

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: _____	
Attached	Mixed use	Scoping/sketch plan case #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name:			
Inside City limits? Yes No			
Property address(es):			
Site P.I.N.(s):			
Please describe the scope of work. Include any additions, expansions, and change of use.			
Current Property Owner/Developer Contact Name:			
NOTE: please attach purchase agreement when submitting this form.			
Company:		Title:	
Address:			
Phone #:		Email:	
Applicant Name:			
Company:		Address:	
Phone #:		Email:	

DEVELOPMENT TYPE + SITE DATE TABLE**(Applicable to all developments)**

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? Yes No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes No	Wetlands Yes No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes No

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate _____ to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 

Date:

Printed Name:

BEACON POINT

ADMINISTRATIVE SITE REVIEW

1440 ROCK QUARRY ROAD
RALEIGH, NC 27610
ASR-0023-2021

OWNER CONTACT

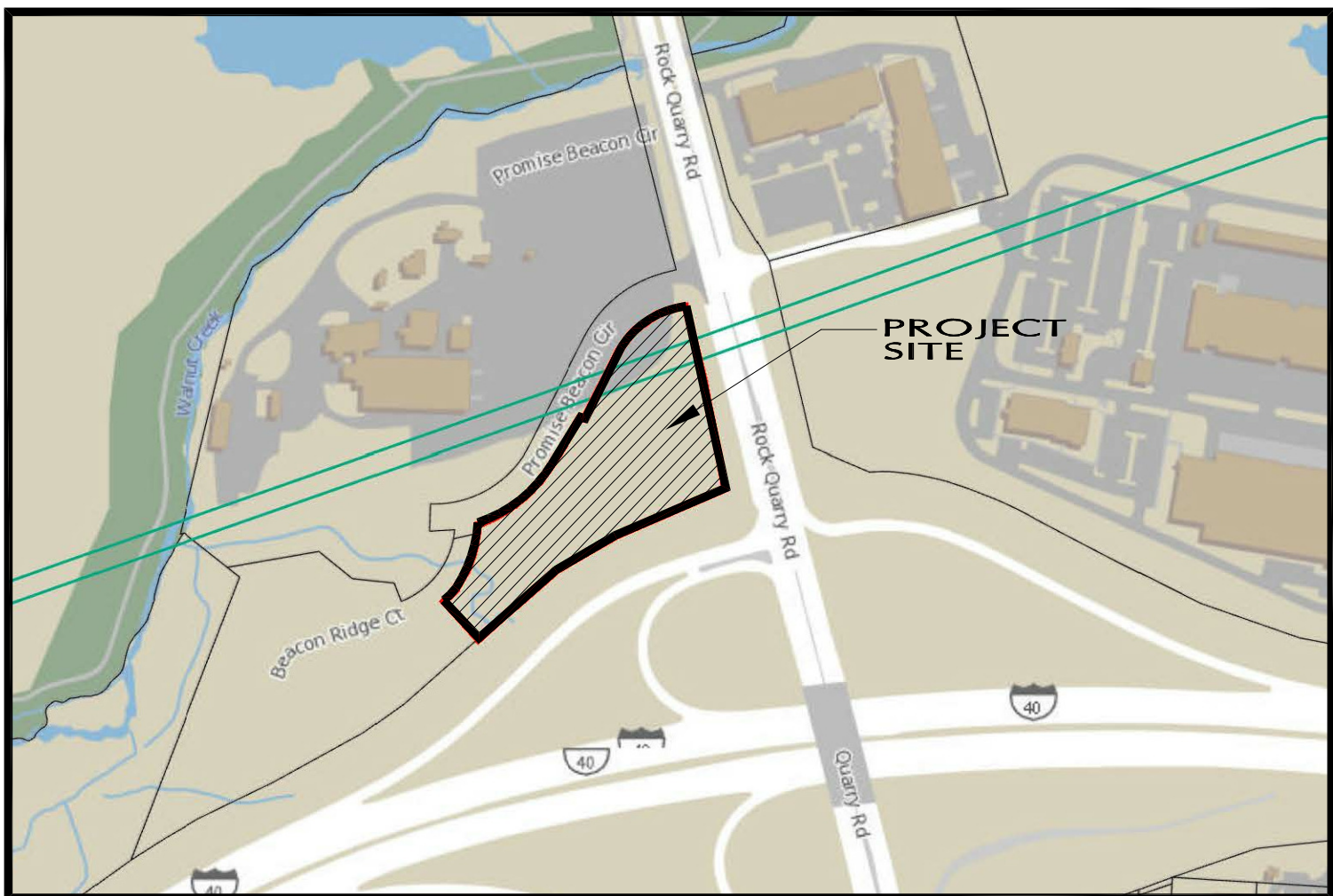
OWNER:	SELF HELP
OWNER CONTACT:	ASPEN ROMEYN - PROJECT MANAGER
ADDRESS:	301 W MAIN STREET, DURHAM NC 27701
PHONE:	919-313-8565
EMAIL:	ASPEN.ROMEYN@SELF-HELP.ORG

