



# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). The undeveloped +/- 1.52-acre site is entirely wooded and will be cleared for a new Murphy Express. The proposed project consists of the construction of a pre-manufactured 2,800 SF building and 8 MPDs under a 46' x 103.67' canopy, all new utilities, paving and curbing, tanks and piping and landscaping will be provided.		
<b>Current Property Owner(s):</b>		
Company:		Title:
Address:		
Phone #:		Email:
<b>Applicant Name (If different from owner. See "who can apply" in instructions):</b>		
Relationship to owner:	Lessee or contract purchaser	Owner's authorized agent
		Easement holder
Company:		Address:

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court?      Yes      No
	A frequent transit development?      Yes      No

Continue to Applicant Signature Block on Page Three.

**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:

Date:

Printed Name:

*John Goetz*

# ADMINISTRATIVE SITE REVIEW PLANS FOR MURPHY OIL USA, INC. RALEIGH, NORTH CAROLINA, 27610 4501 POOLE ROAD

## GENERAL NOTES:

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- B. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- C. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- D. **WARRANTY/DISCLAIMER:**  
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- E. **SAFETY NOTICE TO CONTRACTOR:**  
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- F. ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- G. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
- H. CONSTRUCTION AND INSTALLATION OF 2,800 S.F. BUILDING, ALL UTILITY ENTRANCES, (1)25,000 GAL-REGULAR, (1)8,000 GAL-PREMIUM, (1)10,000 GAL-DIESEL, AND (1)8,000 GAL-E-O UNDERGROUND TANKS SHALL BE IN ACCORDANCE WITH ASSOCIATED PLANS.
- I. THE GENERAL CONTRACTOR TO FIELD COORDINATION THE CANOPY SIGN LOCATIONS AND FREE STANDING SIGNAGE WITH MURPHY'S CONSTRUCTION SUPERVISOR.

## NOTES TO CONTRACTOR

- A. THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH THE DATE WHEN CONSTRUCTION IS TO BEGIN.
- B. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SURVEYING, STAKING, AND LAYOUT.
- C. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER OF RECORD INFORMED OF ANY DEVIATIONS DURING CONSTRUCTION AND SHALL REPORT THEM IMMEDIATELY.
- D. CONTRACTOR IS REQUIRED TO KEEP REDLINE AS-BUILTS AND TO PROVIDE THOSE TO MURPHY UPON COMPLETION.
- E. CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE AS-BUILT AND CERTIFICATE OF OCCUPANCY (C.O.) REQUIREMENTS FROM THE ISSUING AUTHORITY.
- F. IF AN ELEVATION CERTIFICATE OR AS-BUILT SURVEY IS REQUIRED BY THE ISSUING AUTHORITY, THE CONTRACTOR SHALL BE RESPONSIBLE OBTAINING THE AS-BUILT SURVEY, PREPARED BY A LICENSED SURVEYOR, AND SUBMITTING THE AS-BUILT SURVEY TO ISSUING AUTHORITY AND THE ENGINEER OF RECORD.

## WETLANDS NOTE:

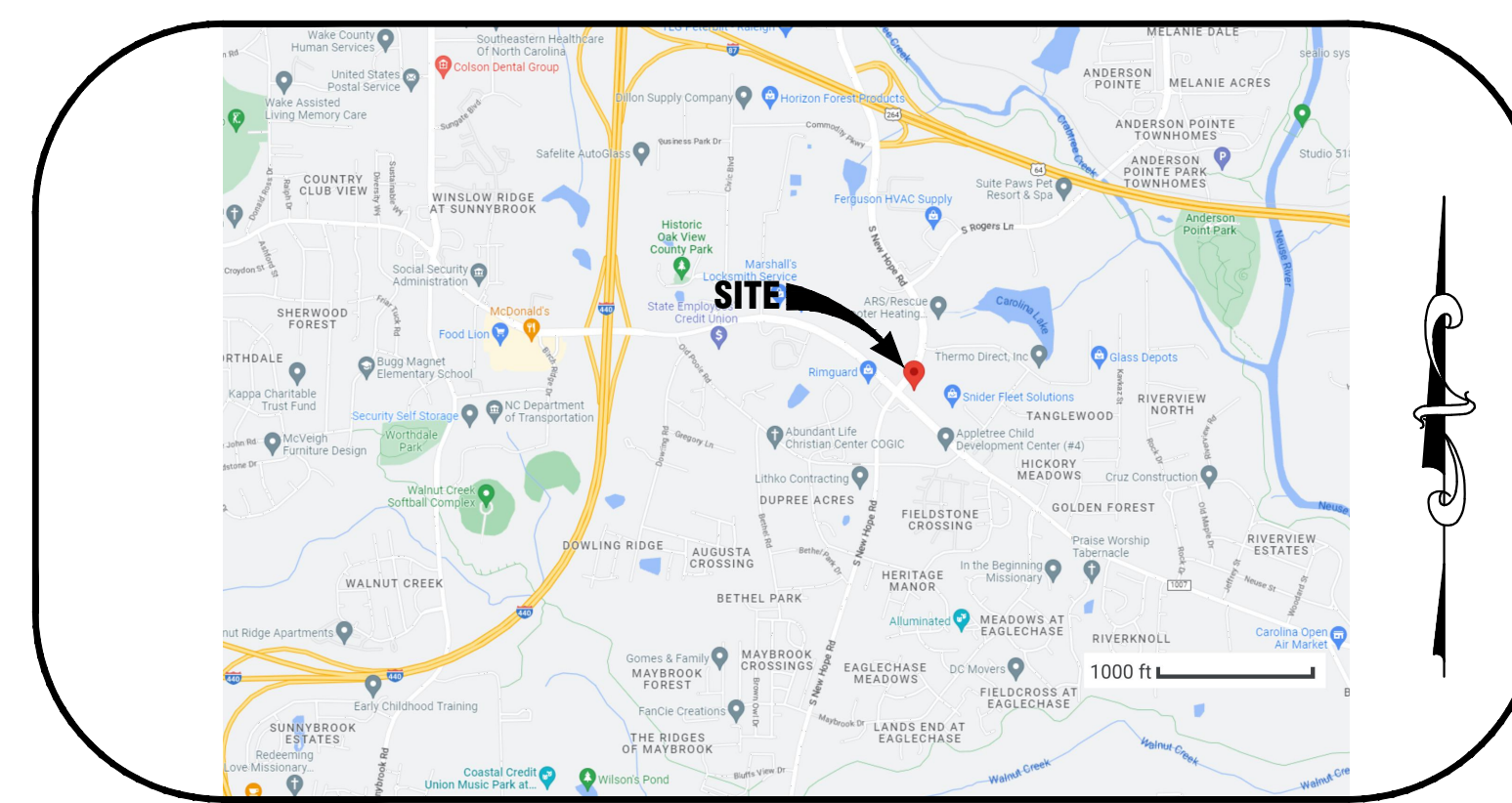
ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

## FLOOD CERTIFICATION:

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP 3720173300J, DATED 05/02/2006

## NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION DEPARTMENT AT (870) 866-7176 (GAVEN BALLINGER). SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.



Vicinity Map

## PLAN INDEX:

ENGINEER (CIVIL)	
C-0	COVER SHEET
C-1	SITE PLAN
S-1	SURVEY
S-2	SURVEY
C-2	DEMOLITION PLAN
C-3	GRADING PLAN
C-3.1	STORM SEWER PLAN
C-3.2	STORMWATER PLAN
C-6	UTILITY PLAN
LP-1	LANDSCAPE PLAN
L-1.0	PHOTOMETRIC PLAN

## RESOURCE LIST:

<b>PLANNING AND ZONING</b> CITY OF RALEIGH ONE EXCHANGE PLAZA SUITE 300 RALEIGH, NC 27601 CONTACT: DANIEL STEGALL PHONE: 919-996-2712 DANIEL.STEGALL@RALEIGHNC.GOV	<b>BUILDING</b> CITY OF RALEIGH ONE EXCHANGE PLAZA SUITE 400 RALEIGH, NC 27601 CONTACT: BRYAN ROBINSON PHONE: 919-996-2445 BRYAN.ROBINSON@RALEIGHNC.GOV	<b>CIVIL ENGINEER</b> GREENBERGFARROW 21 SOUTH EVERGREEN AVENUE, SUITE 200 ARLINGTON HEIGHTS, IL 60005 CONTACT: JAMES COYLE PHONE: 847-788-9200 JCOYLE@GREENBERGFARROW.COM
<b>STORMWATER</b> CITY OF RALEIGH ONE EXCHANGE PLAZA SUITE 801 RALEIGH, NC 27601 CONTACT: LAUREN POOLE PHONE: 919-996-4019 LAUREN.POOLE@RALEIGHNC.GOV	<b>FIRE PREVENTION</b> CITY OF RALEIGH DILLON BUILDING 310 W. MARTIN STREET SUITE 200 RALEIGH, NC 27601 CONTACT: CHARLES KNEESHAW CHARLES.KNEESHAW@RALEIGHNC.GOV	<b>BUILDING/CANOPY MANUFACTURER</b> FREY-MOSS STRUCTURES 1801 ROCKDALE INDUSTRIAL BOULEVARD CONYERS, GA 30012 PHONE: (770) 483-7543
<b>WATER AND SEWER</b> RALEIGH PUBLIC UTILITIES DEPARTMENT ONE EXCHANGE PLAZA RALEIGH, NC 27601 CONTACT: BRIAN CASEY PHONE: 919-996-2207 BRIAN.CASEY@RALEIGHNC.GOV PUBLICUTILITIES@RALEIGHNC.GOV	<b>ELECTRIC</b> DUKE ENERGY CONTACT: TYLER HARDEE PHONE: 919-605-7288 TYLER.HARDEE@DUKE-ENERGY.COM	<b>HEALTH DEPARTMENT</b> NC DHHS/DIVISION OF PUBLIC HEALTH ENVIRONMENTAL HEALTH SECTION FOOD PROTECTION PROGRAM 1632 MAIL SERVICE CENTER RALEIGH, NC 27699 CONTACT: JEFF JONES PHONE: 919-707-5854 JEFF.JONES@DHHS.NC.GOV
<b>TELEPHONE</b> MURPHY OIL INC. CONTACT: SAMUEL RAYNES PHONE: 870-881-6782	<b>MURPHY (OWNER)</b> 200 PEACH ST. EL DORADO, AR 71730 CONTACT: PHONE:	<b>BUILDING/CANOPY DESIGN</b> GREENBERGFARROW 92 EAST MAIN STREET, SUITE 410 SOMERVILLE, NJ 08876 CONTACT: CHRIS CERBO PHONE: (732) 537-0811
<b>SPECTRUM</b> 813-519-0817/833-941-3665 SPECTRUM.COM/PHONE-SERVICE/ NORTH-CAROLINA/RALEIGH	<b>GEOTECH</b> UNITED CONSULTING 625 HOLCOMB BRIDGE ROAD NORCROSS, GA 30071 CONTACT: PHONE: 770-209-0029	<b>TANK AND PRODUCT PIPING</b> GALLOWAY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111 CONTACT: DAVE JONES PHONE: (303) 770-8884
<b>DEVELOPER</b> MURPHY OIL USA 200 PEACH STREET P.O. BOX 7000 EL DORADO, AR 71730	<b>PROPERTY OWNER/LANDLORD</b> B&M PROPERTIES OF NC LLC 411 WESLEY ROAD GREENVILLE, NC 27858	

BASED ON A SURVEY BY:

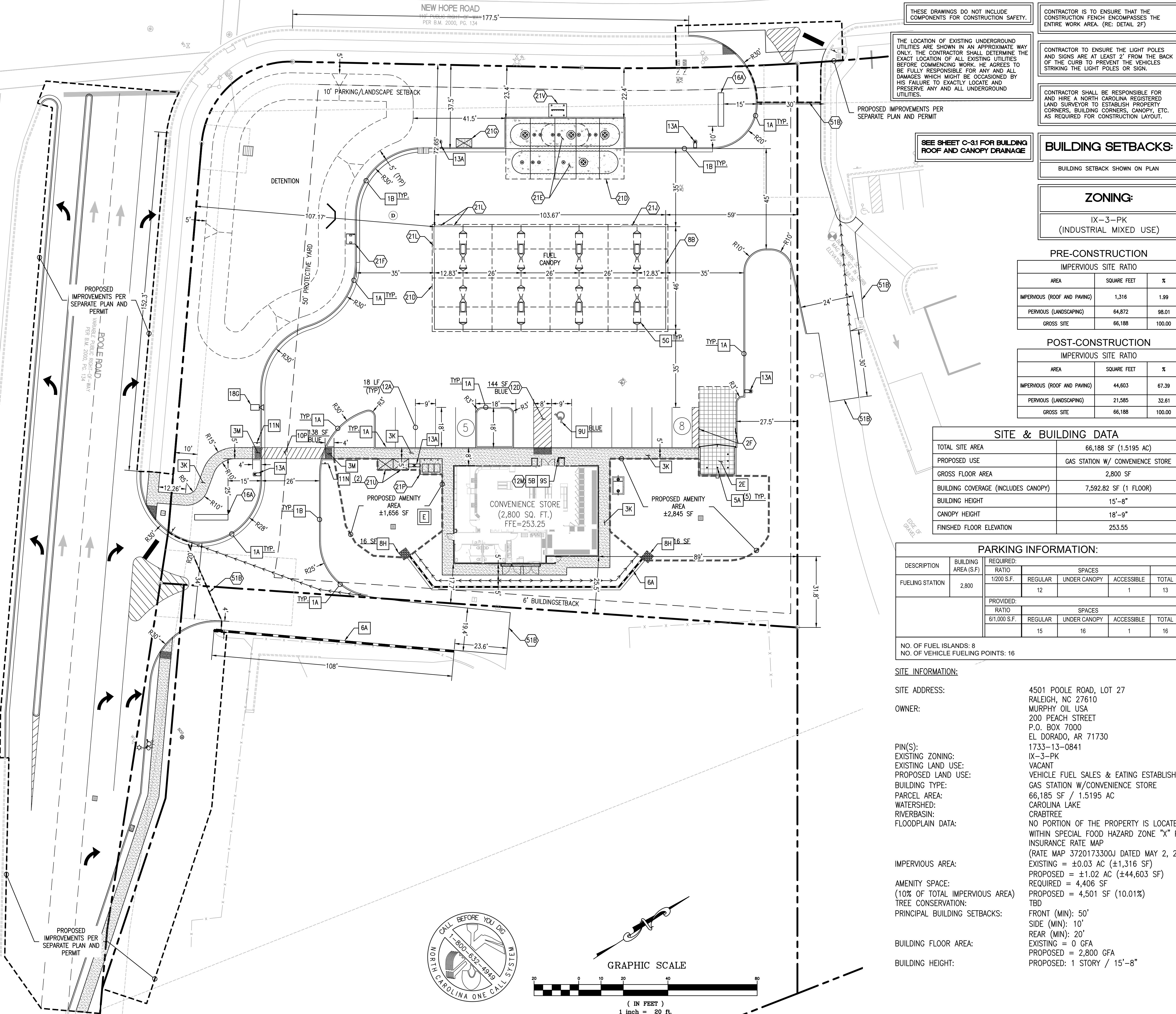
BECHTLER GREENFIELD SOUTHEAST, LLLP  
 1430 WEST PEACHTREE ST, NW, SUITE 225  
 ATLANTA, GA 30309  
 PHONE: (770) 422-8101  
 JULY 26, 2022

REVISION	DATE	DESCRIPTION
REV-0	03/14/2023	ASR SUBMITTAL

JOB NO.: 20220629.0  
 DATE: 03-14-23  
 SHEET NO.: REV-0 C-00



CONTACT: WILLIAM LOTZ  
 1230 PEACHTREE ST. NE, SUITE 2900  
 ATLANTA, GA 30309



# 2800SF-8S-2017v2

### LEGEND

EXISTING	
(Symbol)	EXISTING BUILDING
(Symbol)	CURB LINE
(Symbol)	TREE LINE
(Symbol)	MEASURED DATA
(Symbol)	RECORDED DATA
(Symbol)	EXISTING 5 FOOT CONTOUR
(Symbol)	EXISTING GRADE SPOT ELEVATION
(Symbol)	STORM SEWER LINE
(Symbol)	STORM DRAIN PIPE W/ HEADWALL
(Symbol)	DRAINAGE MANHOLE
(Symbol)	DRAINAGE CATCH BASIN
(Symbol)	WATER LINE
(Symbol)	OVERHEAD ELECTRIC LINE
(Symbol)	UNDERGROUND TELE. LINE
(Symbol)	FIBER OPTIC CABLE
(Symbol)	SANITARY SEWER LINE
(Symbol)	SANITARY CLEAN-OUT (SCO)
(Symbol)	SANITARY SEWER MANHOLE
(Symbol)	UTILITY POLE & GUY
(Symbol)	LIGHT POLE (LP)
(Symbol)	ELECTRICAL TRANSFORMER BOX
(Symbol)	ELECTRICAL METER
(Symbol)	TELEPHONE MANHOLE/PEDESTAL
(Symbol)	FIRE HYDRANT
(Symbol)	WATER VALVE
(Symbol)	WATER METER
(Symbol)	GAS VALVE
(Symbol)	GAS METER
(Symbol)	MONITORING WELL
(Symbol)	MAILBOX
(Symbol)	STREET SIGN
(Symbol)	TRAFFIC SIGNAL POLE
(Symbol)	TRAFFIC SIGNAL BOX
(Symbol)	BACKFLOW PREVENTER
(Symbol)	FIBER OPTIC BOX
(Symbol)	IRRIGATION CONTROL VALVE
(Symbol)	PROPERTY MONUMENT
(Symbol)	R/W RIGHT-OF-WAY
(Symbol)	R/SF REAR FIN FOUND
(Symbol)	R/BS REAR FIN SET
(Symbol)	CMP CORRUGATED METAL PIPE
(Symbol)	R/CP REINFORCED CONC. PIPE
(Symbol)	HOPE HIGH-DENS. POLYETHYLENE PIPE
(Symbol)	DIP DUCTILE IRON PIPE
(Symbol)	PVC POLYVINYL CHLORIDE PIPE

