



Administrative Approval Action

Case File / Name: ASR-0021-2023
DSLCL - 5404 Oak Forest Vehicle Service

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 1.00 acre parcel is located at 5404 Oak Forest Drive, north of Spring Forest Road, south of Sumner Boulevard, east of Capital Boulevard, and west of Triangle Ridge Road. It is zoned IX-3-PK and located in a frequent transit area.

REQUEST: The plan proposes developing this vacant site with a 10,000 square foot general building to be used for vehicle service and repair (major). Parking, outdoor amenity and other site improvements are proposed.

BOA-0073-2021

An approved variance to develop without a required 50-foot landscaped buffer or having to comply with the Parkway (-PK) Frontage building and parking setbacks, consistent with other development on Oak Forest Drive.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 25, 2024 by FLM Engineering.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Prior to SPR approval, permit(s) for retaining wall(s) shall be issued.
2. Provide the deed or map reference verifying the cross access easement between this lot and the adjacent lot to the west, PIN 1726580750, to be used for a driveway connection to Oak Forest Drive. The legal reference to the easement must be shown on the updated site plan.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:



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Engineering

1. A fee-in-lieu for streetscape along property frontage per UDO 8.5.5.A - Avenue 2 Lane Undivided - shall be paid to the City of Raleigh (UDO 8.1.10).

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

5. A public infrastructure surety for 4 street trees along Oak Forest Drive shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Oak Forest Dr.

The following are required prior to issuance of building occupancy permit:

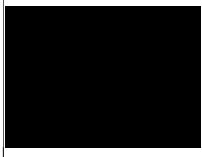
General

1. Final inspection of all right of way street trees by Urban Forestry Staff.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant



REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	COR COMMENTS	8/21/2023	FLM
2	COR COMMENTS	4/2/2024	FLM
3	COR COMMENTS	6/29/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS
DO NOT USE FOR CONSTRUCTION

SCALE ADJUSTMENT

THIS SHEET IS INTENDING LENGTH ON ORIGINAL DRAWING

IF IT IS NOT 1" HIGH ON THIS SHEET, ADJUST YOUR SCALE ACCORDINGLY

ASR PLANS
ASR-0021-2023
OAK FOREST VEHICLE SERVICE
5404 OAK FOREST DR
RALEIGH, NC

NOURCO LLC

DATE: 02-26-2023

SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	21033

COVER

ADMINISTRATIVE SITE REVIEW PLANS FOR OAK FOREST VEHICLE SERVICE

ASR-0021-2023

5404 OAK FOREST DR
RALEIGH, NC 27616
PIN: 1726-58-2606

OWNER/DEVELOPER:

NOURCO, LLC
CONTACT: ED HAWARIN
4937 DELTA LAKE DR
RALEIGH, NC 27612
MHAWARIN@GMAIL.COM

ENGINEER OF RECORD:

FLM ENGINEERING, INC
CONTACT: JON FRAZIER, PE
PO BOX 91727
RALEIGH, NC 27675
919.610.1051
JFRAZIER@FLMENGINEERING.COM

NOTES

- DUE TO THE SIZE OF THE PARCEL (1.00 ACRE), THE SITE IS EXEMPT FROM TREE CONSERVATION AREAS (TCAs) PER CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) SECTION 9.1.2.
- SOLID WASTE INSPECTIONS STATEMENT: THE DEVELOPER HAS REVIEWED AND IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL. A PRIVATE HAULER WILL HANDLE TRASH NEEDS THROUGH USE OF PROPOSED DUMPSTER.
- THE SITE IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS BECAUSE IT IS ZONED IX- AND IS LESS THAN 9 ACRES PER 8.3.2.A.2.b.

SHEET

TITLE

- | | |
|-----|---------------------------------------|
| C-1 | COVER |
| C-2 | EXISTING CONDITIONS & DEMOLITION PLAN |
| C-3 | SITE PLAN |
| C-4 | UTILITY PLAN |
| C-5 | GRADING & DRAINAGE PLAN |
| C-6 | STORMWATER CONTROL MEASURE DESIGN |
| C-7 | LANDSCAPING PLAN |
| C-8 | LIGHTING PLAN |
| A2 | PROPOSED MAIN FLOOR PLAN |
| A4 | PROPOSED ELEVATIONS |



Administrative Site Review Application Form with various sections: DEVELOPMENT TYPE, SITE DATA, GENERAL INFORMATION, DEVELOPER'S CERTIFICATION, and SIGNATURE BLOCK.

GF1 logo and text block containing regulatory references and project details.

- NOTES**
- BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY CAWTHORNE, MOSS & PANCIERA, PC.
 - PER FEMA FIRM PANEL NO. 3720171300L, THE PROPERTY DOES NOT CONTAIN ANY FLOOD PRONE AREAS, NOR DOES THE PROPERTY APPEAR TO CONTAIN ANY FLOOD PRONE SOILS PER WAKE COUNTY MAPS.
 - THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
 - THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
 - THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
 - THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

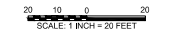
- LEGEND**
- EX. PROPERTY LINE
 - - - EX. ADJACENT OWNERS
 - - - EX. RIGHT-OF-WAY
 - - - EX. EASEMENT
 - - - EX. ROAD CENTERLINE
 - - - EX. CHAIN LINK FENCE
 - E - E - EX. ELECTRIC LINE
 - W - W - EX. WATER LINE
 - SS - SS - EX. SANITARY SEWER
 - -300 - - EX. MAJOR CONTOUR (5')
 - - - - - EX. MINOR CONTOUR (1')

REVISION HISTORY

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1	COR COMMENTS	8/21/2023	FLM
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ASR PLANS
ASR-0021-2023
OAK FOREST VEHICLE SERVICE
5404 OAK FOREST DR
RALEIGH, NC

