



# Administrative Approval Action

Case File / Name: ASR-0022-2020  
Brier Creek Office Building 7

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 7.04 acre site zoned OX-7-PL, and within both an AOD and a SHOD-2 overlay district is located on the north side and at the end of Arco Corporation Drive at 8080 Arco Corporate Drive.

**REQUEST:** This is a proposed 95, 000 square foot, four-story office building with associated parking and infrastructure.

Both an Administrative Alternate and a Design Adjustment have been approved for this site as noted below.

1. Design Adjustment (A-28-20) Adjustments to the required Right of Way cross section, adjustment to the BOC to BOC width, adjustment to the minimum bicycle lane and travel lane, and maintenance strip widths.
2. Administrative Alternate (AAD-26-20) Reduction of the Build To requirements

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 18, 2021 by McAdams.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Show the specific locations of the amenity area on site plan as a shaded/patterned area as shown in the legend.

### **Public Utilities**

2. A Water Model in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval prior to concurrent approval.
3. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.
4. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.



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## Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

*The following items must be approved prior to recording the plat:*

## Engineering

1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.

## Stormwater

2. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
4. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.



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***The following items must be approved prior to the issuance of building permits:***

## **Engineering**

1. A fee-in-lieu for 1-ft of sidewalk along length of ROW frontage is paid to the City of Raleigh (UDO 8.1.10).

## **Public Utilities**

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## **Stormwater**

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
4. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## **Urban Forestry**

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 15 street trees along Arco Corporate Drive.
6. A public infrastructure surety for 15 street trees is provided to the City of Raleigh Development Services – Development Engineering program (UDO 8.1.3).

***The following are required prior to issuance of building occupancy permit:***

## **Stormwater**

1. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

## **Urban Forestry**

2. Final inspection of all right of way street trees by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:



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**3-Year Expiration Date:** July 21, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor Date: 03/24/2021  
Development Services Dir/Designee  
Staff Coordinator: Michael Walters

# BRIER CREEK OFFICE BUILDING 7

8080 ARCO CORPORATE DRIVE  
RALEIGH, NORTH CAROLINA, 27617

## ADMINISTRATIVE SITE REVIEW

CITY OF RALEIGH CASE #: ASR-0022-2020  
PROJECT NUMBER: AAC-19020  
DATE: MARCH 16, 2020  
REVISED: JULY 1, 2020  
REVISED: FEBRUARY 18, 2021

## SHEET INDEX

C.0.00	PROJECT NOTES
C.1.00	EXISTING CONDITIONS
C.1.01	DEMOLITION PLAN
C.2.00	OVERALL SITE PLAN
C.2.01	SITE PLAN
C.2.02	SITE PLAN
C.2.10	SOLID WASTE ACCESS EXHIBIT
C.3.00	OVERALL GRADING PLAN
C.3.01	GRADING PLAN
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C.3.10	AVERAGE GRADE EXHIBIT
C.4.00	OVERALL UTILITY PLAN
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C.8.00	SITE DETAILS
C.8.01	WATER AND SANITARY SEWER DETAILS
C.8.02	STORM DRAINAGE DETAILS
C.9.00	STORMWATER PLAN VIEW
L5.00	LANDSCAPE PLAN

20-0206A DUKE ENERGY LIGHTING PLAN

A1.1	NORTH/SOUTH ELEVATIONS
A1.2	EAST/WEST ELEVATIONS
A2.1	NORTH/SOUTH TRANSPARENCY
A2.2	EAST/WEST TRANSPARENCY

BOARD OF ADJUSTMENT:

**ORDER FILE # 10-10**

A REQUEST FOR (I) A DESIGN ADJUSTMENT TO THE REQUIRED SIX MINIMUM ROW WITH SET POINT IN USDO SECTION 8.4.8.8 OF THE UNITED DEVELOPMENT ORDINANCE; (II) A DESIGN ADJUSTMENT TO THE REQUIRED SIX MINIMUM BACK-OF-CURB TO BACK-OF-CURB WITH SET POINT IN USDO SECTION 8.4.8.9; (III) A DESIGN ADJUSTMENT TO THE REQUIRED SEVEN MINIMUM BICYCLE LANE WITH SET POINT IN USDO SECTION 8.4.8.9; (IV) A DESIGN ADJUSTMENT TO THE REQUIRED ELEVEN MINIMUM TRAVEL LANE WITH SET POINT IN USDO SECTION 8.4.8.8; AND (V) A DESIGN ADJUSTMENT TO THE REQUIRED TWO MINIMUM MAINTENANCE STRIP WITH SET POINT IN 8.4.8.9. IN ORDER TO CONDUCT AN OFFICE BUILDING ON A 7.04-ACRE PROPERTY ZONED CM-1-11 LOCATED AT 3080 AND 3086 COMPOSITE ON

APPEARANCE COMMISSION:

CASE FILE: AAG-28-20, 8000 ARCO CORPORATE DRIVE

SOLID WASTE COMPLIANCE STATEMENT:

1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
2. THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
3. REFUSE WILL BE TAKEN TO THE COMPACTOR ON SITE WHERE THE TRASH TRUCK WILL DUMP IT.

### ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2400, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and possible

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4948) AT  
LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION  
OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.  
CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE  
THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811",  
AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



## CONTACT

SEAN GLEASON, PE - PROJECT MANAGER  
gleason@mcadamsco.com  
NATHAN BALES, PE - TECHNICAL MANAGER  
bales@mcadamsco.com

**CLIENT**

AMERICANASSET CORPORATION  
7990 ARCO CORPORATE DRIVE, SUITE 119  
RALEIGH, NORTH CAROLINA 27617



## PROJECT DIRECTORY



**DEVELOPMENT SERVICES**



**Raleigh**

## Administrative Site Review Application

Development Services Center, 6000 Arco Corporate Drive, Raleigh, NC 27617 • Phone: 919-977-2222 • Fax: 919-977-2223 • Email: [development@cityofraleigh.org](mailto:development@cityofraleigh.org)

This form is required when submitting site plans as reviewed in Ordinance Enforcement Ordinance (SEO) Section 10.14. Please check the appropriate building type and include the plan checked/checked against when submitting.

Office site only	Transaction #	Planning Coordinator	
<b>Building Type</b>	<b>Site Transaction/History</b>		
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #: _____	_____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Sketch Variation #: _____	_____
<input type="checkbox"/> Apartment	<input checked="" type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	_____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	_____
		Planning Case #: <u>2425-011</u>	_____
		Administrative Remarks #: _____	_____

**GENERAL INFORMATION**

Development case: Enter Check Office 7  
 Issue date: 01/19/2016

Property address: **6000 Arco Corporate Drive, Raleigh, NC, 27617**

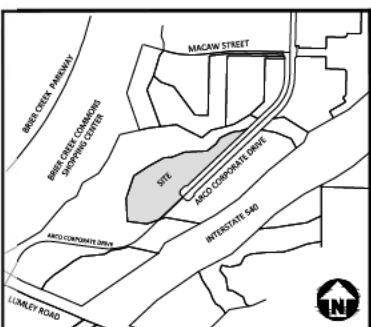
SAP PIN #: 076845332

Please describe the nature of the work, include any additional, amendments, and changes of use:  
 American Asset Corporation will be developing this site to include a single office building and associated parking.

Case/Property Owner/Developer Contact Name:  
 NOTE: please attach purchase agreement when submitting this form.  
 Company: American Asset Corporation      Title: VP of Acquisition, Angela Nirmann  
 Address: 7990 Arco Corporate Drive, Suite 1118, Raleigh, NC, 27617  
 Phone: 919-233-7125      Email: angela.nirmann@americanasset.com  
 Applicant Name: Stacy Otterson  
 Company: McAdams      Address: 2905 Meridian Parkway  
 Phone: 919-361-0020      Email: gleasonr@mcadamascorp.com

DEVELOPMENT TYPE • SITE DATA TABLE (Applicable to all developments)			
SITE DATA		BUILDING DATA	
Zoning district (if more than one, please provide the acreage of each): Q-1 2.4		Existing gross floor area (not to be demolished): 0 sf Existing gross floor area to be demolished: 0 sf	
Circulation average 7.04		New gross floor area 55,000 sf	
# of parking spaces proposed 230		New or gross site surface and road 30,000 sq. ft.	
# of parking spaces proposed 411		Proposed # of buildings: 1	
Overall Density of project: ADO/SHO-2			
Existing use Q-100 2.4 Empty Lot			
Proposed use Q-100 2.4 Q-100C Use			
STORMWATER INFORMATION			
Existing Impervious Surface Acres 1.2		Proposed Impervious Surface Acres 4.63	
Square Feet 1,455		Square Feet 263,875	
Will this flow be treated? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
If yes, please provide: Average slope .025 Flow rate 1 FEMA Map Panel 5-270-010-1			
Treated Flow Buffer <input type="checkbox"/> Yes <input type="checkbox"/> No		Perforated <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
RESIDENTIAL DEVELOPMENTS			
Total # of dwelling units: # of bedrooms units 101 2br 3br		Total # of single units: # of one # of two # of three # of four # of five # of six	
If not this, please provide a breakdown of the development: # of units: _____			
SIGNATURE BLOCK			
<p>I affirm this plan is the property owner's, I am the duly-authorized agent and I hereby bind ourselves, my/our firm, successors, administrators, successors and assigns jointly and severally to all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.</p> <p>I hereby designate <u>Sandra Gordon</u> to serve as my agent, and to execute this and any public meeting regarding the application.</p> <p>I have the most knowledge, and I acknowledge that this application is submitted in full compliance with applicable laws and regulations. I understand that this application will expire after 180 days of finality.</p> <p>Signature _____ Date <u>5/18/2014</u></p> <p>Printed Name: Paul J. Henderson, Vice President</p>			

<b>SITE DATA</b>	
<b>SITE ADDRESS</b>	8880 ARLO CORPORATE DRIVE, RALEIGH, NORTH CAROLINA 27617
<b>PARCEL PIN NUMBER</b>	PIN 008888888, REAL ESTATE (0080808)
<b>EXISTING ZONING</b>	OU-7A, OFFICE MIXED USE - 7 STORY - PARKING LIMITED
<b>OVERLAY DISTRICT</b>	AIRPORT OVERLAY DISTRICT (MOU-2)
<b>BLANK</b>	BLANK
<b>FLOORPLAN/RAW PARCEL</b>	3/20/2008/888
<b>SITE AREA</b>	7.04 AC
<b>EXISTING USE</b>	OFFICE LOT
<b>PROPOSED USE:</b>	OFFICE BUILDING - 160,000/SF
<b>VEHICLE PARKING:</b>	REQUIRED: 2000 SPACES + 1 SPACE PER 400 SF OF OFFICE = 1000N PROVIDED: 430 SPACES + 100N
<b>ACCESSORY PARKING:</b>	SIGNS: 2000 SPACES + 100N REQUIRED SOLAR PANEL COVERED PARKING WILL BE PROVIDED FOR 100N OF 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739,



