

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan ☐ Tier Three Site Plan ☒	
Building Type	
☐ Detached	☒ General
☐ Attached	☐ Mixed use
☐ Apartment	☐ Open lot
☐ Townhouse	☐ Civic
Site Transaction History	
Subdivision case #: <u>S-15-18</u>	
Scoping/sketch plan case #: _____	
Certificate of Appropriateness #: _____	
Board of Adjustment #: <u>A-40-17</u>	
Zoning Case #: _____	
Administrative Alternate #: _____	
GENERAL INFORMATION	
Development name: Grove Barton Commons	
Inside City limits? Yes ☒ No ☐	
Property address(es): 4820 Grove Barton Road	
Site P.I.N.(s): 0787329162	
Please describe the scope of work. Include any additions, expansions, and change of use. Construct a new 11,000 SF two-story building for indoor recreation (escape rooms), restaurant (eating establishment) and retail.	
Current Property Owner/Developer Contact Name: Matt Samuel (Current Property Owner) NOTE: please attach purchase agreement when submitting this form.	
Company: FNC GROVE BARTON LLC	Title: Member / Manager
Address: 5323 Spring Valley Rd. STE 250, Dallas, TX 75254	
Phone #: (646) 807-8060	Email: mattsamuel@niagaraholdings.com
Applicant Name: Brian Soltz	
Company: Commercial Site Design PLLC	Address: 8312 Creedmoor Road, Raleigh, NC 27613
Phone #: 919-848-6121	Email: soltz@csitedesign.com

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3-PK	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 1.00	New gross floor area: 11,000
# of parking spaces required: 49	Total sf gross (to remain and new): 11,000
# of parking spaces proposed: 45	Proposed # of buildings: 1
Overlay District (if applicable):	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): None	
Proposed use (UDO 6.1.4): Indoor Recreation, Eating Establishment & Retail	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: .47 Square Feet: 20,587	Proposed Impervious Surface: Acres: .77 Square Feet: 33,754
Is this a flood hazard area? Yes ☐ No ☒	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes ☐ No ☒	Wetlands Yes ☐ No ☒

RESIDENTIAL DEVELOPMENTS

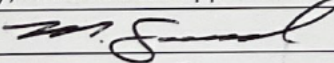
Total # of dwelling units: NOT APPLICABLE	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes ☐ No ☐

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Commercial Site Design, PLLC to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

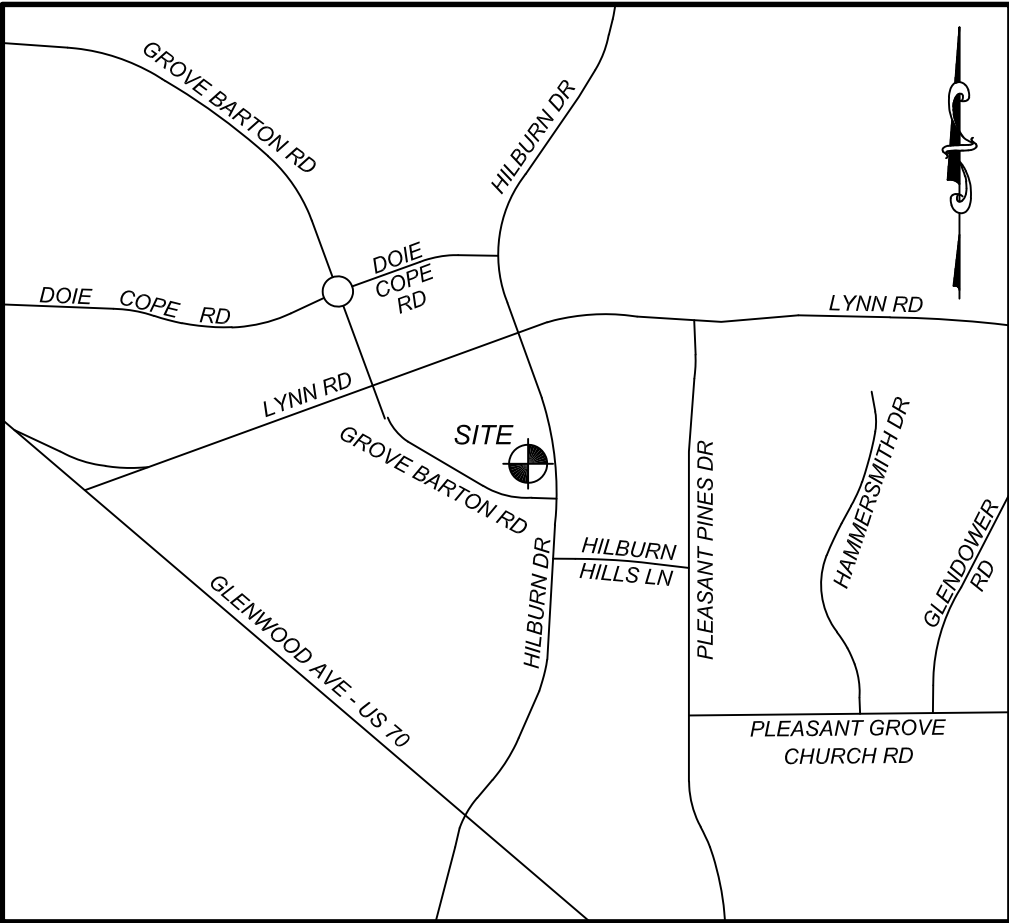
Signature: 	Date: 3-20-21
Printed Name: MATT SAMUEL	

