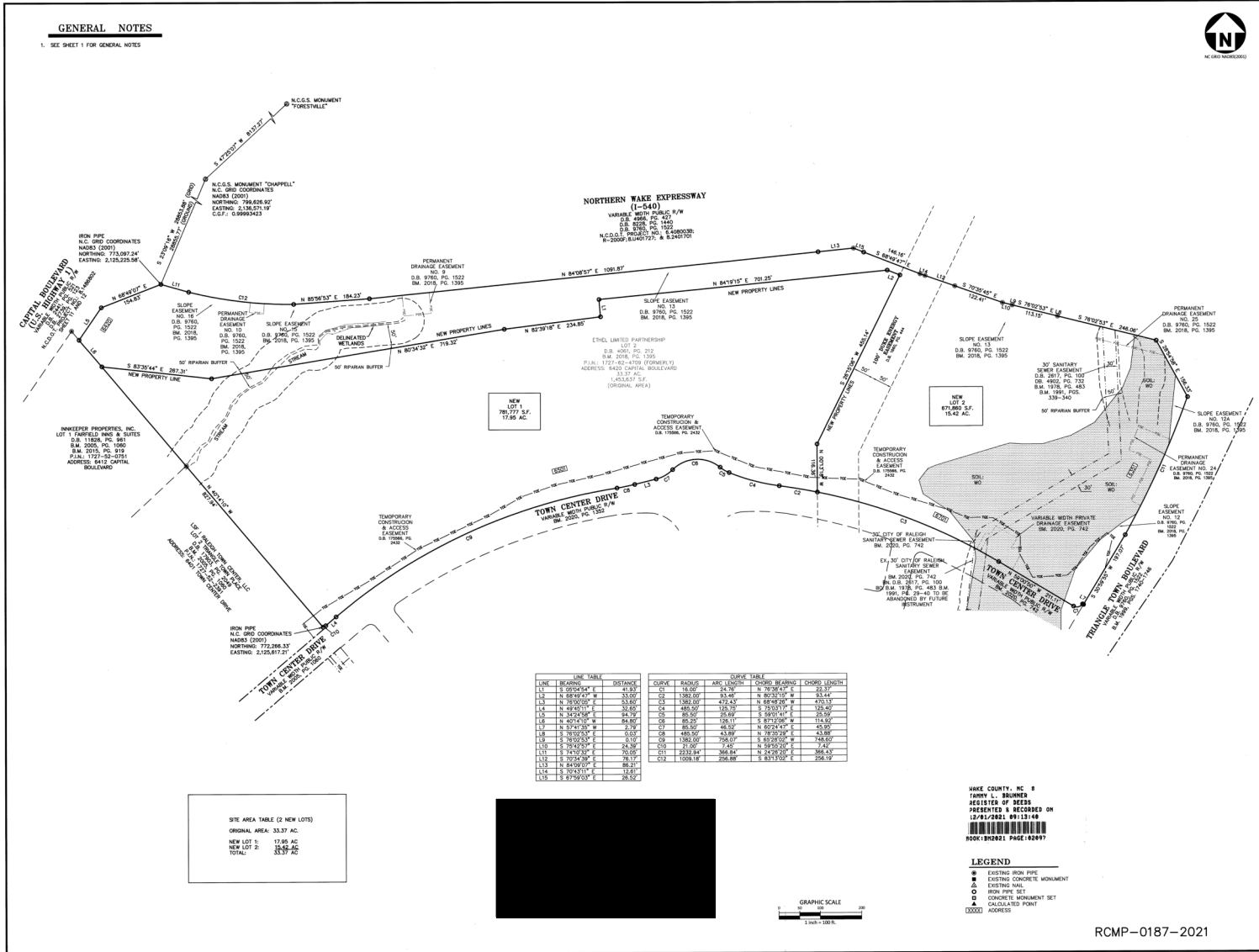


Know what's below.
Call before you dig.
nc811.org or 1-800-632-4949

COMMERCIAL SITE DESIGN
A Sambatek Company
8312 CREEDEMOR ROAD
RALEIGH, NORTH CAROLINA 27613
(919) 848-8301, FAX: (919) 848-8741
WWW.CSITDESIGN.COM

GENERAL NOTES

1. SEE SHEET 1 FOR GENERAL NOTES

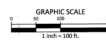


SITE AREA TABLE (2 NEW LOTS)
 ORIGINAL AREA: 33.37 AC
 NEW LOT 1: 17.90 AC
 NEW LOT 2: 15.46 AC
 TOTAL: 33.37 AC

LINE TABLE		CURVE TABLE				
LINE BEARING	DISTANCE	CURVE RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	
L1 - S 89°59'03" W	11.83	CI	18.00	84.30	N 78°30'15" W	20.17
L2 - N 88°49'03" W	23.07	CI	1382.00	81.20	N 80°29'15" W	83.44
L3 - N 83°00'00" E	13.00	CA	1382.00	432.44	S 75°03'15" E	170.53
L4 - N 49°49'03" E	32.40	CA	488.00	120.70	S 75°03'15" E	125.40
L5 - N 82°59'03" E	25.00	CA	85.00	26.69	S 75°03'15" E	27.69
L6 - N 80°29'03" W	82.80	CA	82.20	126.11	S 75°03'15" E	114.50
L7 - N 71°41'03" E	25.00	CA	85.00	48.36	N 78°30'15" W	45.69
L8 - S 78°00'00" E	0.00	CA	480.00	43.80	N 78°30'15" W	43.80
L9 - S 78°00'00" E	0.00	CA	1382.00	706.37	N 78°30'15" W	748.00
L10 - S 72°49'03" E	32.20	CA	211.84	368.84	N 78°30'15" W	364.13
L11 - S 70°59'03" E	70.00	CA	1008.18	206.88	S 83°10'00" E	206.19
L12 - S 70°59'03" E	70.00	CA	1008.18	206.88	S 83°10'00" E	206.19
L13 - N 84°00'00" E	86.21	CA	1008.18	206.88	S 83°10'00" E	206.19
L14 - S 87°59'03" E	28.52	CA	1008.18	206.88	S 83°10'00" E	206.19

WAKE COUNTY, NC
 TERRY L. BOJONES
 REGISTERED SURVEYOR
 LICENSE NO. 1242
 REGISTERED & RECORDED ON
 12/15/2021 09:13:48
 0001852021 PAGE:02097

LEGEND
 ● EXISTING IRON PIPE
 ▲ EXISTING CONCRETE MONUMENT
 ○ EXISTING MAIL
 ○ IRON PIPE SET
 ○ CONCRETE MONUMENT SET
 ○ CALCULATED POINT
 ○ ADDRESS



RCMP-0187-2021

McAdams
 The John R. McAdams Company, Inc.
 One Greenwood Avenue
 Suite 201
 Raleigh, NC 27603
 phone 919.823.4300
 fax 919.361.2269
 license number: C-0293, C-187
 www.mcadamsco.com

CLIENT
 WOOD PARTNERS
 521 EAST MOREHEAD STREET, SUITE 350
 CHARLOTTE, NC 28202
 PHONE: 704.688.6558

**TOWN CENTER APARTMENTS
 EXEMPT SUBDIVISION PLAT
 6420 CAPITAL BOULEVARD
 NEUSE TOWNSHIP, RALEIGH, NORTH CAROLINA**



REVISIONS
 NO. DATE
 1

PLAN INFORMATION
 PROJECT NO: WOP-19000
 FILENAME: WOP19000-F1
 CHECKED BY: RTF
 DRAWN BY: KMM
 SCALE: 1"=100'
 DATE: 08.04.2021

SHEET
 EXEMPT PLAT

2-2

NO.	DATE	DESCRIPTION
1	7-13-2021	ASR REVIEW COMMENTS #1
2	8-28-2021	ASR REVIEW COMMENTS #2
3	10-26-2021	ASR REVIEW COMMENTS #3

**COMMERCIAL
 SITE DESIGN**
 A Sambatak Company
 (919) 888-4021 FAX: (919) 848-9741
 WWW.CARTERSON.COM

CLIENT:
 CONCORD AP COLIAX RALEIGH LLC
 11410 COMMON OAKS DRIVE
 RALEIGH, NC 27614
 PHONE: (919) 452-2800

STUDIO/RES
 6701 TOWN CENTER DRIVE
 RALEIGH, NORTH CAROLINA

RECORD PLAT

PROJECT NO:	WSS-2004
FILENAME:	WSS2004-RP
DRAWN BY:	CDM
SCALE:	N.T.S.
DATE:	11-07-2022
SHEET NO:	C-1

ORDINANCE (1996) 845 ZC 385
Adopted: March 19, 1996

Z-75-95 Capital Boulevard, east side, between Old Wake Forest Road Extension and Jacqueline Lane, being Map 1727.16, Block 83, Parcel 4610 rezoned to Thoroughfare District Conditional Use. The SHOD-2 remains unaffected.

Conditions: (3/11/96)

A. Development of the subject property, or subdivided lots thereof, will comply with the provisions of certified recommendation 7107 of the Raleigh City Planning Commission.

B. The following land use criteria will be employed in order to assure that a mixed use development results on the subject property.

1. Non-residential uses will occupy no more than seventy-five (75) percent of the acreage net of right-of-ways. *RESPONSE: THIS IS THE FIRST NON-RESIDENTIAL*

2. Residential uses will occupy no more than seventy-five (75) percent of the acreage net of right-of-ways. *RESPONSE: NO RESIDENTIAL DEVELOPMENT IS PROPOSED*

Non-Residential uses are those uses described under the "Land Use" headings of "Agriculture", "Recreation", "Institution/Civic/Services", "Commercial" and "Industrial" as set forth in Code Section 10-2071 Schedule of Permitted Land Uses in Zoning Districts. Residential uses are those uses found under the "Residential" Land Use heading of the same schedule.

Nothing within this condition would prohibit the development of mixed use buildings on any portion of the subject property. In such instances the dominant use (based on the gross square footage of space allocated to that use within the building) will determine the land use of the building and the land use category (residential or non-residential) to which its lot area will be applied.

C. The portion of the subject property that is within a minimum of three hundred fifty feet (350) measured perpendicularly to the segments of the northern and eastern boundaries that abut developed or recorded parcels in the Smetlee development, shall be developed only for residential purposes not to exceed ten (10) units per acre. The segments of the boundary lines are more specifically described as being the lines beginning at the Southwest corner of parcel 1727.12.76.6024 and extending in a continuous generally Southeastward direction to the South corner of parcel 1727.16.94.7497.

The following adjacent parcels comprise the segments of the boundary lines to which this condition shall apply.

1727.12.76.6024	1727.12.75.7770	1727.12.75.9136	1727.16.94.6605
1727.12.76.6051	1727.12.75.7684	1727.16.94.6932	1727.16.94.6677
1727.12.75.6954	1727.12.75.8509	1727.16.94.1659	1727.16.94.7641
1727.12.75.6867	1727.12.75.8523	1727.16.94.4772	1727.16.94.7544
1727.12.75.7801	1727.12.75.8448	1727.16.94.5906	1727.16.94.7497
1727.12.75.7755			

RESPONSE: NO RESIDENTIAL DEVELOPMENT IS PROPOSED

ORDINANCE (1996) 845 ZC 385
Adopted: March 19, 1996

Within this area in order to promote an improved variety of housing choices and opportunities at least:

1. Twenty percent (20%) of the R10 restricted area will be devoted to detached homes.

2. Twenty percent (20%) of the R10 restricted area will be devoted to duplexes, triplexes and quadplexes that may or may not employ a zero lot line manner of development; and

3. Twenty percent (20%) of the R-10 restricted area will be devoted to townhouses or multi-family units including if desired, condominiums. *RESPONSE: NO DEVELOPMENT IS PROPOSED IN THIS AREA*

D. The owners will cooperate (including but not limited to donations, easements, sale at reduced value, etc.) with public agencies to effect publicly planned and programmed infrastructure improvements to further enhance the stature of this location as the City's Northeast Regional Center. Such improvements could include but not be limited to:

1. Additional connections (pedestrian, bike, road, transit, etc.) to promote circulation between the quadrants created on this property by the Expressway and the North-South Road. *RESPONSE: THIS PROJECT IS IDENTIFYING GREENWAY AND ADDING PUBLIC SIDEWALK ACROSS TRIANGLE TOWN SQUARE ALONG TOWN CENTER BLVD HAS ALREADY BEEN CONSIDERED*

2. A permanent water body (or bodies) that can function as stormwater management, water quality and recreation facilities, and *RESPONSE: THIS PROJECT IS IDENTIFYING GREENWAY AND ADDING PUBLIC SIDEWALK ACROSS TRIANGLE TOWN SQUARE ALONG TOWN CENTER BLVD HAS ALREADY BEEN CONSIDERED*

3. Open spaces to accommodate active or passive leisure opportunities, including greenways. To this end, at least 15% of the land area (approximately 6 acres) of the Northwest quadrant (quadrant A) of the property as illustrated on Exhibit A and at least 19% of the land area (approximately 15 acres) of the Northeast quadrant (quadrant B) as illustrated on Exhibit A will be maintained as open space which may also accommodate these types of infrastructure improvements. *RESPONSE: THIS PROJECT IS IDENTIFYING GREENWAY AND ADDING PUBLIC SIDEWALK ACROSS TRIANGLE TOWN SQUARE ALONG TOWN CENTER BLVD HAS ALREADY BEEN CONSIDERED*

Private development may proceed in these quadrants so long as it can be demonstrated that the respective land area to satisfy this requirement in each quadrant remains available or that on a pro-rata basis a portion of the land area being developed will provide an improvement towards the satisfaction of the overall requirement for the respective quadrant in which it is located. *RESPONSE: THIS PROJECT IS IDENTIFYING GREENWAY AND ADDING PUBLIC SIDEWALK ACROSS TRIANGLE TOWN SQUARE ALONG TOWN CENTER BLVD HAS ALREADY BEEN CONSIDERED*

E. Building heights within the portions of quadrant "B" identified on Exhibit A will be limited to:

1. Seventy-five (75) feet in Capital Boulevard height limit area; and

2. Forty (40) feet in the Expressway height limit area.

RESPONSE: THIS PROJECT IS NOT LOCATED IN QUADRANT "B"

ORDINANCE (1996) 845 ZC 385
Adopted: March 19, 1996

F. For all public streets not designated as thoroughfares and requiring thoroughfare district street yards, their required street yards will be planted with native species shade trees at a rate of one tree for every forty linear feet of street frontage. *RESPONSE: ALL STREET FRONTAGES ARE THOROUGHFARE PLANTINGS PER UDO AREA PROVIDED*

G. For a distance of two hundred (200) linear feet from the point that thoroughfares designated within this property enter, or exit, the zoned property, the thoroughfare street yard required on each side of the thoroughfare shall be enhanced with ornamental shrubs at a rate of sixty (60) shrubs per fifty (50) linear feet of qualifying street frontage. These shrubs shall meet or exceed the minimum shrub standards for protective yards at the time of planting. At least 70% of the shrubs per side of the street shall be evergreen. Nothing within this condition would prohibit the massing of these shrubs in an area, or areas. This condition does not apply to the Northern Wake Expressway. *RESPONSE: ALL STREET FRONTAGES ARE THOROUGHFARE PLANTINGS PER UDO AREA PROVIDED*

