



Administrative Approval Action

Case File / Name: ASR-0021-2021
DSLCL - Pro 3:5 Sports Academy

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at the end of the cul-de-sac of Roundrock Drive south of I-540. The site is located within the corporate city limits of the City of Raleigh. The current address listed as 1810 Roundrock Drive, PIN # 1727146960.

REQUEST: Development of one general building type of 26,374 square feet size for indoor recreation facility use with associated parking. The existing property is 4.48 acres, zoned IX-3 and SHOD-2.

BOA-0034-2021: Variance for meeting transparency requirements, blank wall requirements, and cross access

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: SUB-0063-2019: DSLCL - Preliminary Subdivision/Preliminary Subdivision

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 24, 2021 by TIMMONS GROUP.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Attach Board of Adjustment adopted minutes from the August 9, 2021 meeting regarding case BOA-0034-2021.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

3. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Slope Easement Required

<input checked="" type="checkbox"/>	Sidewalk Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

Public Utilities

3. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions. in this case a profile of exist san sew is required showing exist topo & proposed grades on plan

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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2. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for additional CORSSE dedication
4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: September 30, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Alycia Bailey Taylor* Date: 09/30/2021
Development Services Dir/Designee

Staff Coordinator: Cara Russell

PRO 3:5 SPORTS ACADEMY ADMINISTRATIVE SITE REVIEW

ASR CASE No. ASR-0021-2021; BOA CASE No. BOA-0034-2021; SPR CASE No. TBD
RALEIGH, WAKE COUNTY, NORTH CAROLINA
PIN: 1727146960

Administrative Site Review Application

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print): _____

Please review UDO Section 10.2.8 as amended by last change case (C-1, S-1) to determine the site plan tier, of assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Form and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building Type:

<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #:	33-000-0013
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Scoping/lottery plan case #:	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #:	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #:	201-000-0001
		Zoning Case #:	
		Administrative Alternate #:	

GENERAL INFORMATION

Development name: PRO 3:5 SPORTS ACADEMY
Inside City limits? Yes No

Property address(es): 1810 ROUNDROCK DR
Site P.I.N.(s): 1727146960

Please describe the scope of work, include any additions, expansions, and change of use:
NEW INDOOR RECREATION FACILITY AND ASSOCIATED SURFACE PARKING AREAS

Current Property Owner/Developer Contact Name: CHAD DOYLE
NOTE: please attach purchase agreement when submitting this form.

Company: PRO 3:5 SPORTS ACADEMY INC Title: PRESIDENT
Address: 3201 NORTHSIDE DR, STE 119, RALEIGH, NC 27615
Phone #: _____ Email: chad@pro35sports.com

Applicant Name: ROBERT WINGATE
Company: TIMMONS GROUP Address: 5410 TRINITY RD, STE 102, RALEIGH, NC 27607
Phone #: 984-255-2352 Email: PUBLICLANDPERMITS@TIMMONS.COM

DEVELOPMENT TYPE + SITE DATA TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the average of each): DC-3	Existing gross floor area (not to be demolished): 0
Gross site acreage: 4.48	Existing gross floor area to be demolished: 0
# of parking spaces required: 65	New gross floor area: 26,374 SF
# of parking spaces proposed: 65	Total # of gross (to remain and new): 26,374
County District (if applicable): NA	Proposed # of buildings: 1
Existing use (UDO 6.1.4): VACANT	Proposed # of stories for each: 2
Proposed use (UDO 6.1.4): INDOOR RECREATION	

STORMWATER INFORMATION

Existing Impervious Surface: _____ Square Feet
Proposed Impervious Surface: _____ Square Feet

Is this a flood hazard area? Yes No
If yes, please provide: _____
Flood study: _____
FEMA Map Panel #: _____
Neuse River Buffer: Yes No Wetlands: Yes No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: NA
of bedroom units: 1br 2br 3br
of lots: NA
Is your project a cottage court? Yes No

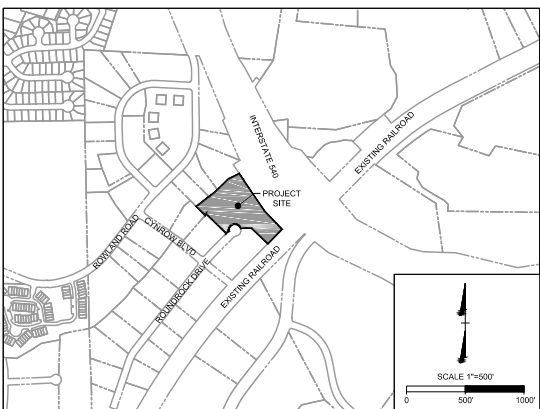
SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

Robert Wingate, PE (Timmons Group) will serve as the agent regarding this application, and will receive and respond to administrative comments, requests (plans and applicable documentation), and will represent the property owner(s) in any public meeting regarding this application.

I, here, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that the application is subject to the filing calendar and submitted public, which state applications will expire after 180 days of inactivity.

Signature: _____ Date: May 20, 2021
Printed Name: Robert Wingate



VICINITY MAP

DEVELOPER:
PRO 3:5 SPORTS ACADEMY
3201 NORTHSIDE DRIVE, STE 119
RALEIGH, NC 27615
CHAD DOYLE
chad@pro35sports.com

CIVIL ENGINEER:
TIMMONS GROUP
5410 TRINITY ROAD, STE. 102
RALEIGH, NC 27607
ROBERT WINGATE, PE
(984) 255-2352
robert.wingate@timmons.com

ARCHITECT:
ARMISTEAD ARCHITECTURAL DESIGN, PC
3206 HERITAGE TRADE DRIVE, STE 108
WAKE FOREST, NC 27587
JOE ARMISTEAD
joe@adesignpc.com

GENERAL NOTES:

- TREE CONSERVATION:**
SITE COMPLIES WITH TREE CONSERVATION REQUIREMENTS PER RALEIGH DEVELOPMENT PLAN 3-45-08. NO ADDITIONAL TREE CONSERVATION IS REQUIRED.
- STORMWATER:**
THIS DEVELOPMENT DOES NOT REQUIRE ACTIVE STORMWATER CONTROLS SINCE THE INCREASE IN PEAK STORMWATER RUNOFF BETWEEN PRE-DEVELOPMENT AND POST DEVELOPMENT CONDITIONS FOR THE SITE FOR THE 2-, 10-, AND 25-YEAR STORMS IS TEN PER CENT (10%) OR LESS PER CITY OF RALEIGH UDO 6.2.2.E.2.I.
- SOLID WASTE MANAGEMENT:**
SOLID WASTE WILL BE MANAGED THROUGH A PRIVATE CONTRACTOR AND ONSITE DUMPSTER PAD.
- BLOCK PERIMETER:**
SITE IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS PER UDO 6.3.2.A.2.B. (TC-6-19).
- CROSS ACCESS:**
- CROSS ACCESS TO LOTS ABUTTING SITE IS NOT REQUIRED ALONG PERRY CREEK PER UDO SEC. 8.3.5.D.5.B.IV. (TC-6-19).
 - CROSS ACCESS TO LOTS SOUTH OF CSX RIGHT-OF-WAY IS NOT REQUIRED PER UDO SEC. 8.3.5.D.5.B.II. (TC-6-19).
 - CROSS ACCESS TO LOTS NORTH OF I-540 RIGHT-OF-WAY IS NOT REQUIRED PER UDO SEC. 8.3.5.D.5.B.III. (TC-6-19).
 - BOARD OF ADJUSTMENT VARIANCE FROM THE CROSS ACCESS REQUIREMENTS AS SET FORTH IN UDO SECTION 8.3.5.D TO PINS 1727143687 AND 1727146563 HAS BEEN GRANTED.
- TRAFFIC STUDY:**
PROPOSED DEVELOPMENT IS NOT PROJECTED TO EXCEED THRESHOLDS FOR A TRAFFIC STUDY PER RALEIGH STREET DESIGN MANUAL ARTICLE 7.1.

Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	APPROVALS
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C1.1	EXISTING PLAT AND TREE CONSERVATION PLAN
C2.0	SITE LAYOUT
C2.1	FIRE APPARATUS ACCESS EXHIBIT
C2.2	SOLID WASTE SERVICES ACCESS EXHIBIT
C3.0	GRADING PLAN
C5.0	UTILITY PLAN
C7.0	NOTES AND DETAILS
C7.1	NOTES AND DETAILS
L1.0	LIGHTING PLAN
L2.0	PLANTING PLAN
L2.1	PLANTING DETAILS
A-3.01	EXTERIOR ELEVATIONS
A-3.02	EXTERIOR ELEVATIONS

PRELIMINARY FOR REVIEW ONLY

THIS DRAWING PREPARED AT THE RALEIGH OFFICE
5410 Trinity Road, Suite 102, Raleigh, NC 27607
TEL: 919.866.4921 FAX: 919.833.8124 www.timmons.com

REVISION DESCRIPTION

DATE	REVISIONS PER CITY OF RALEIGH ASL COMMENTS
05/27/2021	REVISIONS PER CITY OF RALEIGH ASL COMMENTS
05/28/2021	REVISIONS PER CITY OF RALEIGH ASL COMMENTS

YOUR VISION ACHIEVED THROUGH OURS.

DATE: 03/12/2021
DRAWN BY: 332
DESIGNED BY: R. WINGATE
CHECKED BY: R. BAKER
SCALE: AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
PRO 3:5 SPORTS ACADEMY
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
COVER SHEET

JOB NO. 43603
SHEET NO. C0.0



TRIP GENERATION SUMMARY

ITE LAND USE CODE	SQUARE FOOTAGE	DAILY	AM PEAK HOUR			PM PEAK HOUR		
			IN	OUT	TOTAL	IN	OUT	TOTAL
435 - MULTIPURPOSE RECREATIONAL FACILITY	36,374 SF	NA	21	13	34	44	29	73

Carla Russell
Digitally signed by Carla Russell
DN: cn=Carla Russell, o=Timmons Group, ou=Engineering, email=carla@timmons.com, c=US
Reason: I am approving this document.
Date: 2021.05.20 10:49:32-0400

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

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Board of Adjustment
Case Report

Case File: BOA-0034-2021

City of Raleigh
Department of Planning and
Development
One Edwards Place
Raleigh, NC 27601
www.raleigh.gov

Case File: BOA-0034-2021
Property Address(es): 1810 Roundrook Rd.
Property Owner(s): Pro 3:5 Sports Academy Inc

Nature of Case: Requests variances seeking relief from the minimum transparency requirements on the western building facade (facing Roundrook Drive) as follows: (1) a variance to the minimum 20% ground story transparency requirement as set forth in UDO Section 3.2.3.F.1 that results in 16% transparency, (2) a variance to the minimum 20% upper story transparency requirement as set forth in UDO Section 3.2.3.F.2 that results in 9% transparency, and (3) a variance to the minimum 10% transparency requirement between 2nd floor set forth in UDO Section 1.5.9.B.1 that results in 6.5% transparency. The applicant is also seeking (4) a variance for complete relief from the minimum transparency requirements on the east-facing building facade (facing 1-810) set forth in UDO Sections 1.6.8.3 and 3.2.3.F. (5) a variance for complete relief from the Blank Wall Area requirements set forth in UDO sections 1.6.10 and 3.2.3.F.5, and (6) a variance for complete relief from Cross Access requirements as set forth in UDO Section 6.3.6.D to PHs 1727143587 and 1727146866. The variances are requested in association with the construction of an indoor recreation facility on a 4.6-acre property zoned M-3, Special Highway Overlay District-2 (SHOD-2) located at 1810 Roundrook Drive.



Location Map

BOA-0034-2021

- NOTES:
- BOA-0034-2021 APPROVED BY BOARD OF ADJUSTMENT ON AUG 9, 2021.
 - FORMAL MINUTES TO BE ADOPTED AT SEP 13, 2021 MEETING.
 - APPROVAL DOCUMENT TO BE INCLUDED WITH SITE PLAN REVIEW.

PRELIMINARY
FOR REVIEW
ONLY

THE DRAWING PREPARED AT THE
RALEIGH OFFICE
540 S. FAYETTE ST., SUITE 2000
RALEIGH, NC 27607
TEL: 919.996.4921 FAX: 919.933.4124 www.raleigh.gov

REVISION DESCRIPTION
REVISIONS PER CITY OF RALEIGH COMMENTS
REVISIONS PER CITY OF RALEIGH COMMENTS

DATE	YOUR VISION ACHIEVED THROUGH OURS.
05/27/2021	
05/27/2021	

DATE	DRAWN BY	DESIGNED BY	CHECKED BY	SCALE
03/12/2021	332	R. WINGATE	R. BAKER	AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

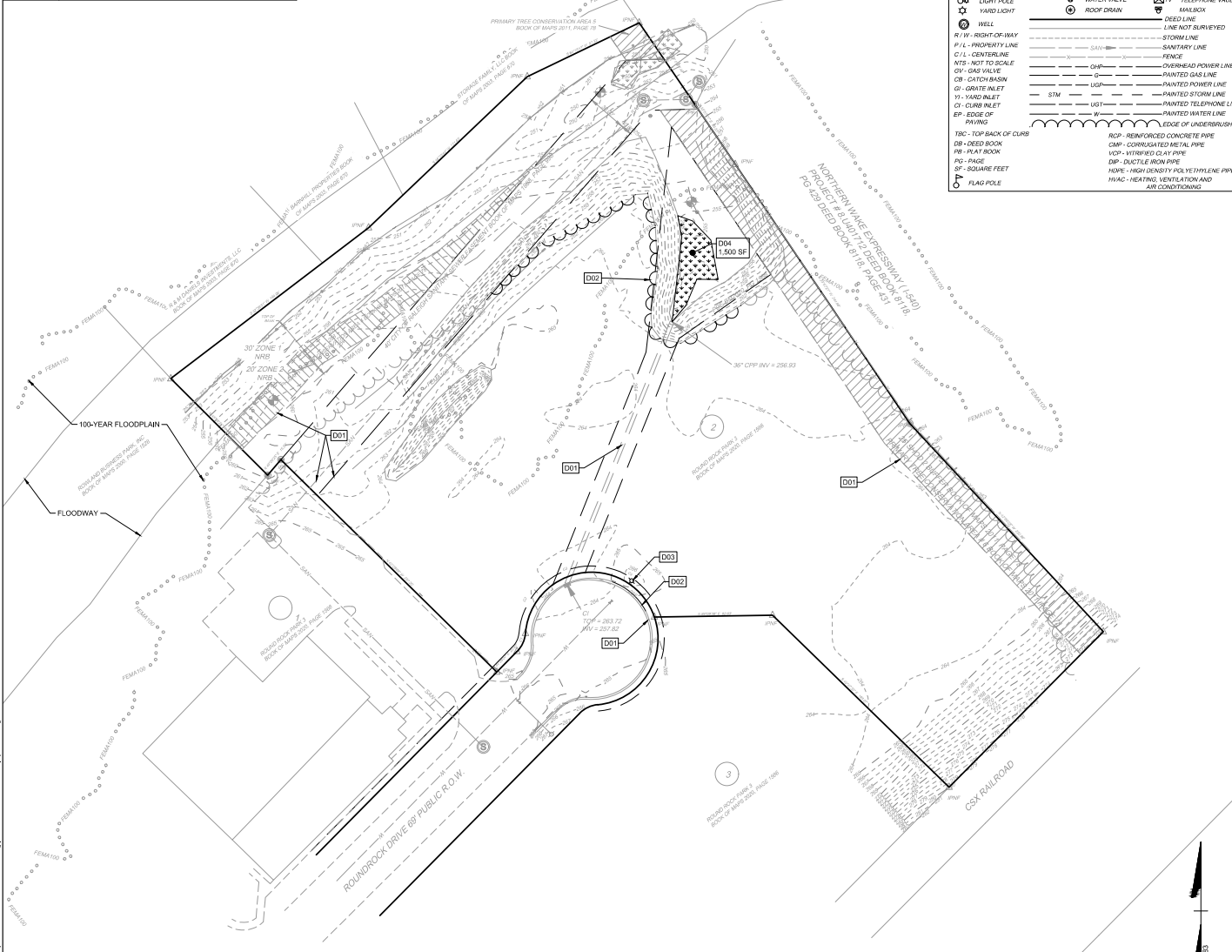
PRO 3:5 SPORTS ACADEMY
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
APPROVALS

JOB NO.
43603
SHEET NO.
C0.1

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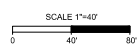
DEMOLITION KEYNOTES	
NUMBER	DESCRIPTION
D01	EXISTING FEATURE TO REMAIN.
D02	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D03	RELOCATE AND MODIFY EXISTING FEATURE TO REMAIN IN SERVICE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D04	EXISTING WETLANDS TO BE REMOVED ONLY AFTER IMPACT IS FULLY PERMITTED.



