Administrative Site Review Application



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____

Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the <u>Permit and Development Portal</u>. (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan					
Building and Development Type (Check all that apply)			Site Transact	tion History	
Detached Attached Townhouse Apartment Tiny house Open lot	General Mixed use Civic Cottage Cour Frequent Tra Development	Insit	Subdivision case #: Scoping/sketch plan case #: _ Certificate of Appropriateness Board of Adjustment #: Zoning Case #: Design Alternate #:	s #:	
		GENERAL IN	IFORMATION		
Development name:					
Inside City limits? Ye	s No				
Property address(es):					
Site P.I.N.(s):					
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).					
The undeveloped +/- 1.52-acre site is entirely wooded and will be cleared for a new Murphy Express. The proposed project consists of the construction of a pre-manufactured 2,800 SF building and 8 MPDs under a 46' x 103.67' canopy, all new utilities, paving and curbing, tanks and piping and landscaping will be provided.					
Current Property Owner	(s):				
Company: Title:					
Address:					
Phone #: Email:					
Applicant Name (If different from owner. See "who can apply" in instructions):					
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder					
Company: Address:					

Phone #:	Email:			
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.				
Developer Contact:				
Company:	Title:			
Address:				
Phone #:	Email:			
Applicant Name:				
Company:	Address:			
Phone #:	Email:			

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)			
SITE DATA	BUILDING DATA		
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):		
Gross site acreage:	Existing gross floor area to be demolished:		
# of parking spaces proposed:	New gross floor area:		
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):		
Overlay District (if applicable):	Proposed # of buildings:		
Existing use (UDO 6.1.4):	Proposed # of stories for each:		
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)		

STORMWATER INFORMATION			
Imperious Area on Parcel(s): Existing (sf) Proposed total (sf)	Impervious Area for Compliance (includes ROW):		
	Existing (sf) Proposed total (sf)		

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS						
Total # of dwelling units:			Total # of hotel bedrooms:			
# of bedroom units: 1br _	2br	3br	4br or more			
# of lots:			Is your project a cottage court?	Yes	No	
			A frequent transit development?	Yes	No	

Continue to Applicant Signature Block on Page Three.

REVISION 1.23.23

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APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:	Date:
Printed Name: John Goetz	

raleighnc.gov

ADMINISTRATIVE SITE REVIEW PLANS FOR RALEIGH, NORTH CAROL 4501 POOLE ROAD

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- C. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- WARRANTY/DISCLAIMER THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL CONSTRUCTION WITHIN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER.
- G. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
- CONSTRUCTION AND INSTALLATION OF 2,800 S.F. BUILDING, ALL UTILITY ENTRANCES, (1)25,000 GAL-REGULAR, (1)8,000 GAL-PREMIUM, (1)10,000 GAL-DIESEL, AND (1)8,000 GAL-E-O UNDERGROUND TANKS SHALL BE IN ACCORDANCE WITH ASSOCIATED PLANS.
- THE GENERAL CONTRACTOR TO FIELD COORDINATION THE CANOPY SIGN LOCATIONS AND FREE STANDING SIGNAGE WITH MURPHY'S CONSTRUCTION SUPERVISOR.

NOTES TO CONTRACTOR

- A. THE CONTRACTOR SHALL PROVIDE THE ENGINEER OF RECORD WITH THE DATE WHEN CONSTRUCTION IS TO BEGIN. B. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SURVEYING, STAKING, AND
- LAYOUT. C. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ENGINEER OF RECORD
- INFORMED OF ANY DEVIATIONS DURING CONSTRUCTION AND SHALL REPORT THEM IMMEDIATELY. D. CONTRACTOR IS REQUIRED TO KEEP REDLINE AS-BUILTS AND TO PROVIDE THOSE
- TO MURPHY UPON COMPLETION. CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE AS-BUILT AND
- CERTIFICATE OF OCCUPANCY (C.O.) REQUIREMENTS FROM THE ISSUING AUTHORITY F. IF AN ELEVATION CERTIFICATE OR AS-BUILT SURVEY IS REQUIRED BY THE ISSUING AUTHORITY, THE CONTRACTOR SHALL BE RESPONSIBLE OBTAINING THE AS-BUILT SURVEY, PREPARED BY A LICENSED SURVEYOR, AND SUBMITTING THE AS-BUILT SURVEY TO ISSUING AUTHORITY AND THE ENGINEER OF RECORD.

WETLANDS NOTE:

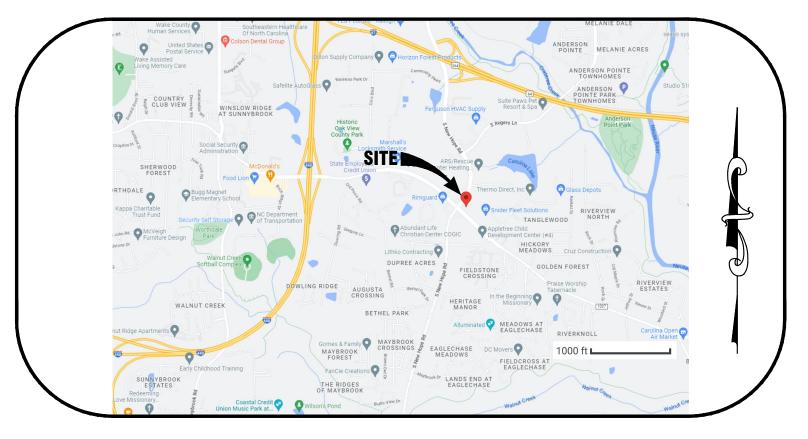
ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

FLOOD CERTIFICATION:

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP <u>3720173300J</u>, DATED <u>05/02/2006</u>

NOTICE TO BIDDERS:

ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION DEPARTMENT AT (870) 866-7176 (GAVEN BALLINGER). SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.



Vicinity Map

PLAN INDEX:

ENGINE	<u>ER (CIVIL)</u>
C-0	COVER SHEET
C-1	SITE PLAN
S-1	SURVEY
S-2	SURVEY
C-2	DEMOLITION PLAN
C-3	GRADING PLAN
C-3.1	STORM SEWER PLA
C-3.2	STORMWATER PLAN
C-6	UTILITY PLAN
LP-1	LANDSCAPE PLAN
L-1.0	PHOTOMETRIC PLAN



CONTACT: WILLIAM LOTZ 1230 PEACHTREE ST. NE, SUITE 2900 ATLANTA, GA 30309



RESOURCE LIST:

PLANNING AND ZONING

CITY OF RALEIGH ONE EXCHANGE PLAZA SUITE 300 RALEIGH, NC 27601 CONTACT: DANIEL STEGALI PHONE: 919-996-2712 DANIEL.STEGALL@RALEIGHNC.GOV

STORMWATER CITY OF RALEIGH ONE EXCHANGE PLAZA SUITE 801 RALEIGH, NC 27601 CONTACT: LAUREN POOLE PHONE: 919-996-4019 LAUREN.POOLE@RALEIGHNC.GOV

WATER AND SEWER RALEIGH PUBLIC UTILITIES DEPARTMENT DUKE ENERGY ONE EXCHANGE PLAZA RALEIGH, NC 27601 CONTACT: BRIAN CASEY PHONE: 919-996-2207 BRIAN.CASEY@RALEIGHNC.GOV PUBLICUTILITYINFO@RALEIGHNC.GOV

<u>TELEPHONE</u> MURPHY OIL INC. CONTACT: SAMUEL RAYNES PHONE: 870-881-6782

SPECTRUM 813-519-0817/833-941-3665 SPECTRUM.COM/PHONE-SERVICE/ NORTH-CAROLINA/RALEIGH <u>LANDSCAPE</u> GREENBERGFARROW 1430 WEST PEACHTREE ST. NW. SUITE 200 ATLANTA, GA 30309 CONTACT: ALEX MADDOX PHONE: 404-210-7148

<u>DEVELOPER</u> MURPHY OIL USA 200 PEACH STREET P.O. BOX 7000 EL DORADO, AR 71730

<u>BUILDING</u> CITY OF RALEIGH ONE EXCHANGE PLAZA SUITE 400 RALEIGH, NC 27601 CONTACT: BRYAN ROBINSON PHONE: 919-996-2445 BRYAN.ROBINSON@RALEIGHNC.GOV

FIRE PREVENTION CITY OF RALEIGH DILLON BUILDING 310 W. MARTIN STREET SUITE 200 RALEIGH, NC 27601 CONTACT: CHARLES KNEESHAW CHARLES.KNEESHAW@RALEIGHNC.GOV

<u>ELECTRIC</u> CONTACT: TYLER HARDEE PHONE: 919-605-7288 TYLER.HARDEE@DUKE-ENERGY.COM

MURPHY (OWNER) 200 PEACH ST. EL DORADO, AR 71730 CONTACT: PHONE:

UNITED CONSULTING 625 HOLCOMB BRIDGE ROAD NORCROSS, GA 30071 CONTACT: PHONE: 770-209-0029

PROPERTY OWNER/LANDLORD B&M PROPERTIES OF NC LLC 411 WESLEY ROAD GREENVILLE, NC 27858

<u>CIVIL ENGINEER</u>

GREENBERGFARROW 21 SOUTH EVERGREEN AVENUE, SUITE 200 ARLINGTON HEIGHTS, IL 60005 CONTACT: JAMES COYLE PHONE: 847-788-9200 JCOYLE@GREENBERGFARROW.COM

BUILDING/CANOPY MANUFACTURER FREY-MOSS STRUCTURES 1801 ROCKDALE INDUSTRIAL BOULEVARD CONYERS, GA 30012 PHONE: (770) 483-7543

HEALTH DEPARTMENT NC DHHS/DIVISION OF PUBLIC HEALTH ENVIRONMENTAL HEALTH SECTION FOOD PROTECTION PROGRAM 1632 MAIL SERVICE CENTER RALEIGH, NC 27699 CONTACT: JEFF JONES PHONE: 919-707-5854 JEFF.JONES@DHHS.NC.GOV

BUILDING/CANOPY DESIGN GREENBERGFARROW 92 EAST MAIN STREET, SUITE 410 SOMERVILLE, NJ 08876 CONTACT: CHRIS CERBO PHONE: (732) 537-0811

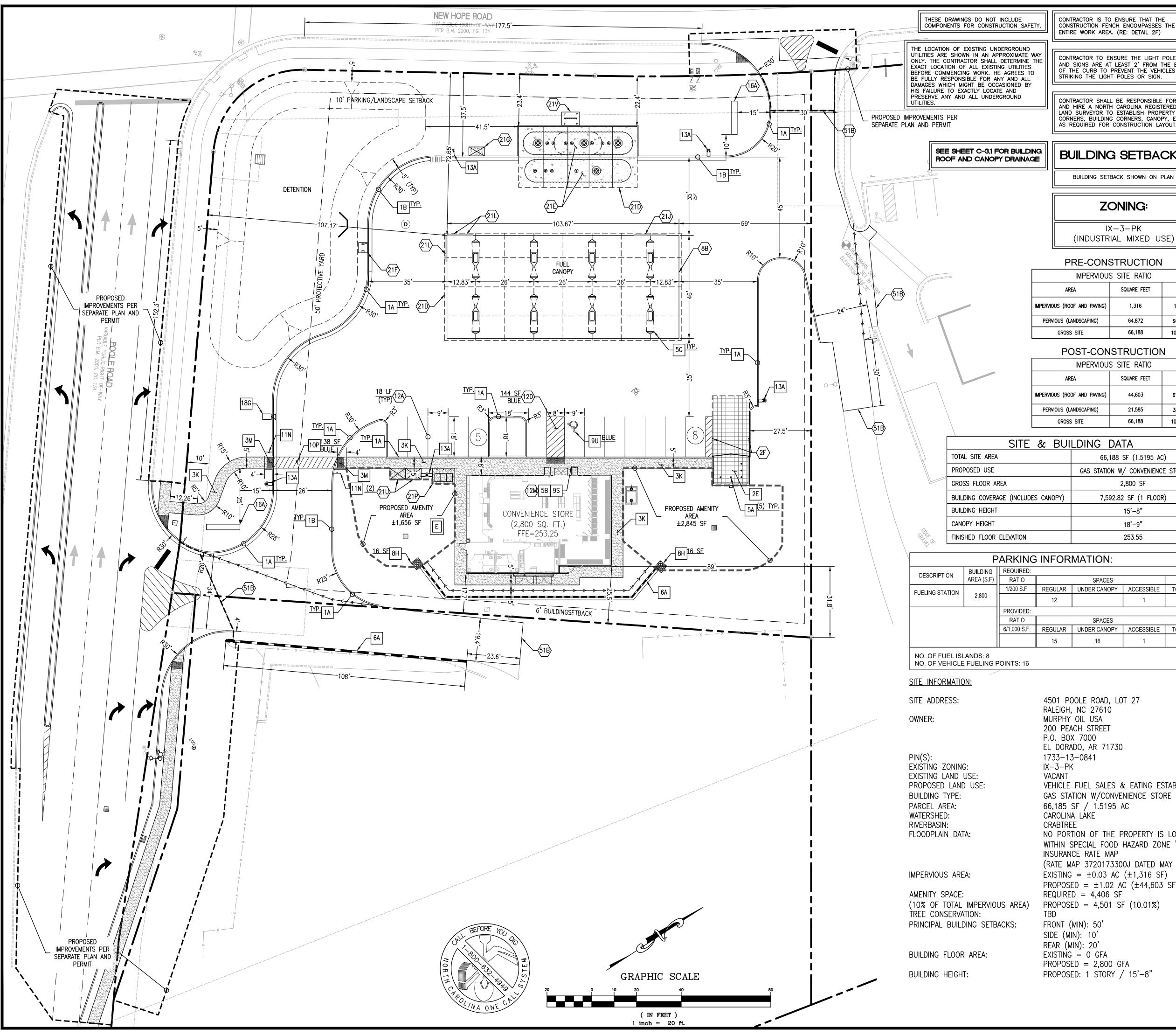
TANK AND PRODUCT PIPING GALLOWAY 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111 CONTACT: DAVE JONES

PHONE: (303) 770-8884

BASED ON A SURVEY BY:

BECHTLER GREENFIELD SOUTHEAST, LLLP 1430 WEST PEACHTREE ST, NW, SUITE 225 ATLANTA, GA 30309 PHONE: (770) 422-8101 JULY 26, 2022

REVISION	DATE	DESCRIPTION
REV-0	03/14/2023	ASR SUBMITTAL
	*	



CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCH ENCOMPASSES THE ENTIRE WORK AREA. (RE: DETAIL 2F)
CONTRACTOR TO ENSURE THE LIGHT POLES AND SIGNS ARE AT LEAST 2' FROM THE BACK OF THE CURB TO PREVENT THE VEHICLES STRIKING THE LIGHT POLES OR SIGN.
CONTRACTOR SHALL BE RESPONSIBLE FOR

LAND SURVEYOR TO ESTABLISH PROPERTY CORNERS, BUILDING CORNERS, CANOPY, ETC. AS REQUIRED FOR CONSTRUCTION LAYOUT.

BUILDING SETBACKS

BUILDING SETBACK SHOWN ON PLAN

ZONING:

IX-3-PK (INDUSTRIAL MIXED USE)

PRE-CONSTRUCTION

PERVIOUS SITE RATIO				
	SQUARE FEET	%		
ID PAVING)	1,316	1.99		
CAPING)	64,872	98.01		
	66,188	100.00		

POST-CONSTRUCTION

PERVIOUS SITE RATIO				
	SQUARE FEET	%		
ND PAVING)	44,603	67.39		
CAPING)	21,585	32.61		
Ē	66,188	100.00		

66,188	SF (1.5195 AC))		
AS STATION W/ CONVENIENCE STORE				
2	2,800 SF			
7,592.82	SF (1 FLOOR))		
	15'–8"			
	18'–9"			
	253.55			
TION:				
SPACES				
DER CANOPY	ACCESSIBLE	TOTAL		
	1	13		
SPACES				
DER CANOPY	ACCESSIBLE	TOTAL		
16	1	16		

- 4501 POOLE ROAD, LOT 27
- VEHICLE FUEL SALES & EATING ESTABLISHMENT GAS STATION W/CONVENIENCE STORE 66,185 SF / 1.5195 AC NO PORTION OF THE PROPERTY IS LOCATED WITHIN SPECIAL FOOD HAZARD ZONE "X" PER
- (RATE MAP 3720173300J DATED MAY 2, 2006) EXISTING = ± 0.03 AC ($\pm 1,316$ SF) $PROPOSED = \pm 1.02 \text{ AC } (\pm 44,603 \text{ SF})$
- PROPOSED = 4,501 SF (10.01%)
- PROPOSED = 2,800 GFA
- PROPOSED: 1 STORY / 15'-8"

2800SF-8S-2017v2 S O

LEGEND

EXISTING			
× - × - N 47'13'27"E (N 47'13'27"E) > 920 > 920 > 920 > 920 > 920 > 920 = = = = = ©	RECORDED DATA EXISTING 5 FOOT CONTOUR EXISTING 1 FOOT CONTOUR EXISTING GRADE SPOT ELEVATION STORM SEWER LINE STORM DRAIN PIPE W/ HEADWALL DRAINAGE MANHOLE DRAINAGE CATCH BASIN WATER LINE UNDERGROUND ELECTRIC LINE OVERHEAD ELECTRIC LINE UNDERGROUND TELE. LINE FIBER OPTIC CABLE SANITARY SEWER LINE SANITARY SEWER LINE SANITARY SEWER MANHOLE UTILITY POLE & GUY LIGHT POLE (LP)	GM ○	ELECTRICAL TRANSFORMER BOX ELECTRICAL METER TELEPHONE MANHOLE/PEDESTAL FIRE HYDRANT WATER VALVE WATER METER GAS VALVE GAS METER MONITORING WELL MAILBOX STREET SIGN TRAFFIC SIGNAL POLE TRAFFIC SIGNAL POLE TRAFFIC SIGNAL BOX BACKFLOW PREVENTER FIBER OPTIC BOX IRRIGATION CONTROL VALVE PROPERTY MONUMENT RIGHT-OF-WAY REBAR PIN FOUND REBAR PIN SET CORRUGATED METAL PIPE REINFORCED CONC. PIPE HIGH-DENS. POLYETHYLENE PIPE DUCTILE IRON PIPE POLYVINYL CHLORIDE PIPE
PROPOSE	D		

PR

- PROPERTY LINE — CONCRETE CURB CONCRETE CURB & GUTTER
- GENERAL SITE NOTES
- A. ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. B. ALL CURB RETURN RADII SHALL BE 5', AS SHOWN TYPICAL ON THIS PLAN, UNLESS
- OTHERWISE NOTED.
- C. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON:
 - ALL CURB ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 1A
 - PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE PAVING PLAN OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES.
 - SEE ASSOCIATED PLANS FOR CANOPY, COLUMN, PUMP ISLAND DETAILS AND AYOU
- D. CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- CONTRACTOR TO PROTECT EXISTING LANDSCAPE/IRRIGATION METER.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE. THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- G. THE LOCATION OF THE CONSTRUCTION FENCE ON THE DRAWINGS IS FOR GRAPHICAL REPRESENTATION ONLY. THE CONTRACTOR IS TO ENSURE THAT THE CONSTRUCTION FENCE ENCOMPASSES THE ENTIRE WORK AREA.
- H. CONTRACTOR SHALL PURCHASE AND INSTALL A MAILBOX, AND SHALL COORDINATE LOCATION OF MAILBOX WITH MURPHY CONSTRUCTION MANAGER AND/OR ON-SITE REPRESENTATIVE AND LOCAL POSTMASTER.
- ALL PROPOSED PAVEMENT STRIPING OR MARKINGS SHALL FOLLOW THE SPECIFICATIONS FOR PAINT INCLUDED IN DETAILS 10A AND 10B.

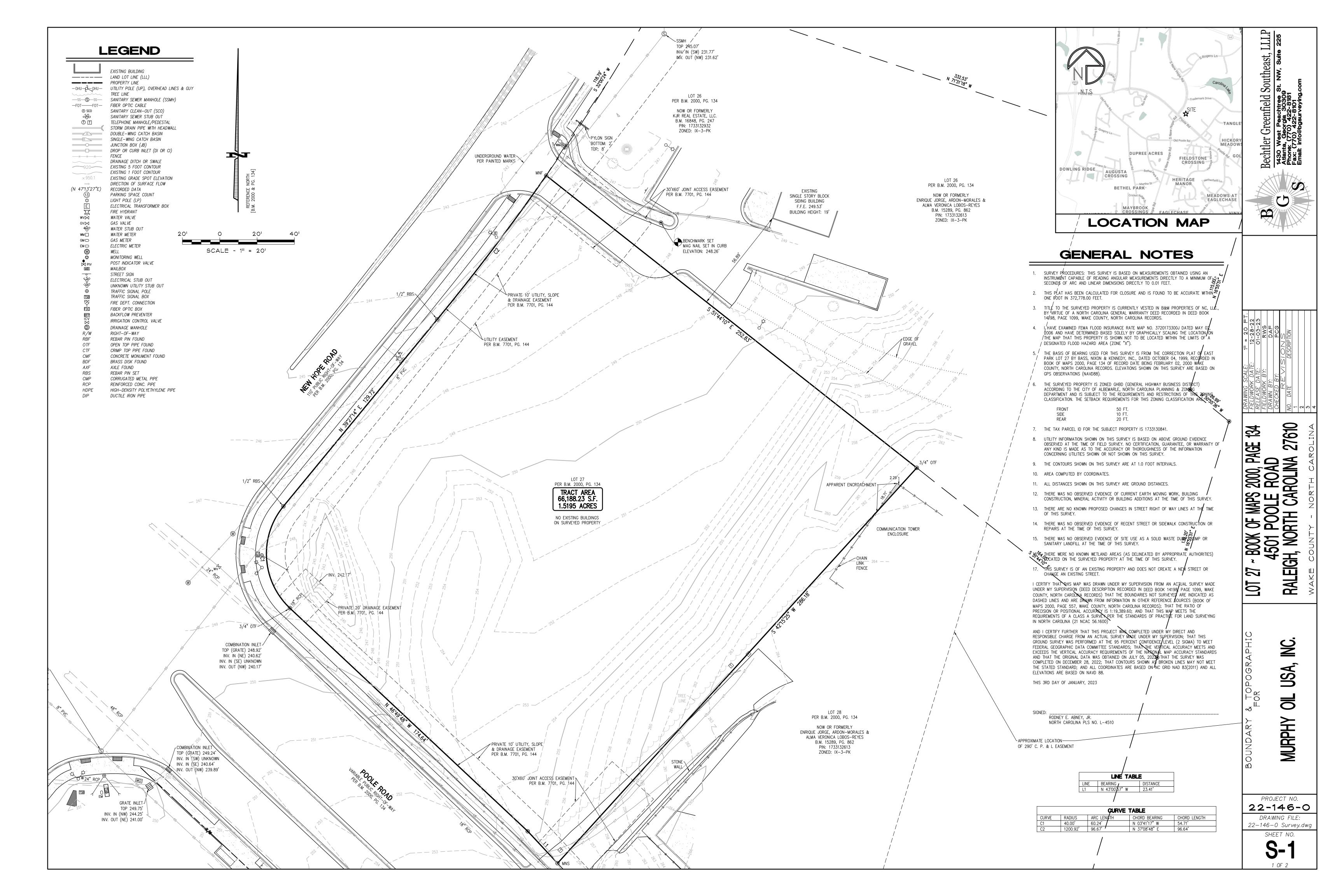
SITE NOTES

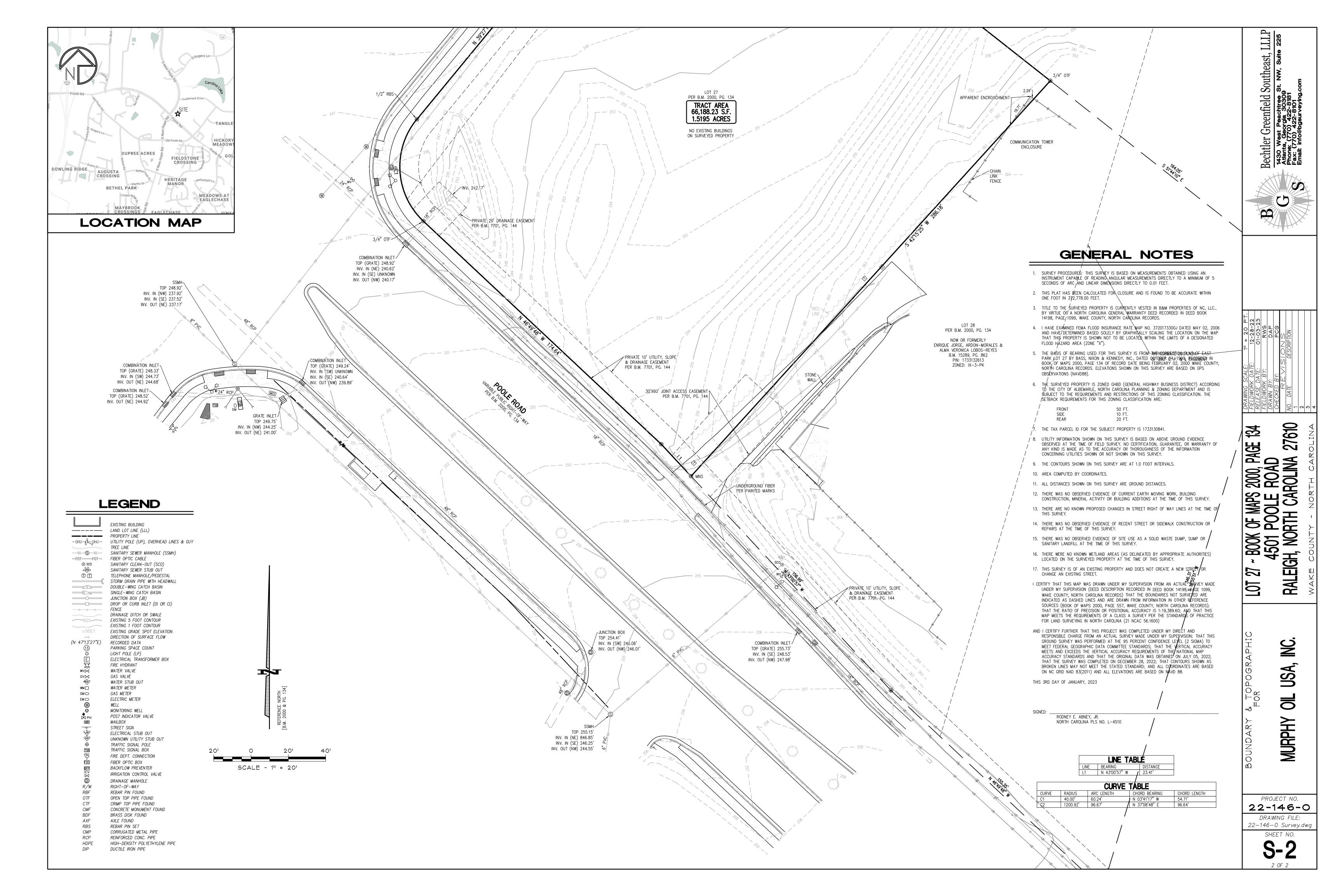
- 2F DRILL (2) 3/4" Ø X 4" DIA. HOLES ONE EACH FOR OPEN POSITION & CLOSED POSITION OF GATES TO BE USED ON BOTH SIDES OF GATE. SEE DUMPSTER DETAIL. 8B OVERHEAD CANOPY – (TYP.–PER CANOPY PLANS)
- 12A 4" TRAFFIC YELLOW LANE STRIPE (SEE LENGTH INDICATED AT SYMBOL). 12D 4" WIDE PAINTED STRIPES. 2.0' O.C. @ 45' (SEE SIZE COLOR INDICATED AT SYMBOL).
- 12M CONTRACTOR TO ENSURE THAT ANY LIGHT POLES OR HANDICAP PARKING SIGNS ARE AT LEAST 2' FROM BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THESE ITEMS.
- 16A MURPHY OIL PYLON SIGN PER APPROVED ELEVATION 21A TAPER CURB TO MATCH EXISTING CURB
- 21D EDGE OF CONCRETE SLAB PER TANK/PIPING PLANS.
- 21E UNDERGROUND STORAGE TANKS (1) 25,000 GAL-REGULAR, (1) 8,000 GAL-PREMIUM, (1) 10,000 GAL-DIESEL, (1) 8,000 GAL-E-0.
- 21F ATM 21G AIR VACUUM UNIT WITH 4' x 7' CONCRETE SLAB
- 21J MURPHY USA ID SIGN PER APPROVED ELEVATION
- 21L PRICE SIGN PER APPROVED ELEVATION 21P 5' X 10' CONCRETE PAD FOR PROPANE TANKS
- 21U 5' X 7' CONCRETE SLAB FOR ICE UNIT. SEE NUMBER INDICATED AT SYMBOL. 21V CONCRETE PAD FOR VENT RISERS PER TANK & PIPING PLANS
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL

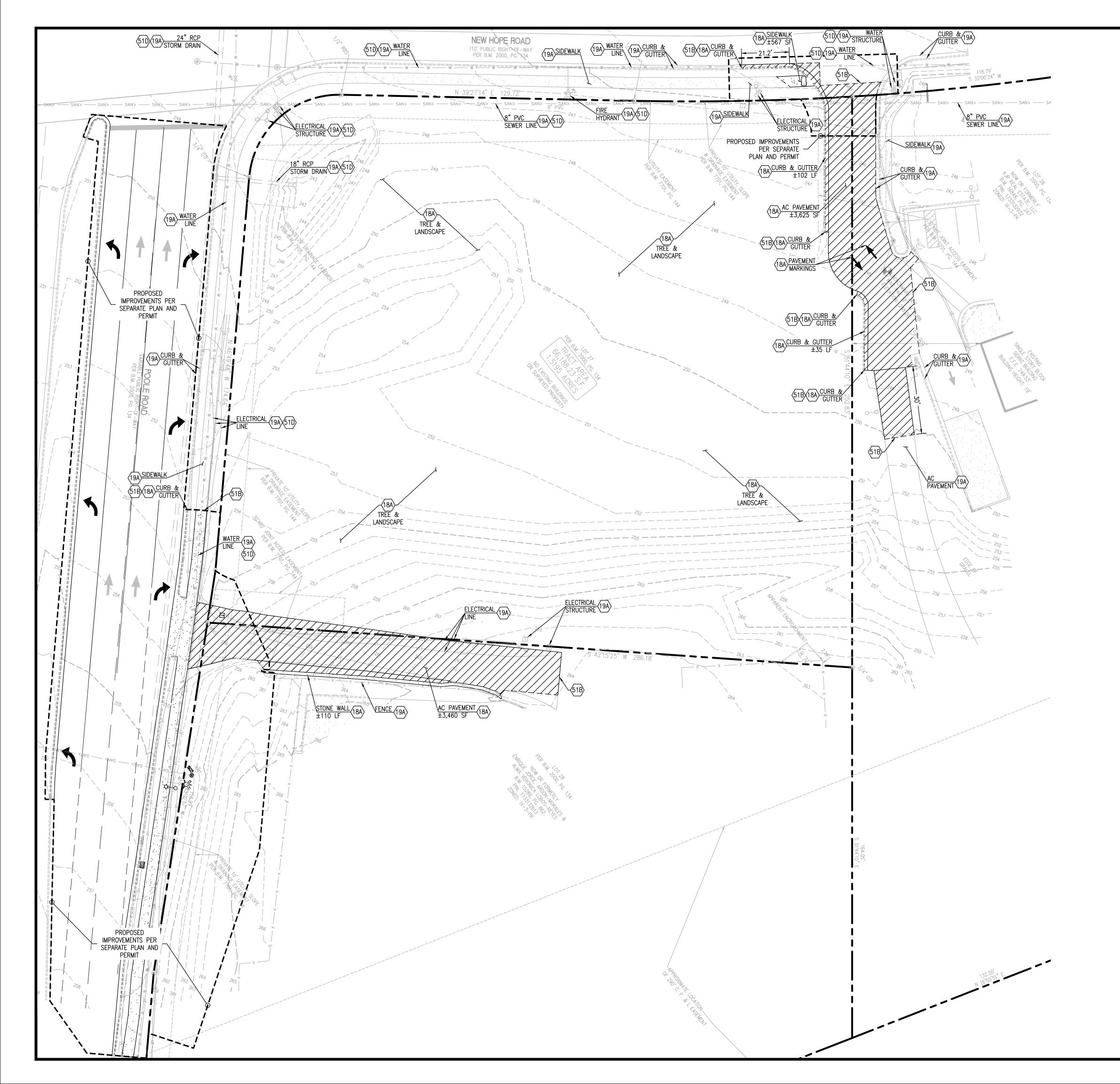
SITE DETAILS INTEGRAL CURB 1B TYPE "B" CONCRETE CURB & GUTTER DUMPSTER ENCLOSURE WHEELCHAIR RAMP IN SIDEWALK (PERPENDICULAR TO DRIVEWAY CURB) 3K CONCRETE SIDEWALK WHEELCHAIR RAMP IN SIDEWALK BOLLARD - 5A TRAFFIC SIGN IN BOLLARD 5g u-Bumper 6A RETAINING WALL 8H CRUSHED STONE 9S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN (TYP.) ACCESSIBLE PARKING SYMBOL (SEE PAINT COLOR INDICATED AT SYMBOL) 10P VESTIBULE CROSSWALK STRIPING 11N "PEDESTRIAN CROSSING" SIGN 13A SITE LIGHT POLE. SEE PHOTOMETRIC PLANS FOR POLE BASE DETAIL, FIXTURE TYPE, AND MOUNTING DETAILS. 18G CONSTRUCTION CAMERA LOCATION. (FINAL LOCATION TO BE DETERMINED BY MURPHY PM)

 \bigcirc i n DES(REV: SUITE 6005 RALEIGH, 20220629.0 OUTH EVERGREEN AVE, ARLINGTON HEIGHTS, II AME: NO.: G N JOB \bigcirc ന \bigcirc Ž 0 0 0 Ĩ $\vdash 0 \blacktriangleleft$ \bigcirc \triangleleft U U H \bigcirc \square $\tilde{\mathbb{P}} \times \tilde{\mathbb{P}}$ ш́ОШ́ l ḿ O , 🛆 \bigcirc Ñ L W $\overline{\mathbb{A}}$

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THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY

SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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DESC

DATE: 03-14-23

REVISION REV: REV-0

SOUTH EVERGREEN AVE, SUITE ARLINGTON HEIGHTS, IL 60005

VG NAME: RALEIGH, JOB NO.: 20220629.0

0 6 0

EXISTING			
ST	STORM LINE (UNDERGROUND)	•	SITE BENCHMARK
SS	SANITARY LINE (UNDERGROUND)		FOUND MONUMENT (AS NOTED)
WL	WATER LINE (UNDERGROUND)	S	SANITARY MANHOLE
UG	GAS LINE (UNDERGROUND)	ST	STORM MANHOLE
F0	FIBEROPTIC LINE (UNDERGROUND)		WATER VALVE
	WOOD FENCE	$\widehat{\mathbb{M}}$	WATER METER
	GUARDRAIL	FO	FIBEROPTIC PEDESTAL
	CONCRETE AREA	-0-	SIGN
(TW)	TRAVELED WAY WIDTH	(M)	MEASURED
YPC	YELLOW PLASTIC CAP	(R)	RECORD
LS	LANDSCAPE AREA		

PROPOSED

BOUNDARY LINE

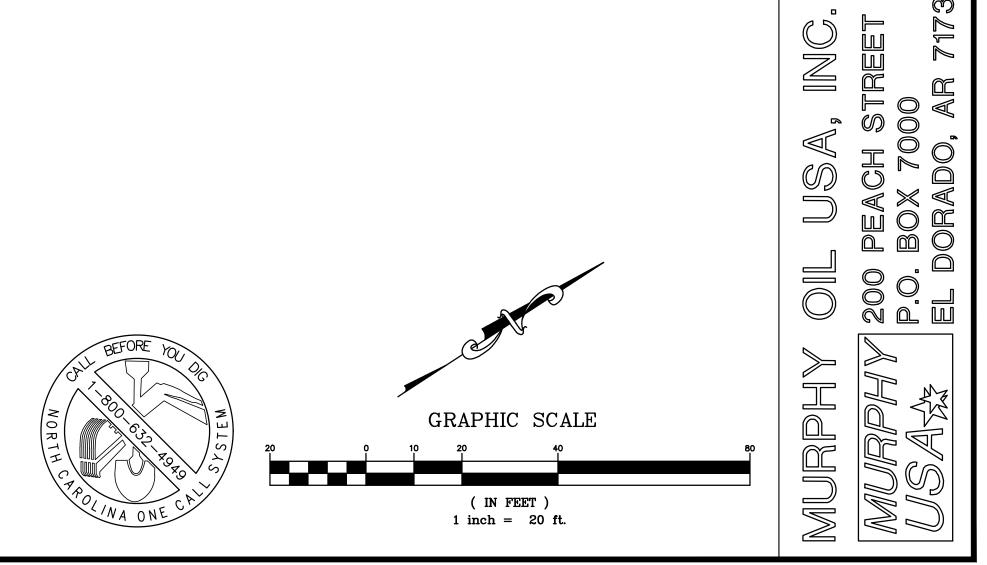
ASPHALT PAVEMENT REMOVE

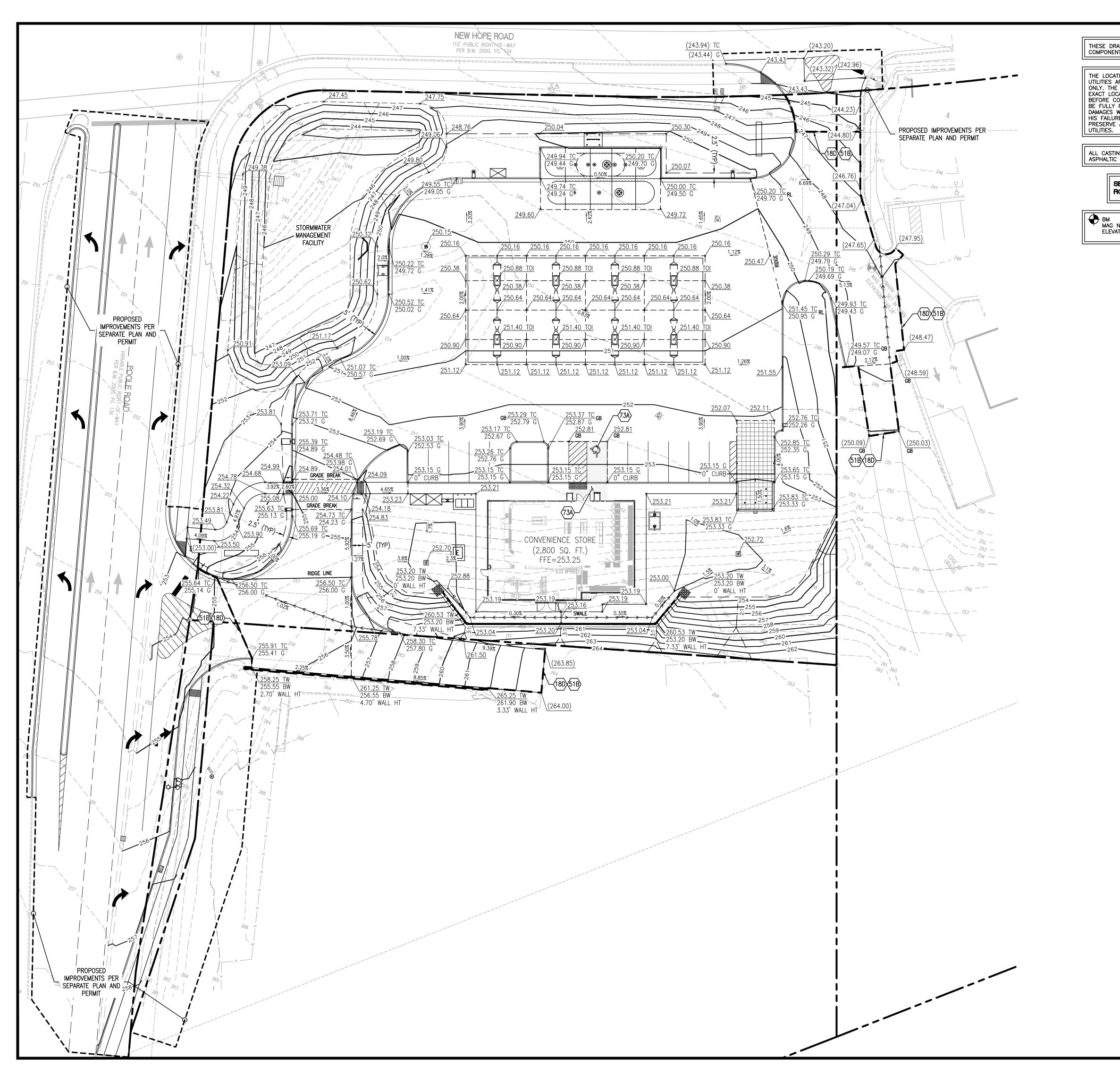
GENERAL DEMOLITION NOTES

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- B. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- C. THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- D. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

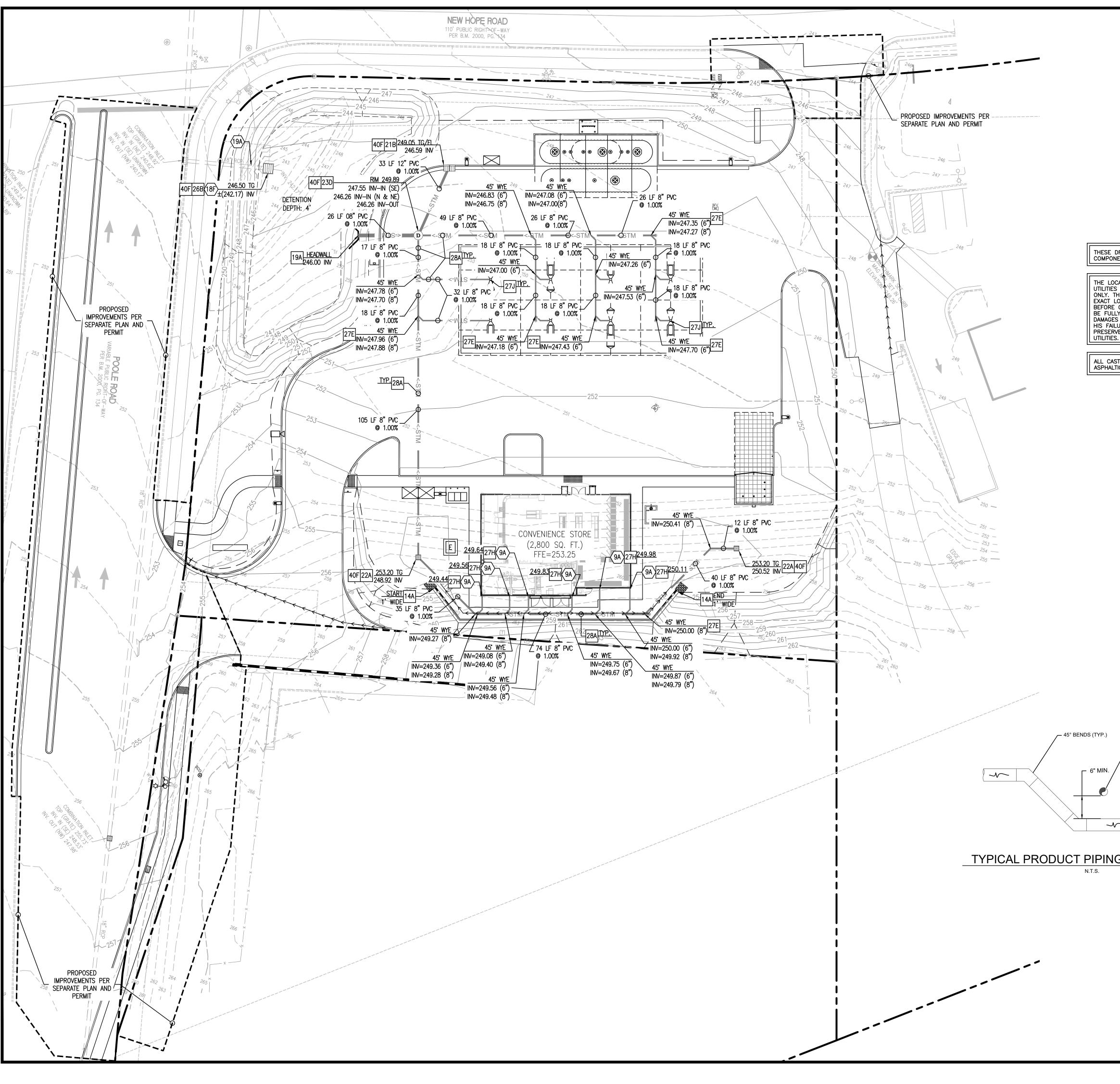
DEMOLITION NOTES

- 18A EXISTING TO BE REMOVED 19A EXISTING TO REMAIN
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL. 51D PROTECT EXISTING STRUCTURES AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES.

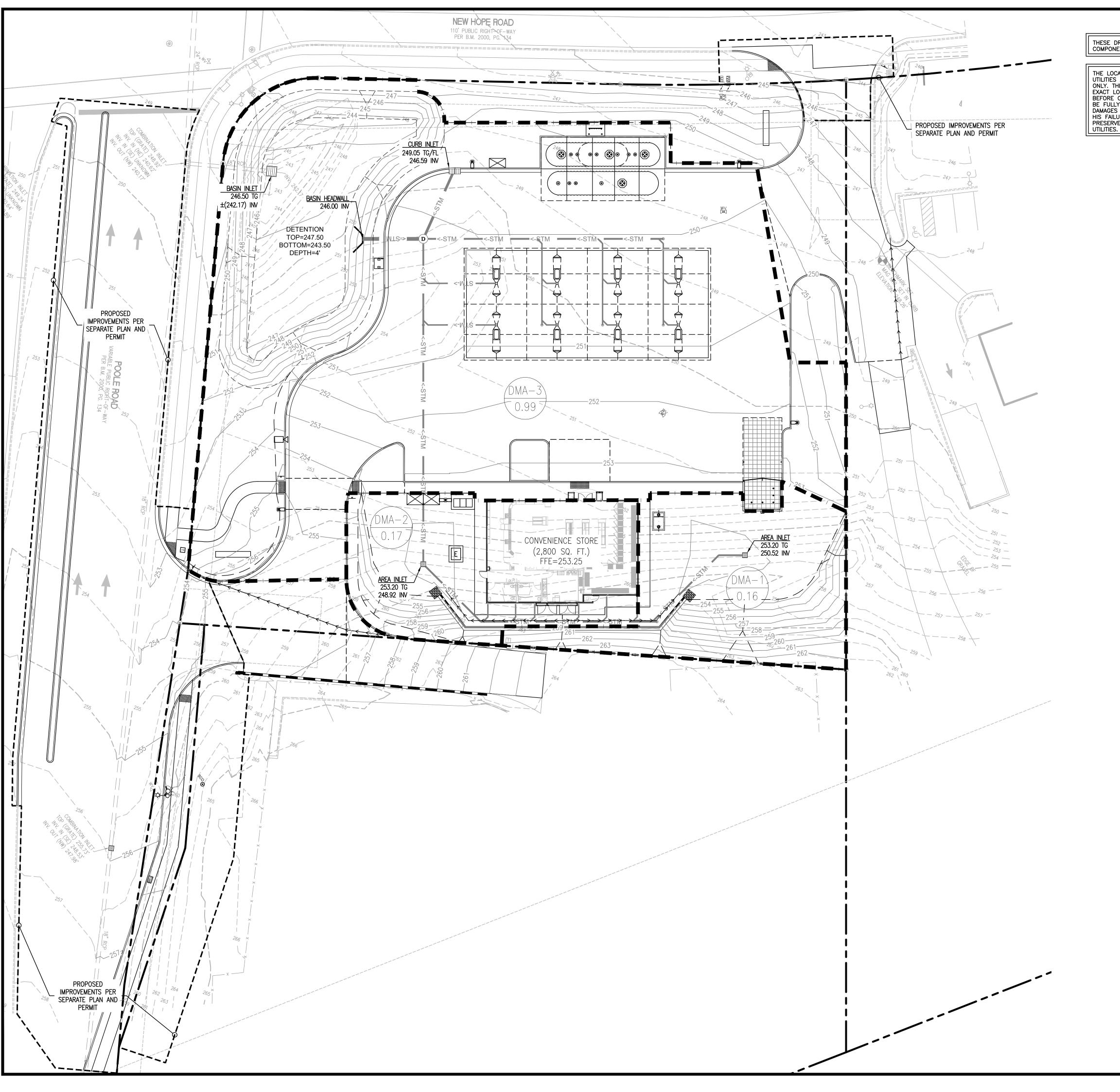




RAWINGS DO NOT INCLUDE	LEGEND	MO.		
ATION OF EXISTING UNDERGROUND ARE SHOWN IN AN APPROXIMATE WAY E CONTRACTOR SHALL DETERMINE THE ICATION OF ALL EXISTING UTILITIES COMMENCING WORK. HE AGREES TO ' RESPONSIBLE FOR ANY AND ALL WHICH MIGHT BE OCCASIONED BY IRE TO EXACTLY LOCATE AND E ANY AND ALL UNDERGROUND	EXISTING	SHEET N	<u> </u>	
INGS SHALL BE COATED WITH BLACK C VARNISH.	= = = = STORM SEWER LINE ⊕ TRAFFIC SIGNAL POLE = = = = = STORM DRAIN PIPE W/ HEADWALL TSB TRAFFIC SIGNAL BOX D DRAINAGE MANHOLE EFP BACKFLOW PREVENTER D DRAINAGE CATCH BASIN ECC FIBER OPTIC BOX			
SEE SHEET C-3.1 FOR BUILDING ROOF AND CANOPY DRAINAGE	W WATER LINE ICV IRRIGATION CONTROL VALVE E UNDERGROUND ELECTRIC LINE IRRIGATION CONTROL VALVE OHE OVERHEAD ELECTRIC LINE PROPERTY MONUMENT T UNDERGROUND TELE. LINE R/W RIGHT-OF-WAY T UNDERGROUND TELE. LINE RBF REBAR PIN FOUND FO FIBER OPTIC CABLE RBS REBAR PIN SET			
NAIL SET IN CURB ATION = 248.26	SS SANITARY SEWER LINE CMP CORRUGATED METAL PIPE © SCO SANITARY CLEAN-OUT (SCO) RCP REINFORCED CONC. PIPE S SANITARY SEWER MANHOLE HDPE HIGH-DENS. POLYETHYLENE PIPE UTILITY POLE & GUY DIP DUCTILE IRON PIPE VIGHT POLE (LP) PVC POLYVINYL CHLORIDE PIPE	NB DRW		7610
	PROPOSED	NB DES	AD S	NC 2.
		d M	PL AN PRESS E ROA	Į
	DRAINAGE SLOPE AND DIRECTION SPOT ELEVATIONS: XXXX TC TOP OF CURB XXXX G GUTTER XXXX TOI TOP OF ISLAND	JC PRN	VEX.	
	XXXX EX. EXISTING ELEVATION XXXX TS TOP OF SIDEWALK XXXX TW TOP OF WALL XXXX BW BOTTOM OF WALL	-14-23 DATE	AD 1991	
	MAXIMUM 2% SLOPES	03-1 DA	AB Maria	IGH
	GENERAL GRADING NOTES A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND ITS CLIENTS SHALL BE	REV-0		RALEIGH
	HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. B. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND GROUND COVER ESTABLISHED. ANY RELOCATED TREES SHALL BE MAINTAINED UTNIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE STABILIZE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.	DESCRIPTION:	SUBMITTAL	
	C. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.	DESC	-23 ASR	
	 D. REFER TO GEOTECHNICAL REPORT FOR SPECIFIC SITE SOIL CONDITIONS AND CONSIDERATIONS. E. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA. 	REVISION RE REV: D	REV-0 03-14	
	F. ALL HDPE PIPE IN SANDY OR HIGHLY EROSIVE, OR EXPANSIVE SOILS SHALL BE N-12 WT IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "N" DESIGN VALUE OF 0.012. JOINTS SHALL BE WATERTIGHT ACCORDING TO ASTM D3212 (OR AASHTO M252, M294) REQUIREMENTS. GASKETS SHALL MEET THE REQUIREMENTS OF ASTM F477. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 WE IB	FEN AVE SLITTE 200	L 60005 I, NC	
	 PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION. G. ALL OTHER HDPE PIPE SHALL BE N-12 ST IB (OR EQUIVALENT WITH SMOOTH INTERIOR AND ANNULAR EXTERIOR CORRUGATIONS. 4"-48" PIPE SHALL MEET ASTM F2648 (OR AASHTO M252 TYPE S OR SP) REQUIREMENTS AND SHALL HAVE A MINIMUM MANNINGS "N" DESIGN VALUE OF 0.012. JOINT PERFORMANCE, FITTINGS, MATERIAL PROPERTIES AND INSTALLATION SHALL BE DONE PER THE COMPLETE ADS SPECIFICATION FOR ADS N-12 ST IB PIPE FOUND IN THE ADS, INC. DRAINAGE HANDBOOK, LATEST EDITION. 	GOI ITH EVERGREEN AVE	DWG NAME: RALEIGH, JOB NO.: 20220629.0	
	H. IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATION SHALL MEET THE AASHTO CLASS II STANDARD PERFORATION PATTERN REQUIREMENTS.	16		
	 I. STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE ACCORDING TO ASTM C-76 (WATERTIGHT) UNLESS OTHERWISE INDICATED. J. CORRUGATED METAL PIPE, WHERE SPECIFICALLY SPECIFIED ON PLAN, SHALL BE TPE II OF AASHTO M 36 GALVANIZED WITH TYPE 3 JOINTS. 		CD	
	K. CONTRACTOR SHALL ESTABLISH GRADES OF FINISH PAVEMENT TO ENSURE PROPER (POSITIVE) DRAINAGE AND PREVENT PUDDLING OF WATER, SPECIALLY IN PEDESTRIAN WALKWAYS, UNPAVED AREAS OF SITE SHALL ALSO BE GRADED FOR POSITIVE DRAINAGE. CONSULT ENGINEER SHOULD THEIR BE CONFLICTS WITH CRITICAL GRADES SHOWN HEREON.			
	 CONTRACTOR SHALL VERIFY ACTUAL FINISHED FLOOR ELEVATION AFTER BUILDING SET AND NOTIFY ENGINEER AND PM WITHIN 48 HOURS OF ANY DISCREPANCY. M. PIPE JOINTS SHALL BE WRAPPED WITH GEOTEXTILE FABRIC (LAPPED 18") 	C		1730
	GRADING NOTES			AR 7
	 18D MATCH EXISTING PAVEMENT ELEVATIONS 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL. 73A SLOPES CANNOT EXCEED 2% IN ANY DIRECTION OR EXCEED 2% CROSS SLOPES ON SIDEWALKS AND PEDESTRIAN CROSSINGS. 			RADO, /
				EL DOI
CALL BEFORE YOU DE				
NORTH CTROCOLINA ONE CALL	$\begin{array}{c} GRAPHIC SCALE \\ \begin{array}{c} 20 \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} 20 \\ \end{array} \\ \end{array} \\ \begin{array}{c} 1 \\ \end{array} \\ \begin{array}{c} 1 \\ \end{array} \\ \end{array} \\ \begin{array}{c} 20 \\ \end{array} \\ \begin{array}{c} 40 \\ \end{array} \\ \begin{array}{c} 80 \\ \end{array} \\ \end{array} \\ \begin{array}{c} 80 \\ \end{array} \\ \begin{array}{c} 80 \\ \end{array} \\ \end{array} \\ \end{array} $ \\ \begin{array}{c} 80 \\ \end{array} \\ \end{array} \\ \begin{array}{c} 80 \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \begin{array}{c} 80 \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \end{array} \\ \\ \end{array} \\ \end{array} \\ \\ \\ \end{array} \\ \\ \\ \\			
TA UNL	1 inch = 20 ft.			<u> </u>



	LEGEND	
ALL CASTINGS SHALL BE COATED WITH BLACK ASPHALTIC VARNISH.	EXISTING EXISTING BUILDING	
ALL STORM DRAINAGE SHALL HAVE "NO DUMPING DRAINS TO STREAM" LOCATED ON LIDS/GRATES.	EXISTING BUILDING E ELECTRICAL TRANSFORMER BOX EXISTING BUILDING E ELECTRICAL METER CURB LINE T TELEPHONE MANHOLE/PEDESTAL TREE LINE FIRE HYDRANT	
CONTRACTOR TO VERIFY ALL ELEVATIONS AND CONFLICTS PRIOR TO INSTALLING BUILDING AND	(N + 7) 15 27 E) KLECONDED DATA - 920 - EXISTING 5 FOOT CONTOUR - 920 - EXISTING 5 FOOT CONTOUR - 920 - EXISTING 1 FOOT CONTOUR - 950.00 EXISTING GRADE SPOT ELEVATION - 950.00 EXISTING GRADE SPOT ELEVATION	
ALL CANOPY DRAINAGE TO BE A MIN. OF 6" BELOW ALL PRODUCT PIPING.	□ DRAINAGE CATCH BASIN FOG FIBER OPTIC BOX □ W WATER LINE ICV IRRIGATION CONTROL VALVE □ E UNDERGROUND ELECTRIC LINE ● PROPERTY MONUMENT □ OHE OVERHEAD ELECTRIC LINE ● PROPERTY MONUMENT □ T UNDERGROUND TELE. LINE RBF REBAR PIN FOUND	
ALL PVC PIPE CONNECTIONS TO CONCRETE STRUCTURES MUST USE A WATER TIGHT CONNECTION. SEE DETAILS	F0 FIBER OPTIC CABLE RBS REBAR PIN SET SS SANITARY SEWER LINE CMP CORRUGATED METAL PIPE © SCO SANITARY CLEAN-OUT (SCO) RCP REINFORCED CONC. PIPE S SANITARY SEWER MANHOLE HDPE HIGH-DENS. POLYETHYLENE PIPE UTILITY POLE & GUY DIP DUCTILE IRON PIPE \$\$\phi\$ LIGHT POLE (LP) PVC POLYVINYL CHLORIDE PIPE	NB DRW NG10
E DRAWINGS DO NOT INCLUDE PONENTS FOR CONSTRUCTION SAFETY.	PROPOSED	NB DES C 27
	PROPERTY LINE	Z a d SS SS SAL
LOCATION OF EXISTING UNDERGROUND TES ARE SHOWN IN AN APPROXIMATE WAY THE CONTRACTOR SHALL DETERMINE THE T LOCATION OF ALL EXISTING UTILITIES RE COMMENCING WORK. HE AGREES TO ULLY RESPONSIBLE FOR ANY AND ALL GES WHICH MIGHT BE OCCASIONED BY ALLURE TO EXACTLY LOCATE AND ERVE ANY AND ALL UNDERGROUND TES.	GENERAL DRAINAGE NOTES A. PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EVOLVATE AVERIES AND CONDUCTION AND	JC JP PRN PM SEWER IY EXPRE POOLE R(
CASTINGS SHALL BE COATED WITH BLACK ALTIC VARNISH.	THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS OR REQUIRED DEVIATIONS FROM THE PLAN PRIOR TO CONSTRUCTION. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. B. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS	03-14-23 DATE DATE DATE MURPH #501 F
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	PAVEMENT CONSTRUCTED BY WAL-MART PRIOR TO STARTING CONSTRUCTION. D. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE	
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	LATEST EDITION. F. IF USING HDPE PERFORATED PIPE FOR SUBSURFACE DRAINAGE AND DETENTION/RETENTION SYSTEMS, THE PERFORATIONS SHALL MEET THE AASHTO CLASS II STANDARD PERFORATION PATTERN REQUIREMENTS. G. ALL STORM SEWER LINES 18"-54" DIAMETER ARE TO BE REINFORCED CONCRETE PIPE	REVISION RECORD: REV: DATE: REV-0 03-14-
	ACCORDING TO ASTM C-76 CLASS III UNLESS OTHERWISE INDICATED. H. DRAINAGE PIPING AND FITTINGS FOR CANOPY DRAINAGE SHALL BE SOLVENT WELD PVC SCH. 40 (MIN.) AND WATER TIGHT. I. REFER TO CLEANOUT DETAIL FOR REQUIRED HEAVY DUTY COVER.	SUITE 200 F
	J. DRAINAGE PIPING SHALL BE ROUTED BELOW PRODUCT PIPING (MIN. 6" VERTICAL SEPARATION). COORDINATE WITH TANK/PIPING PLANS.	EEN AVE, S EIGHTS, IL RALEIGH, 20220629.0
	STORM NOTES	ERGREE ON HEI IAME: R 8 NO.: 20
	9A DOWN SPOUTS — (TYP.—PER ARCH. PLANS). 18F CONNECT TO EXISTING STORM DRAIN PIPE 19A EXISTING TO REMAIN	SOUTH EVERGREEN AV ARLINGTON HEIGHTS DWG NAME: RALEIC JOB NO.: 2022062
· · · · · · · · · · · · · · · · · · ·	STORM DETAILS 14A CONCRETE SWALE	21 SO A
PRODUCT PIPING (SEE PIPING PLANS FOR	14A CONCRETE VALLEY GUTTER 19A CONCRETE HEADWALL 21B CURB INLET 22A AREA INLET 23D STORM DRAIN MANHOLE 26B OVERFLOW STRUCTURE 27E STORM DRAIN CLEAN-OUT 27H ROOF DRAIN DOWNSPOUT CONNECTION 27J CANOPY DRAIN CONNECTION DETAIL	
SIZE AND LOCATION)	28A STORM SEWER TRENCH AND BEDDING 40F WATERSTOP STRUCTURE CONNECTION TO CONCRETE STRUCTURE	
		71730 71730
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NG CROSSING		
CALL BEFORE YOU DE		
WORTH CTAR	GRAPHIC SCALE	
POLINA ONE CAL	(IN FEET) 1 inch = 20 ft.	



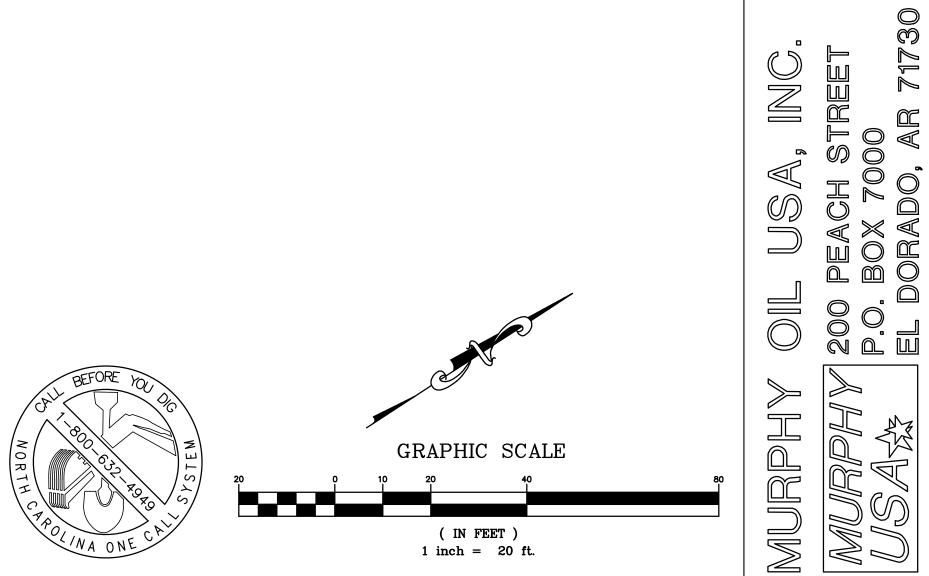
LEGEND NO. EXISTING THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY. E ELECTRICAL TRANSFORMER BOX EXISTING BUILDING \mathcal{O} ELECTRICAL METER ====== CURB LINE Un THE LOCATION OF EXISTING UNDERGROUND TREE LINE 💢 FIRE HYDRANT UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES WATER VALVE —— × —— × —— FENCE WM 🗆 WATER METER N 47°13'27"E MEASURED DATA BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL gv 🖂 🛛 GAS VALVE (N 47°13'27"E) RECORDED DATA Ś GM 🗆 GAS METER DAMAGES WHICH MIGHT BE OCCASIONED BY > ____ 920 --- EXISTING 5 FOOT CONTOUR ∅ MONITORING WELL HIS FAILURE TO EXACTLY LOCATE AND EXISTING 1 FOOT CONTOUR PRESERVE ANY AND ALL UNDERGROUND UTILITIES. MB MAILBOX × 950.00 EXISTING GRADE SPOT ELEVATION ---- STREET SIGN = = = = storm sewer line \oplus TRAFFIC SIGNAL POLE = = = = = STORM DRAIN PIPE W/ HEADWALL TSB TRAFFIC SIGNAL BOX D DRAINAGE MANHOLE BFP BACKFLOW PREVENTER DRAINAGE CATCH BASIN FOD FIBER OPTIC BOX $\stackrel{\rm icv}{\Join}$ irrigation control valve ------ WATER LINE UNDERGROUND ELECTRIC LINE PROPERTY MONUMENT

	IEAD ELECTRIC LINE RGROUND TELE. LINE OPTIC CABLE ARY SEWER LINE ARY CLEAN-OUT (SCO) ARY SEWER MANHOLE Y POLE & GUY POLE (LP)	R/W RBF RBS CMP RCP HDPE DIP PVC	PROPERTY MONUMENT RIGHT-OF-WAY REBAR PIN FOUND REBAR PIN SET CORRUGATED METAL PIPE REINFORCED CONC. PIPE HIGH-DENS. POLYETHYLENE PIPE DUCTILE IRON PIPE POLYVINYL CHLORIDE PIPE	NB	DRW		
PROPOSED	Property line			NB	DES		A D
STM->	PROPOSED STOP			٩	PM		EXPRESS OLE ROA
DMA-	SUBAREA			Ŋ	PRN	VAT	. 0
	SUBAREA (ACRE	S)		14-23	DATE	N IV	MURPHY 4501 PC
SITE AREA:	±66,188 (±1.52 /	AC)		03-			
DRAINAGE AREAS: DMA-1 DMA-2 DMA-3 TOTAL	±6,880 SF (±0.16 ±7,194 SF (±0.17 ±43,529 SF (±0.99 ±57,603 SF (±1.32	Ð AC)			KEV-0	STC	
CONTROL. <u>REQUIRED VOLUME:</u> $WQ_V = (P * R_V * A)$ = (3.5 * 0.5162) = 10.228 AC-FT	/ 12	ond with f	PEAK ATTENUATION FOR RUNOFF			ASR SUBMITTAL	
*PER CITY OF RALEIGH PROVIDED VOLUME: BASIN DIMENSIONS TOP ELEVATION: BOTTOM ELEVATION:	i — STORM WATER DESIGN M 247.50 FT (±8,004 243.50 FT (±3,959	· SF)	FION 1.1 WATER QUALITY VOLUME	RECORD:	ш Ш	03-14-23	
BASIN VOLUME =	23,612 CU. FT. WIT		EBOARD	REVISION		REV-0	
					0	2	

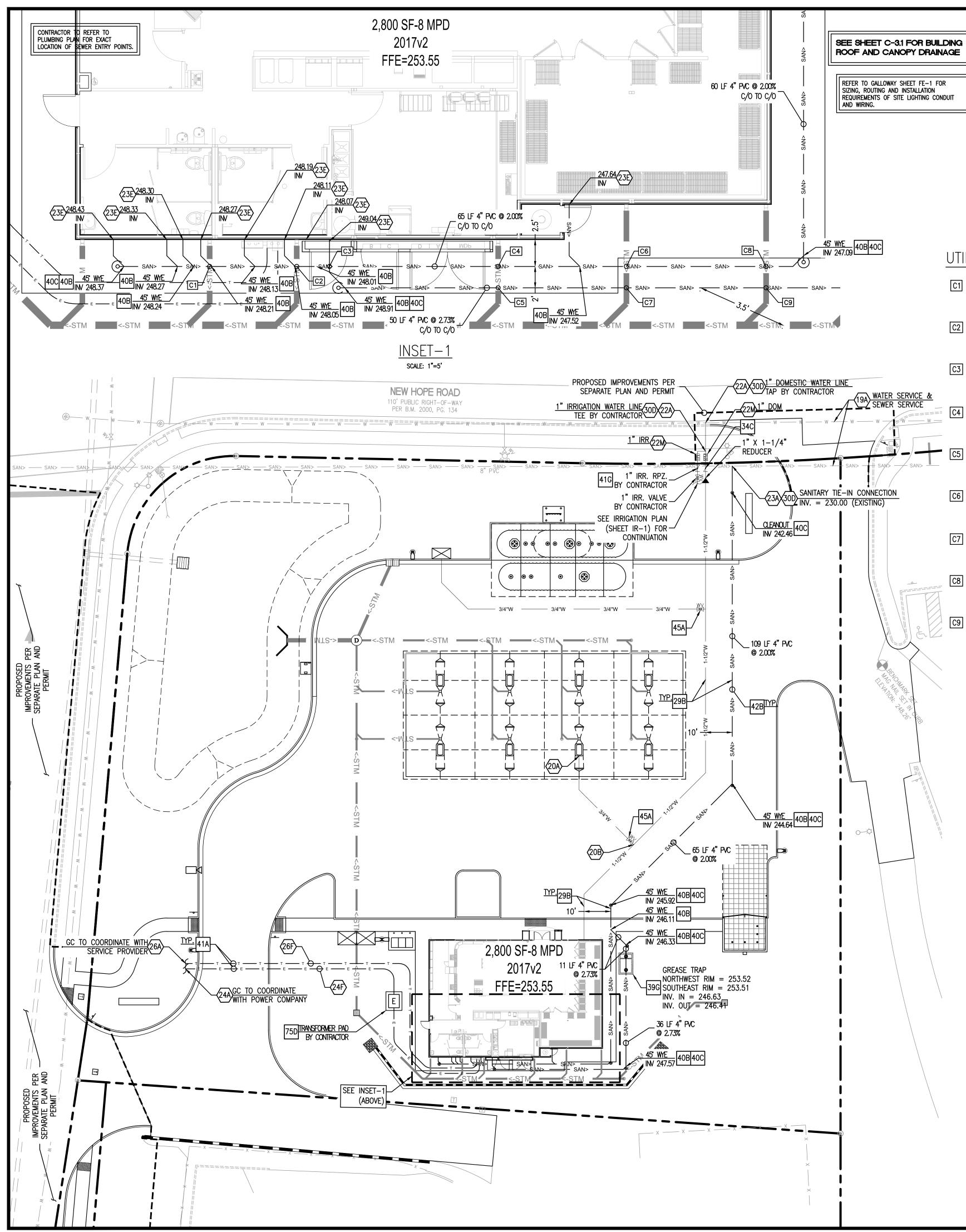
1 SOUTH EVERGREEN AVE, SUITE 20 ARLINGTON HEIGHTS, IL 60005 DWG NAME: RALEIGH, NC

21

VG NAME: RALEIGH, J JOB NO.: 20220629.0



(IN FEET) 1 inch = 20 ft.



UTILITY ROUTING NOTE: REFER TO PLUMBING PLAN (P1) FOR EXACT LOCATIONS OF UTILITY ENTRY POINTS TO BUILDING, ROUTING OF SEWER FLOWS, ETC.

THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

UTILITY CROSSING SCHEDULE:

- 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE C1 STORM SEWER INV: 249.54± SANITARY LINE CROWN: 248.54± CLEARANCE: 1.00± FT
- 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE C2 STORM SEWER INV: 249.62± SANITARY LINE CROWN: 248.38± CLEARANCE: 1.24± FT
- 4" SANITARY (GT) LINE CROSSES ABOVE 4" SANITARY LINE C3 SANITARY GT LINE INV: 248.98± SANITARY CROWN: 248.701 SANITARY CROWN: 248.32± CLEARANCE: 0.66± FT
- 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE C4 STORM SEWER INV: 249.81± SANITARY LINE CROWN: 248.00 SANITARY LINE CROWN: 248.00± CLEARANCE: 1.81± FT
- 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE C5 STORM SEWER INV: 249.79± SANITARY LINE CROS SANITARY LINE CROWN: 247.85± CLEARANCE: 1.94± FT
- 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE C6 STORM SEWER INV: 249.93± SANITARY LINE CROWN: 247.77 SANITARY LINE CROWN: 247.76± CLEARANCE: 2.17± FT
- 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE C7 STORM SEWER INV: 249.91± SANITARY LINE CROWN: 248.52 SANITARY LINE CROWN: 248.52± CLEARANCE: 1.39± FT
- 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE C8 STORM SEWER INV: 250.06± SANITARY LINE CROWN: 247.50± CLEARANCE: 2.56± FT
- 6" STORM SEWER LINE CROSSES ABOVE 4" SANITARY LINE C9 STORM SEWER INV: 250.04± SANITARY LINE CROWN: 248.16± CLEARANCE: 1.88± FT

GC TO VERIFY LOCATION, CONNECTION POINT AND DEPTH OF EXISTING UTILITIES PRIOR TO INSTALLING PROPOSED UTILITY.

ELECTRIC RESPONSIBILITY			
	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A
CONDUIT / TRENCH	X		
PULL SECONDARY WIRES	X		
TRANSFORMER PAD	X		
TRANSFORMER			Х
CT CABINET	X	Х	
EASEMENTS (TRANSFORMER)		Х	
EASEMENTS (SECONDARY LINE)			Х

	^	^ 		T UNDERGROUND TELE. LINE RÉF REBAR PIN FOUND			
EASEMENTS (TRANSFORMER)		X		FO FIBER OPTIC CABLE RBS REBAR PIN SET ss SANITARY SEWER LINE CMP CORRUGATED METAL PIPE			
EASEMENTS (SECONDARY LINE)			X	⊙ sco SANITARY CLEAN-OUT (SCO) RCP REINFORCED CONC. PIPE S SANITARY SEWER MANHOLE HDPE HIGH-DENS. POLYETHYLENE PIPE			
				UTILITY POLE & GUY DIP DUCTILE IRON PIPE	NB DRW		0
WATER RESPONSIBILITY	-	1		A DO LIGHT POLE (LP) PVC POLYVINYL CHLORIDE PIPE	DRW		610
	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A	PROPOSED LEGEND			N N
DOMESTIC TAP	X	TROVIDER			က လြ	e	~ ``
IRRIGATION TAP	X				DES DES	\gg	
DOMESTIC METER	x			SAN> SANITARY SEWER SERVICE		\leq δ	\$ ≪
DOMESTIC BFP	x			E UNDERGROUND ELECTRIC SERVICE		PL AN XPRESS	Ē
IRRIGATION METER	X			T UNDERGROUND TELEPHONE SERVICE	ק_ א		
IRRIGATION BFP	x			1 1 ¹ WATER SERVICE			
HYDRANT	^					V WC	5
			X	3/4"W ³ WATER SERVICE	DRN PRN		Š
EASEMENTS			X	GENERAL UTILITY NOTES			Ľ
				A. ALL BUILDING WATER LINES FROM METER TOWARDS BUILDING SHALL BE SCHEDULE 40 PVC,	23		
SEWER RESPONSIBILITY	051554		I	MEETING ASTM D1785 & D2665 SPECIFICATIONS, AND SHALL BE RATED FOR USE WITH	-14- DATE))
	GENERAL CONTRACTOR	UTILITY PROVIDER	N/A	POTABLE WATER PER NSF STD. 61 & STD.14 , WITH 36" MIN. COVER.		UTIL MURPI	<u>.</u>
ТАР	X	TROUBLIC		B. ALL SANITARY SEWER LINES SHALL BE SCHEDULE 40 PVC WITH 36" MINIMUM COVER.	03		HUN.
EASEMENTS	^		x	C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.			
							Ľ
				D. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE	REV-		<u> </u>
UTILITY INSTALLATION RES	PONSIBILITIES	S		COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.	_ <u>~</u>		
TO BE UPDATED WHEN	MORE INF	<u>O IS RECI</u>	EVED FROM	E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND			
UTILTY COMPANIES				CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.			
				F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND			
WATER SERVICE:				CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM			
WATER COMPANY TO PROVIDE WATER M CONTRACTOR TO PROVIDE AND INSTALL		INCLUDING FITTING	S. VALVES. CURB	GREENBERGFARROW ENGINEERS AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF (72) HOURS PRIOR	DESCRIPTION:		
STOP, CURB BOX, RPZ (ON IRRIGATION DOMESTIC SERVICE FROM METER TO BU	MAIN), WATER SER	VICE MAINS, ETC. F	OR IRRIGATION AND	TO CONSTRUCTION. ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.	DES		
				G. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES			
SEWER SERVICE: • CONTRACTOR TO CONNECT TO EXISTING		e and install se	RVICE LIENS AND	OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF		CZ	
CLEANOUTS FORM POINT OF CONNECTIO	on to Building.			PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL	RECORD: DATE:	-+	
ELECTRIC SERVICE:				EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.	RECOR DATE:		
 ELECTRIC COMPANY PROVIDES AND INST PRIMARY CONDUITS TO STUBOUTS. 	TALLS TRANSFORMER	R, PRIMARY WIRE, C	Ts AND CONNECT	H. FREEZELESS WATER BIBB TO BE LOCATED ON BUILDING SIDE OF CANOPY COLUMN.			
• CONTRACTOR TO PROVIDE & INSTALL 2				I. WATERLINE SERVICE TO DISPENSER ISLAND TO BE ≩" SCH. 40 PVC.			
INCLUDING SWEEPS (36"R'), INSTALL TR WIRE.	ANSFURMER PAD, U	T METER CABINET	AND SECONDARY				
UTILITY CONTACT INFORM	IATION				200		
ELECTRIC	SEWER	AND WATER			SUITE	0005 VC	
DUKE ENERGY Contact: Tyler Hardee	RALEIGH	† PUBLIC UTILITIES (CHANGE PLAZA	DEPARTMENT	UTILITY NOTES	ш, SI	П. 6 Н, Р	
PHONE: 919–605–7288 EMAIL: TYLER.HARDEE@DUKE.ENERGY.COM	RALEIGH	H, NC 27601 CT: BRAIN CASEY		18B EXISTING TO BE RELOCATED	AV	HTS, LEIC 20629	
EMAIL: IILER.HARDEE@DUKE.ENERGI.COM		919-996-2207		18E POINT OF RELOCATION 19A EXISTING TO REMAIN	EEN	ARLINGTON HEIGHTS, IL 600 DWG NAME: RALEIGH, NC JOB NO.: 20220629.0	
UTILITY INSTALLATION RESI	PONSIBILITIES	;		20A FREEZELESS YARD HYDRANT AT PUMP ISLAND (3/4" SCH. 40 PVC)	KGR	N H ME: NO::	
				20B POINT OF CONNECTION – CANOPY WATER SERVICE 22A POINT OF CONNECTION – WATER SERVICE	EVEI	GTO NA OB N	
ELECTRIC RESPONSIBILITY				22M PROPOSED WATER METER (SEE SIZE THIS SHEET) 23A POINT OF CONNECTION – SANITARY SEWER SERVICE	LH I		
	GENERAL	UTILITY	N/A	23E SANITARY SEWER SERVICE EXIT (PER M.E.P. PLANS)		AR	
	CONTRACTOR	PROVIDER		24A POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE. 24F ELECTRIC CONDUITS (PVC SCH. 40)	21 9		
CONDUIT / TRENCH	X			26A CONTRACTOR TO PROVIDE & INSTALL 1–2" SCH. 40 CONDUIT WITH PULL STRINGS AND SWEEPS (36"R) FOR FUTURE COMMUNICATION SERVICE. GC			
PULL SECONDARY WIRES		X		TO CONFIRM CONDUIT ROUTING WITH MURPHY & UTILITY PROVIDER			
TRANSFORMER PAD	X			26F TELEPHONE CONDUITS (PVC SCH. 40) 29B MAINTAIN MIN. 10' HORIZONTAL SEPARATION			
TRANSFORMER		Х		30D VERIFY LOCATION AND DEPTH OF EXISTING UTILITY BEFORE CONSTRUCTING			
CT CABINET		Х		PROPOSED UTILITY			
PRIMARY WIRE		Х					
L		I	·]				
WATER RESPONSIBILITY]	34C ABOVE GROUND BACK FLOW PREVENTER 39G SANITARY SEWER GREASE TRAP			\bigcirc
	GENERAL	UTILITY		40B SANITARY SEWER WYE CONNECTION		_	71730
	CONTRACTOR	PROVIDER	N/A	40C SANITARY SEWER CLEAN-OUT 41A TYPICAL UTILITY TRENCHING	65		
DOMESTIC TAP	X			41G REDUCED PRESSURE ZONE BACKFLOW PREVENTER 42B SANITARY SEWER TRENCHING AND BEDDING		<u>س</u>	¶_{
IRRIGATION TAP	X			45A GATE VALVE			-
DOMESTIC METER	X			75D TRANSFORMER PAD		i LL	, ₽₿
DOMESTIC BFP	Х					ς ν	, ≪(
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SEWER RESPONSIBILITY				BEFORE YOU			9
	GENERAL	UTILITY		ATT OF			
	CONTRACTOR	PROVIDER	N/A			00 00 00)
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EASEMENTS (TRANSFORMER)	^	^ 		T UNDERGROUND TELE. LINE RBF REBAR PIN FOUND FO FIBER OPTIC CABLE RBS REBAR PIN SET		
, ,		X				
EASEMENTS (SECONDARY LINE)			X	⊚ sco SANITARY CLEAN-OUT (SCO) RCP REINFORCED CONC. PIPE S SANITARY SEWER MANHOLE HDPE HIGH-DENS. POLYETHYLENE PIPE		
			n	UTILITY POLE & GUY DIP DUCTILE IRON PIPE	DRW DRW	
WATER RESPONSIBILITY	GENERAL	UTILITY		¢:¢;Ô LIGHT POLE (LP) PVC POLYVINYL CHLORIDE PIPE		Č.
	CONTRACTOR	PROVIDER	N/A	PROPOSED LEGEND		n 19
DOMESTIC TAP	Х			PROPERTY LINE	DES	
IRRIGATION TAP	Х			SAN> SANITARY SEWER SERVICE		> 0 < 1
DOMESTIC METER	X					
DOMESTIC BFP	x			E UNDERGROUND ELECTRIC SERVICE	l⊂l∑l	
IRRIGATION METER	X			T UNDERGROUND TELEPHONE SERVICE	ך ר	
IRRIGATION BFP	x					
HYDRANT			X	3/4"W		Г ЩÕ
EASEMENTS			X		PRN	TY EX POOL
				GENERAL UTILITY NOTES		
SEWER RESPONSIBILITY]	A. ALL BUILDING WATER LINES FROM METER TOWARDS BUILDING SHALL BE SCHEDULE 40 PVC,	-23	
	GENERAL	UTILITY	N1 / A	MEETING ASTM D1785 & D2665 SPECIFICATIONS, AND SHALL BE RATED FOR USE WITH POTABLE WATER PER NSF STD. 61 & STD.14 , WITH 36" MIN. COVER.	-14- DATE	1711 URF
	CONTRACTOR	PROVIDER	N/A	B. ALL SANITARY SEWER LINES SHALL BE SCHEDULE 40 PVC WITH 36" MINIMUM COVER.	03-	
ТАР	X			C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH		
EASEMENTS			Х	ADJACENT PROPERTY OWNERS.		
				D. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED	0-/	
UTILITY INSTALLATION RES		5		TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.	REV	
				E. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL		
<u>TO BE UPDATED WHEN</u> JTILTY COMPANIES	MUKE INF	U IS REUL	<u>eved from</u>	HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.		
UTILIT OUWITAINILU				F. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER,		
WATER SERVICE:				WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM	DESCRIPTION: ASR_SUBMITTAL	
WATER COMPANY TO PROVIDE WATER M				GREENBERGFARROW ENGINEERS AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED		
 CONTRACTOR TO PROVIDE AND INSTALL STOP, CURB BOX, RPZ (ON IRRIGATION 				DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF (72) HOURS PRIOR TO CONSTRUCTION. ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT	LOS:	
DOMESTIC SERVICE FROM METER TO BU				THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.		
SEWER SERVICE: • CONTRACTOR TO CONNECT TO EXISTING		F AND INSTALL SEE	VICE LIENS AND	G. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES.	23	
CLEANOUTS FORM POINT OF CONNECTIO	ON TO BUILDING.		THE LIENS AND	THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL	4-)	\downarrow
ELECTRIC SERVICE:				EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.	RECORD: DATE: 0.3-14-	
ELECTRIC COMPANY PROVIDES AND INS	TALLS TRANSFORMER	, PRIMARY WIRE, C	Ts AND CONNECT			2
PRIMARY CONDUITS TO STUBOUTS. CONTRACTOR TO PROVIDE & INSTALL 2	-4" CONDUITS FROM	I TRANSFORMER PA	D TO BUILDING	H. FREEZELESS WATER BIBB TO BE LOCATED ON BUILDING SIDE OF CANOPY COLUMN.		
INCLUDING SWEEPS (36"R'), INSTALL TF WIRE.				I. WATERLINE SERVICE TO DISPENSER ISLAND TO BE ≩" SCH. 40 PVC.	REVISION REV: RFV-0	
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					SUITE 2	C 005
<u>Electric</u> Duke Energy	RALEIGH	<u>AND WATER</u> I PUBLIC UTILITIES	DEPARTMENT	UTILITY NOTES	Ins .	1, Nr 1, Nr
CONTACT: TYLER HARDEE PHONE: 919-605-7288	ONE EX	CHANGE PLAZA I, NC 27601		18B EXISTING TO BE RELOCATED	IVE,	IS, I EIGF 629.(
EMAIL: TYLER.HARDEE@DUKE.ENERGY.COM	CONTAC	T: BRAIN CASEY 919-996-2207		18E POINT OF RELOCATION	A NE	IGH VALI 3220.
				19A EXISTING TO REMAIN 20A FREEZELESS YARD HYDRANT AT PUMP ISLAND (3/4" SCH. 40 PVC)	SREI	1 HE 1. J. D.: 21 0.: 21
UTILITY INSTALLATION RES	LONSIBITUTES			20B POINT OF CONNECTION - CANOPY WATER SERVICE	21 SOUTH EVERGREEN AVE,	KLINGTON HEIGHTS, IL 6000 DWG NAME: RALEIGH, NC JOB NO.: 20220629.0
ELECTRIC RESPONSIBILITY]	22M PROPOSED WATER METER (SEE SIZE THIS SHEET)	H EV	
	GENERAL	UTILITY		23A POINT OF CONNECTION — SANITARY SEWER SERVICE 23E SANITARY SEWER SERVICE EXIT (PER M.E.P. PLANS)	TUC	D
	CONTRACTOR	PROVIDER	N/A	24A POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE.	21 S(
CONDUIT / TRENCH	X			26A CONTRACTOR TO PROVIDE & INSTALL 1-2" SCH. 40 CONDUIT WITH PULL		
PULL SECONDARY WIRES		Х		STRINGS AND SWEEPS (36"R) FOR FUTURE COMMUNICATION SERVICE. GC TO CONFIRM CONDUIT ROUTING WITH MURPHY & UTILITY PROVIDER		
TRANSFORMER PAD	Х			26F TELEPHONE CONDUITS (PVC SCH. 40)		
TRANSFORMER		Х		30D VERIFY LOCATION AND DEPTH OF EXISTING UTILITY BEFORE CONSTRUCTING		
CT CABINET	1	X		PROPOSED UTILITY		
PRIMARY WIRE		X				
[L	<u> </u>	L		UTILITY DETAILS		
WATER RESPONSIBILITY			[]	34C ABOVE GROUND BACK FLOW PREVENTER 39G SANITARY SEWER GREASE TRAP		
	GENERAL	UTILITY		40B SANITARY SEWER WYE CONNECTION		ET . 1730
	CONTRACTOR	PROVIDER	N/A	40C SANITARY SEWER CLEAN-OUT 41A TYPICAL UTILITY TRENCHING		
DOMESTIC TAP	Х			41G REDUCED PRESSURE ZONE BACKFLOW PREVENTER		
IRRIGATION TAP	Х			42B SANITARY SEWER TRENCHING AND BEDDING 45A GATE VALVE		
DOMESTIC METER	Х			75D TRANSFORMER PAD		
DOMESTIC BFP	Х					, LO∢ \$ 00
IRRIGATION METER	Х					ÍŌS
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SEWER RESPONSIBILITY				BEFORE YOU		$^{\prime}$ \square \bigcirc \square \bigcirc \square \bigcirc
	GENERAL	UTILITY	N1 /A	and the offer] Г	\square
	CONTRACTOR	PROVIDER	N/A			; Õų
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ELECTRIC RESPONSIBILITY	
	GENE CONTR/
CONDUIT / TRENCH	X
PULL SECONDARY WIRES	
TRANSFORMER PAD	X
TRANSFORMER	
CT CABINET	
PRIMARY WIRE	

WATER RESPONSIBILITY	
	GENE CONTRA
DOMESTIC TAP	X
IRRIGATION TAP	X
DOMESTIC METER	X
DOMESTIC BFP	X
IRRIGATION METER	X
IRRIGATION BFP	X
HDYRANT	

SEWER RESPONSIBILITY	
	GENE CONTR/
ТАР	X
EASEMENTS	

LEGEND

EXISTING

====== CURB LINE

TREE LINE

N 47°13'27"E MEASURED DATA

(N 47°13'27"E) RECORDED DATA

= = = = storm sewer line

- 920 - EXISTING 5 FOOT CONTOUR

____ EXISTING 1 FOOT CONTOUR

D DRAINAGE MANHOLE

UNDERGROUND ELECTRIC LINE

—— оне —— OVERHEAD ELECTRIC LINE

UNDERGROUND TELE. LINE

—— × —— × —— FENCE

EXISTING BUILDING

× 950.00 EXISTING GRADE SPOT ELEVATION

DRAINAGE CATCH BASIN

= == == == STORM DRAIN PIPE W/ HEADWALL

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E ELECTRICAL TRANSFORMER BOX

ELECTRICAL METER

💢 FIRE HYDRANT

WV WATER VALVE

WM 🗆 WATER METER

gv 🖂 🛛 GAS VALVE

GM 🗢 GAS METER

MAILBOX

----- STREET SIGN

∅ MONITORING WELL

 \oplus TRAFFIC SIGNAL POLE

BFP BACKFLOW PREVENTER

PROPERTY MONUMENT

IRRIGATION CONTROL VALVE

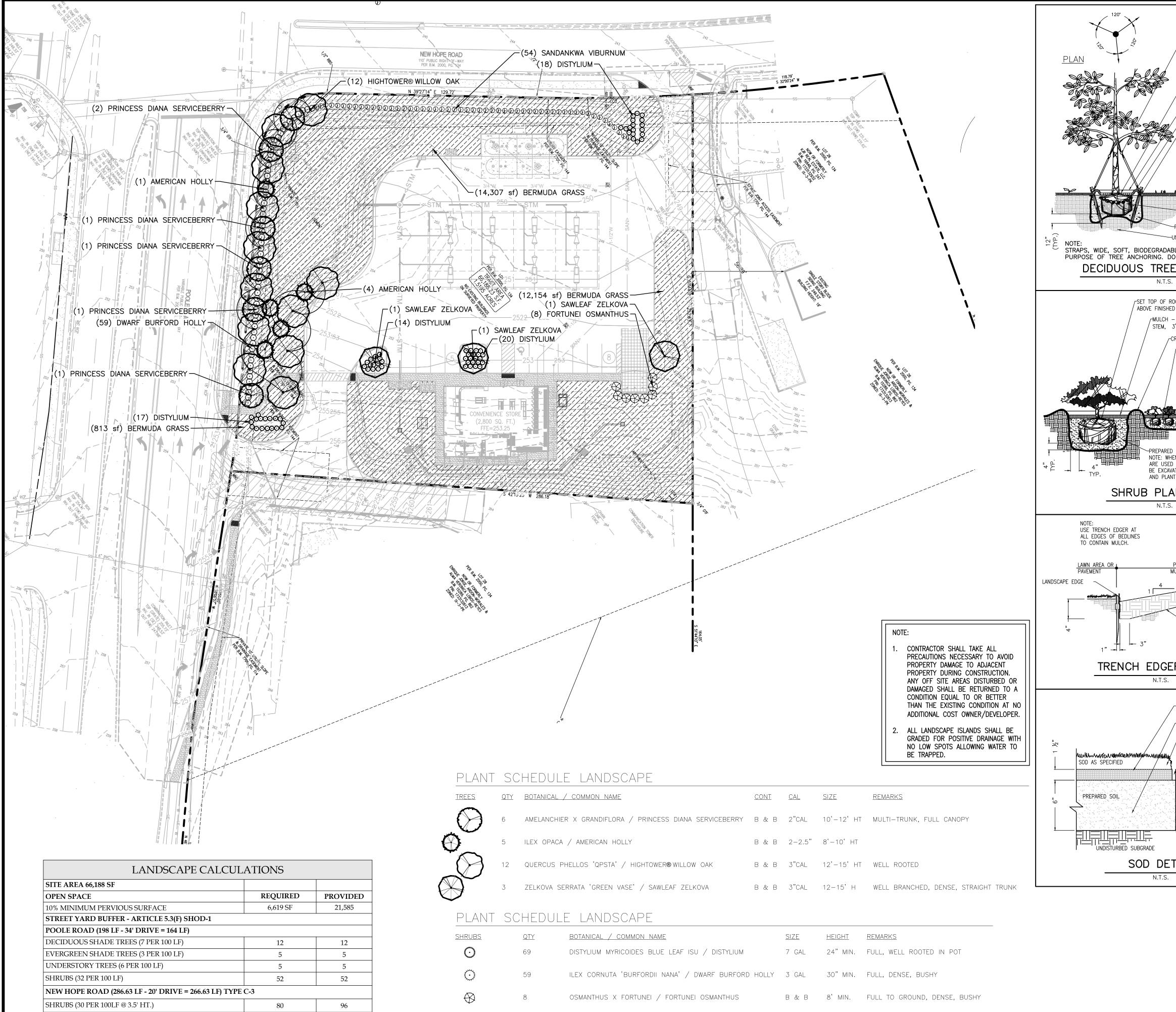
TRAFFIC SIGNAL BOX

FOD FIBER OPTIC BOX

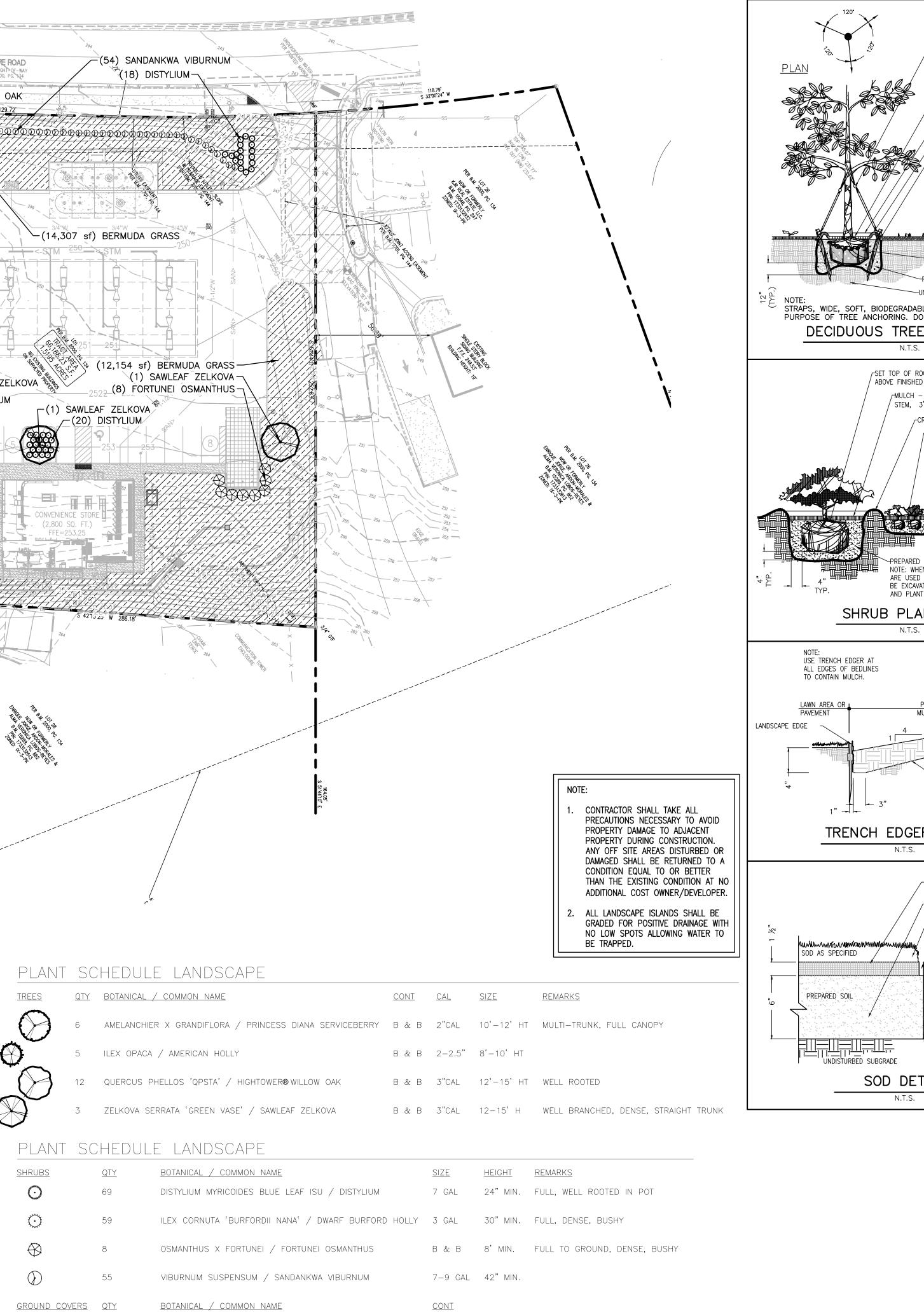
R/W RIGHT-OF-WAY

C

0



POOLE KOAD (198 LF - 34' DKIVE = 164 LF)							
DECIDUOUS SHADE TREES (7 PER 100 LF)	12	12					
EVERGREEN SHADE TREES (3 PER 100 LF)	5	5					
UNDERSTORY TREES (6 PER 100 LF)	5	5					
SHRUBS (32 PER 100 LF)	52	52					
NEW HOPE ROAD (286.63 LF - 20' DRIVE = 266.63 LF) TYPE C-3							
SHRUBS (30 PER 100LF @ 3.5' HT.)	80	96					



<u>CONT</u> <u>botanical / common name</u>

SOD

27,301 SF CYNODON DACTYLON 'TIF 419' / BERMUDA GRASS

CERTIFIED PURE, WEED FREE

-BIODEGRADABLE TWINE STRAPS (3) AT 120° APART. ATTACH IN A BRANCH		T NO.)	
CROTCH APPROX. 1/3 THE HEIGHT OF THE MAIN STEM, OR AT FIRST AVAILABLE BRANCH CROTCH ABOVE THAT POINT	EXISTING				
-SET PLANT WITH 1/8 HEIGHT OF ROOTBALL ABOVE EXISTING GRADE -MULCH, 3" MIN. -CREATE SOIL SAUCER W/ TOPSOIL. -STAKES 2"X2" WOODEN STAKES OR METAL ANCHORS. CUT STAKES OR METAL ANCHORS. CUT STAKES LONG ENOUGH FOR SECURE GRIP IN SUBGRADE. ANGLE STAKES 20–30° OFF VERTICAL. USE 3 STAKES PLACED EQUAL DISTANCE APART. 4 STAKES MAY BE NECESSARY FOR TREES GREATER THAN 4" CALIPER. -FINISHED GRADE	Image: Signed state sta	SHE			
	\times \times FENCE R/W RIGHT-OF-WAY 0 DRAINAGE DITCH OR SWALESDSTORM DRAIN 920 EXISTING 5 FOOT CONTOURSDSTORM DRAIN \times 950.1EXISTING 1 FOOT CONTOUROTFOPEN TOP PIPE FOUND \times 950.1EXISTING GRADE SPOT ELEVATIONOTFOPEN TOP PIPE FOUND \longrightarrow DIRECTION OF SURFACE FLOWCMFCONCRETE MONUMENT FOUND $(N \ 47'13'27''E)$ RECORDED DATAPOD FOUND	NB DRW		(7610
ABLE MATERIAL MANUFACTURED FOR THE DO NOT USE HOSE AND WIRE. E PLANTING 50A	(N 4) 13 27 E)RECORDED DATARDFROD FOUND(13)PARKING SPACE COUNTBDFBRASS DISK FOUND(14)LIGHT POLE (LP)AXFAXLE FOUND(15)ELECTRICAL TRANSFORMER BOXRBSREBAR PIN SET	NB DES	NLAN SSS		VC 2
ROOTBALL 2"	BOUNDARY LINE	d ₩			M
IED GRADE – 1/2" DEEP AT 3" DEEP BETWEEN PLANTS. ~CREATE SOIL SAUCER W/ TOPSOIL	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST) LIMIT OF DISTURBANCE	JC PRN		POOLE	
MINIMUM DEPTH OF 12" PLANTING SOIL FOR GROUNDCOVER BED.	GENERAL LANDSCAPE NOTES A. LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE		E C		
FEXCAVATE ENTIRE BED SPECIFIED FOR GROUND-COVER BED. AMEND W/PEAT MOSS. OR PLANTING SOIL. FINISHED GRADE	CONSTRUCTION BEGINS. B. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.	03-14-2: DATE	NDS Mai irdi	4501	Ľ
(SEE GRADING PLAN)	 C. ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK. (ANSI-Z60.1-1986) D. ALL DISTURBED AREAS DESIGNATED ON THE GRADING PLAN SHALL BE SHOWN AS FOLLOWS: 		$\mathbb{L}_{\mathbb{A}}$		LEIGH
ED PLANTING SOIL AS SPECIFIED. HEN GROUNDCOVERS AND SHRUBS	GRASS SEED MIX: <u>40% PERENNIAL RYE</u> <u>40% TURF TYE FESCUE 0.5 LB PER 100 S.F.</u> <u>20% BERMUDAS GRASS</u> AGRICULTURAL LIME <u>2 LB PER 1000 S.F.</u> FERTILIZER <u>10–10–10 2 LB PER 1000 S.F.</u>	REV		(RAL
ED IN MASSES, ENTIRE BED IS TO AVATED TO RECEIVE PLANTING SOIL ANT MATERIAL	MULCH: DRY STRAW OR HAY 2"-3" DEPTH E. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL. APPROVED BY	:NOI			
S. 50B NOTE:	THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED SHALL ANY REASON PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT SHALL BE	DESCRIPTION:			
METAL LANDSCAPE EDGE BY: COL–MET COLOR: GREEN TYPE: 1014–6 (14GA)	CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. F. THE MURPHY STATION WILL NOT DROP MASTER DEVELOPMENT GREEN SPACE BELOW CITY REQUIREMENTS.	RECORD: DATE:			
PLANTING OR MULCHED AREA	G. CONTRACTOR IS TO VERIFY LOCATION OF MASTER DEVELOPMENT IRRIGATION SYSTEM, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTION DEVICES AND OTHER ITEMS WHICH ARE PART OF THE SYSTEM. IF DAMAGED THEY MUST BE REPAIRED AT CONTRACTOR'S COST.	SION			
EXISTING GRADE OR GRADE	 H. CONTRACTOR IS TO PROTECT EXISTING LANDSCAPING/IRRIGATION MATERIALS. I. ACCEPTANCE OF GRADING AND SEEDING SHALL BE BY LANDSCAPE ARCHITECT AND/OR OWNER. THE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES FOR A MINIMUM OF ONE (1) YEAR OR UNTIL SECOND CUTTING, WHICH EVER IS 	500			
OF PLANTING AREA	CONDERVISION OF ONE (T) TEAR OR ONTIL SECOND COTTING, WHICH EVER IS LONGER. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, RESEEDING AND OTHER OPERATIONS NECESSARY TO KEEP ALL LAWN AREAS IN A THRIVING CONDITIONS. UPON FINAL ACCEPTANCE, OWNER SHALL ASSUME ALL MAINTENANCE RESPONSIBILITIES. AFTER LAWN AREA HAVE GERMINATED, AREAS WHICH FAIL TO SHOW A UNIFORM STAND OF GRASS FOR ANY REASON WHATSOEVER SHALL BE	I AVE, SUI	EIGHTS, IL 60005 : RALEIGH, NC 20220629.0		
ER DETAIL 50R	RE—SEEDED REPEATEDLY UNTIL ALL AREAS ARE COVERED WITH A SATISFACTORY STAND OF GRASS. MINIMUM ACCEPTANCE OF SEEDED LAWN AREAS MAY INCLUDE SCATTERED BARE SPOTS, NONE OF WHICH ARE LARGER THAN 1 SQUARE FOOT, AND WHEN COMBINED DO NOT EXCEED 2% OF TOTAL GREEN AREA.	EVERGREEN	RLINGTON HEIG DWG NAME: RA JOB NO.: 202	1 J	
-SOIL & ROOT LAYER TO BE LEVEL WITH TOP OF PAVEMENT	J. ALL PERMANENT TURF AREAS SHALL BE SOD. K. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER. L. SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF GREEN	21 SOUTH I	- I	1	
6" OF EXISTING SOIL THOROUGHLY MIXED W/ 4" DEPTH OF TOPSOIL -ROLL SOD & WATER THOROUGHLY -1/2" EDGER TO BE SMOOTH	 AREAS. M. SHREDDED HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR 				
PAVEMENT	LANDSCAPE ISLAND (SEE PLANTING DETAILS). N. PLANT MATERIAL SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR AFTER PLANTING. IF ANY PLANTS DIE BEFORE THEY END OF 1 YEAR THEY SHALL BE REPLACED, AT NO COST TO THE OWNER, BY A PLANT OF SIMILAR SIZE AND			2	
	 SPECIES. O. TREES SHALL BE PLANTED PER DETAIL 50A. P. GC SHALL INCORPORATE PRE-EMERGENT HERBICIDE AND WEED BARRIER FABRIC IN MULCH AND PLANTING AREAS. 				30
	 Q. NO PLANTINGS SHALL BLOCK VIEW OF FREE-STANDING OR ID SIGNAGE. N. WHERE UNDERGROUND UTILITIES CONFLICT WITH PROPOSED PLANTINGS, TREE PLACEMENT SHALL BE A MINIMUM OF TEN FEET FROM THE UNDERGROUND UTILITY 			<u>م</u> م	
TAIL 50S	OR A ROOT BARRIER OF TWO FEET DEEP SHALL BE INSTALLED. O. METAL LANDSCAPE EDGING IS TO BE INSTALLED BETWEEN SOD AND LANDSCAPE PLANTING BEDS.		str Str	© «	
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	CALL BEFORE YOU DO		11		
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	GRADUNA ONE CALL S			⊐ ∧	7

(IN FEET) 1 inch = 30 ft

MURP

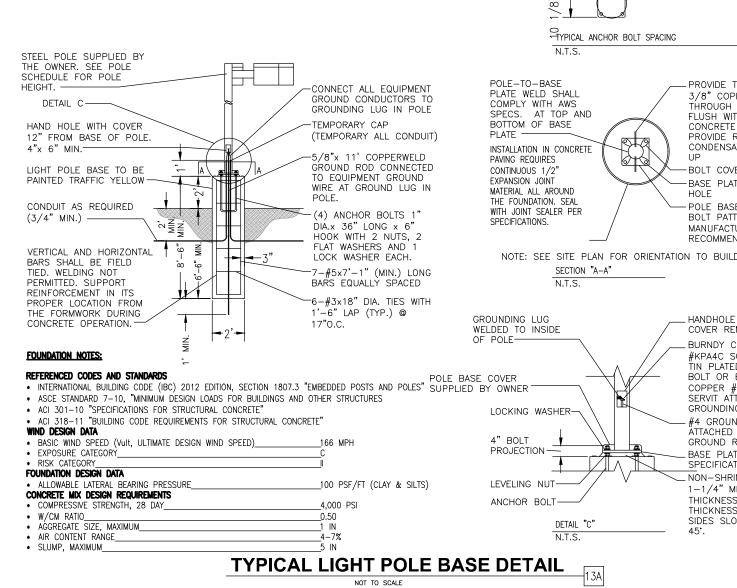
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PHOTOMETRIC SITE PLAN <u>LEGEND</u> :	
SCALE: 1"=30'-0"	
0.0 FOOT-CANDLE READING AT PROPERTY LINE STEE	EL POLE SUPPLIED

LUMI	NAIRE	E SC	HEDULE					
MOUNTING CONFIG	SYMBOL	QTY	ASSEMBLY HEIGHT	POLE HEIGHT	LUMENS	TOTAL WATTS	MODEL NUMBER	DESCRIPTION
S		4	26'-0"	24'-0"	18843	148.5	SLM-18L-SIL-FT-UNV-40-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 400 70 CRI, SINGLE HEAD FLAT LENS FIXTURE, FORWARD THROW
D180		1	26'-0"	24'-0"	18843	297	SLM-18L-SIL-FT-UNV-40-70-BRZ	LSI LIGHTING, SLICE MEDIUM LED SERIES AREA LIGHT, 18,000 LUMENS PACKAGE, 400 70 CRI, DOUBLE HEAD FLAT LENS FIXTURE, FORWARD THROW
CANOPY		15	15'-0"	N/A	11860	114	CRUS-SC-LED-SS-40-UE-WHT	LSI LIGHTING, LEGACY SERIES, SUPER SAVER DRIVER, FLAT LENS CANOPY FIXTURE
H H-BB		2 1	8'-3"	N/A	4124	30	XWM 3 LED 04L 50 UE BRZ XWM 3 LED 04L 50 UE BRZ BB	LSI LIGHTING, MIRADA (XWM) WALL MOUNT LUMINAIRE, 5000k CCT, 4000 LUMEN PAC BRONZE COLOR, H-BB WITH BATTERY BACK-UP
J	0	2	8'-8"	N/A	2333	22	LCD6LED25LUNVDIM135WF TR6RWWHAZ EM	LSI LIGHTING, LCD6 DOWN LIGHT LUMINAIRE, 3500k CCT, 2500 LUMENS, WIDE FLOOD HAZE SEMI-DIFFUSED WALL WASH REFLECTOR, WHITE OR EQUIVALENT

NOTES: ALL AREA SITE LIGHT FIXTURES AND POLES TO BE MOUNTED ON CONCRETE BASE PER DETAIL, THIS SHEET ALL ANCHOR BOLTS TO BE ORIENTED IN THE SAME DIRECTION (SQUARE) AT INSTALLATION PER MANUFACTURER'S SPECIFICATIONS. ALL PROPOSED FIXTURES ARE FULL CUT-OFF FIXTURES

POLE	SCH	EDU	ILE			CALCULA
MOUNTING	SYMBOL	QTY	POLE HEIGHT	MODEL NUMBER	DESCRIPTION	
S		4	24'-0"	4SQB3-S11G-24-S-BRZ-4BC	LSI LIGHTING, 4" STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE	
D180		1	24'-0"	4SQB3-S11G-24-D180-BRZ-4BC	LSI LIGHTING, 4" STEEL SQUARE POLE, BOLT-ON ARM MOUNT, BRONZE	
NOTES: A	ALL AREA S	ITE LIGH	HT FIXTURES	AND POLES TO BE MOUNTED ON CON	ICRETE BASE PER DETAIL, THIS SHEET	

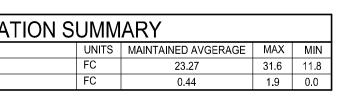
0.0 FOOT-CANDLE READING AT PROPERTY LINE

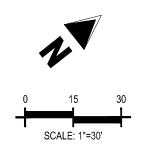


NOT TO SCALE

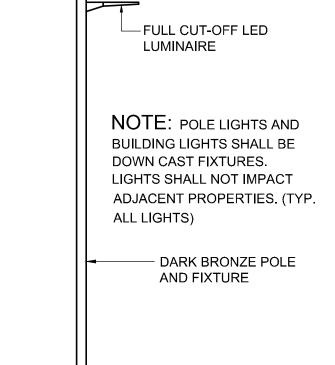
CKAGE, 4000K CKAGE, 4000K

PY FIXTURE, 4000K UMEN PACKAGE,





CONTRACTOR TO ENSURE THE LIGHT POLE AND HANDICAP PARKING SIGN ARE AT LEAST 2' FROM THE BACK OF CURB TO PREVENT VEHICLES FROM STRIKING THE LIGHT POLE OR HANDICAP PARKING SIGN. PROPOSED LIGHT POLE BASES SHOWN AT A MINIMUM OF 2'-6" FROM BACK OF CURB TO CENTER OF POLE/BASE. ENGINEER TO VERIFY PROPOSED LOCATIONS FOR ANY CONFLICTS OR MISPLACEMENTS. REPORT TO LIGHTING DESIGNER ANY DISCREPANCIES OR CONFLICTS



- CONCRETE LIGHT POLE BASE

-FINISHED GRADE

∖A<u>REA LIGHT DETAIL</u> 2 SCALE: NOT TO SCALE

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NOTE	N					
PLAN WAS I	BASED ON THE INFO			TIONS SHOWN REPRESENT RECOMMEN		
HAVING JUF		JESTED ILLUMINATIO	IN LEVELS, LUMINAIRE LOCATIONS, O	R ADDITIONAL CRITERIA BY THE AUTHOF		
				OR RECOMMENDED PRACTICES OF IES		
CONDITION	S UTILIZING CURRE	NT INDUSTRY STAN	DARD LAMP RATINGS IN ACCORDANC	DRATORY DATA TAKEN UNDER CONTROL E WITH ILLUMINATING ENGINEERING SOO N, WITH LAMP OUTPUT AT RATED VALUE	CIETY Signal	
			G SOCIETY APPROVED METHODS.	AS (BUT NOT LIMITED TO): VARIANCE IN		
LUMEN OUT	FPUT; LAMP TILT FA		TAGE OUTPUT; LINE VOLTAGE AT BAI	LLAST; REFLECTOR SPECULARITY; LAMP		
	IOUNTING HEIGHT I		MBLY (POLE, BASE, AND FIXTURE) AN	ID MAY DIFFER FROM THE FROM THE		
THIS PLAN I	IS FOR RELATIVE LA	YOUT AND SCOPE (OF WORK PURPOSES ONLY. REFER TO			
	NT FOR RELATIONS	HIP OF THESE LUMIN	IAIRES AND THEIR LOCATIONS TO EX	SISTING STRUCTURES AND REFERENCE.		
	151	Catalog #:	P	roject: Type:		
					z	
		edium (S ED Area Light			EVISION	
	R M A		(K08)	1. Alternation		
		THE USA LISTED		•	Z	
	OVE	RVIEW		-		
	Lumen Package Wattage Range	9,000 - 48,000 63 - 401			מ'	lite 200
	Efficacy Range (LPW) Weight lbs(kg)	112 - 156 30 (13.6)	QUICK LINKS Ordering Guide Performance	Photometrics Dimensions	ŠI	<i>i</i> ard, Su
	FEATURES & SPE		, showinging	Surry 191015		aza Boulevard, Suite 200 CO 80111
	Construction		Electrical	Installation		5500 Greenwood Plaza Greenwood Village, CO 303.770.8884 GallowayUS.com
	 Rugged die-cast alu contains factory pre unit. Cast aluminum 	ewired driver and optical	 High-performance driver features overvoltage, under-voltage, short-circuit and over temperature protection. 	 A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical 		enwoo od Vills 8884 yUS.cc
	 located underneath Fixtures are finished polyester powder component 		 0-10V dimming (10% - 100%) standard. Standard Universal Voltage (120-277 VAC) 	compartment. Included terminal block accepts up to 12 ga. wire. 		5500 Greenwood Pl Greenwood Village, 303.770.8884 GallowayUS.com
		withstands extreme ithout cracking or	Input 50/60 Hz or optional High Voltage (347-480 VAC). • L80 Calculated Life: >100k Hours (See	 • Utilizes LSI's traditional B3 drill pattern. (See drawing on page 9) 		ា លេខស្ល
	available. Consult faShipping weight: 37	actory.	Lumen Maintenance on Page 5) • Total harmonic distortion: <20%	Warranty LSI luminaires carry a 5-year limited warranty, Refer to https://www.lsiindustries 	N	
	• State-of-the-Art one		 Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C. 	warranty. Refer to https://www.lsiindustries. com/resources/terms-and-warranty.aspx for more information.		
	sheet delivers indus control with an inte IP66 rated seal.	stry leading optical grated gasket to provide	Power factor: >.90Input power stays constant over life.	 Listings Listed to UL 1598 and UL 8750. 		
	exceptional coverag	refractor optics provide ge and uniformity in , 3, 5W, FT, FTA and AM.	 Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2). 	 Meets Buy American Act requirements. IDA compliant; with 3000K color temperature selection. Title 24 Compliant: see least ordinance for 		
	 Silicone optical mat crack with age and 	erial does not yellow or provides a typical light	 High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation 	 Title 24 Compliant; see local ordinance for qualification information. Suitable for wet locations. Suitable for wet locations. 		3M
	transmittance of 93 • Zero uplight.	%.	• Driver is fully encased in potting material	 IP66 rated Luminaire per IEC 60598-1. 3G rated for ANSI C136.31 high vibration 		うび
	Available in EQOOK	4000K and 7000K	for moisture resistance and complies with	applicationsapplicationsare qualified.		
	available in phospho	per ANSI C78.377. Also or converted amber with	for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed. Controls	applicationsapplicationsare qualified. • IK08 rated luminiare per IEC 66262 mechanical impact code. • DesignLights Consortium [®] (DLC) qualified		
	color temperatures available in phospho peak intensity at 610 • Minimum CRI of 70	per ANSI C78.377. Also or converted amber with 0nm.	 FCC standards. Driver and key electronic components can easily be accessed. Controls Optional integral passive infrared Bluetooth™ motion and photocell sensor. 	 applicationsapplicationsare qualified. IKO8 rated luminiare per IEC 66262 mechanical impact code. DesignLights Consortium[®] (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights. 		
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