



Administrative Approval Action

Case File / Name: ASR-0023-2021
DSLCL - Beacon Point

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 4.59 acre site zoned CX-5-PL and IX-3-PL and within a SHOD-1 overlay district is located at the southwest corner of the intersection of Rock Quarry Road and Promise Beacon Circle at 1440 Rock Quarry Road.

REQUEST: Proposed mixed use development of 39,350 square feet size in two buildings. This development will serve multiple uses: a financial use, and a multi-use building including a cafe, multiple health clinics, and an office use along with parking and associated infrastructure.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** SUB-S-21-2017: DSLCL - Preliminary Subdivision/Preliminary Subdivision

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 28, 2021 by CLH design pa.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The property lines will be better delineated and the measurement of the right of way will be better identified prior to site permitting approval. Should it be further clarified that right of way or sidewalk easements would be needed it will be tied to plat recordation. While the right of way was defined with S-21-17 it is unclear if sidewalk is fully in the right of way.
2. The accessible path to the public right of way will be updated so that water meters are not shown in the sidewalk. Additionally, further evaluation of the crossing along Rock Quarry and Ped Head location will be further evaluated.
3. The exemptions to cross access will be added to the cover sheet in addition to the block perimeter as requested prior.

Public Utilities

4. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater



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5. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2). As per S-21-17 AA a wet pond on lot 2 will be shared and TN offset will be paid for the shared solution

Urban Forestry

9. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Stormwater

1. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
2. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
4. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.



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5. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
7. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

2. Prior to issuance of building permit: A tree impact permit is needed to install the required street trees. This development is required to have (16) street trees along Promise Beacon Circle.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: March 2, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.



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4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysis Bailey Taylor Date: 11/03/2021
Development Services Dir/Designee
Staff Coordinator: Michael Walters

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OWNER:	SELF HELP
OWNER CONTACT:	ASPEN ROMEYN - PROJECT MANAGER
ADDRESS:	301 W MAIN STREET, DURHAM NC 27701
PHONE:	919-313-8565
EMAIL:	ASPEN.ROMEYN@SELF-HELP.ORG

ARCHITECTURAL
DTW ARCHITECTS
229 NORTH GREGSON STREET
DURHAM, NC 27701

CIVIL ENGINEERING AND
LANDSCAPE ARCHITECTURE
CLH DESIGN, PA
400 REGENCY FOREST DR., STE. 120
CARY, NC 27518

Trio Generation Summary						
Land Use (ETP Code)	Intensity	Daily Traffic (#/hr)	Weekday AM Peak Period (#/hr)	Weekday PM Peak Period (#/hr)	Weekend Peak Period (#/hr)	Notes
Coffee Shop/Service Shop/Drive-Through Window***	1,700 (R)	755	52	12	18	
Medical Dental Office Building**	18,200 (R)	833	39	12	18	
Office**	17,500 (R)	796	32	4	12	70
Bank	4,000 (R)	181	47	43	54	52
Total Trips		1,884	170	68	105	185
Entrance Capacity (AM: 200 vehicles, 10% waiting 75% entering, 25% exiting)		1,000**	37	37	18	19
Total New Trips		1,204	133	71	87	166

C00	
C000	COVER SHEET
C01	OVERALL PLAN
C102	STAGING PLAN
C102	UD COMPLIANCE PLAN
C100	OVERALL EXISTING CONDITIONS & DEMO PLAN
C101	EXISTING CONDITIONS & DEMO PLAN
C20	OVERALL GRADING PLAN
C201	GRADING PLAN
C200	OVERALL SITE LAYOUT PLAN
C201	SITE LAYOUT PLAN
C30	OVERALL LANDSCAPE PLAN
C301	LANDSCAPE PLAN
ALL OTHERS	
A1	FLOOR PLAN (BAND)
A2	ELEVATIONS (BAND)
A3	BANK ELEVATION TRANSPARENCY
A1	1ST FLOOR PLAN
A2	2ND FLOOR PLAN
A6	ELEVATIONS
A4	ELEVATION TRANSPARENCY
SITE LIGHTING	
SITE LIGHTING PLAN - CLEAN	
SITE LIGHTING PLAN - FOOT CANDLES	

[illegible]

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #:	Planner (print)
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Please review UDO Section 10.2.8, as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type			Site Transaction History	
<input checked="" type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: SCOPE-0092-2020		
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Sponsor/sketch plan case #: _____		
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____		
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____		
		Zoning Code #: _____		
		Administrative Alternate #: _____		
GENERAL INFORMATION				
Development name: Beacon Point				
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>				
Property address(es): 1440 Rock Quarry Road				
Site P.N. #: 1713319402				
Please describe the scope of work. Include any additions, expansions, and change of use. This property will serve a credit union and a multi-use building which includes a cafe, multiple health clinics and office space. The necessary site improvements include, but are not limited to building construction, parking lot and drive additions, mass grading, tree clearing, water and sewer utility routing, stormwater infrastructure installation, and landscaping.				
Current Property Owner/Developer Contact Name: YOUNG MRS CHRISTIAN ASSOCIATION OF THE TRIANGLE AREA, INC NOTE: please attach purchase agreement when submitting this form.				
Company Self-Help Vendors Fund Title: Project Manager - Aspen Romeyn				
Address: 301 W MAIN STREET, DURHAM NC 27701				
Phone #: 919-313-8565		Email: aspen.romeyn@self-help.org		
Applicant Name: Bill Hamilton, PL/A				
Company CLH Design, FTA		Address: 400 Regency Forest Drive, STE 120, Cary NC 27518		
Phone #: 919-278-6716		Email: bhamilton@clhdesignsma.com		