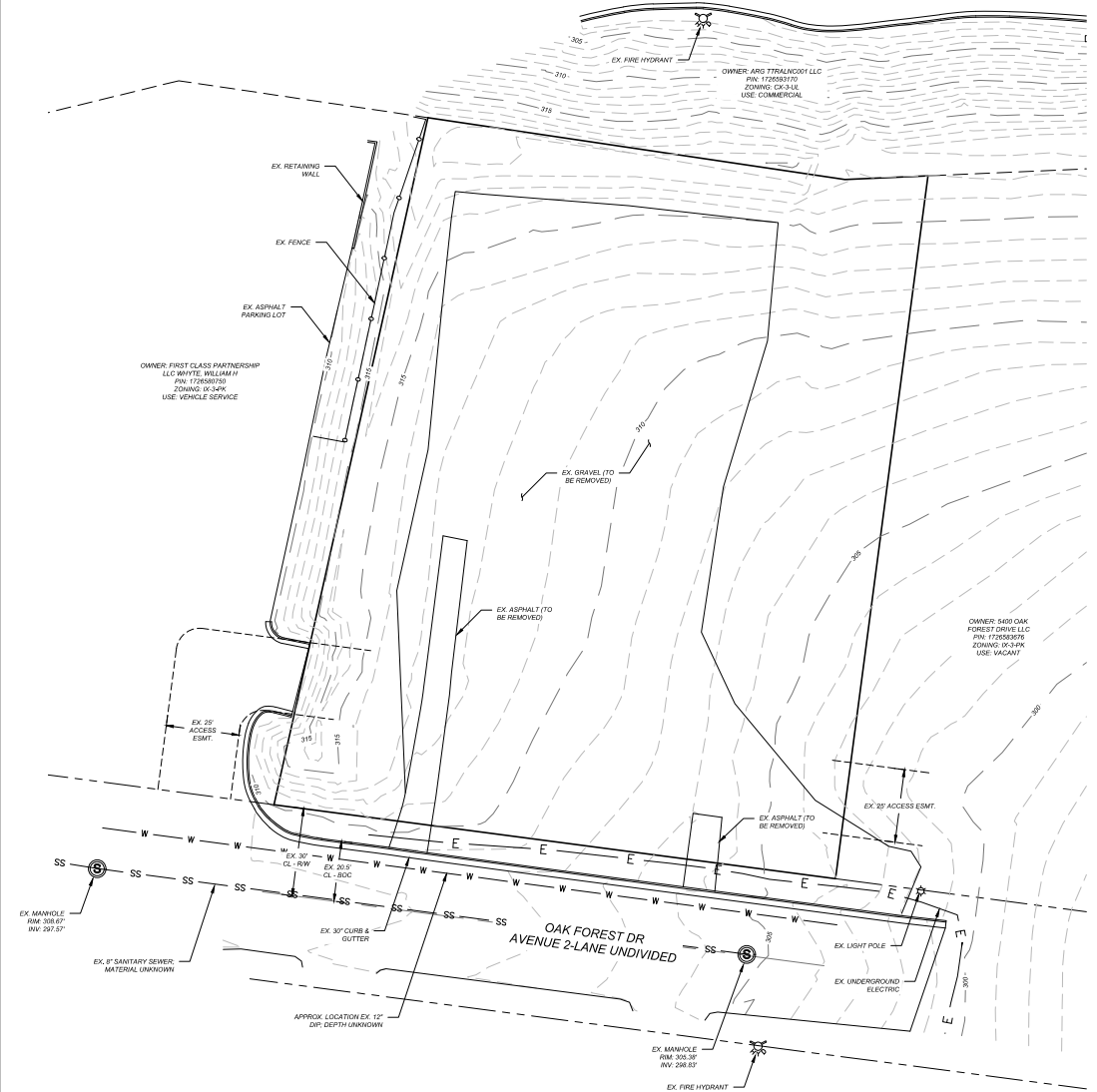
NOURCO LLC

DATE:	02-28-2023
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	21033

EXISTING CONDITIONS & DEMOLITION PLAN

C-2

SHEET 2 OF 10



© 2024 THE DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION OF FLM ENGINEERING, INC.

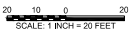


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ASR PLANS
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SITE PLAN

C-3
SHEET 3 OF 10

NOTES

- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 4' UNLESS OTHERWISE NOTED.
- WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERRIS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBSING EXISTS.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.
- RETAINING WALLS LESS THAN FIVE (5) FEET IN HEIGHT SHALL OBTAIN A ZONING PERMIT. RETAINING WALLS GREATER THAN FIVE (5) FEET IN HEIGHT SHALL OBTAIN A BUILDING PERMIT.

VEHICLE REPAIR (MAJOR) USE STANDARDS (UDO 6.5.6.D.2)

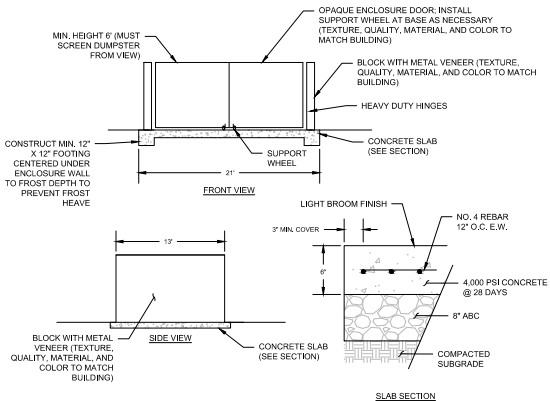
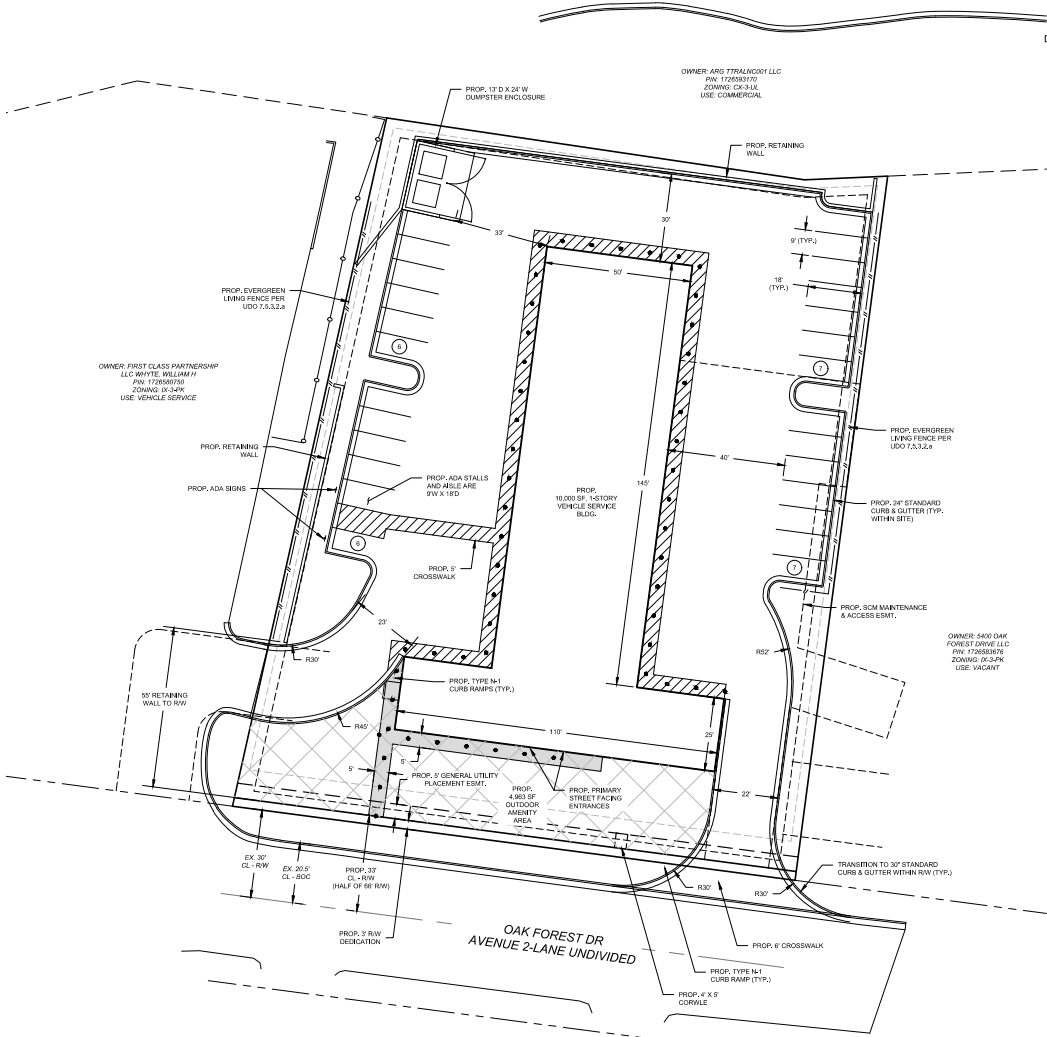
- THE OUTDOOR OVERNIGHT STORAGE OF VEHICLES AWAITING REPAIR MAY BE PERMITTED IN ACCORDANCE WITH ARTICLE 7.5, OUTDOOR DISPLAY AND STORAGE, OPERABLE VEHICLES MAY BE PARKED ON-SITE DURING BUSINESS HOURS.
- THERE SHALL BE NO DISMANTLING OF VEHICLES FOR SALVAGE.
- THE STORAGE OF IMPOUNDED VEHICLES IS NOT PERMITTED.
- NO OUTSIDE SPEAKER SYSTEM IS PERMITTED.