H. The portion of the subject property that is within three hundred and fifty (350) feet measured perpendicularly to the portions of the Wake County PIN numbers 1727.12.95.7114 (JVI) and 1737.17.02.3461 (Hendrickson Trustee) shall be developed for other residential purposes not to exceed eighteen (18) units per acre or uses allowed in O&I-1, or combinations thereof. This area shall extend from the southern boundary of the R-10 restricted area set out in Condition C above at parcel 1727.16.94.7497 and extend to the right-of-way of the Northern Wake Expressway. *RESPONSE: NO DEVELOPMENT IS PROPOSED IN THIS AREA*

I. Reimbursement values for qualifying right-of-ways (per Code Section 10-3022) shall be at the prevailing rate based upon the present zoning (RR, R-4, R-6) when said streets are required by the City's development regulations. *RESPONSE: ACKNOWLEDGE*

RESPONSE: THIS PROJECT IS IDENTIFYING GREENWAY AND ADDING PUBLIC SIDEWALK ACROSS TRIANGLE TOWN SQUARE ALONG TOWN CENTER BLVD HAS ALREADY BEEN CONSIDERED

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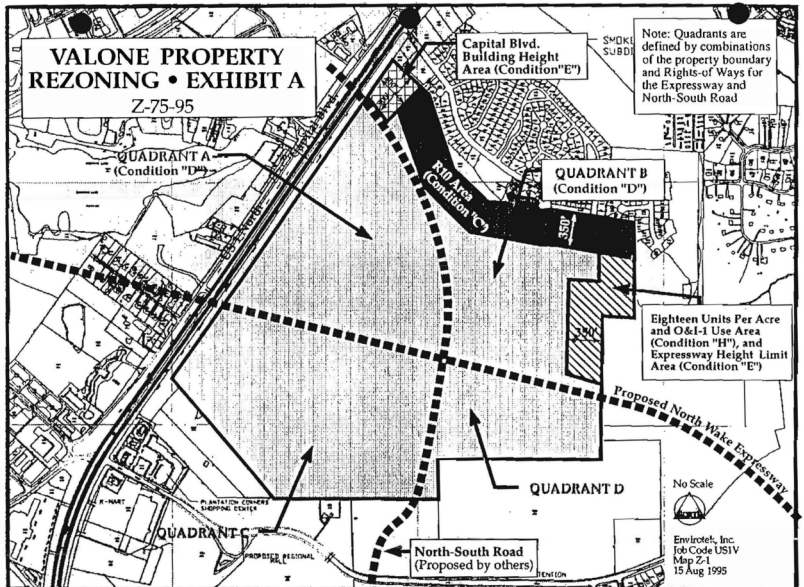
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GREENWAY NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

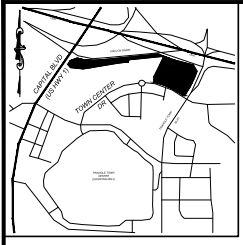
REVISIONS		NO.	DATE	DESCRIPTION
1	7-13-2022	ASR REVISION COMMENTS #1		
2	8-29-2022	ASR REVISION COMMENTS #2		
3	10-26-2022	ASR REVISION COMMENTS #3		

COMMERCIAL SITE DESIGN
A Sustainable Company
8812 CREEKMOOR ROAD
RALEIGH, NORTH CAROLINA 27619
(919) 848-4071 FAX: (919) 848-9741
WWW.CSDDESIGN.COM

CLIENT:
CONCORD WP COL ILLX RALEIGH LLC
11410 COMMON OAKS DRIVE
RALEIGH, NORTH CAROLINA 27614
PHONE: (919) 485-2600

STUDIO/RES
6701 TOWN CENTER DRIVE
RALEIGH, NORTH CAROLINA
ZONING CONDITIONS

PROJECT NO.	WSS-2004
FILENAME	WSS2004-ZC
DRAWN BY	CDH
SCALE	N.T.S.
DATE	11-07-2022
SHEET NO.	C-1a

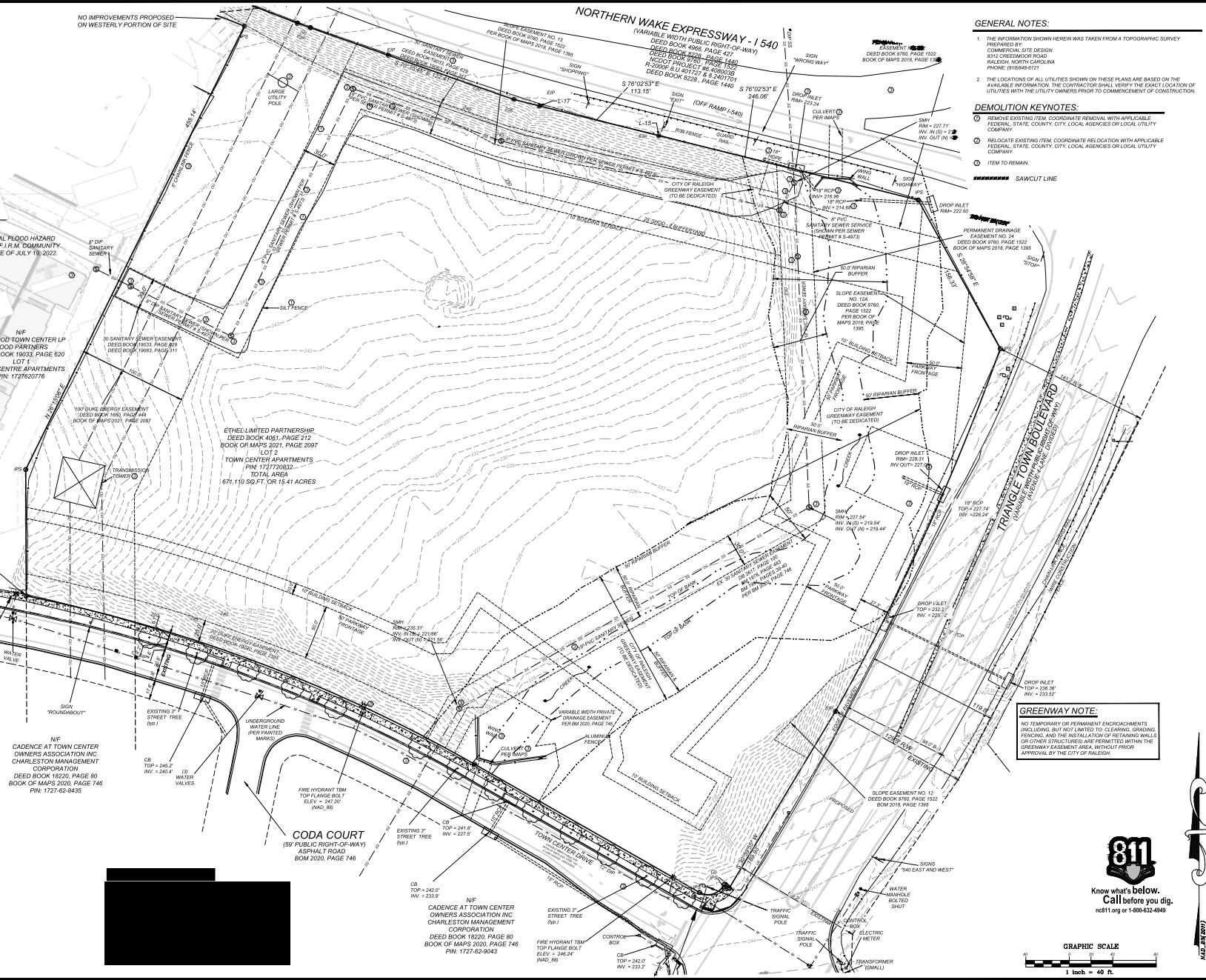


FLOOD INFORMATION

SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 371017200K WITH AN EFFECTIVE DATE OF JULY 19, 2022.

NO IMPROVEMENTS PROPOSED ON WESTERLY PORTION OF SITE

- LEGEND**
- EXISTING IRON PIPE
 - IRON PIPE SET
 - SORE HOLE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - TELEPHONE MANHOLE
 - ELECTRIC BOX
 - LIGHT POLE
 - POWER POLE
 - CURB INLET
 - STORM DRAINAGE MANHOLE
 - YARD INLET
 - STORM DRAIN
 - OVERHEAD UTILITIES
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE
 - WATER LINE
 - SANITARY SEWER LINE
 - GAS LINE
 - FENCE LINE



GENERAL NOTES:

- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY COMMERCIAL SITE DESIGN 811 CREEDMOR ROAD RALEIGH, NORTH CAROLINA PHONE: (919)848-8121
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DEMOLITION KEYNOTES:

- REMOVE EXISTING ITEM, COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- RELOCATE EXISTING ITEM, COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- ITEM TO REMAIN.

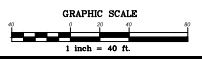
----- SAWCUT LINE

GREENWAY NOTE:

NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO: CLEANING, GRADING, PAVING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



Know what's below. Call before you dig. nc811.org or 1-800-632-4949



NO.	DATE	DESCRIPTION	BY
1	7-13-2022	ASR REVISION COMMENTS #1	KL
2	8-29-2022	ASR REVISION COMMENTS #2	KL
3	10-26-2022	ASR REVISION COMMENTS #3	KL

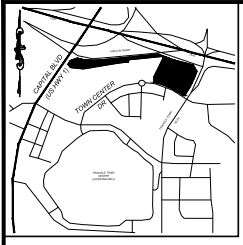
COMMERCIAL SITE DESIGN
A Sarnatek Company
812 CREEDMOR ROAD
RALEIGH, NORTH CAROLINA 27609
WWW.COMMERCIALSD.COM

CLIENT:
CONCORD WP COL ILL RALEIGH ITC, LLC
1140 COMMON OAKS DRIVE
RALEIGH, NC 27614
PHONE: (919) 482-2600

STUDIO/RES
6701 TOWN CENTER DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO: WSS-2004
FILENAME: WSS2004-DP
DRAWN BY: CDH
DATE: 11'-60"
DATE: 11-07-2022
SHEET NO: C-2

EXISTING CONDITIONS / DEMOLITION PLAN



VICINITY MAP
NTS

SITE KEYNOTES:

- 1 CONSTRUCT 2" CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- 2 CONSTRUCT 2" CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- 3 CONSTRUCT 6" WIDE CONCRETE SIDEWALK PER DETAIL SHEET
- 4 CONSTRUCT CONCRETE HANDCAP RAMP PER DETAIL SHEET
- 5 HANDCAP PARKING STALL
- 6 INSTALL HANDCAP PARKING SIGN PER DETAIL SHEET
- 7 INSTALL "VAN ACCESSIBLE" HANDCAP PARKING SIGN PER DETAIL SHEET
- 8 CONCRETE PAVEMENT PER DETAIL SHEET
- 9 ASPHALT PAVEMENT PER DETAIL SHEET
- 10 TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, COORDINATE SIZE AND LOCATION WITH UTILITY COMPANY
- 11 CONSTRUCT QUARTER PANEL MINIMUM 4" CONCRETE WITH 4" ABC BASE AND TRASH ENCLOSURE WITH GATES. SEE ARCHITECTURAL SHEETS FOR DETAIL. MATERIALS TO MATCH BUILDING
- 12 CONCRETE WHEEL STOP PER DETAIL SHEET
- 13 POLE MOUNTED AREA LIGHT. SEE LIGHTING PLAN
- 14 PAINT 4" WIDE STRIPE, WHITE
- 15 PAINT 4" WIDE STRIPE @ 45° 2 FEET APART
- 16 PAINT TRAFFIC ARROWS PER DETAIL SHEET
- 17 SITE IDENTIFICATION SIGN
- 18 CONSTRUCT VALLEY GUTTER PER DETAIL SHEET
- 19 MATCH EXISTING CURB & GUTTER
- 20 ASPHALT/CONCRETE TRANSITION PER DETAIL SHEET
- 21 INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- 22 MATCH EXISTING ASPHALT PAVEMENT
- 23 MATCH EXISTING CONCRETE SIDEWALK
- 24 PAINT CROSSWALK PER DETAIL SHEET
- 25 LONG TERM BICYCLE SPACES
- 26 8" BENCH LOCKERS PROVIDED PER DETAIL SHEET
- 27 CONSTRUCT 30" CONCRETE CURB AND GUTTER PER NCDOT STANDARDS MUTCD STANDARDS

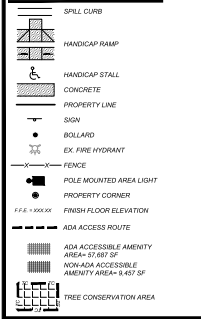
GREENWAY EASEMENT NOTE:

TOTAL AREA OF CITY OF RALEIGH GREENWAY EASEMENT TO BE DEDICATED IS 99,164 SF OR 2.28 ACRES.

GREENWAY NOTE:

NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

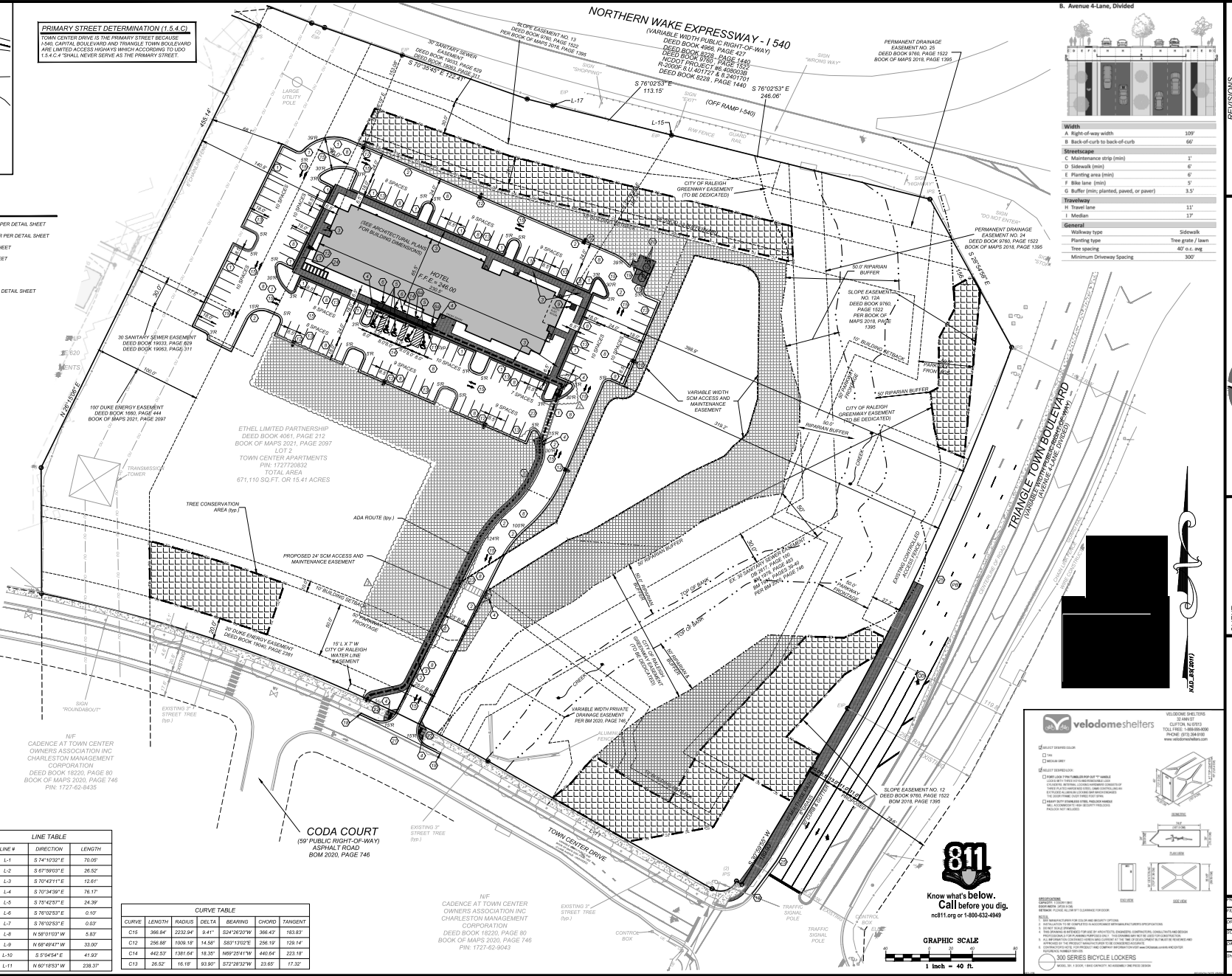
SITE LEGEND



PRIMARY STREET DETERMINATION (1.5.4.C)
TOWN CENTER DRIVE IS THE PRIMARY STREET BECAUSE 4840 CAPITAL BOULEVARD AND TRIANGLE TOWN BOULEVARD ARE UNLIMITED ACCESS HIGHWAYS WHICH ACCORDING TO 1.5.4.C.4 "SHALL NEVER SERVE AS THE PRIMARY STREET"