SELF-HELP

BEACON
POINT

RALEIGH, NC

PROJECT NUMBER:
20015

COVER

CLH DESIGN, P.A.
Regency Park
400 Regency Forest Drive
Suite 120
Cary, North Carolina 27513
Phone: (919) 328-0700
Fax: (919) 328-7610
1-800-368-7610

DTW
**Architects &
Planners, Ltd.**
229 North Gregson Street
Durham, NC 27701
919.317.4020

ADMINISTRATIVE SITE REVIEW

Revisions

Revisions	

Drawn YA, SH

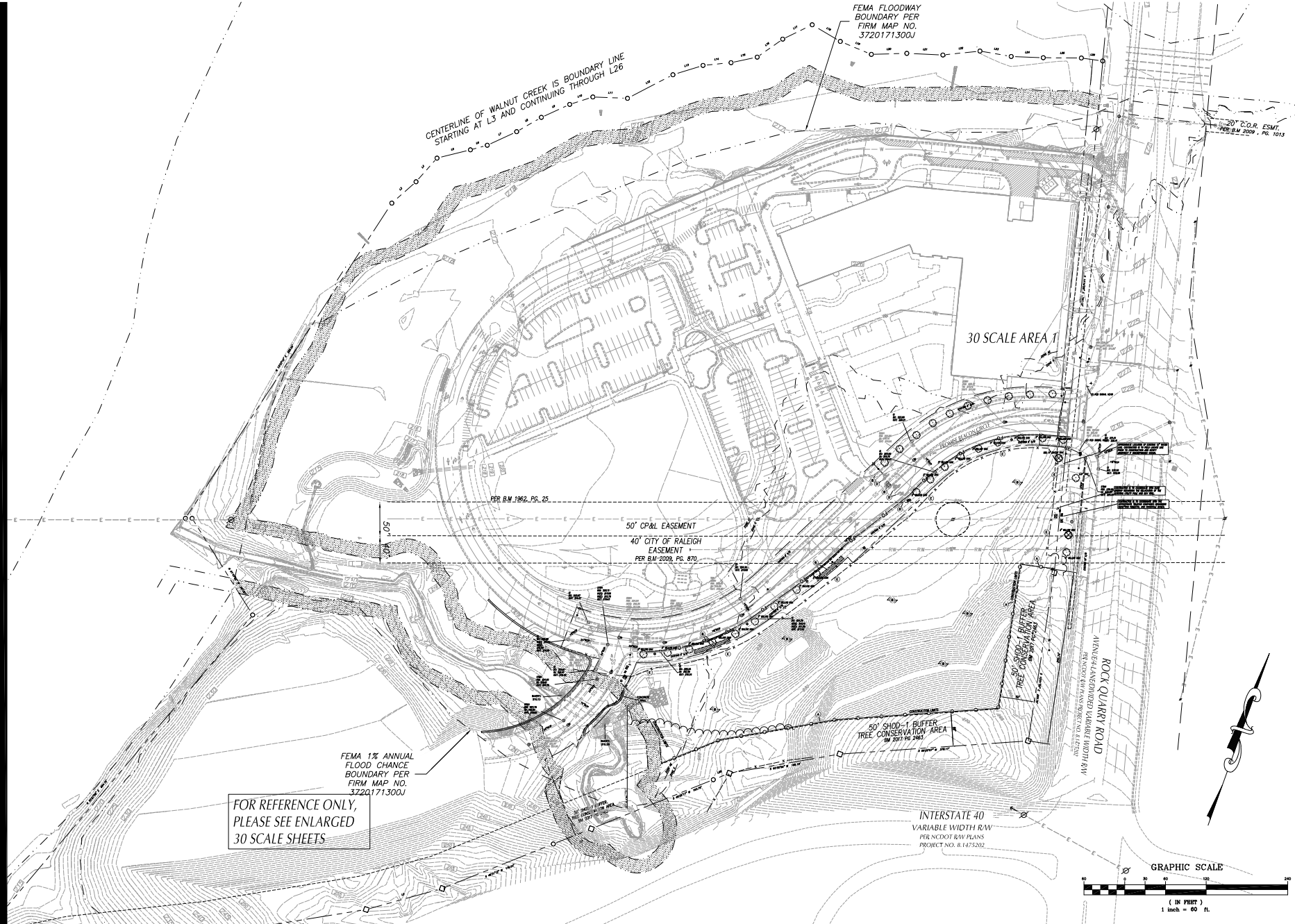
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Date SEPT 28, 2021

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BEACON
POINT

RALEIGH, NC

PROJECT NUMBER:
20015

OVERALL
EXISTING
CONDITIONS &
DEMO PLAN

DTW
Architects &
Planners, Ltd.