GROVE BARTON COMMONS

**SITE ADDRESS: 4820 GROVE BARTON ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA**

CSD PROJECT NUMBER: JEC-2101

ADMINISTRATIVE SITE PLAN CASE# ASR-0022-2021



VICINITY MAP
1" = 1000'

CONTACTS

ZONING CITY OF RALEIGH DEVELOPMENT SERVICES 919-996-2664	SANITARY SEWER CITY OF RALEIGH PUBLIC UTILITIES 919-996-2176
SIGNAGE CITY OF RALEIGH DEVELOPMENT SERVICES 919-996-2472	GAS PSNC 877-776-2427
BUILDING & INSPECTIONS CITY OF RALEIGH DEVELOPMENT SERVICES 919-996-2630	ELECTRIC DUKE POWER 800-653-5307
STREET & HIGHWAY DATA CITY OF RALEIGH TRANSPORTATION 919-996-2408	TELEPHONE AT&T 877-438-0041
NCDOT 919-733-3213	FIRE CITY OF RALEIGH DEVELOPMENT SERVICES 919-996-2197
WATER CITY OF RALEIGH PUBLIC UTILITIES 919-996-2176	CABLE SPECTRUM
STORM SEWER CITY OF RALEIGH STORM WATER SERVICES 919-996-3520	

RIGHT-OF-WAY OBSTRUCTION NOTES:

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND / OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK. rightofwayservices@raleighnc.gov FOR APPROVAL.
- THE CITY OF RALEIGH AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND / OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE- CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

REVISIONS:

△	6-24-2021	ASR COMMENTS #1	STH
△	8-17-2021	ASR COMMENTS #2	RCN
NO.	DATE	DESCRIPTION	BY

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		Zoning Case #:
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REVISION 11.18.20

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If yes, please provide:	
Alluvial soils:	
Flood study:	
FEMA Map Panel #:	
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Wetlands	Yes ☐ No ☒

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I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature:	Date: 3-20-21
Printed Name: MATT SAMUEL	

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REVISION 11.18.20

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SHEET INDEX

- C-1a EXISTING CONDITIONS
- C-1b CURRENT RECORDED PLAT
- C-2 SITE PLAN
- C-2a SOLID WASTE SERVICE TRUCK TURN PLAN
- C-2b OVERALL PARKING PLAN
- C-3 GRADING PLAN
- C-4 UTILITY PLAN
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAP DETAILS
- G1 FIRST FLOOR PLAN
- G2 SECOND FLOOR PLAN
- G3.0 ELEVATIONS-REAR
- G3.1 ELEVATIONS-FRONT
- G4 ELEVATIONS SIDE
- G5 SOLID WASTE ENCLOSURE DETAILS
- G6 ROOF PLAN
- G7 ROOFTOP LINE OF SIGHT DETAILS
- G8 PHOTOMETRIC PLAN
- G9 PHOTOMETRIC PLAN - EXISTING SITE LIGHTING