LEGEND		
IFP - IRON PIPE FOUND	● BOLLARD	— BUSV
IRF - IRON ROD FOUND	○ M/DRAINAGE	— FIBER OPTIC MAINLINE
IPS - IRON PIPE SET	○ M/SANITARY	— AM ELECTRIC
PT - CALCULATED POINT	○ M/ELECTRIC	○ SPRINKLER HEAD
CK - CONCRETE KNOCKOUT	○ M/TELEPHONE	○ GAS METER
— FIRE HYDRANT	○ M/WATER	○ GAS VALVE
— ELECTRIC BOX	○ SPRINKLER BOX	○ GAS VALVE
— TELEPHONE PEDESTAL	○ ELECTRIC METER	○ GROUND LAMP
— CABLE TV PEDESTAL	○ CLEAN OUT	○ ROV/HOLE
— POWER POLE < GUY	○ WATER METER	○ AC LINT
○ LIGHT POLE	○ AC LINT	○ TELEPHONE VALT
○ HAND LIGHT	○ HALLMARK	○ HALLMARK
○ WELL	— DEED LINE	— LINE NOT SURVEYED
— R/W - RIGHT-OF-WAY	— STORM LINE	— SANITARY LINE
— P/L - PROPERTY LINE	— FENCE	— OVERHEAD POWER LINE
— C/L - CENTERLINE	— PAINTED GAS LINE	— PAINTED POWER LINE
— NTS - NOT TO SCALE	— PAINTED STORM LINE	— PAINTED TELEPHONE LINE
— G/V - GAS VALVE	— PAINTED WATER LINE	— EDGE OF UNDERBRUSH
— CB - CATCH BASIN	— RCP - REINFORCED CONCRETE PIPE	— CMP - CORRUGATED METAL PIPE
— GI - GRATE INLET	— VCP - VITRIFIED CLAY PIPE	— DIP - DUCTILE IRON PIPE
— YI - YARD INLET	— HDPE - HIGH DENSITY POLYETHYLENE PIPE	— HVAC - HEATING, VENTILATION AND AIR CONDITIONING
— CI - CURB INLET	—	—
— EP - EDGE OF SWING	—	—
— R/C - TOP BACK OF CURB	—	—
— DB - DEED BOOK	—	—
— PR - PLAY BOOK	—	—
— PG - PAGE	—	—
— SF - SQUARE FEET	—	—
— FLAG POLE	—	—

- SURVEY NOTES**
- ON SITE BOUNDARY, TOPOGRAPHY AND PLANIMETRIC INFORMATION IS TAKEN FROM A SURVEY BY ATKINSON LAND SURVEYING, PLLC DATED JANUARY 21, 2021. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP.
 - ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
 - THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
 - BASIS OF BEARINGS SHOWN HEREON IS NC GRID NAD 83 (NSRS 2007).
 - VERTICAL DATUM SHOWN HEREON IS NAVD83.
 - OTHER SOURCES OF INFORMATION INCLUDE WAKE COUNTY GIS.
 - LOCATED IN FLOOD HAZARD AREA PER FEMA MAP #37201Z22003 (EFFECTIVE 05-02-2006).
 - RECORDED PROPERTY DATA:
8.1. DB 018142 PG 00477
8.2. BM0020 PG 01568
 - EXISTING IMPERVIOUS AREA = 0.0 ACRES
 - THE UTILITIES ON THESE PLANS ARE APPROXIMATE ONLY, AND ARE NOT ACCURATE FOR CONSTRUCTION PURPOSES. FOR FIELD MARKS CALL 811.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	23.00'	16.03'	15.71'	N 24°41'07" E	39°56'21"
C2	52.00'	44.89'	43.51'	N 29°17'22" E	49°27'51"
C3	52.00'	27.47'	27.15'	S 69°19'17" W	30°15'58"
C4	52.00'	69.43'	64.38'	N 57°17'50" W	76°29'48"



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PRELIMINARY FOR REVIEW ONLY

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652

PRO 3:5 SPORTS ACADEMY
 CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

EXISTING CONDITIONS AND DEMOLITION PLAN

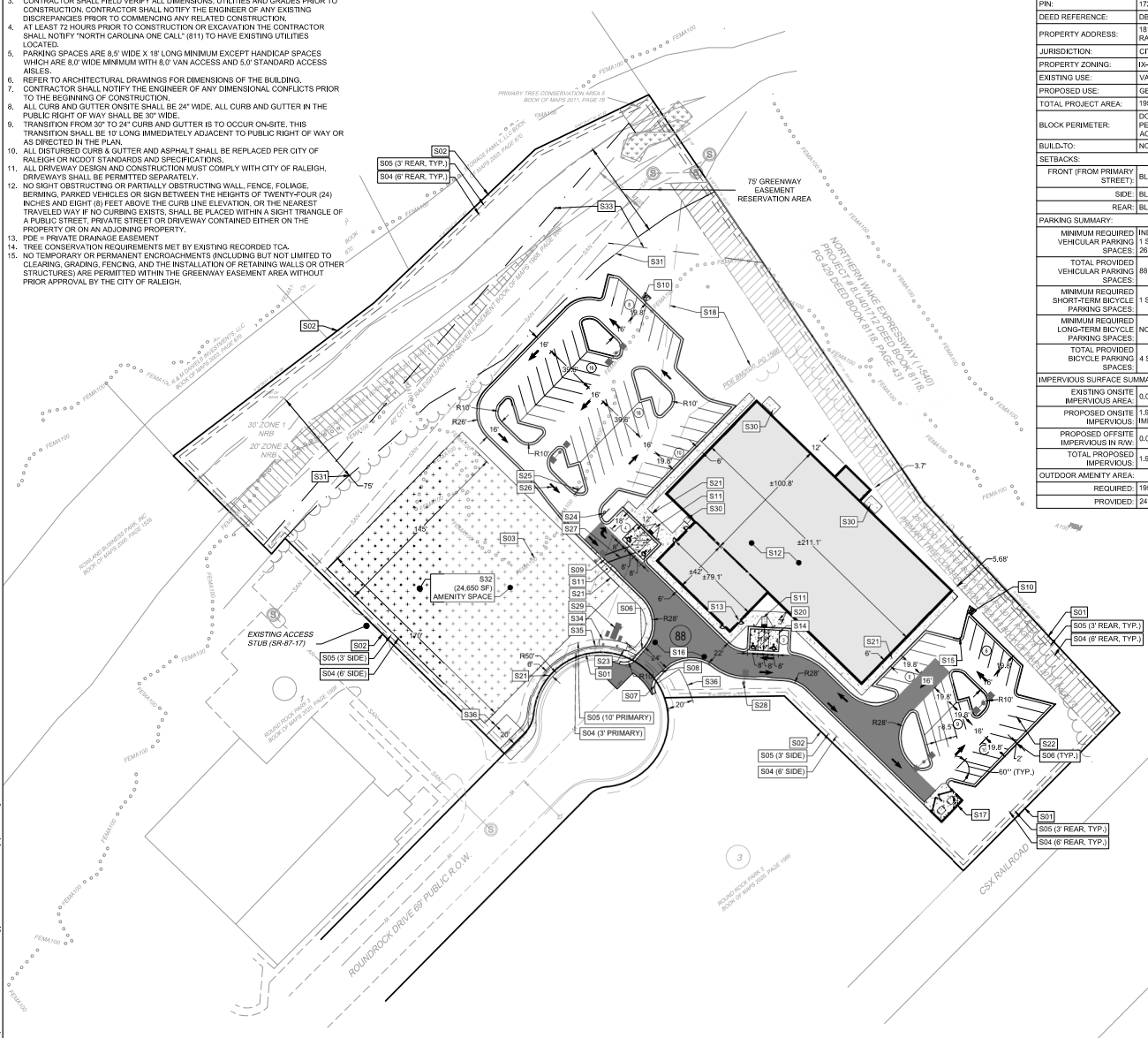
DATE	03/27/2021
DATE	03/27/2021
DATE	03/27/2021
DATE	03/12/2021
DRAWN BY	T. DAEKE
DESIGNED BY	R. BAKER
CHECKED BY	R. BAKER
SCALE	AS SHOWN

JOB NO. 43603
 SHEET NO. C1.0

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 Prior to construction, boring, and/or construction staking without the written consent of TIMMONS GROUP.