LINE #	DIRECTION	LENGTH
L-1	S 74°10'32" E	76.09'
L-2	S 87°59'03" E	26.52'
L-3	S 70°43'11" E	12.61'
L-4	S 70°34'39" E	76.17'
L-5	S 70°40'27" E	24.39'
L-6	S 76°32'23" E	0.92'
L-7	S 76°32'23" E	0.92'
L-8	N 80°10'33" W	5.82'
L-9	N 68°49'47" W	33.07'
L-10	S 5°04'54" E	41.92'
L-11	N 60°19'53" W	238.37'

CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD	TANGENT
C15	366.84	2232.94	8.41°	S24°28'29" W	366.43	183.83
C12	266.88	1106.19	14.58°	S81°13'02" E	256.19	129.14
C14	442.02	1381.64	18.20°	M82°21'41" W	440.64	223.18'
C13	26.52	16.18'	93.90°	S72°28'32" W	23.69'	17.32'



Width

A. Right-of-way width	100'
B. Back-of-curb to back-of-curb	66'

Streetscape

C. Maintenance strip (min)	1'
D. Sidewalk (min)	6'
E. Planting area (min)	6'
F. Blue line (min)	3'
G. Buffer (min, planted, paved, or paved)	3.5'

Travelway

H. Travel lane	11'
I. Median	17'

General

Planting type	Tree grade / 7' min
Tree spacing	40' c.c. max
Minimum Driveway Spacing	300'

REVISIONS

NO.	DATE	DESCRIPTION	BY
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3	10-26-2022	ASR REVIEW COMMENTS #3	KL

COMMERCIAL SITE DESIGN
A Sambaatak Company
(919) 848-4021 FAX: (919) 848-3781
WWW.CORTISON.COM

CLIENT:
CONCORD WP COL IAK RALEIGH ITC, LLC
11410 COMMON OAKS DRIVE
RALEIGH, NC 27614
PHONE: (919) 452-2800

STUDIO/RES
6701 TOWN CENTER DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO: WSS-2004
FILENAME: WSS2004-SP
DRAWN BY: DDH
DATE: 11-07-2022
SHEET NO: C-3

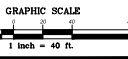
velodomes shelters

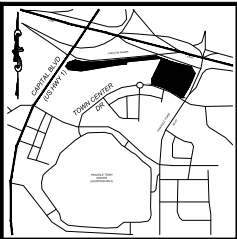
WELCOME SHelters
22 ANNE CUTLER DR
COLUMBIANA, NC 27825
TOLL FREE: 1-800-956-0206
PHONE: 919-284-9416
WWW.VELODOMESHelters.com

300 SERIES BICYCLE LOCKERS
MADE BY: 1-800-956-0206 OR VISIT OUR WEBSITE

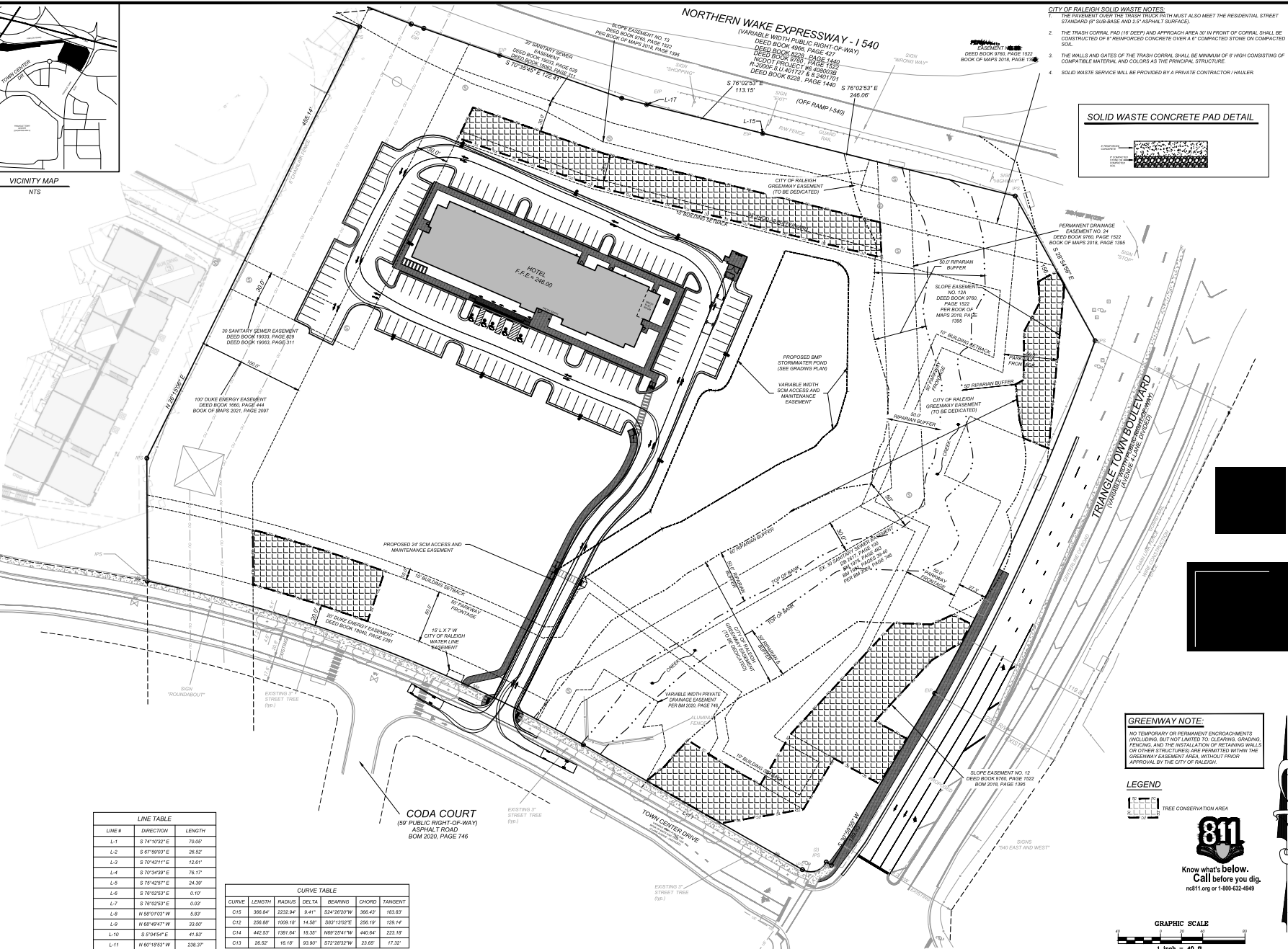


Know what's below.
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nc811.org or 1-800-633-4349

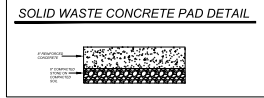




VICINITY MAP
NTS



- CITY OF RALEIGH SOLID WASTE NOTES:**
1. THE EASEMENT OVER THE TRUCK PATH MUST ALSO MEET THE RESIDENTIAL STREET STANDARD (3" SUB-BASE AND 2.5" ASPHALT SURFACE).
 2. THE TRASH CORRAL PAD (1/2 DEEP AND APPROACH AREA 30" W FRONT OF CORRAL SHALL BE CONSTRUCTED OF 6" REINFORCED CONCRETE OVER 4" COMPACTED STONE-ON COMPACTED SOIL.
 3. THE WALLS AND GATES OF THE TRASH CORRAL SHALL BE MINIMUM OF 6" HIGH CONSISTING OF COMPATIBLE MATERIAL AND COLORED AS THE PRINCIPAL STRUCTURE.
 4. SOLID WASTE SERVICE WILL BE PROVIDED BY A PRIVATE CONTRACTOR / HAULER.



LINE TABLE

LINE #	DIRECTION	LENGTH
L-1	S 74°10'32" E	70.00'
L-2	S 87°59'03" E	26.52'
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L-6	S 76°32'53" E	0.02'
L-7	S 76°32'53" E	0.02'
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L-9	N 68°49'47" W	33.00'
L-10	S 5°04'54" E	41.92'
L-11	N 60°19'53" W	238.37'

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD	TANGENT
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C14	442.02	1381.64	18.20°	M82°21'41" W	440.64	223.18'
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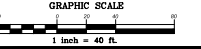
CODA COURT
(59' PUBLIC RIGHT-OF-WAY)
ASPHALT ROAD
BOM 2020, PAGE 746

GREENWAY NOTE:
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LEGEND



811
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nc811.org or 1-800-632-4949



REVISIONS

NO.	DATE	DESCRIPTION	BY
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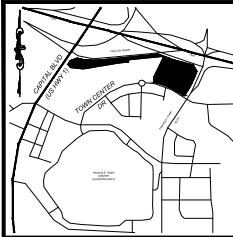
COMMERCIAL SITE DESIGN
A Sambatek Company
(919) 848-4001 FAX: (919) 848-3781
WWW.COMMERCIALSD.COM
8912 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27609

CLIENT:
CONCORD WP COLIAX RALEIGH LLC
11410 COMMON OAKS DRIVE
RALEIGH, NC 27614
PHONE: (919) 452-2600

STUDIO/RES
6701 TOWN CENTER DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO: WSS-2004
FILENAME: WSS2004-TT
DRAWN BY: DCH
DATE: 11-07-2022
SHEET NO: C-3a

DATE: 11-07-2022

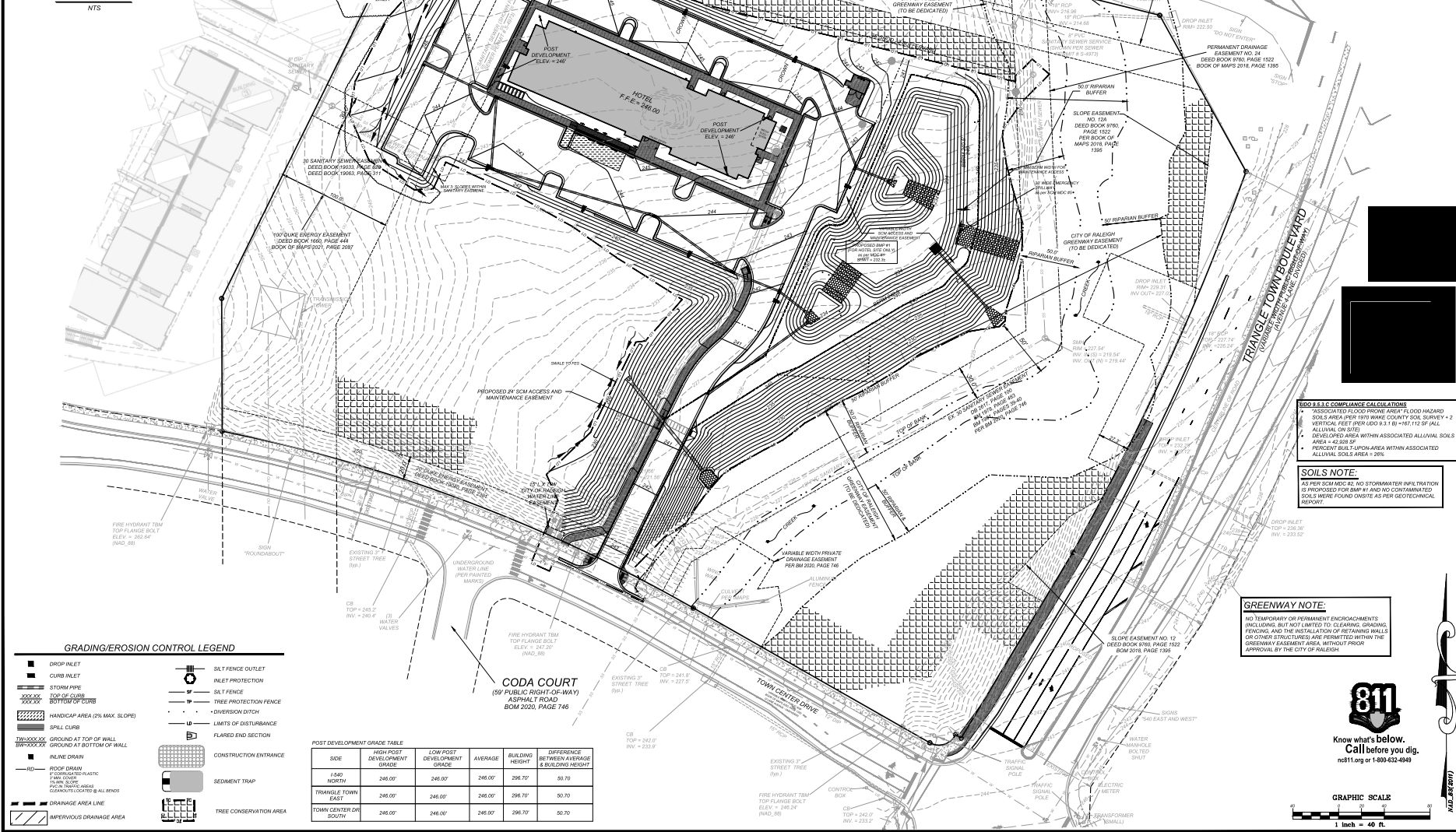


VICINITY MAP
NTS

CONTRACTOR TO INSTALL ROOF DRAINS AROUND BUILDING AND EXTEND TO OUTLET AT 2% MINIMUM SLOPE. COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECT.