SITE INFORMATION

OWNER:	FNC GROVE BARTON, LLC 5323 SPRING VALLEY ROAD, SUITE 250 DALLAS, TX 75254 RALEIGH, NC 27615		
DEVELOPER:	JOHN 2021, LLC 6147 TUDOR PLACE LINDEN, NC 28356 PHONE: 813-505-1016 escapecapital@gmail.com		
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121 Soltz@csitedesign.com		
ZONING:	CX-3-PK		
EXISTING USE:	VACANT		
PROPOSED USE:	INDOOR RECREATION (ESCAPE ROOMS), RESTUARANT AND RETAIL		
SITE ADDRESS:	4820 GROVE BARTON ROAD		
PARCEL IDENTIFICATION NUMBER:	0787329162		
PARKING REQUIREMENTS:	RETAIL = 1,623 SF / 300 = 5.41 RESTAURANT = 3,399 / 150 = 22.66 OR 110 SEATS / 5 = 22 INDOOR RECREATION = 6,255 / 300 = 20.85 TOTAL MINIMUM = 49 SPACES MAXIMUM @ 150% = 74 SPACES		
PARKING PROVIDED:	SEE SHEET C-2b FOR OVERALL PARKING PLAN		
BICYCLE PARKING & REMOTE PARKING CALCULATIONS:	SHORT TERM 12 SPACES REQUIRED / PROVIDED LONG TERM 4 SPACES REQUIRED / PROVIDED		
BUILDING SETBACKS:	PRIMARY STREET (SOUTH) SIDE (EAST) SIDE (WEST) REAR (NORTH)	REQUIRED 5 FEET 5 FEET 5 FEET 0 OR 6 FEET	PROVIDED 30.5 FEET 91.0 FEET 26.3 FEET 125.8 FEET
PARKING SETBACKS:	PRIMARY STREET (SOUTH) SIDE (EAST) SIDE (WEST) REAR (NORTH)	REQUIRED 10 FEET 0 OR 3 FEET 0 OR 3 FEET 0 OR 3 FEET	PROVIDED 30.5 FEET 0 FEET 0 FEET 0 FEET
TOTAL SITE AREA: DISTURBED AREA:	43,561 SF OR 1.00 ACRES 32,859 SF OR 0.75 ACRES		
EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA: IMPERVIOUS DIFFERENCE:	20,587 SF OR 0.47 ACRES 33,754 SF OR 0.77 ACRES +13,167 INCREASE		
BUILDING DATA:	11,277 SF, 2 STORY - 30 FEET HIGH		
WATER:	CITY OF RALEIGH PUBLIC UTILITIES		
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES		
AMENITY AREA:	REQUIRED = 10 % OR 4,356 SF PROVIDED = 10.6 % OR 4,504 SF		
TREE CONSERVATION AREA:	PROVIDED PER S-15-18 BOM 2019, PG 105		

BOARD OF ADJUSTMENT CASE # BOA-037-2021 APPROVED AUGUST 9, 2021.

A VARIANCE TO UDO SECTION 3.4.3 C1, WHICH REQUIRES A MINIMUM FIFTY-FOOT WIDE BUILDING SETBACK FROM PRIMARY STREETS, IN ORDER TO LOCATE A BUILDING AND DUMPSTER ENCLOSURE WITH A THIRTY-FOOT (30') SETBACK FROM GROVE BARTON ROAD; A VARIANCE TO UDO SECTION 3.4.3 C2, WHICH REQUIRES A MINIMUM FIFTY-FOOT WIDE PARKING SETBACK FROM PRIMARY STREETS IN ORDER TO LEGALIZE FIVE EXISTING PARKING SPACES 16.2' FROM GROVE BARTON ROAD AND PERMIT CONSTRUCTION OF 2 NEW PARKING SPACES 30.5' FROM GROVE BARTON ROAD; A VARIANCE TO UDO SECTION 3.4.3 E1, WHICH REQUIRES A 50-FOOT LANDSCAPED PROTECTIVE YARD, IN ORDER TO PERMIT THE PROPOSED AND EXISTING IMPROVEMENTS AS SHOWN ON THE ATTACHED SITE PLAN; AND A VARIANCE TO UDO SECTION 3.4.2 CS, WHICH REQUIRES SITE PLANS TO COMPLY WITH STREETSCAPE REQUIREMENTS, IN ORDER TO KEEP THE EXISTING STREETSCAPE.

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CURRENT CITY OF
RALEIGH AND NCDOT STANDARDS,
SPECIFICATIONS AND DETAILS.