SITE LAYOUT NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) TO HAVE EXISTING UTILITIES LOCATED.
- PARKING SPACES ARE 8.5' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESS ANGLES.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER ON-SITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY OR AS DIRECTED IN THE PLAN.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH CITY OF RALEIGH. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERING PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- PDE = PRIVATE DRAINAGE EASEMENT
- THESE CONSERVATION REQUIREMENTS MET BY EXISTING RECORDED TCA. NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



SITE DATA TABLE

PROJECT NAME:	PRO 3:5 SPORTS
PROPERTY OWNER:	PRO 3:5 SPORTS ACADEMY INC 10804 FOND COURT RALEIGH, NC 27614
PIN:	1727-14-6960
DEED REFERENCE:	DB, 16142 PG. 477
PROPERTY ADDRESS:	1810 ROUNDROCK DRIVE RALEIGH, NC 27615
JURISDICTION:	CITY OF RALEIGH
PROPERTY ZONING:	IX-3
EXISTING USE:	VACANT
PROPOSED USE:	GENERAL BUILDING USE - SPORTS ACADEMY
TOTAL PROJECT AREA:	195,183 S.F. (4.48 AC)
BLOCK PERIMETER:	DOES NOT APPLY PER TC-06-19 AND IX ZONING; BLOCK PERIMETER ONLY APPLIES TO SITES LARGER THAN 9 ACRES
BUILD-TO:	NOT REQUIRED
SETBACKS:	
FRONT (FROM PRIMARY STREET):	BLDG.: 3' PARKING: 10'
SIDE:	BLDG.: 6' PARKING: 3'
REAR:	BLDG.: 6' PARKING: 3'
PARKING SUMMARY:	
MINIMUM REQUIRED VEHICULAR PARKING SPACES:	1 SPACE PER 300 SF OF GROSS FLOOR AREA 26,374 / 300 = 88 SPACES
TOTAL PROVIDED VEHICULAR PARKING SPACES:	88 SPACES (INCLUDING 4 ADA SPACES)
MINIMUM REQUIRED SHORT-TERM BICYCLE PARKING SPACES:	1 SPACE PER 5,000 GFA, MINIMUM 4
MINIMUM REQUIRED LONG-TERM BICYCLE PARKING SPACES:	NONE
TOTAL PROVIDED BICYCLE PARKING SPACES:	4 SHORT TERM SPACES
IMPERVIOUS SURFACE SUMMARY:	
EXISTING ON-SITE IMPERVIOUS AREA:	0.00 ACRES = 0.00%
PROPOSED ON-SITE IMPERVIOUS (IMPERVIOUS IN RW):	1.97 ACRES = 44% (INCLUDES 0.30 ACRES FUTURE IMPERVIOUS)
TOTAL PROPOSED IMPERVIOUS AREA:	1.97 ACRES
REQUIRED:	195,183 SF (NET SITE AREA, 4.48 AC) * 10% = 19,518 SF
PROVIDED:	24,650 SF

SITE LAYOUT KEYNOTES

NUMBER	DESCRIPTION
S01	RIGHT-OF-WAY (TYP.)
S02	PROPERTY BOUNDARY (TYP.)
S03	EXISTING 10-YR FLOODPLAIN PER FEMA FIRM PANEL 17271Z1001E, EFFECTIVE 05/02/2006
S04	BUILDING SETBACK
S05	PARKING SETBACK
S06	24" CONCRETE CURB & GUTTER; REFER TO DETAIL.
S07	30" CONCRETE CURB & GUTTER; REFER TO NCDOT 846.01
S08	TAPER 30" CURB TO 24" CURB
S09	24" FLUSH CURB
S10	36" CONCRETE FLUME
S11	CURB RAMP @ 3.33% MAXIMUM (TYPICAL - PER ADA AND LOCAL CODES)
S12	BUILDING; REFER TO ARCHITECTURAL PLANS
S13	BUILDING PRIMARY ENTRANCE
S14	CONCRETE ADA STALL (TYP.) (DIMENSIONED AND STRIPED PER ADA AND LOCAL CODES); WITH SIGNAGE (R-18A MUTCD)
S15	3' CURB RADIUS (TYP.)
S16	HEAVY DUTY ASPHALT; REFER TO DETAIL
S17	CURBSIDE PAD & ENCLOSURE; REFER TO ARCHITECTURAL PLANS
S18	VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT
S19	RETAINING WALL (DESIGN BY OTHERS)
S20	L-RAIL BICYCLE RACK (2 SPACES); REFER TO DETAIL
S21	4" THICK CONCRETE SIDEWALK; REFER TO PLANS FOR WIDTH DIMENSIONS
S22	PARKING STALL STRIPING PER LOCAL CODES (TYP.)
S23	'STOP' SIGN; R-1 (MUTCD)
S24	'RIGHT TURN ONLY' SIGN; R-35 (MUTCD)
S25	'DO NOT ENTER' SIGN; R-51 (MUTCD)
S26	DIRECTIONAL TRAFFIC ARROW (PER LOCAL CODES)
S27	PEDESTRIAN CROSSWALK STRIPING (PER LOCAL CODES)
S28	LIGHT POLE STAKE (TYPICAL - REFER TO LIGHTING AND ARCHITECTURAL PLANS)
S29	WATER BACKFLOW LOCATION; REFER TO UTILITY PLAN
S30	MECHANICAL UNIT (REFER TO LANDSCAPE PLAN FOR SCREENING)
S31	AREA RESERVED FOR CITY OF RALEIGH GREENWAY EASEMENT (UDC 8.1.8.A)
S32	AMENITY AREA (TYP.) (EACH AREA IS AT LEAST 10' IN WIDTH AND LENGTH)
S33	PROPOSED NEW CITY OF RALEIGH SANITARY SEWER EASEMENT FOR PERRY CREEK INTERCEPTOR
S34	PROPOSED NEW 5' CITY OF RALEIGH WATER LINE EASEMENT
S35	PROPOSED NEW 5' SIDEWALK EASEMENT
S36	PROPOSED NEW 20' SLOPE EASEMENT

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RALEIGH, NC 27607
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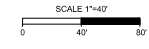
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DATE: 03/12/2021
DRAWN BY: T. DAEKE
DESIGNED BY: R. BAKER
CHECKED BY: R. BAKER
SCALE: AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652
PRO 3:5 SPORTS ACADEMY
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA
SITE LAYOUT

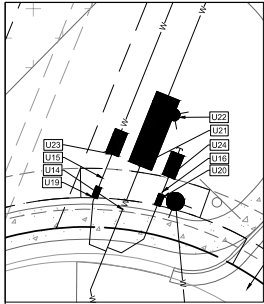
JOB NO. 43603
SHEET NO. C2.0

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	23.00'	16.03'	15.71'	N 24°11'07" E	39°56'21"
C2	52.00'	44.89'	43.51'	N 29°27'22" E	49°27'51"
C3	52.00'	27.47'	27.15'	S 69°19'17" W	30°15'58"
C4	52.00'	69.43'	64.38'	N 57°17'50" W	76°29'48"