229 North Gregson Street
Durham, NC 27701
919.317.4020

ADMINISTRATIVE SITE REVIEW

Revisions

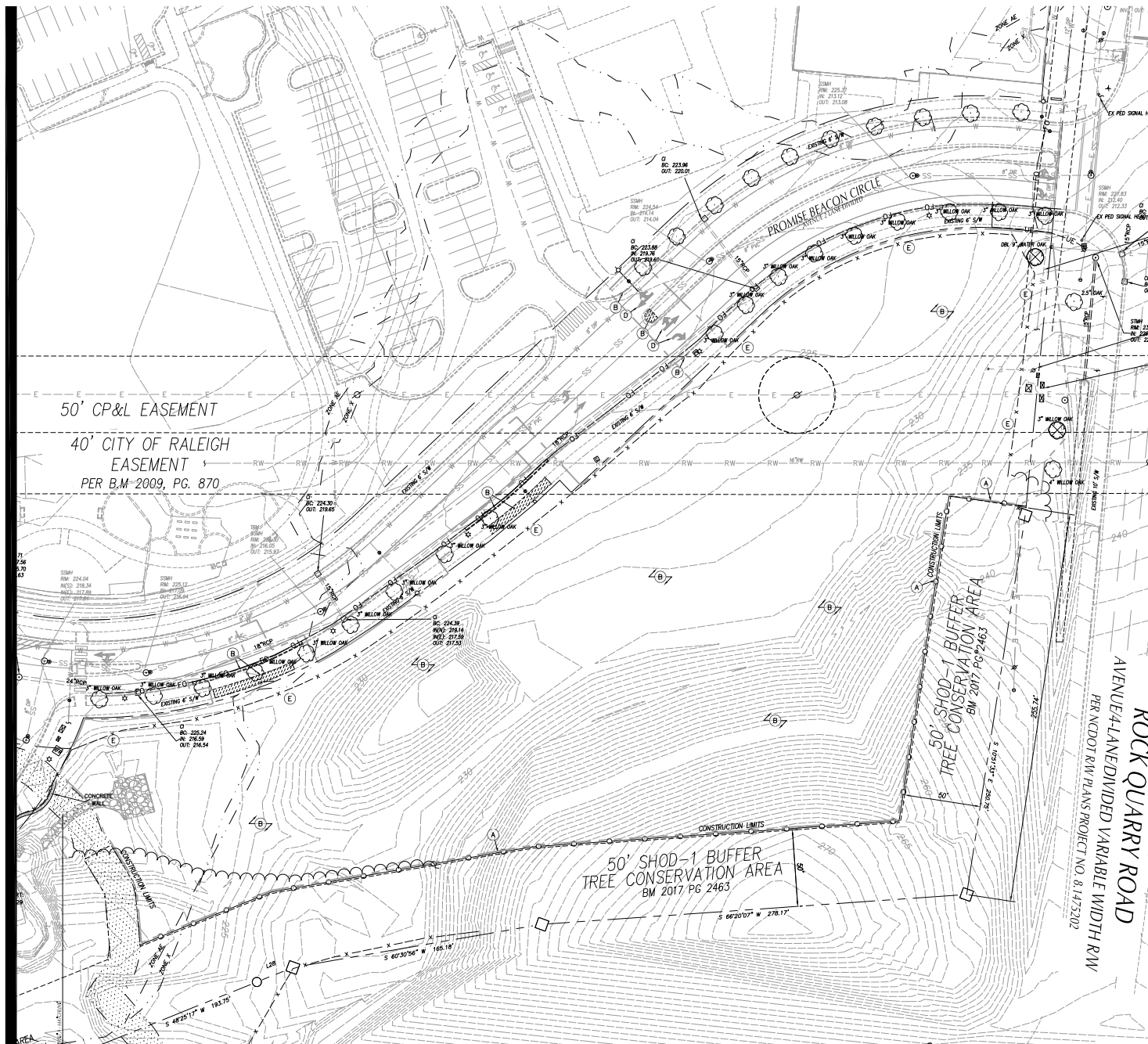
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Checked

Date: OCTOBER 5, 2021

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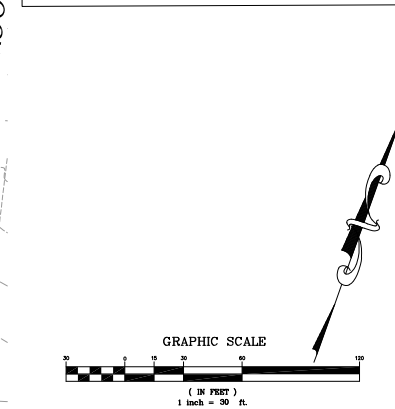
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STRUCTURES/UTILITIES TO BE REMOVED	STRUCTURES/UTILITIES TO REMAIN
OVERHEAD ELECTRICAL	OVERHEAD ELECTRICAL
UNDERGROUND ELECTRICAL	UNDERGROUND ELECTRICAL
FIRE PROTECTION	FIRE PROTECTION
GAS	GAS
SANITARY SEWER	SANITARY SEWER
TELEPHONE	TELEPHONE
UNDERGROUND TELEPHONE	UNDERGROUND TELEPHONE
FIBER OPTIC	FIBER OPTIC
WATER	WATER
FORCE MAIN	FORCE MAIN
STORM DRAIN	STORM DRAIN
INDIVIDUAL TREE TO BE REMOVED	INDIVIDUAL TREE TO REMAIN
LIGHT POLE	LIGHT POLE
UTILITY POLE	UTILITY POLE
MANHOLE	MANHOLE
CLEAN OUT	CLEAN OUT
DROP INLET/CATCH BASIN	DROP INLET/CATCH BASIN
FIRE HYDRANT	FIRE HYDRANT
WATER VALVE	WATER VALVE
CONSTRUCTION LIMITS	CONSTRUCTION LIMITS
TREE PROTECTION FENCE	TREE PROTECTION FENCE
	BUILDING/STRUCTURE TO BE REMOVED, SEE ARCHITECTURAL PLANS