**DISTURBED AREA = 6.20 AC.**

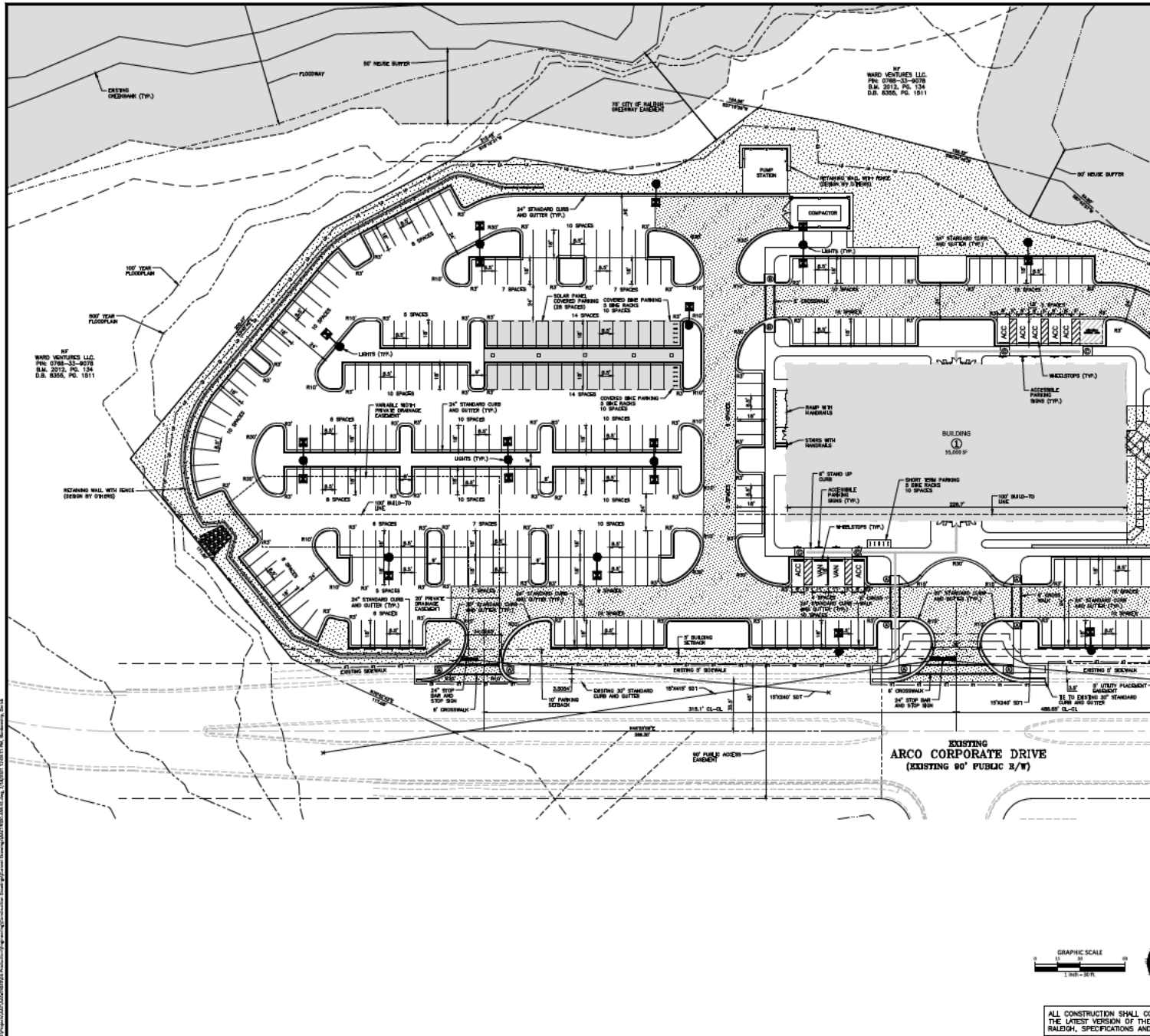
ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.



**VICINITY MAP**  
N.T.S.







SITE LEGEND	
	SIDWALK
	YARD LIGHT
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMP
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	OUTDOOR AMENITY AREA

SEE SHEET C2.02



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**McADAMS**  
The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
AMERICAN ASSET CORPORATION  
7990 ARCO CORPORATE DRIVE, SUITE 119  
RALEIGH, NORTH CAROLINA 27617

