

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). Construction of a 36 story apartment building with ground story retail, a parking deck, amenity deck and associated infrastructure		
<b>Current Property Owner(s):</b>		
Company:		Title:
Address:		
Phone #:		Email:
<b>Applicant Name (If different from owner. See "who can apply" in instructions):</b> Tim Carter, PE		
Relationship to owner: Lessee or contract purchaser    Owner's authorized agent    Easement holder		
Company: Kimley-Horn and Associates		Address:

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #: 212-683-0044	Email:
Applicant Name:	
Company:	Address:
Phone #: 919-677-2197	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:	Total # of hotel bedrooms:		
# of bedroom units: 1br <u>214</u> 2br <u>167</u> 3br <u>22</u> 4br or more _____			
# of lots:	Is your project a cottage court?	Yes	No
	A frequent transit development?	Yes	No

Continue to Applicant Signature Block on Page Three.

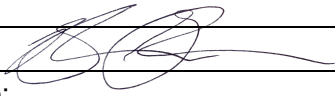
**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

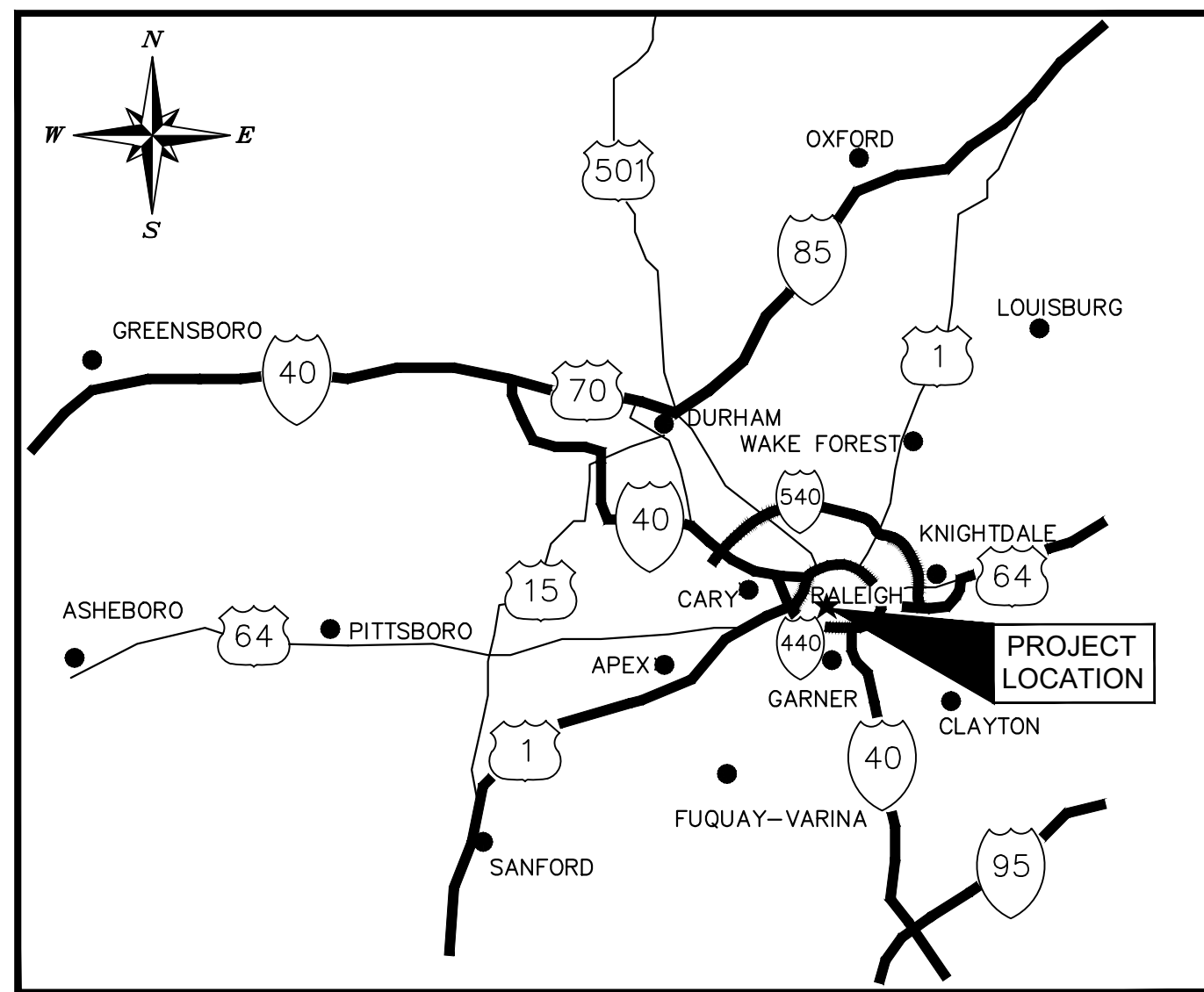
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	

Plotted By: Abulkorim, Animesh - Sheet: Nash Sq Apts - Layout: COO COVER SHEET - March 28, 2023 - 04:09:52pm - K:\RAL-LEDA\016145000-Nash Sq Apts\Planning Phase\15\_CAD Files\PlanSheets\COO COVER SHEET.dwg  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



PROJECT LOCATION



# ASR SUBMITTAL FOR NASH SQUARE APTS

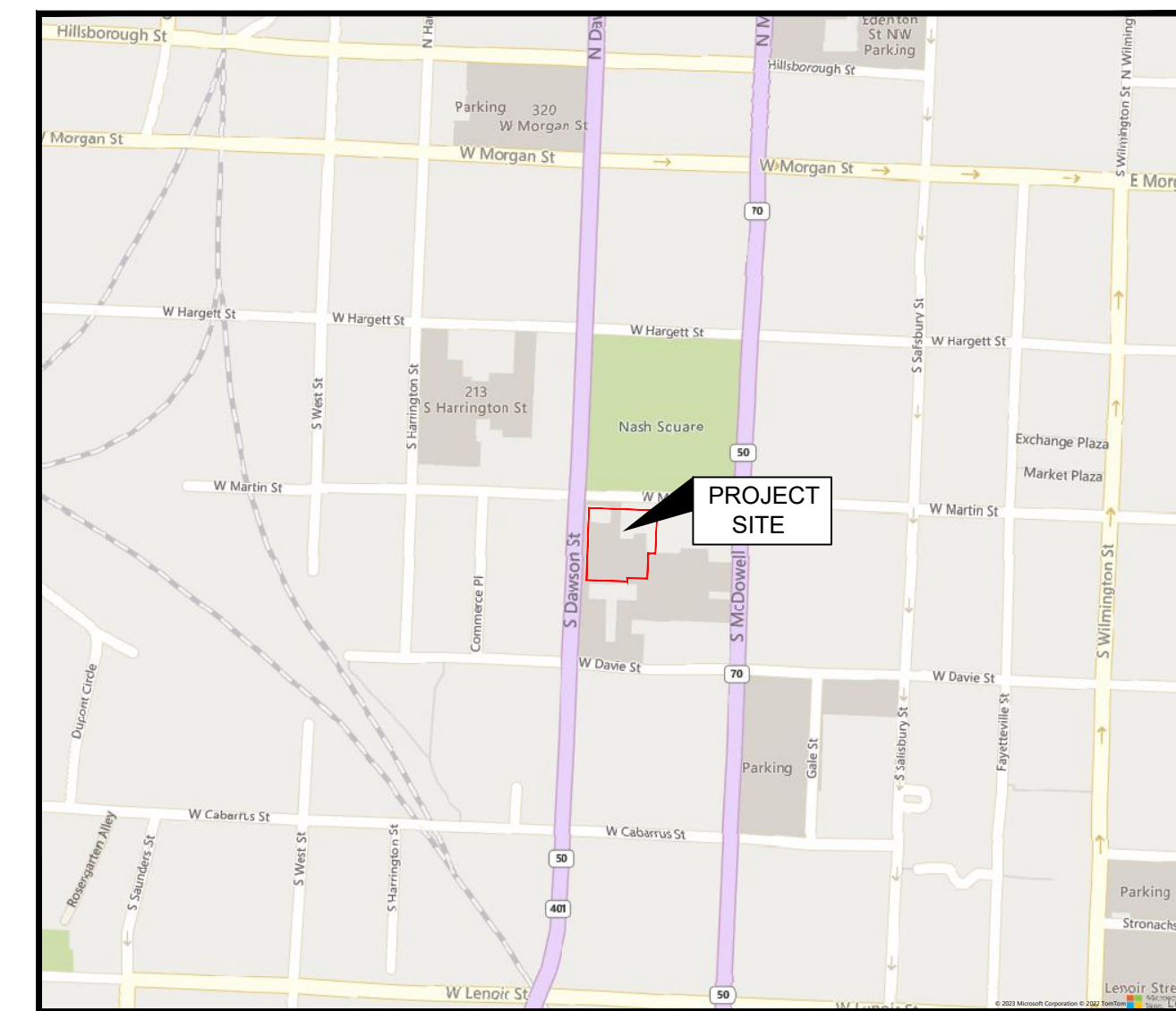
## ASR-XXXX-2023

SCOPE-0016-2023

Z-12-2022

303 S DAWSON STREET  
RALEIGH, NORTH CAROLINA 27601

A DEVELOPMENT BY: RALEIGH NASH SQUARE, LLC



VICINITY MAP

SCALE: 1" = 500'

### SOLID WASTE SERVICES NOTE:

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENT SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

### GENERAL NOTES:

- THIS SITE WILL BE EXEMPT FROM BLOCK PERIMETER REQUIREMENT PER UDO 8.3.2.A.2.b (TC-6-19)
- SITE LIGHTING WILL BE PROVIDED AT SPR

### TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
  - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
  - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
  - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
  - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

### PROJECT OWNER AND CONSULTANT

SITE DEVELOPER:	RALEIGH NASH SQUARE LLC 800 THIRD AVENUE, 22ND FLOOR NEW YORK, NY 10022 PHONE: (212) 683-0044 ATTN.: ANDREW FILKOFF, RA
CIVIL ENGINEER:	KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE ST., SUITE 600 RALEIGH, NORTH CAROLINA 27601 PHONE: (919) 677-2197 ATTN.: TIM CARTER tim.carter@kimley-horn.com
LANDSCAPE ARCHITECT:	KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE ST., SUITE 600 RALEIGH, NORTH CAROLINA 27601 PHONE: (919) 678-4170 ATTN.: MATT GROSS, PLA matt.gross@kimley-horn.com
SURVEYORS:	BOHLER ENGINEERING NC, PLLC 4130 PARKLAND AVENUE, SUITE 130 RALEIGH, NC 27612 PHONE: (919) 578-9000 ATTN.: THOMAS E. TEABO, PLS
ARCHITECT OF RECORD:	JDAVIS ARCHITECTS 510 S WILMINGTON STREET RALEIGH, NC 27601 PHONE: (919) 835-1500 ATTN.: SHAWN CLEMONS
DESIGN ARCHITECT	MORRIS ADJMI ARCHITECTS 60 BROAD STREET, 32ND FLOOR NEW YORK, NY 10004 PHONE: (212) 982-2020 ATTN.: LOUIS FERNANDEZ

### Administrative Site Review Application

Planning and Development Customer Service Center - One Exchange Place, Suite 401 | Raleigh, NC 27601 | 919-996-2000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input checked="" type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option

Development name: Nash Square Apartments  
Inside City limits?  Yes  No  
Property address(es): 303 S Dawson Street and 217 W Martin Street  
Site P.I.N. (s): 1703578840 & 1703579853  
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4):  
Construction of a 36 story apartment building with ground story retail, a parking deck, amenity deck and associated infrastructure

Current Property Owner(s): Raleigh Nash Square, LLC  
Company: \_\_\_\_\_ Title: \_\_\_\_\_  
Address: 800 Third Avenue, 22nd Floor, New York, NY 10022  
Phone #: 212-683-0044 Email: blake@alchmy-properties.com  
Applicant Name (if different from owner. See "who can apply" in instructions): Tim Carter, PE  
Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder  
Company: Kimley-Horn and Associates Address: 421 Fayetteville St, Suite 600, Raleigh, NC 27601

Page 1 of 3 REVISION 1.23.23 raleighnc.gov

Phone #: 919-677-2197 Email: tim.carter@kimley-horn.com	NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
Developer Contact: Blake Goodman	Address: 800 Third Avenue, 22nd Floor, New York, NY 10022
Company: Raleigh Nash Square, LLC Title: Member	Phone #: 212-683-0044 Email: blake@alchmy-properties.com
Address: 800 Third Avenue, 22nd Floor, New York, NY 10022	Applicant Name: Tim Carter, PE
Phone #: 212-683-0044 Email: blake@alchmy-properties.com	Company: Kimley-Horn and Associates Address: 421 Fayetteville St, Suite 600, Raleigh, NC 27601
Applicant Name: Tim Carter, PE	Phone #: 919-677-2197 Email: tim.carter@kimley-horn.com

DEVELOPMENT TYPE + SITE DATE TABLE	
(Applicable to all developments)	
<b>SITE DATA</b>	<b>BUILDING DATA</b>
Zoning district(s) (please provide the acreage of each): DX-40-SH-CU (0.84 Ac), DX-20-SH (0.06 Ac)	Existing gross floor area (not to be demolished): 0
Gross site acreage: 0.90 Acres	Existing gross floor area to be demolished: 0
# of parking spaces proposed: 502	New gross floor area: 854,066 SF
Max # of parking permitted (7.1.2.C): 776 Max.	Total of gross (to remain and new): 854,066 SF
Overlay District (if applicable): n/a	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Parking	Proposed # of stories for each: 36
Proposed use (UDO 6.1.4): Multi-Family Residential	Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION		
Imperious Area on Parcel(s):	Imperious Area for Compliance (includes ROW)	
Existing (sf) 2,26	Proposed total (sf) 98,446	
	Existing (sf) 2,21	Proposed total (sf) 98,268

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 403	Total # of hotel bedrooms:
# of bedroom units: 1br 214 2br 167 3br 22 4br or more	
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page Three.

Page 2 of 3 REVISION 1.23.23 raleighnc.gov

APPLICANT SIGNATURE BLOCK	
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.	
By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(b).	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.	
Signature: _____	Date: 3/23/2023
Printed Name: Blake Goodman	

Page 3 of 3 REVISION 1.23.23 raleighnc.gov

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

EXISTING CONDITION NOTES:

- EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY JONATHAN MURPHY PROFESSIONAL LAND SURVEYING, 10505 LEAFWOOD PLACE, RALEIGH, NC 27613, DATED 07/05/2022
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

ZONING CONDITIONS:

- THE FOLLOWING USES SHALL BE PROHIBITED ON THE PROPERTY: DORMITORY, FRATERNITY, SORORITY, PAWNSHOP, DETENTION CENTER, JAIL, PRISON, SELF-SERVICE STORAGE, VEHICLE REPAIR, VEHICLE FUEL SALES, AND ADULT ESTABLISHMENT.
  - THESE USES ARE NOT PROPOSED ON THIS SITE.
- THE FIRST STORY OF ANY NEW BUILDING FACADES FACING S. DAWSON STREET AND W. MARTIN STREET SHALL BE FACED WITH ONE OR MORE OF THE FOLLOWING MATERIALS ONLY: BRICK, STONE, CONCRETE, OR OTHER MASONRY, GLASS, METAL, PLASTER, WOOD, AND CEMENTITIOUS MATERIALS.
  - THE PROPOSED BUILDING IS PROPOSED TO HAVE ONE OR MORE OF THE REQUIRED MATERIALS.
- SOLID, OPAQUE, ROLL-DOWN SECURITY GATES SHALL BE PROHIBITED ON ANY FACADE FACING S. DAWSON STREET OR W. MARTIN STREET.
  - THESE GATES ARE NOT PROPOSED ON THIS SITE.
- ANY BUILDING HAVING A STEPBACK ABOVE THE 2ND FLOOR SHALL PROVIDE A HORIZONTAL ARCHITECTURAL FEATURE ALONG THE S. DAWSON STREET AND W. MARTIN STREET-FACING FACADES AT THE TOP OF THE HIGHEST BUILDING STORY LOCATED BELOW SUCH STEPBACK.
  - BUILDING ELEVATIONS SHOW COMPLIANCE.
- PUBLIC FACADES OF STRUCTURED PARKING: PARKING STRUCTURE FACADES ADJACENT TO OR FACING S. DAWSON STREET OR W. MARTIN STREET, SHALL COMPLY WITH THE FOLLOWING: SCREENING ELEMENTS SHALL HAVE A GAP OF NO MORE THAN 18 INCHES FROM THE FRAME OF THE SCREENING ELEMENT TO THE WALL OPENING. ALTERNATIVE DECORATIVE ELEMENTS WHICH PROVIDE AN EQUIVALENT LEVEL OF SCREENING MAY BE ALLOWED IN A PARKING STRUCTURE WHERE SUCH ELEMENTS ARE EMPLOYED TO COMPLEMENT THE ARCHITECTURAL CHARACTER OF ANY BUILDING ON THE SITE. MESH OR DECORATIVE PANELS, LOUVERS, GREEN WALLS, TINTED OR SANDBLASTED OPAQUE SPANDREL GLASS, OR SIMILAR SCREENING ELEMENTS SHALL BE USED, WHERE MESH OR OTHER MATERIALS CONTAINING OPENINGS IS USED IN CONJUNCTION WITH THE SCREENING FRAME. NO INDIVIDUAL OPENING SHALL EXCEED FOUR (4) SQUARE INCHES. CHAIN LINK FENCING AND SIMILAR SCREENING ELEMENTS SHALL BE PROHIBITED AS AN ALLOWABLE MESH OR SIMILAR SCREENING ELEMENT.
  - PUBLIC FACADES WILL COMPLY WITH THE CRITERIA.
- LIGHTING WITHIN PARKING STRUCTURES: LIGHTING SHALL BE DESIGNED TO REDUCE LIGHT SPILLAGE OUTSIDE THE PARKING STRUCTURE ACCORDING TO THE FOLLOWING:
  - A. INTERNAL ILLUMINATION OF PARKING STRUCTURES SHALL BE SCREENED SO THAT INTERNAL LIGHT SOURCES SHALL NOT BE VISIBLE FROM S. DAWSON STREET, W. MARTIN STREET, OR ADJACENT PARCELS. LIGHT FIXTURES DIRECTLY VISIBLE FROM THE EXTERIOR OF A PARKING STRUCTURE SHALL BE DIRECTED INTERNALLY UPWARD OR SHALL CONTAIN SHIELDED FIXTURES TO MINIMIZE SUCH VISIBILITY.
    - LIGHTING WITHIN PARKING STRUCTURES WILL COMPLY WITH CRITERIA.
  - B. INTERNAL ILLUMINATION OF PARKING STRUCTURES SHALL CONFORM TO THE STANDARDS OF UDO SECTION 7.4.7. VEHICULAR CANOPIES.
    - STANDARDS OF UDO SECTION 7.4.7. VEHICULAR CANOPIES SHALL BE MET.
- ONE PUBLIC ART INSTALLATION SHALL BE LOCATED ON THE PROPERTY AND VISIBLE FROM THE PUBLIC RIGHT OF WAY OF S. DAWSON STREET OR W. MARTIN STREET. IF THE REQUIRED INSTALLATION CONSISTS OF A MURAL, IT SHALL BE NO SMALLER THAN 120 SQUARE FEET IN AREA, AND, IF A THREE-DIMENSIONAL INSTALLATION, NO LESS THAN 10 FEET IN HEIGHT, NOT INCLUDING ANY BASE OR PEDESTAL SUPPORTING SUCH INSTALLATION. IF MORE THAN ONE PUBLIC ART INSTALLATION IS PROVIDED ON THE SUBJECT SITE, THE APPLICANT SHALL DESIGNATE WHICH ART INSTALLATION IS THE ONE REQUIRED BY THIS CONDITION.
  - AT LEAST ONE PUBLIC ART INSTALLATION SHALL BE PROVIDED AND COMPLY WITH CRITERIA.