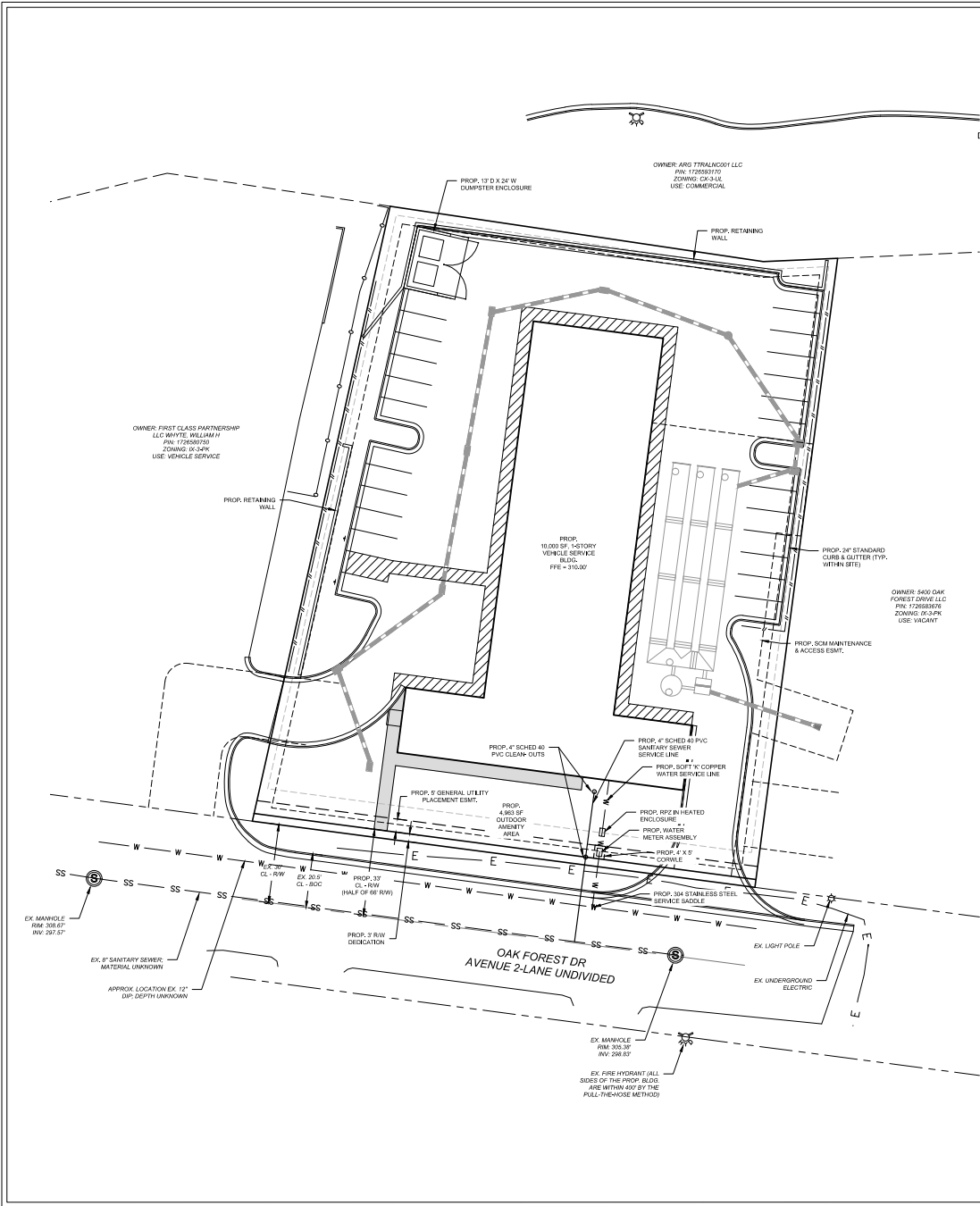
SUMMARY INFORMATION

DEVELOPMENT NAME: OAK FOREST VEHICLE SERVICE
 SITE ADDRESS: 5404 OAK FOREST DR, RALEIGH, NC
 PIN NUMBER: 1726-58-2600
 TOTAL AREA: 1.00 AC / 43,581 SF
 RW DEDICATION AREA: 0.01 AC / 580 SF
 NET AREA: 0.99 AC / 43,001 SF
 EXISTING USE: VACANT
 PROPOSED USE: VEHICLE SERVICE - VEHICLE REPAIR (MAJOR)
 JURISDICTION: CITY OF RALEIGH
 CURRENT ZONING DISTRICT: IX-3-PK
 PROPOSED GROSS BUILDING AREA: 10,000 SF
 HEIGHT:
 REQUIRED PRINCIPAL BUILDING HEIGHT (MAX): 3 STORIES
 PROPOSED PRINCIPAL BUILDING HEIGHT: 1 STORY
 SETBACKS:
 PRIMARY STREET: 3' (BLDG), 10' (PARKING)
 SIDE STREET: 3' (BLDG), 10' (PARKING)
 SIDE: 6' (BLDG), 3' (PARKING)
 REAR: 6' (BLDG), 3' (PARKING)
 PARKING CALCULATIONS:
 REQUIRED PARKING (MAX): NO MAX.
 PROPOSED PARKING: 26 SPACES (2 ADA)
 REQUIRED BICYCLE PARKING (MIN): NONE
 PROPOSED BICYCLE PARKING: NONE
 PRIMARY STREET(S): OAK FOREST DR
 BLOCK PERIMETER: N/A (THE SITE IS LESS THAN THE MIN. APPLICABLE SITE AREA OF 9 ACRES PER UDO SECTION 8.3.2.A.2.b)
 REQUIRED OUTDOOR AMENITY AREA: 0.10 AC / 4,300 SF (10%)
 PROPOSED OUTDOOR AMENITY AREA: 0.11 AC / 4,983 SF (11.4%)
 EXISTING IMPERVIOUS SURFACE AREA: 0.58 AC / 25,102 SF (59%)
 PROPOSED ON-SITE IMPERVIOUS SURFACE AREA: 0.77 AC / 33,474 SF (78%)
 PROPOSED OFF-SITE IMPERVIOUS SURFACE AREA (NOT SHOWN): 0.04 AC / 1,532 SF
 TOTAL PROPOSED IMPERVIOUS SURFACE AREA: 0.81 AC, 35,006 SF
 WATERSHED: LOWER NEUSE RIVER

LEGEND

- EX. PROPERTY LINE
- EX. ADJACENT OWNERS
- EX. RIGHT-OF-WAY
- EX. EASEMENT
- EX. ROAD CENTERLINE
- EX. CHAIN LINK FENCE
- PROP. PROPERTY LINE
- PROP. BLDG. SETBACK LINE
- PROP. PARKING SETBACK LINE
- PROP. GENERAL UTILITY PLACEMENT ESMT.
- PROP. SCM ACCESS & MAINTENANCE ESMT.
- PROP. EVERGREEN LIVING FENCE
- PROP. ACCESSIBLE ROUTE TO R/W
- PROP. AMENITY AREA





NOTES

1. ALL WATER AND SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
2. OTHER UTILITIES, SUCH AS NATURAL GAS AND POWER, ARE NOT SHOWN ON THIS PLAN AND ARE BY OTHERS.
3. THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT DISTRICT.
4. THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
5. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
6. THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

CITY OF RALEIGH STANDARD UTILITY NOTES (AS APPLICABLE)