### PROPOSED

IMPERVIOUS SITE RATIO	
AREA	SQUARE FEET
IMPERVIOUS (ROOF AND PAVING)	1,316
PERVIOUS (LANDSCAPING)	64,872
GROSS SITE	66,188
	100.00

### POST-CONSTRUCTION

IMPERVIOUS SITE RATIO	
AREA	SQUARE FEET
IMPERVIOUS (ROOF AND PAVING)	44,603
PERVIOUS (LANDSCAPING)	21,585
GROSS SITE	66,188
	100.00

### SITE & BUILDING DATA

TOTAL SITE AREA	66,188 SF (1.5195 AC)
PROPOSED USE	GAS STATION W/ CONVENIENCE STORE
GROSS FLOOR AREA	2,800 SF
BUILDING COVERAGE (INCLUDES CANOPY)	7,592.82 SF (1 FLOOR)
BUILDING HEIGHT	15'-8"
CANOPY HEIGHT	18'-9"
FINISHED FLOOR ELEVATION	253.55

### PARKING INFORMATION:

DESCRIPTION	BUILDING AREA (S.F.)	REQUIRED RATIO				TOTAL
		1/200 S.F.	REGULAR	UNDER CANOPY	ACCESSIBLE	
FUELING STATION	2,800	12	1	1	13	

RATIO	SPACES				TOTAL
	REGULAR	UNDER CANOPY	ACCESSIBLE	TOTAL	
6/1,000 S.F.	15	16	1	16	

NO. OF FUEL ISLANDS: 8  
NO. OF VEHICLE FUELING POINTS: 16

### SITE INFORMATION:

SITE ADDRESS: 4501 POOLE ROAD, LOT 27 RALEIGH, NC 27610

OWNER: MURPHY OIL USA 200 PEACH STREET P.O. BOX 7000 EL DORADO, AR 71730

PIN(S): 1733-13-0841

EXISTING ZONING: IX-3-PK

EXISTING LAND USE: VACANT

PROPOSED LAND USE: VEHICLE FUEL SALES & EATING ESTABLISHMENT

BUILDING TYPE: GAS STATION W/CONVENIENCE STORE

PARCEL AREA: 66,185 SF / 1.5195 AC

WATERSHED: CAROLINA LAKE

RIVERBASIN: CRABTREE

FLOODPLAIN DATA: NO PORTION OF THE PROPERTY IS LOCATED WITHIN SPECIAL FOOD HAZARD ZONE "X" PER INSURANCE RATE MAP (RATE MAP 3720173300U DATED MAY 2, 2006)

IMPERVIOUS AREA: EXISTING = ±0.03 AC (±1,316 SF)  
PROPOSED = ±1.02 AC (±44,603 SF)

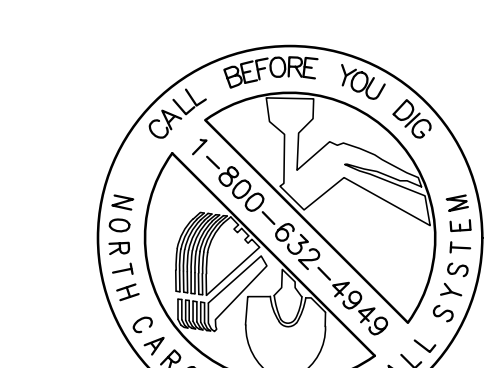
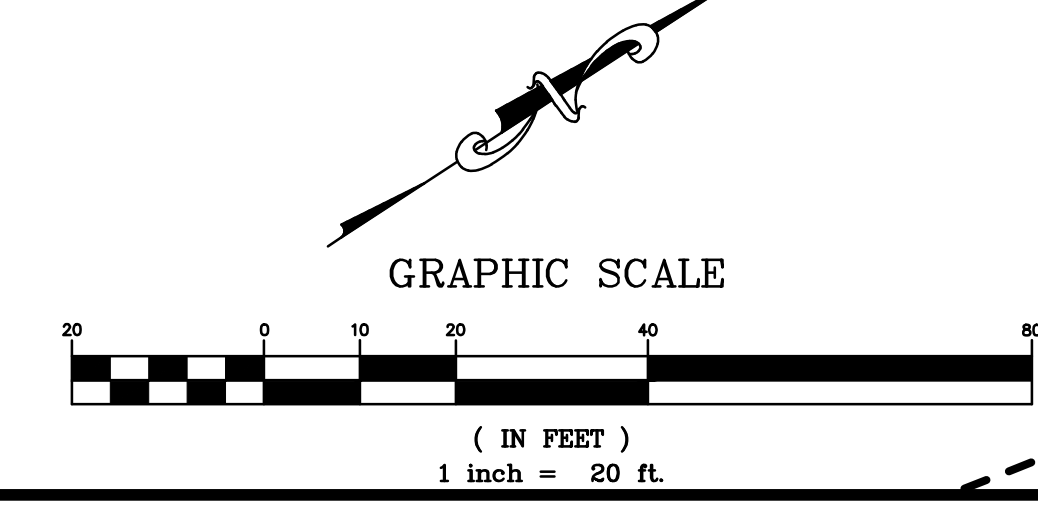
AMENITY SPACE: (10% OF TOTAL IMPERVIOUS AREA)  
REQUIRED = 4,406 SF  
PROPOSED = 4,501 SF (10.01%)

TREE CONSERVATION: TBD

PRINCIPAL BUILDING SETBACKS: FRONT (MIN): 50'  
SIDE (MIN): 10'  
REAR (MIN): 20'

BUILDING FLOOR AREA: EXISTING = 0 GFA  
PROPOSED = 2,800 GFA

BUILDING HEIGHT: PROPOSED: 1 STORY / 15'-8"



- ### GENERAL SITE NOTES
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
  - ALL CURB RETURN RADI SHALL BE 5', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
  - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON:
    - ALL CURB ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 1A.
    - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.
    - SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND LAYOUT.
  - CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
  - CONTRACTOR TO PROTECT EXISTING LANDSCAPE/IRRIGATION METER.
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. F ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
  - CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
  - ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAILS 10A AND 10B.

- ### SITE NOTES
- DRILL (2) 3/4" x 4" DIA. HOLES ONE EACH FOR OPEN POSITION & CLOSED POSITION OF GATES TO BE USED ON BOTH SIDES OF GATE. SEE DUMPSTER DETAIL.
  - OVERHEAD CANOPY - (TYP-PER CANOPY PLANS)
  - 4" TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
  - 4" WIDE PAINTED STRIPES. 2.0' O.C. @ 45° (SEE SIZE COLOR INDICATED AT SYMBOL).
  - CONTRACTOR TO ENSURE THAT ANY LIGHT POLES OR HANDICAP PARKING SIGNS ARE AT LEAST 2' FROM BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THESE ITEMS.
  - MURPHY OIL PYLON SIGN PER APPROVED ELEVATION
  - TAPER CURB TO MATCH EXISTING CURB
  - EDGE OF CONCRETE SLAB PER TANK/PIPING PLANS.
  - UNDERGROUND STORAGE TANKS (1) 25,000 GAL-REGULAR, (1) 8,000 GAL-PREMIUM, (1) 10,000 GAL-DIESEL, (1) 8,000 GAL-E-O.
  - ATM
  - AIR VACUUM UNIT WITH 4' x 7' CONCRETE SLAB
  - MURPHY USA ID SIGN PER APPROVED ELEVATION
  - PRICE SIGN PER APPROVED ELEVATION
  - 5' x 10' CONCRETE PAD FOR PROPANE TANKS
  - 5' x 7' CONCRETE PAD FOR ICE UNIT. SEE NUMBER INDICATED AT SYMBOL.
  - CONCRETE PAD FOR VENT RISERS PER TANK & PIPING PLANS
  - LIMITS OF SAWCUT AND PAVEMENT REMOVAL

- ### SITE DETAILS
- INTEGRAL CURB
  - TYPE "B" CONCRETE CURB & GUTTER
  - DUMPSTER ENCLOSURE
  - WHEELCHAIR RAMP IN SIDEWALK (PERPENDICULAR TO DRIVEWAY CURB)
  - CONCRETE SIDEWALK
  - WHEELCHAIR RAMP IN SIDEWALK
  - BOLLARD
  - TRAFFIC SIGN IN BOLLARD
  - U-BUFFER
  - RETAINING WALL
  - CRUSHED STONE
  - ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN (TYP.)
  - ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL)
  - VESTIBULE CROSSWALK STRIPING
  - "PEDESTRIAN CROSSING" SIGN
  - 11N
  - SITE LIGHT POLE. SEE PHOTOMETRIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE, AND MOUNTING DETAILS.
  - CONSTRUCTION CAMERA LOCATION. (FINAL LOCATION TO BE DETERMINED BY MURPHY PM)

SHEET NO. C-1.0

MURPHY OIL USA, INC.

21 SOUTHWESTGREEN AVE, SUITE 200, RALEIGH HEIGHTS, IL 60005

JOB NO. 2022629.0

MURPHY OIL USA

200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730

RALEIGH NC 27610

DATE: 03-14-23

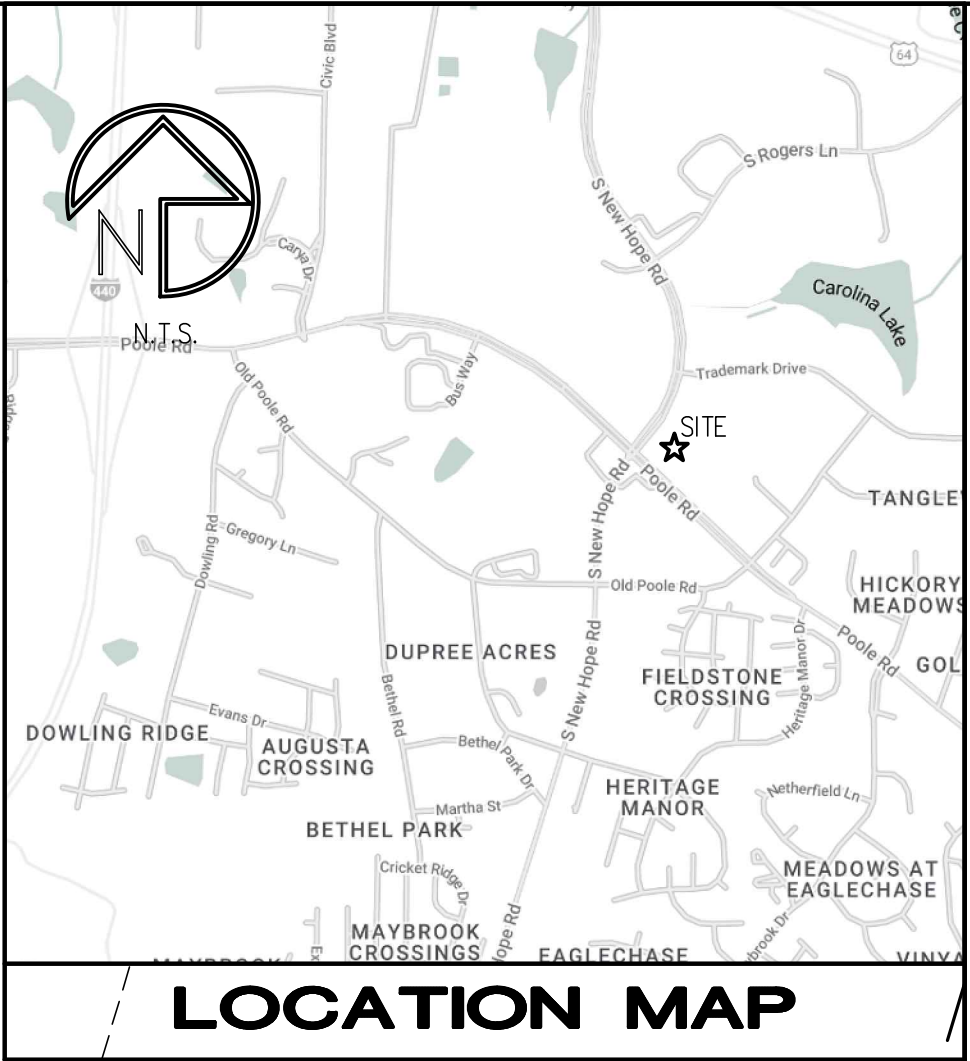
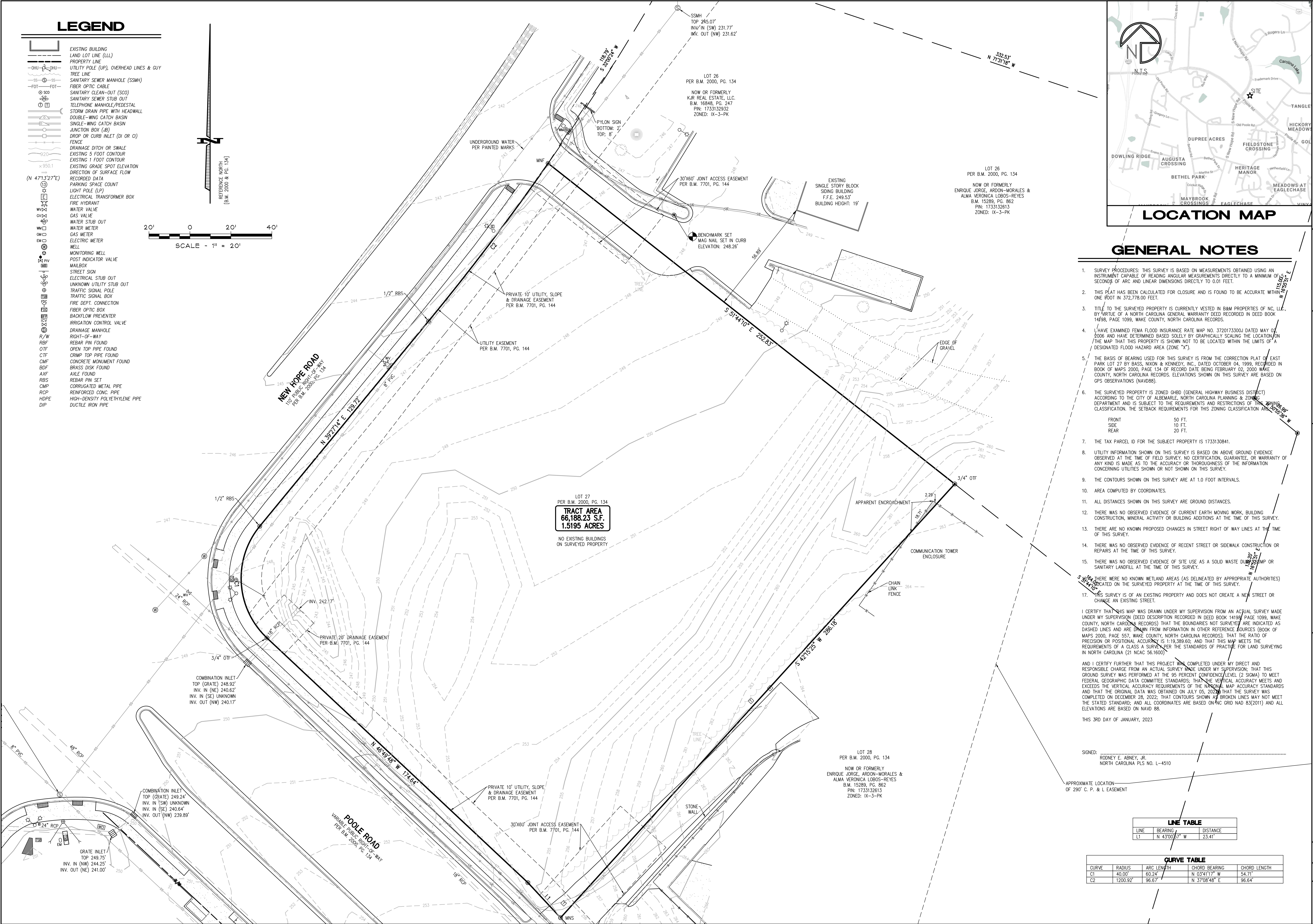
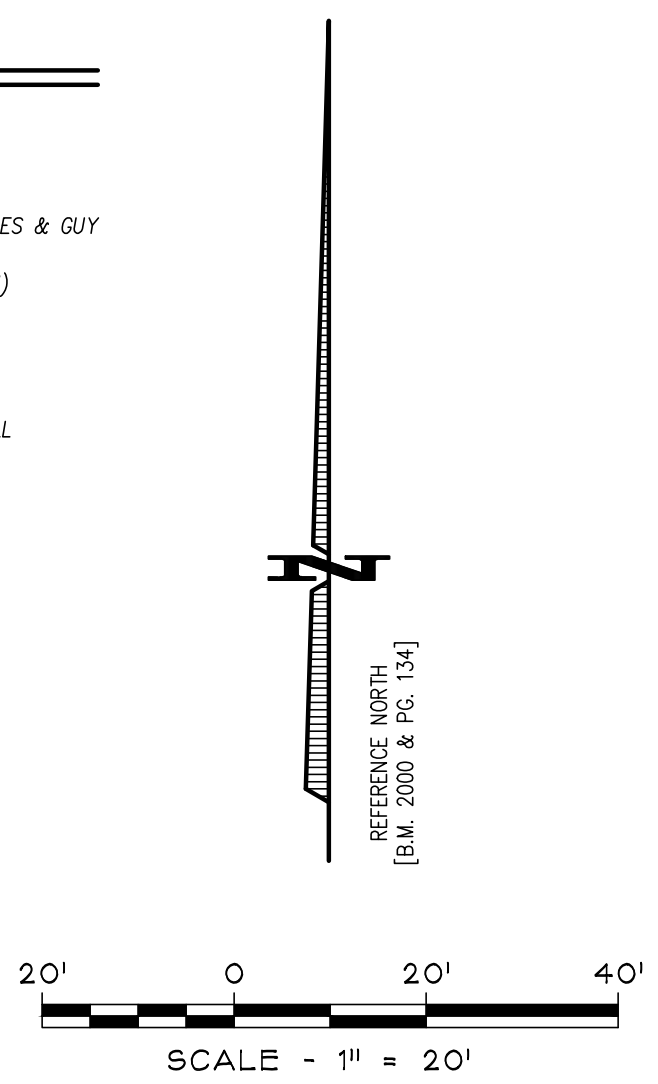
DESCRIPTION: ASR SUBMITAL