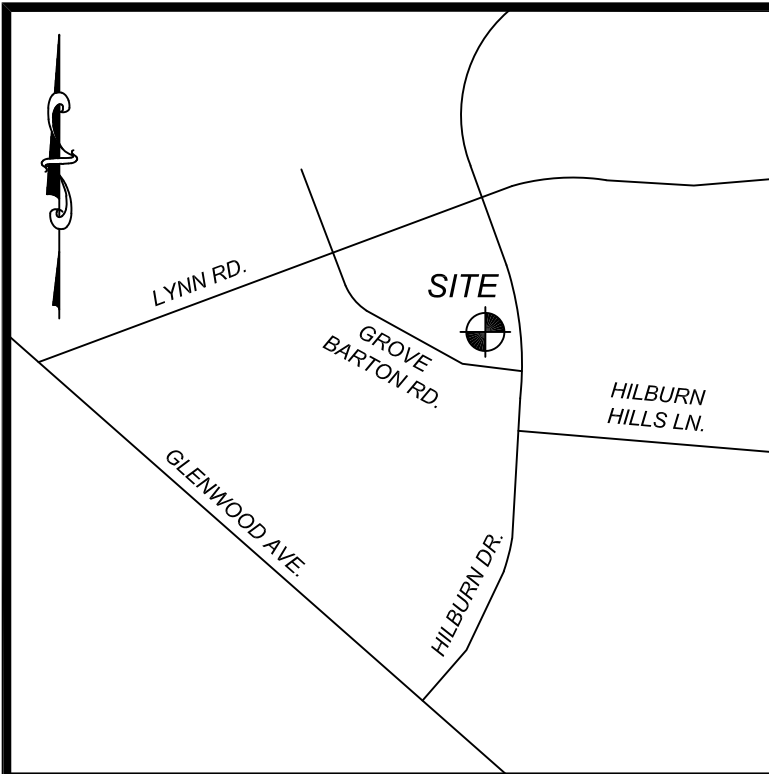


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VICINITY MAP
NTS

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	BEARING	DELTA
C1	94.95'	418.00'	47.68'	94.75'	S 66°43'01" E	13°00'55"

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IMPERVIOUS DIFFERENCE:	+13,167 INCREASE		
BUILDING DATA:	11,277 SF, 2 STORY - 30 FEET HIGH		
WATER:	CITY OF RALEIGH PUBLIC UTILITIES		
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES		
AMENITY AREA:	REQUIRED = 10 % OR 4,356 SF PROVIDED = 10.6 % OR 4,599 SF		
TREE CONSERVATION AREA:	PROVIDED PER S-15-18 BOM 2019, PG 105		

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☐ MEDIUM GREY

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CYLINDERS. INTERNAL LOCKING MECHANISM CONSISTS OF
THREE PLATED HARDENED STEEL GAMES CONTROLLING AN
EXTRUDED ALUMINUM LOCKING BAR WHICH ENGAGES
THE DOOR FRAME OVER THREE FOOT SPAN.
☐ HEAVY DUTY STAINLESS STEEL PADLOCK HANDLE
WILL ACCOMMODATE HIGH SECURITY PADLOCKS.
PADLOCK NOT INCLUDED.