NORTHERN WAKE EXPRESSWAY - 1540
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)
DEED BOOK 0064, PAGE 427
DEED BOOK 0228, PAGE 1322
LOCAL PROJECT NO. 008208
R-2000F-8, L-1401271 & L-2401701
DEED BOOK 0228, PAGE 1440

Alluvial Soils Statement:
For a Wake County performed prior to August of 1994, alluvial soils were noted and record as being present on this property. See included record plat within these plans (sheet C-1a) and Wake County Book of Maps BM1994, page 1500 for the recorded alluvial soil location.
In anticipation of these alluvial soils, the following improvements have been included in the design of this project to ensure adequate drainage away from the proposed development of this property:
1. Installation of a new stormwater capture, conveyance, and detention system (SMP-1).
2. Installation of a building underdrain and roof drain network that captures and conveys all impounded groundwater and roof water away from the building footprint and into SMP-1 for detention.
3. Aggressive positive grading of all slopes surrounding the building footprint (to the extent allowable by the American Disabilities Act) to a horizontal distance of not less than 20 ft in all directions and an average vertical distance of 2' from the proposed finished floor elevation to the completed grade elevation.
4. Extensive fill within the area of the building footprint resulting in average finish floor elevations of 5.68' above the existing grade elevation.
Note: A geotechnical report and soil improvement recommendation are forthcoming with the building plans and footing design calculations submitted. Any recommended underpinning and/or structural improvements of the in-situ soil profile located at or around the building footprint will be per the recommendation of the geotechnical engineering report and structural engineer's required footing design.



GRADING/EROSION CONTROL LEGEND

POST DEVELOPMENT GRADE TABLE

SIDE	HIGH POST DEVELOPMENT GRADE	LOW POST DEVELOPMENT GRADE	AVERAGE	BUILDING HEIGHT	DIFFERENCE BETWEEN AVERAGE & BUILDING HEIGHT
1540 NORTH	246.00'	246.00'	246.00'	236.70'	9.30'
TRIANGLE TOWN CENTER DRIVE EAST	246.00'	246.00'	246.00'	236.70'	9.30'
TOWN CENTER DRIVE SOUTH	246.00'	246.00'	246.00'	236.70'	9.30'

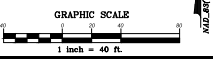
1000 S.F.C. COMPLIANCE CALCULATIONS

- ASSOCIATED FLOOD PRONE AREA FLOOD HAZARD SOILS AREA PER 1978 WAKE COUNTY SOIL SURVEY = 2 VERTICAL FEET OPEN (8.3 ft) = 181,111 SF (ALL ALLUVIAL SOILS)
- DEVELOPED AREA WITHIN ASSOCIATED ALLUVIAL SOILS AREA = 42,222 SF
- PERCENT BUILT UPON AREA WITHIN ASSOCIATED ALLUVIAL SOILS AREA = 23%

SOILS NOTE:
AS PER SCM MEC #2, NO STORMWATER INFILTRATION IS PROPOSED FOR THIS PROJECT AND NO CONTAMINATED SOILS WERE FOUND ON-SITE AS PER GEOTECHNICAL REPORT.

GREENWAY NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

811
Know what's below.
Call before you dig.
n811.org or 1-800-421-4949



REVISIONS

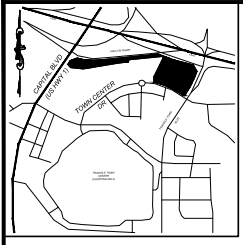
NO.	DATE	DESCRIPTION	BY
1	7-13-2022	ASR REVISION COMMENTS #1	RL
2	7-29-2022	ASR REVIEW COMMENTS #2	RL
3	10-26-2022	ASR REVIEW COMMENTS #3	RL

COMMERCIAL SITE DESIGN
A Rambatek Company
892 CEDARWOOD ROAD
RALEIGH, NORTH CAROLINA 27609
WWW.CORTIS-USA.COM

CLIENT:
CONCORD WPCOLIAK RALEIGH LLC
1140 COMMONWEALTH DRIVE
RALEIGH, NC 27614
PHONE: (919) 452-2800

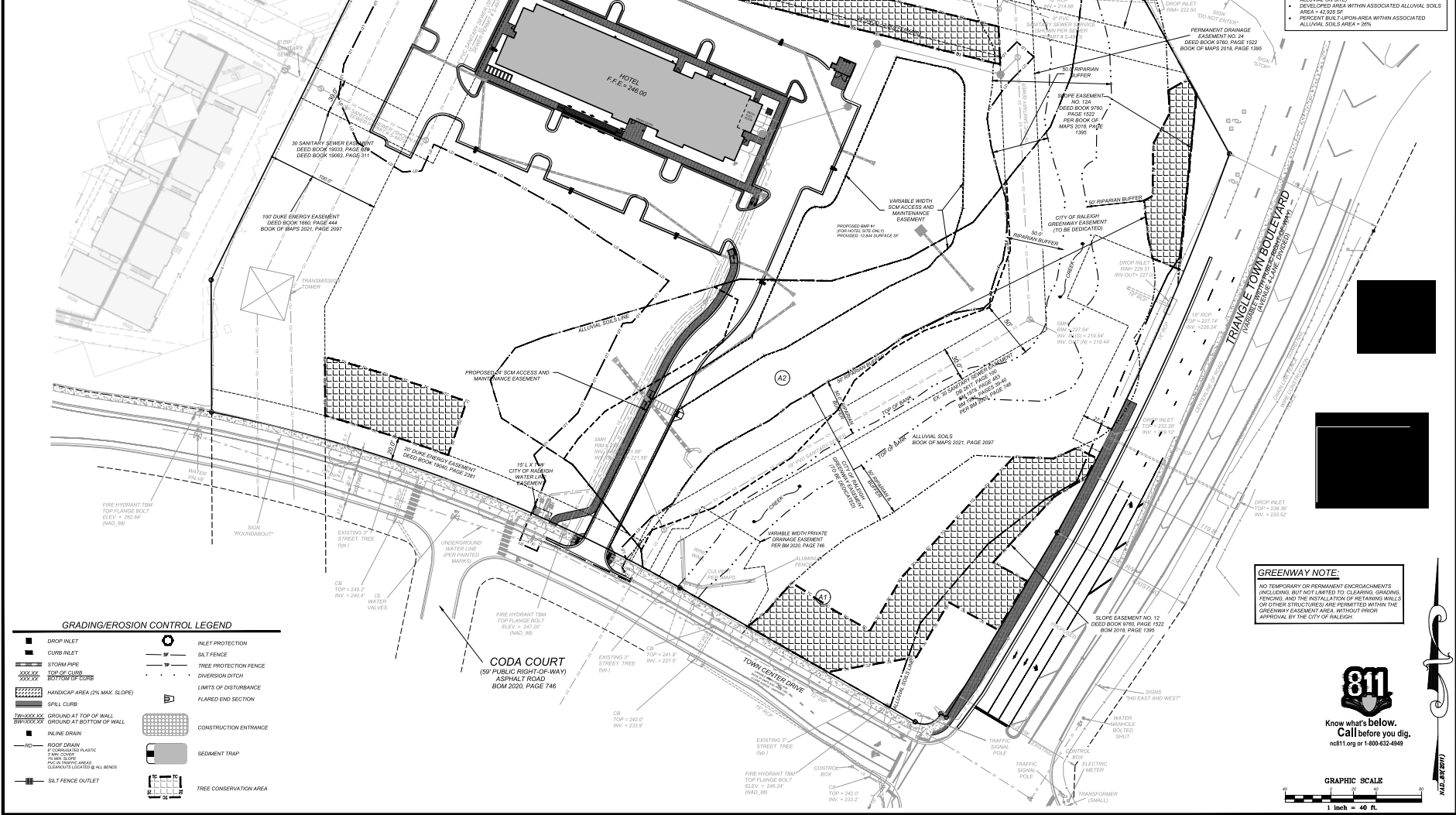
STUDIO/RES
6701 TOWN CENTER DRIVE
RALEIGH, NORTH CAROLINA

PROJECT NO: WSS-2004
FILENAME: WSS2004-GP
DRAWN BY: DDP
DATE: 11-07-2022
SHEET NO: C-4



VICINITY MAP
NTS

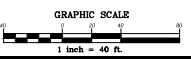
CONTRACTOR TO INSTALL ROOF DRAINS AROUND BUILDING AND EXTEND TO OUTLET AT 75 MINIMUM. COORDINATE DOWNDROUT LOCATIONS WITH ARCHITECT.



Alluvial Soils Statement:
 For a Wake County performed prior to August of 1994, alluvial soils were noted and record as being present on this property. See included record plan within these plans (sheet C-1a) and Wake County Book of Maps BM1994, page 1500 for the recorded alluvial soil location.
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 Note: A geotechnical report and soil improvement recommendation are forthcoming with the building plans and footing design calculations submitted. Any recommended underpinning and/or structural improvements of the in-situ soil profile located at or around the building footprint will be per the recommendation of the geotechnical engineering report and structural engineer's required footing design.

MDO & R.C. COMPLIANCE CALCULATIONS
 • ASSOCIATED FLOOD PRONE AREA FLOOD HAZARD SOILS AREA PER 1975 WAKE COUNTY SOIL SURVEY = 2 VERTICAL FEET PER FOOT 9.31' @ 145.113 SF. ALL ALLUVIAL ON SITE
 • DEVELOPED AREA WITHIN ASSOCIATED ALLUVIAL SOILS AREA = 42,828 SF
 • PERCENT SUB FLOOD AREA WITHIN ASSOCIATED ALLUVIAL SOILS AREA = 28%

GREENWAY NOTE:
 NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



GRADING/EROSION CONTROL LEGEND

REVISIONS

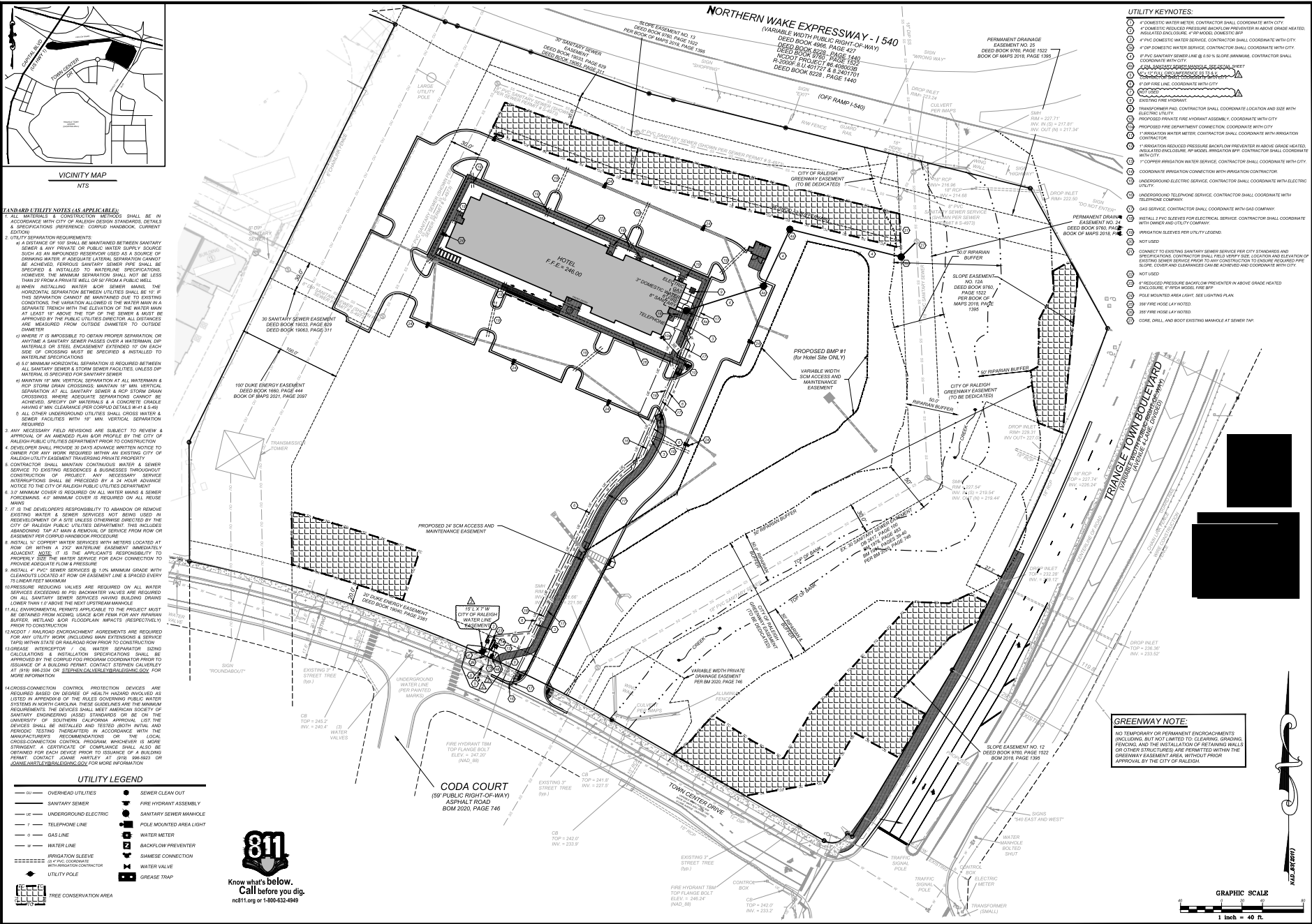
NO.	DATE	DESCRIPTION
1	7-13-2022	ASR REVIEW COMMENTS #1
2	8-29-2022	ASR REVIEW COMMENTS #2
3	10-26-2022	ASR REVIEW COMMENTS #3

COMMERCIAL SITE DESIGN
 A SambaTek Company
 892 CREECHWOOD ROAD
 RALEIGH, NORTH CAROLINA 27609
 WWW.CSDSIBSON.COM

CLIENT:
 CONCORD WP COLIUM RALEIGH LLC
 1140 COMMON CENTS DRIVE
 RALEIGH, NC 27614
 PHONE: (919) 482-2800

STUDIO/RES
 6701 TOWN CENTER DRIVE
 RALEIGH, NORTH CAROLINA
 ALLUVIAL SOILS PLAN

PROJECT NO: WSS-2004
 FRAME: WSS2004-ASP
 DRAWN BY: DDH
 DATE: 11-07-2022
 SHEET NO: C-4a



STANDARD UTILITY NOTES (AS APPLICABLE):

- 1. ALL UTILITIES & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS, PREVIOUS EDITIONS, CONSTRUCTION HANDBOOK, CURRENT EDITION.
- 2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERRULS SANITARY SEWER PIPES SHALL BE SLOPED & INSTALLED TO WATERLINE SPECIFICATIONS HOWEVER, THE MINIMUM LATERAL SEPARATION SHALL BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12" IF CONDITIONS ALLOWED & THE WATER MAIN IN A SERVICE TRENCH WITH THE UTILITY IN THE SERVICE TRENCH AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. MEASUREMENTS FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION OR ANYTIME A SANITARY SEWER PASSES OVER OR UNDER WATER MAINS OR STEEL, ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 50' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES UNLESS DFP MATERIAL IS SPECIFIED BY THE CITY.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATER MAIN & HOT STING DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & HOT STING DRAIN CROSSINGS. MINIMUM VERTICAL SEPARATIONS CANNOT BE ACHIEVED, SCHEDULE DW MATERIALS & A CONCRETE CRADLE HAVING 3" MIN. CLEARANCE FROM OVERHEADS MUST BE USED.
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- 4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
- 5. CONTRACTOR SHALL PROVIDE CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION. ANY INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 6. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER MAINS. 12" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- 7. IF A DEVELOPER IS RESPONSIBLE TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN RECONSTRUCTING THE SITE, THE DEVELOPER SHALL NOTIFY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT THIS INCLUDES ABANDONING TOP AT MIN. A REMOVE OF SERVICES FROM AN EASEMENT FROM CORPUS HANDBOOK PROCEDURE.
- 8. INSTALL 16" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT TO IT IS THE APPLICATOR'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- 9. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & GRADED EVERY 50' UNLESS OTHERWISE NOTED. ALL WATER SERVICES EXCEEDING 60' POLI BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING SOLIDUS DRAIN LOWER THAN 12" ABOVE THE NEXT UPSTREAM MANHOLE.
- 10. ALL ENVIRONMENTAL PROTECTIVE MEASUREMENTS AND RECORDS MUST BE OBTAINED FROM A LICENSED ASOR FIRM FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- 11. CONCEPT RAINFALL ENLIGHTENMENT MEASUREMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TRENCH WITHIN CITY OF RALEIGH ROW PRIOR TO CONSTRUCTION. INCREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CONCORD PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALDWELL AT (919) 996-2234 OR EZEKIEL CALDWELL@CITYOFRALEIGH.GOV FOR MORE INFORMATION.
- 12. CROSS-CONNECTION CONTROL PROTECTION SERVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED BY APPROVAL OF THE ALLEYS GOVERNANCE. BEST PRACTICES SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE SERVICES SHALL BE PROVIDED BY A LICENSED SANITARY ENGINEERING FIRM. STANDARDS OR BE ON THE SANITARY ENGINEERING ASSESSMENT STANDARDS OF THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASSE) STANDARDS OR BE ON THE SANITARY ENGINEERING ASSESSMENT STANDARDS OF THE AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASSE) STANDARDS. THE SERVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM. APPROVED BY THE CITY OF RALEIGH. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANNE HARTLEY AT (919) 996-2823 OR JOANNE.HARTLEY@CITYOFRALEIGH.GOV FOR MORE INFORMATION.