REVISION RECORD:

REV.	DATE	DESCRIPTION
REV-0	03-14-23	ASR SUBMITAL

**LEGEND**

- EXISTING BUILDING
- LAND LOT LINE (LL)
- PROPERTY LINE
- UTILITY POLE (UP), OVERHEAD LINES & GUY
- TREE LINE
- SANITARY SEWER MANHOLE (SSMH)
- FIBER OPTIC CABLE
- SANITARY CLEAN-OUT (SCO)
- SANITARY SEWER STUB OUT
- TELEPHONE MANHOLE/PEDESTAL
- STORM DRAIN PIPE WITH HEADWALL
- DOUBLE-WING CATCH BASIN
- SINGLE-WING CATCH BASIN
- JUNCTION BOX (JB)
- DROP OR CURB INLET (DI OR CI)
- FENCE
- DRAINAGE DITCH OR SWALE
- EXISTING 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING GRADE SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- RECORDED DATA
- PARKING SPACE COUNT
- LIGHT POLE (LP)
- ELECTRICAL TRANSFORMER BOX
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- WATER STUB OUT
- WATER METER
- GAS METER
- ELECTRIC METER
- WELL
- MONITORING WELL
- POST INDICATOR VALVE
- MAILBOX
- STREET SIGN
- ELECTRICAL STUB OUT
- UNKNOWN UTILITY STUB OUT
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL BOX
- FIRE DEPT. CONNECTION
- FIBER OPTIC BOX
- BACKFLOW PREVENTER
- IRRIGATION CONTROL VALVE
- DRAINAGE MANHOLE
- RIGHT-OF-WAY
- REBAR PIN FOUND
- OPEN TOP PIPE FOUND
- CRMP TOP PIPE FOUND
- CONCRETE MONUMENT FOUND
- BRASS DISK FOUND
- AXL FOUND
- RBS
- REBAR PIN SET
- CRMP
- REINFORCED CONC. PIPE
- HDPE
- DIP
- DUCTILE IRON PIPE



**GENERAL NOTES**

1. SURVEY PROCEDURES: THIS SURVEY IS BASED ON MEASUREMENTS OBTAINED USING AN INSTRUMENT CAPABLE OF READING ANGULAR MEASUREMENTS DIRECTLY TO A MINIMUM OF 5 SECONDS OF ARC AND LINEAR DIMENSIONS DIRECTLY TO 0.01 FEET.
2. THIS PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 372,778.00 FEET.
3. TITLE TO THE SURVEYED PROPERTY IS CURRENTLY VESTED IN B&M PROPERTIES OF NC, L.L.C. BY VIRTUE OF A NORTH CAROLINA GENERAL WARRANTY DEED RECORDED IN DEED BOOK 1498, PAGE 1099, WAKE COUNTY, NORTH CAROLINA RECORDS.
4. I HAVE EXAMINED FEMA FLOOD INSURANCE RATE MAP NO. 3720173300J DATED MAY 07, 2006 AND HAVE DETERMINED BASED SOLELY BY GRAPHICALLY SCALING THE LOCATION ON THE MAP THAT THIS PROPERTY IS SHOWN NOT TO BE LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA (ZONE "X").
5. THE BASIS OF BEARING USED FOR THIS SURVEY IS FROM THE CORRECTION PLAT OF EAST PARK LOT 27 BY BASS, NIXON & KENNEDY, INC., DATED OCTOBER 04, 1999, RECORDED IN BOOK OF MAPS 2000, PAGE 134 OF RECORD DATE BEING FEBRUARY 02, 2000 WAKE COUNTY, NORTH CAROLINA RECORDS. ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON GPS OBSERVATIONS (NAVD88).
6. THE SURVEYED PROPERTY IS ZONED GHBD (GENERAL HIGHWAY BUSINESS DISTRICT) ACCORDING TO THE CITY OF ALBEMARLE, NORTH CAROLINA PLANNING & ZONING DEPARTMENT AND IS SUBJECT TO THE REQUIREMENTS AND RESTRICTIONS OF THE ZONING CLASSIFICATION. THE SETBACK REQUIREMENTS FOR THIS ZONING CLASSIFICATION ARE:
 

FRONT	50 FT.
SIDE	10 FT.
REAR	20 FT.
7. THE TAX PARCEL ID FOR THE SUBJECT PROPERTY IS 1733130841.
8. UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED ON ABOVE GROUND EVIDENCE OBSERVED AT THE TIME OF FIELD SURVEY. NO CERTIFICATION, GUARANTEE, OR WARRANTY OF ANY KIND IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UTILITIES SHOWN OR NOT SHOWN ON THIS SURVEY.
9. THE CONTOURS SHOWN ON THIS SURVEY ARE AT 1.0 FOOT INTERVALS.
10. AREA COMPUTED BY COORDINATES.
11. ALL DISTANCES SHOWN ON THIS SURVEY ARE GROUND DISTANCES.
12. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION, MINERAL ACTIVITY OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
13. THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AT THE TIME OF THIS SURVEY.
14. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THIS SURVEY.
15. THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP OR SANITARY LANDFILL AT THE TIME OF THIS SURVEY.
16. THERE WERE NO KNOWN WETLAND AREAS (AS DELINEATED BY APPROPRIATE AUTHORITIES) LOCATED ON THE SURVEYED PROPERTY AT THE TIME OF THIS SURVEY.
17. THIS SURVEY IS OF AN EXISTING PROPERTY AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 14198, PAGE 1099, WAKE COUNTY, NORTH CAROLINA RECORDS) THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DASHED LINES AND ARE DERIVED FROM INFORMATION IN OTHER REFERENCE SOURCES (BOOK OF MAPS 2000, PAGE 557, WAKE COUNTY, NORTH CAROLINA RECORDS); THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:19,389.60; AND THAT THIS MAP MEETS THE REQUIREMENTS OF A CLASS A SURVEY UNDER THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600).

AND I CERTIFY FURTHER THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL (2 SIGMA) TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THE VERTICAL ACCURACY MEETS AND EXCEEDS THE VERTICAL ACCURACY REQUIREMENTS OF THE NATIONAL MAP ACCURACY STANDARDS AND THAT THE ORIGINAL DATA WAS OBTAINED ON JULY 05, 2022; THAT THE SURVEY WAS COMPLETED ON DECEMBER 28, 2022; THAT CONTOURS SHOWN AS BROKEN LINES MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NC GRID NAD 83(2011) AND ALL ELEVATIONS ARE BASED ON NAVD 88.

THIS 3RD DAY OF JANUARY, 2023

SIGNED: \_\_\_\_\_  
ROONEY E. ARNEY, JR.  
NORTH CAROLINA PLS NO. L-4510

APPROXIMATE LOCATION OF 290' C. P. & L. EASEMENT

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 43°00'57" W	23.41'

**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	40.00'	60.24'	N 03°41'17" W	54.71'
C2	1200.92'	96.67'	N 37°08'48" E	96.64'

**Bechtler Greenfield Southeast, LLLP**  
1430 West Peachtree St. NW, Suite 225  
Atlanta, Georgia 30309  
Phone: 770.702.2581  
Fax: 770.702.2581  
Email: info@gsurveying.com

**BOUNDARY & TOPOGRAPHIC FOR**

DRAWING SCALE:	1" = 20' @ 11" x 17"	
FIELDWORK DATE:	07-05-22	
RELEASE DATE:	01-03-23	
FIELDWORK BY:	DWS	
DRAWN BY:	RWS	
CHECKED BY:	PCG	
NO. DATE	REVISIONS	DESCRIPTION
1		
2		
3		
4		

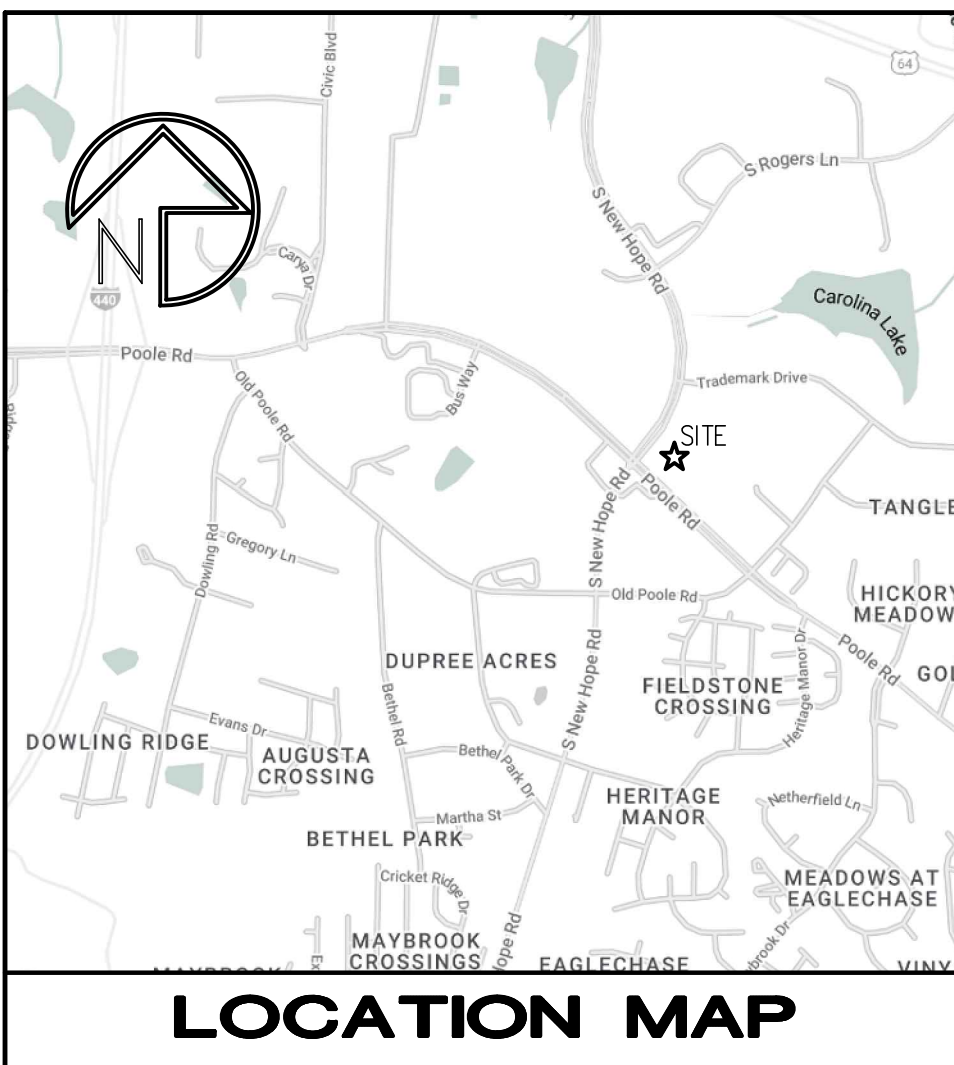
**LOT 27 - BOOK OF MAPS 2000, PAGE 134**  
**4501 POOLE ROAD**  
**RALEIGH, NORTH CAROLINA 27610**  
WAKE COUNTY - NORTH CAROLINA

**MURPHY OIL USA, INC.**

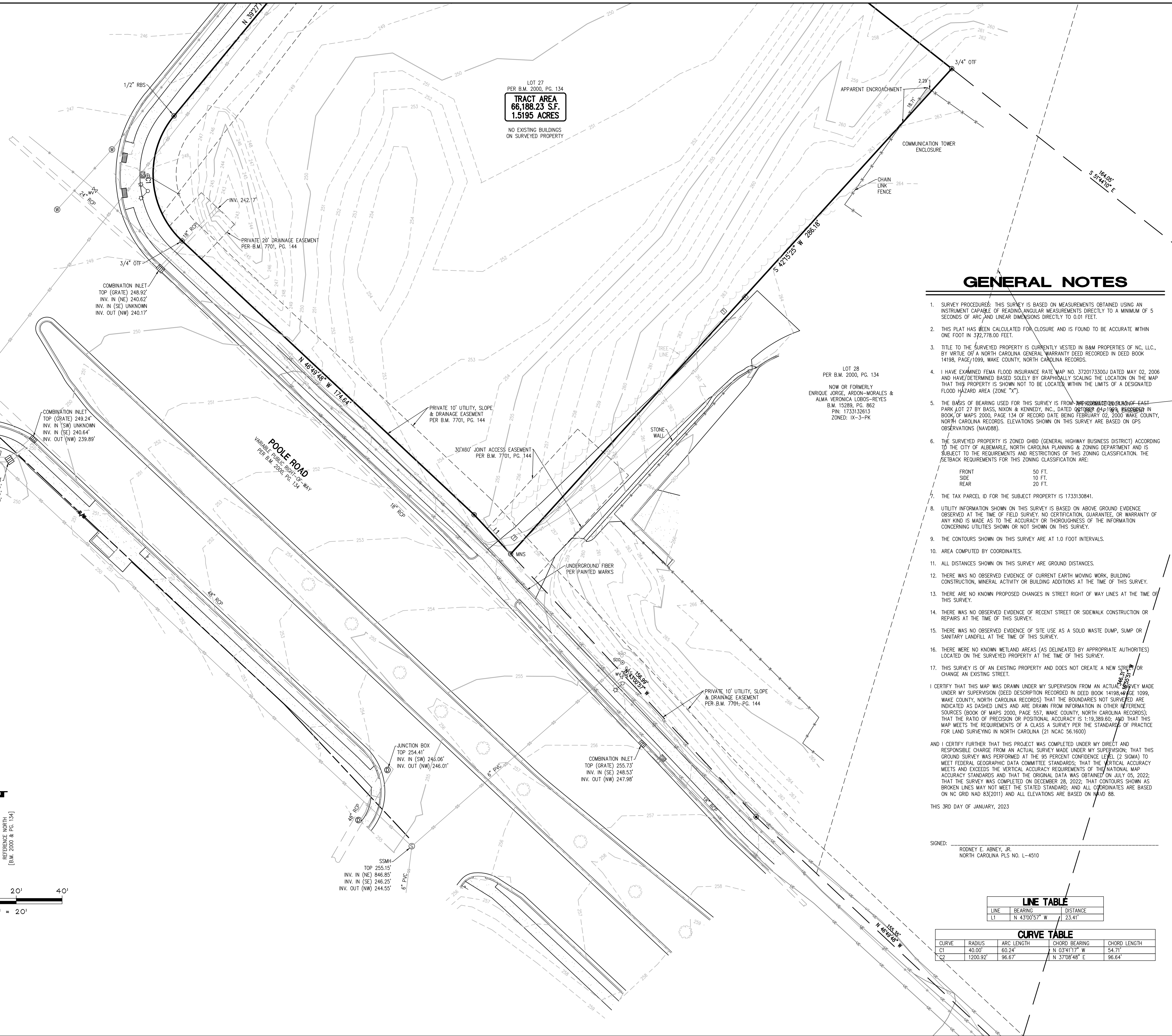
PROJECT NO.  
**22-146-0**

DRAWING FILE:  
22-146-0 Survey.dwg

SHEET NO.  
**S-1**  
1 OF 2



**LOCATION MAP**



**GENERAL NOTES**

1. SURVEY PROCEDURES: THIS SURVEY IS BASED ON MEASUREMENTS OBTAINED USING AN INSTRUMENT CAPABLE OF READING ANGULAR MEASUREMENTS DIRECTLY TO A MINIMUM OF 5 SECONDS OF ARC AND LINEAR DIMENSIONS DIRECTLY TO 0.01 FEET.
2. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 372,778.00 FEET.
3. TITLE TO THE SURVEYED PROPERTY IS CURRENTLY VESTED IN BAM PROPERTIES OF NC, LLC., BY VIRTUE OF A NORTH CAROLINA GENERAL WARRANTY DEED RECORDED IN DEED BOOK 14198, PAGE 1099, WAKE COUNTY, NORTH CAROLINA RECORDS.
4. I HAVE EXAMINED FEMA FLOOD INSURANCE RATE MAP NO. 3720173300J DATED MAY 02, 2006 AND HAVE DETERMINED BASED SOLELY BY GRAPHICALLY SCALING THE LOCATION ON THE MAP THAT THIS PROPERTY IS SHOWN NOT TO BE LOCATED WITHIN THE LIMITS OF A DESIGNATED FLOOD HAZARD AREA (ZONE "X").
5. THE BASIS OF BEARING USED FOR THIS SURVEY IS FROM THE COMBINATION OF EAST PARK LOT 27 BY BASS, NIXON & KENNEDY, INC., DATED 08/28/94, RECORDED IN BOOK OF MAPS 2000, PAGE 134 OF RECORD DATE BEING FEBRUARY 02, 2000 WAKE COUNTY, NORTH CAROLINA RECORDS. ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON GPS OBSERVATIONS (NAVD88).
6. THE SURVEYED PROPERTY IS ZONED GHBD (GENERAL HIGHWAY BUSINESS DISTRICT) ACCORDING TO THE CITY OF ALBEMARLE, NORTH CAROLINA PLANNING & ZONING DEPARTMENT AND IS SUBJECT TO THE REQUIREMENTS AND RESTRICTIONS OF THIS ZONING CLASSIFICATION. THE SETBACK REQUIREMENTS FOR THIS ZONING CLASSIFICATION ARE:
 

FRONT	50 FT.
SIDE	10 FT.
REAR	20 FT.
7. THE TAX PARCEL ID FOR THE SUBJECT PROPERTY IS 1733130841.
8. UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED ON ABOVE GROUND EVIDENCE OBSERVED AT THE TIME OF FIELD SURVEY. NO CERTIFICATION, GUARANTEE, OR WARRANTY OF ANY KIND IS MADE AS TO THE ACCURACY OR THOROUGHNESS OF THE INFORMATION CONCERNING UTILITIES SHOWN OR NOT SHOWN ON THIS SURVEY.
9. THE CONTOURS SHOWN ON THIS SURVEY ARE AT 1.0 FOOT INTERVALS.
10. AREA COMPUTED BY COORDINATES.
11. ALL DISTANCES SHOWN ON THIS SURVEY ARE GROUND DISTANCES.
12. THERE WAS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION, MINERAL ACTIVITY OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
13. THERE ARE NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AT THE TIME OF THIS SURVEY.
14. THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS AT THE TIME OF THIS SURVEY.
15. THERE WAS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF THIS SURVEY.
16. THERE WERE NO KNOWN WETLAND AREAS (AS DELINEATED BY APPROPRIATE AUTHORITIES) LOCATED ON THE SURVEYED PROPERTY AT THE TIME OF THIS SURVEY.
17. THIS SURVEY IS OF AN EXISTING PROPERTY AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 14198, PAGE 1099, WAKE COUNTY, NORTH CAROLINA RECORDS) THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DASHED LINES AND ARE DRAWN FROM INFORMATION IN OTHER REFERENCE SOURCES (BOOK OF MAPS 2000, PAGE 557, WAKE COUNTY, NORTH CAROLINA RECORDS); THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:19,389.60; AND THAT THIS MAP MEETS THE REQUIREMENTS OF A CLASS A SURVEY PER THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 58.1600)

AND I CERTIFY FURTHER THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL (2 SIGMA) TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THE VERTICAL ACCURACY MEETS AND EXCEEDS THE VERTICAL ACCURACY REQUIREMENTS OF THE NATIONAL MAP ACCURACY STANDARDS AND THAT THE ORIGINAL DATA WAS OBTAINED ON JULY 05, 2022; THAT THE SURVEY WAS COMPLETED ON DECEMBER 28, 2022; THAT CONTOURS SHOWN AS BROKEN LINES MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NC GRID NAD 83(2011) AND ALL ELEVATIONS ARE BASED ON NAVD 88.