ISOMETRIC

PLAN VIEW

END VIEW

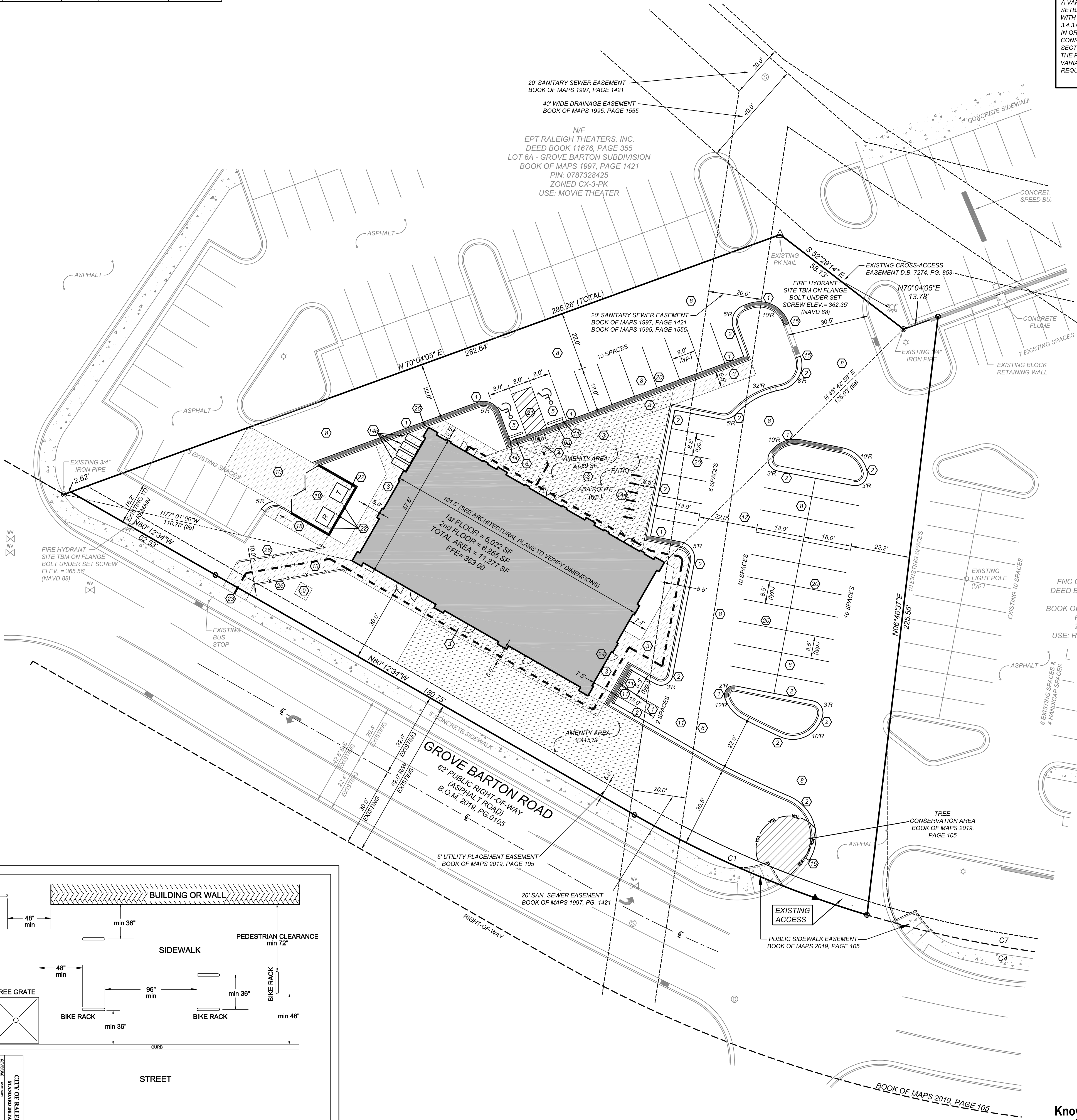
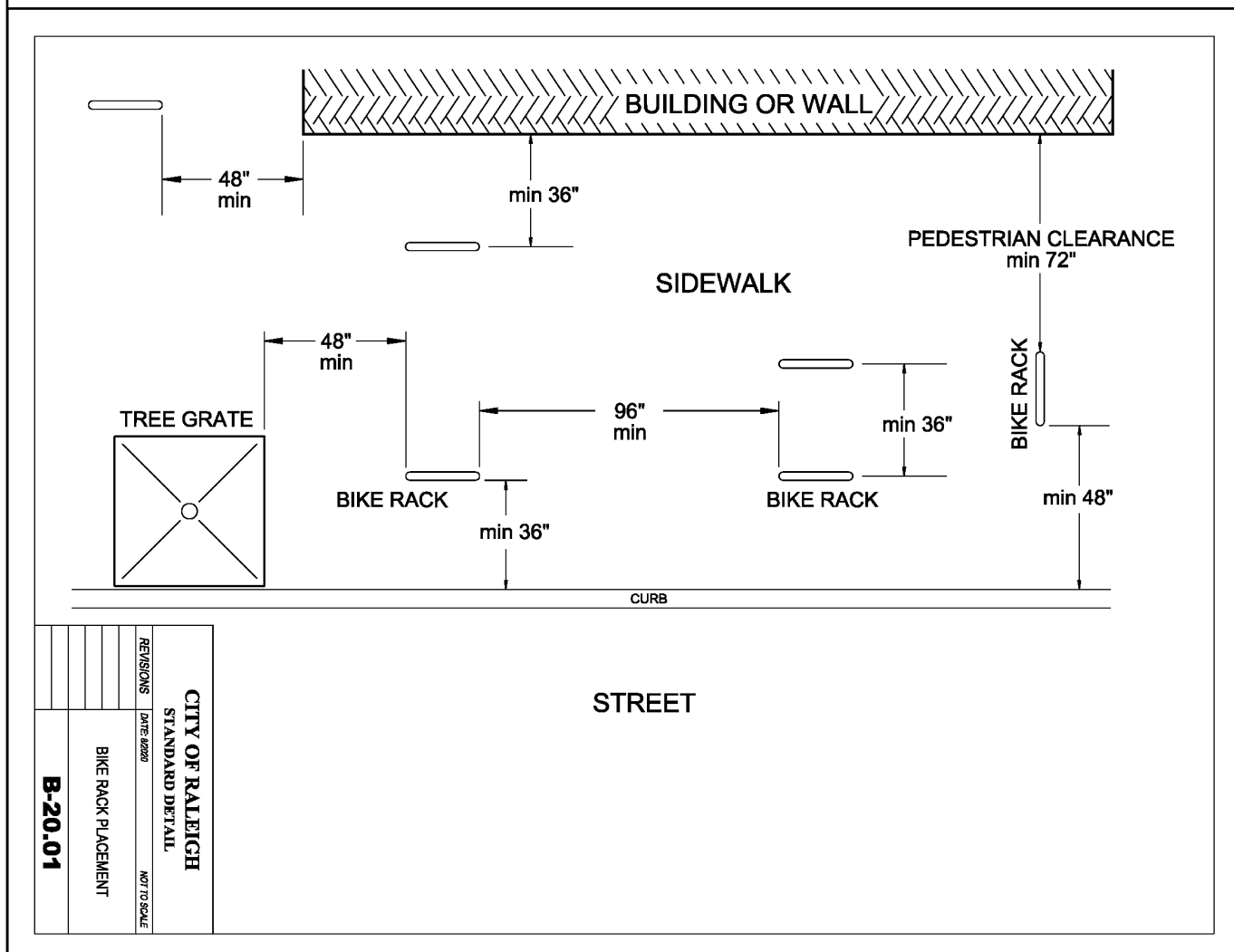
SIDE VIEW