**AAC**  
AMERICAN ASSET CORPORATION

**BRIER CREEK OFFICE 7**  
**ADMINISTRATIVE SITE PLAN**  
8080 ARCO CORPORATE DRIVE  
RALEIGH, NORTH CAROLINA 27617

REVISIONS	
NO.	DATE
1	07.01.2020

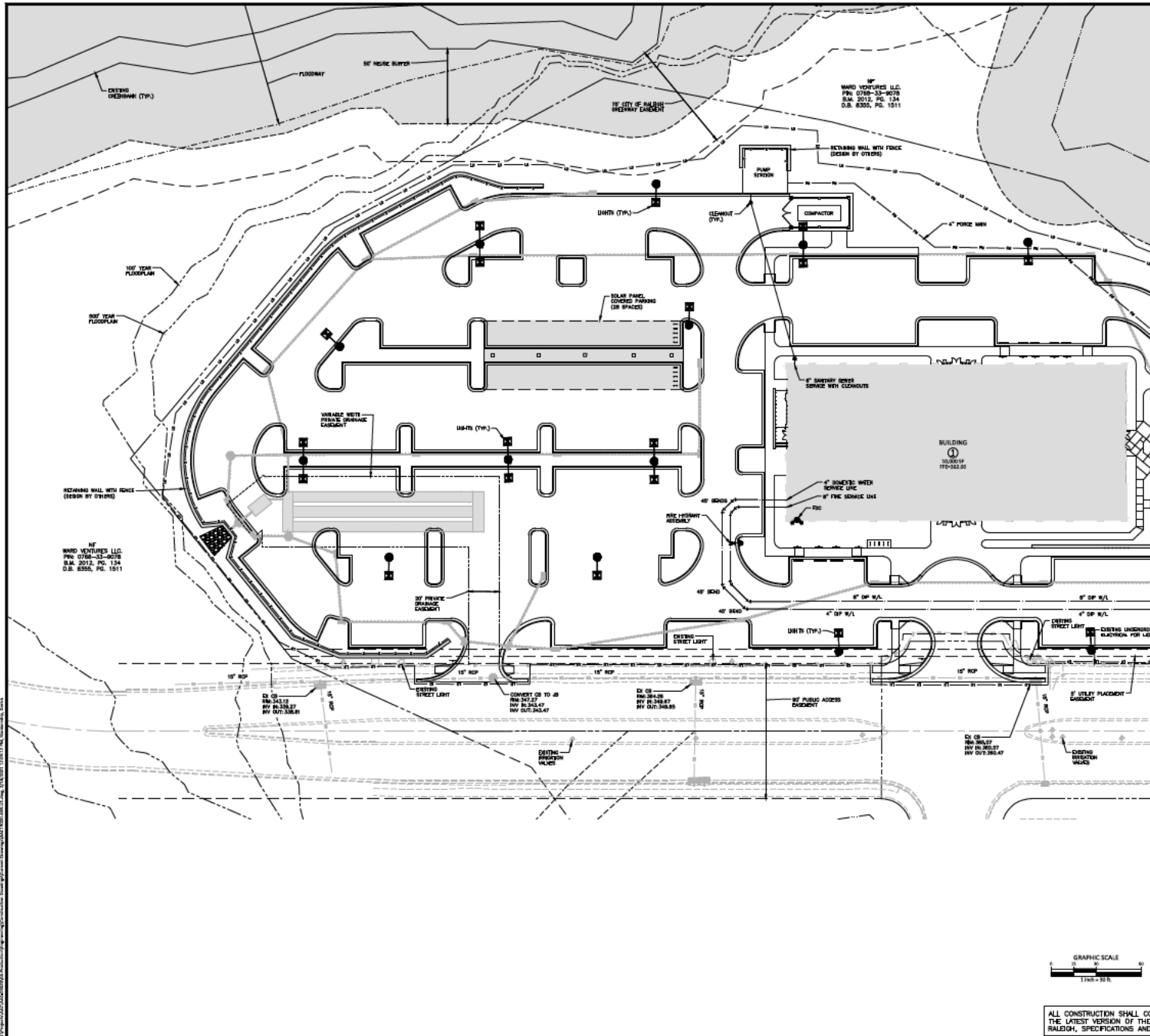
PLAN INFORMATION	
PROJECT NO.	AAC-19030
FILENAME	AAC19030-51
CHECKED BY	ZNB
DRAWN BY	CJ
SCALE	1"=30'
DATE	03.16.2020
SHEET	

**SITE PLAN**  
**C2.01**





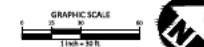




#### UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GRILLAGE WWP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SERVICE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- DISMANT LINE

SEE SHEET C4.02



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**McADAMS**  
The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
AMERICAN ASSET CORPORATION  
7990 ARCO CORPORATE DRIVE, SUITE 119  
RALEIGH, NORTH CAROLINA 27617