- KEY NOTES**
- TEMPORARY TREE PROTECTION FENCE.
 - CLEAR AND GRUB, STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
 - SAW CUT AND REMOVE EXISTING CURB, GUTTER AND SIDEWALK.
 - EXISTING TRAFFIC ARROWS TO BE REMOVED.
 - CONTRACTOR SHALL RETAIN EXISTING CHAIN LINK FENCE AS CONSTRUCTION FENCING DURING THE PROJECT'S CONSTRUCTION AND REMOVE FENCING PRIOR TO COMPLETION.

- GENERAL NOTES**
- ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN RED ON THIS PLAN SHALL BE REMOVED.
 - ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND GUTTER ETC. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED FOR THE SPECIFICATIONS AND DETAILS OR TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED).
 - ALL UTILITIES OF STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
 - ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
 - EXISTING SITE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM SURVEY BY ... PERFORMED THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
 - INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION FOR SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL, WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
 - TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2-FT DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.
 - PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL LINES AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
 - VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS/UTILITIES. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS/UTILITIES. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS/UTILITIES ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
 - CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
 - PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT.
 - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.
 - ALL EXISTING MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE.
 - DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND GUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH CONSTRUCTION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK. SEE SHEET ... FOR PAVEMENT REPAIR DETAILS.
 - THIS SITE IS/IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON FIRM MAP ... DATED ... AS BEING WITHIN ZONE "A" OTHER AREA.
 - NO WORK SHALL BE PERFORMED ON ADJACENT PROPERTIES UNTIL THE OWNER NOTIFIES CONTRACTOR IN WRITING OF PROCUREMENTS OF APPROPRIATE PERMITS, EASEMENTS, AGREEMENTS, OR RIGHTS-OF-WAY.



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SELF-HELP
BEACON
POINT

RALEIGH, NC

PROJECT NUMBER:
20015

EXISTING
CONDITIONS &
DEMOLITION
PLAN

GLH DESIGN, P.A.
229 North Gregson Street
Durham, NC 27701
919.317.4020

DTW
Architects &
Planners, Ltd.
229 North Gregson Street
Durham, NC 27701
919.317.4020

ADMINISTRATIVE SITE REVIEW
Revisions
Drawn
Checked
Date OCTOBER 5, 2021
Sheet
C201

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POINT

RALEIGH, NC

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OVERALL SITE
PLAN

DLH DESIGN, P.A.
229 North Gregson Street
Durham, NC 27701
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Planners, Ltd.
229 North Gregson Street
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ADMINISTRATIVE SITE REVIEW

Revisions

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Date: OCTOBER 5, 2021

Sheet

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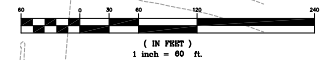
OF

OVERALL HATCH LEGEND

PERMEABLE PAVERS	[Hatch Pattern]
SIDEWALK	[Hatch Pattern]
CONC PAVEMENT	[Hatch Pattern]
CONC PAVERS	[Hatch Pattern]
AMENITY AREA	[Hatch Pattern]