UTILITY LEGEND

	OVERHEAD UTILITIES		SEWER CLEAN OUT
	SANITARY SEWER		FIRE HYDRANT ASSEMBLY
	UNDERGROUND ELECTRIC		SANITARY SEWER MANHOLE
	TELEPHONE LINE		POLE MOUNTED AREA LIGHT
	GAS LINE		WATER METER
	WATER LINE		BACKFLOW PREVENTER
	IRRIGATION SLEEVE		WATER METER ASSEMBLY
	24" POLYSYRENE PIPE		WATER VALVE
	UTILITY POLE		GREASE TRAP
	TREE PRESERVATION AREA		

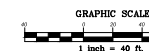


UTILITY KEYNOTES:

- 1. DOMESTIC WATER METER: CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR METER LOCATION. METER SHALL BE INSTALLED IN A PROTECTED ENCLOSURE. 4" PIP ROSES DOMESTIC BWP.
- 2. DOMESTIC WATER SERVICE: CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR METER LOCATION.
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- 100. PIP ROSES WATER SERVICE: CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR METER LOCATION.

GREENWAY NOTE:

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NO.	DATE	DESCRIPTION
1	7-13-2022	AS-BUILT REVISIONS COMMENTS #1
2	8-29-2022	AS-BUILT REVISIONS COMMENTS #2
3	10-26-2022	AS-BUILT REVISIONS COMMENTS #3

REVISIONS

NO.	DATE	DESCRIPTION
1	7-13-2022	AS-BUILT REVISIONS COMMENTS #1
2	8-29-2022	AS-BUILT REVISIONS COMMENTS #2
3	10-26-2022	AS-BUILT REVISIONS COMMENTS #3

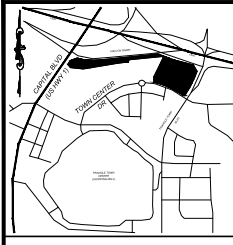
CLIENT:
 CONCORD WP, LLC RALEIGH, NC, LLC
 1140 COMMON CENTS DRIVE
 RALEIGH, NC 27601
 PHONE: (919) 482-2800

COMMERCIAL SITE DESIGN
 A Sambaitek Company
 (919) 484-9781
 WWW.CSDESIGN.COM

**STUDIO/RES
 6701 TOWN CENTER DRIVE
 RALEIGH, NORTH CAROLINA**

UTILITY PLAN

PROJECT NO.	WSS-2004
PLAN NO.	WSS2004-UP
DRAWN BY	CDH
DATE	11-6-20
DATE	11-07-2022
SHEET NO.	C-5



CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD	TANGENT
C15	366.84	2232.94	9.41°	S24°32'00"W	366.43	183.87
C12	256.89	1009.19	14.58°	S87°13'02"E	256.19	129.14
C14	442.53	1381.64	18.35°	N69°25'41"W	440.64	223.16
C13	28.52	161.07	93.90°	S72°28'32"W	23.60	17.32

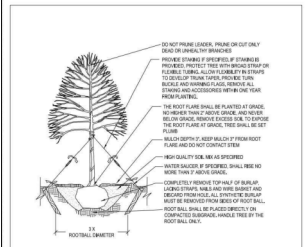
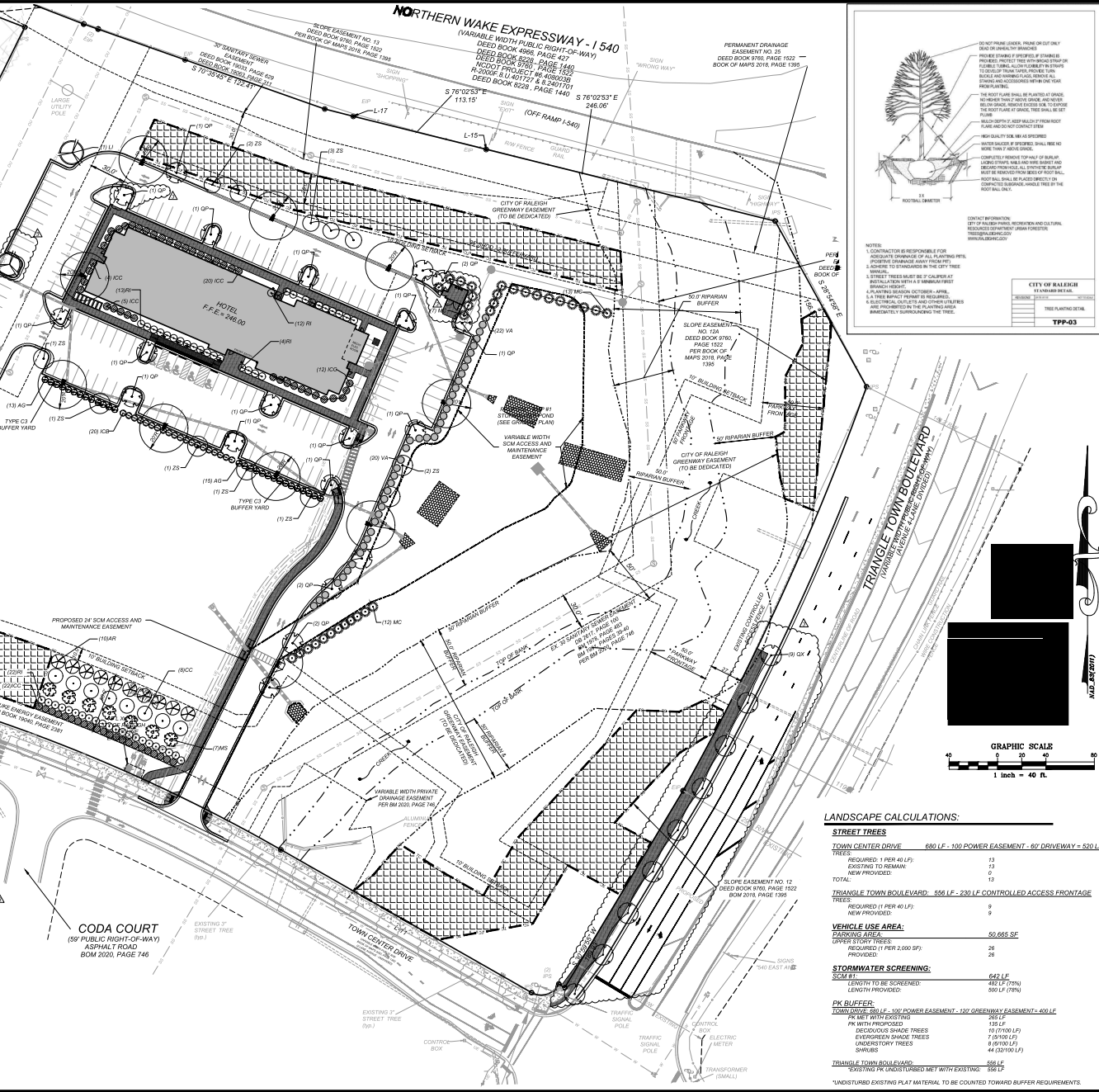
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nc11.org or 1-800-452-4549

LINE TABLE		
LINE #	DIRECTION	LENGTH
L-1	S 74°10'23"E	30.00'
L-2	S 67°50'03"E	26.52'
L-3	S 70°42'11"E	12.61'
L-4	S 70°34'39"E	76.17'
L-5	S 75°42'57"E	24.39'
L-6	S 78°02'53"E	0.02'
L-7	N 89°01'00"W	5.80'
L-8	N 89°04'47"W	23.00'
L-9	S 73°05'42"E	41.52'
L-10	N 80°18'53"W	238.37'

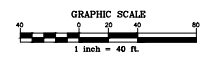
GREENWAY NOTE:
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PLANTING SCHEDULE (SEE LANDSCAPING NOTE #12)								
SYMBOL	KEY	NO.	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	COMMENTS
OP	20		QUERCUS PHELLODES	WILLOW OAK	3" MIN.	10' MIN.	B & B	VIA TREE
OX	9		QUERCUS X QRSW TM	STREET WISE RED OAK	3" MIN.	10' MIN.	B & B	STREET TREE
ZS	12		ZELKOVA SERRATA VILLAGES GREY	VILLAGES GREEN RED OAK	3" MIN.	10' MIN.	B & B	VIA TREE
AR	10		ACER RUBRUM 'AUTUMN FLAME'	AUTUMN FLAME RED MAPLE	3" MIN.	10' MIN.	B & B	PK - DECIDUOUS SHADE TREE
MS	7		MAGNOLIA X SOULANGEANA	SAUCER MAGNOLIA	3" MIN.	10' MIN.	B & B	PK - EVERGREEN SHADE TREE
OC	8		QUERCUS CAPODENSIS	EASTERN REDBUD	1.5" MIN.	6' MIN.	B & B	PK - UNDERSTORY TREE
LI	3		LAGERSTRÖMIA INDICA 'SARAWAK'	CATAWBA CINQUE MYRTLE	1.5" MIN.	6' MIN.	B & B	POWER EASEMENT - UNDERSTORY TREE
AG	30		ABELIA GRANDIFLORA	GLOSSY ABELIA	-	42" MIN.	3 GAL. MIN.	PRUNING SCREENING - 1 YEAR
CB	20		ILEX CORNUTA BURFORD HOLLY	DWARF BURFORD HOLLY	-	42" MIN.	3 GAL. MIN.	PRUNING SCREENING - 1 YEAR
MY	20		MYRTICA CERIFERA	WAX MYRTLE	-	30" MIN.	3 GAL. MIN.	STORMWATER SCREENING
VA	42		VIBURNUM ARAUCARIUM 'CHINDI'	CHINDI VIBURNUM	-	30" MIN.	3 GAL. MIN.	STORMWATER SCREENING
CC	63		ILEX CORNUTA 'CARESS'	CARESS CHINESE HOLLY	-	24" MIN.	3 GAL. MIN.	EVERGREEN SHRUB
RI	31		RHAMNOLIFIDA INDICA	PINK INDIAN HAWTHORNE	-	36" MIN.	3 GAL. MIN.	EVERGREEN SHRUB



NOTES:
1. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING TREES AND UTILITIES.
2. TREE REMOVAL SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH TREE PRESERVATION ORDINANCE.
3. TREE REMOVAL SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH TREE PRESERVATION ORDINANCE.
4. TREE REMOVAL SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH TREE PRESERVATION ORDINANCE.
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10. TREE REMOVAL SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH TREE PRESERVATION ORDINANCE.



LANDSCAPE CALCULATIONS:	
STREET TREES	
TOWN CENTER DRIVE	880 LF - 100 POWER EASEMENT - 80' DRIVEWAY = 520 LF
TREES:	
REQUIRED: 1 PER 40 LF:	13
EXISTING TO REMAIN:	0
NEW PROVIDED:	13
TOTAL:	13
TRIAANGLE TOWN BOULEVARD	556 LF - 230 LF CONTROLLED ACCESS FRONTAGE
TREES:	
REQUIRED: 1 PER 40 LF:	9
NEW PROVIDED:	9
TOTAL:	9
VEHICLE USE AREA:	
PARKING AREA:	50,665 SF
LOWER STORY TREES:	
REQUIRED: 1 PER 2,000 SF:	26
PROVIDED:	26
STORMWATER SCREENING:	
SCREENING:	642 LF
LENGTH TO BE SCREENED:	500 LF (75%)
LENGTH PROVIDED:	500 LF (75%)
PK BUFFER:	
TOWN DRIVE	260 LF - 100 POWER EASEMENT - 130 GREENWAY EASEMENT = 400 LF
PK BUFFER:	
PK WITH PROPOSED:	13 LF
DECIDUOUS SHADE TREES:	10 (7500 LF)
EVERGREEN SHADE TREES:	3 (9000 LF)
UNDERSTORY TREES:	8 (8100 LF)
SHRUBS:	44 (32100 LF)
TRIAANGLE TOWN BOULEVARD:	
EXISTING PK BUFFER (TYPED MET WITH EXISTING):	58 LF