300 SERIES BICYCLE LOCKERS

MODEL 301, 1 DOOR, 1 BIKE CAPACITY, NO ASSEMBLY ONE PIECE DESIGN

REVISION DATE: 03/09/2015

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BOARD OF ADJUSTMENT CASE # BOA-037-2021
APPROVED AUGUST 9, 2021.

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SITE KEYNOTES:

- CONSTRUCT 2.0" CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0" CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
- HANDICAP PARKING STALL
- INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- INSTALL "VAN ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL SHEET
- CONCRETE PAVEMENT PER DETAIL SHEET
- ASPHALT PAVEMENT PER DETAIL SHEET
- TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE AND LOCATION WITH UTILITY COMPANY)
- CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 6" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL. MATERIALS TO MATCH BUILDING. SOLID WASTE SERVICES WILL BE PROVIDED BY A PRIVATE CONTRACTOR / HAULER.
- CONCRETE WHEEL STOP PER DETAIL SHEET
- RELOCATE EXISTING POLE MOUNTED AREA LIGHT
- ADA RAMP. PROVIDE MINIMUM 5' x 5' LANDING (2% MAXIMUM SLOPE IN ANY DIRECTION) AT TOPS AND BOTTOMS OF ALL RAMP RUNS. RAMP RUNS SHALL NOT EXCEED 30' OF RISE BETWEEN LANDINGS. SEE DETAIL.
- INSTALL (8) U-RACKS FOR SHORT TERM BIKE PARKING PER CITY DETAIL. B-20.01, 36" APART AND 36" CLEAR FROM BACK OF CURB WITH 6' PEDESTRIAN CLEARANCE.
- INSTALL (4) BIKE LOCKER FOR LONG TERM BIKE PARKING. SEE DETAIL SHEET
- MATCH EXISTING CONCRETE CURB & GUTTER
- RETAINING WALL TO BE DESIGNED BY STRUCTURAL ENGINEER
- ASPHALT / CONCRETE TRANSITION PER DETAIL SHEET
- DELIVERY RAMP
- MATCH EXISTING ASPHALT
- PAINT 4" WIDE STRIPE, WHITE
- PAINT 4" WIDE STRIPE @ 45', 2' APART
- INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- MATCH EXISTING CONCRETE SIDEWALK
- LONG TERM BIKE PARKING WITHIN BUILDING. SEE FLOOR PLAN SHEET
- INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- ADA RAMP HANDRAIL, COORDINATE WITH ARCHITECT.

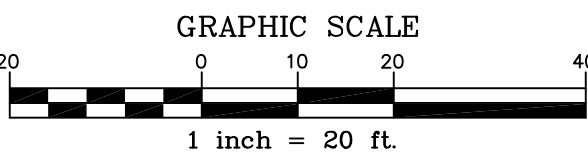
FNC GROVE BARTON LLC
DEED BOOK 16376, PAGE 648
LOT 1
BOOK OF MAPS 2019, PAGE 105
PIN: 0787329162
ZONED CX-3-PK
USE: RETAIL / RESTAURANT

SITE LEGEND

- CONCRETE CURB & GUTTER
- HANDICAP RAMP
- HANDICAP STALL
- CONCRETE
- PROPERTY LINE
- SIGN
- BOLLARD
- EXISTING FIRE HYDRANT
- EXISTING POLE MOUNTED AREA LIGHT
- PROPERTY CORNER
- EXISTING TREE
- F.F.E. = XXXXX FINISH FLOOR ELEVATION
- AMENITY AREA (4,599 SF OR 10.6%)
- ADA ACCESSIBLE ROUTE (5.0% MAXIMUM LONGITUDINAL SLOPE) (2.0% MAXIMUM CROSS SLOPE EXCLUDING RAMPS)



Know what's below.
Call before you dig.
nc811.org or 1-800-632-4949



REVISIONS

NO.	DATE	DESCRIPTION
1	8-17-2021	
2		

OWNER:

FNC GROVE BARTON, LLC
5323 SPRING VALLEY ROAD
SUITE 250
DALLAS, TX 75254

PROJECT NO: JEC-2101

FILENAME: JEC2101-C02-SP

DRAWN BY: STH

SCALE: 1" = 20'

DATE: 3/8/2021

SHEET NO. C-2

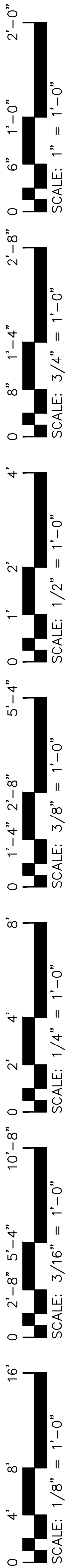
COMMERCIAL SITE DESIGN

8872 CREDMOOR ROAD
RALEIGH, NORTH CAROLINA 27613
(919) 848-6121 FAX: (919) 848-6741
WWW.CSITEDSIGN.COM

GROVE BARTON COMMONS
4820 GROVE BARTON ROAD
RALEIGH, WAKE COUNTY, NORTH CAROLINA

SITE PLAN

Drawing File: H:\2021\Escapology_Raleigh\DWG's--M\GB--ESCAPOLOGY--19aug.dwg
Plotted by: kellyd
Plotted Date: Aug 19, 2021 - 12:35pm



TRANSPARENCY TABLE

FLOOR LEVEL	TOTAL AREA	TRANSPARENCY REQUIRED	TRANSPARENCY PROVIDED	3'-0" TO 8'-0" TRANSPARENCY REQUIRED (50% OF 33%)	3'-0" TO 8'-0" TRANSPARENCY PROVIDED
GROUND FLOOR (33% REQ'D)	12'x102'= 1,224 SF	1,224 SF x .33= 403.92 SF	475 SF(38%)	403.92 SF x .5= 201.96 SF	271 SF(67% OF 33% REQ'D)
SECOND FLOOR (20% REQ'D)	14'x102'= 1,428 SF	1,428 SF x .20= 285.60 SF	298.68 SF(21%)	N/A	N/A

CITY OF RALEIGH UDO SECTION 1.5.9.B

B. GENERAL REQUIREMENTS

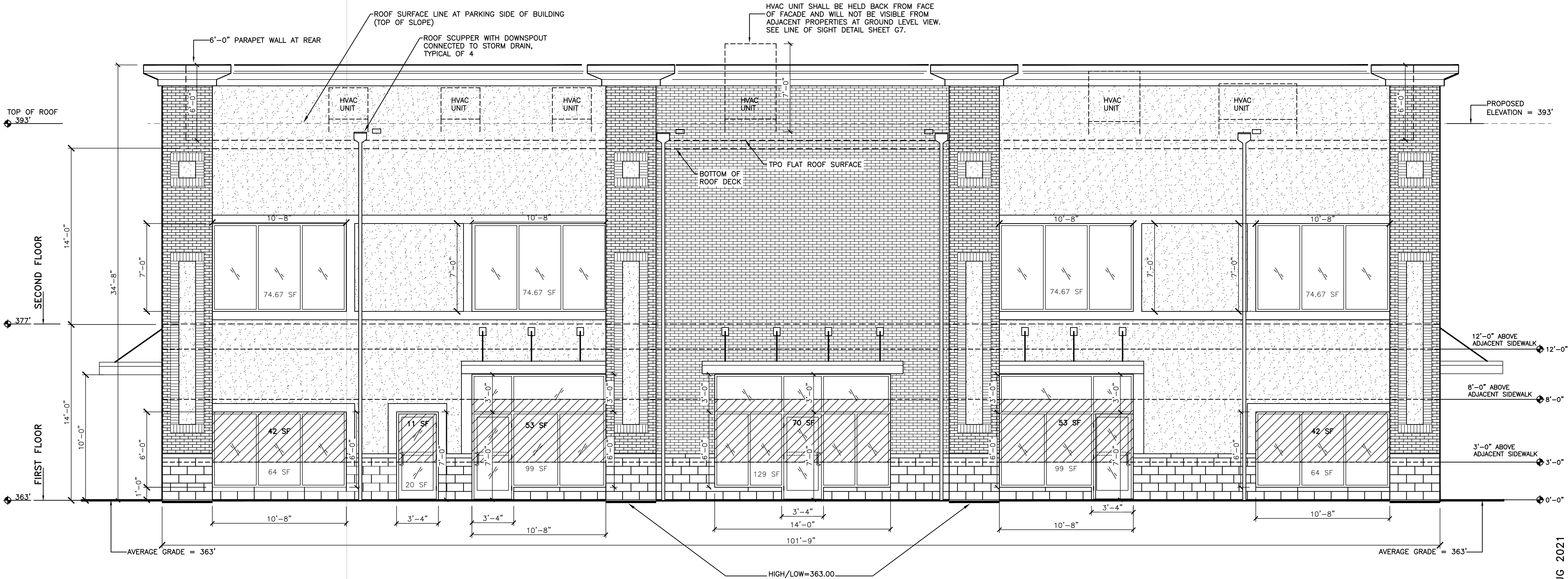
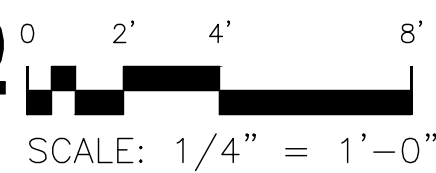
1. THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER A GROUND STORY FACADE IS MEASURED BETWEEN 0 AND 12 FEET ABOVE THE SURFACE OF THE FINISHED GROUND FLOOR FOR ALL ABOVE-GRADE PORTIONS OF THE FACADE. A MINIMUM OF 50% OF THE REQUIRED TRANSPARENCY MUST BE LOCATED BETWEEN 3 AND 8 FEET FROM THE SURFACE OF THE FINISHED GROUND FLOOR.
2. THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER AN UPPER STORY FACADE IS MEASURED FROM TOP OF THE FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR ABOVE. WHEN THERE IS NO FLOOR ABOVE, UPPER STORY TRANSPARENCY IS MEASURED FROM THE TOP OF THE FINISHED FLOOR TO THE TOP OF THE WALL PLATE.
4. GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%. CLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.