## BRIER CREEK OFFICE 7 ADMINISTRATIVE SITE PLAN 8080 ARCO CORPORATE DRIVE RALEIGH, NORTH CAROLINA 27617

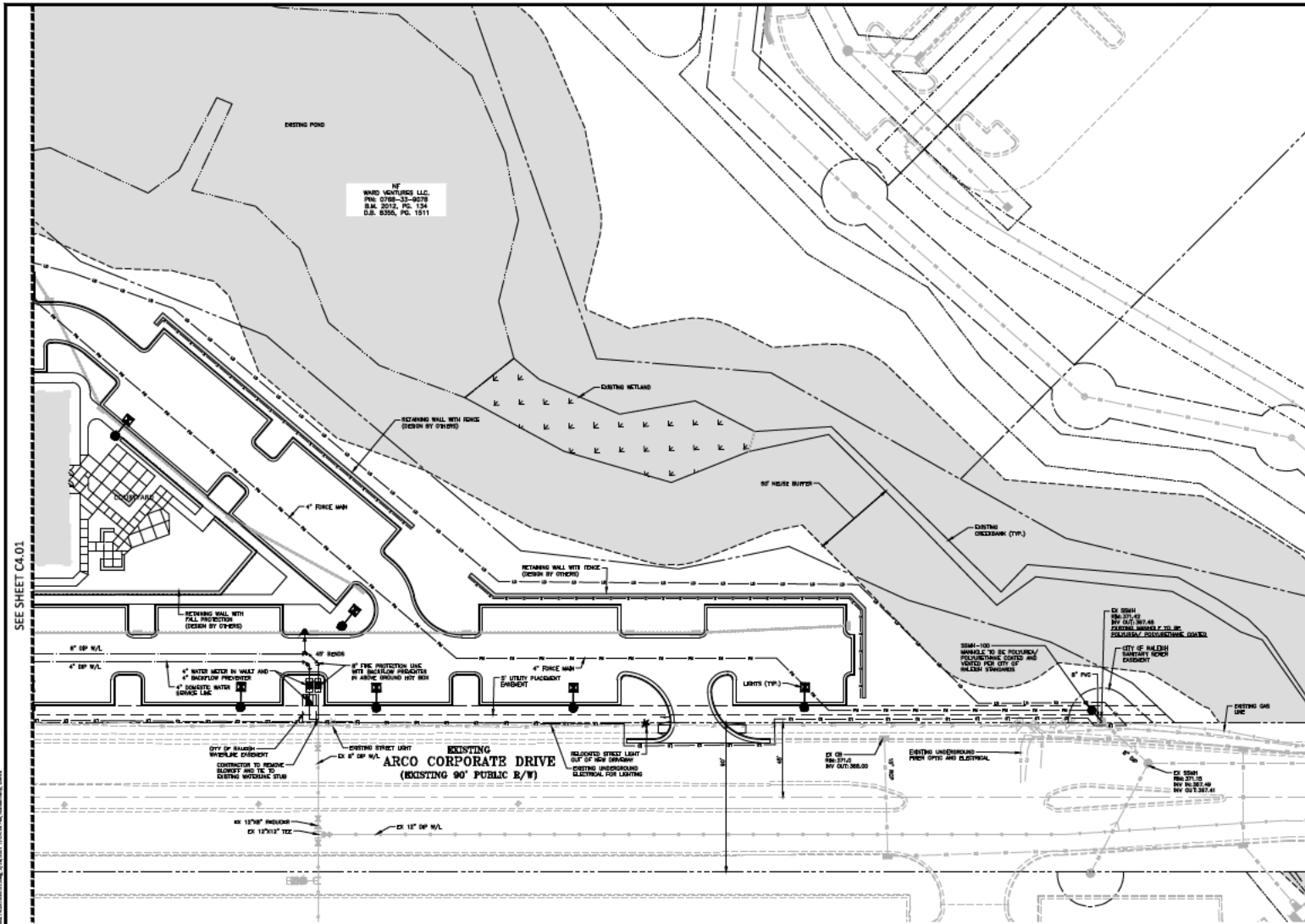
REVISIONS		
1.	01.01.2020	REVISED FOR 3D AIR CORRELATION
2.	01.01.2020	REVISED FOR 3D AIR CORRELATION

PLAN INFORMATION	
PROJECT NO.	AAC-19030
FILENAME	AAC19030-01
CHECKED BY	ZNB
DRAWN BY	CJ
SCALE	1"=30'
DATE	03.16.2020

**SHEET**

**UTILITY PLAN**

# C4.01



UTILITY LEGEND	
	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	WATER VALVE
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	FLAP
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	SEWER FORCE MAIN
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE

SEE SHEET C4.01

**McADAMS**  
The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
AMERICAN ASSET CORPORATION  
7990 ARCO CORPORATE DRIVE, SUITE 119  
RALEIGH, NORTH CAROLINA 27617

**AAC**  
AMERICAN ASSET CORPORATION

**BRIER CREEK OFFICE 7**  
**ADMINISTRATIVE SITE PLAN**  
8080 ARCO CORPORATE DRIVE  
RALEIGH, NORTH CAROLINA 27617

REVISIONS	
NO.	DATE
1	01.01.2020

PLAN INFORMATION	
PROJECT NO.	AAC-19030
FILENAME	AAC19030-01
CHECKED BY	ZNB
DRAWN BY	CJ
SCALE	1"=30'
DATE	03.16.2020

**SHEET**

**UTILITY PLAN**

**C4.02**



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH, SPECIFICATIONS AND DETAILS.

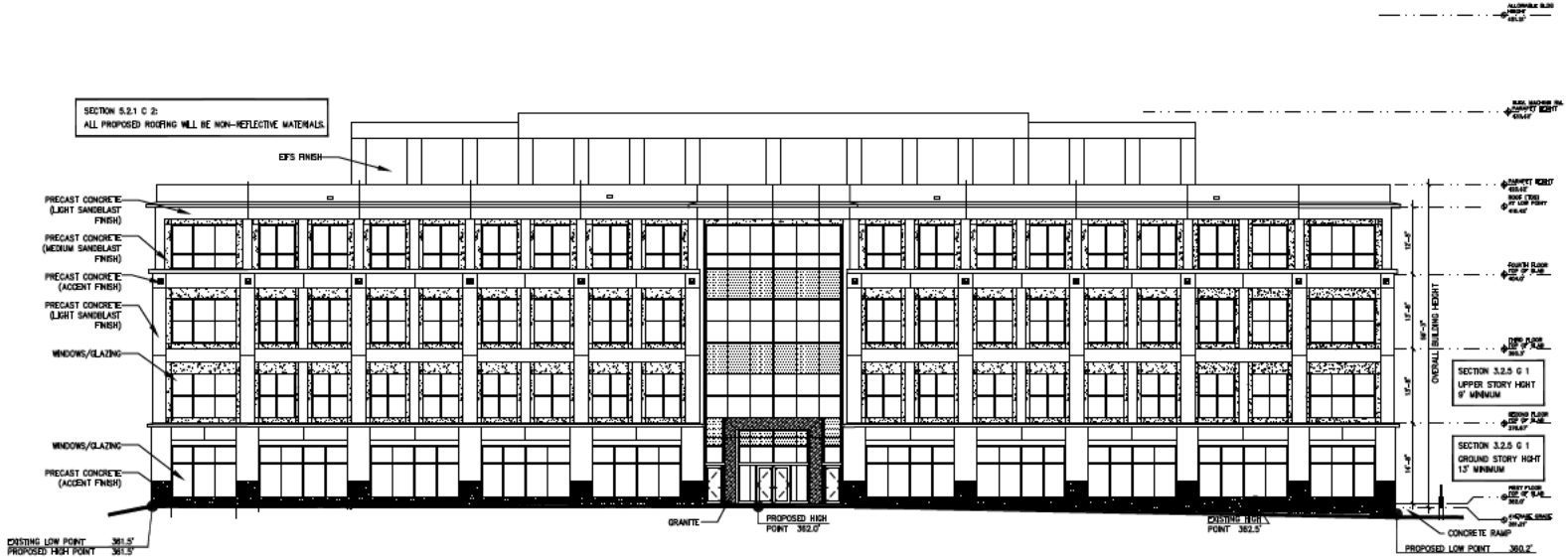
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION







2 SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION  
SCALE: 3/32" = 1'-0"

ASR SET

Project 019167  
Date 06.11.2020  
Revisions

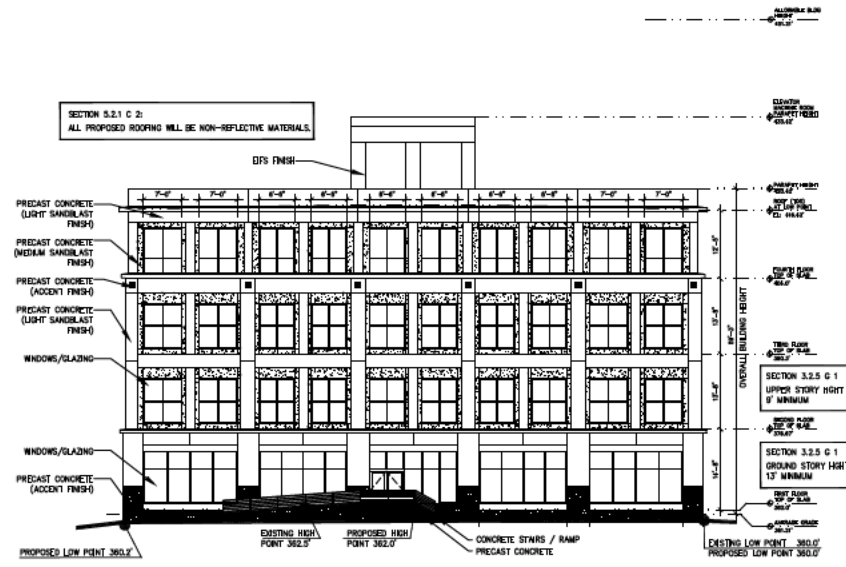
Drawn By JMG  
Checked By MTM  
Content

BUILDING 7  
NORTH/SOUTH ELEV.  
MATERIALS  
DIAGRAM

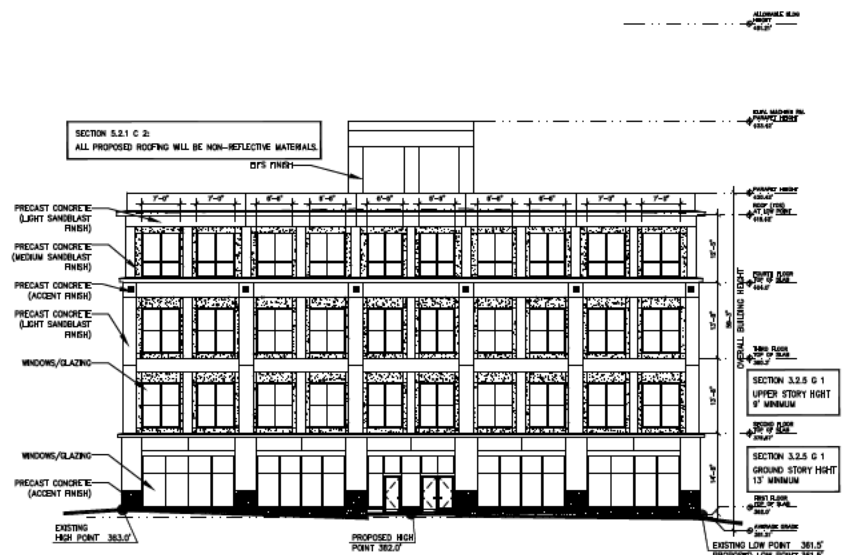
Sheet A1.1



ASR SET	
Project	019167
Date	06.11.2020
Revisions	
Drawn By	JMG
Checked By	MTM
Content	BUILDING 7 EAST/WEST ELEV. MATERIAL DIAGRAM
Sheet	A.1.2