SHEET LIST TABLE	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	PLAT EXHIBIT
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
R1.0-R10.0	OFFSITE UTILITIES PLANS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
A1.0	ARCH ELEVATIONS

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

EXISTING CONDITION NOTES:

- EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLAND AVENUE, SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018 AND AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY JONATHAN MURPHY PROFESSIONAL LAND SURVEYING, DATED 07/05/2022.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.



© 2023 Kimley-Horn and Associates, Inc.  
421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 677-2000

This document, together with the concepts and designs presented herein, as an instrument of services, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Copyright Kimley-Horn and Associates, Inc., 2023

MARCH 22nd, 2023

JOB NUMBER:  
016145000

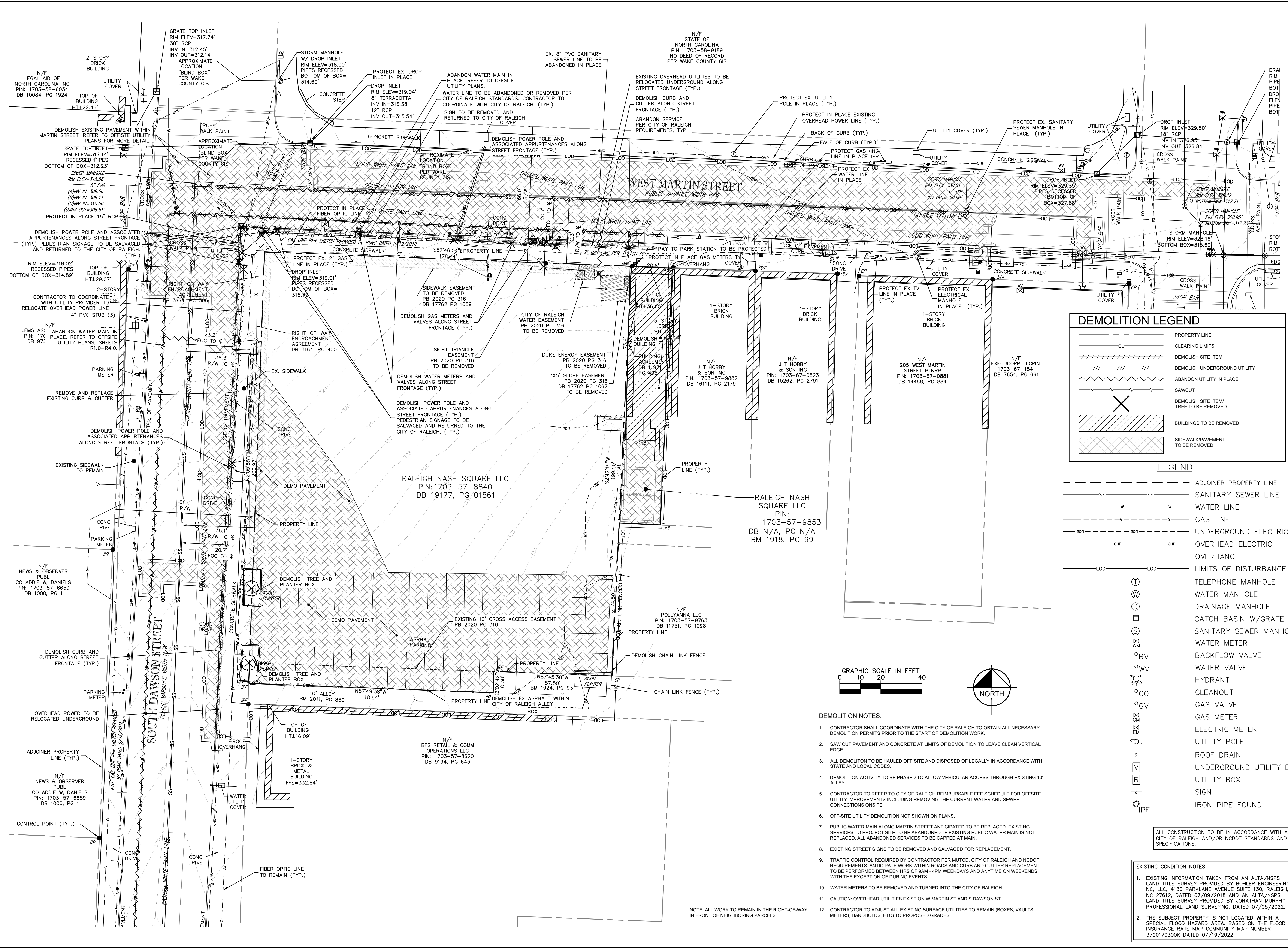
KHA PROJECT 016145000	DATE 03/22/2023	SCALE AS SHOWN	DESIGNED BY ASA	DRAWN BY ASA	CHECKED BY TRC	NO.	REVISIONS	DATE	BY

NASH SQUARE APTS  
PREPARED FOR  
RALEIGH NASH SQUARE  
LLC  
RALEIGH

COVER SHEET

SHEET NUMBER  
C0.0

Plotted By: Abulkarim, Anmed - Sheet: Nash Sq Apts - Layout: EXISTING CONDITIONS AND DEMOLITION PLAN - March 29, 2023 - 05:35:11pm - K:\RAL\06\106145000\Nash Sq Apts\Planning Phase\PI5-CAD Files\Sheet\EXISTING CONDITIONS.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

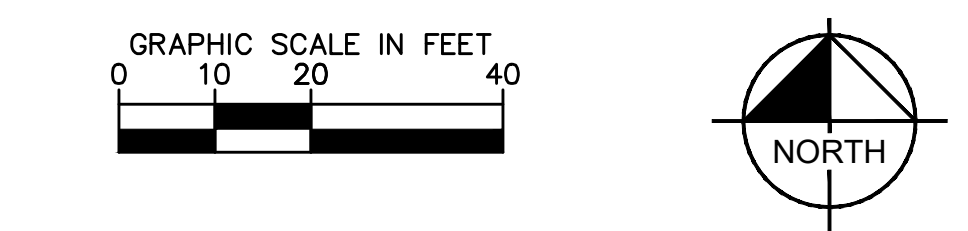


### DEMOLITION LEGEND

	PROPERTY LINE
	CLEARING LIMITS
	DEMOLISH SITE ITEM
	DEMOLISH UNDERGROUND UTILITY
	ABANDON UTILITY IN PLACE
	SAWCUT
	DEMOLISH SITE ITEM / TREE TO BE REMOVED
	BUILDINGS TO BE REMOVED
	SIDEWALK/PAVEMENT TO BE REMOVED

### LEGEND

	ADJOINER PROPERTY LINE
	SANITARY SEWER LINE
	WATER LINE
	GAS LINE
	UNDERGROUND ELECTRIC
	OVERHEAD ELECTRIC
	OVERHANG
	LIMITS OF DISTURBANCE
	TELEPHONE MANHOLE
	WATER MANHOLE
	DRAINAGE MANHOLE
	CATCH BASIN W/GRATE
	SANITARY SEWER MANHOLE
	WATER METER
	BACKFLOW VALVE
	WATER VALVE
	HYDRANT
	CLEANOUT
	GAS VALVE
	GAS METER
	ELECTRIC METER
	UTILITY POLE
	ROOF DRAIN
	UNDERGROUND UTILITY BOX
	UTILITY BOX
	SIGN
	IRON PIPE FOUND



- #### DEMOLITION NOTES:
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF RALEIGH TO OBTAIN ALL NECESSARY DEMOLITION PERMITS PRIOR TO THE START OF DEMOLITION WORK.
  - SAW CUT PAVEMENT AND CONCRETE AT LIMITS OF DEMOLITION TO LEAVE CLEAN VERTICAL EDGE.
  - ALL DEMOLITION TO BE HAULED OFF SITE AND DISPOSED OF LEGALLY IN ACCORDANCE WITH STATE AND LOCAL CODES.
  - DEMOLITION ACTIVITY TO BE PHASED TO ALLOW VEHICULAR ACCESS THROUGH EXISTING 10' ALLEY.
  - CONTRACTOR TO REFER TO CITY OF RALEIGH REIMBURSABLE FEE SCHEDULE FOR OFFSITE UTILITY IMPROVEMENTS INCLUDING REMOVING THE CURRENT WATER AND SEWER CONNECTIONS ON-SITE.
  - OFF-SITE UTILITY DEMOLITION NOT SHOWN ON PLANS.
  - PUBLIC WATER MAIN ALONG MARTIN STREET ANTICIPATED TO BE REPLACED. EXISTING SERVICES TO PROJECT SITE TO BE ABANDONED. IF EXISTING PUBLIC WATER MAIN IS NOT REPLACED, ALL ABANDONED SERVICES TO BE CAPPED AT MAIN.
  - EXISTING STREET SIGNS TO BE REMOVED AND SALVAGED FOR REPLACEMENT.
  - TRAFFIC CONTROL REQUIRED BY CONTRACTOR PER MUTCD, CITY OF RALEIGH AND NCDOT REQUIREMENTS. ANTICIPATE WORK WITHIN ROADS AND CURB AND GUTTER REPLACEMENT TO BE PERFORMED BETWEEN HRS OF 9AM - 4PM WEEKDAYS AND ANYTIME ON WEEKENDS, WITH THE EXCEPTION OF DURING EVENTS.
  - WATER METERS TO BE REMOVED AND TURNED INTO THE CITY OF RALEIGH.
  - CAUTION: OVERHEAD UTILITIES EXIST ON W MARTIN ST AND S DAWSON ST.
  - CONTRACTOR TO ADJUST ALL EXISTING SURFACE UTILITIES TO REMAIN (BOXES, VAULTS, METERS, HANDHOLDS, ETC) TO PROPOSED GRADES.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**EXISTING CONDITION NOTES:**

- EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018 AND AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY JONATHAN MURPHY PROFESSIONAL LAND SURVEYING, DATED 07/05/2022.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM

NO. \_\_\_\_\_

REVISIONS \_\_\_\_\_

DATE \_\_\_\_\_

KHA PROJECT 016145000

DATE 03/22/2023

SCALE AS SHOWN

DESIGNED BY ASA

DRAWN BY ASA

CHECKED BY TRC

PRELIMINARY  
NOT FOR CONSTRUCTION

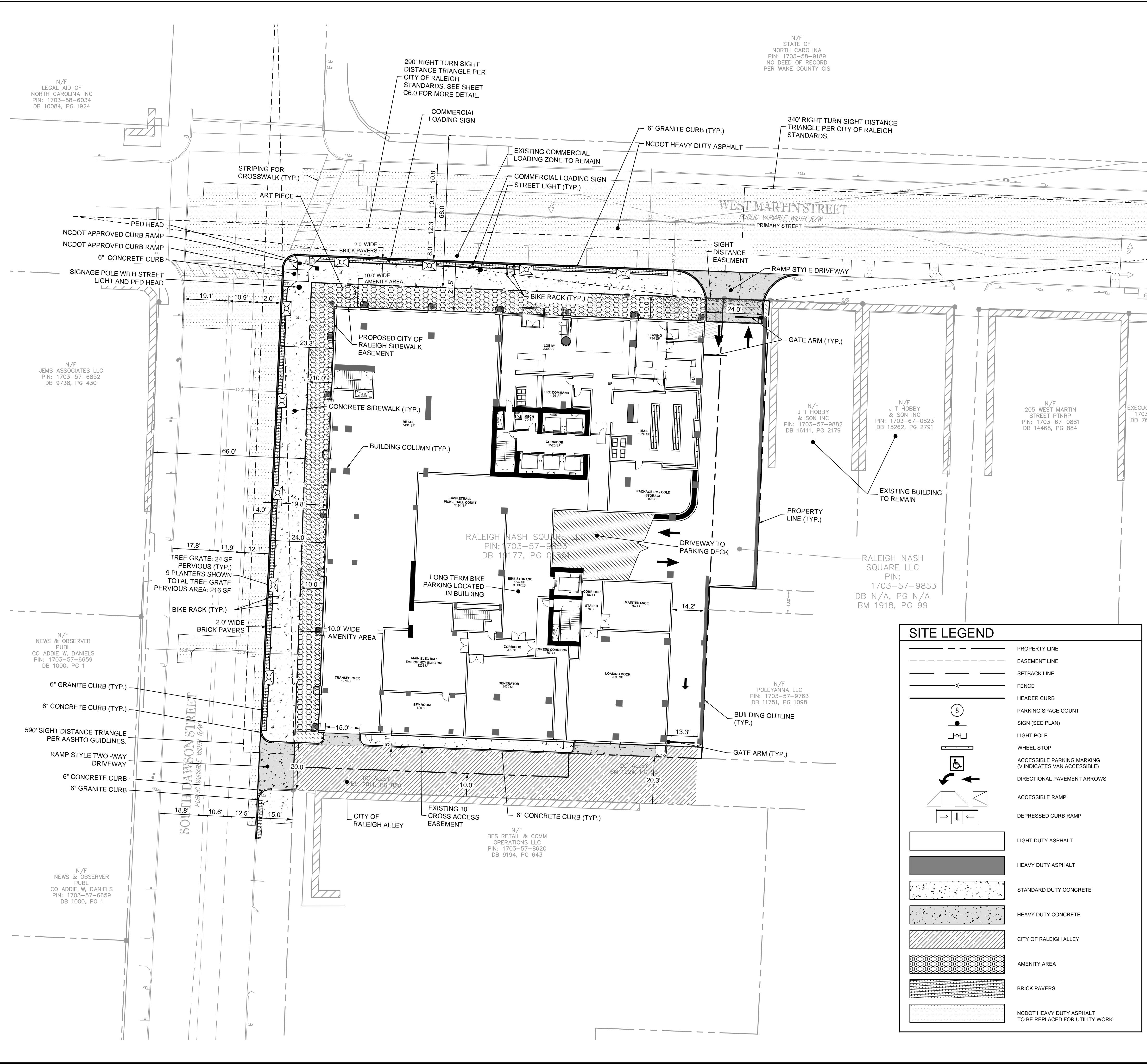
**EXISTING CONDITIONS AND DEMOLITION PLAN**

**NASH SQUARE APTS**  
PREPARED FOR  
**RALEIGH NASH SQUARE LLC**

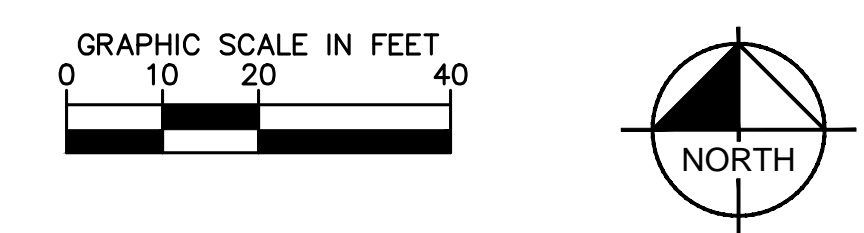
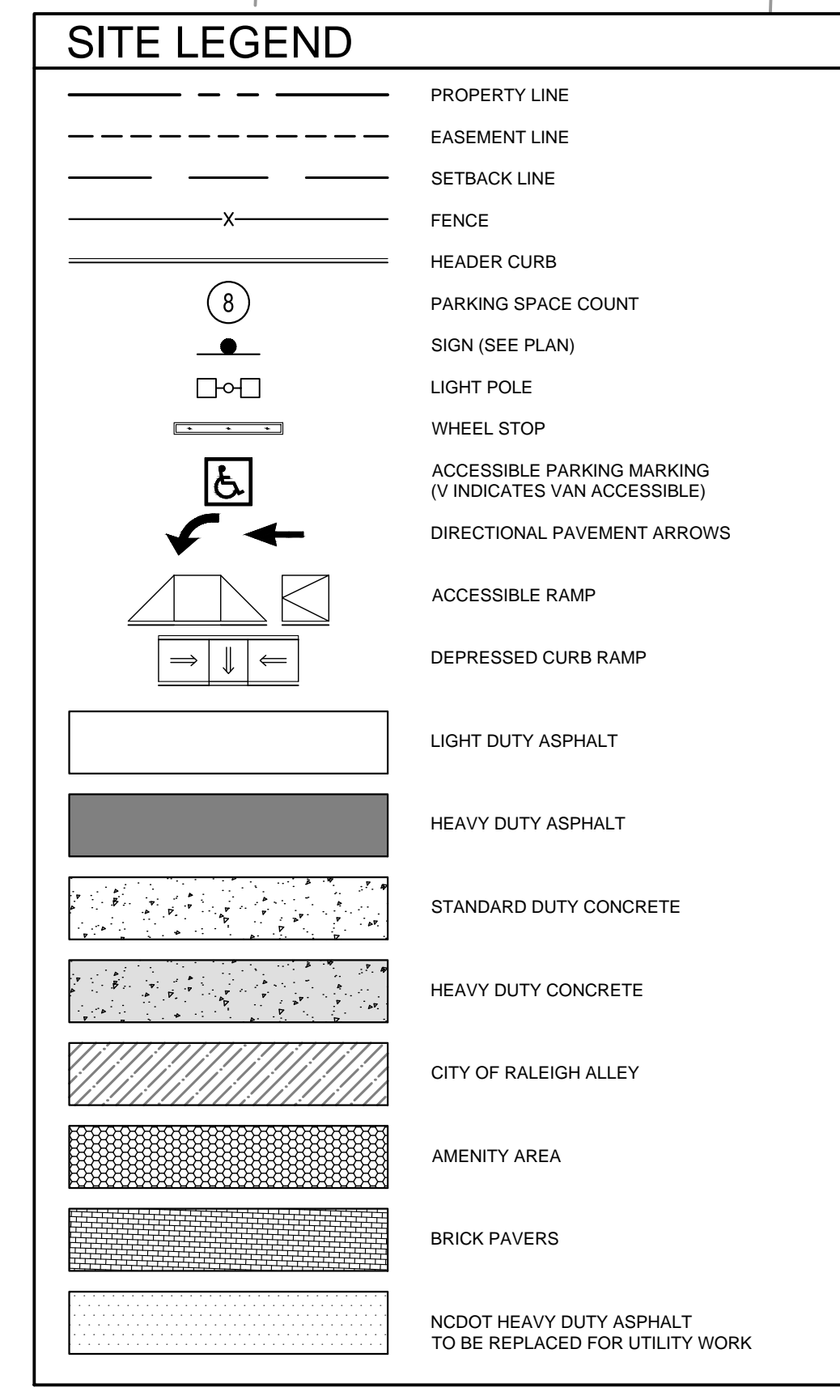
SHEET NUMBER  
**C1.0**