POST DEVELOPMENT GRADE TABLE

SIDE	HIGH POST DEVELOPMENT GRADE	LOW POST DEVELOPMENT GRADE	AVERAGE
SOUTH	363.00	363.00	363.00

NOTE:
SLAB ON GRADE
LOW POST DEVELOPMENT GRADE & HIGH POST DEVELOPMENT GRADE SHALL BE 363.00
THEREFORE, AVERAGE GRADE SHALL BE 363.00
SEE SITE PLAN

1 PRIMARY STREET FACING SIDE (GROVE BARTON RD)
G3.0 SOUTH ELEVATION (REAR)



PROJECT:
GROVE BARTON COMMONS
4820 GROVE BARTON ROAD RALEIGH, NC 27613

SHEET:
ELEVATIONS-REAR

DESIGNED / CHECKED BY:
K. DODSON

DRAWN BY:
JKA, MJ

PROJECT #:
2021-02-05

DATE:
19 AUG 2021

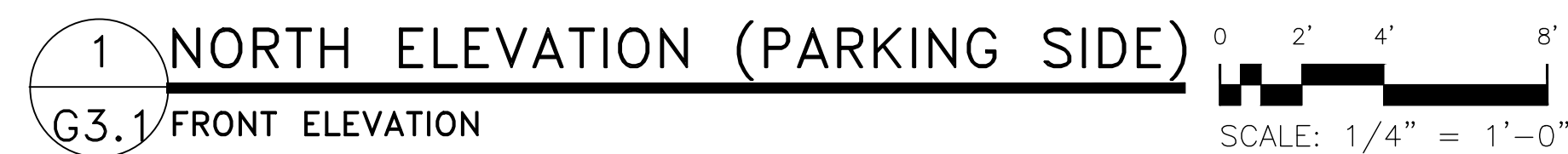
FINAL DRAWING ☒ FOR REVIEW PURPOSES ONLY
PRELIMINARY ☒ FOR DESIGN DEVELOPMENT ONLY
FINAL DRAWING ☐ FOR CONSTRUCTION

OWNER / TENANT:
Mr. DAN COOKE
RALEIGH, NORTH CAROLINA

CONTRACTOR/BUILDER:

JENKINS
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G3.0



PROJECT: *GROVE BARTON COMMONS*
4820 GROVE BARTON ROAD RALEIGH, NC 27613
SHEET: ELEVATIONS—FRONT

G3.1

FINAL DRAWING ☐ FOR REVIEW PURPOSES ONLY	DESIGNED / CHECKED BY:
PRELIMINARY ☒ FOR DESIGN DEVELOPMENT ONLY	K. DODSON
FINAL DRAWING ☐ FOR CONSTRUCTION	DRAWN BY:
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Mr. DAN COOKE	PROJECT #:
PARTEILLE, NORTH CAROLINA	2021-02-05
CONTRACTOR / BUILDER:	DATE:
"	19 AUG 2021

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