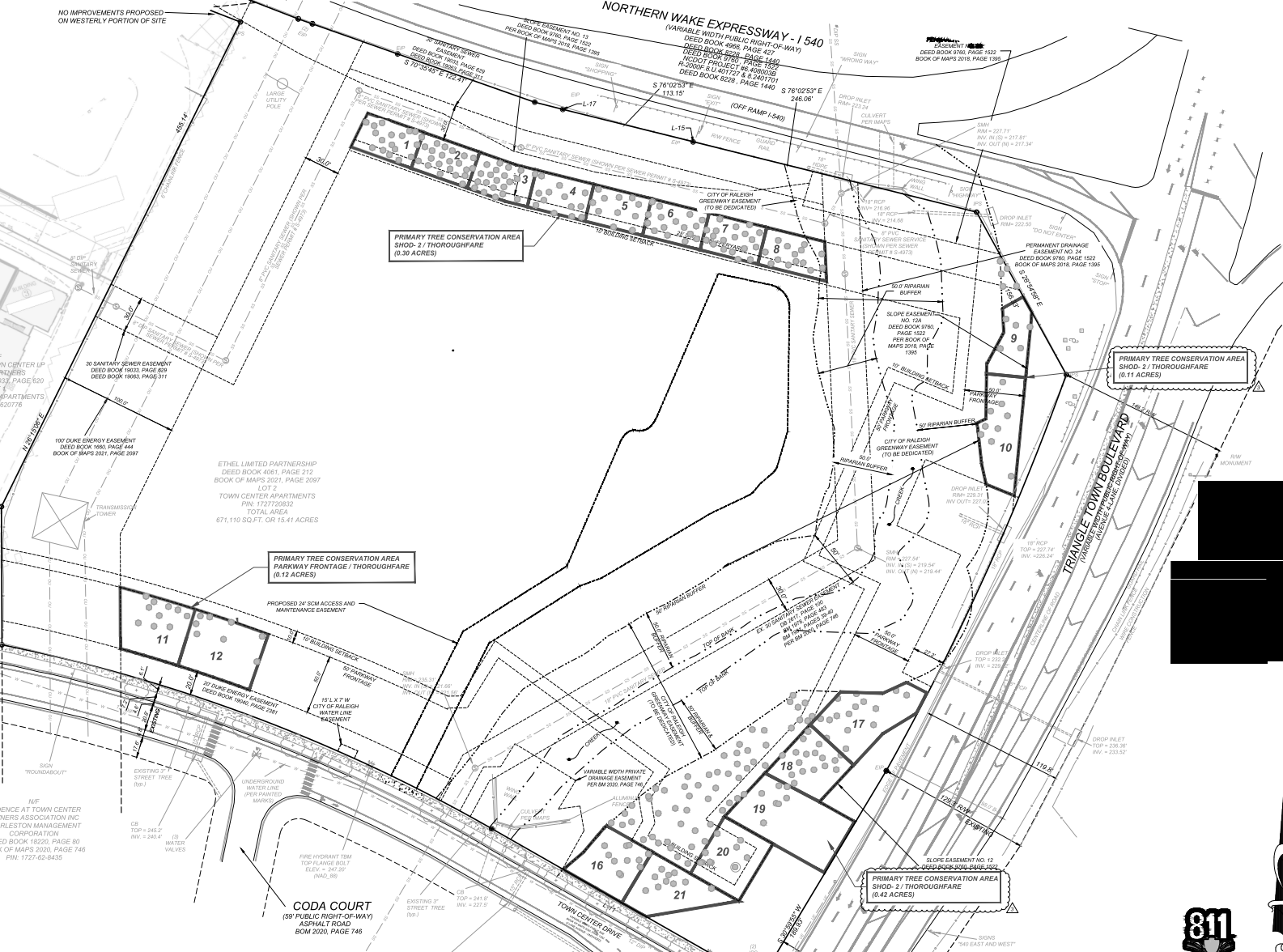
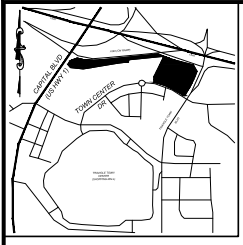
REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	7-13-2022	ASR REVIEW COMMENTS #1	AL
2	8-29-2022	ASR REVIEW COMMENTS #2	AL
3	10-26-2022	ASR REVIEW COMMENTS #3	AL

COMMERCIAL SITE DESIGN
A Sambaitek Company
892 CREEKWOOD ROAD
RALEIGH, NORTH CAROLINA 27609
WWW.CARTERSON.COM

CLIENT:
CONCORD WP COLIUM RALEIGH LLC
1140 COMMON OAKS DRIVE
RALEIGH, NORTH CAROLINA 27614
PHONE: (919) 452-2800

STUDIO/RES
6701 TOWN CENTER DRIVE
RALEIGH, NORTH CAROLINA
LANDSCAPE PLAN

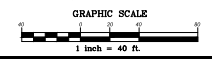
PROJECT NO: WSS-2004
FILENAME: WSS2004-L3
DRAWN BY: CDH
DATE: 11-07-2022
SHEET NO: C-6



GREENWAY TREE CONSERVATION TABLE:

GREENWAY AREA =	99,164 SF / 762 LF
GREENWAY PATH =	792 LF X 25 LF = 19,800 SF
EXISTING EASEMENTS =	37,165 SF
REMAINING GREENWAY TREE CONSERVATION AREA =	42,199 SF

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- LEGEND**
- EXISTING IRON PIPE
 - IRON PIPE SET
 - SORE HOLE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - WATER VALVE
 - WATER METER
 - FIRE HYDRANT
 - TELEPHONE PEDESTAL
 - TELEPHONE MANHOLE
 - ELECTRIC BOX
 - LIGHT POLE
 - POWER POLE
 - CURB INLET
 - STORM DRAINAGE MANHOLE
 - YARD INLET
 - STORM DRAIN
 - OVERHEAD UTILITIES
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE
 - WATER LINE
 - SANITARY SEWER LINE
 - GAS LINE
 - FENCE LINE

REVISIONS

NO.	DATE	DESCRIPTION
1	7-13-2022	ASR REVISION COMMENTS #1
2	8-29-2022	ASR REVISION COMMENTS #2
3	10-26-2022	ASR REVISION COMMENTS #3

CLIENT:
 CONCORD WP COLIAX RALEIGH ITC, LLC
 1140 COMMON OAKS DRIVE
 RALEIGH, NORTH CAROLINA 27614
 PHONE: (919) 482-2600

STUDIO/RES
 6701 TOWN CENTER DRIVE
 RALEIGH, NORTH CAROLINA

PROJECT NO: WSS-2004
 FILENAME: WSS2004-TCP
 DRAWN BY: CDP
 DATE: 11-07-2022
 SHEET NO: C-6a

NO IMPROVEMENTS PROPOSED ON WESTERLY PORTION OF SITE

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STUDIOS/RES
 6701 TOWN CENTER DRIVE
 RALEIGH, NORTH CAROLINA

PROJECT NO: WSS-2004
 FILENAME: WSS2004-TCP
 DRAWN BY: CDP
 DATE: 11-07-2022
 SHEET NO: C-6a



TCA Cover Report

Arborist TCA Evaluation for
6420 Capital Boulevard
Raleigh, NC 27616

Prepared For:
Commercial Site Design
A Sambatek Company
8312 Creedmoor Road,
Raleigh, NC 27613

Prepared By:
Leaf & Limb
5111 Nowell Road
Raleigh, NC 27607

Consulting Arborist:
Basil Camm
ISA Board Certified Master Arborist SO-7383B

September, 2023

5111 Nowell Road • Raleigh, NC 27607
Phone: (919) 787-9551 • info@leaflimb.com • www.leaflimb.com

6420 Capital Boulevard
TCA Cover Report



Table of Contents

- 1. Aerial Photograph 3
- 2. Basal Area of Survey Blocks 4
- 3. Individual Tree Basal Area 5
- 4. General Health of Stand 14
- 5. Tree Conservation Plan Data Sheet 15

6420 Capital Boulevard
TCA Cover Report



1. Aerial Photograph



Overview Map

6420 Capital Boulevard
TCA Cover Report



2. Basal Area of Survey Blocks

TCA Area ID	Basal Area	Acreage	Basal Area - Acre
1	5	0.04	142
2	6	0.04	177
3	3	0.04	85
4	4	0.04	105
5	5	0.04	134
6	5	0.04	132
7	5	0.04	147
8	2	0.04	49
9	2	0.05	36
10	3	0.07	43
11	4	0.07	62
12	3	0.07	35
13	3	0.06	45
14	7	0.06	116
15	16	0.09	172
16	5	0.06	85
17	5	0.08	66
18	14	0.06	251
19	5	0.10	53
20	7	0.06	117
21	3	0.06	41

6420 Capital Boulevard
TCA Cover Report



3. Individual Tree Basal Area

TCA Area ID	Tree ID	DBH & Species	CRZ Area	CRZ Preserved	Percent CRZ	Excluded	Calculated BA
1	88	8 Loblolly Pine	313	221	71		0.349
1	89	4 Loblolly Pine	78	73	94		0.087
1	90	8 Loblolly Pine	313	210	67		0.349
1	91	3 Loblolly Pine	44	44	100		0.049
1	92	3 Loblolly Pine	44	44	100		0.049
1	93	17 Loblolly Pine	1411	1202	85		1.576
1	94	12 Tulip Poplar	703	663	94		0.785
1	95	11 Sweetgum	591	591	100		0.660
1	96	3 Water Oak	44	44	100		0.049
1	97	4 American Beech	78	77	99		0.087
1	98	3 American Holly	44	44	100		0.049
1	99	5 Water Oak	122	122	100		0.136
1	100	10 Sourwood	488	488	100		0.545
1	102	15 Loblolly Pine	1099	666	61	Yes	0.000
1	103	10 Slippery Elm	488	379	78		0.545
1	104	18 Loblolly Pine	1582	736	47	Yes	0.000
1	128	3 Red Maple	44	44	100		0.049
1	129	3 Water Oak	44	44	100		0.049
1	Total						5.416
2	65	4 Sweetgum	78	55	70		0.087
2	66	8 Loblolly Pine	313	313	100		0.349
2	70	6 Loblolly Pine	176	176	100		0.196
2	71	4 Loblolly Pine	78	78	100		0.087
2	72	3 Water Oak	44	44	100		0.049
2	73	5 Sweetgum	122	122	100		0.136
2	74	4 American Beech	78	78	100		0.087
2	75	21 Loblolly Pine	2154	1418	66	Yes	0.000
2	76	4 Water Oak	78	60	76		0.087
2	77	8 Sweetgum	313	206	66		0.349
2	78	18 Loblolly Pine	1582	1299	82		1.767
2	79	4 Water Oak	78	78	100		0.087
2	80	3 Tulip Poplar	44	44	100		0.049
2	81	20 Sweetgum	1954	1421	73		2.182
2	82	3 Water Oak	44	44	100		0.049
2	83	8 Loblolly Pine	313	313	100		0.349
2	84	5 Northern Red Oak	122	122	100		0.136

6420 Capital Boulevard
TCA Cover Report



2	85	3 Water Oak	44	44	100		0.049
2	86	6 Flowering Dogwood	176	144	82		0.196
2	87	6 Loblolly Pine	176	176	100		0.196
2	101	22 Sweetgum	2364	1563	66	Yes	0.000
2	Total						6.400
3	48	8 Loblolly Pine	313	243	78		0.349
3	49	3 Sweetgum	44	44	100		0.049
3	50	7 Loblolly Pine	239	183	77		0.267
3	51	7 Flowering Dogwood	239	239	100		0.267
3	52	4 Sweetgum	78	78	100		0.087
3	53	3 Loblolly Pine	44	44	100		0.049
3	54	5 Loblolly Pine	122	122	100		0.136
3	55	4 Loblolly Pine	78	78	100		0.087
3	56	3 Sweetgum	44	44	100		0.049
3	57	3 Sweetgum	44	44	100		0.049
3	58	4 Sweetgum	78	78	100		0.087
3	59	10 Black Oak	488	334	68	Yes	0.000
3	60	7 Loblolly Pine	239	239	100		0.267
3	61	9 Loblolly Pine	396	393	99		0.442
3	62	5 Loblolly Pine	122	122	100		0.136
3	63	6 Loblolly Pine	176	174	99		0.196
3	64	7 Loblolly Pine	239	137	57		0.267
3	67	5 Loblolly Pine	122	122	100		0.136
3	68	3 Loblolly Pine	44	44	100		0.049
3	69	6 Loblolly Pine	176	176	100		0.196
3	125	16 Southern Red Oak	1250	613	49	Yes	0.000
3	126	14 Southern Red Oak	957	488	51	Yes	0.000
3	127	3 American Beech	44	24	55		0.049
3	Total						3.218
4	37	10 Eastern Hophornbeam	488	472	97		0.545
4	38	19 Northern Red Oak	1763	1316	75		1.960
4	39	18 White Oak	1582	923	58	Yes	0.000
4	40	4 Loblolly Pine	78	78	100		0.087
4	41	5 Sweetgum	122	122	100		0.136
4	42	4 Eastern Hophornbeam	78	78	100		0.087
4	43	33 Northern Red Oak	5319	2557	48	Yes	0.000
4	44	10 Sweetgum	488	458	94		0.545
4	45	6 Loblolly Pine	176	173	98		0.196
4	46	3 Loblolly Pine	44	44	100		0.049
4	47	4 Loblolly Pine	78	78	100		0.087

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NO.	DATE	DESCRIPTION
1	7-13-2023	ASR REVISION COMMENTS #1
2	8-28-2023	ASR REVISION COMMENTS #2
3	10-26-2023	ASR REVISION COMMENTS #3

COMMERCIAL SITE DESIGN
A Sambatek Company
(919) 888-4021 FAX: (919) 888-3741
WWW.COMMERCIALSITEDESIGN.COM

CLIENT:
CONCORD WP COLIAX RALEIGH LLC, LLC
11410 COMMON OAKS DRIVE
SUITE 200
PHONE: (919) 452-2800

STUDIO/ORES
6701 TOWN CENTER DRIVE
RALEIGH, NORTH CAROLINA
TREE CONSERVATION NOTES

PROJECT NO: WSS-2004
FILENAME: WSS2004-GN
DRAWN BY: DCH
DATE: N.T.S.
DATE: 11-07-2022
SHEET NO: **C-6b**

6420 Capital Boulevard
TCA Cover Report



Table with columns for ID, quantity, species, and value. Includes sub-totals for 4, 5, 6, and 7 Total.

6420 Capital Boulevard
TCA Cover Report



Table with columns for ID, quantity, species, and value. Includes sub-totals for 7, 8, 9, and 10 Total.

6420 Capital Boulevard
TCA Cover Report



Table with columns for ID, quantity, species, and value. Includes sub-totals for 10, 11, 12, and 13 Total.

6420 Capital Boulevard
TCA Cover Report



Table with columns for ID, quantity, species, and value. Includes sub-totals for 13, 14, 15, 16, and 17 Total.

6420 Capital Boulevard
TCA Cover Report



Table with columns for ID, quantity, species, and value. Includes sub-totals for 15, 16, 17, 18, 19, and 20 Total.

6420 Capital Boulevard
TCA Cover Report



Table with columns for ID, quantity, species, and value. Includes sub-totals for 18, 19, 20, 21, and 22 Total.

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Table with columns for REVISIONS, ASR REVIEW COMMENTS #1, ASR REVIEW COMMENTS #2, ASR REVIEW COMMENTS #3, DATE, and DESCRIPTION.

COMMERCIAL SITE DESIGN logo and contact information for A. Sambatek Company.

CLIENT: CONCORD WP COL IIX RALEIGH ITC, LLC 1140 COMMONWEALTH DRIVE RALEIGH, NC 27614 PHONE: (919) 486-2800

STUDIO/RES 6701 TOWN CENTER DRIVE RALEIGH, NORTH CAROLINA TREE CONSERVATION NOTES

Table with columns for SHEET NO., DRAWN BY, DATE, and DATE.



21	241	3 Eastern Hophornbeam	44	44	100	0.049
21	242	4 Eastern Hophornbeam	78	78	100	0.087
21	243	4 Eastern Hophornbeam	78	78	100	0.087
21	244	4 Eastern Hophornbeam	78	78	100	0.087
21	245	5 White Ash	122	122	100	0.136
21 Total						2.574



4. General Health of Stand

This stand is comprised of many diverse sections spread over a large area, consisting primarily of loblolly pines and a variety of hardwoods, with the predominant species being oaks, tulip poplars, hickories and eastern hophornbeams. Other deciduous varieties include maples, sourwoods, horticultural cherries, American hornbeams, American Beeches, and black cherries, to name a few. There is also the occasional elm, black walnut, flowering dogwood, and American holly. The only additional evergreen species noted was the occasional eastern red cedar.