THIS 3RD DAY OF JANUARY, 2023

SIGNED: RODNEY E. ABNEY, JR.  
NORTH CAROLINA PLS NO. L-4510

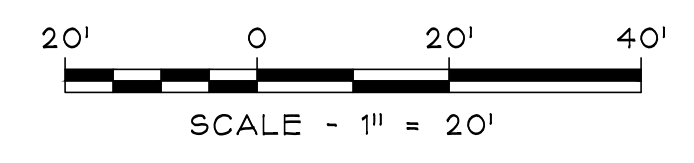
LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 43°00'57" W	23.41'

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	40.00'	60.24'	N 03°41'17" W	54.71'
C2	1200.92'	96.67'	N 37°08'48" E	96.64'

**LEGEND**

- EXISTING BUILDING
- LAND LOT LINE (LLL)
- PROPERTY LINE
- UTILITY POLE (UP), OVERHEAD LINES & GUY
- TREE LINE
- SANITARY SEWER MANHOLE (SSMH)
- FIBER OPTIC CABLE
- SANITARY CLEAN-OUT (SCO)
- SANITARY SEWER STUB OUT
- TELEPHONE MANHOLE/PEDESTAL
- STORM DRAIN PIPE WITH HEADWALL
- DOUBLE-WING CATCH BASIN
- SINGLE-WING CATCH BASIN
- JUNCTION BOX (JB)
- DROP OR CURB INLET (DI OR CI)
- FENCE
- DRAINAGE DITCH OR SWALE
- EXISTING 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- EXISTING GRADE SPOT ELEVATION
- DIRECTION OF SURFACE FLOW
- RECORDED DATA
- PARKING SPACE COUNT
- LIGHT POLE (LP)
- ELECTRICAL TRANSFORMER BOX
- FIRE HYDRANT
- WATER VALVE
- GAS VALVE
- WATER STUB OUT
- WATER METER
- GAS METER
- ELECTRIC METER
- WELL
- MONITORING WELL
- POST INDICATOR VALVE
- MAILBOX
- STREET SIGN
- ELECTRICAL STUB OUT
- UNKNOWN UTILITY STUB OUT
- TRAFFIC SIGNAL POLE
- TRAFFIC SIGNAL BOX
- FIRE DEPT. CONNECTION
- FIBER OPTIC BOX
- BACKFLOW PREVENTER
- IRRIGATION CONTROL VALVE
- DRAINAGE MANHOLE
- RIGHT-OF-WAY
- REBAR PIN FOUND
- OPEN TOP PIPE FOUND
- CRIMP TOP PIPE FOUND
- CONCRETE MONUMENT FOUND
- BRASS DISK FOUND
- AXLE FOUND
- REBAR PIN SET
- CORRUGATED METAL PIPE
- REINFORCED CONC. PIPE
- HIGH-DENSITY POLYETHYLENE PIPE
- DUCTILE IRON PIPE



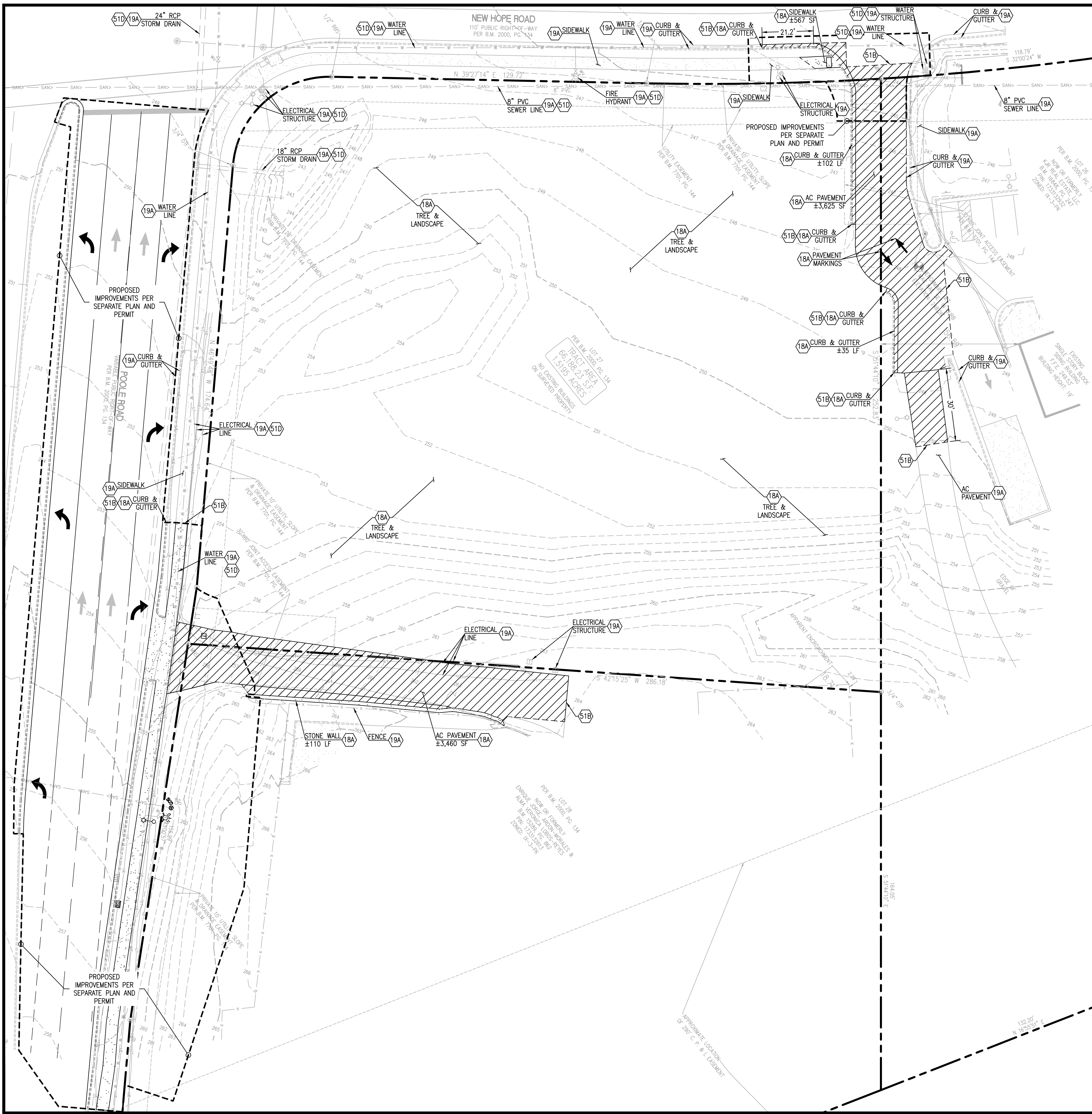
Bechtler Greenfield Southeast, LLLP  
1430 West Peachtree St. NW, Suite 225  
Atlanta, Georgia 30309  
Phone: (770) 222-8181  
Fax: (770) 222-8181  
Email: info@gsurveying.com

DRAWING SCALE:	1" = 20' FT.
FIELDWORK DATE:	01-03-23
RELEASE DATE:	01-03-23
FIELDWORK BY:	RWS
DRAWN BY:	DAW
CHECKED BY:	PCG
NO. DATE	REVISIONS DESCRIPTION
1	
2	
3	
4	

LOT 27 - BOOK OF MAPS 2000, PAGE 134  
4501 POOLE ROAD  
RALEIGH, NORTH CAROLINA 27610  
WAKE COUNTY - NORTH CAROLINA

BOUNDARY & TOPOGRAPHIC FOR  
**MURPHY OIL USA, INC.**

PROJECT NO.  
**22-146-0**  
DRAWING FILE:  
22-146-0 Survey.dwg  
SHEET NO.  
**S-2**  
2 OF 2



THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY

SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

EXISTING			
ST	STORM LINE (UNDERGROUND)	SB	SITE BENCHMARK
SS	SANITARY LINE (UNDERGROUND)	FM	FOUND MONUMENT (AS NOTED)
WL	WATER LINE (UNDERGROUND)	SM	SANITARY MANHOLE
UG	GAS LINE (UNDERGROUND)	SMH	STORM MANHOLE
FD	FIBEROPTIC LINE (UNDERGROUND)	WV	WATER VALVE
WF	WOOD FENCE	WM	WATER METER
GR	GUARDRAIL	FPC	FIBEROPTIC PEDESTAL
CA	CONCRETE AREA	S	SIGN
TW	TRAVELED WAY WIDTH	M	MEASURED
YPC	YELLOW PLASTIC CAP	R	RECORD
LS	LANDSCAPE AREA		

PROPOSED	
---	BOUNDARY LINE
///	ASPHALT PAVEMENT REMOVE

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

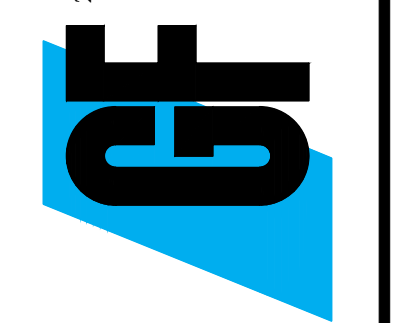
DEMOLITION NOTES	
18A	EXISTING TO BE REMOVED
19A	EXISTING TO REMAIN
51B	LIMITS OF SAWCUT AND PAVEMENT REMOVAL
51D	PROTECT EXISTING STRUCTURES AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES.

SHEET NO. C-2.0

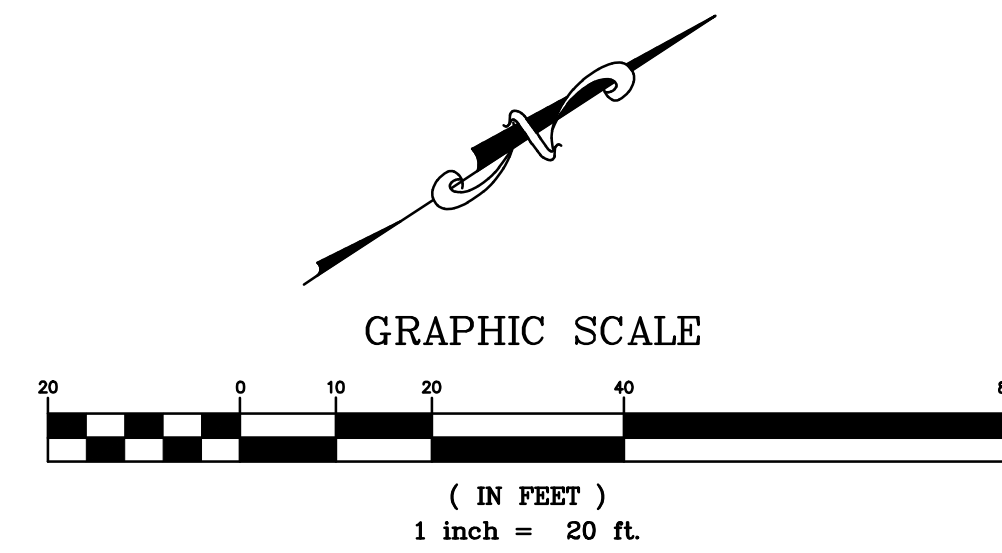
DEMOLITION PLAN  
MURPHY EXPRESS  
4501 POOLE ROAD  
RALEIGH NC 27610

REV	DATE	DESCRIPTION
REV-0	03-14-23	ASR SUBMITTAL

21 SOUTHWESTGREEN AVE, SUITE 200  
ARLINGTON HEIGHTS, IL 60005  
DWC NAME RALEIGH, NC  
JOB NO. 20220629.0



MURPHY OIL USA, INC.  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730  
USA





NEW HOPE ROAD  
110' PUBLIC RIGHT-OF-WAY  
PER B.M. 2000, PG. 134

THESE DRAWINGS DO NOT INCLUDE  
COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND  
UTILITIES ARE SHOWN IN AN APPROXIMATE WAY  
ONLY. THE CONTRACTOR SHALL DETERMINE THE  
EXACT LOCATION OF ALL EXISTING UTILITIES  
BEFORE COMMENCING WORK. HE AGREES TO  
BE FULLY RESPONSIBLE FOR ANY AND ALL  
DAMAGES WHICH MIGHT BE OCCASIONED BY  
HIS FAILURE TO EXACTLY LOCATE AND  
PRESERVE ANY AND ALL UNDERGROUND  
UTILITIES.

ALL CASTINGS SHALL BE COATED WITH BLACK  
ASPHALTIC VARNISH.

SEE SHEET C-31 FOR BUILDING  
ROOF AND CANOPY DRAINAGE

BM  
MAG NAIL SET IN CURB  
ELEVATION = 248.25

**LEGEND**

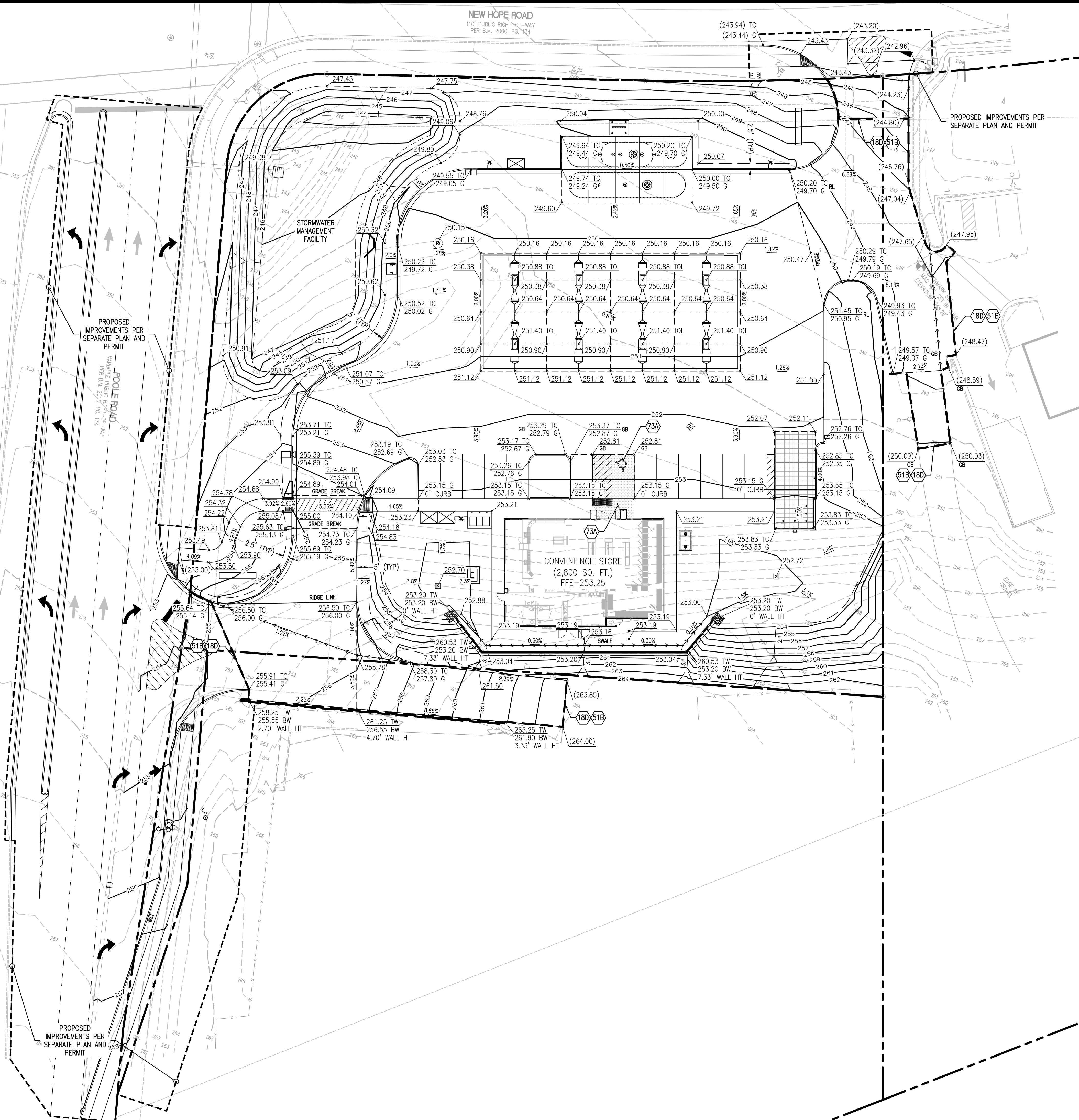
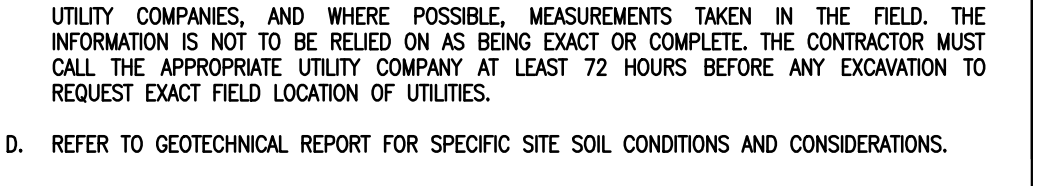
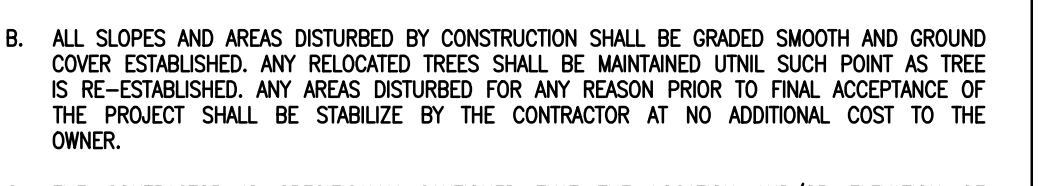
EXISTING		PROPOSED	
	EXISTING BUILDING		PROPERTY LINE
	CURB LINE		GRADE BREAK
	TREE LINE		PROPOSED CONTOUR
	FENCE		LIMITS OF DISTURBANCE
	MEASURED DATA		DRAINAGE SLOPE AND DIRECTION
	RECORDED DATA		SPOT ELEVATIONS:
	EXISTING 5 FOOT CONTOUR		XXXX TC
	EXISTING 1 FOOT CONTOUR		XXXX G
	EXISTING GRADE SPOT ELEVATION		XXXX TOI
	STORM SEWER LINE		XXXX EX
	STORM DRAIN PIPE W/ HEADWALL		XXXX TS
	DRAINAGE MANHOLE		XXXX TW
	DRAINAGE CATCH BASIN		XXXX BW
	WATER LINE		MAXIMUM 2% SLOPES
	UNDERGROUND ELECTRIC LINE		
	OVERHEAD ELECTRIC LINE		
	UNDERGROUND TELE. LINE		
	FIBER OPTIC CABLE		
	SANITARY SEWER LINE		
	SANITARY CLEAN-OUT (SCO)		
	SANITARY SEWER MANHOLE		
	UTILITY POLE & GUY		
	LIGHT POLE (LP)		
	ELECTRICAL TRANSFORMER BOX		
	ELECTRICAL METER		
	TELEPHONE MANHOLE/PEDestal		
	FIRE HYDRANT		
	WATER VALVE		
	WATER METER		
	GAS VALVE		
	GAS METER		
	MONITORING WELL		
	MAIL BOX		
	STREET SIGN		
	TRAFFIC SIGNAL POLE		
	TRAFFIC SIGNAL BOX		
	BACKFLOW PREVENTER		
	FIBER OPTIC BOX		
	IRRIGATION CONTROL VALVE		
	PROPERTY MONUMENT		
	RIGHT-OF-WAY		
	REBAR PIN FOUND		
	REBAR PIN SET		
	CORRUGATED METAL PIPE		
	REINFORCED CONC. PIPE		
	HIGH-DENS. POLYETHYLENE PIPE		
	DUCTILE IRON PIPE		
	POLYVINYL CHLORIDE PIPE		

**GENERAL GRADING NOTES**

- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND GROUND COVER ESTABLISHED. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE STABILIZED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS.
- CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
- ALL HDPE PIPE IN SANDY OR HIGHLY EROSION, OR EXPANSIVE SOILS SHALL BE N-12 WT IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR ASHTO M252 TYPE S) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "N" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATER-TIGHT ACCORDING TO ASTM D3212 (OR ASHTO M252, M294) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WT IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.
- ALL OTHER HDPE PIPE SHALL BE N-12 ST IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR ASHTO M252 TYPE S OR SP) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "N" DESIGN VALUE OF 0.012. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 ST IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.
- IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORMANCE SHALL MEET THE ASHTO CLASS II STANDARD PERFORMANCE PATTERN REQUIREMENTS.
- STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 (WATERTIGHT) UNLESS OTHERWISE INDICATED.
- CORRUGATED METAL PIPE, WHERE SPECIFICALLY SPECIFIED ON PLAN, SHALL BE TYPE II OF ASHTO M 36 GALVANIZED WITH TYPE 3 JOINTS.
- CONTRACTOR SHALL ESTABLISH GRADES OF FINISH PAVEMENT TO ENSURE PROPER (POSITIVE) DRAINAGE AND PREVENT PUDDING OF WATER, SPECIALLY IN PEDESTRIAN WALKWAYS, UNPAVED AREAS OF SITE SHALL ALSO BE GRADED FOR POSITIVE DRAINAGE. CONSULT ENGINEER SHOULD THERE BE CONFLICTS WITH CRITICAL GRADES SHOWN HEREON.
- CONTRACTOR SHALL VERIFY ACTUAL FINISHED FLOOR ELEVATION AFTER BUILDING SET AND NOTIFY ENGINEER AND PM WITHIN 48 HOURS OF ANY DISCREPANCY.
- PIPE JOINTS SHALL BE WRAPPED WITH GEOTEXTILE FABRIC (LAPPED 18")

**GRADING NOTES**

- MATCH EXISTING PAVEMENT ELEVATIONS
- LIMITS OF SAWCUT AND PAVEMENT REMOVAL
- SLOPES CANNOT EXCEED 2% IN ANY DIRECTION OR EXCEED 2% CROSS SLOPES ON SIDEWALKS AND PEDESTRIAN CROSSINGS.

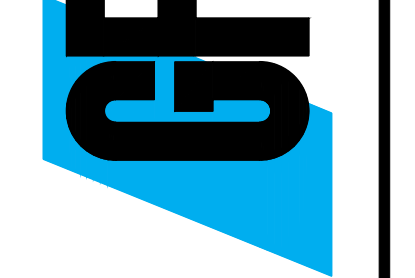


SHEET NO.  
**C-3.0**

GRADING PLAN  
MURPHY EXPRESS  
4501 POOLE ROAD  
RALEIGH NC 27610

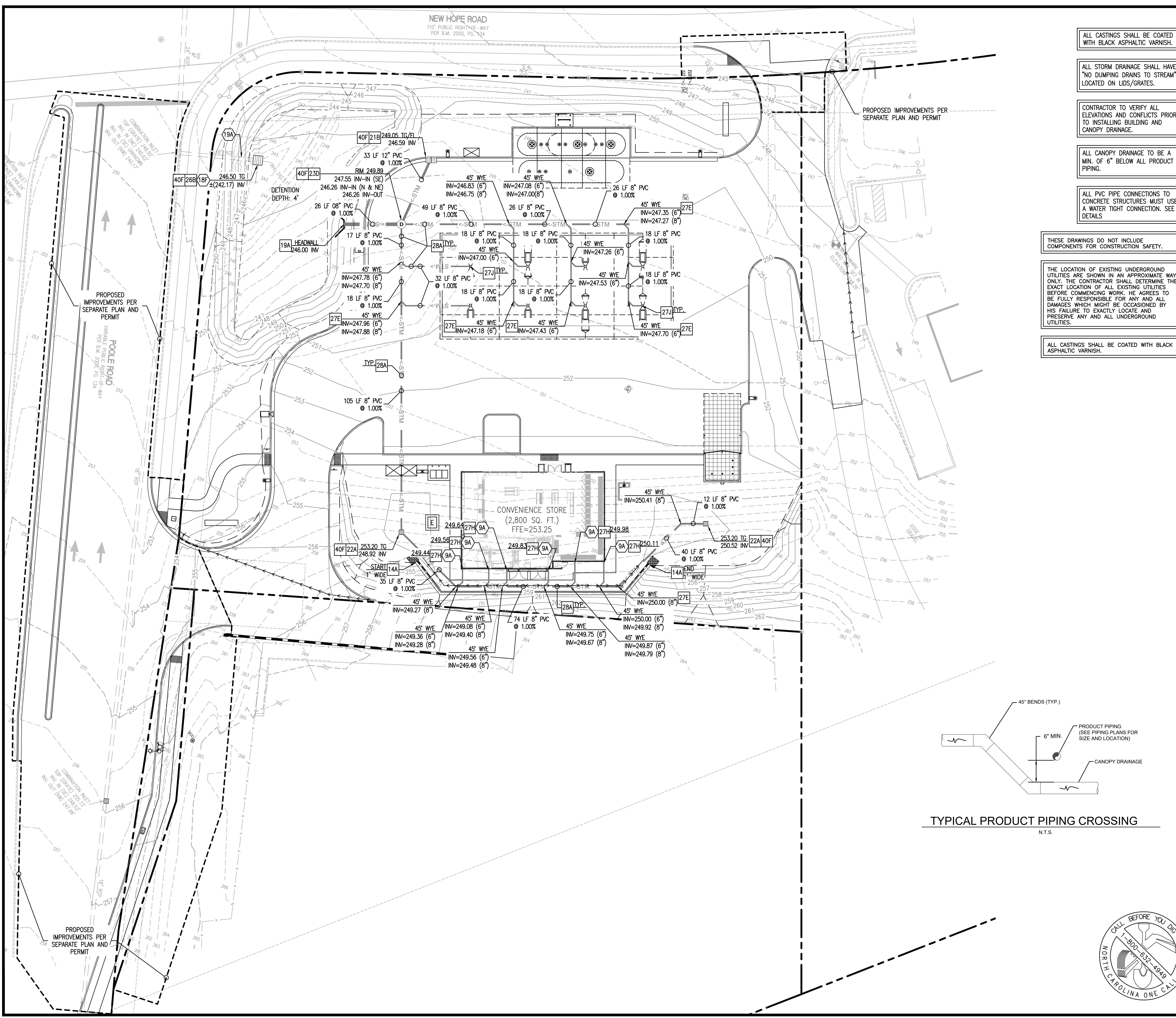
REV	DATE	DESCRIPTION
REV-0	03-14-23	ASR SUBMITTAL

21 SOUTHERN AVENUE, SUITE 200  
ARLINGTON HEIGHTS, IL 60005  
DWC NAME: RALEIGH, NC  
JOB NO.: 20220629.0



MURPHY OIL USA, INC.  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730  
USA

NEW HOPE ROAD  
110' PUBLIC RIGHT-OF-WAY  
PER B.M. 2000, PG. 134



ALL CASTINGS SHALL BE COATED WITH BLACK ASPHALTIC VARNISH.

ALL STORM DRAINAGE SHALL HAVE "NO DUMPING DRAINS TO STREAM" LOCATED ON LIDS/GRATES.

CONTRACTOR TO VERIFY ALL ELEVATIONS AND CONFLICTS PRIOR TO INSTALLING BUILDING AND CANOPY DRAINAGE.

ALL CANOPY DRAINAGE TO BE A MIN. OF 6" BELOW ALL PRODUCT PIPING.

ALL PVC PIPE CONNECTIONS TO CONCRETE STRUCTURES MUST USE A WATER TIGHT CONNECTION. SEE DETAILS.

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

ALL CASTINGS SHALL BE COATED WITH BLACK ASPHALTIC VARNISH.

**LEGEND**

EXISTING		PROPOSED	
	EXISTING BUILDING		PROPERTY LINE
	CURB LINE		PROPOSED STORM SEWER PIPE
	TREE LINE		
	FENCE		
	MEASURED DATA		
	RECORDED DATA		
	EXISTING 5 FOOT CONTOUR		
	EXISTING 1 FOOT CONTOUR		
	EXISTING GRADE SPOT ELEVATION		
	STORM SEWER LINE		
	STORM DRAIN PIPE W/ HEADWALL		
	DRAINAGE MANHOLE		
	DRAINAGE CATCH BASIN		
	WATER LINE		
	UNDERGROUND ELECTRIC LINE		
	OVERHEAD ELECTRIC LINE		
	UNDERGROUND TELE. LINE		
	FIBER OPTIC CABLE		
	SANITARY SEWER LINE		
	SANITARY CLEAN-OUT (SCO)		
	SANITARY SEWER MANHOLE		
	UTILITY POLE & GUY		
	LIGHT POLE (LP)		
	ELECTRICAL TRANSFORMER BOX		
	ELECTRICAL METER		
	TELEPHONE MANHOLE/PEDESTAL		
	FIRE HYDRANT		
	WATER VALVE		
	WATER METER		
	GAS VALVE		
	GAS METER		
	MONITORING WELL		
	MAILBOX		
	STREET SIGN		
	TRAFFIC SIGNAL POLE		
	TRAFFIC SIGNAL BOX		
	BACKFLOW PREVENTER		
	FIBER OPTIC BOX		
	IRRIGATION CONTROL VALVE		
	PROPERTY MONUMENT		
	RIGHT-OF-WAY		
	REBAR PIN FOUND		
	REBAR PIN SET		
	CORRUGATED METAL PIPE		
	REINFORCED CONC. PIPE		
	HIGH-DENS. POLYETHYLENE PIPE		
	DUCTILE IRON PIPE		
	POLYVINYL CHLORIDE PIPE		

GENERAL DRAINAGE NOTES

A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND NOTIFY THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND HIS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

B. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

C. CONTRACTOR TO FIELD VERIFY ELEVATIONS OF PROPOSED DRAINAGE STRUCTURES AND ADJACENT PAVEMENT CONSTRUCTED BY WAL-MART PRIOR TO STARTING CONSTRUCTION.

D. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SHORING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.

E. ALL HOPE PIPE SHALL BE N-12 WT IB (OR EQUIVALENT) WITH SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S) REQUIREMENTS, AND SHALL HAVE A MINIMUM MANNING "N" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATER TIGHT ACCORDING TO ASTM D3212 (OR AASHTO M252, M254) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477, JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES, AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WT IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION.

F. IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATIONS SHALL MEET THE AASHTO CLASS II STANDARD PERFORATION PATTERN REQUIREMENTS.

G. ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 CLASS III UNLESS OTHERWISE INDICATED.

H. DRAINAGE PIPING AND FITTINGS FOR CANOPY DRAINAGE SHALL BE SOLVENT WELD PVC SCH. 40 (MIN.) AND WATER TIGHT.

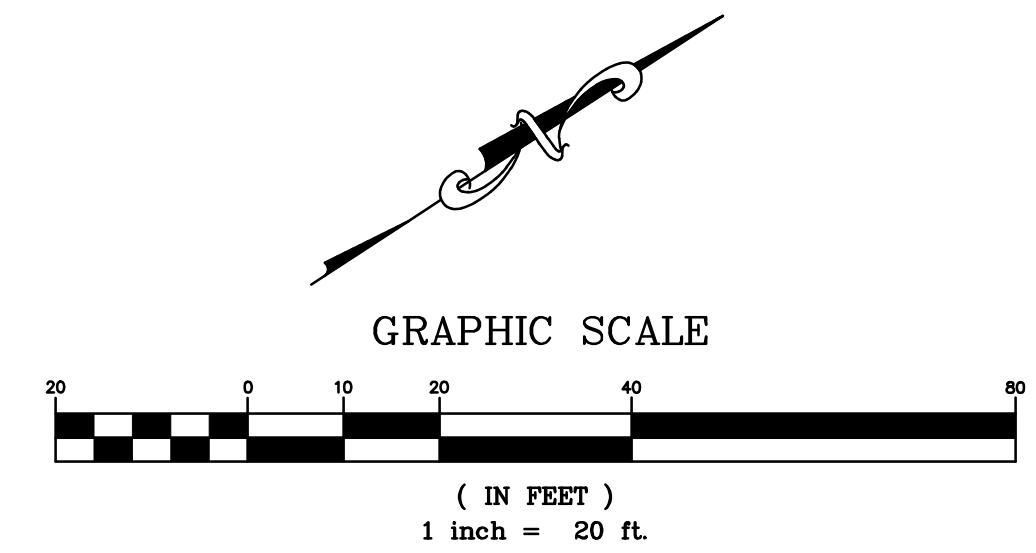
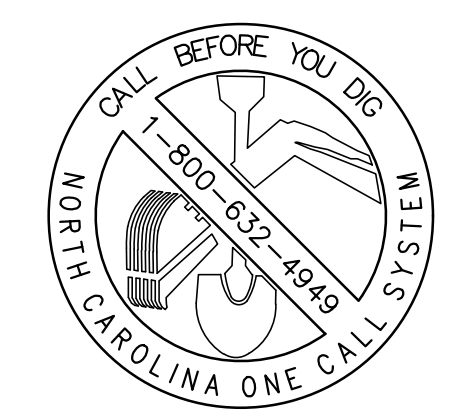
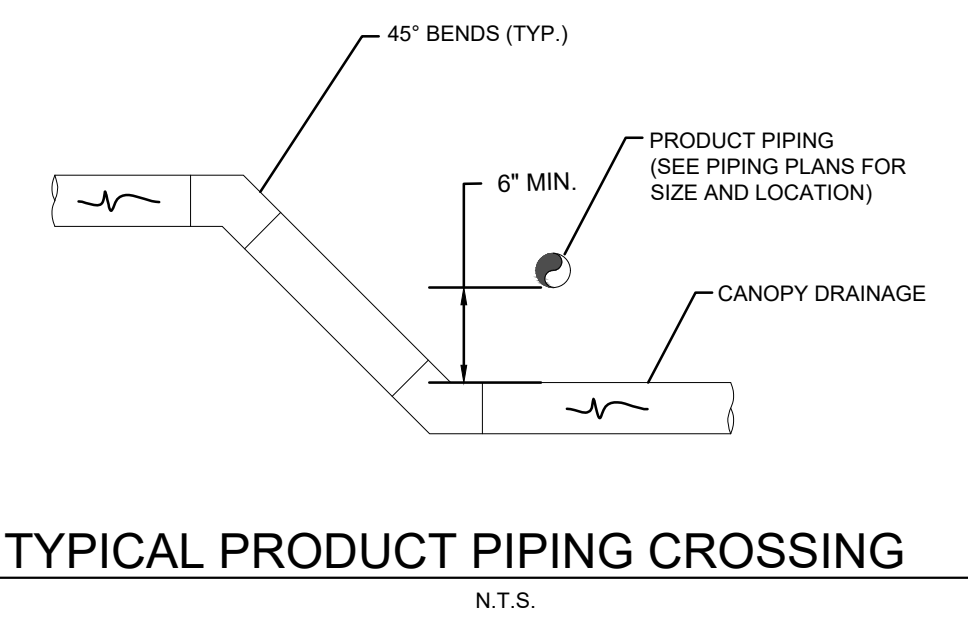
I. REFER TO CLEANOUT DETAIL FOR REQUIRED HEAVY DUTY COVER.

J. DRAINAGE PIPING SHALL BE ROUTED BELOW PRODUCT PIPING (MIN. 6" VERTICAL SEPARATION), COORDINATE WITH TANK/PIPING PLANS.

STORM NOTES	
9A	DOWN SPOUTS - (TYP.-PER ARCH. PLANS).
18F	CONNECT TO EXISTING STORM DRAIN PIPE
19A	EXISTING TO REMAIN

STORM DETAILS	
14A	CONCRETE SWALE
14B	CONCRETE VALLEY GUTTER
19A	CONCRETE HEADWALL
21B	CURB INLET
22A	AREA INLET
23D	STORM DRAIN MANHOLE
26B	OVERFLOW STRUCTURE
27E	STORM DRAIN CLEAN-OUT
27H	ROOF DRAIN DOWNSPOUT CONNECTION
27J	CANOPY DRAIN CONNECTION DETAIL
28A	STORM SEWER TRENCH AND BEDDING
40F	WATERSTOP STRUCTURE CONNECTION TO CONCRETE STRUCTURE



**SHEET NO. C-3.1**  
**STORM SEWER PLAN**  
**MURPHY EXPRESS**  
**4501 POOLE ROAD**  
**RALEIGH NC 27610**

REV-0	DATE	03-14-23	DESCRIPTION	ASR SUBMITTAL
REV-1	DATE	03-14-23	DESCRIPTION	ASR SUBMITTAL

21 SOUTHWESTGREEN AVE, SUITE 200  
 ARLINGTON HEIGHTS, IL 60005  
 DMC NAME RALEIGH, NC  
 JOB NO. 20220629.0

**MURPHY OIL USA, INC.**  
**MURPHY 200 PEACH STREET**  
**P.O. BOX 7000**  
**USA**  
**EL DORADO, AR 71730**

NEW HOPE ROAD  
110' PUBLIC RIGHT-OF-WAY  
PER B.M. 2000, PG. 134

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

PROPOSED IMPROVEMENTS PER SEPARATE PLAN AND PERMIT

PROPOSED IMPROVEMENTS PER SEPARATE PLAN AND PERMIT

POOLE ROAD  
WARRANTED PUBLIC RIGHT-OF-WAY  
FEB. B.M. 2000 PG. 134

PROPOSED IMPROVEMENTS PER SEPARATE PLAN AND PERMIT

**LEGEND**

EXISTING	
[Symbol]	EXISTING BUILDING
[Symbol]	CURB LINE
[Symbol]	TREE LINE
[Symbol]	FENCE
[Symbol]	MEASURED DATA
[Symbol]	RECORDED DATA
[Symbol]	EXISTING 5 FOOT CONTOUR
[Symbol]	EXISTING 1 FOOT CONTOUR
[Symbol]	EXISTING GRADE SPOT ELEVATION
[Symbol]	STORM SEWER LINE
[Symbol]	STORM DRAIN PIPE W/ HEADWALL
[Symbol]	DRAINAGE MANHOLE
[Symbol]	DRAINAGE CATCH BASIN
[Symbol]	WATER LINE
[Symbol]	UNDERGROUND ELECTRIC LINE
[Symbol]	OVERHEAD ELECTRIC LINE
[Symbol]	UNDERGROUND TELE. LINE
[Symbol]	FIBER OPTIC CABLE
[Symbol]	SANITARY SEWER LINE
[Symbol]	SANITARY CLEAN-OUT (SCO)
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	UTILITY POLE & GUY
[Symbol]	LIGHT POLE (LP)
[Symbol]	ELECTRICAL TRANSFORMER BOX
[Symbol]	ELECTRICAL METER
[Symbol]	TELEPHONE MANHOLE/PEDESTAL
[Symbol]	FIRE HYDRANT
[Symbol]	WATER VALVE
[Symbol]	WATER METER
[Symbol]	GAS VALVE
[Symbol]	GAS METER
[Symbol]	MONITORING WELL
[Symbol]	MAILBOX
[Symbol]	STREET SIGN
[Symbol]	TRAFFIC SIGNAL POLE
[Symbol]	TRAFFIC SIGNAL BOX
[Symbol]	BACKFLOW PREVENTER
[Symbol]	FIBER OPTIC BOX
[Symbol]	IRRIGATION CONTROL VALVE
[Symbol]	PROPERTY MONUMENT
[Symbol]	RIGHT-OF-WAY
[Symbol]	REBAR PIN FOUND
[Symbol]	REBAR PIN SET
[Symbol]	CORRUGATED METAL PIPE
[Symbol]	REINFORCED CONC. PIPE
[Symbol]	HIGH-DENS. POLYETHYLENE PIPE
[Symbol]	DIP DUCTILE IRON PIPE
[Symbol]	PVC POLYVINYL CHLORIDE PIPE

PROPOSED	
[Symbol]	PROPERTY LINE
[Symbol]	PROPOSED STORM SEWER PIPE
[Symbol]	PROPOSED STORM SEWER PIPE
[Symbol]	SUBAREA
[Symbol]	SUBAREA (ACRES)

**STORM WATER CALCULATIONS**

SITE AREA:	#66,188 (#1.52 AC)
<b>DRAINAGE AREAS:</b>	
DMA-1	#6,880 SF (#0.16 AC)
DMA-2	#7,194 SF (#0.17 AC)
DMA-3	#43,529 SF (#0.99 AC)
<b>TOTAL</b>	<b>#57,603 SF (#1.32 AC)</b>

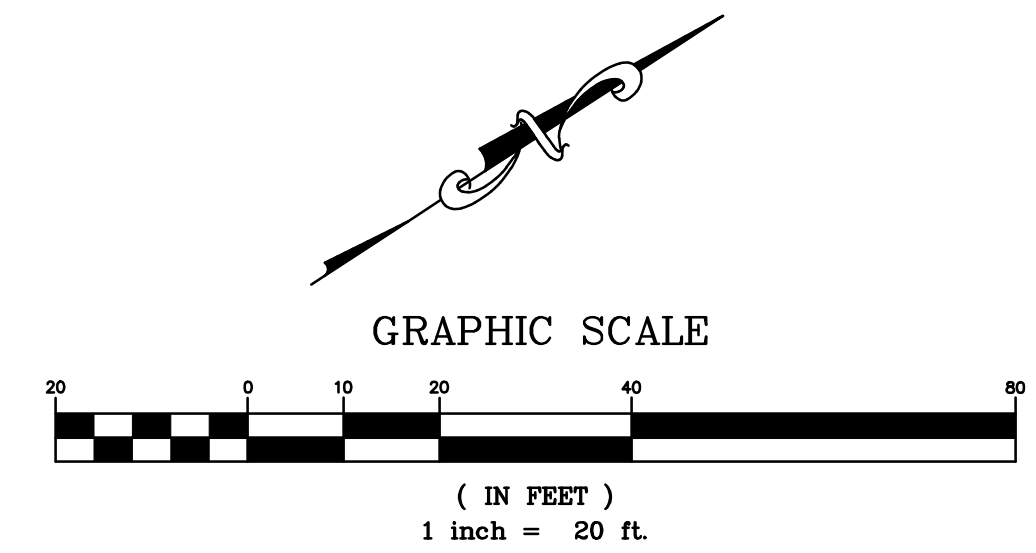
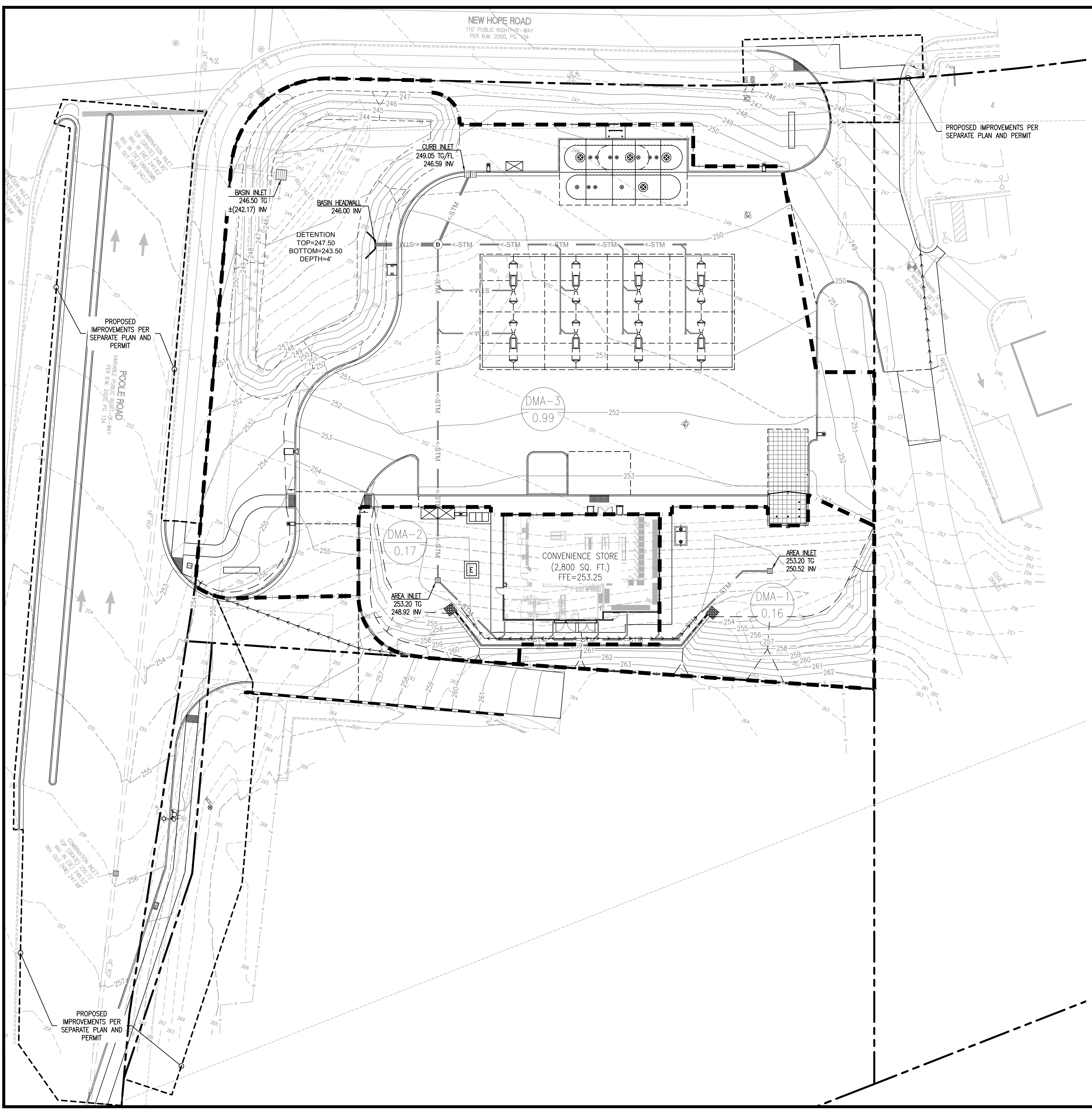
**WATER QUALITY:**  
WATER QUALITY EXTENDED DETENTION/RETENTION POND WITH PEAK ATTENUATION FOR RUNOFF CONTROL.

**REQUIRED VOLUME:**  
 $WQ_v = (P \cdot R_v \cdot A) / 12$   
 $= (3.5 \cdot 0.5162 \cdot 1.52) / 12$   
 $= 10.228 \text{ AC-FT}$   
 $= \text{CONVERT TO CU. FT.} = 9,869 \text{ CU. FT.}$

\*PER CITY OF RALEIGH - STORM WATER DESIGN MANUAL SECTION 1.1 WATER QUALITY VOLUME

**PROVIDED VOLUME:**

BASIN DIMENSIONS	247.50 FT (#8,004 SF)
TOP ELEVATION:	243.50 FT (#3,959 SF)
BOTTOM ELEVATION:	
<b>BASIN VOLUME =</b>	<b>23,812 CU. FT. WITH 1FT FREEBOARD</b>



**SHEET NO. C-3.2**

**STORM WATER PLAN**  
MURPHY EXPRESS  
4501 POOLE ROAD  
RALEIGH NC 27610

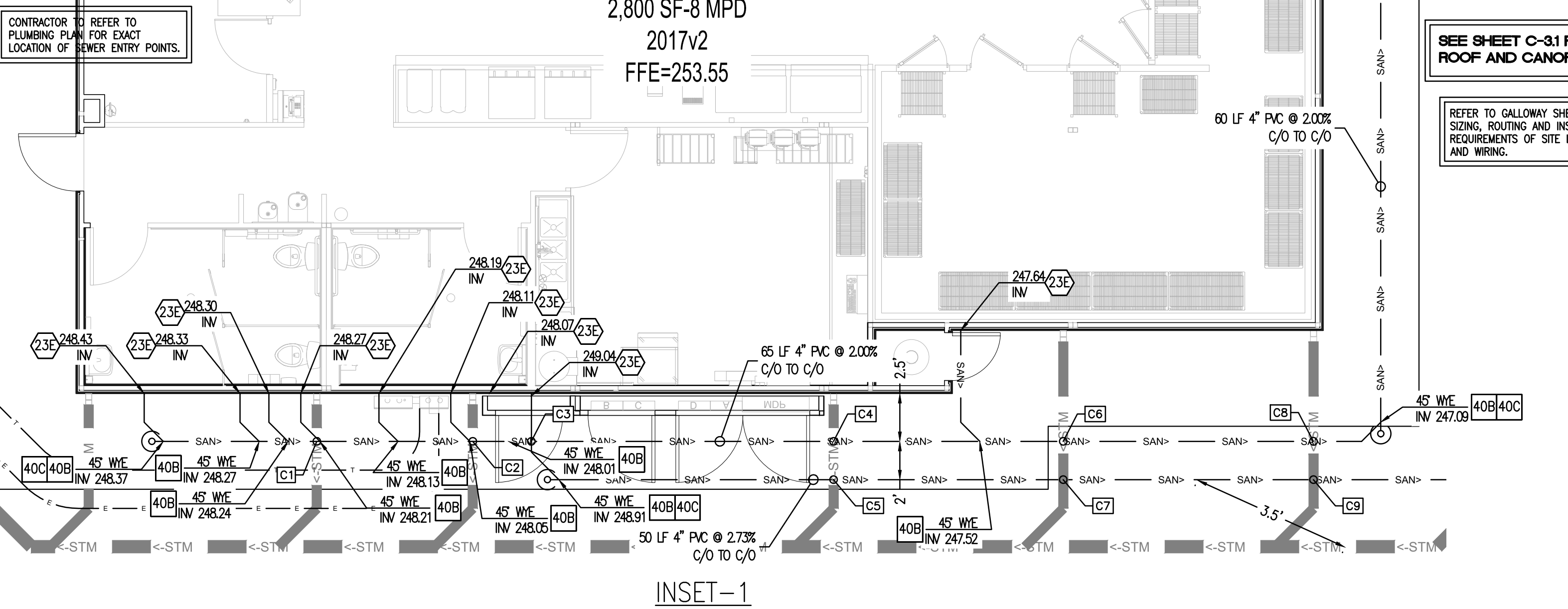
REV-0	DATE	DESCRIPTION
REV-0	03-14-23	ASR SUBMITTAL

21 SOUTHWESTGREEN AVE, SUITE 200  
ARLINGTON HEIGHTS, IL 60005  
DWC NAME RALEIGH, NC  
JOB NO. 20220629.0

**MURPHY OIL USA, INC.**  
200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730

**MURPHY USA**

2,800 SF-8 MPD  
2017v2  
FFE=253.55



SEE SHEET C-3.1 FOR BUILDING ROOF AND CANOPY DRAINAGE

REFER TO GALLOWAY SHEET FE-1 FOR SIZING, ROUTING AND INSTALLATION REQUIREMENTS OF SITE LIGHTING CONDUIT AND WIRING.

UTILITY ROUTING NOTE:  
REFER TO PLUMBING PLAN (P1) FOR EXACT LOCATIONS OF UTILITY ENTRY POINTS TO BUILDING, ROUTING OF SEWER FLOWS, ETC.

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

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GC TO VERIFY LOCATION, CONNECTION POINT AND DEPTH OF EXISTING UTILITIES PRIOR TO INSTALLING PROPOSED UTILITY.

ELECTRIC RESPONSIBILITY			
CONDUIT / TRENCH	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
PULL SECONDARY WIRES	X		
TRANSFORMER PAD	X		
TRANSFORMER			X
CT CABINET	X	X	
EASEMENTS (TRANSFORMER)		X	
EASEMENTS (SECONDARY LINE)			X

WATER RESPONSIBILITY			
CONDUIT / TRENCH	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
DOMESTIC TAP	X		
IRRIGATION TAP	X		
DOMESTIC METER	X		
DOMESTIC BFP	X		
IRRIGATION METER	X		
IRRIGATION BFP	X		
HYDRANT		X	
EASEMENTS			X

SEWER RESPONSIBILITY			
TAP	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
TAP	X		
EASEMENTS			X

UTILITY CROSSING SCHEDULE:

- C1 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE  
STORM SEWER INV: 249.54±  
SANITARY LINE CROWN: 248.54±  
CLEARANCE: 1.00± FT
- C2 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE  
STORM SEWER INV: 249.62±  
SANITARY LINE CROWN: 248.38±  
CLEARANCE: 1.24± FT
- C3 4" SANITARY (GT) LINE CROSSES ABOVE 4" SANITARY LINE  
SANITARY GT LINE INV: 248.98±  
SANITARY CROWN: 248.32±  
CLEARANCE: 0.66± FT
- C4 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE  
STORM SEWER INV: 249.81±  
SANITARY LINE CROWN: 248.00±  
CLEARANCE: 1.81± FT
- C5 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE  
STORM SEWER INV: 249.79±  
SANITARY LINE CROWN: 247.85±  
CLEARANCE: 1.94± FT
- C6 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE  
STORM SEWER INV: 249.93±  
SANITARY LINE CROWN: 247.76±  
CLEARANCE: 2.17± FT
- C7 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE  
STORM SEWER INV: 249.91±  
SANITARY LINE CROWN: 248.52±  
CLEARANCE: 1.39± FT
- C8 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE  
STORM SEWER INV: 250.06±  
SANITARY LINE CROWN: 247.50±  
CLEARANCE: 2.56± FT
- C9 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE  
STORM SEWER INV: 250.04±  
SANITARY LINE CROWN: 248.16±  
CLEARANCE: 1.88± FT

UTILITY INSTALLATION RESPONSIBILITIES  
TO BE UPDATED WHEN MORE INFO IS RECIEVED FROM UTILITY COMPANIES

- WATER SERVICE:**
  - WATER COMPANY TO PROVIDE WATER METER
  - CONTRACTOR TO PROVIDE AND INSTALL TAP AND SERVICE, INCLUDING FITTINGS, VALVES, CURB STOP, CURB BOX, RPZ (ON IRRIGATION MAIN), WATER SERVICE MAINS, ETC. FOR IRRIGATION AND DOMESTIC WATER SERVICE FROM METER TO BUILDING.
- SEWER SERVICE:**
  - CONTRACTOR TO CONNECT TO EXISTING STUB OUT, PROVIDE AND INSTALL SERVICE LIENS AND CLEANOUPS FROM POINT OF CONNECTION TO BUILDING.
- ELECTRIC SERVICE:**
  - ELECTRIC COMPANY PROVIDES AND INSTALLS TRANSFORMER, PRIMARY WIRE, CTs AND CONNECT PRIMARY CONDUITS TO STUBOUTS.
  - CONTRACTOR TO PROVIDE & INSTALL 2-4" CONDUITS FROM TRANSFORMER PAD TO BUILDING INCLUDING SWEEPS (36"R), INSTALL TRANSFORMER PAD, CT METER CABINET AND SECONDARY WIRE.

UTILITY CONTACT INFORMATION

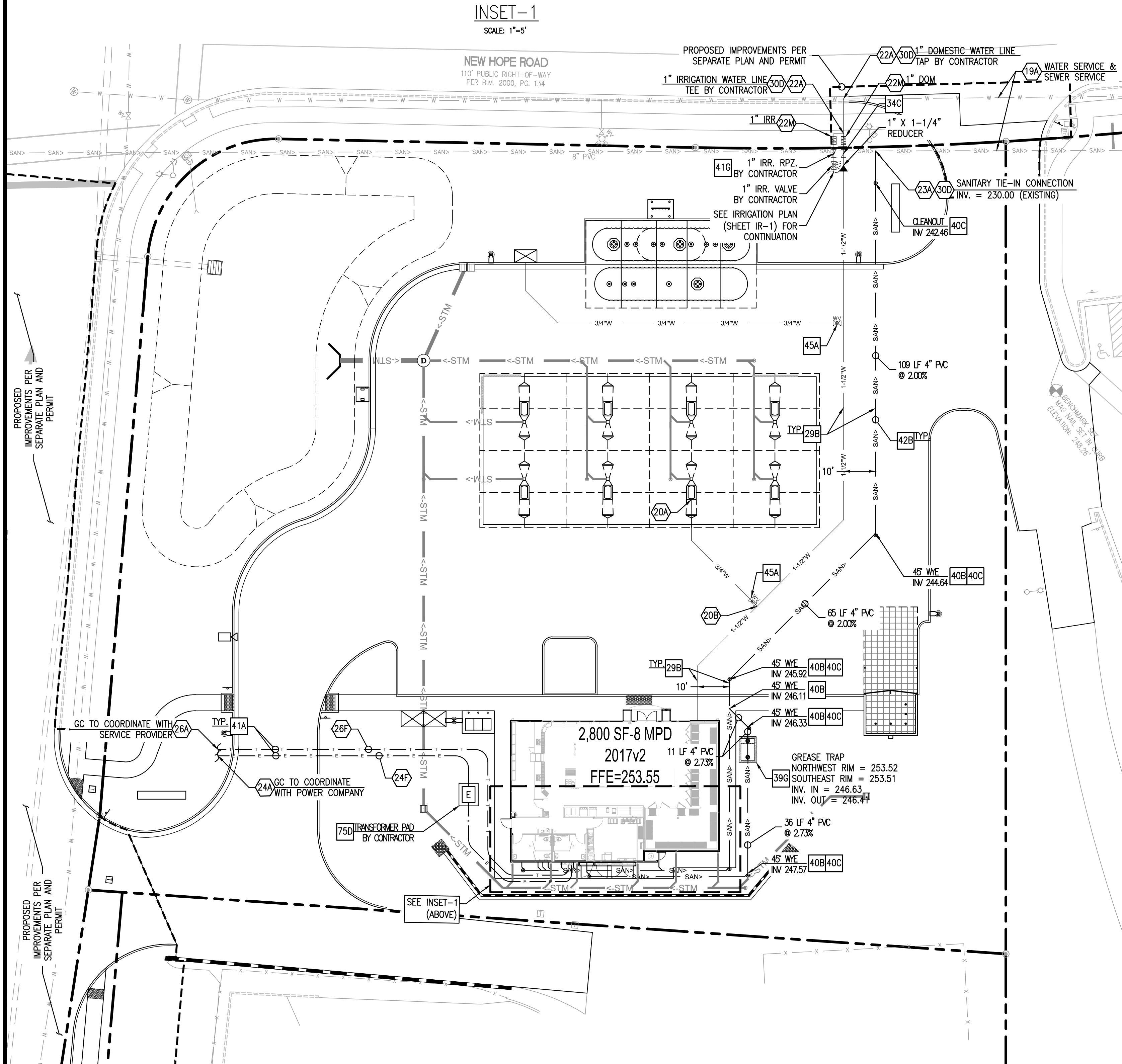
**ELECTRIC**  
DUKE ENERGY  
CONTACT: TYLER HARDEE  
PHONE: 919-605-7288  
EMAIL: TYLER.HARDEE@DUKE.ENERGY.COM

**SEWER AND WATER**  
RALEIGH PUBLIC UTILITIES DEPARTMENT  
ONE EXCHANGE PLAZA  
RALEIGH, NC 27601  
CONTACT: BRANN CASEY  
PHONE: 919-986-2207

ELECTRIC RESPONSIBILITY			
CONDUIT / TRENCH	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
PULL SECONDARY WIRES	X		
TRANSFORMER PAD	X		
TRANSFORMER		X	
CT CABINET		X	
PRIMARY WIRE		X	

WATER RESPONSIBILITY			
CONDUIT / TRENCH	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
DOMESTIC TAP	X		
IRRIGATION TAP	X		
DOMESTIC METER	X		
DOMESTIC BFP	X		
IRRIGATION METER	X		
IRRIGATION BFP	X		
HYDRANT		X	

SEWER RESPONSIBILITY			
TAP	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
TAP	X		
EASEMENTS			X



INSET-1  
SCALE: 1"=5'

LEGEND

- EXISTING**
  - EXISTING BUILDING
  - CURB LINE
  - TREE LINE
  - FENCE
  - MEASURED DATA
  - RECORDED DATA
  - EXISTING 5 FOOT CONTOUR
  - EXISTING 1 FOOT CONTOUR
  - EXISTING GRADE SPOT ELEVATION
  - STORM SEWER LINE
  - STORM DRAIN PIPE W/ HEADWALL
  - DRAINAGE MANHOLE
  - DRAINAGE CATCH BASIN
  - WATER LINE
  - UNDERGROUND ELECTRIC LINE
  - OVERHEAD ELECTRIC LINE
  - UNDERGROUND TELE. LINE
  - FIBER OPTIC CABLE
  - SANITARY SEWER LINE
  - SANITARY CLEAN-OUT (SCO)
  - SANITARY SEWER MANHOLE
  - UTILITY POLE & GUY
  - LIGHT POLE (LP)
  - ELECTRICAL TRANSFORMER BOX
  - TELEPHONE MANHOLE/PEDESTAL
  - FIRE HYDRANT
  - WATER VALVE
  - GAS VALVE
  - GAS METER
  - MONITORING WELL
  - MAILBOX
  - STREET SIGN
  - TRAFFIC SIGNAL POLE
  - TRAFFIC SIGNAL BOX
  - BACKFLOW PREVENTER
  - FIBER OPTIC BOX
  - IRRIGATION CONTROL VALVE
  - PROPERTY MONUMENT
  - RIGHT-OF-WAY
  - REBAR PIN FOUND
  - REBAR PIN SET
  - CMP CORRUGATED METAL PIPE
  - RCPP REINFORCED CONC. PIPE
  - HDPE HIGH-DENS. POLYETHYLENE PIPE
  - DIP DUCTILE IRON PIPE
  - PVC POLYVINYL CHLORIDE PIPE

- PROPOSED LEGEND**
  - PROPERTY LINE
  - SANITARY SEWER SERVICE
  - UNDERGROUND ELECTRIC SERVICE
  - UNDERGROUND TELEPHONE SERVICE
  - 1 1/2" WATER SERVICE
  - 2" WATER SERVICE

- GENERAL UTILITY NOTES**
  - ALL BUILDING WATER LINES FROM METER TOWARDS BUILDING SHALL BE SCHEDULE 40 PVC, MEETING ASTM D1785 & D2865 SPECIFICATIONS, AND SHALL BE RATED FOR USE WITH POTABLE WATER PER NSF STD. 61 & STD.14, WITH 36" MIN. COVER.
  - ALL SANITARY SEWER LINES SHALL BE SCHEDULE 40 PVC WITH 36" MINIMUM COVER.
  - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
  - ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
  - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
  - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM GREENBERGFARROW ENGINEERS AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF (72) HOURS PRIOR TO CONSTRUCTION. ENGINEER AND HIS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
  - CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION, BUT NOT LIMITED TO ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
  - FREEZELESS WATER BIBB TO BE LOCATED ON BUILDING SIDE OF CANOPY COLUMN.
  - WATERLINE SERVICE TO DISPENSER ISLAND TO BE 2" SCH. 40 PVC.

- UTILITY NOTES**
  - 18B EXISTING TO BE RELOCATED
  - 18E POINT OF RELOCATION
  - 19A EXISTING TO REMAIN
  - 20A FREEZELESS YARD HYDRANT AT PUMP ISLAND (1/4" SCH. 40 PVC)
  - 20B POINT OF CONNECTION - CANOPY WATER SERVICE
  - 22A POINT OF CONNECTION - WATER SERVICE
  - 22M PROPOSED WATER METER (SEE SIZE THIS SHEET)
  - 23A POINT OF CONNECTION - SANITARY SEWER SERVICE
  - 23E SANITARY SEWER SERVICE EXIT (PER M.E.P. PLANS)
  - 24A POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE.
  - 24F ELECTRIC CONDUITS (PVC SCH. 40)
  - 26A CONTRACTOR TO PROVIDE & INSTALL 1-2" SCH. 40 CONDUIT WITH PULL STRINGS AND SWEEPS (36"R) FOR FUTURE COMMUNICATION SERVICE. GC TO CONFIRM CONDUIT ROUTING WITH MURPHY & UTILITY PROVIDER
  - 26F TELEPHONE CONDUITS (PVC SCH. 40)
  - 29B MAINTAIN MIN. 10' HORIZONTAL SEPARATION
  - 30D VERIFY LOCATION AND DEPTH OF EXISTING UTILITY BEFORE CONSTRUCTING PROPOSED UTILITY

UTILITY DETAILS

- 34C ABOVE GROUND BACK FLOW PREVENTER
- 39G SANITARY SEWER GREASE TRAP
- 40B SANITARY SEWER WYE CONNECTION
- 40C SANITARY SEWER CLEAN-OUT
- 41A TYPICAL UTILITY TRENCHING
- 41G REDUCED PRESSURE ZONE BACKFLOW PREVENTER
- 42B SANITARY SEWER TRENCHING AND BEDDING
- 45A GATE VALVE
- 75D TRANSFORMER PAD

CALL BEFORE YOU DIG SYSTEM  
1-800-632-4949  
NORTH CAROLINA ONE CALL SYSTEM

GRAPHIC SCALE  
( IN FEET )  
1 inch = 20 ft.

SHEET NO. **C-6.0**

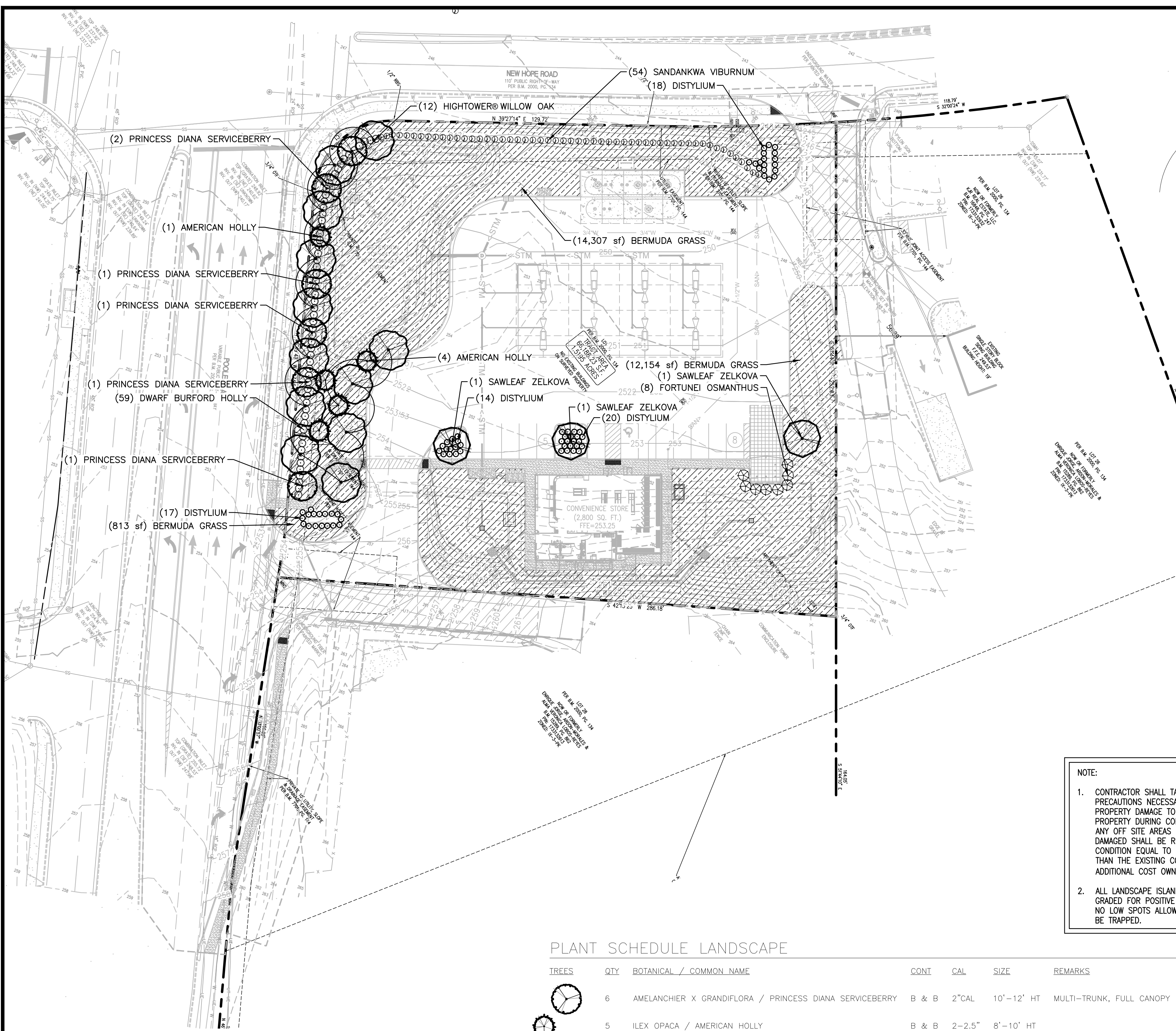
UTILITY PLAN  
MURPHY EXPRESS  
4501 POOLE ROAD  
RALEIGH NC 27610

21 SOUTHCAROLINA AVE. SUITE 300  
ARLINGTON HEIGHTS, IL 60005  
DWG NAME: RALEIGH, NC  
JOB NO.: 20220629.0

**MURPHY OIL USA, INC.**  
MURPHY 200 PEACH STREET  
P.O. BOX 7000  
EL DORADO, AR 71730

MURPHY USA

REVISION RECORD:  
REV: DATE: DESCRIPTION:  
REV-0 03-14-23 ASR SUBMITAL



**NOTE:**

- CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTY DURING CONSTRUCTION. ANY OFF SITE AREAS DISTURBED OR DAMAGED SHALL BE RETURNED TO A CONDITION EQUAL TO OR BETTER THAN THE EXISTING CONDITION AT NO ADDITIONAL COST OWNER/DEVELOPER.
- ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.

**PLANT SCHEDULE LANDSCAPE**

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	REMARKS
	6	AMELANCHIER X GRANDIFLORA / PRINCESS DIANA SERVICEBERRY	B & B	2" CAL	10'-12' HT	MULTI-TRUNK, FULL CANOPY
	5	ILEX OPACA / AMERICAN HOLLY	B & B	2-2.5"	8'-10' HT	
	12	QUERCUS PHELLOS 'OPSTA' / HIGHTOWER® WILLOW OAK	B & B	3" CAL	12'-15' HT	WELL ROOTED
	3	ZELKOVA SERRATA 'GREEN VASE' / SAWLEAF ZELKOVA	B & B	3" CAL	12-15' H	WELL BRANCHED, DENSE, STRAIGHT TRUNK

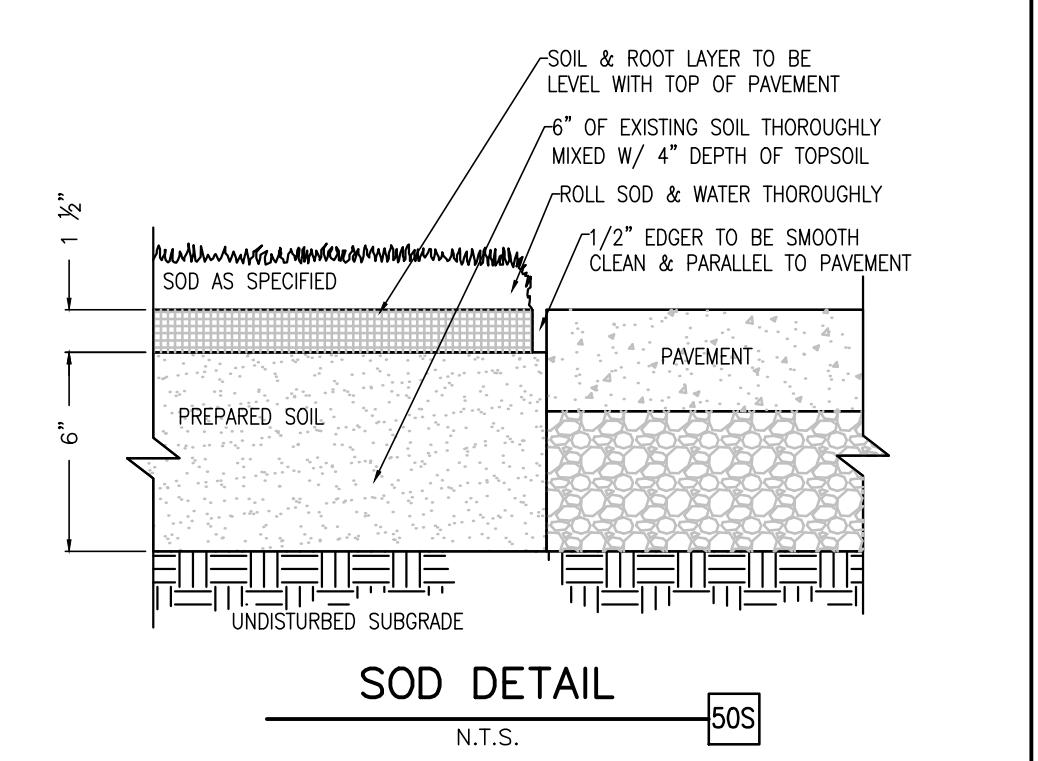
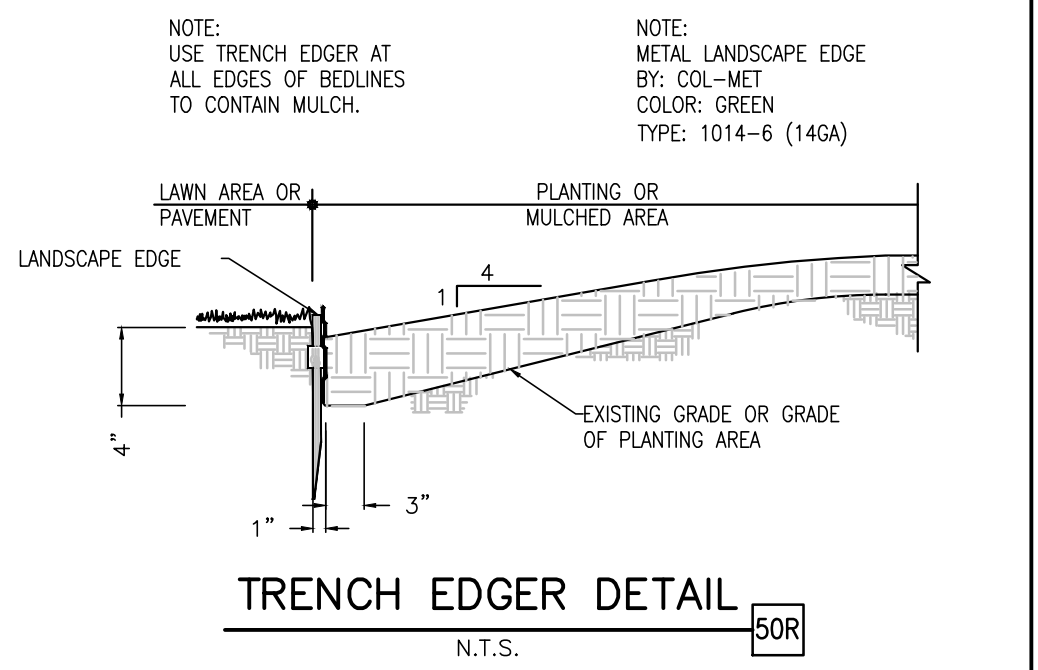
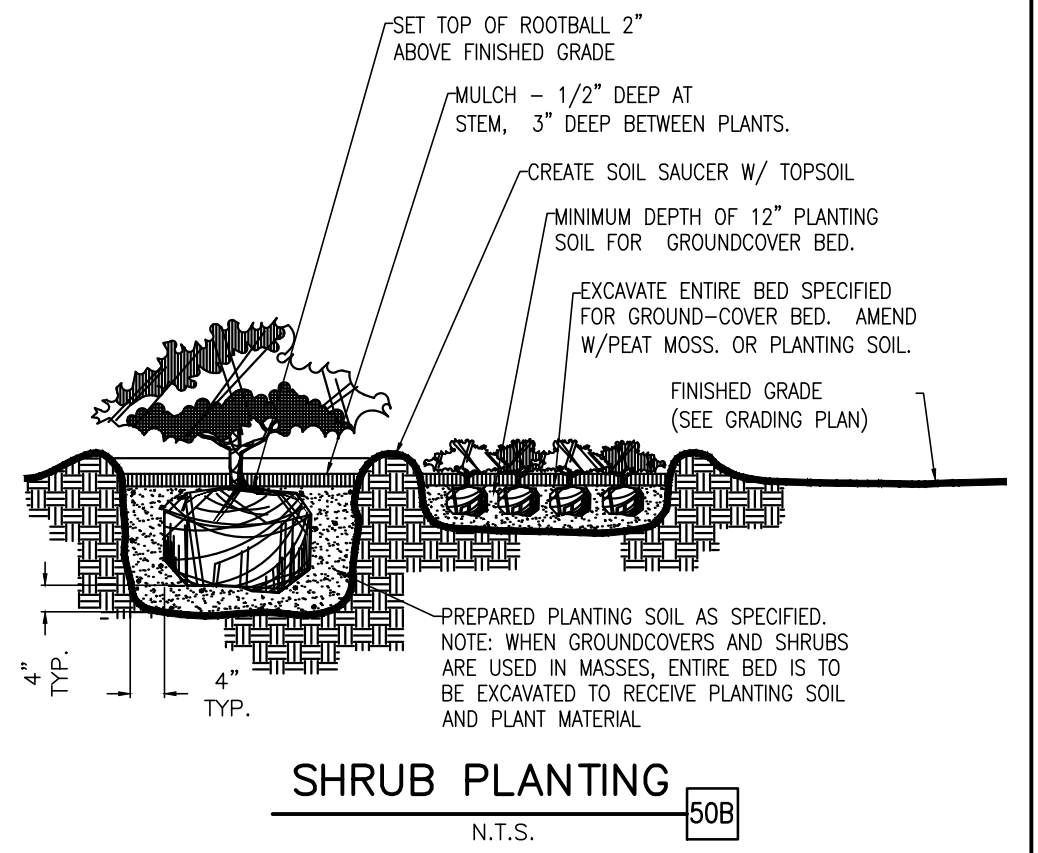
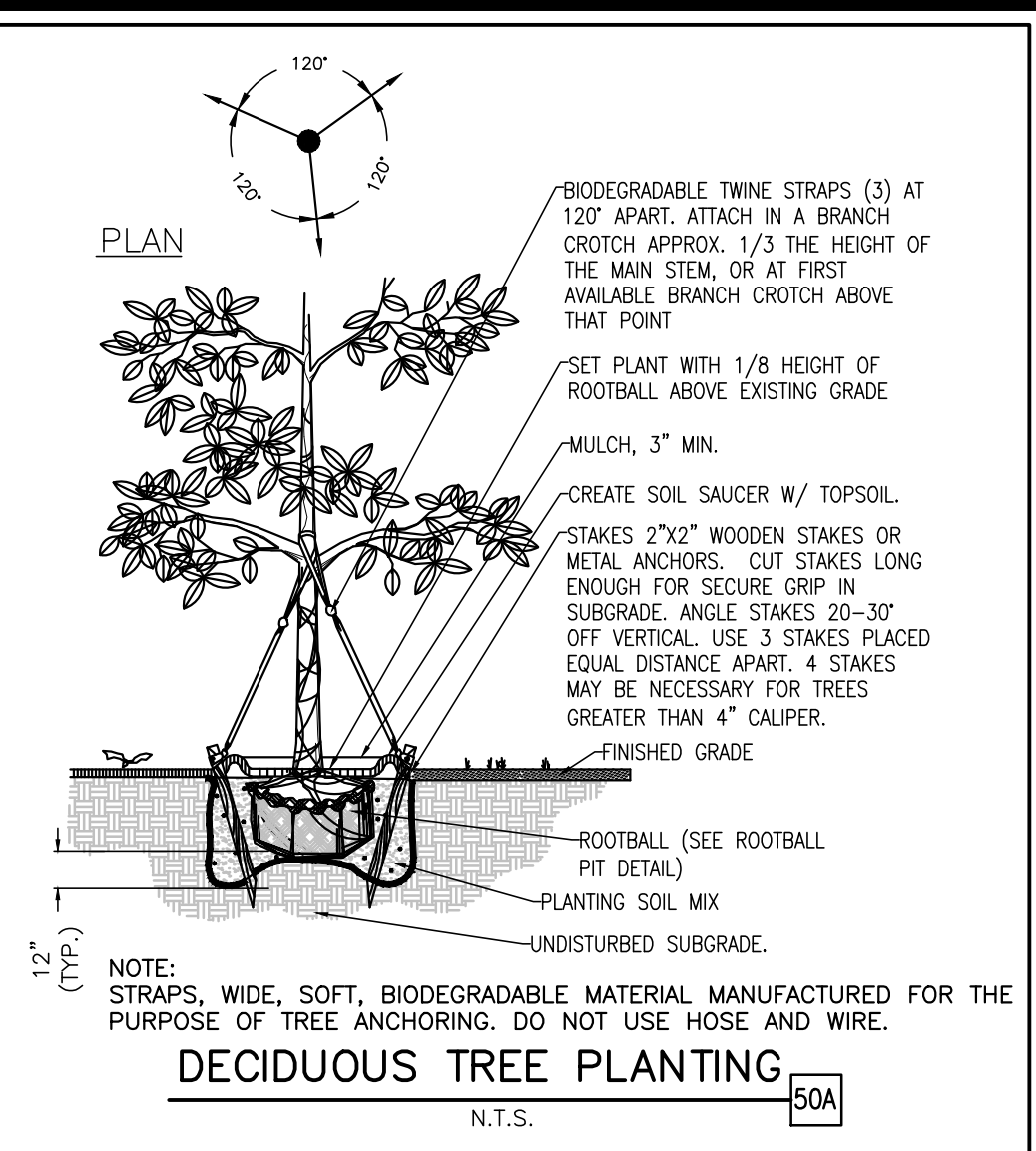
**PLANT SCHEDULE LANDSCAPE**

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	REMARKS
	69	DISTYLUM MYRICOIDES BLUE LEAF ISU / DISTYLUM	7 GAL	24" MIN.	FULL, WELL ROOTED IN POT
	59	ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY	3 GAL	30" MIN.	FULL, DENSE, BUSHY
	8	OSMANTHUS X FORTUNEI / FORTUNEI OSMANTHUS	B & B	8' MIN.	FULL TO GROUND, DENSE, BUSHY
	55	VIBURNUM SUSPENSUM / SANDANKWA VIBURNUM	7-9 GAL	42" MIN.	

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	REMARKS
	27,301 SF	CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS	SOD	CERTIFIED PURE, WEED FREE

SITE AREA 66,188 SF	REQUIRED	PROVIDED
OPEN SPACE	6,619 SF	21,585
10% MINIMUM PERVIOUS SURFACE		
STREET YARD BUFFER - ARTICLE 5.3(F) SHOD-1		
POOLE ROAD (198 LF - 34' DRIVE = 164 LF)		
DECIDUOUS SHADE TREES (7 PER 100 LF)	12	12
EVERGREEN SHADE TREES (3 PER 100 LF)	5	5
UNDERSTORY TREES (6 PER 100 LF)	5	5
SHRUBS (32 PER 100 LF)	52	52
NEW HOPE ROAD (286.63 LF - 20' DRIVE = 266.63 LF) TYPE C-3		
SHRUBS (30 PER 100LF @ 3.5' HT.)	80	96



**EXISTING**

EXISTING BUILDING	WATER VALVE
LAND LOT LINE (LLL)	GAS VALVE
PROPERTY LINE	WATER METER
UTILITY POLE (UP), OVERHEAD LINES & GUY	GAS METER
TREE LINE	WELL
SANITARY SEWER MANHOLE (SSMH)	MONITORING WELL
SANITARY CLEAN-OUT (SCO)	POST INDICATOR VALVE
TELEPHONE MANHOLE OR PEDESTAL	MAILBOX
STORM DRAIN PIPE WITH HEADWALL	STREET SIGN
DOUBLE-WING CATCH BASIN	UNKNOWN UTILITY STUB OUT
SINGLE-WING CATCH BASIN	CONCRETE FIRE DEPT. CONNECTION
JUNCTION BOX (JB)	HANDICAPPED
DROP OR CURB INLET (DI OR CI)	IRRIGATION CONTROL VALVE
FENCE	RIGHT-OF-WAY
DRAINAGE DITCH OR SWALE	SD STORM DRAIN
EXISTING 5 FOOT CONTOUR	RFB REBAR PIN FOUND
EXISTING 1 FOOT CONTOUR	OTF OPEN TOP PIPE FOUND
EXISTING GRADE SPOT ELEVATION	CMF CONCRETE MONUMENT FOUND
RECORDED DATA	RDF ROD FOUND
PARKING SPACE COUNT	BDP BRASS DISK FOUND
LIGHT POLE (LP)	AXF AXLE FOUND
ELECTRICAL TRANSFORMER BOX	RBS REBAR PIN SET

**PROPOSED**

BOUNDARY LINE	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)
LIMIT OF DISTURBANCE	

**GENERAL LANDSCAPE NOTES**

- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. (ANSI-Z60.1-1986)
- ALL DISTURBED AREAS DESIGNATED ON THE GRADING PLAN SHALL BE SHOWN AS FOLLOWS:  
 GRASS SEED MIX: 40% PERENNIAL RYE  
 40% TURF TYP FESCUE 0.5 LB PER 100 S.F.  
 20% BERMUDA GRASS  
 AGRICULTURAL LIME 2 LB PER 1000 S.F.  
 FERTILIZER 10-10-10 2 LB PER 1000 S.F.  
 MULCH: DRY STRAW OR HAY 2"-3" DEPTH
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SOGGED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED SHALL ANY REASON PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE MURPHY STATION WILL NOT DROP MASTER DEVELOPMENT GREEN SPACE BELOW CITY REQUIREMENTS.
- CONTRACTOR IS TO VERIFY LOCATION OF MASTER DEVELOPMENT IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S COST.
- CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING/IRRIGATION MATERIALS.
- ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF ONE (1) YEAR OR UNTIL SECOND CUTTING, WHICH EVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITION. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREA HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE RE-SEEDING REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL GREEN AREA.
- ALL PERMANENT TURF AREAS SHALL BE SOD.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
- SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF GREEN AREAS.
- SHREDDED HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).
- PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER PLANTING. IF ANY PLANTS DIE BEFORE THEY END OF 1 YEAR THEY SHALL BE REPLACED, AT NO COST TO THE OWNER, BY A PLANT OF SIMILAR SIZE AND SPECIES.
- TREES SHALL BE PLANTED PER DETAIL 50A.
- GC SHALL INCORPORATE PRE-EMERGENT HERBICIDE AND WEED BARRIER FABRIC IN MULCH AND PLANTING AREAS.
- NO PLANTINGS SHALL BLOCK VIEW OF FREE-STANDING OR ID SIGNAGE.
- WHERE UNDERGROUND UTILITIES CONFLICT WITH PROPOSED PLANTINGS, TREE PLACEMENT SHALL BE A MINIMUM OF TEN FEET FROM THE UNDERGROUND UTILITY OR A ROOT BARRIER OF TWO FEET DEEP SHALL BE INSTALLED.
- METAL LANDSCAPE EDGING IS TO BE INSTALLED BETWEEN SOD AND LANDSCAPE PLANTING BEDS.

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 ARLINGTON HEIGHTS, IL 60005  
 DWG NAME: RALEIGH.NC  
 JOB NO.: 20220629.0