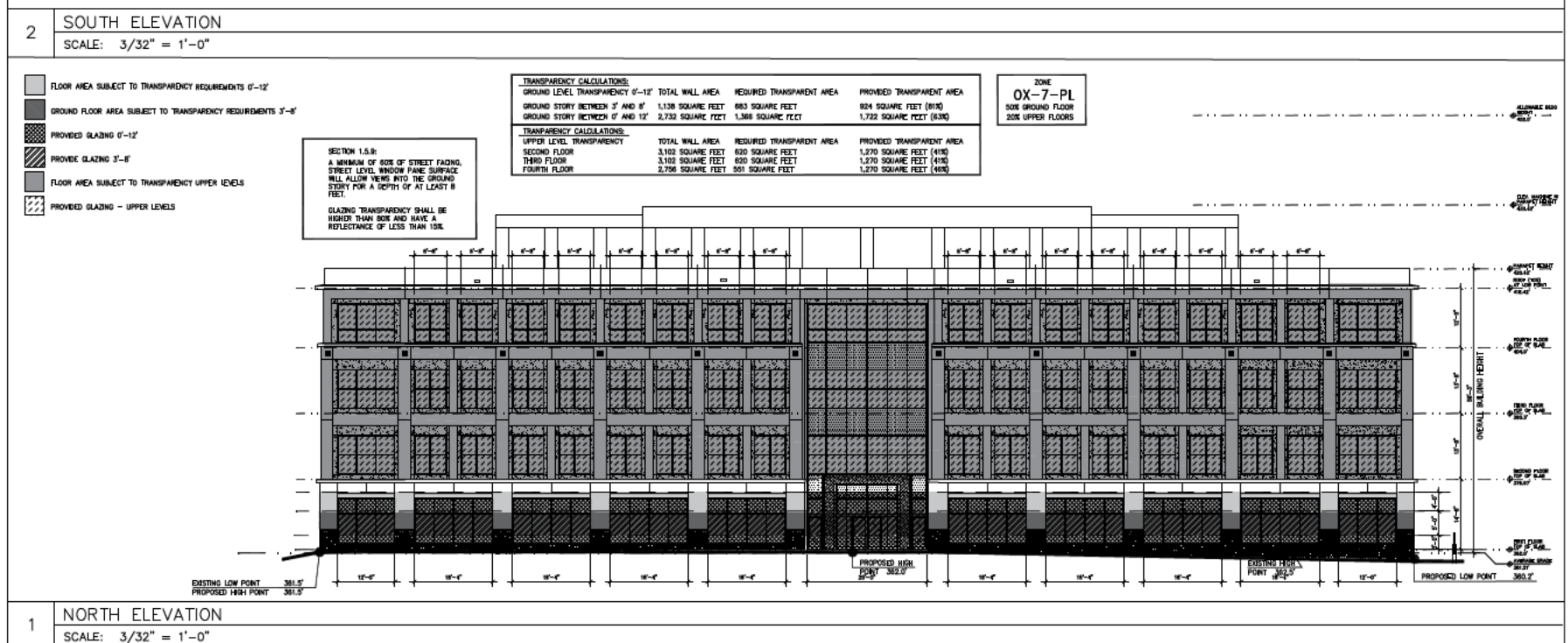
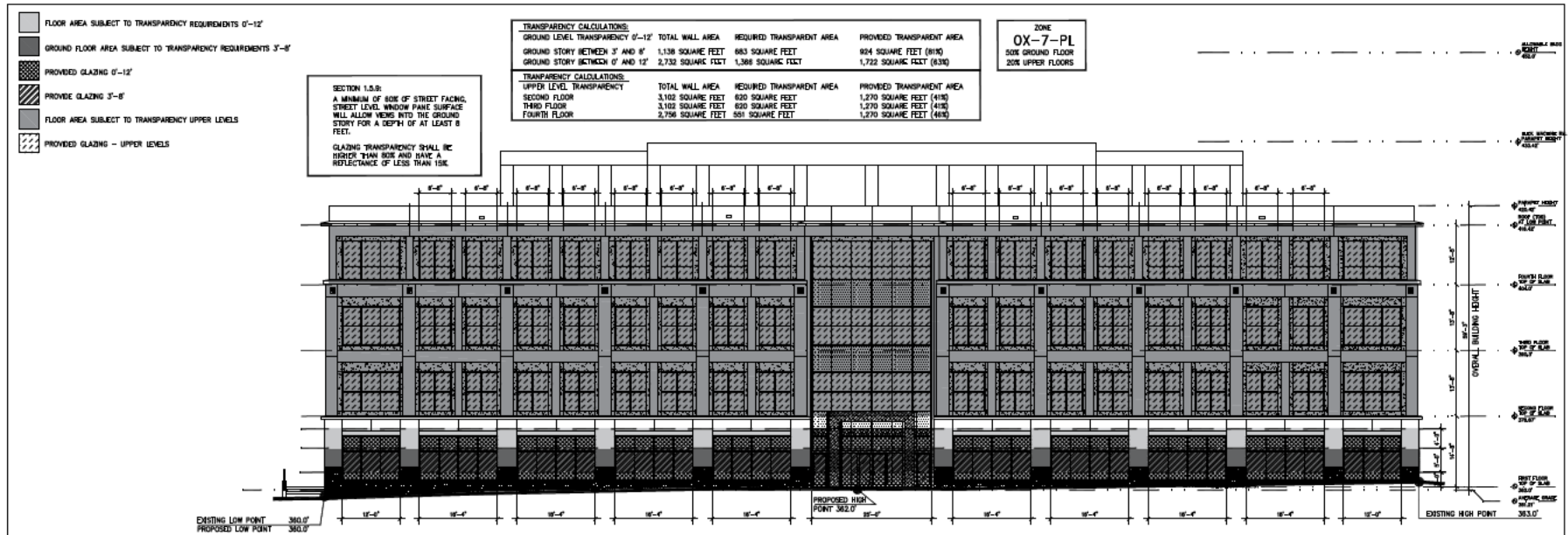