PROJECT TEAM

ARCHITECTURAL
DTW ARCHITECTS
229 NORTH GREGSON STREET
DURHAM, NC 27701

CIVIL ENGINEERING AND
LANDSCAPE ARCHITECTURE
CLH DESIGN, PA
400 REGENCY FOREST DR., STE. 120
CARY, NC 27518

VICINITY MAP: 1"=400'



TRIP GENERATION SUMMARY

Trip Generation Summary						
Land Use (ITE Code)	Intensity	Daily Traffic (vph)	Weekday AM Peak Hour Trips (vph)		Weekday PM Peak Hour Trips (vph)	
			Enter	Exit	Enter	Exit
Coffee/Donut Shop without Drive-Through Window****	1,700 sq. ft. (936)	755	52	49	18	18
Medical/Dental Office Building*	18,200 sq. ft. (720)	633	39	12	18	45
Office*	17,500 sq. ft. (710)	196	32	4	15	70
Bank	4,000 sq. ft. (911)	***	47	43	54	52
Total Trips		1,584	170	108	105	185
Internal Capture (AM: 22% entering, 34% exiting PM: 17% entering, 10% exiting)		-199***	-37	-37	-18	-19
Total New Trips		1,394	133	71	87	166

*Any indoor common area was split between these land uses.
**Daily traffic volumes are not provided for this land use code under ITE methodology.
***PM rates for internal capture were applied.
****Based on ITE Trip Generation, 10th Edition, methodology, the results for this land use are in people trips, as opposed to vehicular trips. For the purposes of this trip generation, 1.7 people were assumed per vehicular trip based on the Federal Highway Administration (FHWA, 2018).

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C300	OVERALL GRADING PLAN
C301	GRADING PLAN
C500	OVERALL SITE UTILITY PLAN
C501	SITE UTILITY PLAN
C600	OVERALL LANDSCAPE PLAN
C601	LANDSCAPE PLAN
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A3	BANK ELEVATION TRANSPARENCY
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SITE LIGHTING PLAN - (FOOT CANDLES)	

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Site Plan Tier:	Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input checked="" type="checkbox"/>
Building Type	Site Transaction History	
<input checked="" type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Scoping/sketch plan case #: SCOPE-0092-2020
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: _____
		Administrative Alternate #: _____
GENERAL INFORMATION		
Development name: Beacon Point		
Inside City limits?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Property address(es): 1440 Rock Quarry Road		
Site P.I.N.(s): 1713319493		
Please describe the scope of work. Include any additions, expansions, and change of use. This property will serve a credit union and a multi-use building which includes a cafe, multiple health clinics and office space. The necessary site improvements include, but are not limited to building construction, parking lot and drive additions, mass grading, tree clearing, water and sewer utility routing, stormwater infrastructure installation, and landscaping.		
Current Property Owner/Developer Contact Name: YOUNG MEN'S CHRISTIAN ASSOCIATION OF THE TRIANGLE AREA, INC NOTE: please attach purchase agreement when submitting this form.		
Company: Self Help Ventures Fund		Title: Project Manager - Aspen Romeyn
Address: 301 W MAIN STREET, DURHAM NC 27701		
Phone #: 919-313-8565		Email: aspen.romeyn@self-help.org
Applicant Name: Bill Hamilton, PLA		
Company: CLH Design, P.A.		Address: 400 Regency Forest Drive, STE 120, Cary NC 27518
Phone #: 919-319-6716		Email: bhamilton@clhdesignpa.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-5-PL: 4.15 AC IX-3-PL: 0.44 ac	Existing gross floor area (not to be demolished): 0 SF Existing gross floor area to be demolished: 0 SF
Gross site acreage: 4.59 Acres	New gross floor area: 36,830 SF (Mixed Use) 7,297 SF (Credit Union)
# of parking spaces required: 122	Total sf gross (to remain and new): 42,942 SF 39,350 SF
# of parking spaces proposed: 122	Proposed # of buildings: 2
Overlay District (if applicable): SHOD-1	Proposed # of stories for each: 1 (Bank) 3 (Mixed Use Building)
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Commercial	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 2 Square Feet: 87,120
Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, please provide: Alluvial soils: CN Flood study: 3720171300J FEMA Map Panel #: 1713	
Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate CLH Design - Bill Hamilton - PLA to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <i>Aspen Romeyn</i>	Date: 03/17/2021
Printed Name: Aspen Romeyn	