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - A) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR UNLESS AS SPECIFIED BY THE CITY OF RALEIGH STANDARDS. LATERAL SEPARATION CANNOT BE ACHIEVED PERIODIC SANITARY SEWER PIPS SHALL BE SPECIFIED AND INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 2' FROM A PRIVATE WELL OR EXISTING WATER MAIN.
 - B) WHEN INSTALLING WATER BORN SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE DEVIATION ALLOWED BY THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 1' ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM THE CENTER TO CENTER DIAMETER.
 - C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PIPES OVERS A WATERMAIN, OF MATERIALS OR STEEL ENCAGEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D) 52" MINIMUM HORIZONTAL SEPARATIONS ARE REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DR MATERIALS SPECIFIED FOR SANITARY SEWER.
 - E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DR MATERIALS & A CONCRETE CHOLE (HAVING 8" MIN. CLEARANCE OVER CORPUD DETALS W-41 & S-45).
 - F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN APPOINTED PLAN ROOM PERSONNEL BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. 3/2" MINIMUM COVERS ARE REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS.
7. 5/2" MINIMUM COVERS ARE REQUIRED ON ALL REUSE MAINS.
7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PRIOR TO CORPUD PROCEDURE.
8. INSTALL 4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' UTILITY EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE ALL THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
9. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 60 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES SERVING BUILDING LOWER THAN 12' ABOVE THE NEXT UPSTREAM MANHOLE.
11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDCR, USACE & OR FEMA FOR ANY WETLANDS, BUFFER, WETLAND & OR FLOODPLAIN IMPACTS RESPECTIVELY PRIOR TO CONSTRUCTION.
12. NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERTLEY AT (919) 996-2324 OR STEPHEN.CALVERTLEY@RAL.EGNC.GOV FOR MORE INFORMATION.
14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS, THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCK CROSS-CONNECTION CONTROL PROGRAM. WHOEVER IS MORE STRINGENT, A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE FROM THE ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-8023 OR JOANIE.HARTLEY@RAL.EGNC.GOV FOR MORE INFORMATION.



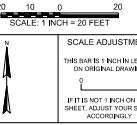
POST OFFICE BOX 91727
 RALEIGH, NORTH CAROLINA 27675
 PHONE: 919.510.1051
 FIRM NO. LICENSE NUMBER C-4222

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- EX. EASEMENT
- EX. ROAD CENTERLINE
- EX. CHAIN LINK FENCE
- EX. ELECTRIC LINE
- EX. WATER LINE
- SS EX. SANITARY SEWER
- PROP. PROPERTY LINE
- PROP. BLDG. SETBACK LINE
- PROP. PARKING SETBACK LINE
- PROP. GENERAL UTILITY PLACEMENT ESMT.
- PROP. SCM ACCESS & MAINTENANCE ESMT.
- PROP. EVERGREEN LIVING FENCE
- W PROP. WATER LINE
- SS PROP. SANITARY SEWER
- SS PROP. STORM SEWER

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UTILITY PLAN

C-4
 SHEET 4 OF 10



POST OFFICE BOX 91727
RALEIGH, NORTH CAROLINA 27675
PHONE: 919.510.1051
FIRM NC LICENSE NUMBER C-222

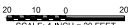


REVISION HISTORY

REV #	DESCRIPTION	DATE	BY
1	COR COMMENTS	8/21/2023	FLM
2	COR COMMENTS	4/2/2024	FLM
3	COR COMMENTS	6/25/2024	FLM

ORIGINAL PLAN SIZE: 24" X 36"

PRELIMINARY PLANS
DO NOT USE FOR CONSTRUCTION



SCALE ADJUSTMENT
THIS BAR IS 1" IN LENGTH
ON ORIGINAL DRAWING
IF IT IS NOT 1" HIGH ON THIS
SHEET, ADJUST YOUR SCALE
ACCORDINGLY.

ASR PLANS
ASR-0021-2023
OAK FOREST VEHICLE SERVICE
5404 OAK FOREST DR
RALEIGH, NC

NOURCO LLC

DATE:	02-28-2023
SCALE:	AS SHOWN
DESIGNED BY:	FLM
APPROVED BY:	FLM
PROJECT NO.:	21033

GRADING & DRAINAGE PLAN

C-5

SHEET 5 OF 10

**BUILDING HEIGHT
AVERAGE GRADE CALCULATIONS**

PER 1.5.7.A.2.a., SINGLE BUILDING HEIGHT METHOD, AVERAGE GRADE SHALL BE CONSIDERED TO BE AVERAGE POST-DEVELOPMENT GRADE ABOVE SEA LEVEL ALONG THE BUILDING ELEVATION MOST PARALLEL AND CLOSEST TO THE PRIMARY STREET SETBACK.

THE POST-DEVELOPMENT GRADES ALONG THE BUILDING ELEVATION PARALLEL AND CLOSEST TO THE OAK FOREST DRIVE PRIMARY STREET ARE THE FINISHED FLOOR ELEVATION OF 310.00'. THEREFORE, THE AVERAGE GRADE IS 310.00'.

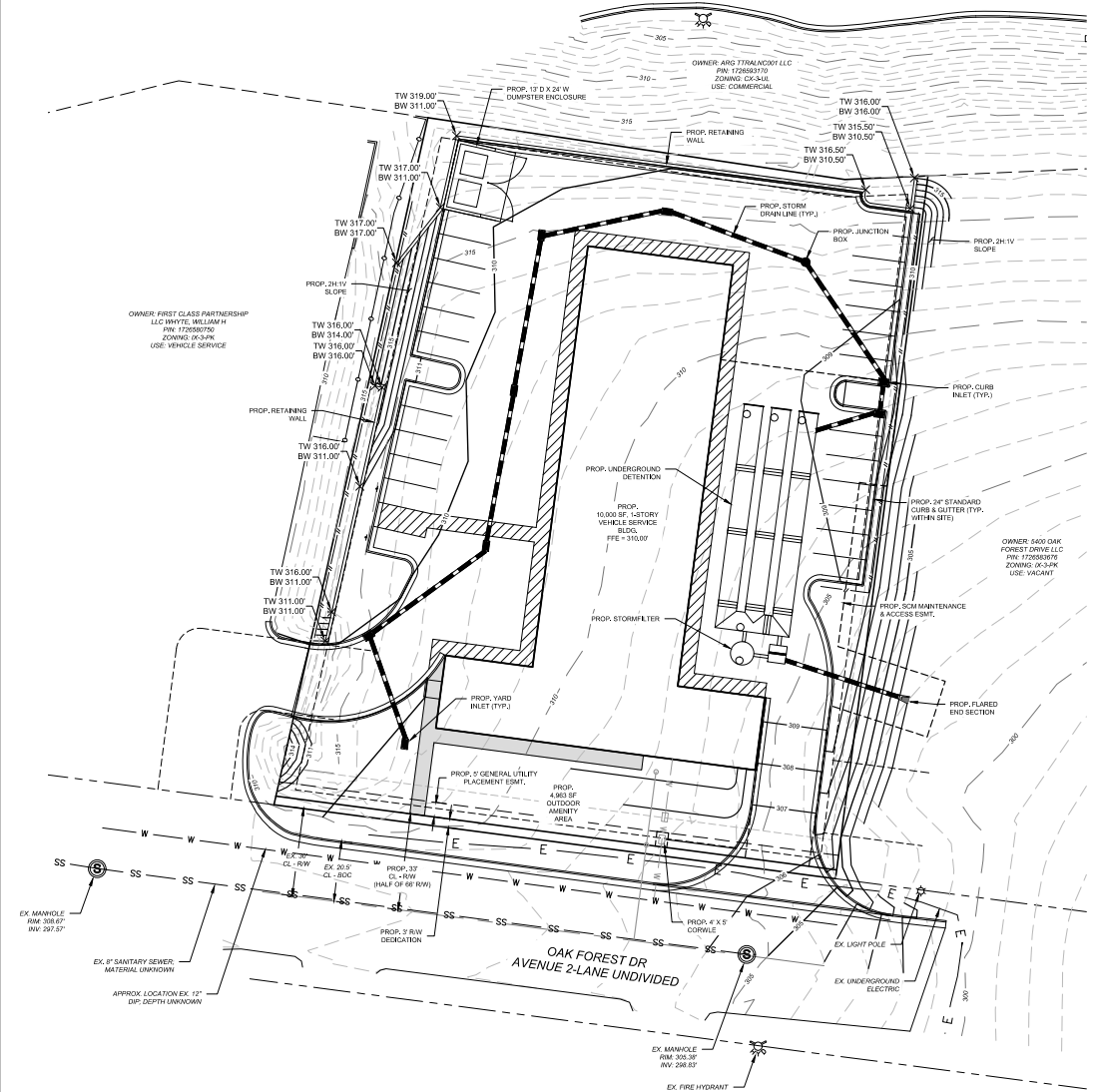
THE ELEVATION OF THE ROOF RIDGE OF THE BUILDING IS 327.0' FOR A BUILDING HEIGHT OF 327.0' - 310.0' = 17.0'