RALEIGH

Plotted By: Westpal, Nick - Sheet: Nash Sq Apts - Layout: C2.0 SITE PLAN - March 24, 2023 - 01:25:00pm - K:\REAL\DEVELOPMENT\45000\_Nash Sq Apts\Planning\_Phases\15\_CAD\_Files\PlanSheets\C2.0 SITE PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SITE DATA	
<b>PROPERTY INFORMATION</b>	
EXISTING ZONING:	DX-40-SH-CU, DX-20-SH
EXISTING USE:	PARKING LOT, RESTAURANT
SITE AREA:	0.90 AC (39,146 SF)
BUILDING SETBACKS:	PRIMARY STREET = 3' SIDE STREET = 3' SIDE LOT LINE = 0' OR 6' REAR LOT LINE = 0' OR 6'
PARKING SETBACKS:	PRIMARY STREET = 10' SIDE STREET = 10' SIDE LOT LINE = 0' OR 3' REAR LOT LINE = 0' OR 3'
<b>PROJECT DATA</b>	
PROPOSED USE:	MULTIFAMILY UNITS AND RETAIL
PIN#:	1703578840 & 1703579853
PROPOSED # OF BUILDINGS:	1
BUILDING GROSS FLOOR AREA:	854,066 SF
PARKING:	<b>REQUIRED:</b> RETAIL (MAX) - 1 PER 200 SF RESIDENTIAL (MAX) - 1.5 SPACES PER 1BR 2 SPACES PER 2BR & 3BR  RETAIL AREA + 1BR + 2BR + 3BR (7,480/200)+(214/15)+(167/2)+(22/2) = = 736 SPACES (MAX)  <b>PROVIDED:</b> 502 SPACES (IN PARKING DECK) = 502 SPACES (PROVIDED)
HANDICAP PARKING:	<b>REQUIRED:</b> 9 SPACES  <b>PROVIDED:</b> 9 SPACES
SHORT TERM BIKE PARKING:	<b>REQUIRED:</b> RETAIL (MIN) - 1 SPACE PER 5,000 SF, MIN 4 RESIDENTIAL (MIN) - 1.0 SPACE PER 20 UNITS, MIN 4  1'7,490(5,000)+1SPACE/20 UNITS = 403 UNITS = 24 SPACES (MIN)  PER UDO SEC 7.1.7.J MIXED USE BUILDINGS ARE ONLY REQUIRED TO PROVIDE 50 BIKE PARKING MAX. 8 OF THE 50 REQUIRED WILL BE PROVIDED AS SHORT TERM SPACES  <b>PROVIDED:</b> 8 SPACES (BIKE RACKS LOCATED OUTSIDE OF BUILDING)
LONG TERM BIKE PARKING:	<b>REQUIRED:</b> RESTAURANT (MIN) - 1 SPACE PER 25,000 SF, MIN. 4 RESIDENTIAL (MIN) - 1 SPACE PER 7 BR, MINIMUM 4  4+(210)+(162)*2+(20)*3/7 = 85 SPACES  PER UDO SEC 7.1.7.J MIXED USE BUILDINGS ARE ONLY REQUIRED TO PROVIDE 50 BIKE PARKING MAX. 42 OF THE 50 REQUIRED WILL BE PROVIDED AS LONG TERM SPACES  <b>PROVIDED:</b> 42 SPACES* (INSIDE OF BUILDING - LEVEL 1.01.5)
SITE IMPERVIOUS AREA:	<b>EXISTING (PRE-DEV.):</b> =0.90 AC (100%)  <b>PROPOSED (POST-DEV.):</b> =0.90 AC (100%)
AMENITY AREA:	<b>REQUIRED:</b> 10% OF SITE AREA + 50 SF/STORY ABOVE THE 7TH STORY = 4,698 SF (0.11 AC) (12% OF SITE)  50% OF REQUIRED AMENITY AREA MUST BE PROVIDED ON GROUND LEVEL  <b>PROVIDED:</b> 3,554 (0.08 AC) ON GROUND FLOOR 2,349 (0.05 AC) AT LEVEL 10 AMENITY DECK 5,903 (0.13 AC) TOTAL



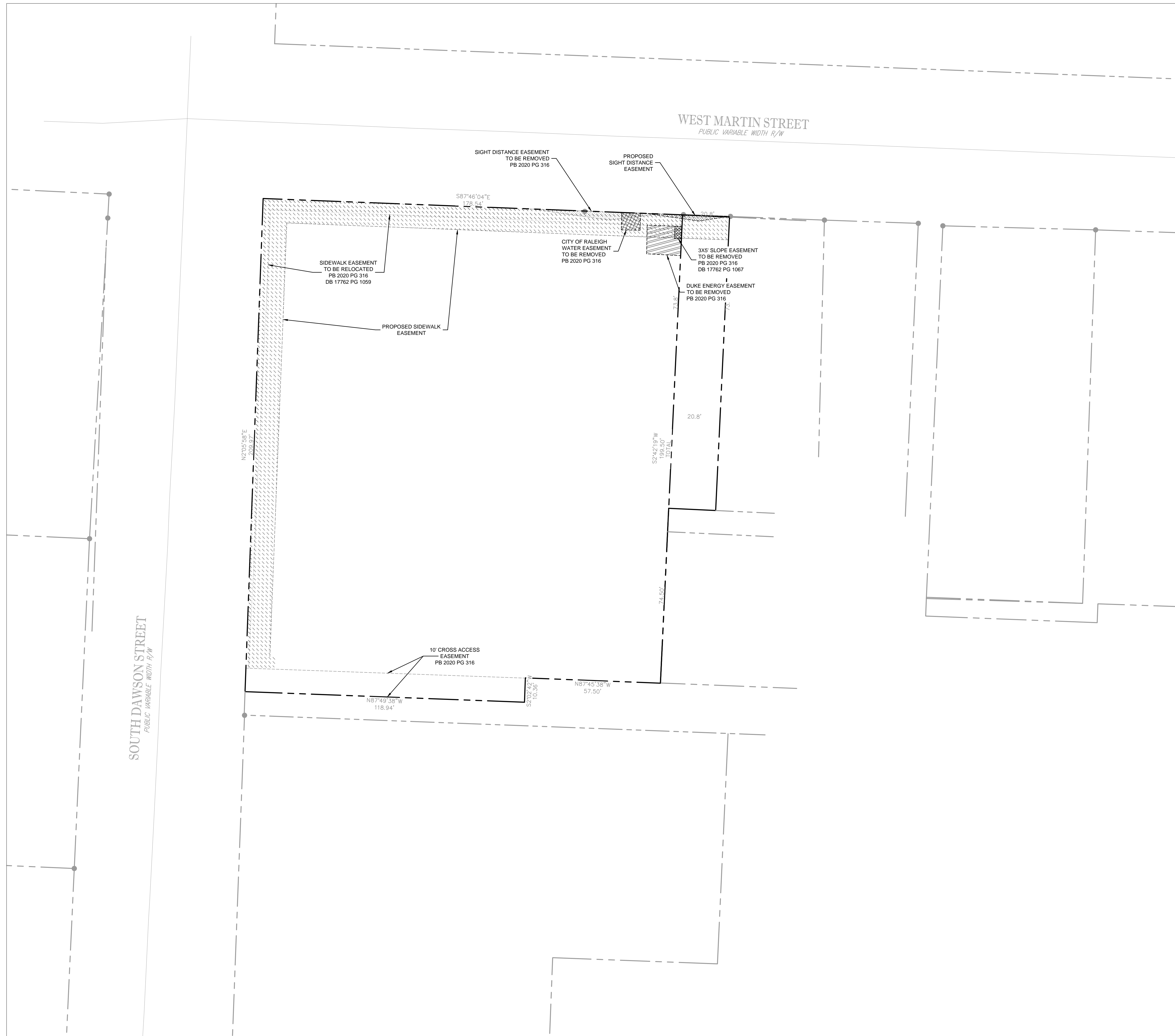
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

**EXISTING CONDITION NOTES:**

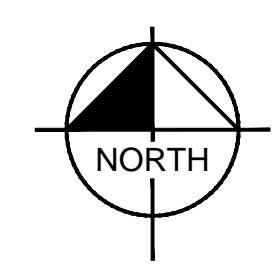
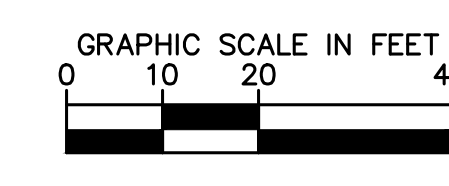
- EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018 AND AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY JONATHAN MURPHY PROFESSIONAL LAND SURVEYING, DATED 07/05/2022.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

<p>© 2023 KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601 PHONE: 919-677-2000 FAX: 919-677-2050 WWW.KIMLEY-HORN.COM</p>		REVISIONS	DATE
		No.	
<p>KHA PROJECT 016145000 DATE 03/22/2023 SCALE AS SHOWN DESIGNED BY ASA DRAWN BY ASA CHECKED BY TRC</p>		<p><b>SITE PLAN</b></p>	
<p><b>NASH SQUARE APTS</b> PREPARED FOR <b>RALEIGH NASH SQUARE LLC</b></p>		<p>RALEIGH NC</p>	
<p>SHEET NUMBER <b>C2.0</b></p>			