SITE DATA TABLE

PROJECT:	BEACON POINT	WATERSHED:	NEUSE, WALNUT CREEK
OWNER:	SELF HELP	STREAM BUFFER:	NONE
OWNER CONTACT:	ASPEN ROMEYN - PROJECT MANAGER 301 W MAIN STREET, DURHAM NC 27701 919-313-8565 ASPEN.ROMEYN@SELF-HELP.ORG	PARKING DATA:	
DESIGNER:	CLH DESIGN, PA	SINGLE TENANT BUILDING	SIZE SF PARKING STANDARD SPACES REQUIRED
DESIGNER CONTACT:	BILL HAMILTON - LANDSCAPE ARCHITECT 400 REGENCY FOREST DR., SUITE 120 CARY, NC 27518 PHONE: 919-319-6716 FAX: 919-319-7516	OFFICE - BANK	2,492 SF 1 PER 400 SF 6.23
PROJECT ADDRESS:	1440 ROCK QUARRY ROAD, RALEIGH, NC 27610	MULTI-TENANT BUILDING	SIZE SF PARKING STANDARD SPACES REQUIRED
PLANNING JURISDICTION:	RALEIGH	CAFE (1ST & 2ND FLOORS)	1,741 SF 1 PER 150 SF 11.61
PIN:	1713319493	HEALTH CLINIC (1ST FLOOR)	8,018 SF 1 PER 300 SF 26.73
ZONING OVERLAY:	SHOD-1 - SPECIAL HIGHWAY OVERLAY DISTRICT 1	THERAPY CLINIC (1ST FLOOR)	3,976 SF 1 PER 300 SF 13.25
SITE ACREAGE:	4.59 ACRES	ART NON-PROFITS (1ST FLOOR)	801 SF 1 PER 400 SF 2.00
OUTDOOR AMENITY:	108	OFFICES	1,759 SF 1 PER 300 SF 5.98
REQUIRED:	459 ACRES (19,994 SF)	ART GALLERY	1,795 SF 1 PER 300 SF 5.86
PROVIDED:	47 ACRES (20,344 SF)	OFFICE (2ND FLOOR)	9,008 SF 1 PER 400 SF 22.52
EXISTING USE:	VACANT/WOODED	OFFICE (2ND FLOOR)	1,617 SF 1 PER 400 SF 4.04
PROPOSED USE:	MULTI-TENANT: OFFICE/CAFE/HEALTH CLINIC/ART GALLERY SINGLE TENANT: BANK	OFFICE (2ND FLOOR)	2,180 SF 1 PER 400 SF 5.45
AREA OF DISTURBANCE:	3.32 ACRES	OFFICE (2ND FLOOR)	1,429 SF 1 PER 400 SF 3.57
IMPERVIOUS AREA:	2.00 ACRES	ART NONPROFIT OFFICES(2ND)	760 SF 1 PER 300 SF 2.53
MAX BUILDING HEIGHT ALLOWED:	PL FRONTAGE - 90', IX - 3 STORIES, CX - 5 STORIES	COMMON AREA	3,774 SF 1 PER 350 SF 10.78
SINGLE TENANT:	3,997 SF	TOTAL PARKING REQUIRED:	120.58(121 SPACES)
BUILDING GFA:	MULTI-TENANT: 39,849 SF	TOTAL PARKING PROVIDED:	122 SPACES
SOLID WASTE MANAGEMENT:	CITY DUMPSTER PICKUP (1 GARBAGE BIN, 1 RECYCLE BIN)	TOTAL HANDICAP REQUIRED:	5 SPACES
PRIMARY STREET:	ROCK QUARRY ROAD	TOTAL HANDICAP PROVIDED:	7 SPACES
SIDE STREET:	PROMISE BEACON CIRCLE	BIKE PARKING SHORT TERM:	
BUILDING SETBACKS:		SINGLE TENANT BUILDING	SIZE SF SPACES STANDARD SPACES REQUIRED
GENERAL BUILDING (BANK):		OFFICE - BANK	2,492 SF 1 PER 1000 SF (4 MIN) 4 (MIN)
PRIMARY STREET:	3' (IX)	MULTI-TENANT BUILDING	SIZE SF SPACES STANDARD SPACES REQUIRED
SIDE STREET:	3' (IX)	CAFE	1,741 SF 1 PER 25,000 SF .069
REAR:	0' OR 6' (CX)	HEALTH CLINIC	8,018 SF 1 PER 10,000 SF .801
SIDE:	0' OR 6' (IX)	THERAPY CLINIC	3,976 SF 1 PER 10,000 SF .397
MIXED USE BUILDING:		ART NON-PROFITS	801 SF 1 PER 10,000 SF .176
PRIMARY STREET:	5' (CX)	DANCE STUDIO	1,759 SF 1 PER 10,000 SF .179
SIDE STREET:	5' (CX)	ART GALLERY	1,795 SF 1 PER 10,000 SF .158
REAR:	0' OR 6' (CX)	OFFICE	15,795 SF 1 PER 5,000 SF N/A
SIDE:	0' OR 6' (CX)	COMMON AREA:	3,774 SF N/A N/A
BUILD TO (5-100 FT):	PROMISE BEACON CIRCLE (SIDE STREET) REQUIRED BUILD TO AREA: 25% PROPERTY ROW FRONTAGE: 732 FT MINUS DUKE ENERGY EASEMENT 50 FT MINUS COR UTILITY EASEMENT 40 FT ADJUSTED TOTAL ROW FRONTAGE = 642 FT MULTI-USE BUILDING FACADE ROW FRONTAGE: 196 FT BANK BUILDING FACADE ROW FRONTAGE: 179 FT TOTAL BUILDING FACADE = 375 FT PROPOSED BUILD TO AREA = 58% (375/642)	TOTAL BIKE SHORT TERM PARKING REQ:	8 SPACES (4 RACKS)
	ROCK QUARRY ROAD (PRIMARY STREET) REQUIRED BUILD TO AREA: 50% PROPERTY ROW FRONTAGE: 436 FT MINUS DUKE ENERGY EASEMENT 50 FT MINUS COR UTILITY EASEMENT 40 FT MINUS COR TCA 265 FT ADJUSTED TOTAL ROW FRONTAGE = 81 FT BANK BUILDING FACADE ROW FRONTAGE: 43 FT PROPOSED BUILD TO AREA = 53% (43/81)	TOTAL BIKE SHORT TERM PARKING PROV:	10 SPACES (5 RACKS)
		BIKE PARKING LONG TERM:	
		SINGLE TENANT BUILDING	SIZE SF SPACES STANDARD SPACES REQUIRED
		OFFICE - BANK	2,492 SF 1 PER 5000 SF (4 MIN) 4 (MIN)
		MULTI-TENANT BUILDING	SIZE SF SPACES STANDARD SPACES REQUIRED
		CAFE	1,741 SF 1 PER 25,000 SF .069
		HEALTH CLINIC	8,018 SF 1 PER 10,000 SF .801
		THERAPY CLINIC	3,976 SF 1 PER 10,000 SF .397
		ART NON-PROFITS	801 SF 1 PER 10,000 SF .176
		DANCE STUDIO	1,759 SF 1 PER 10,000 SF .179
		ART GALLERY	1,795 SF 1 PER 10,000 SF .158
		OFFICE	15,795 SF 1 PER 5,000 SF N/A
		COMMON AREA:	3,774 SF N/A N/A
		TOTAL BIKE LONG TERM PARKING REQ:	8 SPACES (5 RACKS)
		TOTAL BIKE LONG TERM PARKING PROV:	9 SPACES (5 RACKS)
		TREE CONSERVATION:	REQUIREMENTS SATISFIED WITH THE SOUTHEAST YMCA MIXED-USE INFRASTRUCTURE SUBDIVISION PLANS (S-21-17), BM 2701, PG 2463
		PERMITTING JURISDICTIONS	RALEIGH
		ZONING:	RALEIGH
		WATER/SEWER:	RALEIGH
		EROSION CONTROL:	RALEIGH
		BLOCK PERIMETER AND CROSS ACCESS REQUIREMENTS EXEMPTIONS:	
		1. THE PROJECT SITE IS BELOW THE MINIMUM APPLICABLE SITE AREA ESTABLISHED IN THE TABLE FOUND IN SEC.8.3.2.A.2.b.	
		2. THE CREATION OF CROSS ACCESS DRIVES BETWEEN ADJUTING PROPERTIES ON THREE SIDES OF THE PROJECT PROPERTY ARE OBSTRUCTED BY EITHER A CONTROLLED ACCESS HIGHWAY, WATER COURSE & PREVIOUSLY ESTABLISHED TREE CONSERVATION AREA PER SEC.8.3.2.A.1.b	
GROUND FLOOR ELEVATION COMPLIANCE CHART:	FFE AVG BOC GRADE		
BUILDING	227.9		
SINGLE TENANT BUILDING (BANK)	227.9		
MULTI TENANT BUILDING (MULTI-USE)	228.7		

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PRELIMINARY PLANS
FOR REVIEW ONLY
DO NOT USE FOR
CONSTRUCTION

SELF-HELP

BEACON
POINT

RALEIGH, NC

PROJECT NUMBER:
20015

COVER

CLH DESIGN, P.A.
Agency Park
400 Regency Forest Drive
Suite 120
Cary, North Carolina 27518
Phone: (919) 319-6716
Fax: (919) 319-7516
LE: C-100, PE: C-1000

DTW
Architects &
Planners, Ltd.

229 North Gregson Street
Durham, NC 27701
919.317.4020

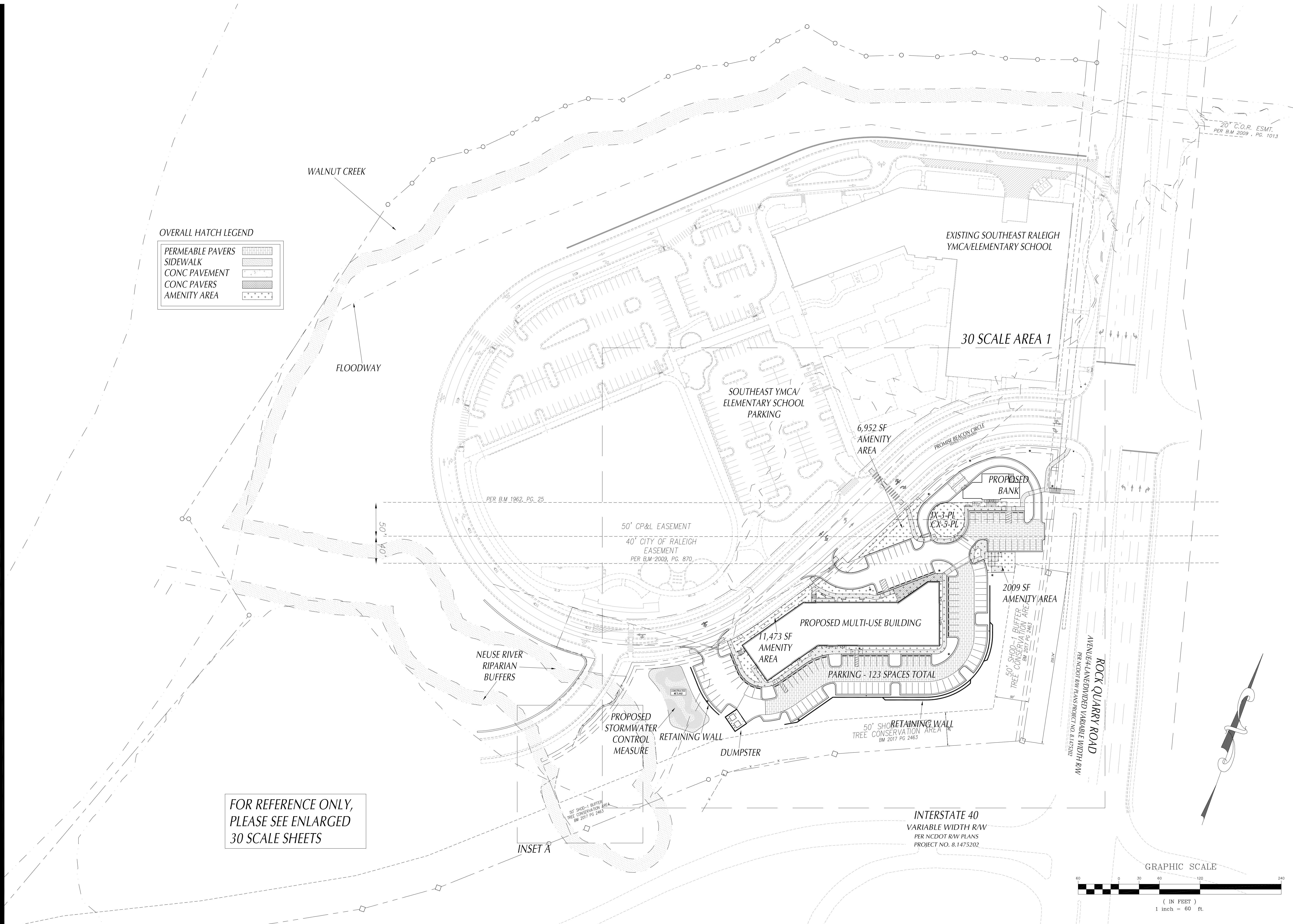
ADMINISTRATIVE SITE REVIEW

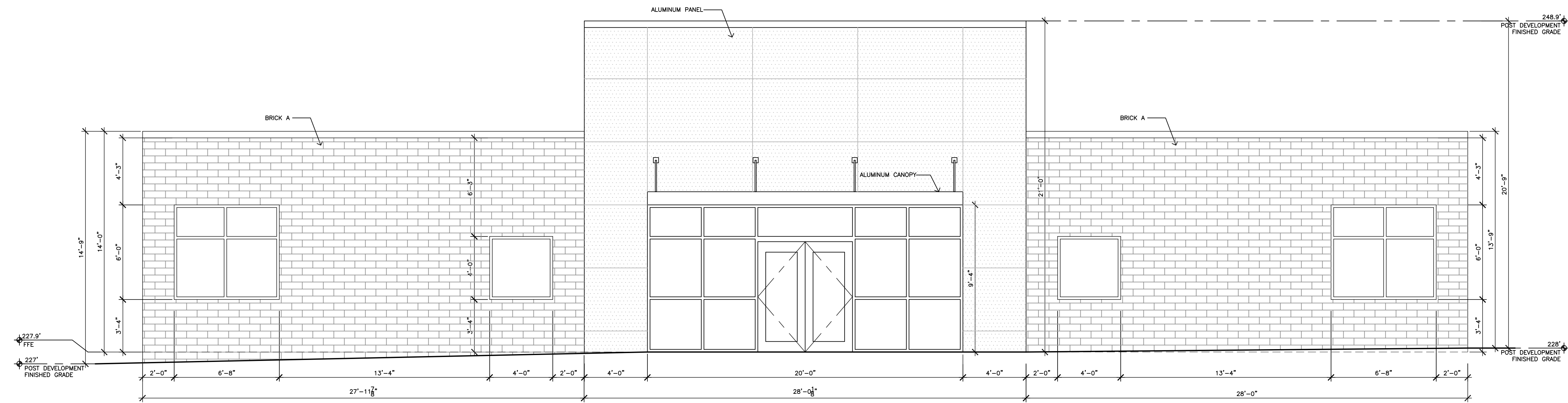
Revisions

Drawn YA, SH
Checked BH, SM
Date SEPT 28, 2021
Sheet

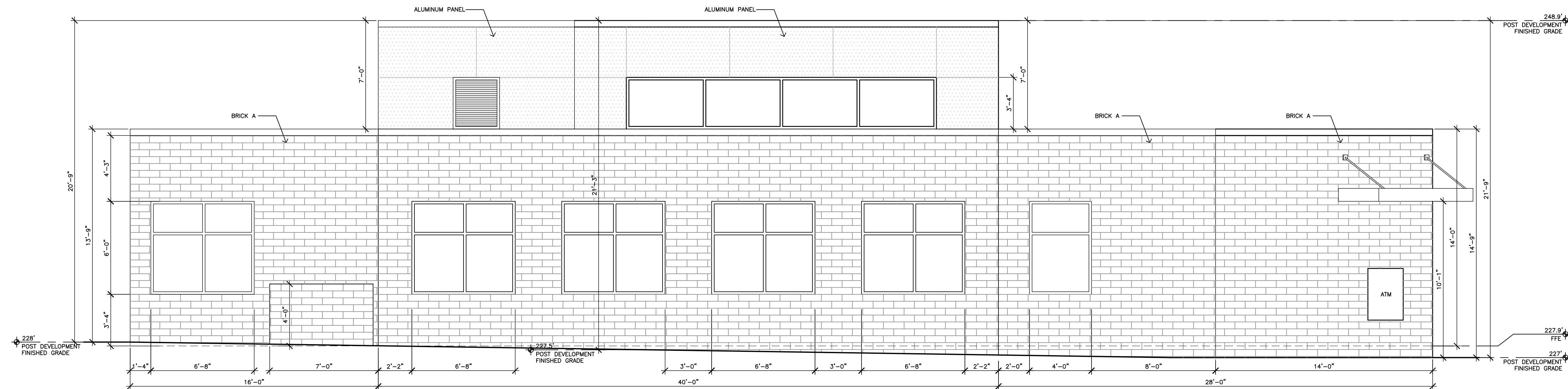
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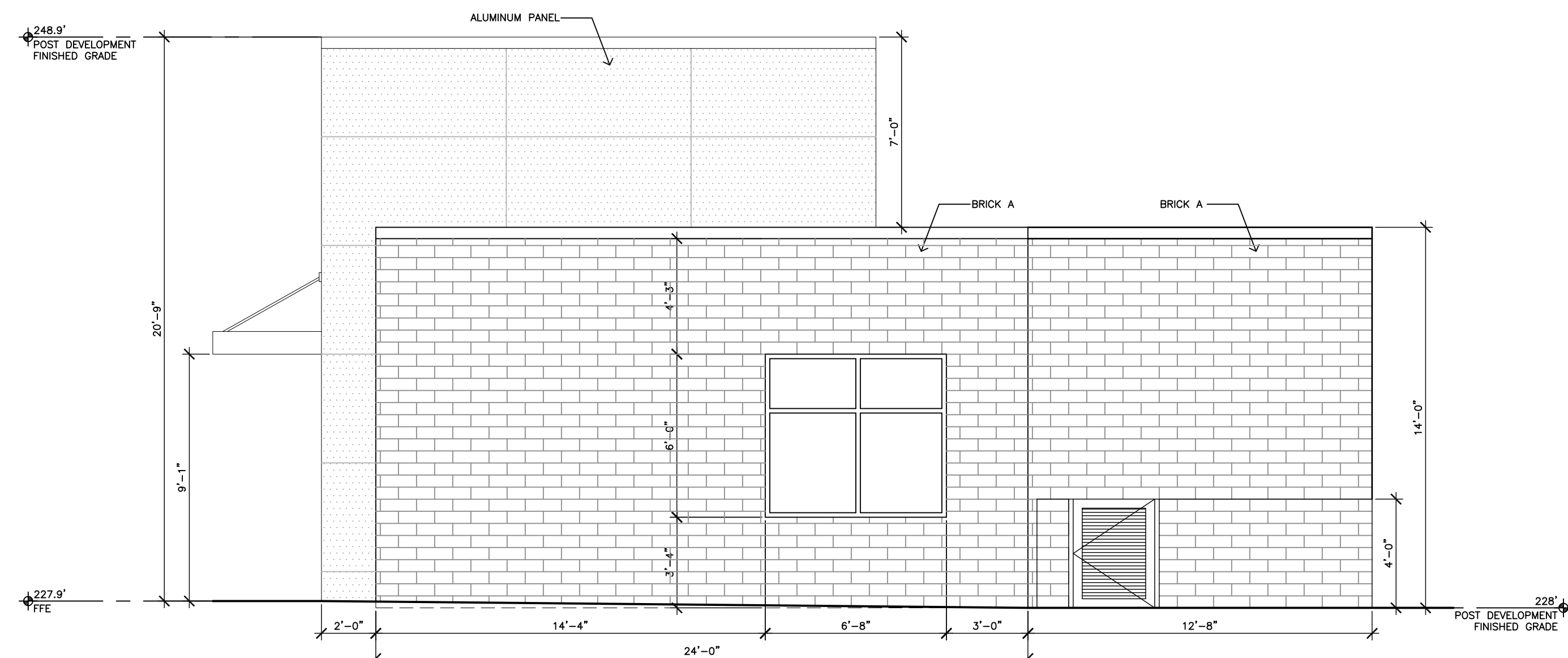




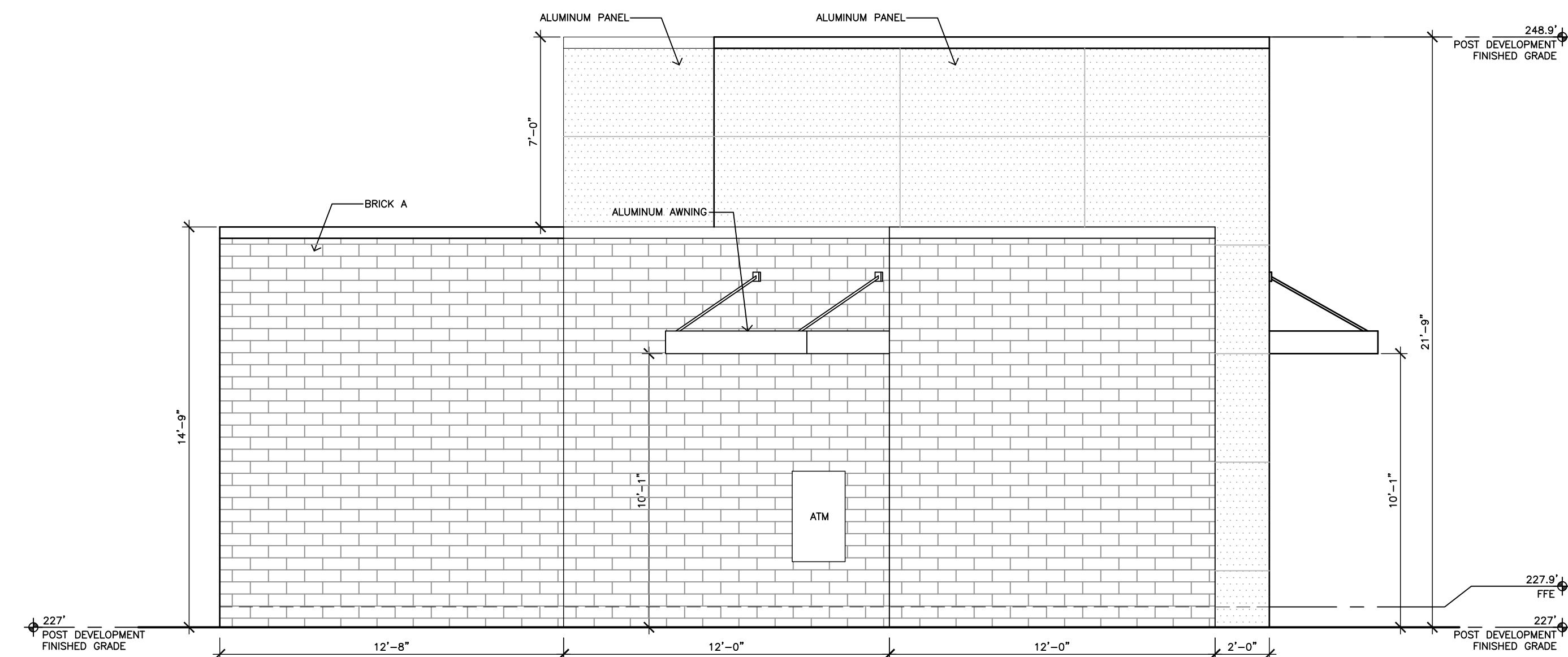
1 BEACON PROMISE CIRCLE ELEVATION – SOUTH ELEVATION
SCALE: 1/4"=1'-0"



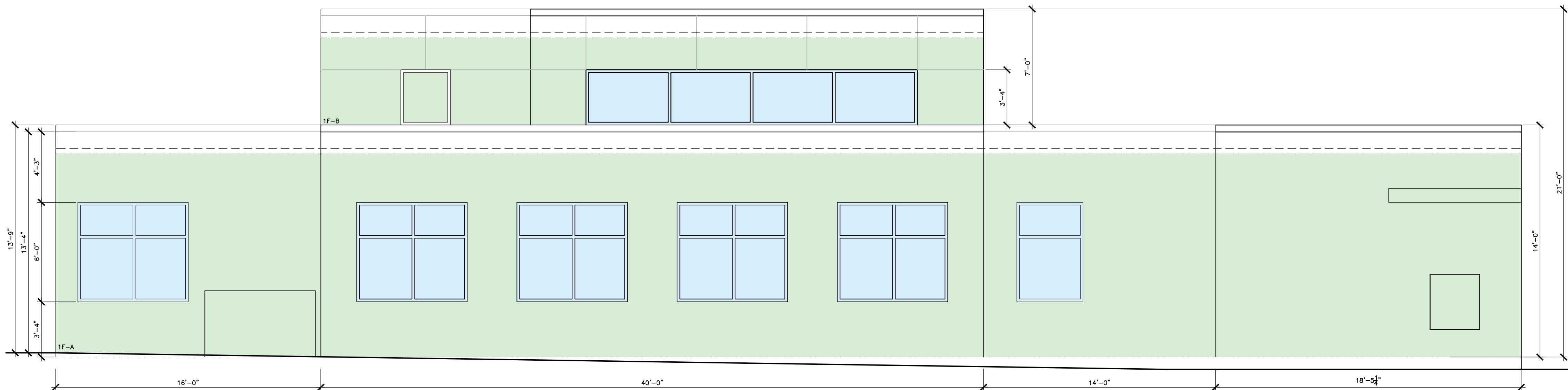
2 NORTH ELEVATION
SCALE: 1/4"=1'-0"



3 WEST ELEVATION
SCALE: 1/4"=1'-0"



4 EAST ELEVATION
SCALE: 1/4"=1'-0"



1 BEACON PROMISE CIRCLE ELEVATION
SCALE: 1/4"=1'0"

FIRST FLOOR	TOTAL ELEVATION SQ. FT.	WALL SQ. FT.	OPENING SQ. FT.	TRANSPARENCY %
ELEVATION 1F-A	1,083.00	859.00	224.00	20.68%
ELEVATION 1F-B	210.00	143.34	66.66	31.74%
TOTAL ELEVATION	1,293.00	1,002.34	290.66	22.48%
REQUIRED: IX GROUND FLOOR: 20% TRANSPARENCY MIN.				

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BEACON PROMISE CIRCLE
ELEVATION & TRANSPARENCY
CALCULATIONS

SELF-HELP

BEACON
POINT
BANK BLDG

RALEIGH, NC

PROJECT NUMBER:
20015

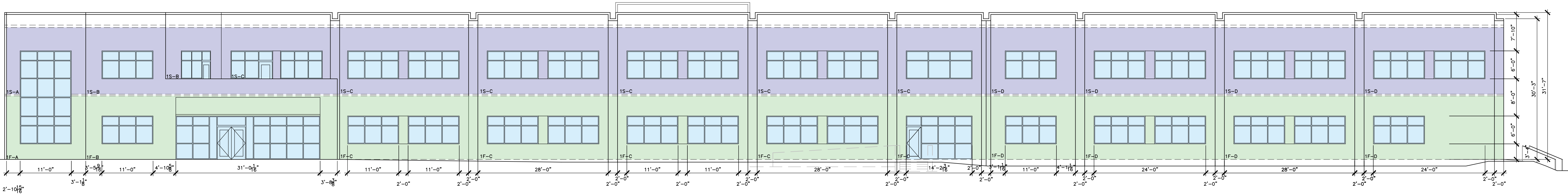
DTW
Architects &
Planners, Ltd.
229 North Gregson Street
Durham, NC 27701
919.317.4020

NOT FOR CONSTRUCTION
Revisions

Drawn I.L.V.
Checked R.L.S.
Date SEPTEMBER 24, 2021
Sheet

A3

Of



1 BEACON PROMISE CIRCLE ELEVATION
SCALE: 3/32"=1'0"

FIRST FLOOR	TOTAL ELEVATION SQ. FT.	WALL SQ. FT.	OPENING SQ. FT.	TRANSPARENCY %
ELEVATION 1F-A	232.39	118.73	113.66	48.91 %
ELEVATION 1F-B	745.99	390.11	355.38	47.67 %
ELEVATION 1F-C	1,897.92	1,237.57	660.35	34.79 %
ELEVATION 1F-D	1,519.46	1,123.46	396.00	26.06 %
TOTAL ELEV. 1F	4,395.26	2,869.87	1,525.36	34.70 %
REQUIRED: CX GROUND FLOOR: 33% TRANSPARENCY MIN.				

SECOND FLOOR	TOTAL ELEVATION SQ. FT.	WALL SQ. FT.	OPENING SQ. FT.	TRANSPARENCY %
ELEVATION 1S-A	243.99	141.33	102.66	42.07 %
ELEVATION 1S-B	501.00	397.15	103.85	20.72 %
ELEVATION 1S-C	2,274.84	1,554.24	720.60	31.67 %
ELEVATION 1S-D	1,995.27	1,133.27	462.00	28.96 %
TOTAL ELEV. 1S	4,615.10	3,225.99	1,389.11	30.09 %
REQUIRED: CX UPPER FLOORS: 20% TRANSPARENCY MIN.				

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BEACON PROMISE CIRCLE
ELEVATION & TRANSPARENCY
CALCULATIONS

SELF-HELP
BEACON
POINT
2-STORY BLDG

RALEIGH, NC

PROJECT NUMBER:
20015



DTW
Architects &
Planners, Ltd.
229 North Gregson Street
Durham, NC 27701
919.317.4020

NOT FOR CONSTRUCTION
Revisions

Drawn I.L.V.
Checked R.L.S.
Date SEPTEMBER 24, 2021
Sheet