NOTES

- GRADES SHOWN REPRESENT FINISHED GRADE ELEVATIONS.
- CUT AND FILL SLOPES ARE 3H:1V UNLESS OTHERWISE NOTED.
- ALL ADA STALLS AND ACCESSIBLE AISLES SHALL HAVE MAXIMUM 2% SLOPES IN ALL DIRECTIONS.
- ALL ADA ACCESSIBLE ROUTES SHALL HAVE MAXIMUM 5% RUNNING SLOPE AND MAXIMUM 2% CROSS SLOPE.
- THE UTILITIES SHOWN ARE NOT GUARANTEED TO BE A REPRESENTATION OF ALL UTILITIES WITHIN THE PROJECT EXTENT.
- THE CONTRACTOR SHALL CALL THE NORTH CAROLINA ONE-CALL-CENTER AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL USE CARE WHEN OPERATING AROUND EXISTING UTILITIES.
- THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE REPAIR OF ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

LEGEND

- EX. PROPERTY LINE
- EX. ADJACENT OWNERS
- EX. RIGHT-OF-WAY
- EX. EASEMENT
- EX. ROAD CENTERLINE
- EX. CHAIN LINK FENCE
- E --- E EX. ELECTRIC LINE
- W --- W EX. WATER LINE
- SS --- SS EX. SANITARY SEWER
- 300 --- EX. MAJOR CONTOUR (5')
- EX. MINOR CONTOUR (1')
- PROP. PROPERTY LINE
- PROP. BLDG. SETBACK LINE
- PROP. PARKING SETBACK LINE
- PROP. GENERAL UTILITY PLACEMENT ESMT.
- PROP. SCM ACCESS & MAINTENANCE ESMT.
- W --- W PROP. WATER LINE
- SS --- SS PROP. SANITARY SEWER
- PROP. STORM SEWER
- 300 --- PROP. MAJOR CONTOUR (5')
- PROP. MINOR CONTOUR (1')



© 2024 THE DRAWING SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION OF FLM ENGINEERING, INC.



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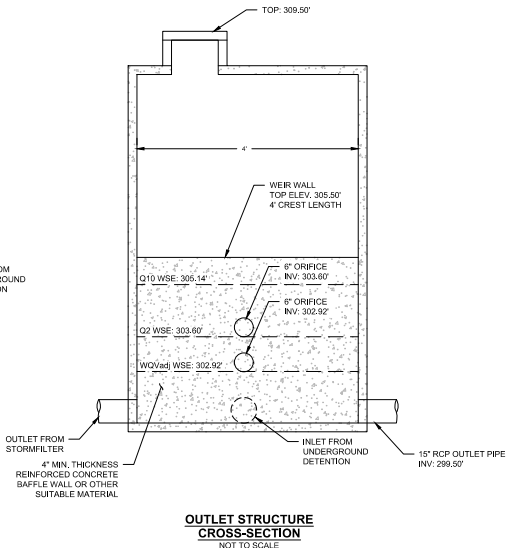
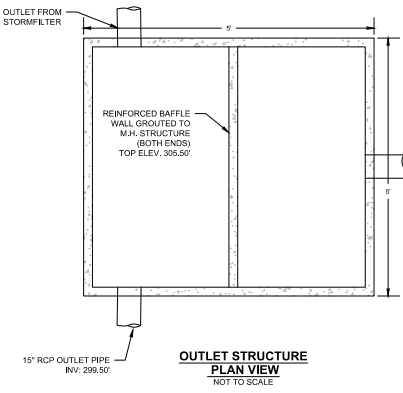
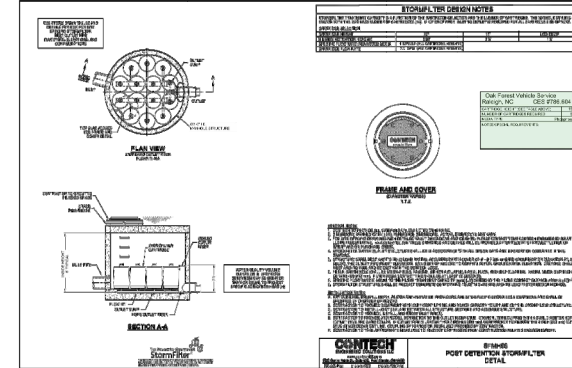
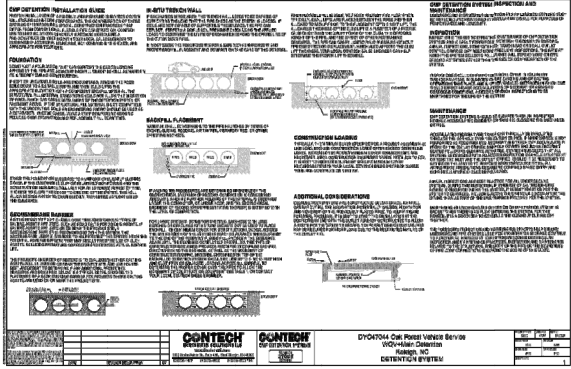
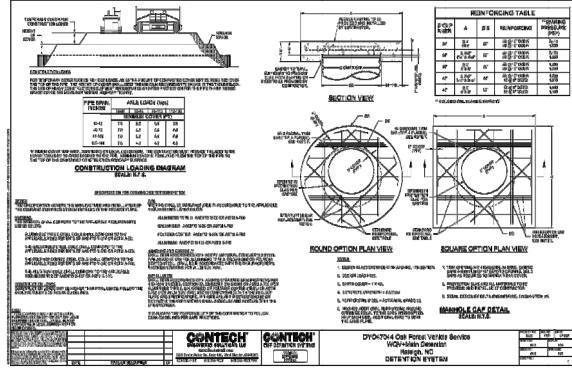
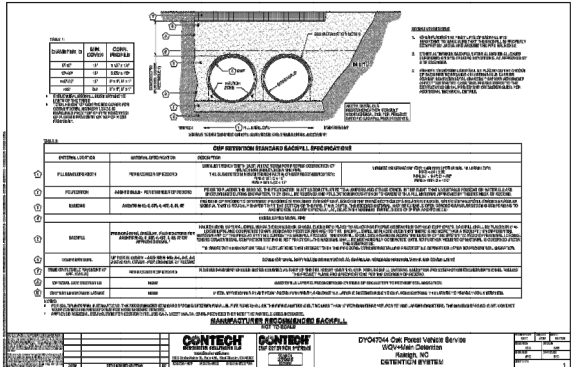
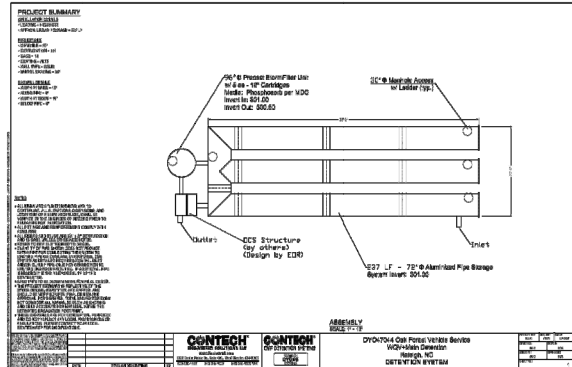
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5404 OAK FOREST DR
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STORMWATER MEASURE CONTROL