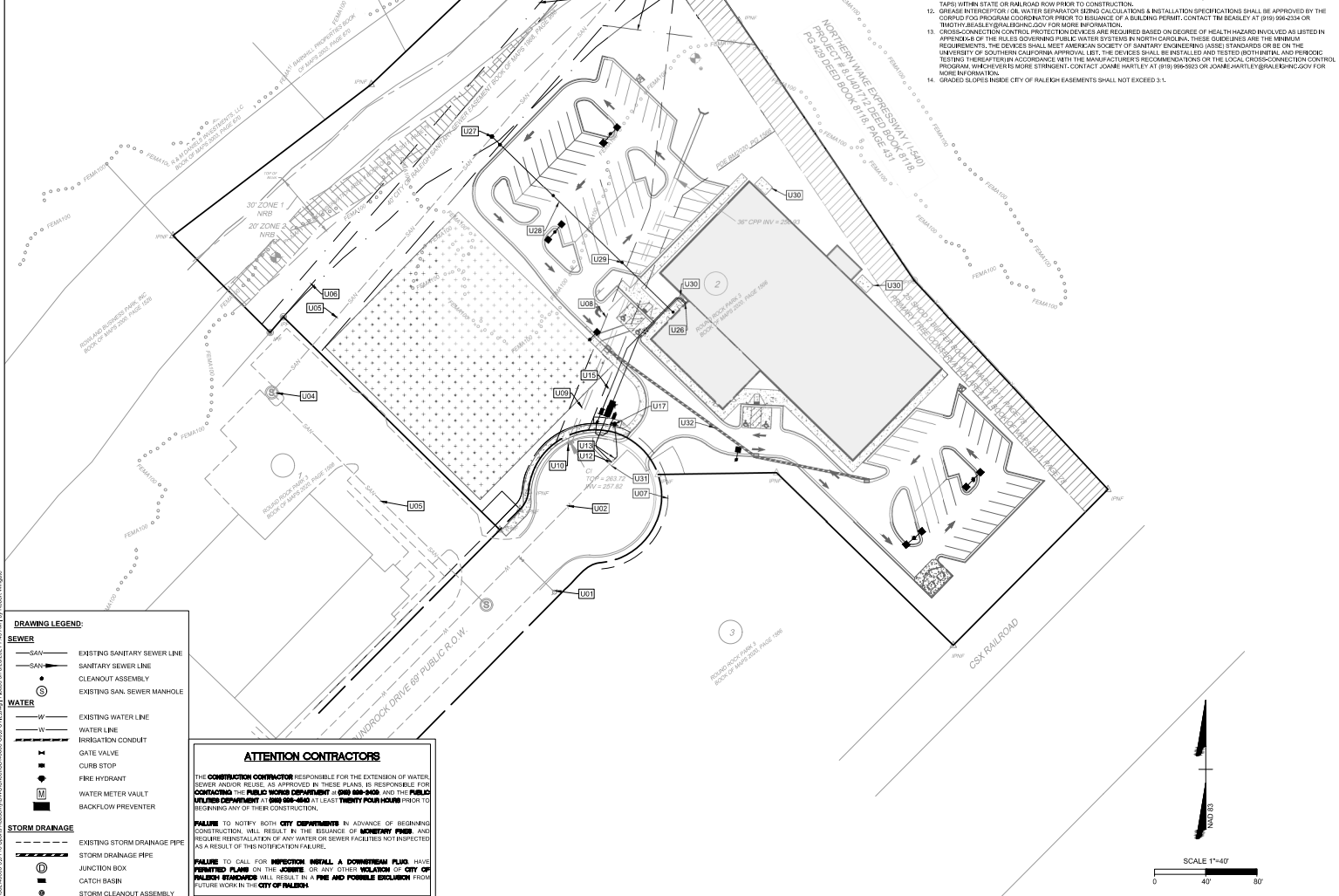


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WATER SERVICES INSET - 1" = 10'



DRAWING LEGEND:

SEWER

- SAN - EXISTING SANITARY SEWER LINE
- SAN - SANITARY SEWER LINE
- - CLEANOUT ASSEMBLY
- S - EXISTING SAN. SEWER MANHOLE

WATER

- W - EXISTING WATER LINE
- W - WATER LINE
- I - IRRIGATION CONDUIT
- ⊥ - GATE VALVE
- ⊥ - CURB STOP
- ⊥ - FIRE HYDRANT
- ⊥ - WATER METER VAULT
- ⊥ - BACKFLOW PREVENTER

STORM DRAINAGE

- SD - EXISTING STORM DRAINAGE PIPE
- SD - STORM DRAINAGE PIPE
- ⊙ - JUNCTION BOX
- ⊙ - CATCH BASIN
- ⊙ - STORM CLEANOUT ASSEMBLY

ATTENTION CONTRACTORS

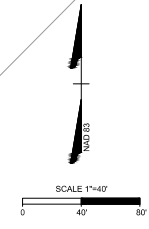
THE **CONTRACTOR** RESPONSIBLE FOR THE EXTENSION OF WATER SEWER (AND/OR SEWER) AS SHOWN ON THESE PLANS IS RESPONSIBLE FOR **CONTACTING THE PUBLIC WORKS DEPARTMENT @ (919) 996-5400 AND THE PUBLIC UTILITIES DEPARTMENT @ (919) 996-5440 AT LEAST THIRTY FOUR HOURS** PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRES REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON FILE, OBTAIN ANY OTHER NECESSARY CITY OF RALEIGH STANDARDS (WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

- STANDARD UTILITY NOTES (AS APPLICABLE)**
1. ALL INTERFERENCE & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS, REFERENCE: CORPUS HANDBOOK, CURRENT EDITION.
 2. UTILITY SEPARATION REQUIREMENTS
 - 2.1. A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN ABOVEGROUND RESERVOIR OR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, PERIODIC SANITARY SEWER FRESH SHALL BE SPECIFIED AND ALLED TO WATERLINE SPECIFICATIONS, HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 24" FROM PRIVATE WELL OR 3' FROM A PUBLIC WELL.
 - 2.2. UNLESS INDICATED OTHERWISE, THE MINIMUM SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IN THE WATER MAIN IS A SEPARATE TRENCH WITH THE CENTERLINE OF THE WATER MAIN AT LEAST 12" ABOVE THE TOP OF THE SEWER. THE VARIATION MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - 2.3. WHERE IT IS IMPOSSIBLE TO OBTAIN LATERAL SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 2.4. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DP MATERIALS ARE SPECIFIED FOR SANITARY SEWER.
 - 2.5. MAINTAIN 10' MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED. SPECIFY DP MATERIALS & A CONCRETE GRADE HAVING 6" MIN. CLEARANCE, PER CORPUS DETAILS W-1 & W-11.
 - 2.6. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION.
 - 2.7. ANY NECESSARY FIELD SURVEYS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN AND PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 3. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.1. MINIMUM COVER FOR SANITARY SEWER & SEWER FORECRAWLS: 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - 3.2. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE. UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, THIS INCLUDES ABANDONING TAP A MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
 4. INSTALL 4" COVER & 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' SIDE WALKWAY EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 5. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MINIMUM.
 6. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 18" ABOVE THE NEXT UPSTREAM MANHOLE.
 7. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOG, USACE & OR FEMA FOR ANY RIPARIAN BUFFERS, WETLANDS OR FLOODPLAIN REGULATIONS RESPECTIVELY PRIOR TO CONSTRUCTION.
 8. NCDOT RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 9. GRADE INTERCEPTOR OIL WATER SEPARATOR BEING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TM SEALEY AT (919) 996-5404 OR TM@TRIMBLE.COM (TRIMBLE.COM) FOR MORE INFORMATION.
 10. GREASE INTERCEPTOR (G.I.) WATER SEPARATOR DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE DEVICES ARE THE MINIMUM REQUIREMENTS THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM. WHENEVER IS MORE STRINGENT, CONTACT JOAME MARTLEY AT (919) 996-5653 OR JOAME.MARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
 11. GRADED SLOPES INSIDE CITY OF RALEIGH EASEMENTS SHALL NOT EXCEED 3:1.