FOR REFERENCE ONLY,
PLEASE SEE ENLARGED
30 SCALE SHEETS

GRAPHIC SCALE



WALNUT CREEK

FLOODWAY

EXISTING SOUTHEAST RALEIGH
YMCA/ELEMENTARY SCHOOL

30 SCALE AREA 1

SOUTHEAST YMCA/
ELEMENTARY SCHOOL
PARKING

6,952 SF
AMENITY AREA

PROPOSED
BANK

PER B.M. 1962, PG. 25

50' CP&L EASEMENT
40' CITY OF RALEIGH
EASEMENT
PER B.M. 2009, PG. 870

NEUSE RIVER
RIPARIAN
BUFFERS

PROPOSED MULTI-USE BUILDING

11,473 SF
AMENITY AREA

PARKING - 123 SPACES TOTAL

2009 SF
AMENITY AREA

50' SHOOT-1 BUFFER
TREE CONSERVATION AREA
PER 2011 PG. 240

ROCK QUARRY ROAD
AVENUE 44 (AMENDED TO 60' WIDE R/W)
PER 2011 PG. 240

PROPOSED
STORMWATER
CONTROL
MEASURE

DUMPSTER

50' SHOOT-1 BUFFER
TREE CONSERVATION AREA
PER 2011 PG. 240

INTERSTATE 40
VARIABLE WIDTH R/W
PER NCDOT R/W PLANS
PROJECT NO. 8.1475202

INSET A

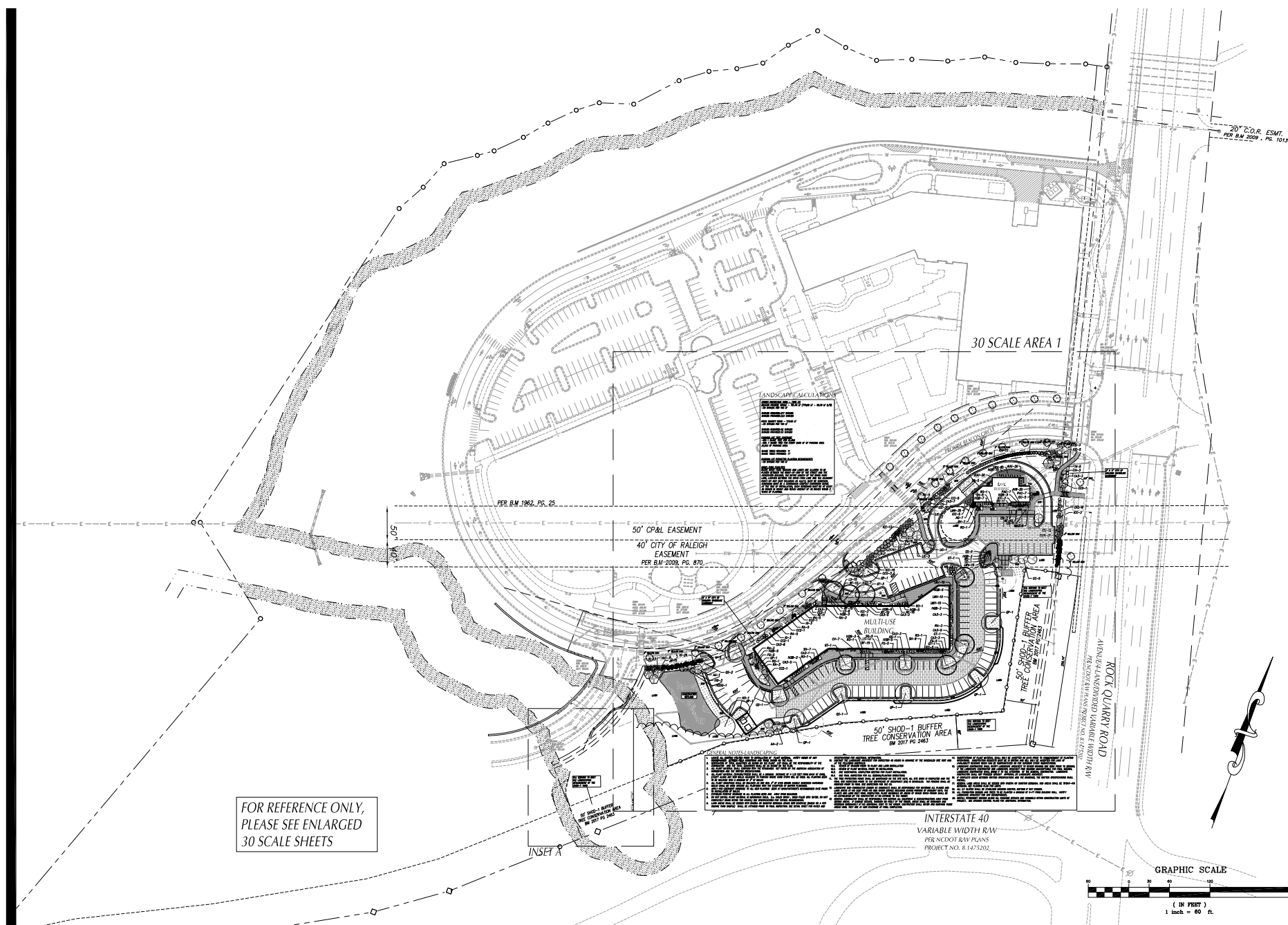
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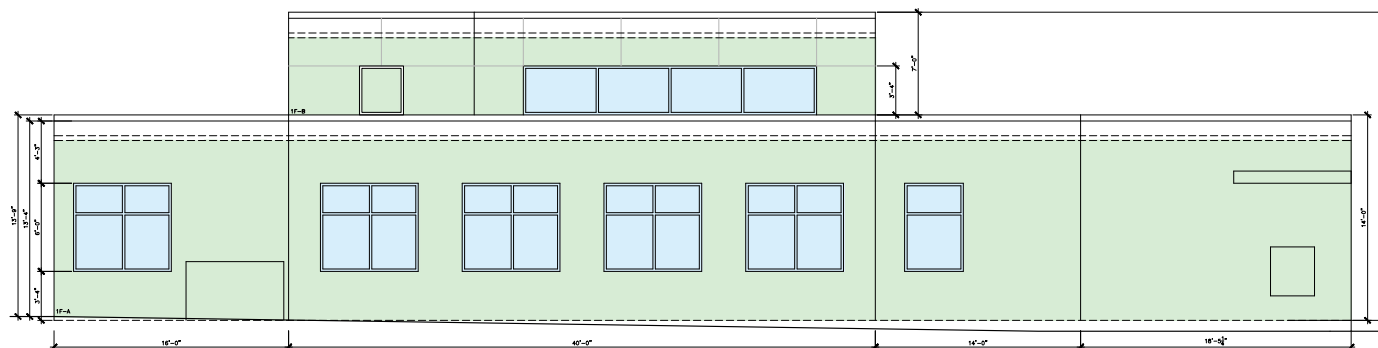
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Durham, NC 27701
919.317.4020

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Checked	
Date	OCTOBER 5, 2021
Sheet	C600
of	





1 BEACON PROMISE CIRCLE ELEVATION
SCALE: 1/4"=1'-0"

FIRST FLOOR	TOTAL ELEVATION SQ. FT.	WALL SQ. FT.	OPENING SQ. FT.	TRANSPARENCY %
ELEVATION 1F-A	1,283.00	859.00	224.00	25.48%
ELEVATION 1F-B	1,115.00	1,133.54	66.46	31.14%
TOTAL ELEVATION	1,398.00	1,992.54	290.46	22.48%

REQUIRE: 0.00% OPENING FLOOR FOR TRANSPARENCY MIN.