C-6
SHEET 6 OF 10



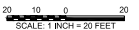


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LANDSCAPING PLAN

C-7
SHEET 7 OF 10

LANDSCAPING CALCULATIONS

VEHICLE PARKING LOT LANDSCAPING

REQUIREMENTS:

EACH INTERIOR ISLAND (AND TERMINAL INTERIOR ISLAND) MUST INCLUDE AT LEAST 1 SHADE TREE

IN NO CASE SHALL THERE BE LESS THAN 1 SHADE TREE FOR EVERY 2,000 SQ FT OF PARKING AREA

9,640 SQ FT / 2,000 SQ FT = 5 TREES

PROVIDED:

5 TREES (AT LEAST 1 SHADE TREE IN EACH INTERIOR ISLAND AND TERMINAL INTERIOR ISLAND)

STREET TREES

REQUIREMENTS:

PROVIDE STREET TREES AT 40 FEET ON CENTER

PROVIDED:

4 TREES AT 36 FEET ON CENTER

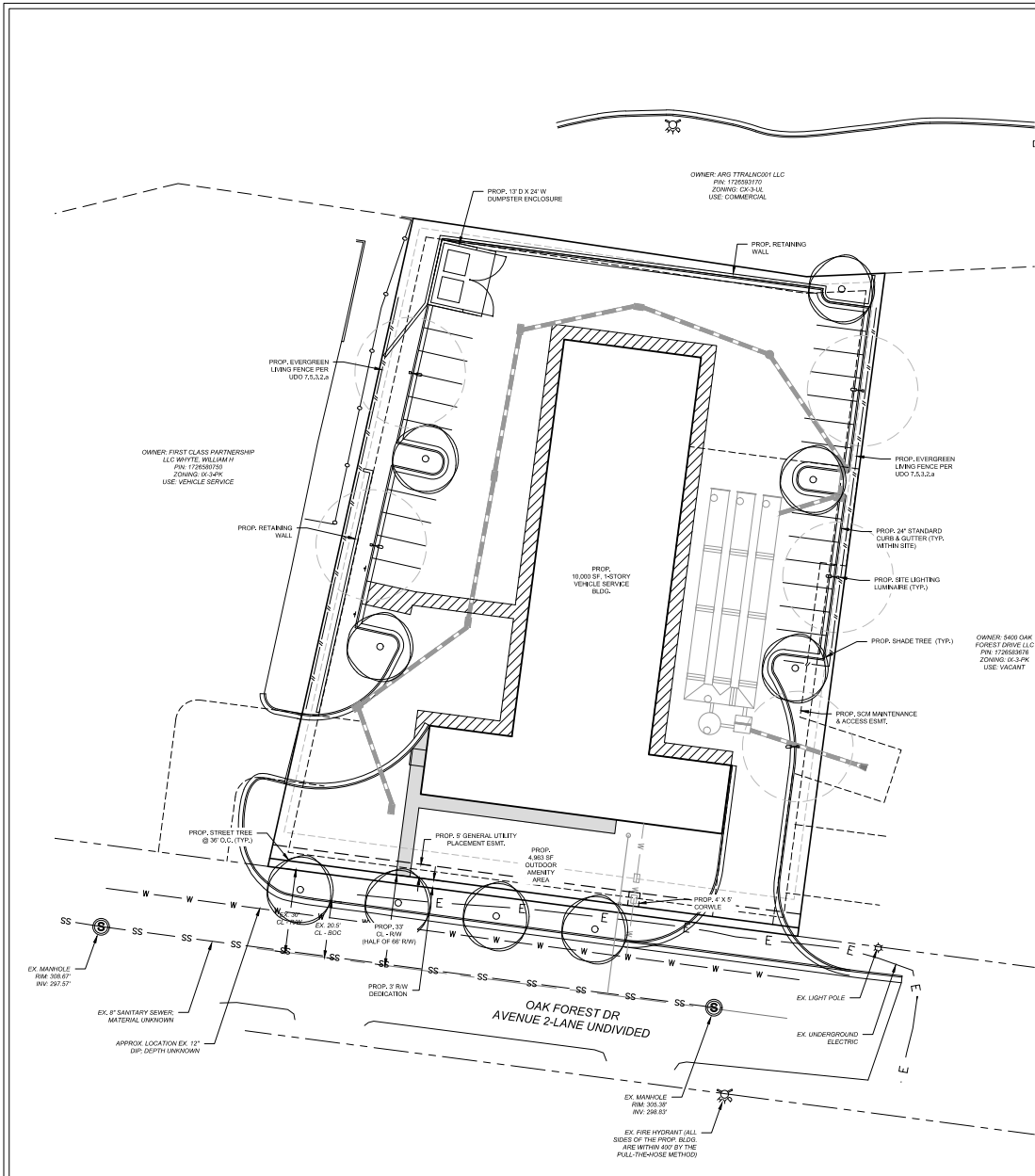
LEGEND

- EX. PROPERTY LINE
- - - EX. ADJACENT OWNERS
- - - EX. RIGHT-OF-WAY
- - - EX. EASEMENT
- - - EX. ROAD CENTERLINE
- EX. CHAIN LINK FENCE
- EX. ELECTRIC LINE
- W — EX. WATER LINE
- SS — EX. SANITARY SEWER
- - - PROP. PROPERTY LINE
- - - PROP. BLDG. SETBACK LINE
- - - PROP. PARKING SETBACK LINE
- - - PROP. GENERAL UTILITY PLACEMENT ESMT.
- - - PROP. SCM ACCESS & MAINTENANCE ESMT.
- - - PROP. EVERGREEN LIVING FENCE
- W — PROP. WATER LINE
- SS — PROP. SANITARY SEWER
- - - PROP. STORM SEWER



PROP. SHADE TREE (QA)

PROP. LIGHT POLE WITH 20' RADIUS



PLANT LIST							
KEY	SCIENTIFIC NAME	COMMON NAME	QUAN.	CAL.	INSTALL HT.	MATURE HT.	CROWN SPREAD
SHADE TREES							
QA	QUERCUS ALBA	WHITE OAK	9	3"	10'	50'-80'	50'-80'