UTILITY KEYNOTES	
NUMBER	DESCRIPTION
U01	EXISTING FIRE HYDRANT
U02	EXISTING 12" DIP WATER LINE, CONFIRM PRIOR TO CONSTRUCTION
U04	EXISTING SANITARY SEWER MANHOLE (TYP.)
U05	EXISTING 18" DIP SANITARY SEWER MAIN (TYP.)
U06	EXISTING CITY OF RALEIGH SANITARY SEWER EASEMENT FOR PERRY CREEK INTERCEPTOR
U07	EXISTING 5" GENERAL UTILITY EASEMENT
U08	EXISTING PRIVATE DRAINAGE EASEMENT
U09	EXISTING STORM DRAIN
U10	EXISTING CATCH BASIN
U11	PROPOSED NEW CITY OF RALEIGH SANITARY SEWER EASEMENT FOR PERRY CREEK INTERCEPTOR
U12	12"Ø FULL CIRCUMFERENCE STAINLESS STEEL TAPPING SLEEVE AND VALVE
U13	6"Ø GATE VALVE (TYP.)
U14	2" TYPE "K" SOFT COPPER DOMESTIC WATER SERVICE (TYP.)
U15	1" TYPE "K" SOFT COPPER IRRIGATION WATER SERVICE (TYP.)
U16	1" RELOCATED FIRE HYDRANT ASSEMBLY (TYP.)
U17	2" DOMESTIC WATER METER AND CURB STOP
U18	1" IRRIGATION WATER METER AND CURB STOP
U21	6" RPSA FIRE BACKFLOW PREVENTER IN ABOVE GRADE AND INSULATED ENCLOSURE (WILKINS 3750A OR APPROVED EQUAL)
U22	HOTBOX FOC CONNECTION
U23	2" RPSZ DOMESTIC BFP IN ABOVE GRADE AND INSULATED ENCLOSURE (WILKINS 375 OR AS APPROVED BY CITY OF RALEIGH); BACKFLOW PREVENTER (REFER TO DETAIL W-38)
U24	1" RPSZ DOMESTIC BFP IN ABOVE GRADE AND INSULATED ENCLOSURE (WILKINS 375 OR AS APPROVED BY CITY OF RALEIGH); BACKFLOW PREVENTER (REFER TO DETAIL W-38)
U26	REFER TO ARCHITECTURAL DESIGNS FOR WATER SERVICE CONTRIBUTION
U27	DOGHOUSE MANHOLE CONNECTION TO EXISTING SANITARY SEWER MAIN, PRIOR TO BEGINNING ANY CONSTRUCTION, VERIFY SIZE, MATERIAL, LOCATION, AND DEPTH OF EXISTING MAIN.
U28	6" PVC SANITARY SEWER SERVICE (TYP.)
U29	CLEANOUT (TYP.), TRAFFIC RATED IF LOCATED WITHIN PAVEMENT; REFER TO DETAIL.
U30	HWU UNITS AND CONCRETE PAD (TYP.)
U31	CUT AND PATCH EXISTING PAVEMENT
U32	STORM DRAIN (TYP.)



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TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652
PRO 3:5 SPORTS ACADEMY
CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

UTILITY PLAN

DATE	03/12/2021
DRAWN BY	T. DAEKE
DESIGNED BY	S. MOORE
CHECKED BY	R. BAKER
SCALE	AS SHOWN

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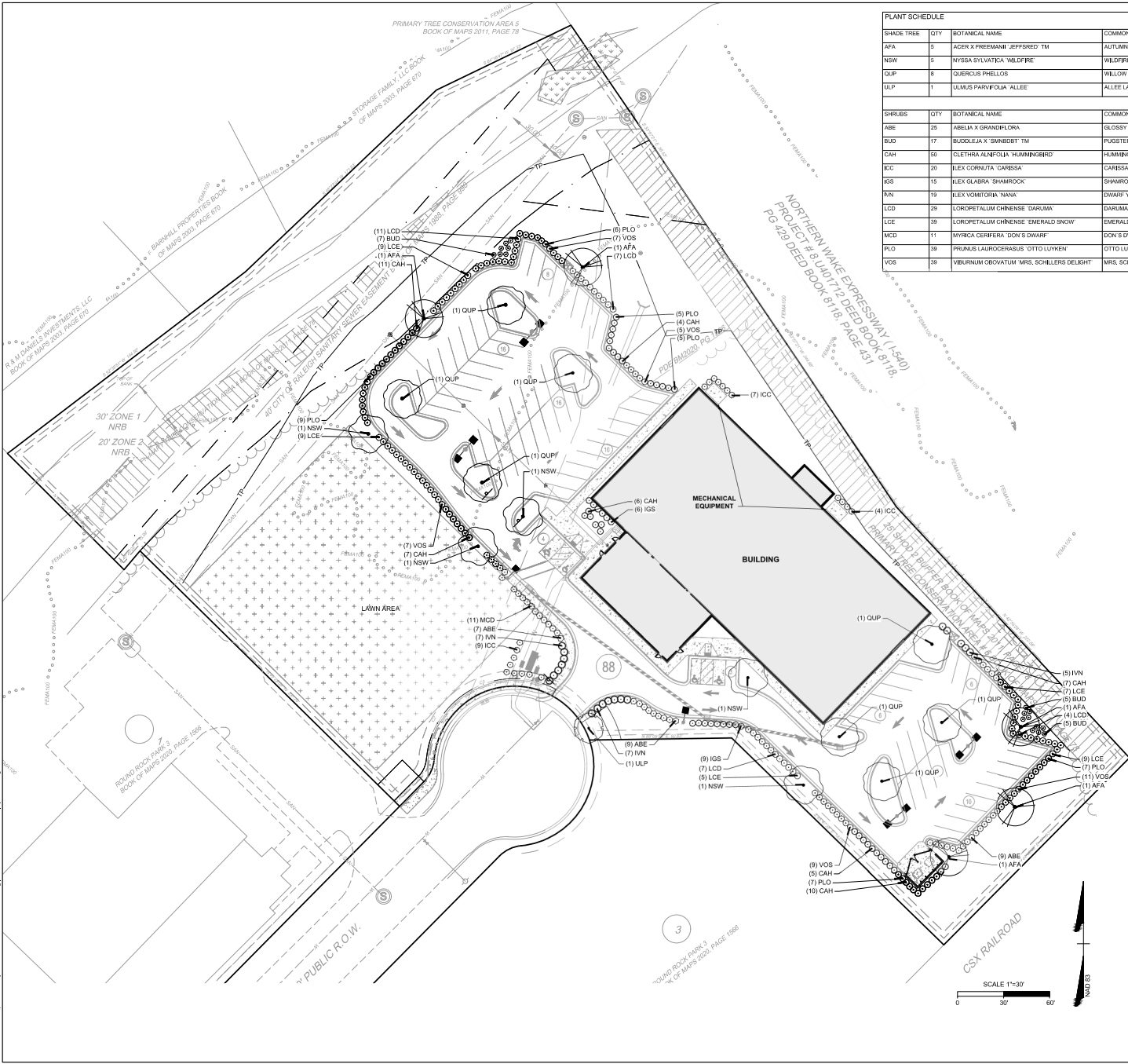
THE DRAWING PREPARED AT THE RALEIGH OFFICE
 5000 W. GARDEN ST., SUITE 100, RALEIGH, NC 27607
 TEL: 919.996.4921 FAX: 919.933.4124

REVISION DESCRIPTION	DATE
REVISIONS PER CITY OF RALEIGH ASL COMMENTS	03/12/2021
REVISIONS PER CITY OF RALEIGH ASL COMMENTS	03/12/2021

JOB NO. 43603
SHEET NO. C5.0

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PLANT SCHEDULE

SHADE TREE	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	TYPE
AFA	5	ACER X FREEMANNII 'JEFFREY' TM	AUTUMN BLAZE FREEMAN MAPLE	3" CAL., 10 HT. MIN.	BAB	INTERIOR PARKING ISLAND
NSW	5	NYSSA SYLVATICA 'WILDFIRE'	WILDFIRE BLACK GUM	3" CAL., 10 HT. MIN.	BAB	INTERIOR PARKING ISLAND
QUP	8	QUERCUS PHELLOEA	WILLOW OAK	3" CAL., 10 HT. MIN.	BAB	INTERIOR PARKING ISLAND
ULP	1	ULMUS PARVIFOLIA 'ALLEE'	ALLEE LACEBARK ELM	3" CAL., 10 HT. MIN.	BAB	STREET TREES

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE	ROOT	TYPE
ABE	25	ABELLIA X GRANDIFLORA	GLOSSY ABELIA	18" HT.,SPRD.	CONTAINER	PERIMETER LANDSCAPE
BUD	17	BLEDDIA X 'SMINDBIT' TM	PLASTER BLUE DWARF BUTTERFLY BUSH	18" HT.,SPRD.	CONTAINER	PERIMETER LANDSCAPE
CAH	50	CLETHRJA ALANFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	18" HT.,SPRD.	CONTAINER	PERIMETER LANDSCAPE
ICC	20	ILEX CORNUCUTA 'CARISSA'	CARISSA HOLLY	18" HT.,SPRD.	CONTAINER	SCREENING
IGS	15	ILEX GLABRA 'SHAMROCK'	SHAMROCK HANDBERRY HOLLY	18" HT.,SPRD.	CONTAINER	PERIMETER LANDSCAPE
IVN	19	ILEX VOMITORIA 'NANA'	DWARF YAUPOH HOLLY	18" HT.,SPRD.	CONTAINER	PERIMETER LANDSCAPE
LCD	29	LOROPETALUM CHINENSE 'DARUMA'	DARUMA DWARF LOROPETALUM	18" HT.,SPRD.	CONTAINER	PERIMETER LANDSCAPE
LCE	39	LOROPETALUM CHINENSE 'EMERALD SNOW'	EMERALD SNOW LOROPETALUM	18" HT.,SPRD.	CONTAINER	PERIMETER LANDSCAPE
MCD	11	MYRTICA CERBERA 'DON'S DWARF'	DON'S DWARF WAX MYRTLE	18" HT.,SPRD.	CONTAINER	PERIMETER LANDSCAPE
PLO	39	PRUNUS LAURO-CERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	18" HT.,SPRD.	CONTAINER	PERIMETER LANDSCAPE
VOS	39	VIBURNUM OBOVATUM 'MRS. SCHILLERS DELIGHT'	MRS. SCHILLERS DELIGHT WALTER S VIBURNUM	18" HT.,SPRD.	CONTAINER	PERIMETER LANDSCAPE

VEHICULAR PARKING LOT LANDSCAPING (000 - SECTION 1.1.1)

INTERIOR ISLANDS

- LANDSCAPED INTERIOR ISLAND REQUIRED EVERY 10 PARKING SPACES, 8 MIN. WIDTH 30' SP. MIN.
- EACH INTERIOR ISLAND MUST HAVE 1 SHADE TREE.
- ALL ISLANDS OF PARKING MUST TERMINATE AT A LANDSCAPED INTERIOR TERMINAL ISLAND. NO MORE THAN 30 PARKING SPACES ALLOWED BETWEEN TERMINAL ISLANDS.
- ISLAND ISLES NOT ALLOWED (WITHIN 30' FROM A TREE).

TREE COVERAGE:

- 1 TREE INTERIOR ISLAND
- 1 TREE 2,000 SF OF PARKING AREA (PERVIOUS)

PARKING AREA - 23,205 SF

18 TREES REQUIRED

18 TREES PROVIDED

PERIMETER ISLANDS

- LANDSCAPED PERIMETER ISLANDS REQUIRED ALONG PRIMARY INTERNAL ACCESS
- MINIMUM 5' MIN. HEIGHT
- LANDSCAPED WITH 30 SHRUBS / 100 LF

INTERNAL DRIVE PERIMETER - 637 LF

270 SHRUBS REQUIRED

270 SHRUBS PROVIDED

LANDSCAPING & SCREENING (000 - ARTICLE 1.2)

STREET TREES

1 TREE PER 50' AVERAGE

FRONTAGE - 179 LF - 40' DRIVEWAY

1 TREE REQUIRED / 1 SHADE TREE PROVIDED

SCREENING (000 - SECTION 1.2.1)

SCREENING AREAS

- LOADING AREAS, TRASH AREAS, AND SERVICE AREAS MUST BE SCREENED WITH WALL ON THREE SIDES & SOLID GATE (8' MIN. HEIGHT).
- MECHANICAL & HVAC EQUIPMENT
- GROUND MOUNTED EQUIPMENT SCREENING SHALL BE AS HIGH AS THE HIGHEST POINT OF THE EQUIPMENT BEING SCREENED. BY LANDSCAPING OR DRAPAGE SCREENS.

20 SHRUBS PROVIDED

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 5401 FAYETTEVILLE RD., SUITE 100, RALEIGH, NC 27607
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REVISION DESCRIPTION	DATE
REVISIONS PER CITY OF RALEIGH ASL COMMENTS	05/27/2021
REVISIONS PER CITY OF RALEIGH ASL COMMENTS	05/27/2021

YOUR VISION ACHIEVED THROUGH OURS.

DATE	03/12/2021
DRAWN BY	M. ALDERMAN
DESIGNED BY	M. ALDERMAN
CHECKED BY	J. BLASCO
SCALE	AS SHOWN

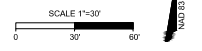
TIMMONS GROUP

PRO 3:5 SPORTS ACADEMY
 NORTH CAROLINA LICENSE NO. C-1652
 CITY OF RALEIGH - WAKE COUNTY - NORTH CAROLINA

PLANTING PLAN

JOB NO.	43603
SHEET NO.	L2.0

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1:33:20 PM 5/27/2021 P:\3:5 Sports Academy\PRO3:5\2021\2021-2022\2021-2022.dwg | Plotted on 05/20/2021 3:51 AM by Robert Wright
 R & R DESIGN & WESTWATER, LLC
 BOOK OF MAPS 2020, PAGE 870
 BARNHILL PROPERTIES LLC
 BOOK OF MAPS 2020, PAGE 870
 PRIMARY TREE CONSERVATION AREA 5
 BOOK OF MAPS 2011, PAGE 78
 STORAGE YARD
 BOOK OF MAPS 2020, PAGE 870
 ROUND ROCK PARK
 BOOK OF MAPS 2020, PAGE 1096
 ROUND ROCK PARK 2
 BOOK OF MAPS 2020, PAGE 1096
 PUBLIC R.O.W.
 ROUND ROCK PARK 3
 BOOK OF MAPS 2020, PAGE 1096
 NORTHERN WAKE EXPRESSWAY (I-540)
 PROJECT # 8-0007-17- DEED BOOK 8118, PAGE 431-432
 PG 428- DEED BOOK 8118, PAGE 431

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COLUMN - 1

COLUMN - 2

COLUMN - 3

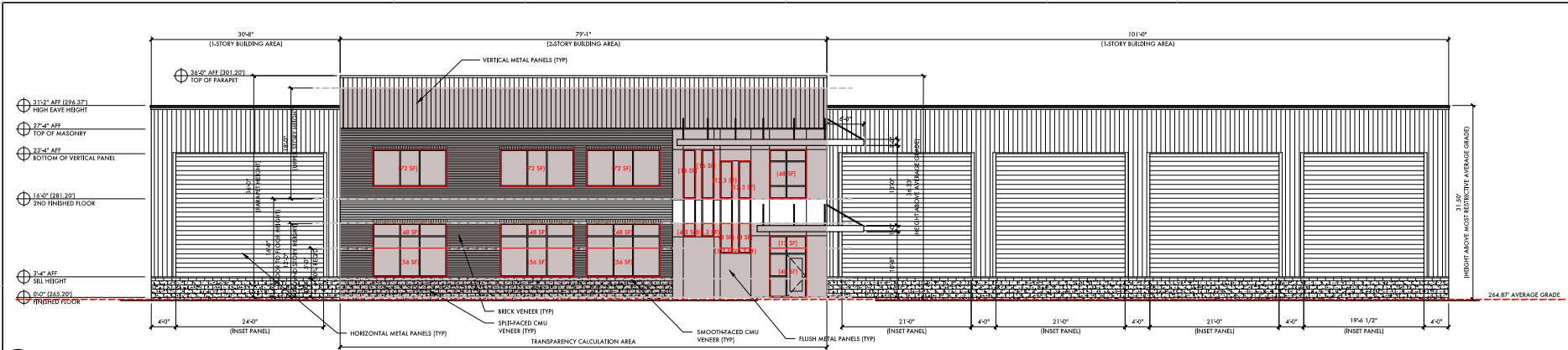
COLUMN - 4

"A" - BLOCK

"B" - BLOCK

"C" - BLOCK

"D" - BLOCK



B1 WEST EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

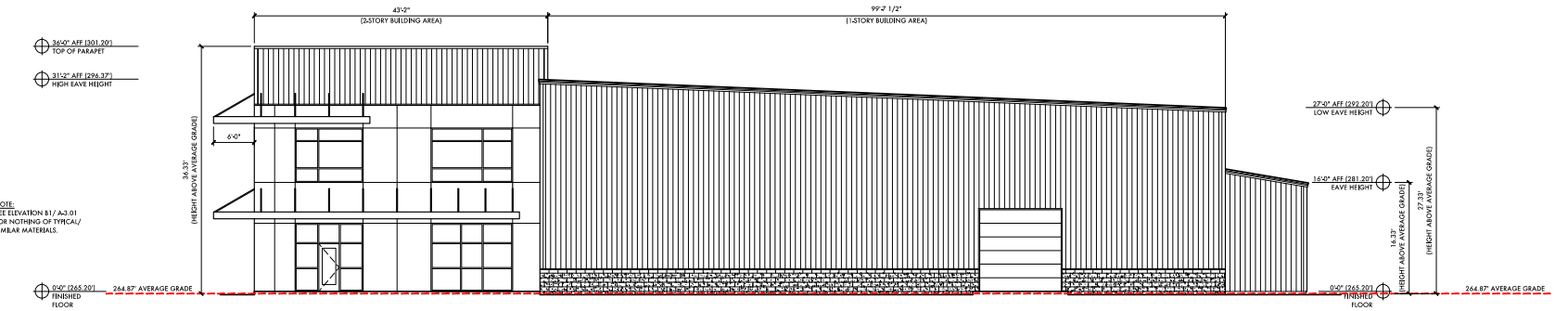
NOTE:
 SEE "BOARD OF ADJUSTMENT" CASE FILE: BOA-0034-2021
 WEST ELEVATION. VARIANCE TO THE MINIMUM TRANSPARENCY REQUIREMENTS AS INDICATED BY CHART AND AS SET FORTH IN UDO SECTIONS 1.5.9.B1, 3.2.3.F.1 AND 3.2.3.F.2.
 ALL ELEVATIONS, COMPLETE RELIEF FROM THE BLANK WALL AREA REQUIREMENTS SET FORTH IN UDO SECTIONS 1.5.10 AND 3.2.3.F.3.

TRANSPARENCY REQUIREMENTS (WEST FACADE)						
GROUND STORY	WALL AREA (SF)	GLAZED AREA REQ'D. (SF)	REQ'D. (%)	GLAZED AREA ACTUAL (SF)	ACTUAL (%)	NOTES
0 - 12 FEET	2,529.00 SF	379.35 SF	15%*	400.00	15.82%	-
3 - 8 FEET	-	209.91	8.3%*	219.40	8.66%	-
UPPER STORY	3,420.44 SF	307.84 SF	9%*	320.60	9.37%	-
	-	-	-	-	-	-

*REQ'D. PERCENTAGES PER "BOARD OF ADJUSTMENT" CASE FILE: BOA-0034-2021

AVERAGE GRADE CALCULATION FOR BUILDING HEIGHT
 PER UDO SEC. 1.5.7.A.(TC-4-20)

ELEVATIONS	POST-DEVELOPMENT GRADES (FEET) (FG)		
	HIGH (HP)	LOW (LP)	AVERAGE
PRIMARY STREET (ROUNDROCK DR.)	265.20	264.53	264.87
AVERAGE GRADE			264.87



D1 SOUTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

COLUMN - 1

COLUMN - 2

COLUMN - 3

COLUMN - 4



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Client Name:

Project Name:

Client & Site Description:

PRO 3:5 SPORTS ACADEMY

18494g, North Carolina

EXTERIOR ELEVATIONS

Project No: 20042

Sheet No: B

Scale: A-3.01

COLUMN - 1

COLUMN - 2

COLUMN - 3

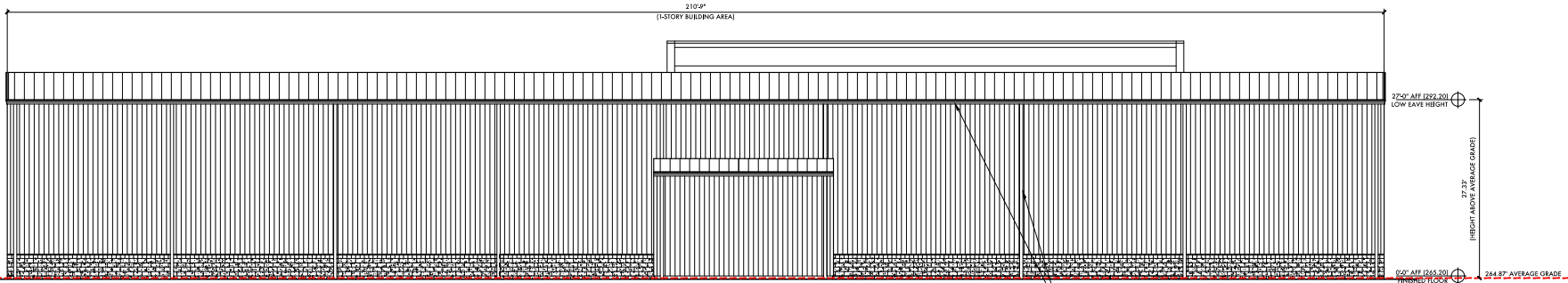
COLUMN - 4

"A" - BLOCK

"B" - BLOCK

"C" - BLOCK

"D" - BLOCK



B1 EAST EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

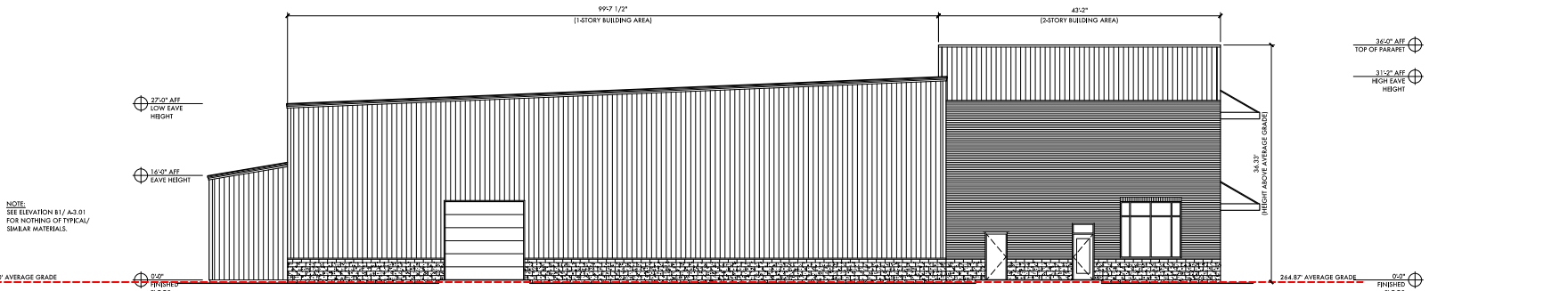
NOTE:
SEE ELEVATION B1 / A-3.01
FOR NOTING OF TYPICAL/
SIMILAR MATERIALS.

NOTE:
PER BOARD OF ADJUSTMENT CASE #E. 80A003a2021
EAST ELEVATION, COMPLETE RELIEF FROM MINIMUM TRANSPARENCY REQUIREMENTS
SET FORTH IN UDO SECTIONS 1.5.F.8 AND 3.2.5.F.
ALL ELEVATIONS, COMPLETE RELIEF FROM THE BLANK WALL AREA REQUIREMENTS SET
FORTH IN UDO SECTIONS 1.5.10 AND 3.2.5.F.3.

AVERAGE GRADE CALCULATION FOR BUILDING HEIGHT

PER UDO SEC. 1.5.7.A.(1C-4.20)

ELEVATIONS	POST-DEVELOPMENT GRADES (FEET) (FG)		
	HIGH (HP)	LOW (LP)	AVERAGE
PRIMARY STREET (ROUNDROCK DR.)	265.20	264.53	264.87
AVERAGE GRADE			264.87



D1 NORTH EXTERIOR ELEVATION
SCALE: 1/8"=1'-0"

NOTE:
SEE ELEVATION B1 / A-3.01
FOR NOTING OF TYPICAL/
SIMILAR MATERIALS.



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Drawn by: [Name]
Checked by: [Name]

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PROJ: PRO 3-5
SPORTS ACADEMY
3204 Heritage Trade Drive
Wade Forest, North Carolina

EXTERIOR ELEVATIONS

PROJECT: 20042

DATE: A-3.02