2 WEST ELEVATION  
SCALE: 3/32" = 1'-0"



1 EAST ELEVATION  
SCALE: 3/32" = 1'-0"

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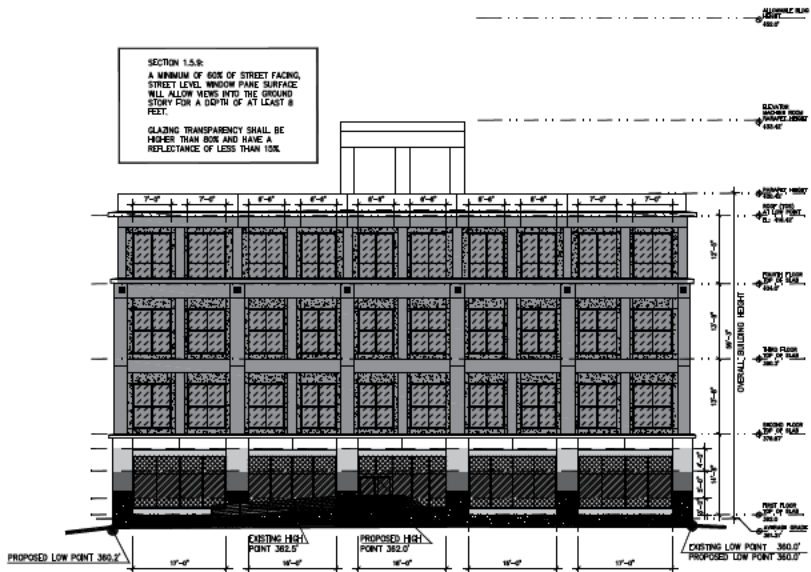
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- FLOOR AREA SUBJECT TO TRANSPARENCY REQUIREMENTS 0'-12'
- GROUND FLOOR AREA SUBJECT TO TRANSPARENCY REQUIREMENTS 3'-8'
- PROVIDED GLAZING 0'-12'
- PROVIDED GLAZING 3'-8'
- FLOOR AREA SUBJECT TO TRANSPARENCY UPPER LEVELS
- PROVIDED GLAZING - UPPER LEVELS

ZONE  
OX-7-PL  
50% GROUND FLOOR  
20% UPPER FLOORS

TRANSPARENCY CALCULATIONS			
GROUND LEVEL TRANSPARENCY 0'-12'	TOTAL WALL AREA	REQUIRED TRANSPARENT AREA	PROVIDED TRANSPARENT AREA
GROUND STORY BETWEEN 3' AND 8'	527 SQUARE FEET	316 SQUARE FEET	410 SQUARE FEET (78%)
GROUND STORY BETWEEN 0' AND 12'	1,264 SQUARE FEET	632 SQUARE FEET	786 SQUARE FEET (62%)
TRANSPARENCY CALCULATIONS			
UPPER LEVEL TRANSPARENCY	TOTAL WALL AREA	REQUIRED TRANSPARENT AREA	PROVIDED TRANSPARENT AREA
SECOND FLOOR	1,430 SQUARE FEET	286 SQUARE FEET	432 SQUARE FEET (30%)
THIRD FLOOR	1,430 SQUARE FEET	286 SQUARE FEET	432 SQUARE FEET (30%)
FOURTH FLOOR	1,281 SQUARE FEET	252 SQUARE FEET	432 SQUARE FEET (34%)

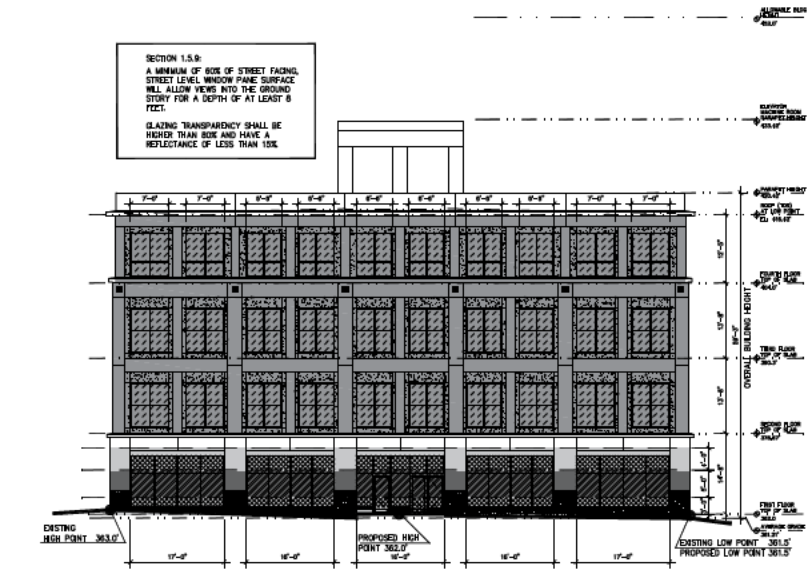


2 WEST ELEVATION  
SCALE: 3/32" = 1'-0"

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- GROUND FLOOR AREA SUBJECT TO TRANSPARENCY REQUIREMENTS 3'-8'
- PROVIDED GLAZING 0'-12'
- PROVIDED GLAZING 3'-8'
- FLOOR AREA SUBJECT TO TRANSPARENCY UPPER LEVELS
- PROVIDED GLAZING - UPPER LEVELS

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1 EAST ELEVATION  
SCALE: 3/32" = 1'-0"