LUMINAIRE SCHEDULE				
SYMBOL	DESCRIPTION	LAMP	HEIGHT (FT.)	QUANTITY
☐	DUKE ENERGY ROADWAY LED (150W)	(1) LED	25	5

*APPROVED EQUALS ACCEPTED
*HEIGHT IS FROM BOTTOM OF BASE TO TOP OF FIXTURE

NOTES

1. THE MINIMUM LIGHT LEVEL OF ANY FIXTURE CANNOT EXCEED 0.5 FOOT CANDLE MEASURED AT THE PROPERTY LINE OF ANY RESIDENTIAL DISTRICT AND 2.0 FOOT CANDLE MEASURED AT THE RIGHT-OF-WAY LINE OF A STREET.
2. LIGHTING MUST NOT BE ORIENTED SO AS TO DIRECT GLARE OR EXCESSIVE ILLUMINATION ONTO ADJACENT PROPERTIES, STREETS, OR SIDEWALKS.
3. SERVICE CONNECTIONS TO ALL FREESTANDING LIGHTING FIXTURES MUST BE INSTALLED UNDERGROUND.
4. THE INTENT OF THIS DRAWING IS TO SHOW FOOT CANDLE LEVELS BASED ON FIXTURES SHOWN. LIGHT LEVELS MAY VARY BASED ON ACTUAL FIXTURE INSTALLED.
5. THIS IS A SITE LIGHTING CALCULATION PLAN ONLY AND DOES NOT PROVIDE ELECTRICAL CONNECTIONS FOR FIXTURES SHOWN. SITE DEVELOPERS (OWNERS, BUILDERS, AND GENERAL CONTRACTORS) ARE RESPONSIBLE FOR COORDINATING WITH BUILDING ELECTRICAL CONTRACTOR OR POWER COMPANY FOR POWER CONNECTIONS FOR ALL FIXTURES.
6. BUILDING, WALL, AND OTHER LIGHTING SHALL BE BY OWNER.
7. ALL SITE LIGHTING SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF RALEIGH UDO.

LEGEND

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- SS — SS PROP. SANITARY SEWER
- - - PROP. STORM SEWER
- PROP. SHADE TREE (OA)
- PROP. LIGHT POLE WITH 20' RADIUS
- 1.0 PROP. FOOT CANDLES

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ASR PLANS
ASR-0021-2023

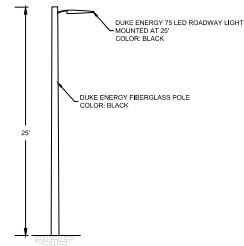
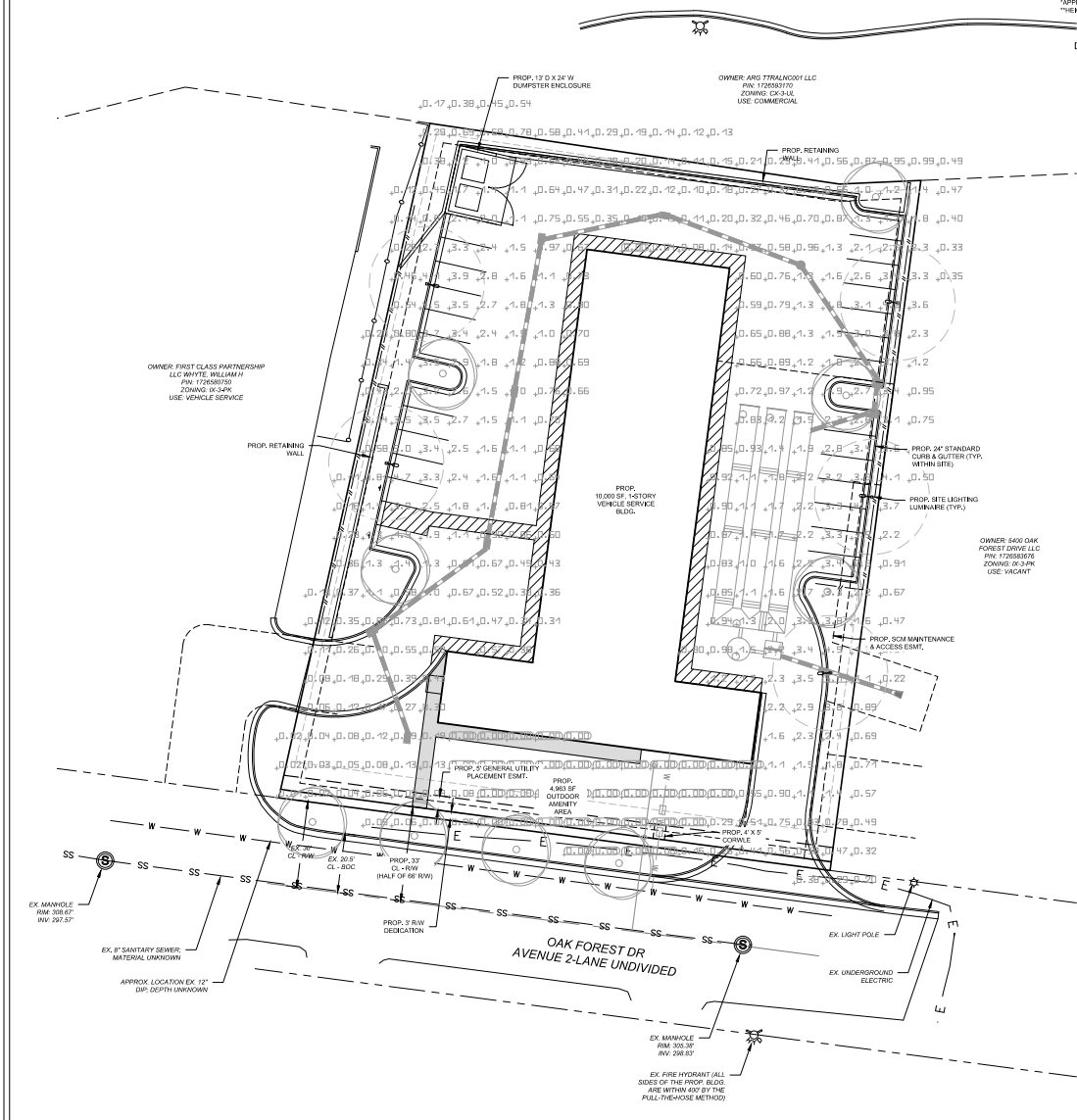
OAK FOREST VEHICLE SERVICE
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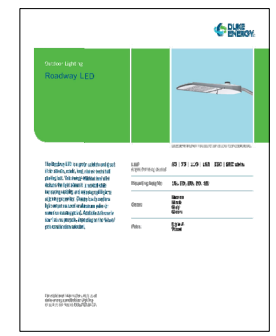
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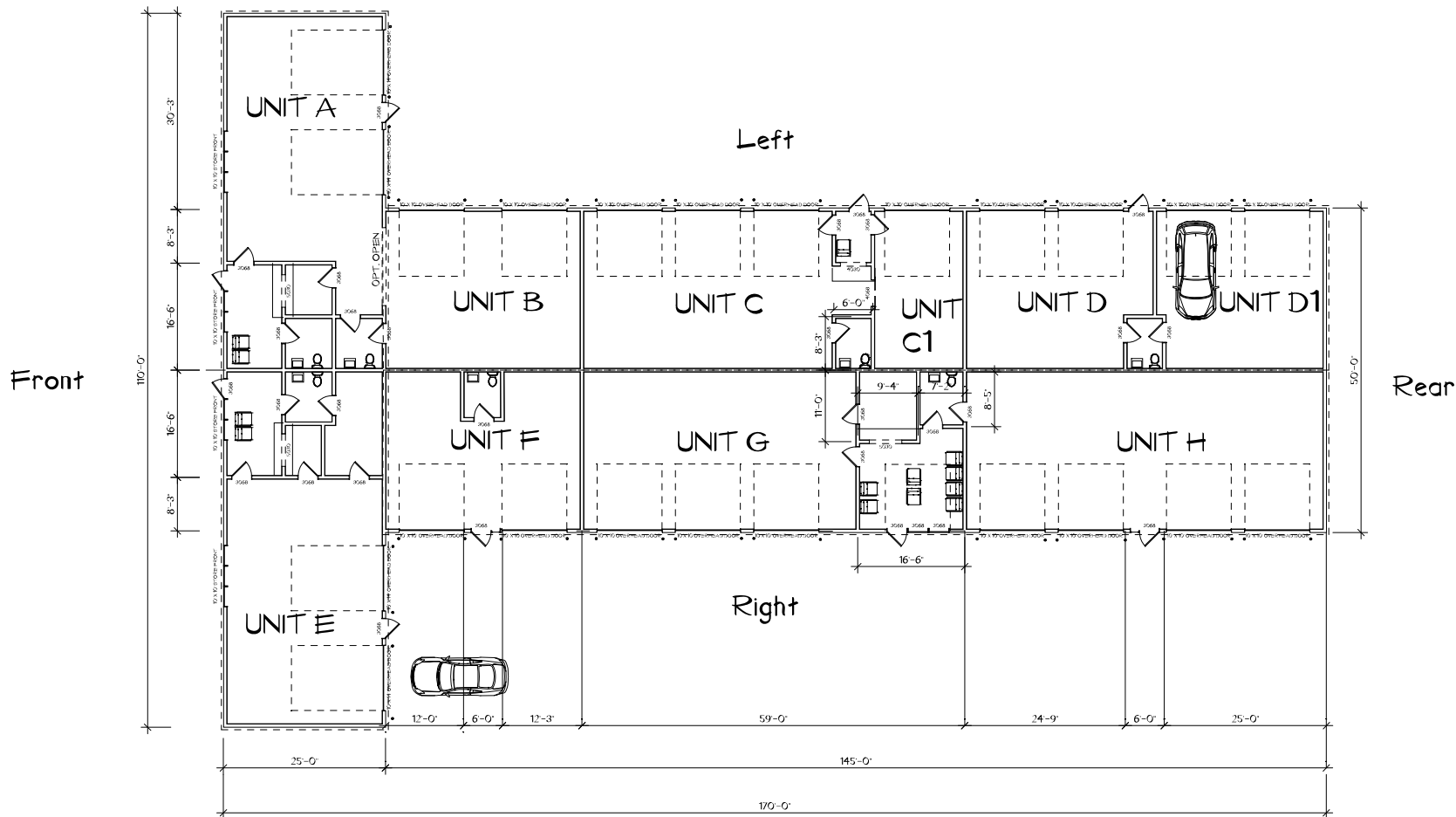
LIGHTING PLAN