The health of the stand is generally fair. Some of the younger trees are missing tops or uprooted; most of these being pines. The stand is middle-aged, with the more mature trees generally consisting of poplars, oaks, sweetgums, and hickories. However, there are several areas within the survey boundaries heavily populated by younger trees and saplings. Approximately 300 trees were surveyed within the survey boundaries, with the average DBH (diameter at breast height) being 7.9 inches.



5. Tree Conservation Plan Data Sheet

UDO Article 9.1 Tree Conservation

Project Name: 6420 Capital Blvd

Gross Site Acres: 15.41 ac
Right of way to be dedicated with this project: 0 ac
Net Site Acres: 15.41 ac

	Number of Acres	Percent of Tract
UDO 9.1.4.A Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SHOD 1	NA	0 %
1. Primary Tree Conservation Area - SHOD 2	NA	0 %
2. Primary Tree Conservation Area - Parkway Frontage	0.12	0.78 %
3. Primary Tree Conservation Area - CM	NA	0 %
4. Primary Tree Conservation Area - MPOD	NA	0 %
5. Primary Tree Conservation Area - Champion Tree XX" DBH species	NA	0 %
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	NA	0 %
7. Primary Tree Conservation Area - 45% Slopes	NA	0 %
8. Primary Tree Conservation Area - Thoroughfare	0.83	5.39 %
Subtotal of Primary Conservation Areas:	0.95	6.16 %
UDO 9.1.4.D.2 Tree Conservation Area - Greenway	0.97	6.29 %
UDO 9.1.8.1.a & b. Secondary Tree Conservation Areas		
(Include perimeter buffers and their alternate compliance areas)	ac	%
UDO 9.1.8.1.c & d. Individual Tree Secondary Tree Conservation Areas		
(Include individual trees and their alternate compliance areas)	NA	0 %
Subtotal of Secondary Conservation Areas:	0.97	6.29 %
TOTAL ALL TREE CONSERVATION AREA PROVIDED	1.92	12.45 %



UDO 9.1.9 Watershed Protection Overlay Districts

UWPOD - Wooded Area (preserved)	NA	ac	0 %
UWPOD - Wooded Area (planted)	NA	ac	0 %
FWPOD - Wooded Area (preserved)	NA	ac	0 %
FWPOD - Wooded Area (planted)	NA	ac	0 %
SWPOD - Wooded Area (preserved)	NA	ac	0 %
SWPOD - Wooded Area (planted)	NA	ac	0 %

NO.	DATE	DESCRIPTION
1	7-13-2022	ASR REVISION COMMENTS #1
2	8-28-2022	ASR REVIEW COMMENTS #2
3	10-26-2022	ASR REVIEW COMMENTS #3

COMMERCIAL SITE DESIGN
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(919) 888-6021 FAX: (919) 848-3741
WWW.COMMDESIGN.COM

8912 CREEKMOOR ROAD
RALEIGH, NORTH CAROLINA 27609

CLIENT:
CONCORD WP COLIAR RALEIGH LLC
11410 COMMON OAKS DRIVE
RALEIGH, NC 27614
PHONE: (919) 452-2900

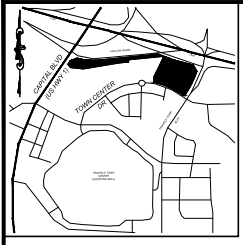
STUDIO/RES
6701 TOWN CENTER DRIVE
RALEIGH, NORTH CAROLINA

TREE CONSERVATION NOTES

PROJECT NO:	WSS-2004
FILENAME:	WSS2004-GN3
DRAWN BY:	GDH
SCALE:	N.T.S.
DATE:	11-07-2022
SHEET NO:	C-6d

GREENWAY NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

X:\WSS - Woodstriping\Subarea2004 - Raleigh\01_Triangle\Town\CAD\ASR.SET\WSS2004-GN3.dwg 12/15/2023 11:56:14 AM Chen



VICINITY MAP
NTS

GREENWAY NOTE:
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LEGEND
TREE CONSERVATION AREA

**PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION**

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamp/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

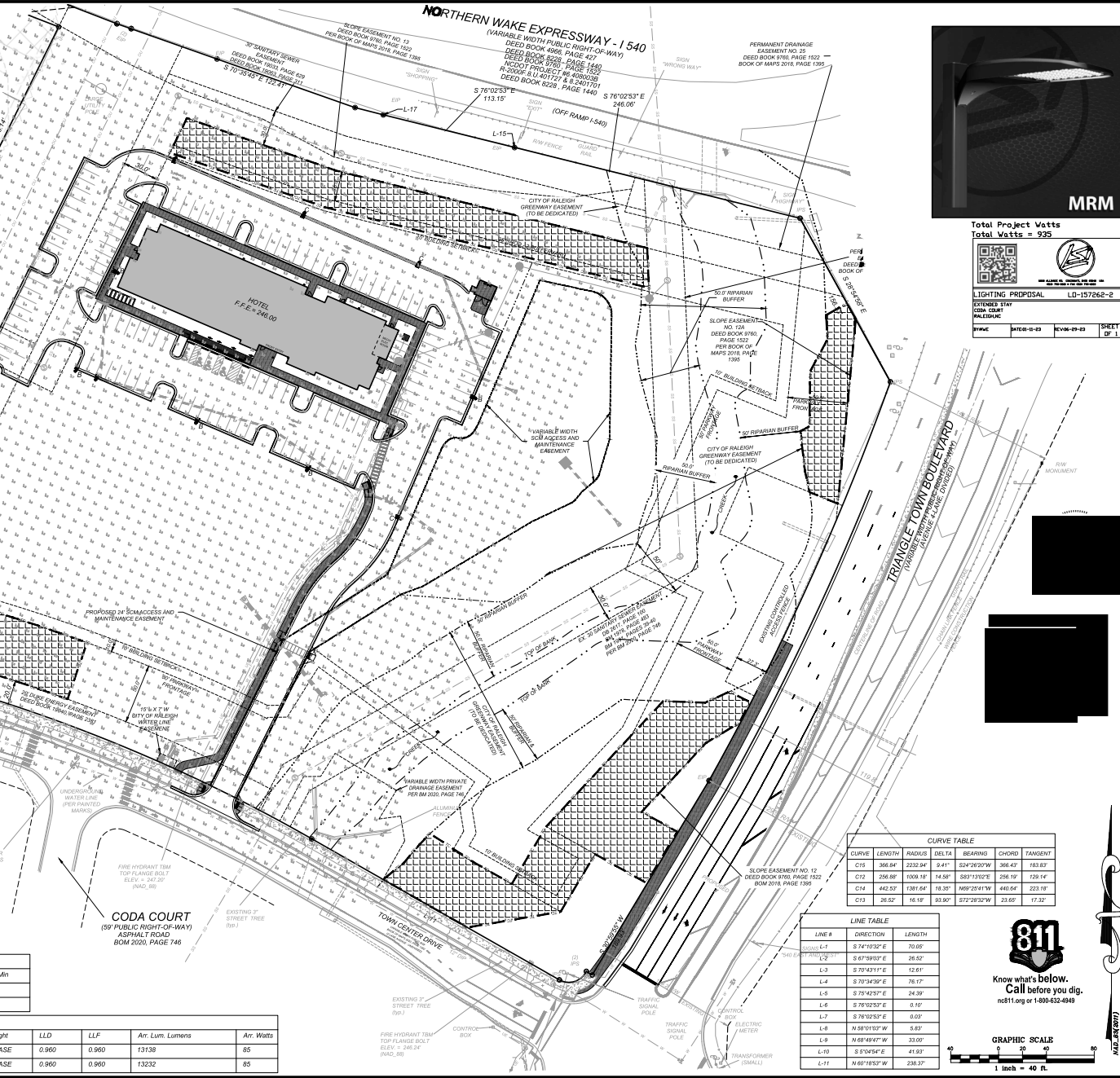
PLEASE CONTACT SHANNON & ASSOCIATES FOR PRICING
AT (704) 640-8134 OR T.FULTON@SHANNONANDASSOC.COM

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	0.43	4.4	0.0	N.A.	N.A.
INSIDE CURB	Illuminance	Fc	1.59	4.2	0.2	7.95	21.00

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Air Lum. Lumens	Air. Watts
☐	5	B	SINGLE	MRM-LED-L2L-SIL-FT-50-70CRI-SINGLE	18POLE-2BASE	0.960	0.960	13138	65
☐	6	C	SINGLE	MRM-LED-L2L-SIL-3-50-70CRI-SINGLE	18POLE-2BASE	0.960	0.960	13232	65

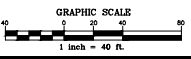


CURVE TABLE

CURVE	LENGTH	RADIUS	DEGT	BEARING	CHORD	PENDANT
C15	366.54'	2032.94'	0.41°	S31°30'27"W	386.47'	103.82'
C12	296.96'	1806.14'	14.58'	S01°10'12"E	296.14'	126.14'
C14	442.52'	1381.64'	18.35'	N69°23'14"W	440.64'	223.18'
C13	26.52'	16.18'	93.90°	S73°28'32"W	23.65'	17.92'

LINE TABLE

LINE #	DIRECTION	LENGTH
L-1	S 74°10'32" E	70.65'
L-2	S 67°38'50" E	26.82'
L-3	S 10°14'14" E	13.84'
L-4	S 10°34'32" E	76.17'
L-5	S 74°42'32" E	54.39'
L-6	S 76°02'32" E	6.10'
L-7	S 76°02'32" E	0.03'
L-8	N 58°01'10" W	5.83'
L-9	N 68°48'47" W	33.00'
L-10	S 10°54'54" E	41.93'
L-11	N 60°18'53" W	238.37'



Total Project Watts
Total Watts = 935



REVISIONS

NO.	DATE	DESCRIPTION	BY
1	7-13-2022	ASR REVISION COMMENTS #1	AL
2	8-29-2022	ASR REVISION COMMENTS #2	AL
3	10-26-2022	ASR REVISION COMMENTS #3	AL

**COMMERCIAL
SITE DESIGN**
A SambaTek Company
892 CREEKMOOR ROAD
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WWW.CORTISIGN.COM

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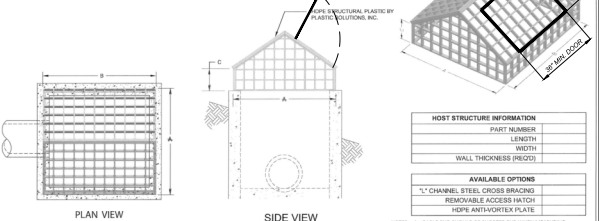
STUDIO/RES
6701 TOWN CENTER DRIVE
RALEIGH, NORTH CAROLINA
LIGHTING PLAN

PROJECT NO: WSS-2004
FILENAME: WSS2004-L1
DRAWN BY: DDP
DATE: 11-07-2022
SHEET NO: C-7



StormRax™
PEAK ROOF STRUCTURE
(STANDARD SIZES)

PROVIDE ALL DIMENSIONS IN INCHES



HOST STRUCTURE INFORMATION

PIECET NUMBER	
LENGTH	
WIDTH	
WALL THICKNESS (FEET)	

AVAILABLE OPTIONS

1" CHANNEL STEEL CROSS BRACING	
REMOVABLE ACCESS HATCH	
HOST METALWORK FINISH	

NOTES:
1. GABLE END SHOULD BE SPECIFIED AND WHEN MANUFACTURING.
2. MEASUREMENT CHANGES WILL OCCUR WHEN ACCESS DOOR IS NEEDED AND ACCESS LOCATION IS DETERMINED.

STANDARD DIMENSIONS (OVERALL SIZES)

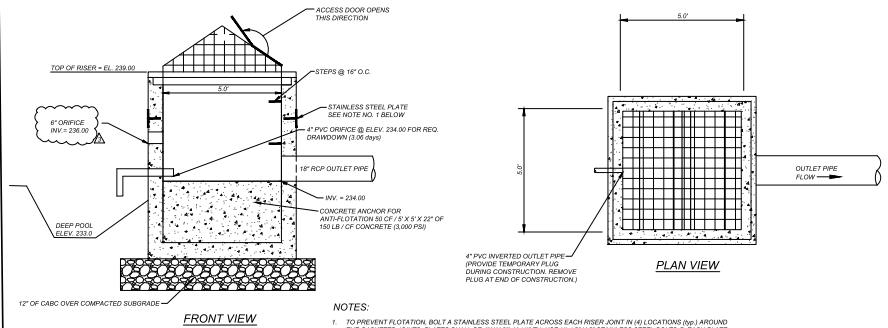
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30	18	10	10	48	18	10	10	66	18	10	10
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30	54	10	10	48	54	10	10	66	54	10	10
30	72	10	10	48	72	10	10	66	72	10	10
30	90	10	10	48	90	10	10	66	90	10	10
30	108	10	10	48	108	10	10	66	108	10	10
30	126	10	10	48	126	10	10	66	126	10	10
30	144	10	10	48	144	10	10	66	144	10	10
30	162	10	10	48	162	10	10	66	162	10	10
30	180	10	10	48	180	10	10	66	180	10	10
30	198	10	10	48	198	10	10	66	198	10	10
30	216	10	10	48	216	10	10	66	216	10	10
30	234	10	10	48	234	10	10	66	234	10	10
30	252	10	10	48	252	10	10	66	252	10	10
30	270	10	10	48	270	10	10	66	270	10	10
30	288	10	10	48	288	10	10	66	288	10	10
30	306	10	10	48	306	10	10	66	306	10	10
30	324	10	10	48	324	10	10	66	324	10	10
30	342	10	10	48	342	10	10	66	342	10	10
30	360	10	10	48	360	10	10	66	360	10	10

Peak Roof 34" x 18" x 10" - 34" x 36" x 10" - 34" x 54" x 10" - 34" x 72" x 10" - 34" x 90" x 10" - 34" x 108" x 10" - 34" x 126" x 10" - 34" x 144" x 10" - 34" x 162" x 10" - 34" x 180" x 10" - 34" x 198" x 10" - 34" x 216" x 10" - 34" x 234" x 10" - 34" x 252" x 10" - 34" x 270" x 10" - 34" x 288" x 10" - 34" x 306" x 10" - 34" x 324" x 10" - 34" x 342" x 10" - 34" x 360" x 10"

Plastic Solutions, Inc. CUSTOMER: DATE: DRAWN BY:
 PO Box 4386, Winchester, VA 22604 PROJECT: APP'D BY:
 6000 Winchester Rd, Winchester, VA 22603
 (877) 877-5727 phone
 (540) 732-2219 fax
 http://www.plastic-solution.com

HDPE TRASH RACK WITH ACCESS HATCH

- NOTES:**
- TRASH RACK FRAMING IS PREFERRED. CONTRACTOR TO REQUEST BLACK COLORING BE ADDED TO HDPE MATERIAL DURING REJECTION/MOLDING PROCESS.
 - CONTRACTOR TO COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - CONTRACTOR TO COORDINATE WITH PLASTIC SOLUTIONS, INC TO PROVIDE FRAMES AND PADLOCK FOR 2" X 3" ACCESS HATCH.
 - ACCESS DOOR SHALL BE LOCATED ON SAME SIDE OF RISER AS RISER STEPS.



- NOTES:**
- TO PREVENT FLOTATION, BOLT A STAINLESS STEEL PLATE ACROSS EACH RISER JOINT IN (6) LOCATIONS (typ) AROUND THE GASKETED JOINTS. PLATES SHALL BE 4" W X 6" X 1/4" TH USE (4) 1/2" X 3" STAINLESS STEEL BOLTS @ EACH PLATE. USE WATER-TIGHT JOINTS CONFORMING TO ASTM C-413.
 - ALL PIPE CONNECTIONS TO THE RISER SHALL BE WATER-TIGHT. USE THE WATER-TIGHT JOINTS CONFORMING TO ASTM C-413. SEAL WITH EPOXY, MASTIC, AND/OR POLYURETHANE GASKETED O-RINGS AS NEEDED.
 - THE RISER AND OUTLET PIPE ARE TO BE REINFORCED CONCRETE AND MEET THE ASTM C-718, CLASS II MINIMUM STRENGTH REQUIREMENT WITH CHAIR GASKETED JOINTS.

PERMANENT OUTLET STRUCTURE OCS
N.T.S.

STORMWATER DRY DETENTION POND CONSTRUCTION SPECIFICATIONS

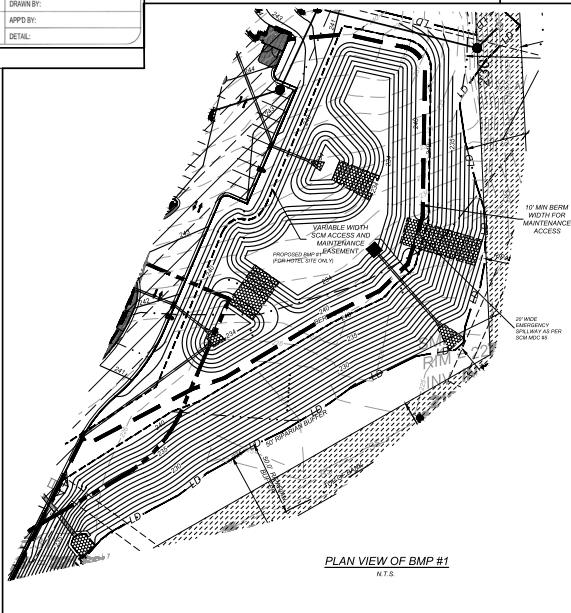
- GENERAL NOTES**
- FROM CONSTRUCTION, THE ON-SITE GEOTECHNICAL ENGINEER SHALL VERIFY THE SUITABILITY OF THE PROPOSED FILL FOR USE IN THE BERM EMBANKMENT AND KEY TRENCH.
 - DURING THE INITIAL STAGES OF CONSTRUCTION, THE DRY POND MAY BE USED AS A SEDIMENT BASIN FOR EROSION CONTROL PURPOSES. THE CONTRACTOR SHALL FOLLOW THE GENERAL CONSTRUCTION SEQUENCE BELOW.
 - THE CONTRACTOR SHALL CONSTRUCT THE ENTIRE FACILITY (PERMANENT OUTLET STRUCTURE, BERM, KEY TRENCH, ETC.) WITH THE EXCEPTION OF THE INTERIOR DRY POND GRADING. THE INTERIOR GRADING WILL BE CONSTRUCTED ONCE THE EROSION CONTROL PHASE IS COMPLETE.
 - THE RISER AND OUTLET PIPE SHALL BE CONSTRUCTED.
 - ONCE THE UPSTREAM DRAINAGE AREA IS STABILIZED AND THE EROSION CONTROL INSPECTOR APPROVES THE REMOVAL OF THE SEDIMENT BASIN, THE CONTRACTOR SHALL CLEAN OUT THE BASIN. ALL SEDIMENT, TRASH, ETC. SHALL BE DEPOSITED OR PROPERLY ELIMINATED IN A LANDFILL AND NOT STOCKPILED IN AN AREA WHERE WATER QUALITY COULD BE ADVERSELY AFFECTED.
 - ONCE THE BASIN IS CLEANED OUT, THE CONTRACTOR SHALL CONSTRUCT THE INTERIOR DRY POND GRADING SHOWN ON THE GRADING PLAN.
 - ONCE THE ENGINEER HAS APPROVED THE AS-BUILT GRADING, THE CONTRACTOR SHALL INSTALL THE PROPOSED SOO FOR THIS FACILITY.
 - AFTER COMPLETION OF THE PLANTING, THE LANDSCAPE CONTRACTOR SHALL PROVIDE A LETTER TO THE ENGINEER CERTIFYING THAT THE SOO HAS BEEN INSTALLED PER THE APPROVED PLAN.
 - AT COMPLETION, CONTRACTOR SHALL REMOVE ALL SEDIMENT FROM FOREBAY AND STORM PIPES, JET OUT STORM PIPES.

BERM AND SOIL COMPACTION SPECIFICATIONS

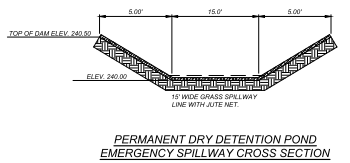
- ALL FILL MATERIALS TO BE USED FOR THE BERM EMBANKMENT SHALL BE TAKEN FROM BORROW AREAS APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER. THE FILL MATERIAL SHALL BE FREE FROM ROOTS, STAMPS, WOOD, STONES GREATER THAN 6", AND FROZEN OR OTHER OBJECTIONABLE MATERIAL. THE FOLLOWING SOIL TYPES ARE SUITABLE FOR USE AS FILL WITHIN THE BERM EMBANKMENT AND KEY TRENCH: ALL AND CL. IF OTHER SOIL TYPES ARE DETERMINED TO BE SUITABLE BY THE ON-SITE GEOTECHNICAL ENGINEER, DOCUMENTATION SHALL BE RETAINED FOR FUTURE AS-BUILT SUBMITTALS.
- FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM 6" LIFT (UNCOMPACTED). EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF EMBANKMENT. BEFORE PLACEMENT OF FILL FOR THE BERM SECTION, ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND THE SURFACE PROPERLY PREPARED FOR FILL PLACEMENT.
- ALL FILL SOILS USED IN THE EMBANKMENT, KEY TRENCH CONSTRUCTION SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM 690). THE FILL SOILS SHALL BE COMPACTED AT A MOISTURE CONTENT WITHIN +10% TO -5% PERCENT OF OPTIMUM MOISTURE CONTENT. COMPACTION TESTS SHALL BE PERFORMED BY THE ON-SITE GEOTECHNICAL ENGINEER DURING CONSTRUCTION TO VERIFY THAT THE PROPER COMPACTION LEVEL HAS BEEN REACHED. THE FILL SHOULD BE COMPACTED USING A SHEETPILE TYPE COMPACTOR IN ORDER TO PREVENT BERMAGE TO THE PIPE. NO COMPACTION EQUIPMENT SHALL CROSS ANY PIPE UNLESS MINIMUM COVER IS ESTABLISHED ALONG THE PIPE.
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH REPORTS TO VERIFY THAT THE BERM EMBANKMENT MEETS THE SPECIFIED COMPACTION REQUIREMENTS. CONSTRUCTION REPORTS WILL BE NEEDED DURING THE AS-BUILT CERTIFICATION PROCESS FOR THIS STORMWATER FACILITY. THEREFORE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE COMPACTION TESTING AND TO ENSURE COMPACTION TESTS ARE PROPERLY PERFORMED DURING CONSTRUCTION.
- TESTING OF THE NEW FILL MATERIALS SHALL BE PERFORMED TO VERIFY THAT THE RECOMMENDED LEVEL OF COMPACTION IS ACHIEVED DURING CONSTRUCTION. THEREFORE, ONE DENSITY TEST SHALL BE PERFORMED FOR EVERY 2,000 SQUARE FEET OF AREA FOR EVERY LIFT OF FILL OR AS DIRECTED BY THE ON-SITE GEOTECHNICAL ENGINEER.
- TESTING WILL BE REQUIRED ALONG THE 18" OUTLET BARREL AT A FREQUENCY OF ONE TEST PER 25 LF OF PIPE PER VERTICAL FOOT OF FILL OR AS DIRECTED BY THE ON-SITE GEOTECHNICAL ENGINEER.

OUTLET STRUCTURE MATERIAL SPECIFICATIONS

- THE OUTLET BARREL SHALL BE CLASS III RCP, MODIFIED BELL AND SPIGOT, MEETING THE REQUIREMENTS OF ASTM C1241. THE RISES SHALL HAVE COMPAKED CHAIR RUBBER GASKET JOINTS MEETING ASTM C-440 LATEST. THE PIPE JOINTS SHALL BE TYPE R-4.
- THE STRUCTURAL DESIGN FOR THE RISER BOX WITH EXTENDED BASE SHALL BE AS FOLLOWS:
- THE RISER BOX OUTLET STRUCTURE SHALL BE PROVIDED WITH STEPS 16" ON CENTER. STEPS SHALL BE PROVIDED ON THE INNER WALL OF THE RISER BOX. STEPS SHALL BE ACCORDING WITH ACOUSTIC STOP BLOCKS. PLEASE REFER TO OUTLET STRUCTURE DETAIL FOR LOCATION OF THE RISER STEPS.
- CONSTRUCT CONCRETE ANTI-FLOTATION ANCHOR PER RISER DETAIL.
- THE RISER BOX JOINT DESIGN SHALL CONFORM TO ASTM C-478. THE JOINTS SHALL BE SEALED USING BUTYL RUBBER SEALANT CONFORMING TO ASTM-880. THE CONTRACTOR SHALL PARGE JOINTS ON BOTH THE INSIDE AND OUTSIDE WITH NON-SHRINK GROUT.
- PRIOR TO ORDERING, THE CONTRACTOR SHALL SUBMIT TRASH RACK SHOP DRAWINGS TO THE ENGINEER FOR REVIEW. CONTRACTOR SHALL ENSURE THAT AN ACCESS HATCH IS PROVIDED WITHIN THE TRASH RACK (SEE DETAIL FOR LOCATION THAT WILL ALLOW FOR EASY MAINTENANCE ACCESS). CONTRACTOR SHALL ALSO PROVIDE A CHAIN AND LOCK FOR SECURING THE ACCESS HATCH.
- ALL POURED CONCRETE SHALL BE MINIMUM 3000 PSI (28 DAY) UNLESS OTHERWISE NOTED.
- GETEXTILE FABRIC FOR THE OUTLET BARREL JOINTS SHALL BE MFR#180X OR ENGINEER APPROVED EQUAL (NON-WOVEN FABRIC).

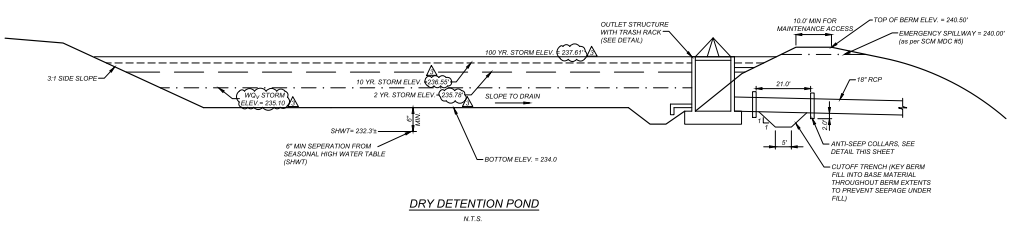


PLAN VIEW OF BMP #1
N.T.S.



PERMANENT DRY DETENTION POND EMERGENCY SPILLWAY CROSS SECTION
N.T.S.

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DRY DETENTION POND
N.T.S.

REVISIONS

NO.	DATE	DESCRIPTION	BY
1	7-13-2022	ASR REVISION COMMENTS #1	KL
2	8-29-2022	ASR REVIEW COMMENTS #2	KL
3	10-26-2022	ASR REVIEW COMMENTS #3	KL

COMMERCIAL SITE DESIGN
A Rambatek Company
(919) 888-4021 FAX: (919) 848-9741
WWW.COMTERRAIN.COM
8912 GREENWOOD ROAD
RALEIGH, NORTH CAROLINA 27609

CLIENT:
CONCORD WP-COLM RALEIGH ITC, LLC
11410 COMMON CREEK DRIVE
RALEIGH, NC 27614
PHONE: (919) 482-2600

STUDIORES
6701 TOWN CENTER DRIVE
RALEIGH, NORTH CAROLINA
STORM WATER BMP DETAILS

PROJECT NO: WSS-2004
 PLAN NO: WSS2004-02BMP
 DRAWN BY: CDH
 DATE: N.T.S.
 DATE: 11-07-2022
 SHEET NO: C-8

EXTERIOR ELEVATIONS



FRONT ELEVATION



REAR ELEVATION

CONCORD HOSPITALITY

STUDIORES

RALEIGH, NC

modus architecture

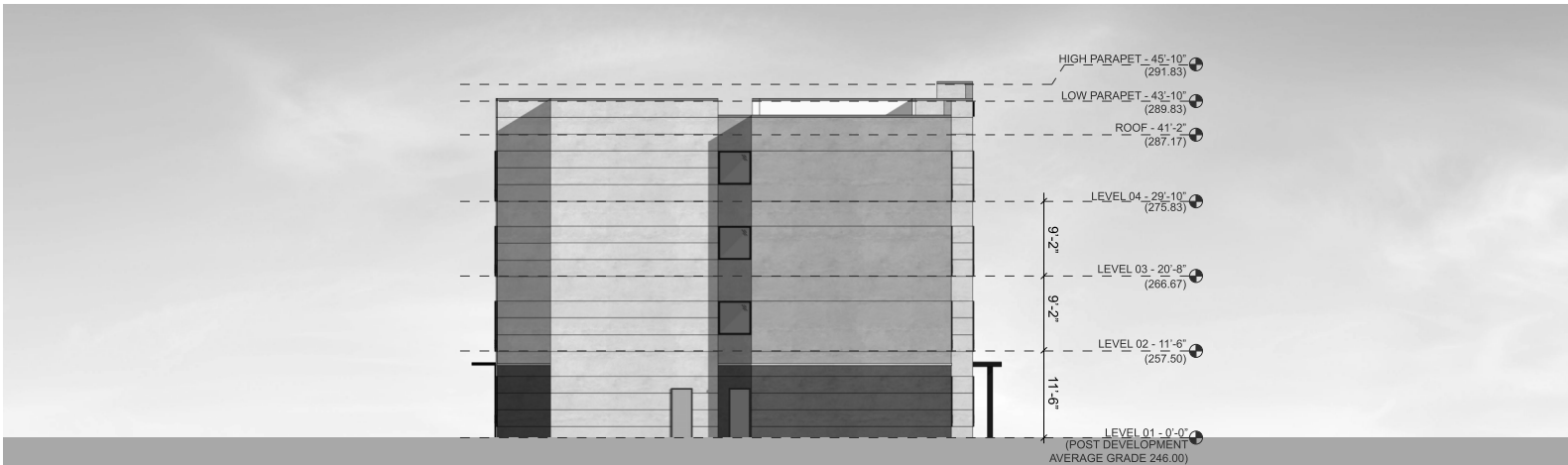
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DATE: 09/08/2023

EXTERIOR ELEVATIONS



RIGHT ELEVATION



LEFT ELEVATION

CONCORD HOSPITALITY

STUDIORES

RALEIGH, NC

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DATE: 09/08/2023