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BEACON PROMISE CIRCLE ELEVATION & TRANSPARENCY CALCULATIONS

SELF-HELP

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POINT
BANK BLDG

RALEIGH, NC

PROJECT NUMBER:
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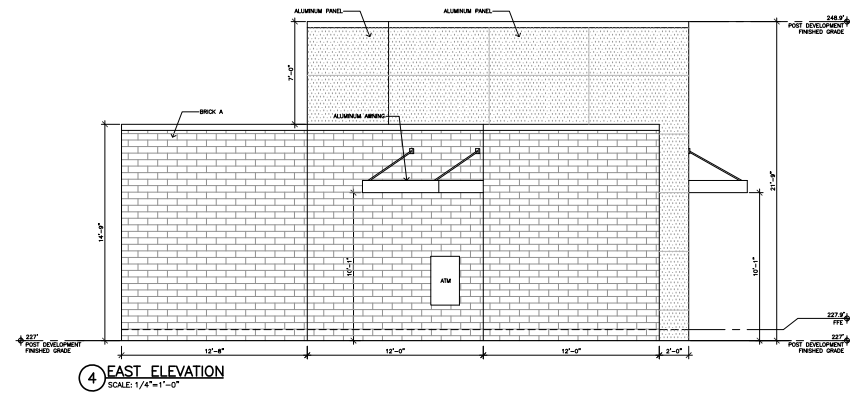
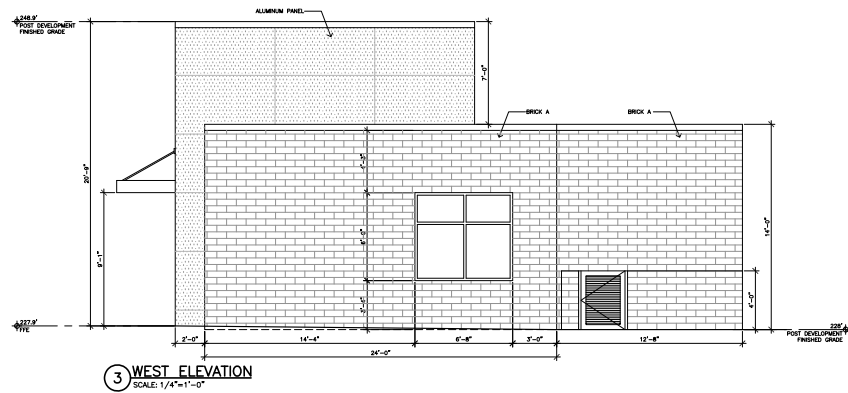
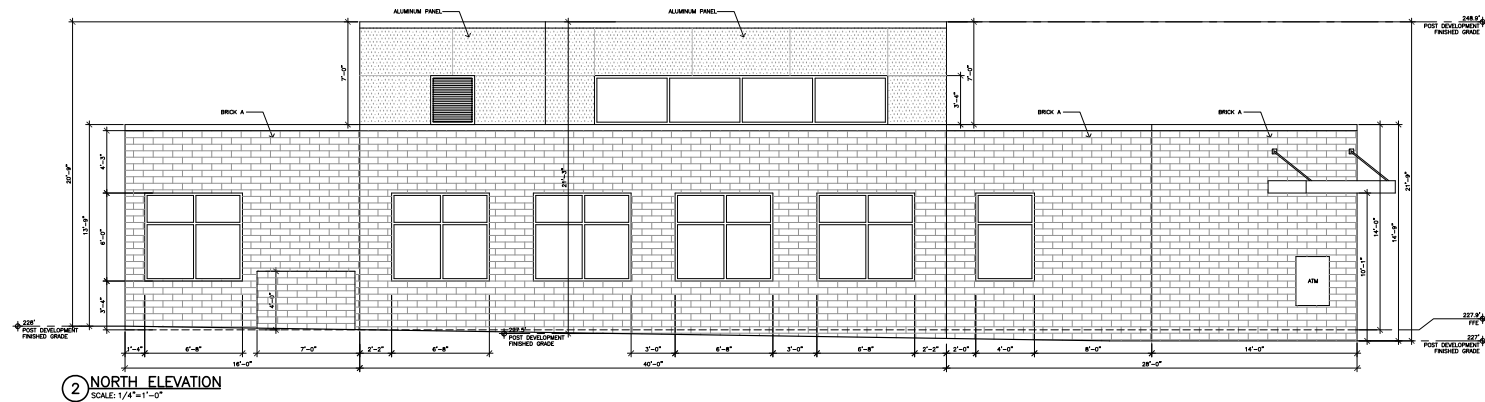
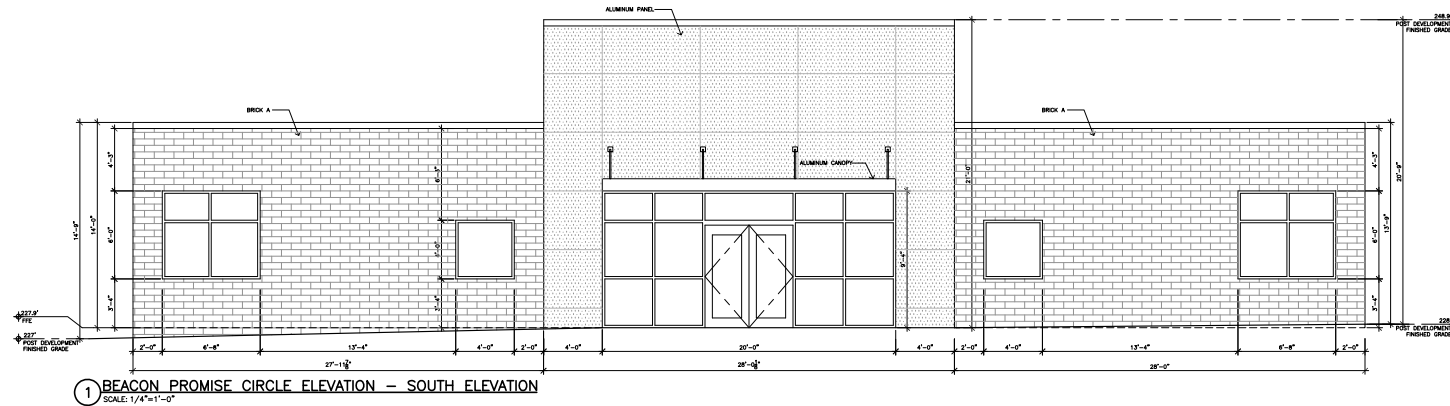
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Architects &
Planners, Ltd.
229 North Gregson Street
Durham, NC 27701
919.317.4020

NOT FOR CONSTRUCTION
Revisions

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Checked: R.L.S.
Date: SEPTEMBER 24, 2021
Sheet

A3

of



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ELEVATIONS

SELF-HELP

BEACON
POINT
BANK BLDG

RALEIGH, NC

PROJECT NUMBER:
20015

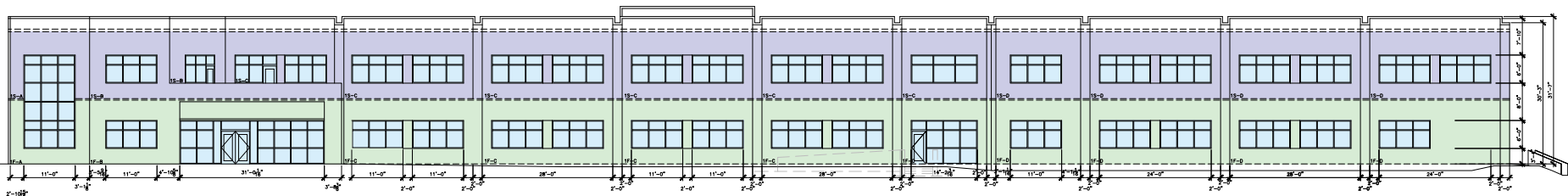
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Planners, Ltd.
229 North Gregson Street
Durham, NC 27701
919.317.4020

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Revisions

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Checked R.L.S.
Date SEPTEMBER 24, 2021
Sheet

A2

Of



1 BEACON PROMISE CIRCLE ELEVATION
SCALED 3/32"=1'0"

FIRST FLOOR	TOTAL ELEVATION SQ. FT.	WALL SQ. FT.	OPENING SQ. FT.	TRANSPARENCY %
ELEVATION 1F-A	232.39	118.23	113.86	49.81 %
ELEVATION 1F-B	154.49	280.11	255.38	37.67 %
ELEVATION 1F-C	1,897.82	1,437.27	860.35	54.79 %
ELEVATION 1F-D	1,179.44	1,123.46	794.00	26.08 %
TOTAL ELEV. 1F	4,385.25	2,899.87	1,823.59	24.70 %
REQUIRED: CX GROUND FLOOR, 33% TRANSPARENCY MIN.				

SECOND FLOOR	TOTAL ELEVATION SQ. FT.	WALL SQ. FT.	OPENING SQ. FT.	TRANSPARENCY %
ELEVATION 2F-A	243.89	141.33	102.86	42.07 %
ELEVATION 2F-B	207.05	287.55	103.85	26.72 %
ELEVATION 2F-C	2,474.84	1,554.24	720.80	31.67 %
ELEVATION 2F-D	1,095.27	1,153.27	442.00	24.96 %
TOTAL ELEV. 2F	4,815.10	3,236.99	1,368.51	28.09 %
REQUIRED: CX UPPER FLOORS, 20% TRANSPARENCY MIN.				

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BEACON PROMISE CIRCLE ELEVATION & TRANSPARENCY CALCULATIONS

SELF-HELP

BEACON
POINT
2-STORY BLDG

RALEIGH, NC

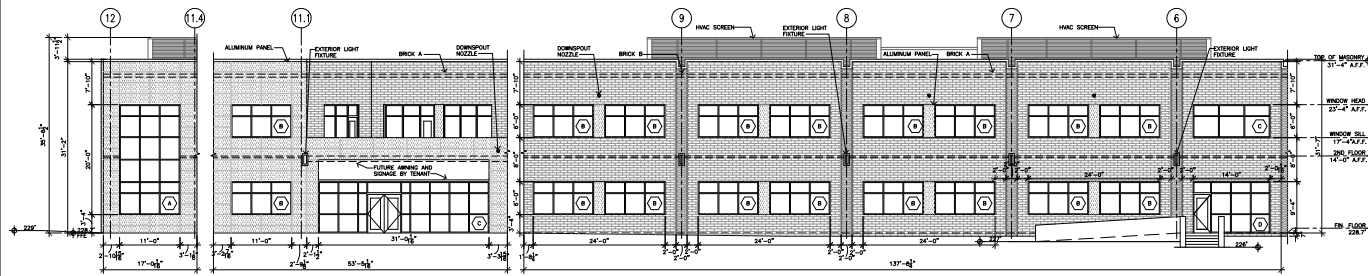
PROJECT NUMBER:
20015

DTW
Architects &
Planners, Ltd.
229 North Gregson Street
Durham, NC 27701
919.317.4020

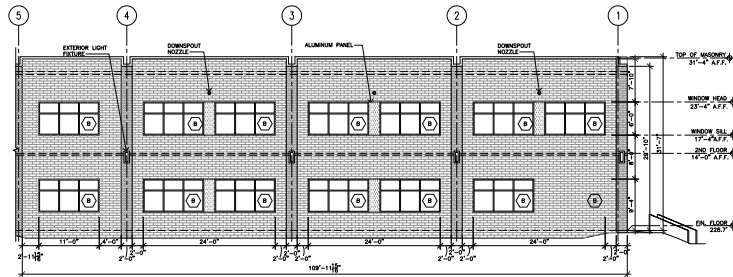
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Sheet

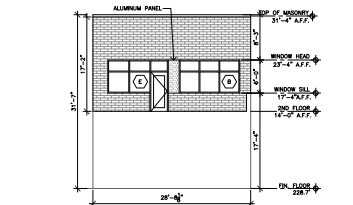
A4
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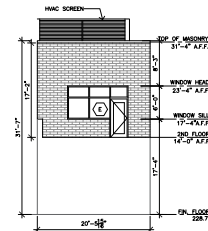
1 NORTH ELEVATION — BEACON POINT CIRCLE
SCALE: 3/32"=1'0"



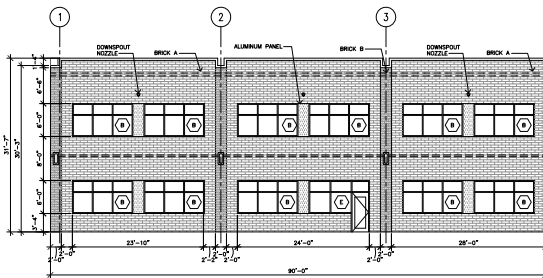
2 NORTH ELEVATION CONT.
SCALE: 3/32"=1'0"



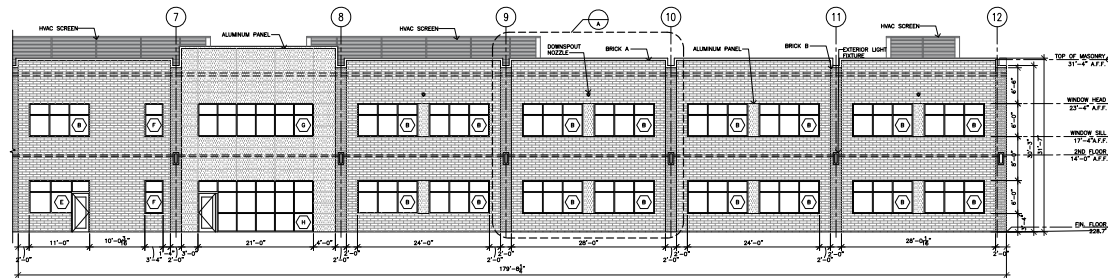
6 PARTIAL NORTH ELEVATION OF CAFE DECK
SCALE: 3/32"=1'0"



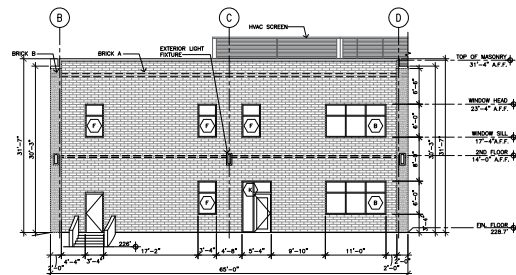
7 PARTIAL WEST ELEVATION OF CAFE DECK
SCALE: 3/32"=1'0"



3 SOUTH ELEVATION
SCALE: 3/32"=1'0"



5 EAST ELEVATION
SCALE: 3/32"=1'0"



4 WEST ELEVATION
SCALE: 3/32"=1'0"

LEGEND:

- BRICK TYPE "A"
- ACCENT BRICK TYPE "B"
- REYNOBOND ALUMINUM PANEL
- HVAC SCREEN
- ALUMINUM WINDOW FRAME WITH 1" INSULATED GLASS

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ELEVATIONS

SELF-HELP
BEACON
POINT
2-STORY BLDG

RALEIGH, NC

PROJECT NUMBER:
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