C-8
SHEET 8 OF 10



SITE LIGHTING DETAIL
NO SCALE





5404 Oak Forest
Raleigh, NC 27616

PROPOSED MAIN FLOOR

Scale: 1/8" = 1' - 0"

GENERAL CONTRACTOR

No.	REVISION/ISSUE	DATE
	Conceptual Design	

FOR PRE-REVIEW USE ONLY
CONCEPTUAL DESIGN PLAN SET:

- C1 - COVER
- A1 - FOUNDATION
- A2 - MAIN FLOOR
- A3 - OPTIONS
- A4 - ELEVATIONS
- A5 - SECTIONS
- A6 - DETAILS

ALL DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE DESIGNER.

DESIGNER:

PROJECT NAME:

CLIENT:

DRAWING:

GENERAL INFO

SCALE: 1/4" = 1'-0" DATE:

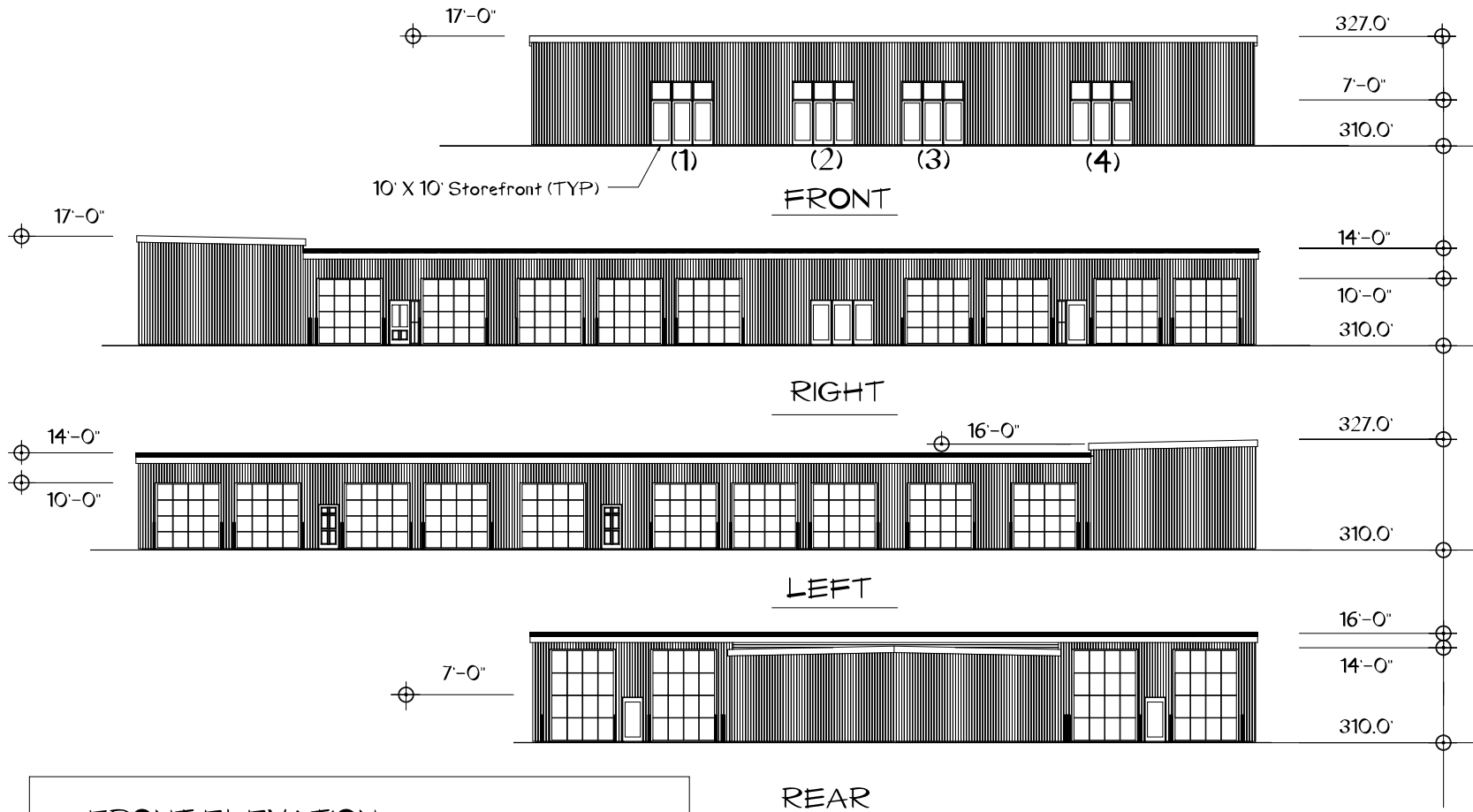
DRAWN BY:

SHEET:

CHECKED BY:

A2

APPROVED BY:



FRONT ELEVATION-
TRANSPARENCY CALCULATIONS
 Front Elevation-17' x 110' = 1870 SF
 1870 sf x 20% = 374sf minimum transparency
 10' x 10' Storefront = 100sf
 (4) Storefronts x 100sf = 400sf transparency

5404 Oak Forest
 Raleigh, NC 27616

PROPOSED ELEVATIONS

Scale: 1/8" = 1 - 0"

GENERAL CONTRACTOR

No.	REVISION/ISSUE	DATE
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DESIGNER:

PROJECT NAME:

CLIENT:

DRAWING: GENERAL INFO
 SCALE: 1/4" = 1'-0" DATE:

DRAWN BY: SHEET: **A4**
 CHECKED BY:
 APPROVED BY: