



Administrative Approval Action

Case File / Name: ASR-0022-2024
DSLC - WOODS CAR CLUB

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 1.98 acre parcel is located at the northwest corner of the intersection of Ebenezer Church Road and Glen Royal Road, south of Glenwood Avenue. It is specifically identified as 8117 Ebenezer Church Road and zoned IX-3.

REQUEST: This project proposes adding a second building to this property to the west of the existing 5,250 square foot building. A two-story, 5,779 square foot general building is proposed for the use of offices and car storage. Driveway, parking and other site improvements are proposed.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 11, 2025 by EDWIN WOODS.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Prior to approval, all proposed retaining walls shall meet applicable standards and required permits shall be issued. Retaining walls less than 5 feet in height will be issued zoning permits while retaining walls greater than 5 feet in height will be issued building permits.
2. South Elevation (Glen Royal Street street-facing facade) shall clearly show how the building meet with transparency standards and calculations reflect compliance. Clearly delineate the area of the ground story facade: 0-12 feet and 3-8 feet and show all calculations for required and provided transparency. (See UDO Sections 1.5.9 and 3.2.5.F)
3. Per UDO Section 1.5.3.B.7., outdoor amenity areas shall not be located within parking islands. Revise amenity area plan accordingly.
4. Verify location of plantings located to the west of the site. If they are to be planted on the adjacent property, verify permission to do so.

Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
7. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

8. A tree impact permit must be obtained for the removal of 3 existing street trees in the existing right-of-way along Glen Royal Road.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Stormwater

1. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right-of-way. This development proposes 6 replacement street trees along Glen Royal Road.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:



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3-Year Expiration Date: September 26, 2028

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Keegan.McDonald@raleighnc.gov Digitally signed by Keegan.McDonald@raleighnc.gov
DN: E=Keegan.McDonald@raleighnc.gov, CN=Keegan.McDonald@raleighnc.gov
Reason: I am approving this document
Date: 2025.09.26 09:41:15-04'00' Date: 09/26/2025

Development Services Dir/Designee

Staff Coordinator: Jessica Gladwin

ADMINISTRATIVE SITE REVIEW FOR:

Woods Car Club

8117 Ebenezer Church Road
Raleigh, NC 27612
ASR CASE NUMBER: ASR-0022-2024
THIRD SUBMITTAL: 06/13/2025



VICINITY MAP 1" = 500'

Sheet Index

Sheet Number	Sheet Title
C-1.0	Cover Sheet
C-1.1	General Notes
-	Recombination Survey
-	Existing Conditions Survey
C-2.2	Demolition Plan
C-3.0	Site Plan
C-3.1	Amenity Area Plan
C-4.0	Grading & Storm Drainage Plan
C-5.1	BMP Plan & Details
C-6.0	Utility Plan
C-8.0	Site Details
C-8.1	Utility Details
C-9.0	Firetruck Turning Movement
LS-1.0	Landscape Plan
LS-2.0	Landscape Details
A1.0A	Entry Level Floor Plan
A1.0A	Upper Level Floor Plan
A3.0	Exterior Elevation - South & East
A3.1	Exterior Elevation - North & West

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Edwin Woods Date: 7/30/2024
Printed Name: Edwin Woods
Signature: _____ Date: _____
Printed Name: _____

CONTACT INFORMATION

OWNER:
WOODS HOLDINGS, LLC
CONTACT: EDWIN WOODS
ADDRESS: 14223 WYNFIELD CIR,
RALEIGH, NC 27615
PHONE: (919) 622-7394

CIVIL ENGINEER & LANDSCAPE ARCHITECT:
URBAN DESIGN PARTNERS, PLLC
CONTACT: DANIELLE HAMMOND, PE
ADDRESS: 150 FAYETTEVILLE ST.
SUITE 1310
RALEIGH, NC 27601
PHONE: (919) 275-5002

CONTRACTOR:
MACALLAN CONSTRUCTION
CONTACT: WILL FORRESTAL
ADDRESS: 7711 WELBORN ST # 103
RALEIGH, NC 27615
PHONE: (919) 454-2684

ARCHITECT:
PERSPECTIVE DESIGN
CONTACT: ANDREW IATRIDIS
PHONE: (919) 274-3337

DEVELOPMENT SUMMARY

TAX PARCEL ID #:	0777663288
SITE ACREAGE:	1.984 AC / 86,423 SF
EXISTING ZONING:	IX-3
PROPOSED USE:	OFFICE
IX-3 REQUIREMENTS:	
BUILDING SETBACKS:	
FRONT:	3'
SIDE:	0' OR 6'
REAR:	0' OR 6'
FROM ALLEY:	5'
PARKING SETBACKS:	
FRONT:	10'
SIDE:	0' OR 3'
REAR:	0' OR 3'
FROM ALLEY:	5'
FLOOR HEIGHTS:	
GROUND STORY:	11'
UPPER STORY:	9'
TRANSPARENCY:	
GROUND STORY:	20% MIN.
UPPER STORY:	20% MIN.
BLANK WALL:	50' MAX.

PARKING DATA

PARKING REQUIREMENTS:	29 MAXIMUM
TOTAL PARKING PROVIDED:	22 SPACES

*PER RALEIGH UDO SEC. 7.1.2.C - NO MAXIMUM NUMBER OF PARKING SPACES FOR COMMERCIAL

SHORT TERM BICYCLE PARKING	
REQUIRED:	4
PROVIDED:	4
LONG TERM BICYCLE PARKING	
REQUIRED:	4
PROVIDED:	4 (PROVIDED INSIDE THE BUILDING)



150 Fayetteville st ste 1310
raleigh, nc 27601
P 919.275.5002
urbandesignpartners.com

Edwin Woods
Woods Holdings, LLC

14223 Wynfield Cir,
Raleigh, NC 27615

Woods Car Club
Administrative Site Review

Cover Sheet

8117 Ebenezer Church Road, Raleigh, NC 27612

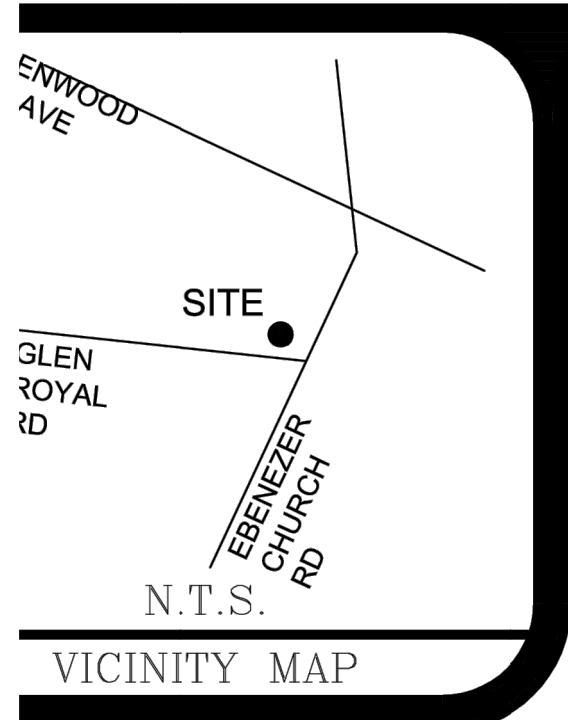
NO.	DATE	BY	REVISIONS:
1	07/15/2024	ECR	REVISIONS TO PLANS PER COI ASH COMMENTS
2	09/20/2024	ZK	REVISIONS TO PLANS PER COI ASH COMMENTS
3	06/13/2025	ZK	REVISIONS TO PLANS PER COI ASH COMMENTS
4	08/11/2025	MM	REVISIONS TO PLANS PER COI ASH COMMENTS

Project No: 23-RDU-012

Date: 02/15/2024

Sheet No:

C-1.0



PLAT NOT TO BE RECORDED
R _____ DAY OF _____

IPY TO BE RETAINED FOR THE

PLAT IS ☒ IN ☐ OUT OF THE
LIMITS.

PRELIMINARY

I, Michael P. Griffin, Registered Land Surveyor, certify to one
or more of the following as indicated:

- ☐ A. THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.
- ☐ B. THIS SURVEY IS LOCATED IN A PORTION OF A COUNTY OR MUNICIPALITY THAT IS UNREGULATED AS TO AN ORDINANCE THAT REGULATES PARCELS OF LAND.
- ☒ C. ANY ONE OF THE FOLLOWING:
1. THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT CREATE A NEW STREET OR CHANGE AN EXISTING STREET.
2. THAT THE SURVEY IS OF AN EXISTING BUILDING OR OTHER STRUCTURES, OR NATURAL FEATURE, SUCH AS A WATERCOURSE; OR
3. THAT THE SURVEY IS A CONTROL SURVEY.
- ☐ D. THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.
- ☐ E. THAT THE INFORMATION AVAILABLE TO THE SURVEYOR IS SUCH THAT THE SURVEYOR IS UNABLE TO MAKE A DETERMINATION TO THE BEST OF HIS PROFESSIONAL ABILITY AS TO THE PROVISIONS CONTAINED IF (A) THROUGH (D) ABOVE.

PROFESSIONAL LAND SURVEYOR L-3331

NORTH CAROLINA
WAKE COUNTY

I, Michael P. Griffin, certify that this map was drawn under my supervision from an actual survey made under my supervision, deed and description recorded in Book _____ Page _____ that the ratio of precision as calculated by latitudes and departures is 1/15,000+; that the boundaries not surveyed are shown as broken lines plotted from information found in books referenced; that this map was prepared in accordance with G.S. 47-30 as amended. Witness my hand and seal this 25TH day of SEPTEMBER, A.D. 2024.

Land Surveyor
Registration No. L-3331

SURVEYOR
SEAL

NANCY G. WRIGHT
DB 0391 PAGE 076
BM 1384 PG 045
PIN 0777-66-2612
LAND CLASS: RESIDENTIAL LESS THAN 10 ACRES
ZONING: R-4
0615 GLENWOOD AVENUE
1.26 ACRES PER DEED

ACCORDING TO T.E.M.A. FLOOD INSURANCE RATE MAP
372007776, DATED JULY 19, 2022, THE PROPERTY SHOWN
HEREON IS NOT LOCATED WITHIN A 100 YEAR FLOOD AREA.

REFERENCES: BM 1304 PAGE 045
BM 1399 PAGE 1673
BM 1306 PAGE 1543

LEGEND
EIF - Existing Iron Pipe
EIS - Existing Iron Stake
DS - Iron Stake Set
ECM - Existing Concrete Monument
AG - Above Ground
BG - Below Ground
ERS - Existing Railroad Spike
RSD - Railroad Spike Set
CP - Computed Point (Not Set)

XXX Street Address

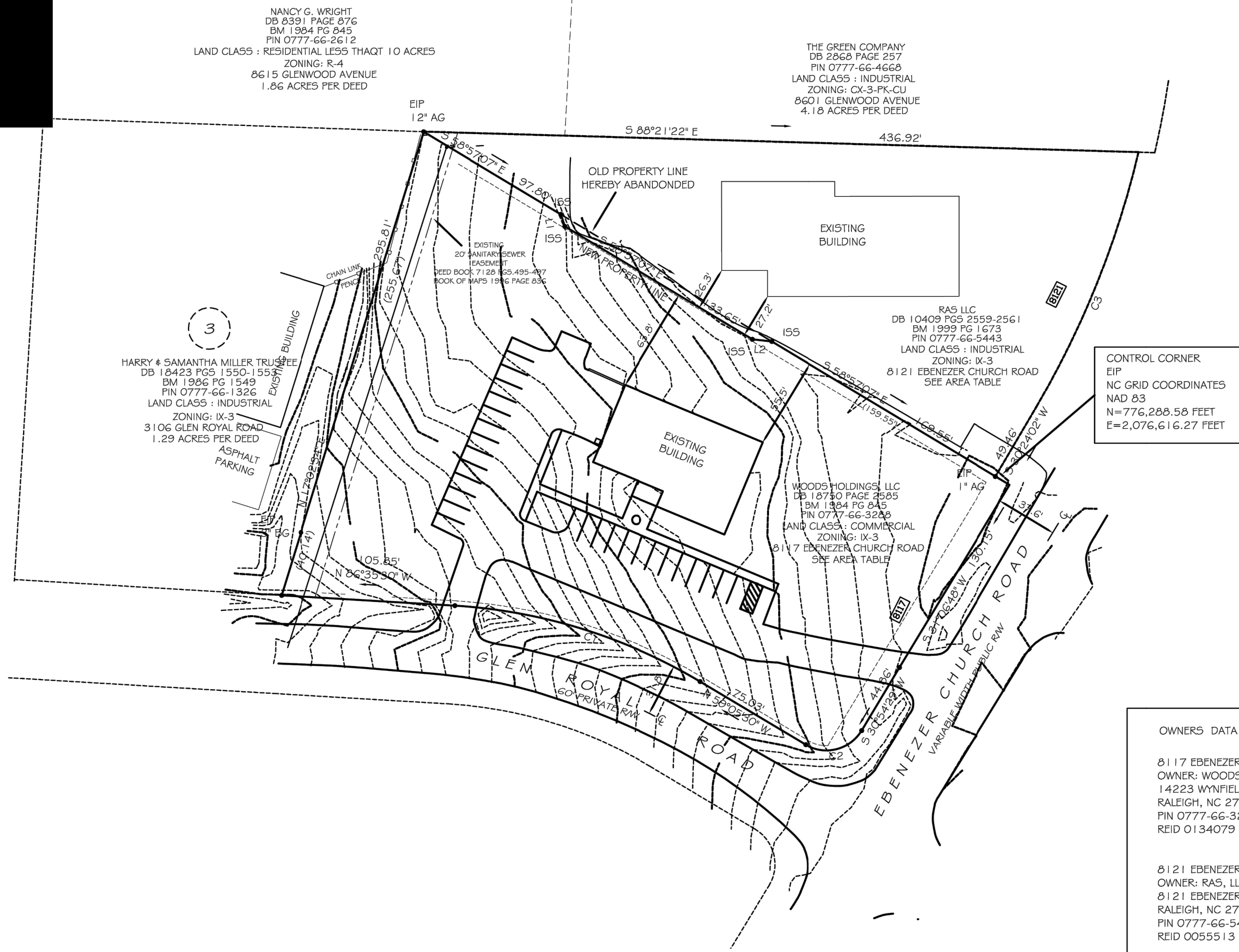
LINE TABLE

L1	S18°10'11"E	7.65'
L2	S63°41'05"E	11.95'

CURVE TABLE

C1 R=330.00' L=158.39' S 72°50'30" E 156.87' T=80.75' DELTA=17-21-44
C2 R=25.00' L=39.27' N 75°54'29" E 35.36' T=25.00' DELTA=229-10-59
C3 R=560.00' L=167.84' S 148°46' W 167.21' T=64.55' DELTA=10-15-53

THESE PROPERTIES ARE NOT LOCATED IN A SPECIAL FLOOD HAZARD
AREA PER FIRM PANEL 3720077700K, REVISED JULY 19, 2022.



CONTROL CORNER
EIF
NC GRID COORDINATES
NAD 83
N=776,288.58 FEET
E=2,076,616.27 FEET

OWNERS' DATA INFORMATION

0117 EBENEZER CHURCH ROAD
OWNER: WOODS HILDINGS, LLC
14223 WYNFIELD CIRCLE
RALEIGH, NC 27615
PIN 0777-66-3288
REID 0134079

0121 EBENEZER CHURCH ROAD
OWNER: RAS, LLC
0121 EBENEZER CHURCH ROAD
RALEIGH, NC 27612-7307
PIN 0777-66-5443
REID 0055513

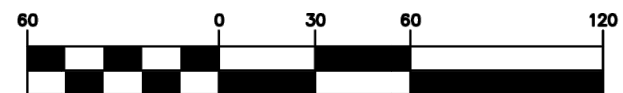
AREA TABLE

ORIGINAL AREAS			AREAS PER THIS RECOMBINATION		
WOODS HOLDINGS, LLC PIN 0777-66-3288	87,123 SQ. FT.	2.00 ACRES	WOODS HOLDINGS, LLC PIN 0777-66-3288	86,413 SQ. FT.	1.98 ACRES
RAS, LLC PIN 0777-66-5443	45,080 SQ. FT.	1.03 ACRES	RAS, LLC PIN 0777-66-5443	45,790 SQ. FT.	1.05 ACRES
TOTAL	132,203 SQ. FT.	3.03 ACRES	TOTAL	132,203 SQ. FT.	3.03 ACRES

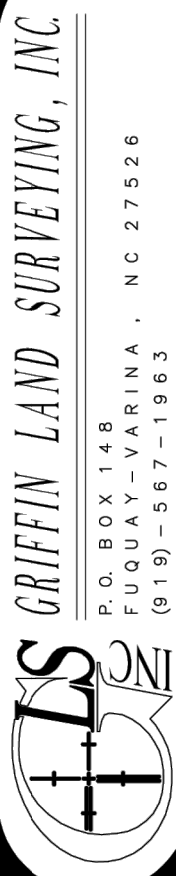
710 SQ. FT. (0.02 ACRES) IS BEING SUBTRACTED FROM WOODS HOLDINGS, LLC TRACT AND ADDED TO RAS, LLC TRACT

RCMP-0302-2023

GRAPHIC SCALE



1 inch = 60 ft.

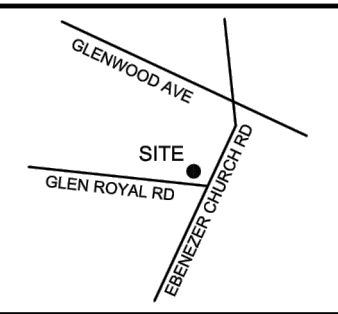


8117 EBENEZER CHURCH ROAD

CITY OF RALEIGH, HOUSE CREEK TOWNSHIP, WAKE COUNTY, NORTH CAROLINA

ZONING	IX-3	DATE	9/25/24	SCALE	1" = 60'
TAX PARCEL	AS SHOWN	DRAWN BY	MFG		
P.L.N.		PROJECT NO.			
SHEET	1	OF	1		

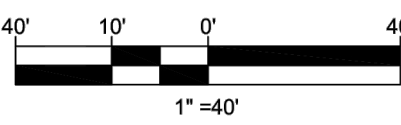
THIS PROPERTY IS NOT LOCATED
IN THE 100 YEAR FLOOD ZONE.



LEGEND
EIP EXISTING IRON PIPE
IPS IRON PIPE SET
RW RIGHT OF WAY
NP NOW OR FORMERLY
ES EXISTING IRON STAKE
LP LIGHT POLE
WM WATER METER
CO CLEAN OUT
FH FIRE HYDRANT
CB CATCH BASIN
PP POWER POLE
MH MANHOLE
OS OFFSET

(3)
HARRY & SAMANTHA MILLER TRUSTEE
DB 18423 PGS 1550-1553
BM 1906 PG 1545
PIN 0777-66-1326

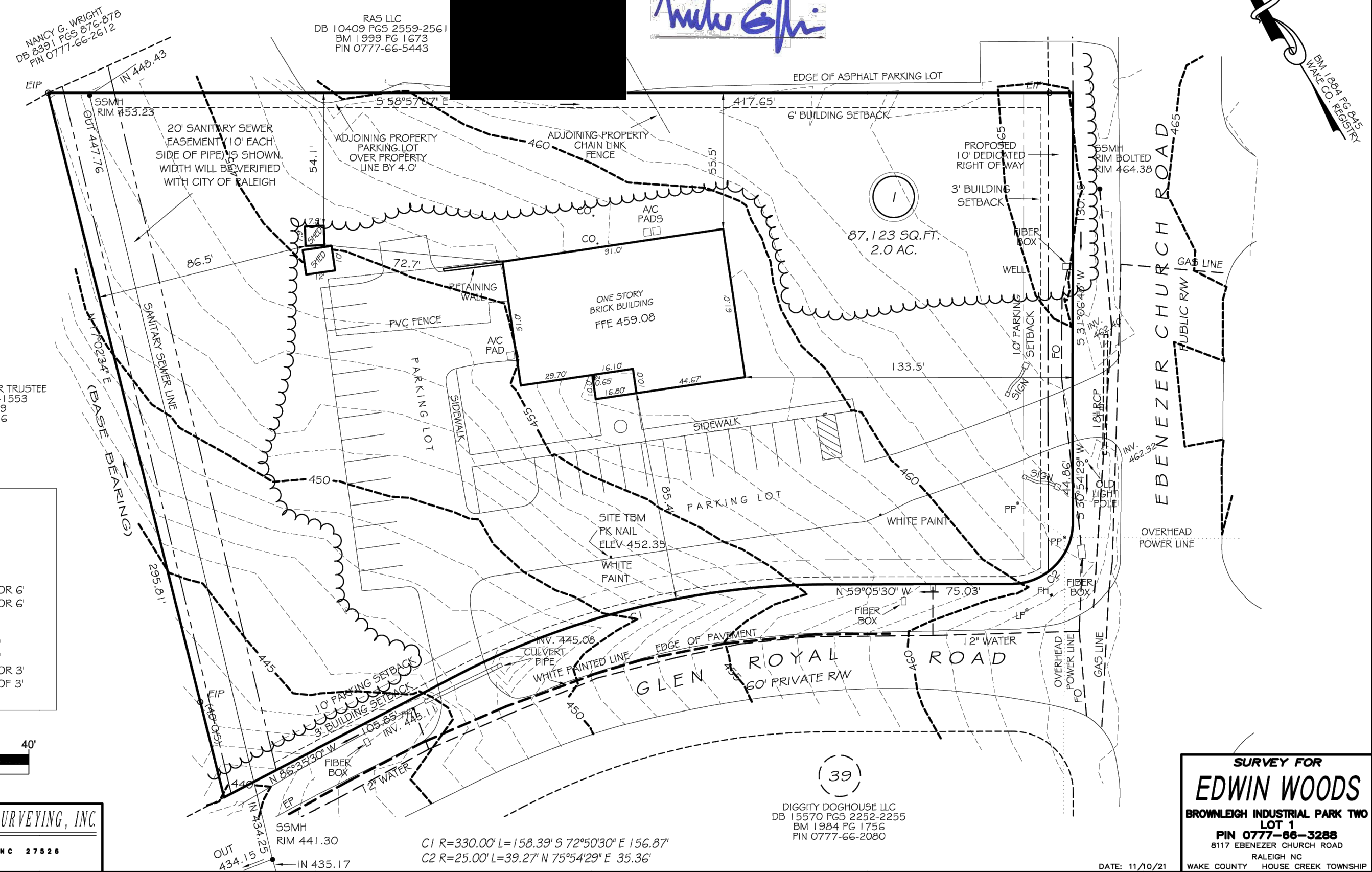
ZONING: IX-3
PER UDO, SECTION 3.2.5
(GENERAL BUILDING)
BUILDING SETBACKS
PRIMARY STREET (MIN) 3'
SIDE STREET (MIN) 3'
SIDE LOT LINE (MIN) 0' OR 6'
REAR LOT LINE (MIN) 0' OR 6'
PARKING SETBACKS
PRIMARY STREET (MIN) 10'
SIDE STREET (MIN) 10'
SIDE LOT LINE (MIN) 0' OR 3'
REAR LOT LINE (MIN) 0' OR 3'



GRiffin LAND SURVEYING, INC.
P.O. BOX 148
1300 WYATT AVENUE, NC 27528
919-567-1983

MICHAEL P. GRIFFIN, certify that under my direction and supervision this map was drawn from an actual field survey that the error of closure of the survey as calculated by coordinates is 1: 10,000+; that the area shown hereon was calculated by coordinates.
Witness my hand and seal this 10TH day of NOVEMBER 2022.

Michael P. Griffin

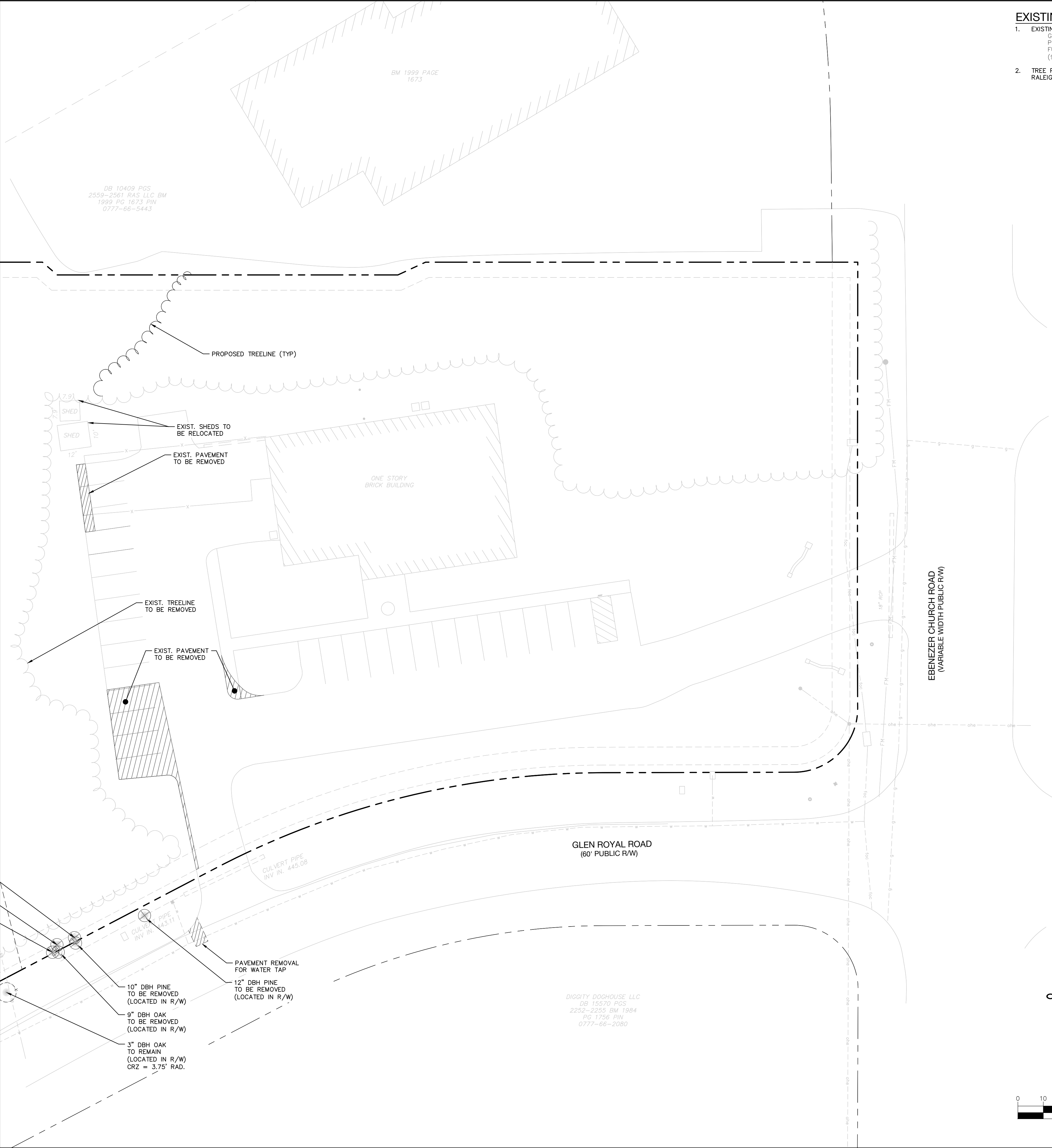


(39)
DIGGITY DOGHOUSE LLC
DB 19570 PGS 2255-2255
BM 1904 PG 1756
PIN 0777-66-2090

C1 R=330.00' L=158.39' S 72°50'30" E 156.87'
C2 R=25.00' L=39.27' N 75°54'29" E 35.36'

SURVEY FOR
EDWIN WOODS
BROWNLEIGH INDUSTRIAL PARK TWO
LOT 1
PIN 0777-66-3288
8117 EBENEZER CHURCH ROAD
RALEIGH, NC
WAKE COUNTY HOUSE CREEK TOWNSHIP

DATE: 11/10/21



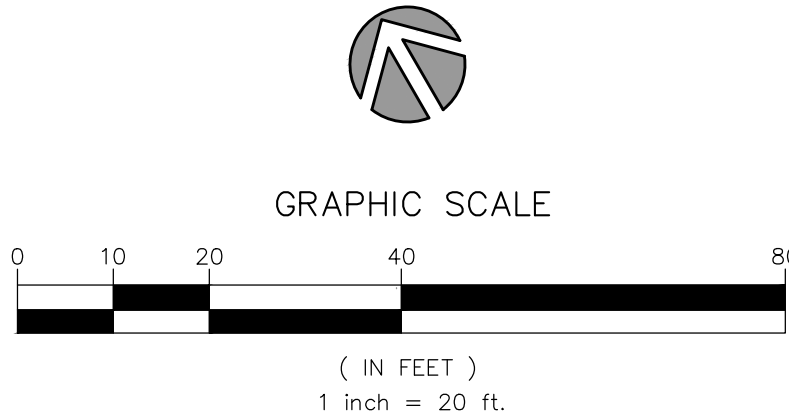
- EXISTING CONDITIONS NOTES:**
- EXISTING INFORMATION ON THIS PLAN WAS PROVIDED BY:
GRIFFIN LAND SURVEYING
PO BOX 148
FUQUAY VARINA, NC 27526
(919) 567-1963
 - TREE PROTECTION FENCE TO BE INSTALLED PER CITY OF RALEIGH DETAILS TPP-01 AND TPP-02.



Edwin Woods
Woods Holdings, LLC

14223 Wynfield Cir,
Raleigh, NC 27615

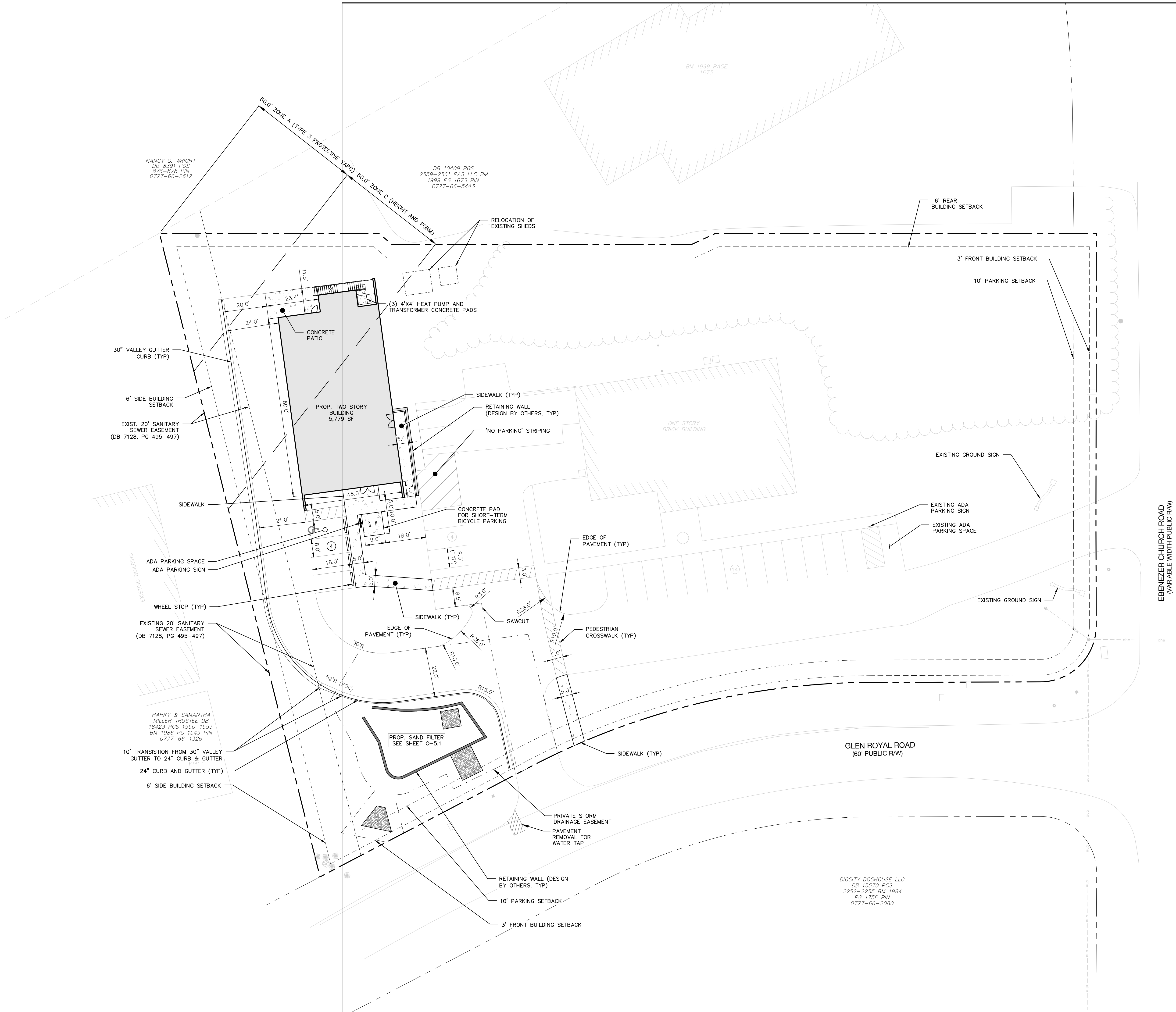
Woods Car Club
Administrative Site Review
Demolition Plan
8117 Ebenezer Church Road, Raleigh, NC 27612



NO.	DATE	BY	REVISIONS:
1	07/19/2024	EGS	REVISIONS TO PLANS PER COR ASR COMMENTS
2	09/20/2024	ZK	REVISIONS TO PLANS PER COR ASR COMMENTS
3	06/13/2025	ZK	REVISIONS TO PLANS PER COR ASR COMMENTS
4	08/11/2025	MM	REVISIONS TO PLANS PER COR ASR COMMENTS

Project No: 23-RDU-012
Date: 02/15/2024
Sheet No:

C-2.2



DEVELOPMENT SUMMARY	
TAX PARCEL ID #:	0777663288
SITE ACREAGE:	1.984 AC / 86,423 SF
EXISTING ZONING:	IX-3
SETBACKS:	
FRONT:	3'
SIDE:	6'
REAR:	6'
MAX. BUILDING HEIGHT:	50'
PROPOSED BUILDING HEIGHT:	24'
PROTECTIVE YARD:	50'
EXISTING BUILDING FLOOR AREA:	5,255 SF
PROPOSED BUILDING FLOOR AREA:	3,716 SF
EXISTING USE (EXISTING BUILDING):	OFFICE (CURRENTLY LEASED)
PROPOSED USE (EXISTING BUILDING):	OFFICE (CURRENTLY LEASED)
PROPOSED USE (PROPOSED BUILDING):	OFFICE (OWNER OCCUPIED)
BUILDING GFA:	5,779 SF
TOTAL GFA:	11,034 SF
VEHICULAR PARKING:	
REQUIRED:	29 MAXIMUM
EXISTING:	25 SPACES
PROPOSED:	(24 STANDARD + 1 ADA)
	22 SPACES
	(20 STANDARD + 2 ADA)
BICYCLE PARKING:	
REQUIRED:	
LONG-TERM:	4 SPACES
SHORT-TERM:	4 SPACES
PROPOSED:	
LONG-TERM:	4 SPACES
SHORT-TERM:	4 SPACES

- NOTES:**
- BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY:
GRIFFIN LAND SURVEYING, INC.
PO BOX 148
FUQUAY VARINA, NC 27526
(919) 567-1963
 - SEE ARCHITECTURAL PLANS FOR BUILDING FOOTPRINT DIMENSIONS
PREPARED BY:
PERSPECTIVE DESIGN
RALEIGH, NC
(919) 274-3337
 - CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
 - TREES WITHIN THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW.
 - TRASH SERVICE FOR THE SITE WILL BE CONTRACTED THROUGH A PRIVATE COLLECTION COMPANY. COORDINATION FOR SERVICE IS THE RESPONSIBILITY OF THE APPLICANT.
 - DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. CURB RADII SHALL MEASURE 5.0' AT FACE OF CURB UNLESS OTHERWISE NOTED.
 - LOCATIONS OF SITE LIGHTING ARE APPROXIMATE. THE FINAL NUMBER AND LOCATIONS OF LIGHTS SHALL BE DETERMINED BY THE OWNER AND DUKE ENERGY.
 - ALL UTILITIES WILL BE UNDERGROUND.
 - TREE PROTECTION FENCE TO BE INSTALLED PER CITY OF RALEIGH STANDARD DETAILS TPP-01 AND TPP-02.
 - LONG TERM BICYCLE PARKING SPACES TO BE PROVIDED INSIDE THE BUILDING.

EBENEZER CHURCH ROAD
(VARIABLE WIDTH PUBLIC R/W)

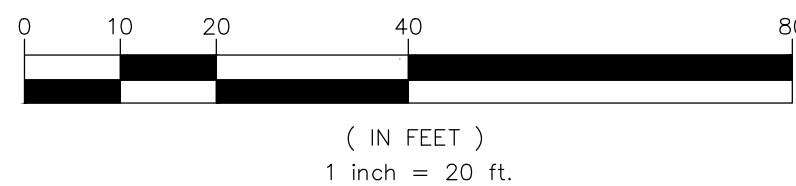
GLEN ROYAL ROAD
(60' PUBLIC R/W)



BEFORE YOU DIG!
CALL 811 OR 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!



GRAPHIC SCALE



150 Fayetteville st ste 1310
raleigh, nc 27601

Edwin Woods
Woods Holdings, LLC

14223 Wynfield Cir,
Raleigh, NC 27615

Woods Car Club Administrative Site Review

Site Plan

8117 Ebenezer Church Road, Raleigh, NC 27612

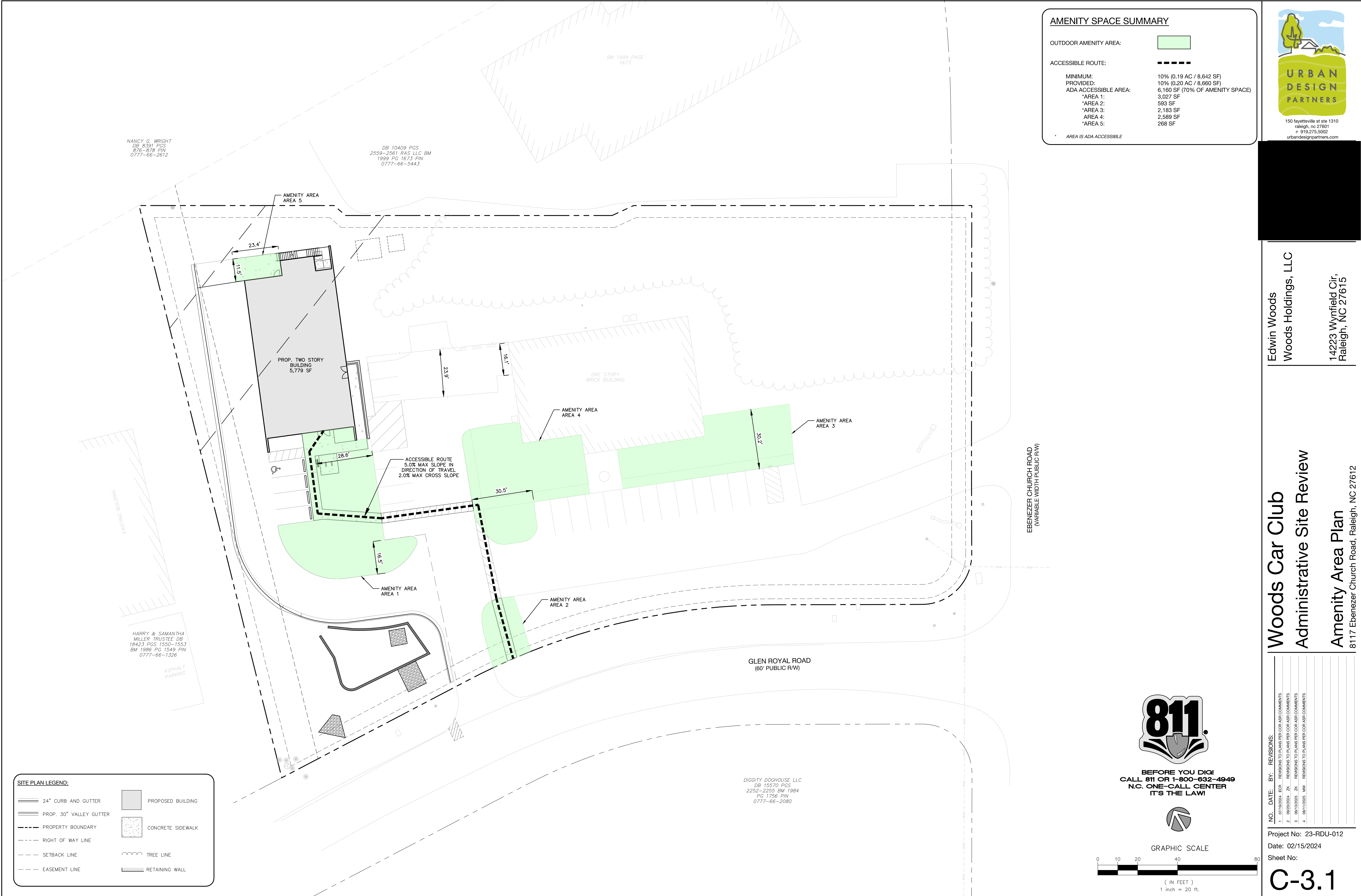
NO.	DATE	BY	REVISIONS:
1	07/18/2024	EDR	REVISIONS TO PLANS PER CDD/ASR COMMENTS
2	08/02/2024	ZK	REVISIONS TO PLANS PER CDD/ASR COMMENTS
3	08/13/2025	ZK	REVISIONS TO PLANS PER CDD/ASR COMMENTS
4	08/11/2025	MM	REVISIONS TO PLANS PER CDD/ASR COMMENTS

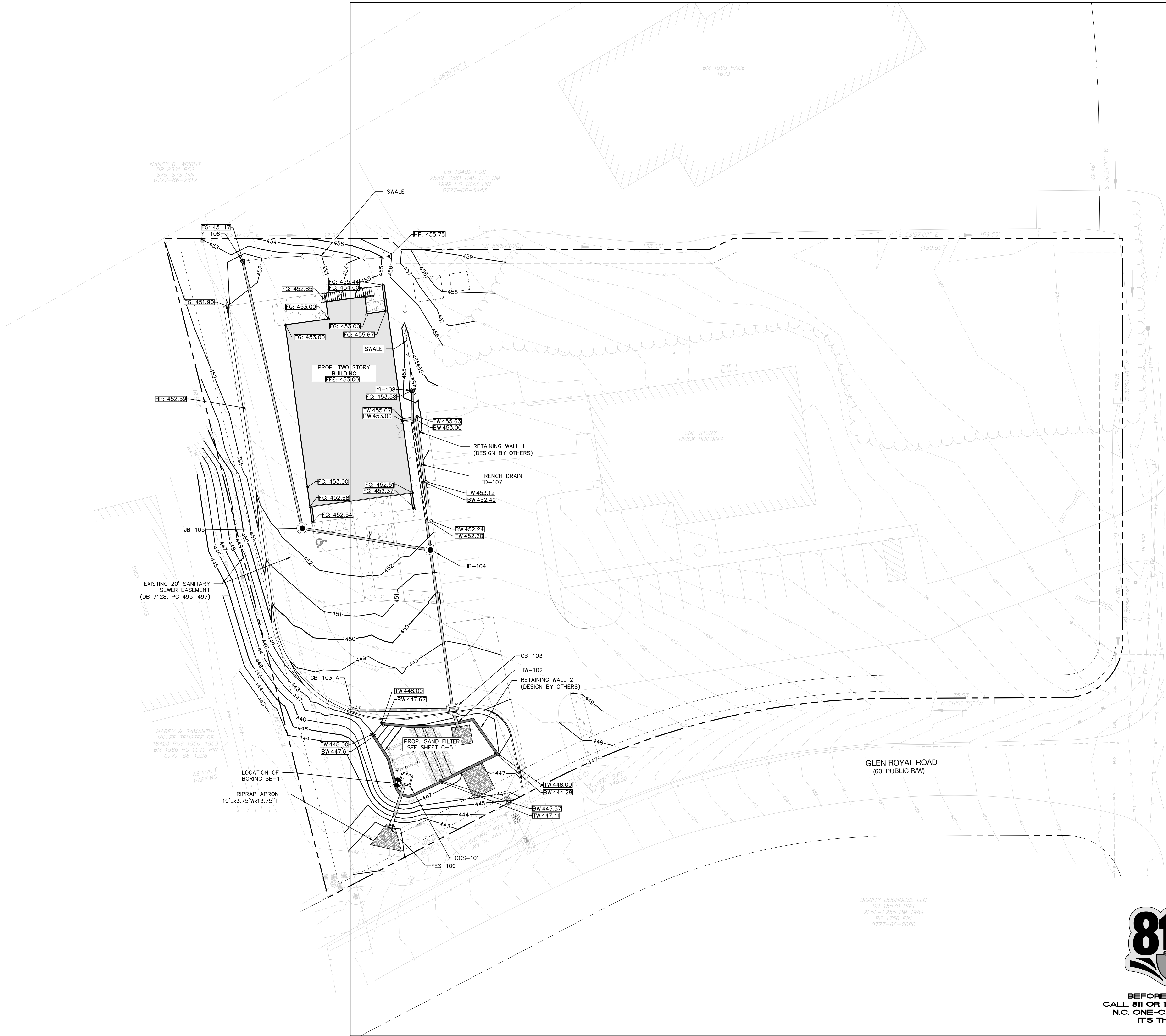
Project No: 23-RDU-012

Date: 02/15/2024

Sheet No:

C-3.0





GRADING AND STORM DRAINAGE NOTES:

- 1. ON-SITE BURIAL PITS REQUIRE A PERMIT.
- 2. ANY GRADING DONE BEYOND THE DENUDED LIMITS INDICATED ON THE CONSTRUCTION DOCUMENTS IS A VIOLATION AND IS SUBJECT TO A FINE.
- 3. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION AND IS SUBJECT TO A FINE.
- 4. ALL FINAL CURB AND STREET GRADES AT INTERSECTIONS SHALL BE COORDINATED WITH INSPECTOR.
- 5. SIGHT TRIANGLES INDICATED ARE THE MINIMUM REQUIRED.
- 6. APPROVAL OF CONSTRUCTION DOCUMENTS IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION SHALL BE OBTAINED BY CONTRACTOR FROM THE AFFECTED PROPERTY OWNERS.
- 7. IN ORDER TO ENSURE PROPER DRAINAGE, CONTRACTOR SHALL MAINTAIN A MINIMUM OF 0.5% SLOPE ON THE CURB.
- 8. SUBSURFACE DRAINAGE FACILITIES MAY BE REQUIRED IN THE STREET RIGHT OF WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- 9. THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK OR BACKWASH CHANNEL IN AN UNOBSTRUCTED CONDITION AND SHALL REMOVE FROM THESE AREAS ALL DEBRIS, LOGS, TIMBER, TRASH, JUNK AND OTHER ACCUMULATIONS.
- 10. ANY CONSTRUCTION OR USE WITHIN THE AREAS DELINEATED AS FLOODWAY DISTRICT FRINGE BOUNDARY LINE OR FLOODWAY DISTRICT ENCROACHMENT BOUNDARY LINE IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS.
- 11. THE LOCAL ENGINEERING DEPARTMENT HAS NOT REVIEW AND DOES NOT ASSUME RESPONSIBILITY FOR THE STRUCTURAL STABILITY OF ANY EXISTING OR PROPOSED RETAINING WALLS ON THE SITE.
- 12. NON-STANDARD ITEMS (I.E.: PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT OF WAY REQUIRE A LOCAL OR STATE ENCROACHMENT AGREEMENT PRIOR TO INSTALLATION.
- 13. ALL SIDEWALKS, STOOPS, TERRACES AND OTHER PAVED AREAS SHALL SLOPE AWAY FROM BUILDING(S) AT A MINIMUM OF 2%.
- 14. CONTRACTOR SHALL CONTACT INSPECTOR 48 HOURS BEFORE CONSTRUCTION.
- 15. STABILIZE ALL SLOPES GREATER THAN 3:1 WITH JUTE MESH.
- 16. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK WHICH MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO STARTING CONSTRUCTION.
- 17. ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. REFER TO PAVEMENT CROSS-SECTION DATA TO ESTABLISH CORRECT SUB-BASE, AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- 18. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY WITH EXISTING CONTOURS.

IMPERVIOUS COVERAGE

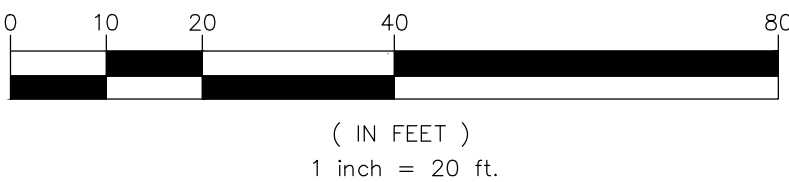
PRE-DEVELOPMENT IMPERVIOUS AREA	0.53 AC / 23,087 SF
POST-DEVELOPMENT IMPERVIOUS AREA	0.79 AC / 34,412 SF

WALL TABLE

WALL #	TOP OF WALL (TW) ELEVATION	BOTTOM OF WALL (BW) ELEVATION	WALL HEIGHT (FT)
1	454.16	452.68	1.48
2	448.00	444.28	3.72



GRAPHIC SCALE



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nc firm no: P-2671 sc coa no: C-03044

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Woods Holdings, LLC

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Raleigh, NC 27615

Woods Car Club
Administrative Site Review
Grading & Storm Drainage Plan

8117 Ebenezer Church Road, Raleigh, NC 27612

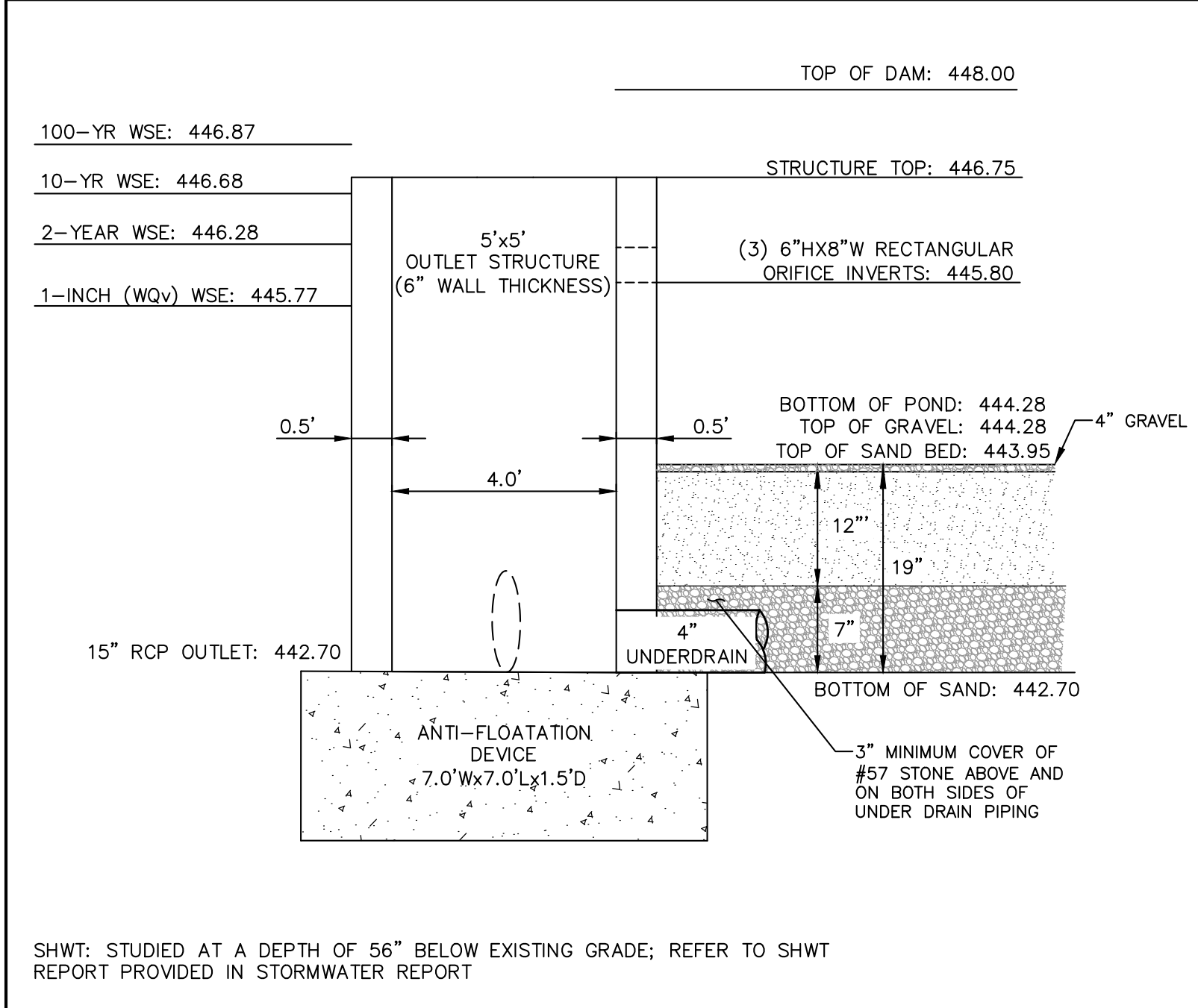
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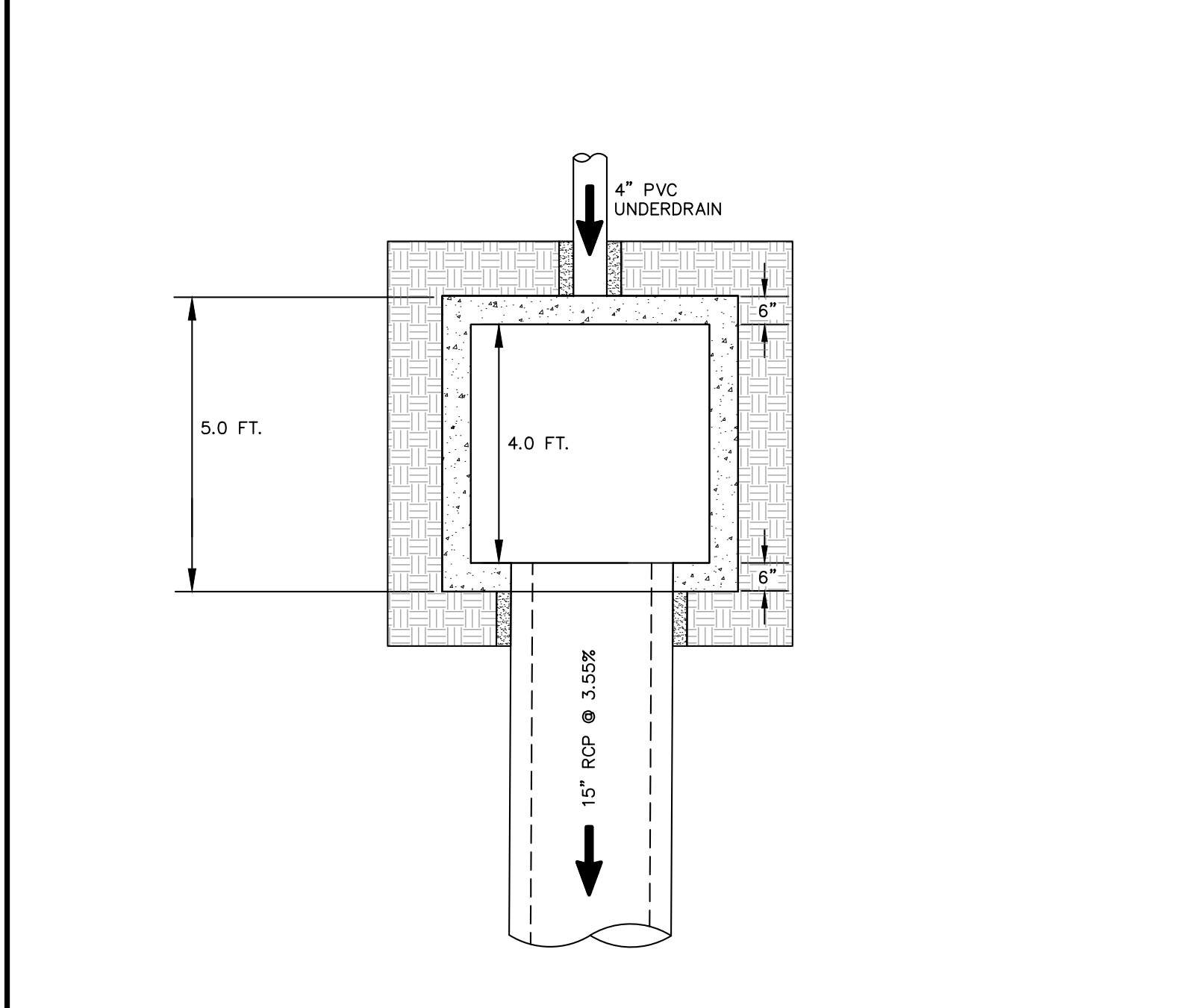
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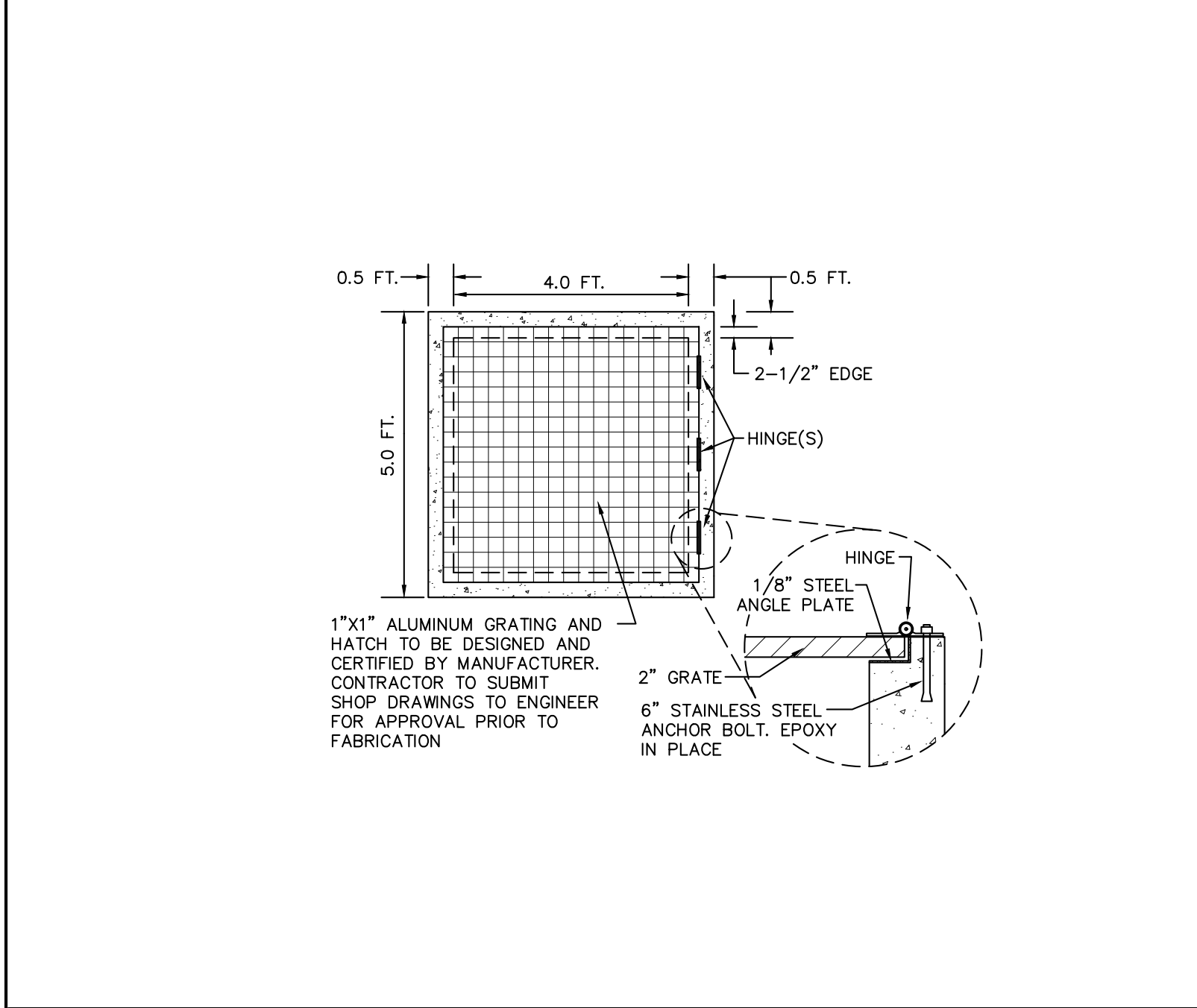
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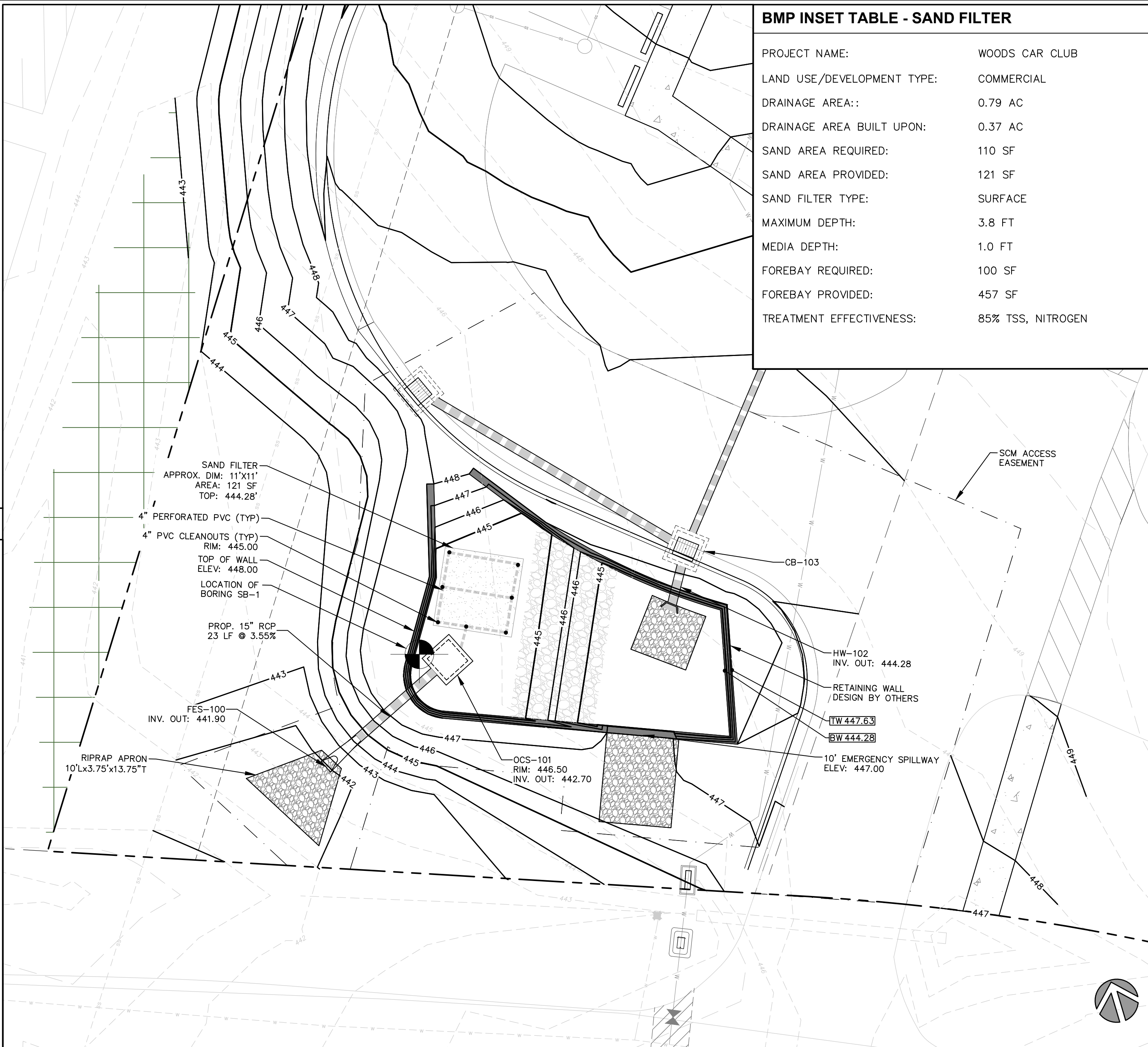
OUTLET STRUCTURE: SAND FILTER



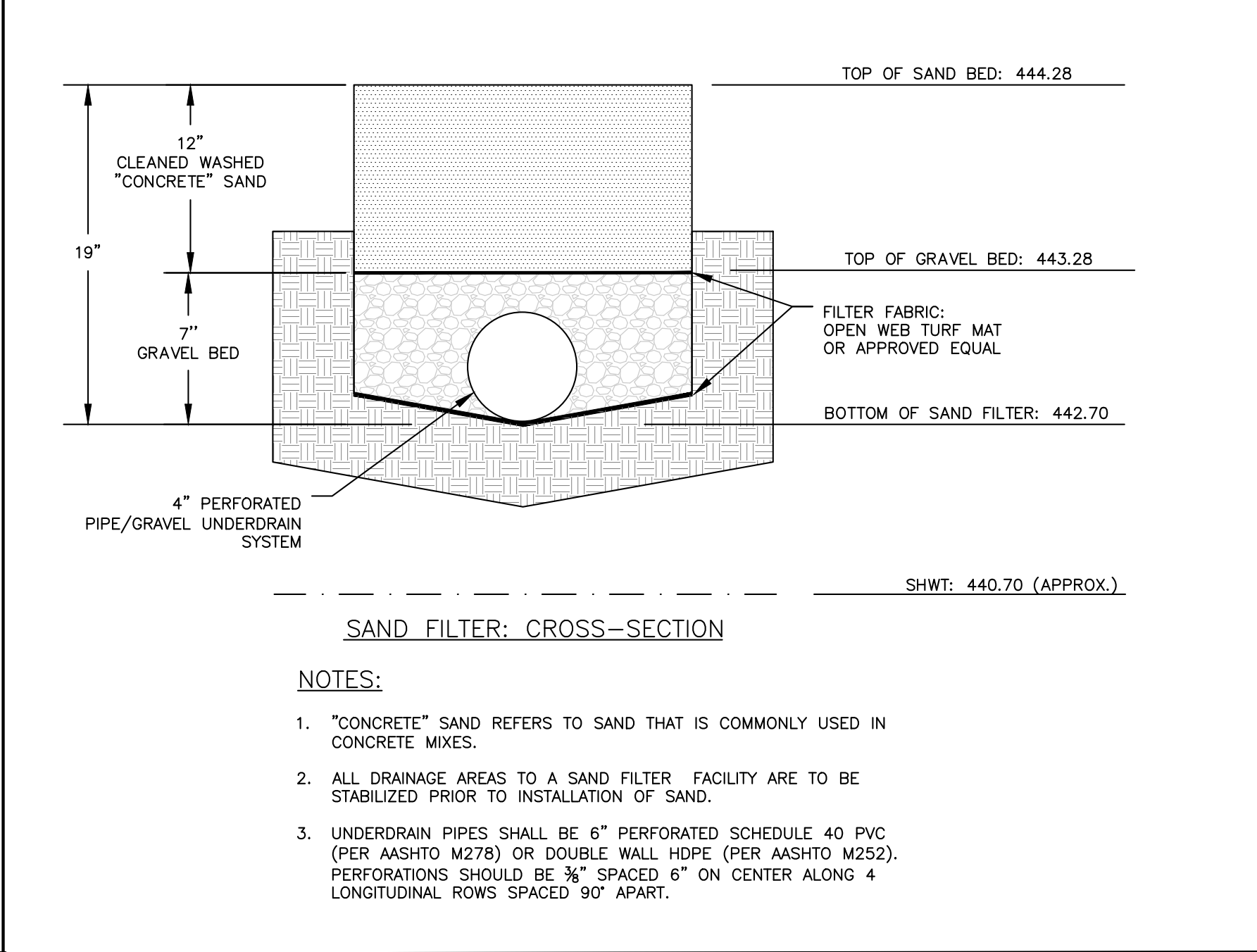
STRUCTURE PLAN: SAND FILTER



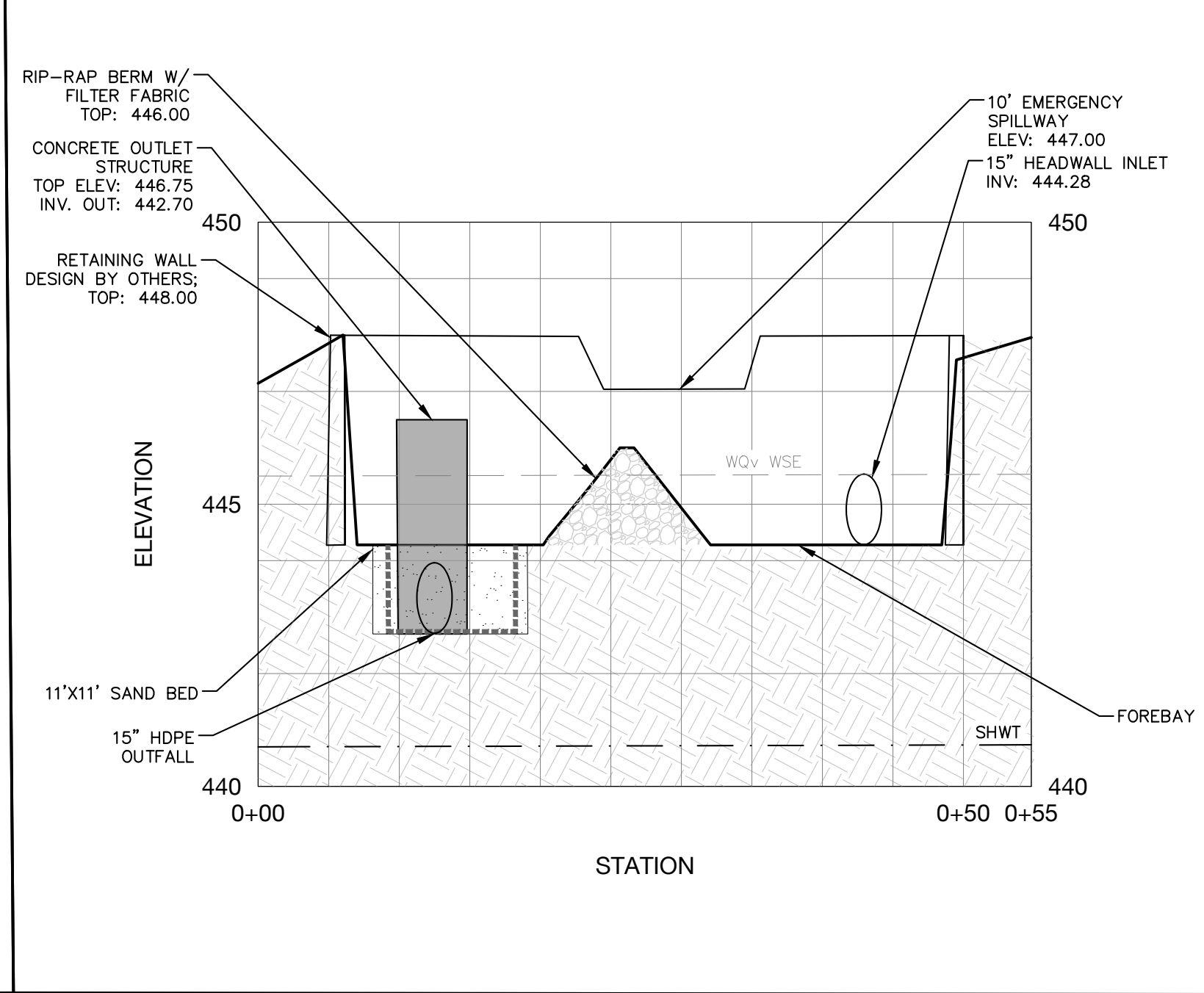
GRATING DETAIL: SAND FILTER



PLAN VIEW: SAND FILTER



SECTION: SAND FILTER



SECTION: SAND FILTER

SAND FILTER - OPERATION & MAINTENANCE

CONSTRUCTION

NO RUNOFF SHOULD ENTER THE FILTERS SAND BED UNTIL THE UPSTREAM DRAINAGE AREA IS COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETED. ANY DISTURBED AREAS WITHIN THE SAND FILTER FACILITY DRAINAGE AREA MUST BE IDENTIFIED AND STABILIZED. FILTRATION CONTROLS MUST ONLY BE CONSTRUCTED AFTER THE CONSTRUCTION SITE IS STABILIZED.

MAINTENANCE GUIDELINES

SAND FILTERS SHALL BE INSPECTED QUARTERLY AND WITHIN 24 HOURS AFTER EVERY STORM EVENT GREATER THAN 1.0-INCH. RECORDS OF OPERATION AND MAINTENANCE WILL BE KEPT IN A KNOWN SET LOCATION AND AVAILABLE UPON REQUEST.

TRASH AND DEBRIS SHOULD BE REMOVED AS NECESSARY. SEDIMENT SHOULD BE CLEANED OUT OF THE SEDIMENT CHAMBER WHEN IT ACCUMULATES TO A DEPTH OF MORE THAN 6 INCHES.

WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY (E.G. WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 24 HOURS), THE UNDERLYING 3-INCHES OF FILTER MATERIAL SHOULD BE REMOVED AND REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHOULD BE TESTED AND DISPOSED OF IN AN ACCEPTABLE MANNER (E.G. LANDFILL). SILT/SEDIMENT SHOULD BE REMOVED FROM THE FILTER BED WHEN THE ACCUMULATION EXCEEDS 1-INCH.

THE SAND MEDIA SHALL BE SKIMMED AT LEAST ONCE A YEAR.

VEGETATION WITHIN THE SEDIMENTATION CHAMBER SHOULD BE REMOVED, PREFERABLY BY HAND. PESTICIDES SHOULD BE WIPED ON PLANTS RATHER THAN SPRAYING.

DIRECT MAINTENANCE ACCESS SHOULD BE PROVIDED TO THE PRETREATMENT AREA AND THE FILTER BED.

STRUCTURE SHALL BE CAST IN PLACE CONCRETE. CHANGES TO CONSTRUCTION TYPE SHALL BE APPROVED BY THE CITY OF RALEIGH. A PROFESSIONAL ENGINEER SHALL CERTIFY CONSTRUCTION OF THE STRUCTURE UPON COMPLETION.

CONSTRUCTION SPECIFICATIONS

A. EARTHWORK

- THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BOULDERS, SOD AND UNSUITABLE SOIL. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE FILL MATERIAL.
- EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN A RATIO OF ONE HORIZONTAL TO ONE VERTICAL. THEY SHALL BE DEEPEMED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT. FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS PLACED ON THEM. THE BORROW AREAS SHALL BE CLEARED OF STUMPS, ROOTS AND UNSUITABLE SOIL. THE WATER QUALITY BASIN SHALL BE CLEARED AND ALL STUMPS REMOVED.
- BEFORE FILLING OPERATIONS BEGIN, THE SOILS ENGINEER WILL TAKE REPRESENTATIVE SAMPLES OF EACH PROPOSED FILL MATERIAL AND TEST THEM TO DETERMINE THE COMPACTION AND CLASSIFICATION CHARACTERISTICS (PROCTOR TEST). ONLY THOSE MATERIALS AS APPROVED BY THE SOILS ENGINEER WILL BE USED AS FILL ON THE DAM. GENERALLY SM OR SC CLASSIFICATION SOILS WILL BE ACCEPTABLE. COMPACTED EARTH FILLS SHALL BE CONSTRUCTED TO THE ELEVATIONS, LINES, GRADES AND CROSS SECTIONS INDICATED ON THE PLANS.
- AFTER STRIPPING OF FOUNDATIONS AND REMOVAL OF WEAK OR UNSUITABLE MATERIALS HAS BEEN COMPLETED, AND BEFORE START OF MATERIAL PLACEMENT, COMPACTED EARTH SHALL BE USED TO FILL ALL STUMP HOLES, MINOR EXCAVATIONS AND DEPRESSIONS FOR CAVITIES INSIDE THE EARTH FILL LIMITS.
- FILL SHALL BE PLACED IN HORIZONTAL LAYERS OF NOT MORE THAN (9") LOOSE DEPTH. AS SOON AS FEASIBLE AFTER STARTING CONSTRUCTION OF A FILL SLOPE THE CENTRAL PORTION THEREOF SHALL BE BUILT AND MAINTAINED SLIGHTLY HIGHER THAN THE SIDES TO ALLOW FREE DRAINAGE TO THE SIDE SLOPES.
- EACH LAYER OF FILL SHALL BE COMPACTED BY ROLLING WITH COMPACTION EQUIPMENT WHICH IS BEST SUITED FOR THE TYPES OF SOIL ENCOUNTERED. FILL ADJACENT TO PIPE CONDUIT AND ANTISEEP COLLARS SHALL BE COMPACTED BY HAND. EACH LAYER OF FILL SHALL BE COMPACTED TO NOT LESS THAN 95% MAXIMUM DRY DENSITY (STANDARD PROCTOR) WITHIN 2% OF OPTIMUM MOISTURE CONTENT. WETTING OR DRYING OF THE MATERIAL AND MANIPULATION TO SECURE UNIFORM MOISTURE CONTENT THROUGHOUT EACH LAYER SHALL BE REQUIRED. DENSITY TESTS WILL BE PERFORMED AT A FREQUENCY AS SPECIFIED BY THE SOILS ENGINEER. AS A MINIMUM, TESTS WILL BE PERFORMED ON EVERY THIRD LIFT OR EVERY 1000 CUBIC YARDS WHICHEVER COMES FIRST. ALSO DENSITY TEST WILL BE PERFORMED WHENEVER FILL MATERIAL CHARACTERISTICS CHANGE.

B. OUTLET DEVICE

- OUTLET DEVICE COMPONENTS ARE TO FABRICATED AS SHOWN ON THE PLANS.
- CONTRACTOR TO SUBMIT DESIGNED SHOP DRAWINGS TO THE CIVIL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION TO THE OUTLET DEVICE. SHOP DRAWINGS SHOULD INCLUDE PRECAST BOX DESIGN, TRASH RACK, GRATED COVER, ALUMINUM STEPS, AND ALL DRAIN/ORIFICE PIPING REQUIRED.

C. CONCRETE

- ALL CONCRETE SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE, ASTM C 94, AN AIR-ENTRAINING ADMIXTURE SHALL BE ADDED. THE CONCRETE SHALL BE PROPORTIONED TO MEET THE FOLLOWING REQUIREMENTS:
 - COMPRESSIVE STRENGTH: MINIMUM 3600 PSI
 - WATER-CEMENT RATIO: 0.40 - 0.50
 - SLUMP: MINIMUM 3", MAXIMUM 5"
 - AIR CONTENT: MINIMUM 5%, MAXIMUM 8%
 - COARSE AGGREGATE: 1" - 1 1/2"

D. GRASSING

- GRASS ALL AREAS DISTURBED BY CONSTRUCTION PER SPECIFICATION OF EROSION CONTROL DETAIL SHEET.

E. PLANTING

- PLANTINGS ARE DESIGNED PER THE GUIDANCE OF THE HARP (HABITAT ASSESSMENT AND RESTORATION PROGRAM) MANUAL.
- ADDITIONAL PLANTING INFORMATION CAN BE FOUND IN TABLE 2.2 OF THE NORTH CAROLINA BEST MANAGEMENT PRACTICES GUIDELINES.

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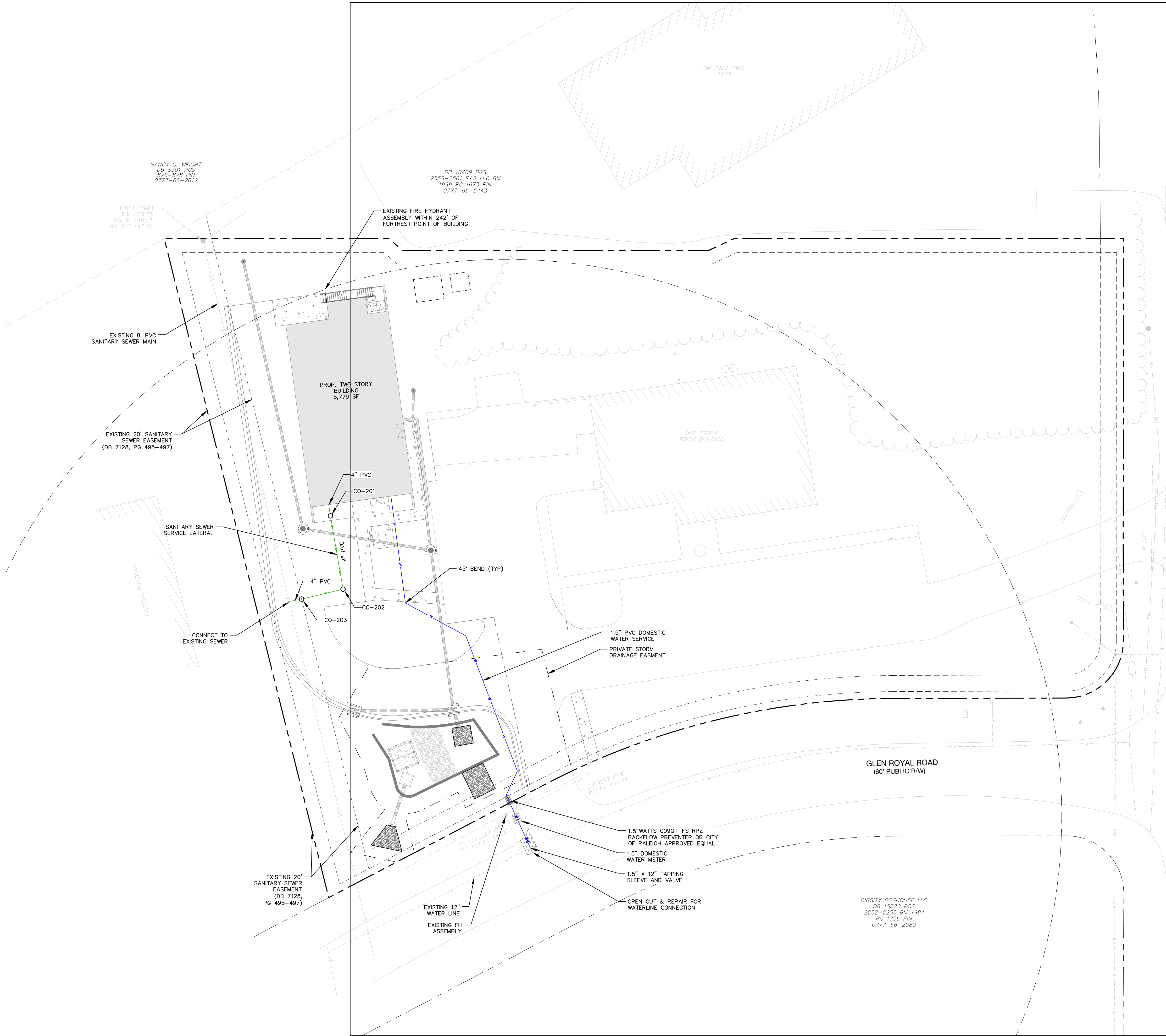
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STANDARD UTILITY NOTES (AS APPLICABLE):

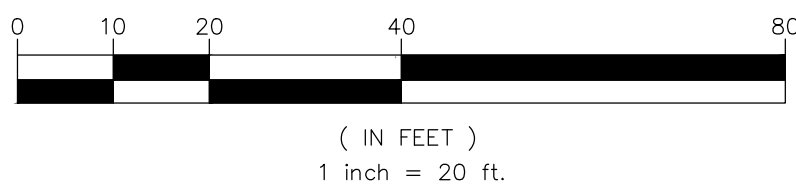
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'; IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORMDRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W- 41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE UTILITIES HANDBOOK.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSPECTIONS OF 4" AND LARGER WATER MAINS OF THE PRIVATE DISTRIBUTION SYSTEM WILL BE INSPECTED AS PART OF THE INFRASTRUCTURE PERMIT.
- PRIVATE SEWER MAINS AS PART OF A COLLECTION SYSTEM ARE PERMITTED AND INSPECTED UNDER THE PRIVATE INFRASTRUCTURE PERMIT FOR SEWER. ANY WATER OR SEWER SERVICES ON PRIVATE PROPERTY THAT WILL BE INSTALLED UNDER CONSTRUCTION DRAWINGS MAY REQUIRE A PLUMBING UTILITY PERMIT IN THE CITY OF RALEIGH. CONSULT WITH THE ENGINEERING INSPECTION COORDINATOR DURING THE PRE-CONSTRUCTION MEETING ON THE NECESSARY PERMITS.
- INSTALL SEWER SERVICES WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED PER THE CURRENT NC PLUMBING CODE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT, ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.
- PRIVATE SUB-METERING - NO RESALE OF WATER SHALL OCCUR WITHOUT APPROVAL OF THE NORTH CAROLINA UTILITY COMMISSION. SUB-METERING SHALL BE IN ACCORDANCE WITH SECTION 1400 OF THE "SAFE DRINKING WATER ACT".



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Raleigh, NC 27615

Woods Car Club
Administrative Site Review
Utility Plan

8117 Ebenezzer Church Road, Raleigh, NC 27612

NO.	DATE:	BY:	REVISIONS:
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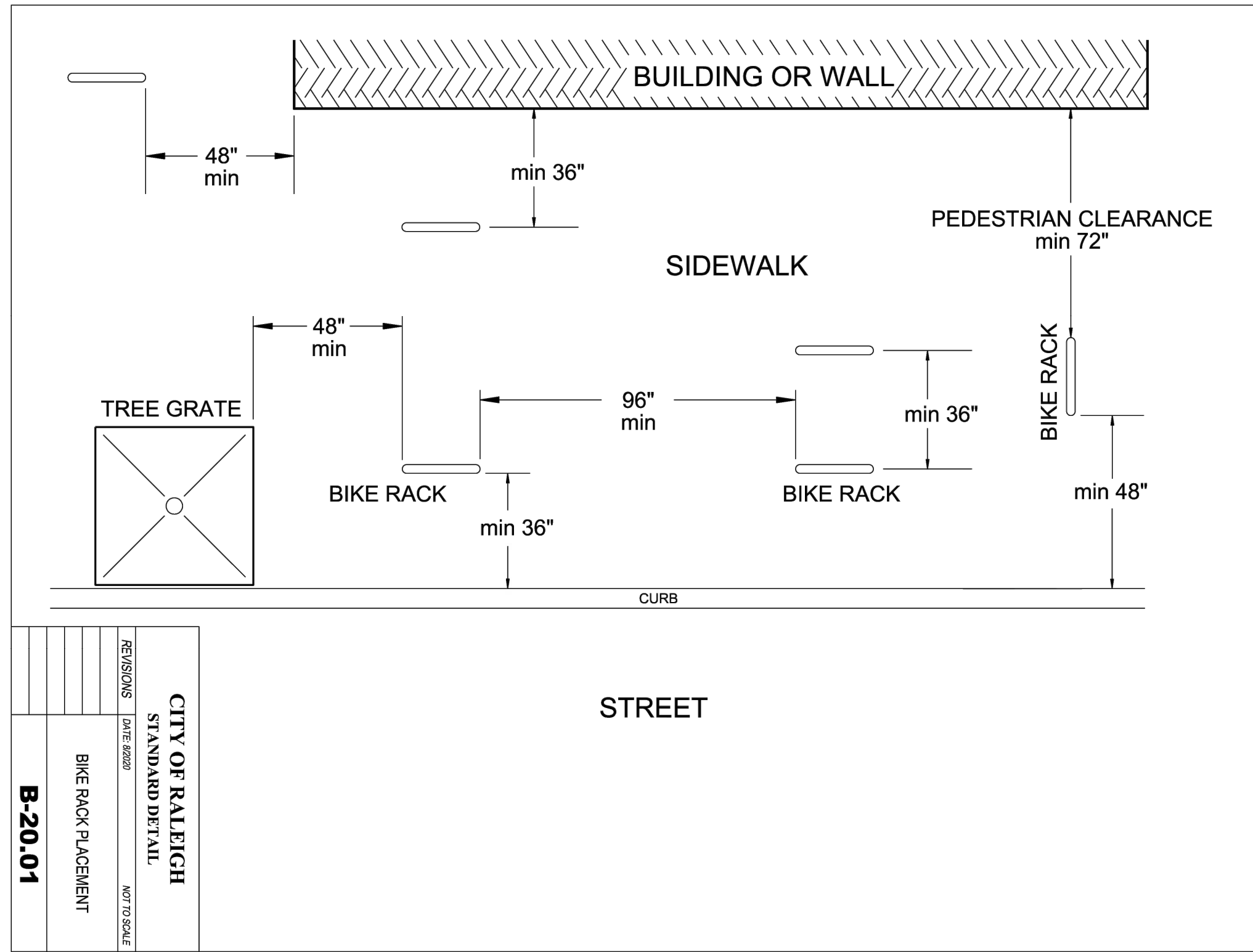
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1

24" CURB AND GUTTER

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DETAIL

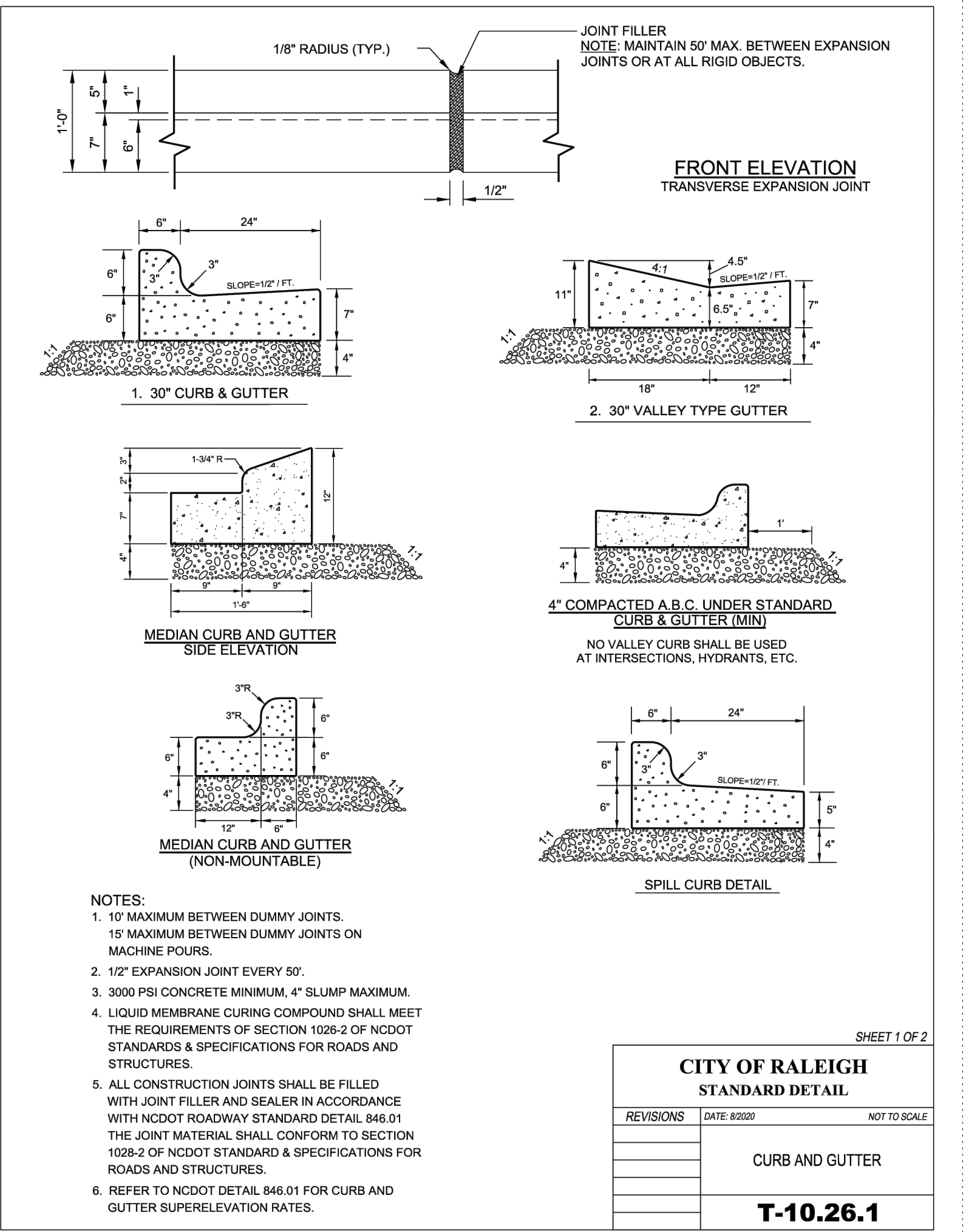
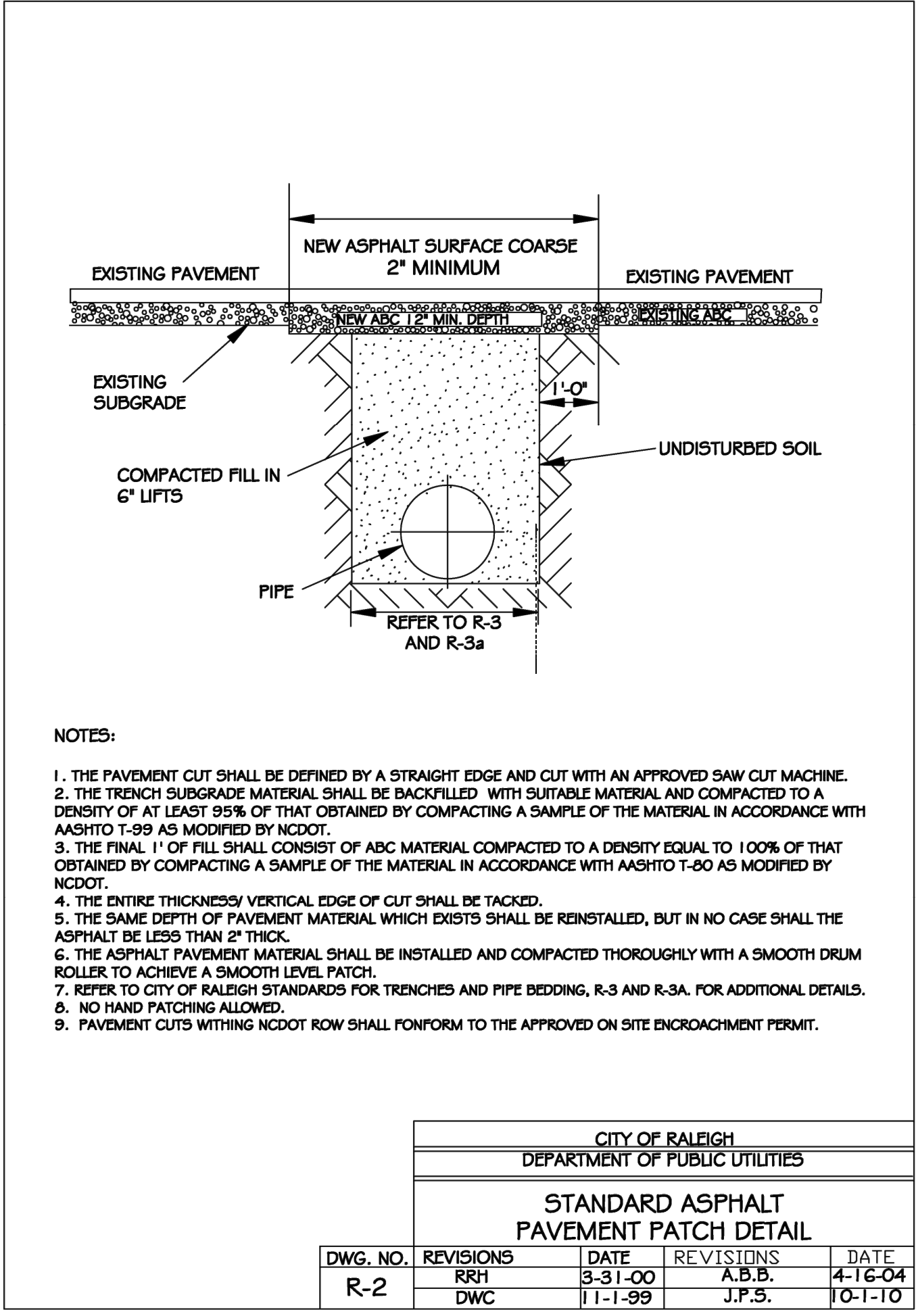
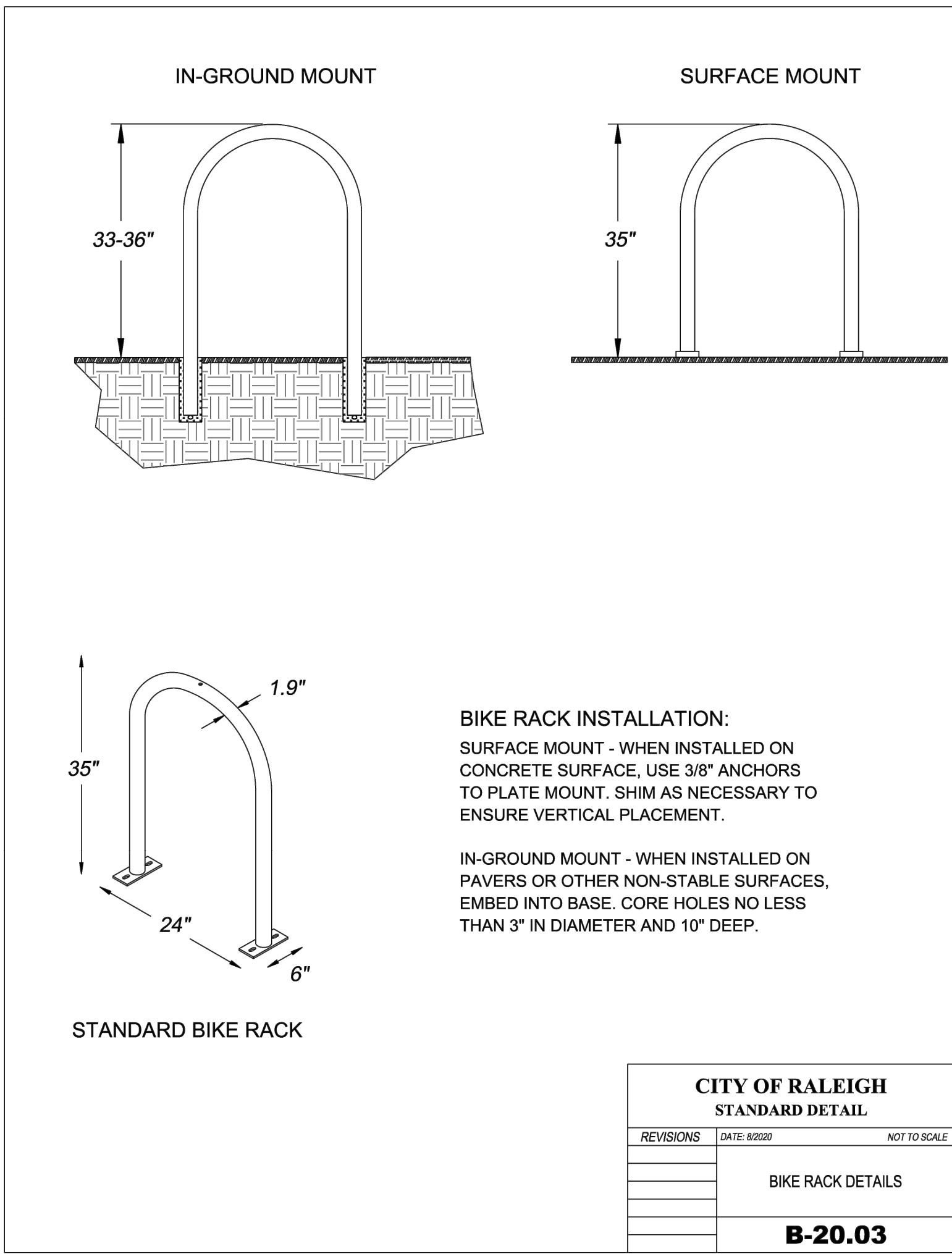


2

SIDEWALK

SCALE: NTS

DETAIL



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Administrative Site Review

Site Details

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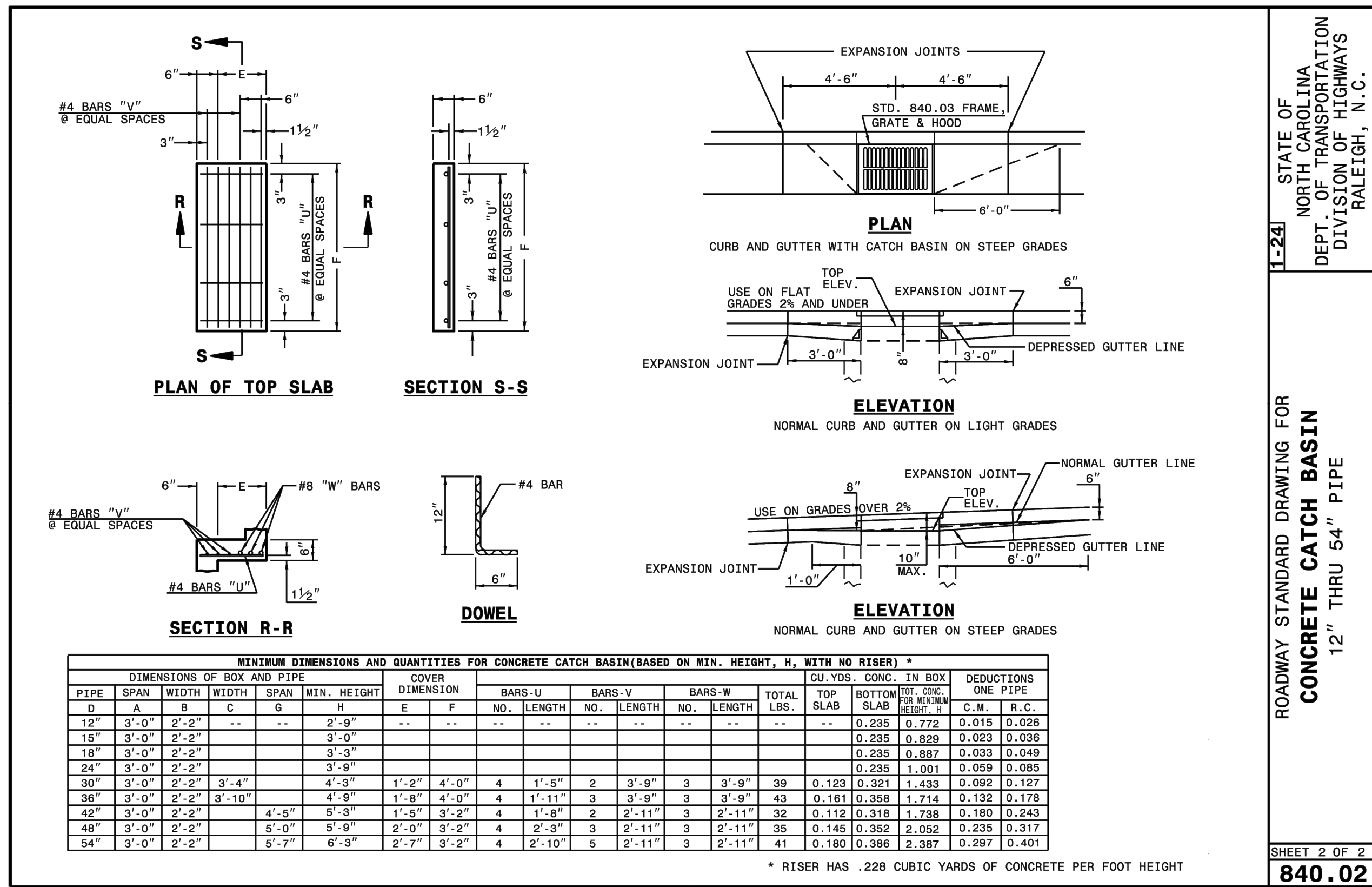
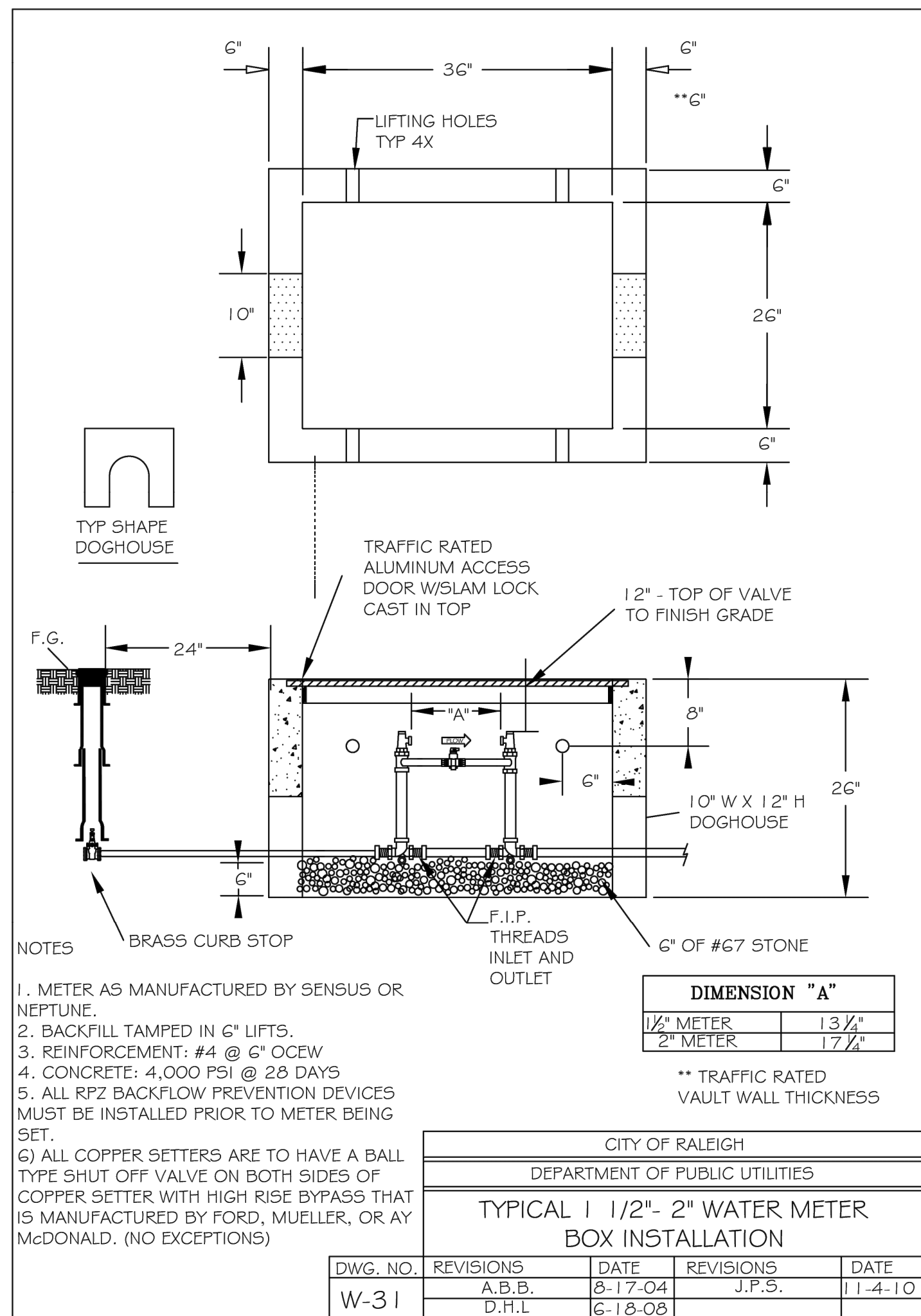
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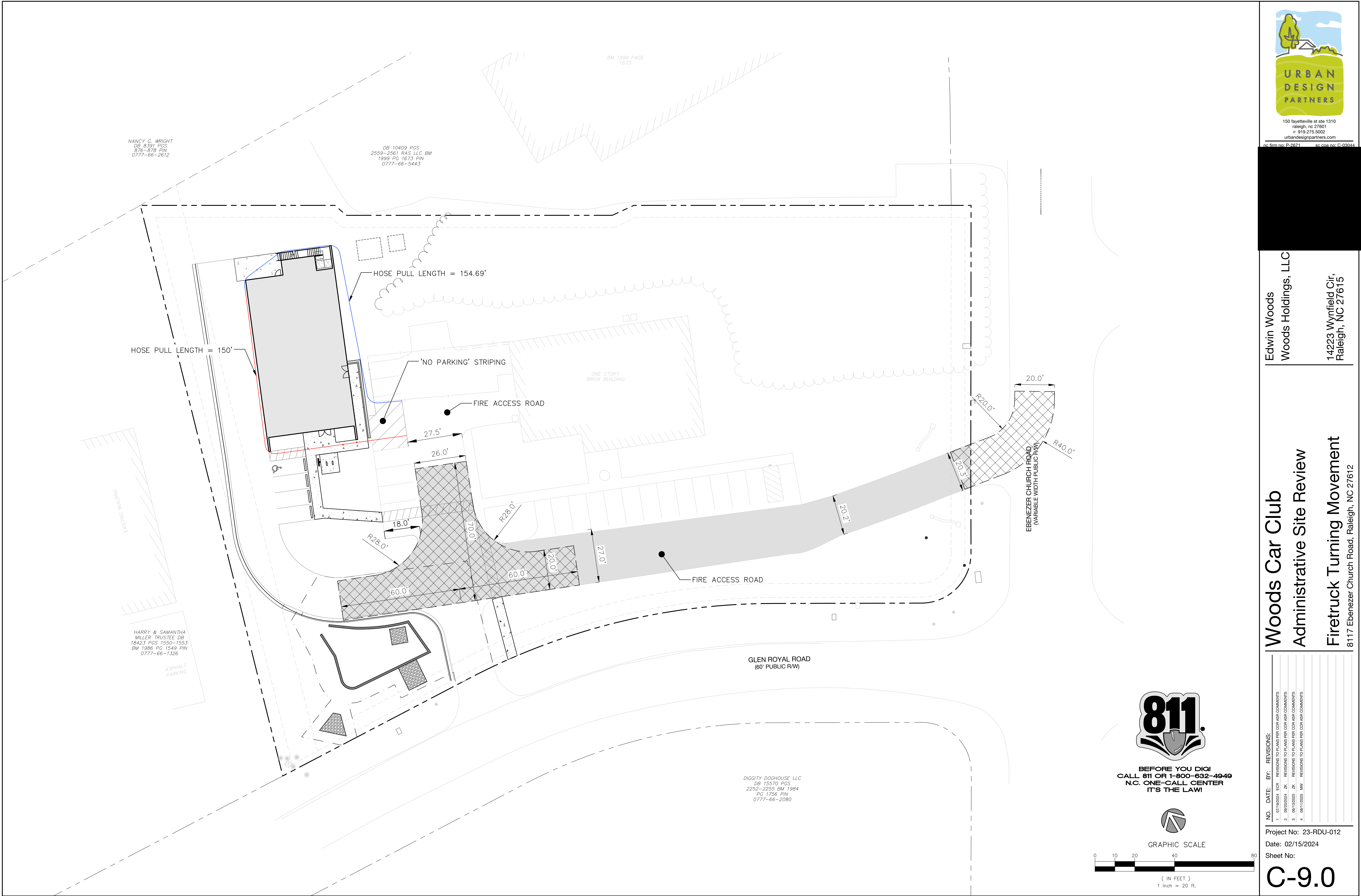
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**Woods Car Club
Administrative Site Review**

Firetruck Turning Movement

8117 Ebenezer Church Road, Raleigh, NC 27612

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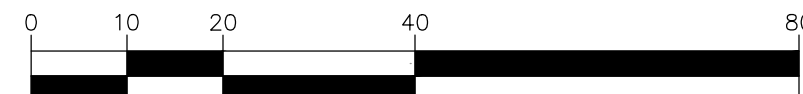
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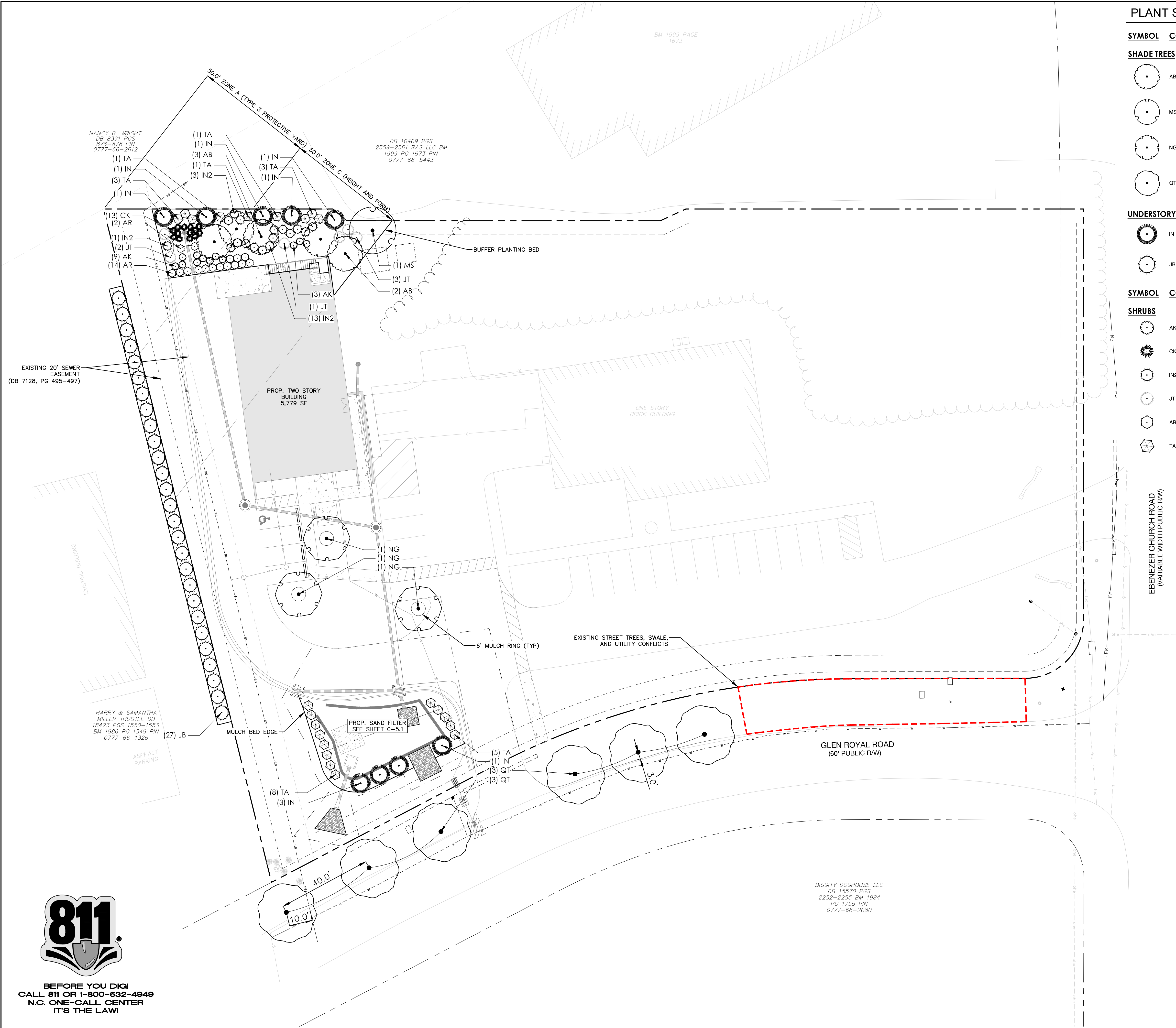
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GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HEIGHT
SHADE TREES						
	AB	5	ACER BUERGERIANUM TRIDENT MAPLE	B & B	3" MIN.	10' MIN.
	MS	1	MAGNOLIA VIRGINIANA SWEETBAY MAGNOLIA	B & B	3" MIN.	10' MIN.
	NG	3	NYSSA SYLVATICA 'NSUHH' GREEN GABLE™ TUPELO	B & B	3" MIN.	10' MIN.
	QT	6	QUERCUS TEXANA NUTTALL OAK	B & B	3" CAL	10' HT
UNDERSTORY TREES						
	IN	9	ILEX X 'NELLIE R. STEVENS' NELLIE R. STEVENS HOLLY	B & B	1.25" CAL	6' MIN.
	JB	27	JUNIPERUS CHINENSIS 'BLUE POINT' BLUE POINT JUNIPER	B & B	1" CAL	6' HT

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
SHRUBS				
	AK	12	ABELIA X GRANDIFLORA 'KALEIDOSCOPE' KALEIDOSCOPE GLOSSY ABELIA	18" MIN.
	CK	13	CALAMAGROSTIS X ACUTIFLORA 'KARL' POERSTER KARL POERSTER FEATHER REED GRASS	1 GAL.
	IN2	17	ILEX VOMITORIA 'NANA' DWARF YALPON HOLLY	18" MIN.
	JT	6	JUNIPERUS CHINENSIS 'MONLEP' MINT JULEP® CHINESE JUNIPER	24" MIN.
	AR	16	RHODODENDRON X 'ROBLEZA' AUTUMN BONFIRE® ENCORE® AZALEA	18" MIN.
	TA	22	THUJA OCCIDENTALIS 'ART BOE' NORTH POLE® ARBORVITAE	36" MIN.

PLANTING NOTES

- IF GRAPHIC REPRESENTATION OF PLANTINGS ON PLANS DO NOT MATCH QUANTITIES IN PLANT SCHEDULE, GRAPHIC REPRESENTATION OF PLANTINGS WILL GOVERN.
- TREES NOT IN A LANDSCAPE BED SHALL RECEIVE A 6" DIAMETER MULCH RING.
- LIMITS OF IRRIGATION INCLUDE DENOTED LANDSCAPE BEDS, ALL SOD/SEED AREAS, AND TREES NOT LOCATED IN A LANDSCAPE BED.
- CITY TREE PLANTING AND PRESERVATION NOTES ON SHEET LS-2.0
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.
- PLANT LABEL:
XX
PLANT CODE
NUMBER OF PLANTS

SITE NOTES

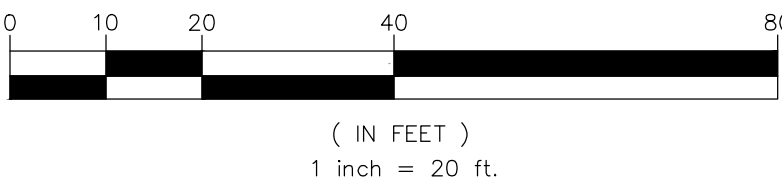
LONG-TERM BICYCLE PARKING WILL BE LOCATED INSIDE OF THE BUILDING.

LANDSCAPE REQUIREMENTS:

- VEHICLE PARKING LOT LANDSCAPING (CITY OF RALEIGH UDO SEC. 7.1.7.F.1.)
 - EACH INTERIOR ISLAND (AND TERMINAL INTERIOR ISLAND) MUST INCLUDE AT LEAST 1 SHADE TREE.
 - 3 SHADE TREES REQ'D
 - 3 SHADE TREES PROVIDED
- STORMWATER RETENTION PONDS & DETENTION BASINS (CITY OF RALEIGH UDO SEC. 7.2.6.)
 - EVERGREEN SCREENING OF THE PROPOSED SCM IS PROVIDED PER UDO SECTION 7.2.6.C. REQUIREMENTS.
- NEIGHBORHOOD TRANSITION BUFFER YARD (CITY OF RALEIGH UDO SEC. 3.5)
 - LIMITS OF ZONE A:
 - WIDTH: PROTECTIVE YARD TYPE 3 (50' FROM BOUNDARY)
 - 50' AVG.
 - REQUIRED AREA: 1,953 SF (50' FROM PROPERTY CORNER)
 - PROVIDED AREA: 2,349 SF
 - PLANTING:
 - SHADE TREES REQ: 6 SHADE TREES PER 100 LF
 - SHADE TREES PROV: 6 SHADE TREES PROV
 - UNDERSTORY TREES REQ: 5 UNDERSTORY TREES PER 100 LF
 - UNDERSTORY TREES PROV: 5 UNDERSTORY TREES PROV
 - SHRUBS REQ: 60 SHRUBS PER 100 LF
 - SHRUBS PROV: 73 SHRUBS PROV
- TREE REPLACEMENT (CITY CODE SEC. 9-8010)
 - DBH REMOVED FROM R/W: 3"
 - REQ. REPLACEMENT SIZE: 3" DBH
 - PROV. REPLACEMENT SIZE: 6 TREES AT 3" DBH EACH
 - 5 TREES x 3" DBH = 18" DBH REPLACED
 - REMAINING DBH: 13" DBH NOT REPLACED
 - FEE-IN-LIEU: 3" - 15" = \$1,300.00 FEE-IN-LIEU
 - 13" DBH x \$100 =



GRAPHIC SCALE



150 fayetteville st ste 1310
raleigh, nc 27601
919.275.5002
urbandesignpartners.com

Edwin Woods
Woods Holdings, LLC
14223 Wynfield Cir,
Raleigh, NC 27615

Woods Car Club
Administrative Site Review
Landscape Plan
8117 Ebenezer Church Road, Raleigh, NC 27612

NO.	DATE	BY:	REVISIONS:
1.	07/18/2024	ECR	REVISIONS TO PLANS PER COR/ASH COMMENTS
2.	08/20/2024	ZK	REVISIONS TO PLANS PER COR/ASH COMMENTS
3.	08/12/2025	ZK	REVISIONS TO PLANS PER COR/ASH COMMENTS
4.	08/11/2025	MW	REVISIONS TO PLANS PER COR/ASH COMMENTS

Project No: 23-RDU-012
Date: 02/15/2024
Sheet No:

LS-1.0



BEFORE YOU DIG!
CALL 811 OR 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!

GENERAL NOTES

- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- DO NOT SCALE DRAWING. WRITTEN DIMENSIONS GOVERN IN CASE OF CONFLICT CONSULT THE ARCHITECT.
- COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES CONCERNING THE WORK.
- REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS FEASIBLE AS SHOWN. REPORT ANY CONFLICTS OR CHANGES TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- OWNER WILL PROVIDE WORK NOTED TO THE CONTRACT OR FACT UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROCESS SCHEDULE AND COORDINATE TO ASSURE SEQUENTIAL SEQUENCE OF INSTALLATION.
- MAINTAIN EXIST. ELEV. LOCATING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND STANDARDS THROUGHOUT CONSTRUCTION.
- MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND UNLATCHED TO ENSURE SECURITY.
- COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILING.

CONSTRUCTION NOTES

- ALL DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE (FAC).
- MAINTAIN DIMENSIONS MARKED "TYP." ALLOW FOR THICKNESS OF FINISHES.
- COORDINATE AND PROVIDE BLOCKING WITHIN PARTITIONS FOR ALL MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILING.
- UNDERCUT OF DOORS TO CLEAR FLOOR FINISHES BY 1/2" UNLESS NOTED OTHERWISE.
- ALL PARTITIONS SHALL BE PERPENDICULAR OR PARALLEL TO BUILDING CORE WALLS UNLESS NOTED OTHERWISE.
- FINISH FACE OF ALL DOOR OPENINGS SHALL BE LOCATED 6" FROM ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.
- REIN. MASONRY PARTITION ALL EXISTING PARTITIONS DAMAGED DUE TO STRUCTURE AND NEW WORK. REPAIR/REPLACE SHALL BE AS REQUIRED TO MAINTAIN EXISTING FIRE PROTECTION RATING.
- RAV. AND REPAIR ALL EXISTING AND/OR NEW PENETRATIONS THROUGH EXISTING FIRE RATED GLASS AND PARTITIONS AS REQUIRED TO MAINTAIN EXISTING FIRE PROTECTION RATING.

ACCESSIBILITY NOTES

- ADJUST CHANGES IN LEVEL ALONG ACCESSIBLE ROUTE NOT TO EXCEED 1/2" IN HEIGHT CHANGES BETWEEN 1/2" AND 1/2" ARE ALLOWED WITH A SLOPE NO STEEPER THAN 1:5.
- ALL DOORS ARE SPECIFIED TO BE NOT LESS THAN 3'-0" IN WIDTH AND NOT LESS THAN 6'-0" IN HEIGHT. DOORS ARE SPECIFIED TO BE NOT LESS THAN 3'-0" IN WIDTH AND NOT LESS THAN 6'-0" IN HEIGHT. DOORS ARE SPECIFIED TO BE NOT LESS THAN 3'-0" IN WIDTH AND NOT LESS THAN 6'-0" IN HEIGHT.
- FLOOR AREAS ON EACH SIDE OF DOORS ARE SPECIFIED TO BE LEVEL AND CLEAR. THE DIMENSIONS OF THE CLEAR AREAS ARE SPECIFIED TO BE NO MORE THAN 48" FROM THE FLOOR.
- TOILET ROOM ACCESSORIES:
 - A. TOILET SEAT DIMENSIONS ARE SPECIFIED TO BE 17" AND 14".
 - B. THE HEIGHT OF THE TOILET SEAT (TOP OF SEAT) IS BETWEEN 17" AND 19".
 - C. FLUSH CONTROLS ARE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR, ON THE SIDE OF THE TOILET WITH THE GREATEST CLEARANCE FROM THE ADJACENT WALL. TOILET PARTITION OR OTHER SURFACE.
- GRAB BARS ARE PROVIDED IN COMPLIANCE WITH ADA REQUIREMENTS.
 - A. HORIZONTAL GRAB BARS TO BE 2'-0" MIN. SPACING AND PARALLEL TO THE FLOOR.
 - B. DIAMETER OF GRAB BARS TO BE 1-1/4" TO 1-1/2" MIN.
 - C. FINISH: 1-1/2" CLEARANCE BETWEEN GRAB BARS AND WALLS.
 - D. GRAB BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BACKING, ETC.) SHALL SUPPORT A 250 POUND LOAD.
 - E. GRAB BARS SHALL NOT INTERFERE WITH OTHER FITTINGS.
 - F. GRAB BARS AND ADJACENT SURFACE SHALL BE FREE OF SHARP OR ABRADE ELEMENTS.

LEGEND

INDICATES PARTITION WITH 1-HOUR FIRE RATING

INDICATES PARTITION WITH 2-HOUR FIRE RATING

ROOM NAME AND NUMBER

DOOR NUMBER

PARTITION TYPE - REFER TO G.I.2

INDICATES 2 X 2 CLG GRID AND TILE

CEILING HEIGHT MARKER - HEIGHT ABOVE FINISH FLOOR

EXISTING 24" LIGHT FIXTURE

EXIT LIGHT

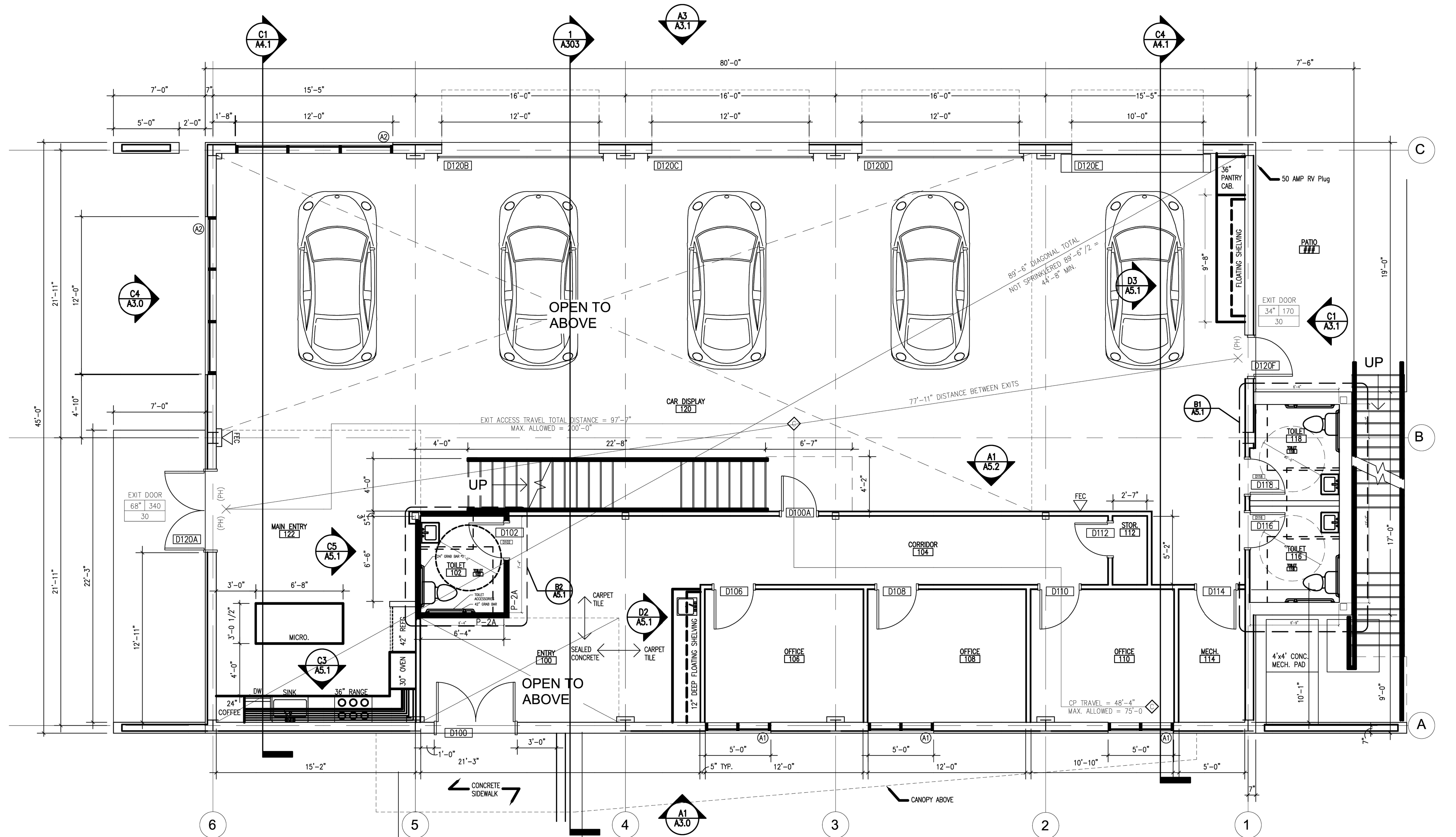
LIGHT/EXHAUST FAN COMBO

SUPPLY AIR DIFFUSER

RETURN AIR DIFFUSER

EMERGENCY LIGHTING

FIRE EXTINGUISHER CANNOT BE SEEN



A1 ENTRY LEVEL FLOOR PLAN
A1.0A SCALE: 1/4" = 1'-0"

ENTRY
LEVEL
FLOOR PLAN

A1.0A

GENERAL NOTES

1. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.

2. DO NOT SCALE DRAWING. VERIFY DIMENSIONS GIVEN. IN CASE OF CONFLICT CONSULT THE ARCHITECT.

3. COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.

4. REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS FEASIBLE AS SHOWN. REPORT ANY CONFLICTS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN THE FIELD.

5. OWNER WILL PROVIDE WORK NOTED "SEE OTHERS" OR "TYP. UNDER SEPARATE CONTRACT" INCLUDE CRITICAL REQUIREMENTS IN CONSTRUCTION PROJECT SCHEDULE AND COORDINATE TO ACHIEVE CORRECT SEQUENCE OF INSTALLATION.

6. PROVIDE DATA, USE CORRECT, TRUE PROTECTIVE SIGNS, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES THROUGHOUT CONSTRUCTION.

7. MAINTAIN WORK AREA SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND UNOBLIND TO ENSURE SECURITY.

8. COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.

CONSTRUCTION NOTES

1. ALL DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE (FAC).

2. MAINTAIN PARTITIONS MAINTAINED "TYPICAL" OR "TYPICAL" ALLOW FOR TOLERANCES OF FINISHES.

3. COORDINATE AND PROVIDE BLOCKING WITH PARTITIONS FOR ALL MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.

4. UNDOCT OF DOORS TO CLEAR FLOOR FINISHES BY 1/2" UNLESS NOTED OTHERWISE.

5. PARTITIONS SHALL BE PERPENDICULAR OR PARALLEL TO MAJOR CORE WALLS UNLESS NOTED OTHERWISE.

6. FINISH FACE OF ALL DOOR OPENINGS SHALL BE LOCATED 4" FROM ADJACENT PERPENDICULAR WALL UNLESS NOTED OTHERWISE.

7. FINISH AND REPAIR ALL EXISTING AND NEW PARTITIONS THROUGHOUT THE BUILDING. FINISHES AND PARTITIONS AS REQUIRED TO MAINTAIN EXISTING FIRE PROTECTION RATING.

ACCESSIBILITY NOTES

1. SHORTCUT CHANGES IN LEVEL ALONG ACCESSIBLE ROUTE NOT TO EXCEED 1/2" IN HEIGHT. CHANGES BETWEEN 1/4" AND 1/2" ARE REQUIRED WITH A SLOPE NO STEEPER THAN 1:2.

2. ALL DOORS ARE SPECIFIED TO BE NOT LESS THAN 3' 0" IN WIDTH AND NOT LESS THAN 4' 0" IN HEIGHT. DOORS ARE CAPABLE OF OPENING AT LEAST 90 DEGREES AND CLEAR WIDTH IS NOT LESS THAN 3' 0".

3. FLOOR AREAS ON EACH SIDE OF DOORS ARE SPECIFIED TO BE LEVEL AND CLEAR. THE DIMENSIONS OF THE CLEAR AREAS ARE SPECIFIED TO MEET ADA CLEARANCE REQUIREMENTS.

4. TOILET ROOM ACCESSORIES

A. DISTANCE OF WATER REFLECTIVE SURFACE IS SPECIFIED TO BE NO HIGHER THAN 40" FROM THE FLOOR.

B. TOILET ROOM DISPENSERS ARE MOUNTED BETWEEN 7" AND 9" FROM THE FRONT EDGE OF THE TOILET SEAT.

C. THE HEIGHT OF THE WATER CLOSET (TOP OF SEAT) IS BETWEEN 17" AND 19".

D. FLUSH CONTROLS ARE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR ON THE SIDE OF THE SEAT WITH THE GREATEST CLEARANCE FROM THE ADJACENT WALL, TOILET PARTITION OR OTHER OBSTACLE.

E. DRAIN BARS ARE PROVIDED IN COMPLIANCE WITH ADA REQUIREMENTS.

F. HORIZONTAL DRAIN BARS TO BE 2'-10" MAX. ABOVE AND PARALLEL TO THE FLOOR.

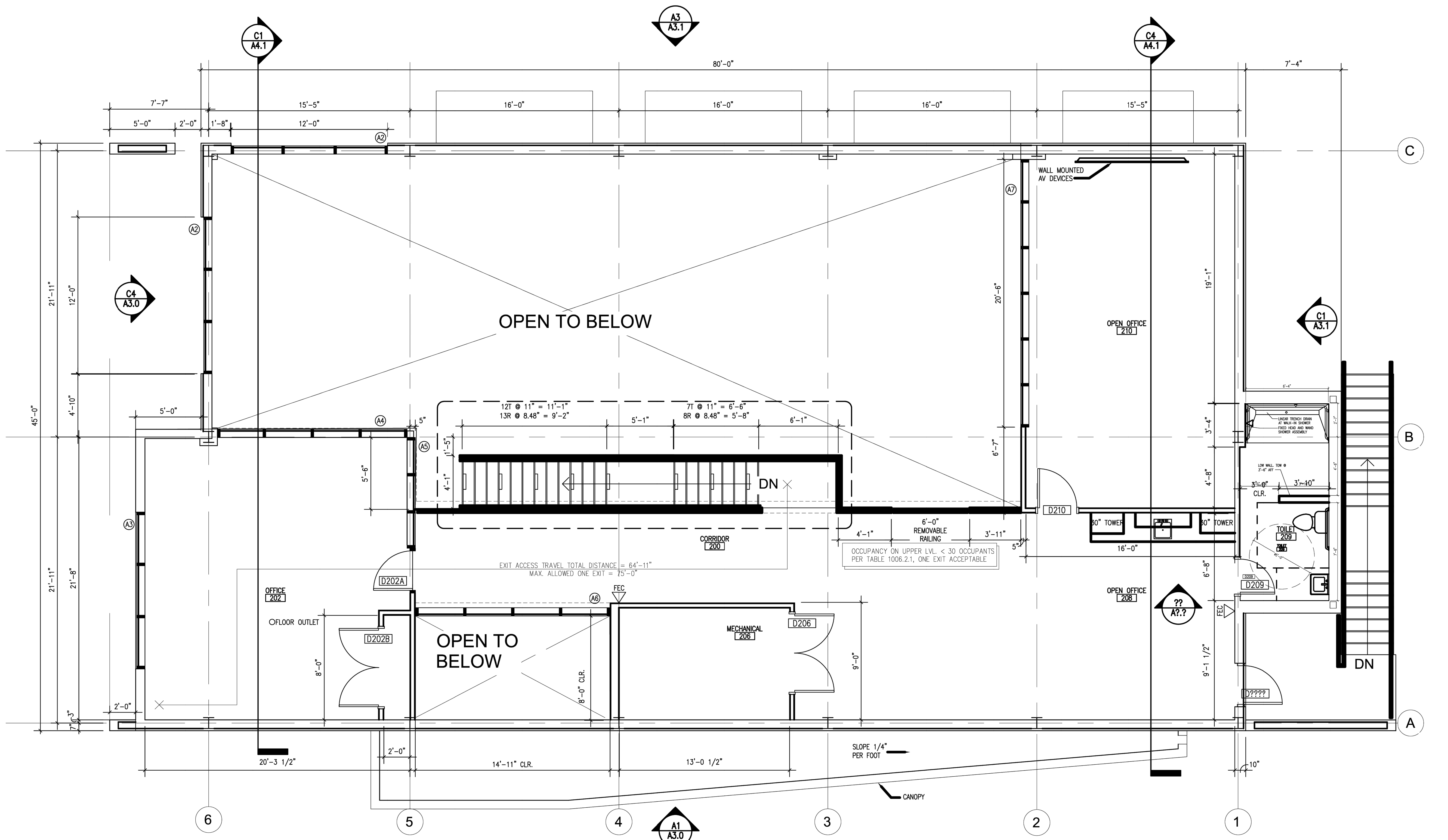
G. DIAMETER OF DRAIN BARS TO BE 1-1/4" TO 1-1/2".

H. PROVIDE 1-1/2" CLEARANCE BETWEEN DRAIN BARS AND WALLS.

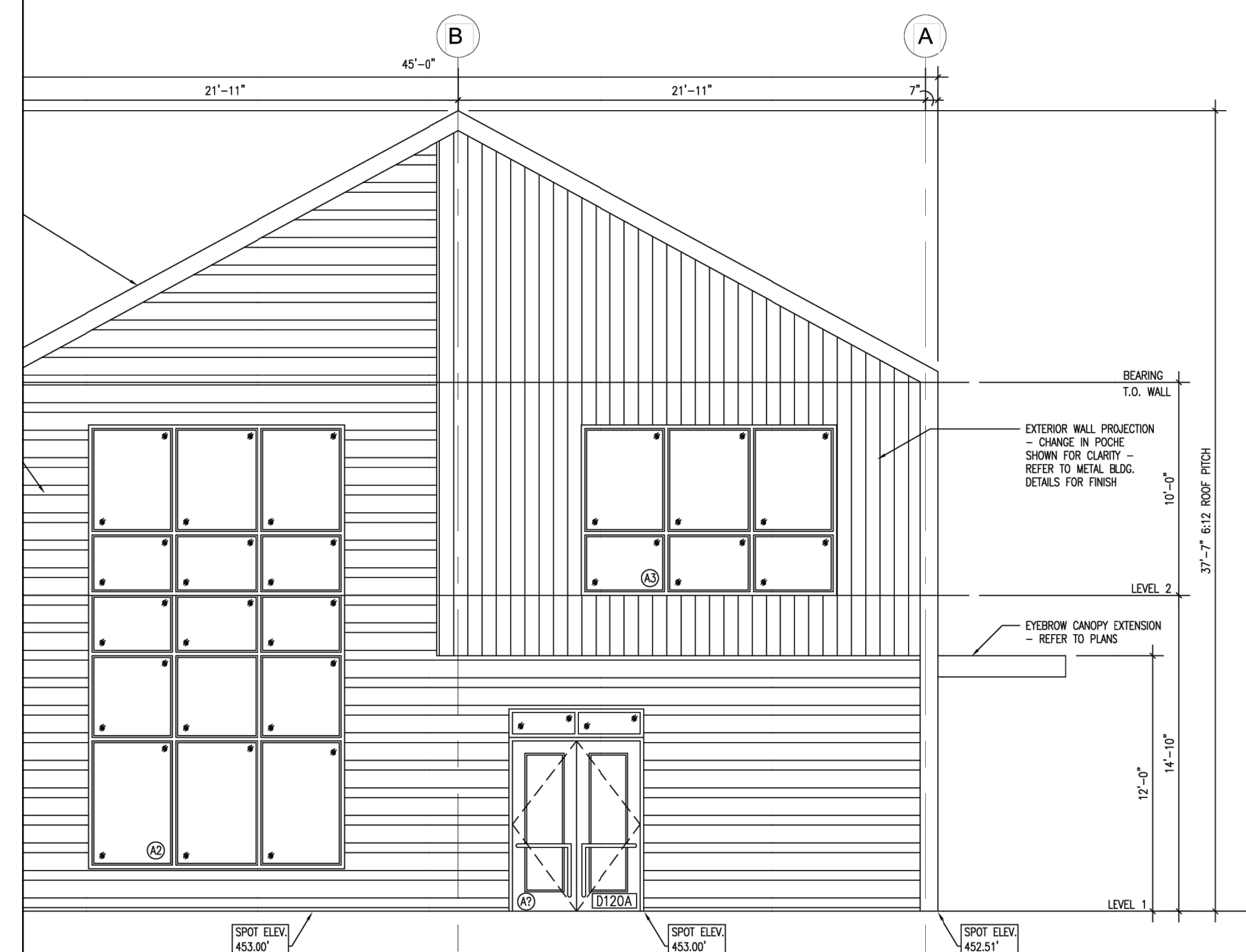
I. DRAIN BARS (INCLUDING CONNECTORS, FASTENERS, SUPPORT BRACKETS, ETC.) SHALL SUPPORT A 250 POUND LOAD.

J. DRAIN BARS SHALL NOT ROTATE WITH THEIR FITTINGS.

K. DRAIN BARS AND ADJACENT SURFACES SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS.

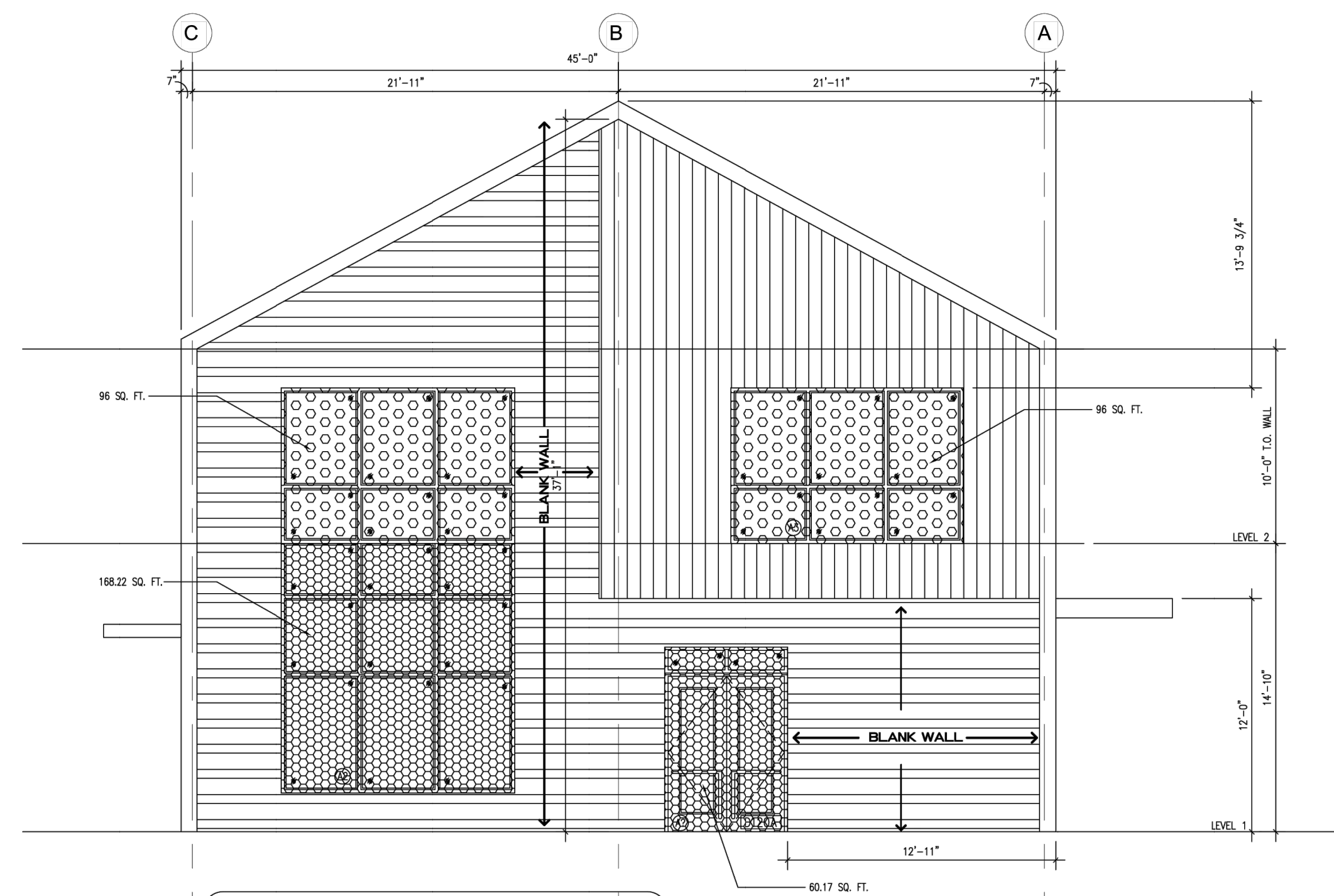


A1 UPPER LEVEL FLOOR PLAN
A1.1A SCALE: 1/4" = 1'-0"



AVERAGE GRADE CALCULATIONS	
SPOT 1	452.68'
SPOT 2	453.00'
SPOT 3	453.00'
SPOT 4	452.51'
AVERAGE	452.80'

C4 EXTERIOR ELEVATION - SOUTH
A3.0 SCALE: 1/4" = 1'-0"

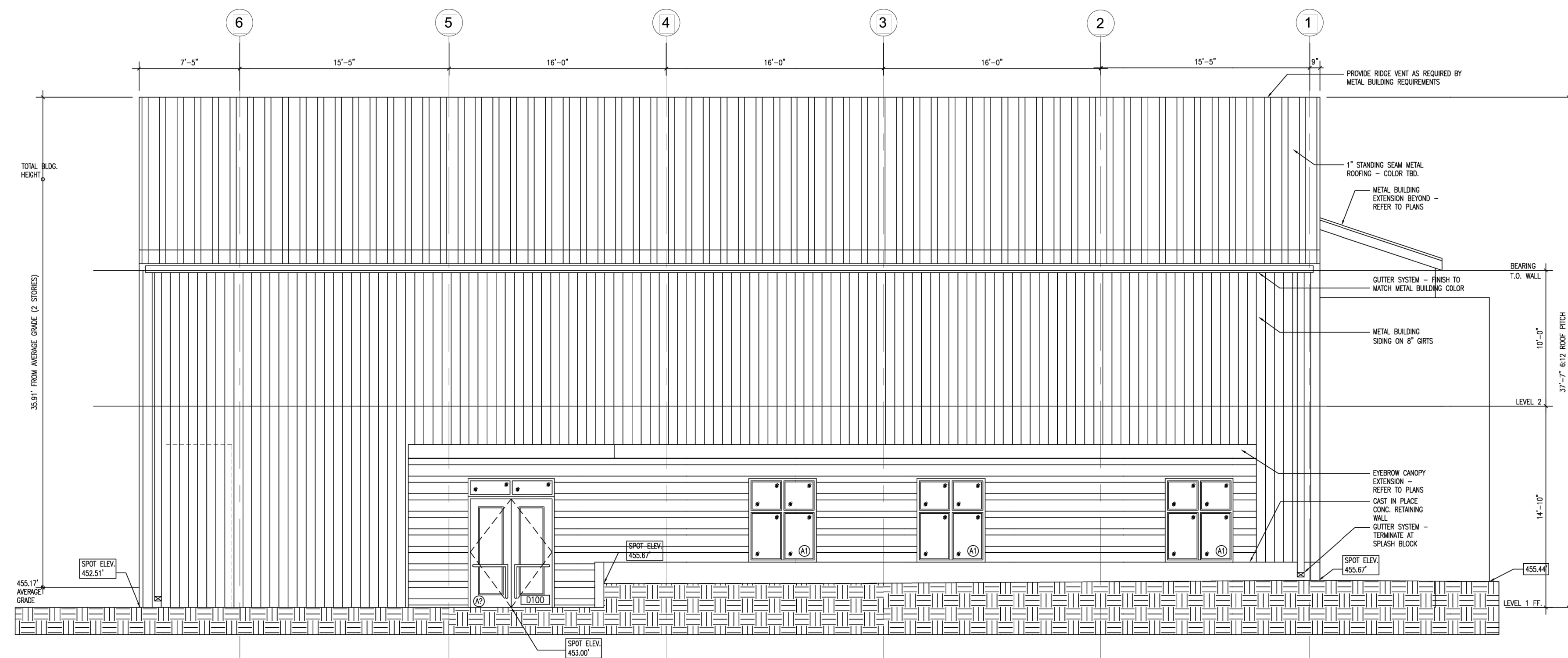


- LEVEL 2 - TRANSPARENCY**
- TOTAL SURFACE AREA: 466.06 SQ. FT.
 - TOTAL REQUIRED TRANSPARENCY (20%): 154.84
 - PROVIDED TRANSPARENCY: 192 SQ. FT. (33.22%)

- LEVEL 1 (GROUND LVL.) - TRANSPARENCY**
- TOTAL SURFACE AREA: 707.88 SQ. FT.
 - TOTAL REQUIRED TRANSPARENCY (20%): 141.58 SQ. FT.
 - PROVIDED TRANSPARENCY: 228.39 SQ. FT. (32.26%)

TRANSPARENCY BETWEEN 3' & 8' = 91.67 SQ. FT
EQUALS 64.75% OF TOTAL REQUIRED TRANSPARENCY

BLDG. HEIGHT/TRANSPARENCY/BLANK WALL
GLEN ROYAL STREET FACING FACADE
A4
A3.0 SCALE: 1/4" = 1'-0"



AVERAGE GRADE CALCULATIONS	
SPOT 1	452.51'
SPOT 2	453.60'
SPOT 3	455.67'
SPOT 4	455.44'
SPOT 5	455.16'
AVERAGE	454.36'

A1 EXTERIOR ELEVATION - EAST
A3.0 SCALE: 1/4" = 1'-0"

PERSPECTIVES
DESIGN

919-274-3337 - Raleigh
johncocho@hotmail.com

Raleigh
North Carolina

WOODS CAR CLUB
8117 EBENEZER CHURCH
RALEIGH, NC, 27612

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Project No. _____

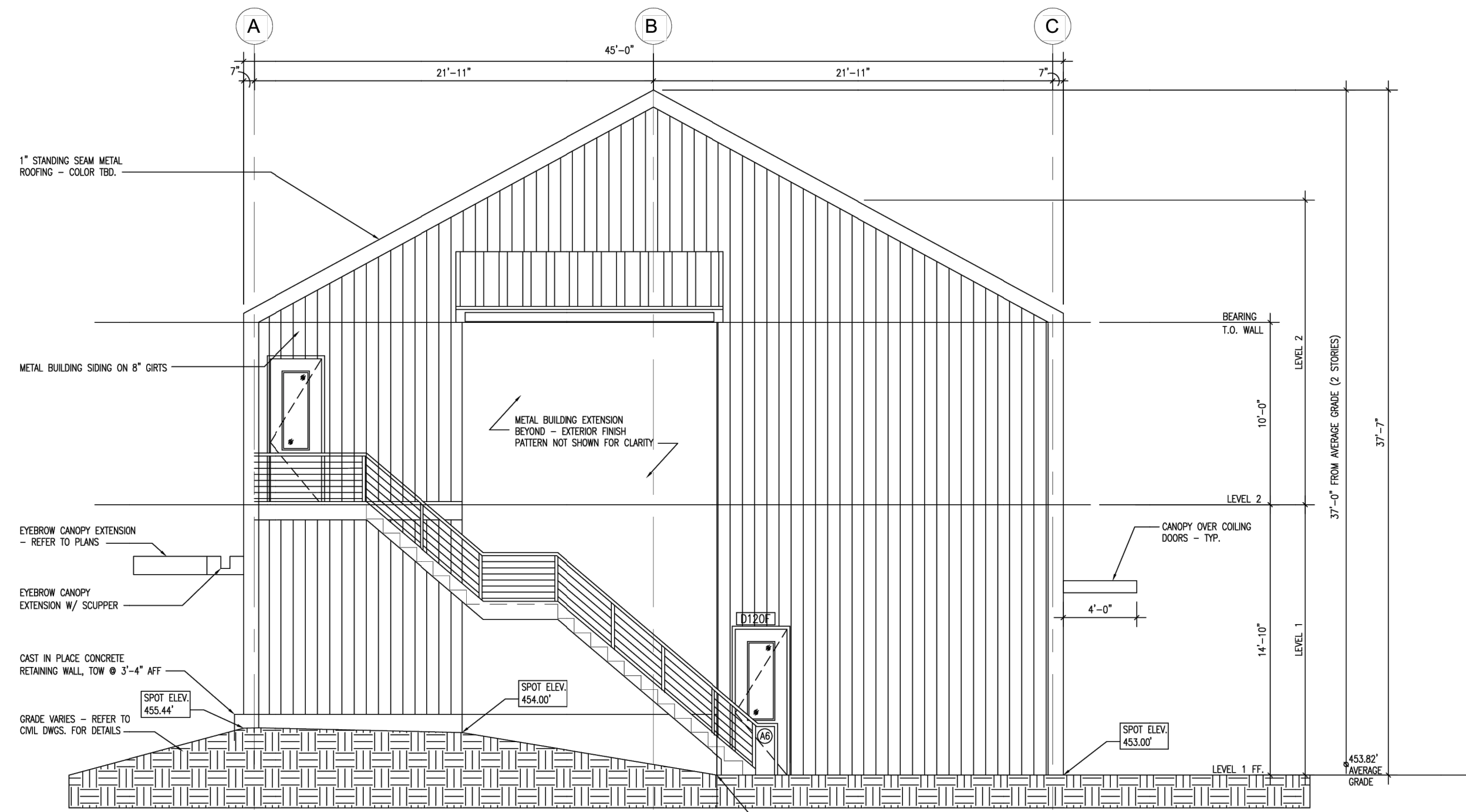
Checked By _____

Drawn By _____ JWH _____

Drawing _____

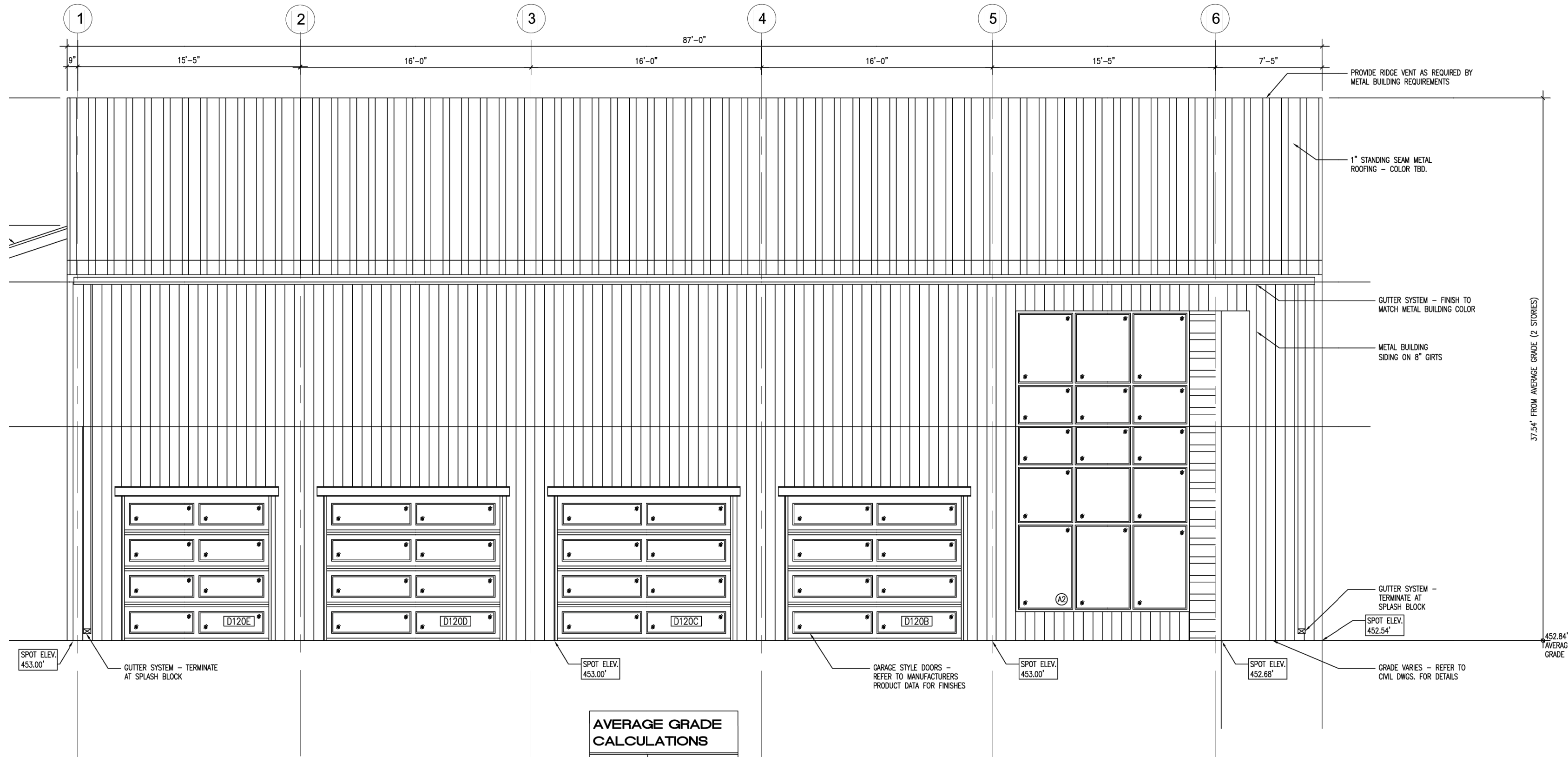
File Name _____

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AVERAGE GRADE CALCULATIONS	
SPOT 1	455.44'
SPOT 2	454.00'
SPOT 3	452.85'
SPOT 4	453.50'
AVERAGE	453.82'

C1 EXTERIOR ELEVATION - NORTH
A3.1 SCALE: 1/4" = 1'-0"



AVERAGE GRADE CALCULATIONS	
SPOT 1	453.00'
SPOT 2	453.50'
SPOT 3	453.50'
SPOT 4	452.88'
SPOT 4	452.54'
AVERAGE	452.84'

A3 EXTERIOR ELEVATION - WEST
A3.1 SCALE: 1/4" = 1'-0"

5 4 3 2 1

PERSPECTIVES DESIGN

819.274.537 Raleigh
james@james.com

Raleigh
North Carolina

WOODS CAR CLUB

8117 EBENEZER CHURCH RD.

RALEIGH, NC, 27612

Issued	Date	By
SAP DWGS.	07/25/24	
SAP DWGS. R1	09/13/24	
SAP DWGS. R2	06/12/25	

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