Plotted By: Westphal, Nick Sheet Set: Nash Sq Apts Layout: C2.1 PLAT EXHIBIT March 24, 2023 01:25:07pm K:\RAL\_DEVA\16145000\_Nash Sq Apts\Planning Phase\PL5\_CAD Files\PlanSheets\C2.1 PLAT EXHIBIT.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SITE LEGEND	
	PROPERTY LINE
	EASEMENT LINE
	SETBACK LINE
	WATER EASEMENT
	ENERGY EASEMENT
	SLOPE EASEMENT
	SIGHT EASEMENT
	SIDEWALK EASEMENT



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

- EXISTING CONDITION NOTES:**
- EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018 AND AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY JONATHAN MURPHY PROFESSIONAL LAND SURVEYING, DATED 07/05/2022.
  - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

No.	REVISIONS	DATE	BY

**Kimley»Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM  
 #F-0102

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

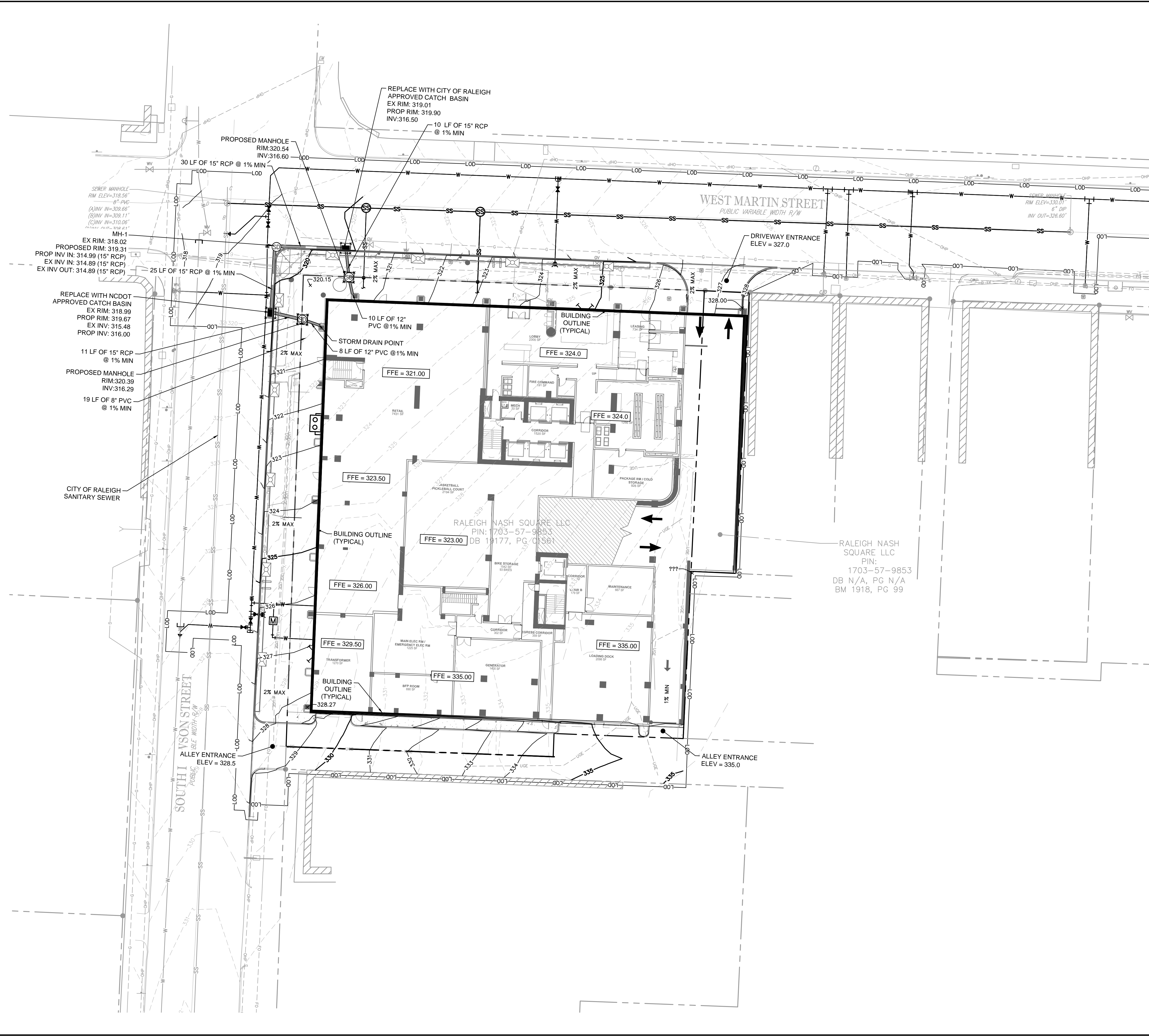
KHA PROJECT	016145000
DATE	03/22/2023
SCALE	AS SHOWN
DESIGNED BY	ASA
DRAWN BY	ASA
CHECKED BY	TRC

**PLAT EXHIBIT**

**NASH SQUARE APTS**  
 PREPARED FOR  
**RALEIGH NASH SQUARE**  
**LLC**  
 RALEIGH NC

SHEET NUMBER  
**C2.1**

Plotted By: Westpal, Nick Sheet: Nash Sq Apts Layout: C3.0 GRADING AND DRAINAGE PLAN March 24, 2023 01:25:22pm K:\REAL\DEV\016145000\_Nash Sq Apts\Planning Phase\15-CAD Files\PlanSheets\C3.0 GRADING AND DRAINAGE PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

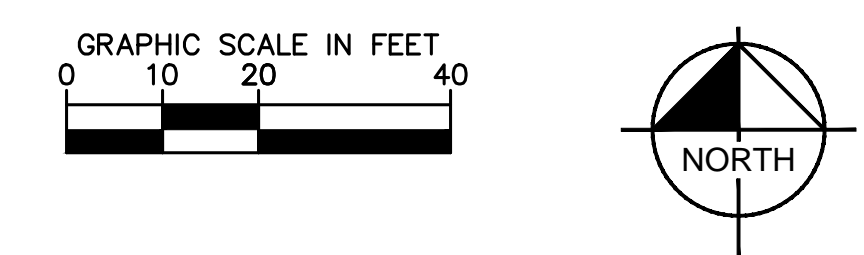


### GRADING AND DRAINAGE LEGEND

	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (≥ 12 INCH)
	STORM DRAIN (< 12 INCH)
	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
	CLEARING LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	CONCRETE HEADWALL (HW)
	RIP-RAP APRON
	FLOW ARROW
	TOP OF WALL (GRADE ELEV.)
	BOTTOM OF WALL (GRADE ELEV.)
	TOP OF PAVEMENT (GRADE ELEV.)
	TOP OF CURB (GRADE ELEV.)
	FLUSH CURB (GRADE ELEV.)
	WATER TIGHT JOINTS (WT)

### WEST MARTIN ST GRADES

PROPOSED LOW POINT	320.15 FT
PROPOSED HIGH POINT	328.00 FT
AVERAGE GRADE	324.07 FT



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

- EXISTING CONDITION NOTES:**
- EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018 AND AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY JONATHAN MURPHY PROFESSIONAL LAND SURVEYING, DATED 07/05/2022.
  - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM

NO. \_\_\_\_\_

REVISIONS \_\_\_\_\_

DATE \_\_\_\_\_

**PRELIMINARY**

NOT FOR CONSTRUCTION

KHA PROJECT	016145000
DATE	03/22/2023
SCALE	AS SHOWN
DESIGNED BY	ASA
DRAWN BY	ASA
CHECKED BY	TRC

**GRADING AND DRAINAGE PLAN**

**NASH SQUARE APTS**

PREPARED FOR

**RALEIGH NASH SQUARE LLC**

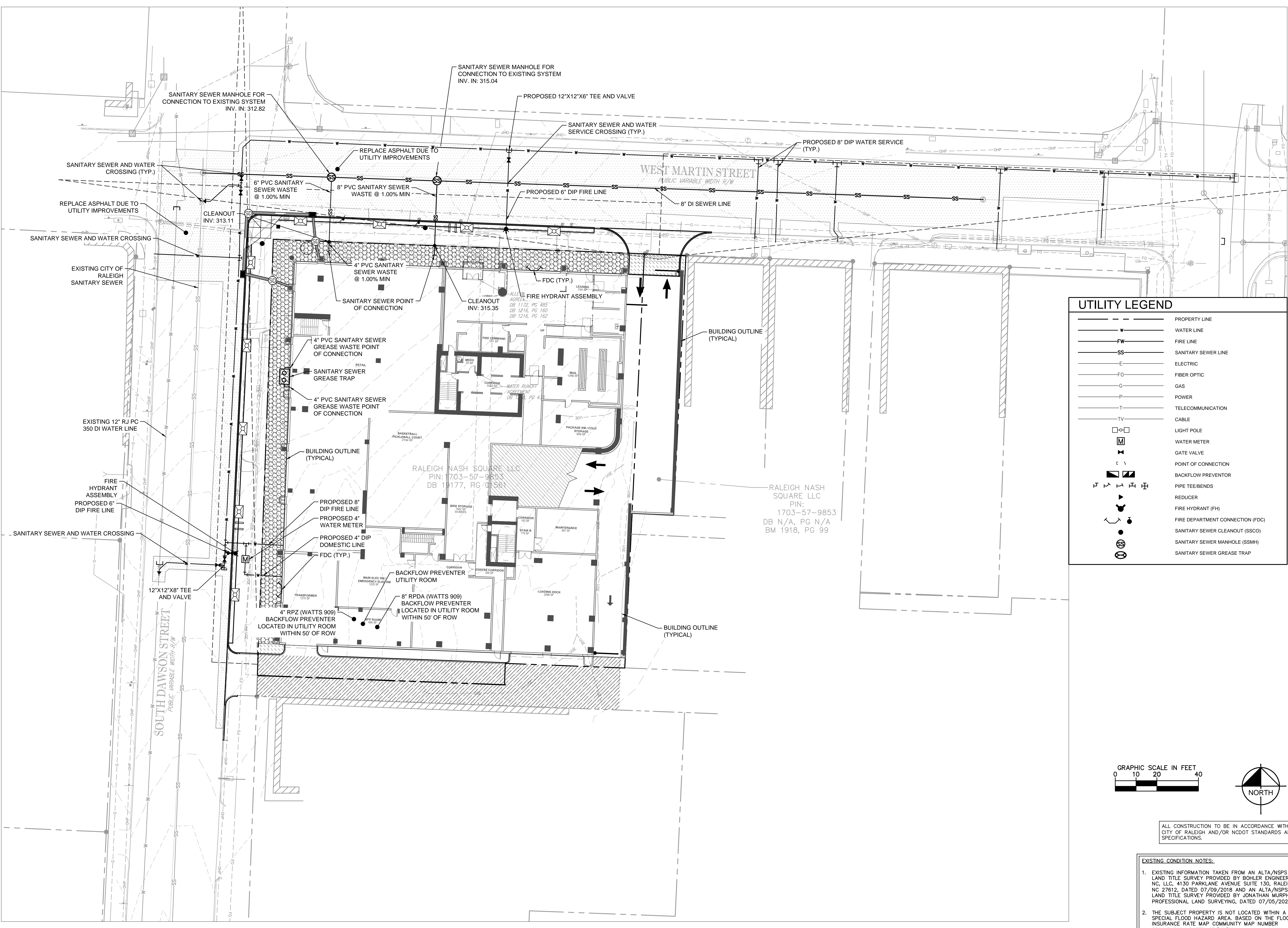
RALEIGH, NC

SHEET NUMBER

**C3.0**

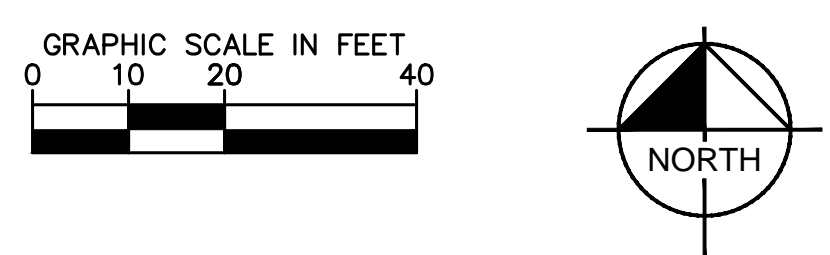


Plotted By: Westphal, Nick - Sheet: Nash Sq Apts - Layout: C4.0 UTILITY PLAN - March 24, 2023 - 01:25:34pm - K:\RAL\DEVA\016145000\_Nash Sq Apts\Planning Phase\PI5\_CAD Files\PlanSheets\C4.0 UTILITY PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



### UTILITY LEGEND

	PROPERTY LINE
	WATER LINE
	FIRE LINE
	SANITARY SEWER LINE
	ELECTRIC
	FIBER OPTIC
	GAS
	POWER
	TELECOMMUNICATION
	CABLE
	LIGHT POLE
	WATER METER
	GATE VALVE
	POINT OF CONNECTION
	BACKFLOW PREVENTOR
	PIPE TEE/BENDS
	REDUCER
	FIRE HYDRANT (FH)
	FIRE DEPARTMENT CONNECTION (FDC)
	SANITARY SEWER CLEANOUT (SSCO)
	SANITARY SEWER MANHOLE (SSMH)
	SANITARY SEWER GREASE TRAP



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

- EXISTING CONDITION NOTES:**
- EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018 AND AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY JONATHAN MURPHY PROFESSIONAL LAND SURVEYING, DATED 07/05/2022.
  - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

NO.	REVISIONS	DATE

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM #1-0102

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

KHA PROJECT	016145000
DATE	03/22/2023
SCALE	AS SHOWN
DESIGNED BY	ASA
DRAWN BY	ASA
CHECKED BY	TRC

## UTILITY PLAN

**NASH SQUARE APTS**  
 PREPARED FOR  
**RALEIGH NASH SQUARE**  
 LLC

RALEIGH, NC

SHEET NUMBER  
**C4.0**

Plotted By: Elnor, Ted - Sheet: Nash Square Apartments - Layout: R1.0 - ABBREVIATIONS - March 13, 2023 - 10:03:09am - K:\NASH\LEVA\016145000\_Nash Sq. Apts\Planning\_Phase\R1.0\_CAD\_Files\PlanSheets\A1.0\_ABBREVIATIONS.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

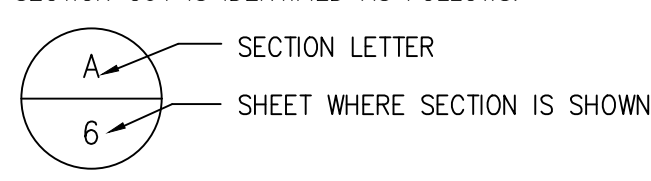
## ABBREVIATIONS

ABC	AGGREGATE BASE COURSE	PLF	POUNDS PER LINEAR FOOT
AC	ASBESTOS CEMENT	POLY	POLYETHYLENE (PLASTIC)
ADDL	ADDITIONAL	PPM	PARTS PER MILLION
AL	ALUMINUM	PROP	PROPERTY
ALT	ALTERNATE	PRV	PRESSURE RELIEF VALVE
APPROX	APPROXIMATE	PSI	POUNDS PER SQUARE INCH
ASPH	ASPHALT	PVC	POLYVINYL CHLORIDE
ASSY	ASSEMBLY		
ATTN	ATTENTION		
AVG	AVERAGE		
BFP	BACKFLOW PREVENTER	QA	QUALITY ASSURANCE
BLDG	BUILDING	QC	QUALITY CONTROL
BM	BENCHMARK	QTY	QUANTITY
BO	BLOWOFF		
C&G	CURB AND GUTTER	RCP	REINFORCED CONCRETE PIPE
CAP	CAPACITY	REQD	REQUIRED
CB	CATCH BASIN	RJ	RESTRAINED JOINT
CCW	COUNTERCLOCKWISE	ROW	RIGHT OF WAY
CEM	CEMENT	R/W	RIGHT-OF-WAY
CI	CAST IRON	RR	RAILROAD
CI	CURB INLET		
CIP	CAST IRON PIPE	S	SOUTH
CL	CENTERLINE	SAN	SANITARY
CL	CLASS	SCHED	SCHEDULE
CO	CLEANOUT	SI	INTERNATIONAL SYSTEM OF UNITS
CONC	CONCRETE	SLV	SLEEVE
COORD	COORDINATE	SPEC	SPECIFICATION
CTR	CENTER	SQ	SQUARE
CTRL	CONTROL	SS	SANITARY SEWER
CU FT	CUBIC FEET	SST	STAINLESS STEEL
CU IN	CUBIC INCH	STA	STATION
CU YD	CUBIC YARD	STD	STANDARD
CW	CLOCKWISE	SURV	SURVEY
		SW	SIDEWALK
		SYM	SYMBOL
DAT	DATUM	TBM	TEMPORARY BENCHMARK
DBL	DOUBLE	TO	TERRA COTTA
DC	DIRECT CURRENT	TCP	TRAFFIC CONTROL PLAN
DEG	DEGREE	TD	TRENCH DRAIN
DEPT	DEPARTMENT	TDH	TOTAL DYNAMIC HEAD
DET	DETAIL	TEMP	TEMPORARY
DI	DROP INLET	TP	TEMPORARY TELEPHONE POLE
DIA	DIAMETER	TV	TELEVISION
DIP	DUCTILE IRON PIPE	TYP	TYPICAL
DIST	DISTANCE		
DR	DRIVE	UGND	UNDERGROUND
E	EAST	UTIL	UTILITY
EA	EACH		
EFF	EFFICIENCY	VAR	VARIES
ELEV	ELEVATION	VCP	VITRIFIED CLAY PIPE
ESMT	EASEMENT	VFD	VARIABLE FREQUENCY DRIVE
EXIST	EXISTING	VOL	VOLUME
EXT	EXTERIOR		
FDC	FIRE DEPARTMENT CONNECTION	W	WEST
FH	FIRE HYDRANT	W/	WITH
FLG	FLANGE	W/O	WITHOUT
FOC	FACE OF CURB	WL	WATERLINE
FPS	FEET PER SECOND	WM	WATER METER
FT	FEET	WT	WEIGHT
		WV	WATER VALVE
		WW	WASTE WATER
G	NATURAL GAS	YI	YARD INLET
GAL	GALLON		
GALV	GALVANIZED		
GOVT	GOVERNMENT		
GPD	GALLONS PER DAY		
GPH	GALLONS PER HOUR		
GPM	GALLONS PER MINUTE		
HDPE	HIGH DENSITY POLYETHYLENE		
HH	HAND HOLE		
HORIZ	HORIZONTAL		
HP	HORSE POWER		
HYD	HYDRANT		
INV	INVERT		
IP	IRON PIPE		
LF	LINEAR FEET (FOOT)		
LL	LOWER LEVEL		
LN	LANE		
LOD	LIMITS OF DISTURBANCE		
LP	LIGHT POLE		
LS	LUMP SUM		
LTS	LAND TREATMENT SITE		
MATL	MATERIAL		
MAX	MAXIMUM		
MBL	MAXIMUM BUILDING LIMIT		
MGD	MILLION GALLONS PER DAY		
MH	MANHOLE		
MIN	MINIMUM		
MJ	MECHANICAL JOINT		
MSL	MEAN SEA LEVEL		
N	NORTH		
NA	NOT APPLICABLE		
NFC	NATIONAL FIRE CODE		
NO	NUMBER		
NTS	NOT TO SCALE		
OHP	OVERHEAD POWER		
PC	PRESSURE CLASS		
PCF	POUNDS PER CUBIC FOOT		
PERM	PERMANENT		
PKWY	PARKWAY		
PL	PROPERTY LINE		

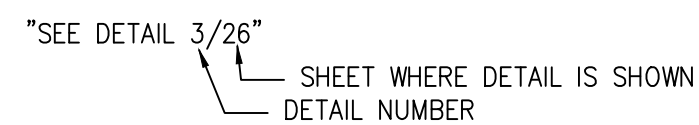
## SECTION AND DETAIL KEYING

DRAWINGS ARE REFERENCED IN THE FOLLOWING METHOD:

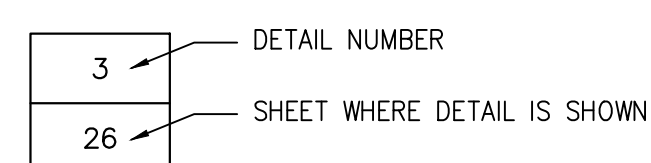
(A) A SECTION CUT IS IDENTIFIED AS FOLLOWS:



(B) A DETAIL CALL OUT IS IDENTIFIED AS FOLLOWS:



(C) A DETAIL IS IDENTIFIED ON SHEET 26 AS FOLLOWS:



## MATERIALS

GRADE OR EARTH	
SAND	
GRAVEL/RIP RAP	
CONCRETE	
CONC. FILL OR GROUT	
GRATING	
CHECKERED PLATE	
ROCK	
WATER SURFACE	
ASPHALT	
BRICK	

## LEGEND

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION	PROPOSED
	PROPERTY/ROW			TELEPHONE PEDESTAL	
	SETBACK			TRANSFORMER PAD	
	EASEMENT			GATE VALVE	
	CENTERLINE			PLUG VALVE	
	MONUMENT			LIGHT POLE	
	IRON PIPE/ROD			UTILITY POLE	
	BUILDING			HYDRANT	
	EDGE WETLAND			STORM DRAINAGE STRUCTURE	
	WETLAND BUFFER			SANITARY SEWER MANHOLE	
	CREEK/DITCH			POTABLE WELL	
	GRAVEL ROAD			FIRE HYDRANT	
	EDGE PAVEMENT			WATER METER	
	CURBLINE			WATER METER SIZE PER SCHEDULE	
	EDGE WATER			REDUCER	
	TREELINE			BLOWOFF ASSEMBLY	
	CONTOURS (MAJOR)			BACKFLOW PREVENTER	
	CONTOURS (MINOR)			SANITARY SEWER CLEANOUT	
	GAS			PUMPABLE FLOWABLE FILL INJECTION POINT	
	WATER			CUT AND PLUG EXISTING WATERLINE	
	SEWER			POWER POLE	
	STORM DRAIN			TYPICAL PLUG AND REMOVAL	
	FORCE MAIN			TYPICAL IN-LINE PLUG	
	GROUND PROFILE			SPOT GRADE	
	EXISTING/PROPOSED ITEMS			RETAINING WALL	
	CULVERT			DECIDUOUS TREE	
	GUARDRAIL			CONIFEROUS TREE	
	CHAIN LINK FENCE			BENCHMARK	
	BARB WIRE FENCE			NCGS-NORTH CAROLINA GEODETIC MONUMENT	
	STOCKADE FENCE			SPOT ELEVATION	
	RAILROAD			GEOTECHNICAL BORING	
	ELECTRICAL			TEMPORARY BENCHMARK	
	TELEPHONE			SOIL BORING/AUGER PROBE	
	UNDERGROUND ELECTRICAL			SURVEY IRON	
	OVERHEAD POWER			WETLANDS	
	UNDERGROUND UNKNOWN UTILITY			SIGN	
	FLOODWAY BOUNDARY			TEMPORARY CONSTRUCTION ENTRANCE	
	MATCH LINE			PAVEMENT REPLACEMENT	
	TEMPORARY CONSTRUCTION EASEMENT			CONCRETE REPLACEMENT	
	LIMITS OF DISTURBANCE			STONE FILTER	
	LIMITS OF DISTURBANCE/TREE PROTECTION FENCE			U-SHAPED INLET PROTECTION	
	LIMITS OF DISTURBANCE/TREE PROTECTION FENCE			MILLING LIMITS	
	SILT FENCE			SEWER SERVICE LOCATION	
	COMBINATION SILT FENCE/TREE PROTECTION FENCE			CURB INLET PROTECTION	
	TEMPORARY DIVERSION DITCH			EROSION CONTROL SOCK	
	TREE PROTECTION			RESTRAINED JOINT PIPE	
	REMOVE UTILITY				
	ABANDON IN PLACE				

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**EXISTING CONDITION NOTES:**

- EXISTING INFORMATION TAKEN FROM AN ALTA/NISPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

NO.	REVISIONS	DATE	BY

421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM  
 #F-0102

KHA PROJECT	016145000
DATE	03/14/2023
SCALE	AS SHOWN
DESIGNED BY	AA
DRAWN BY	AA
CHECKED BY	TRC

## ABBREVIATIONS

**NASH SQUARE APTS**  
 PREPARED FOR  
**RALEIGH NASH SQUARE**  
**LLC**  
 RALEIGH, NC

SHEET NUMBER  
**R1.0**



Plotted By: Elnhof, Ted Sheet: Nash Square Apartments Layout: R3.0 UTILITY PLAN March 14, 2023 10:42:33am K:\REAL\DEVELOPMENT\45000\_Nash Sq Apts\Planning Phase\15\_CAD Files\PlanSheets\R3.0 UTILITY PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**EXISTING CONDITION NOTES:**

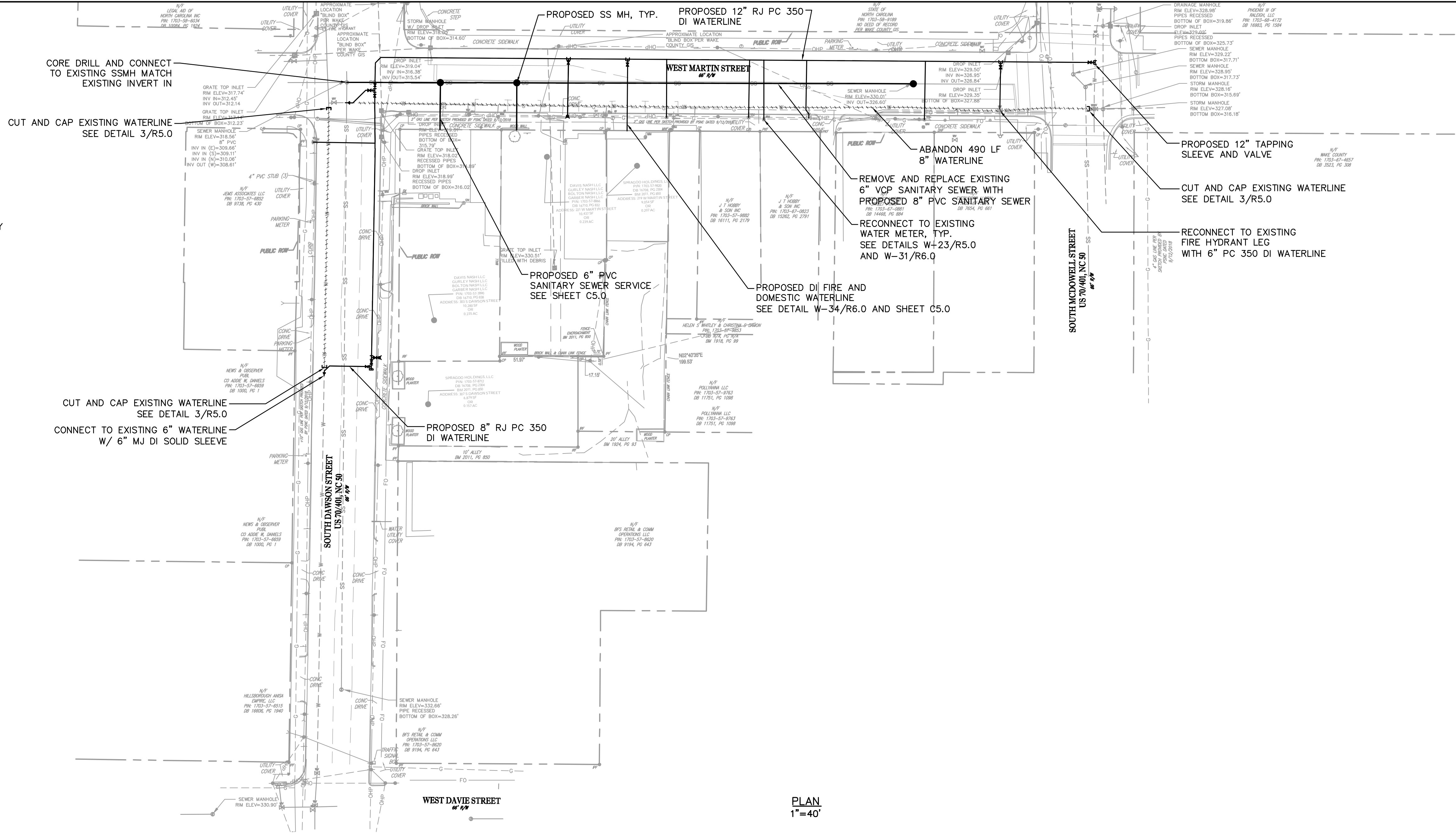
- EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3729170300K DATED 07/19/2022.

**NOTES:**

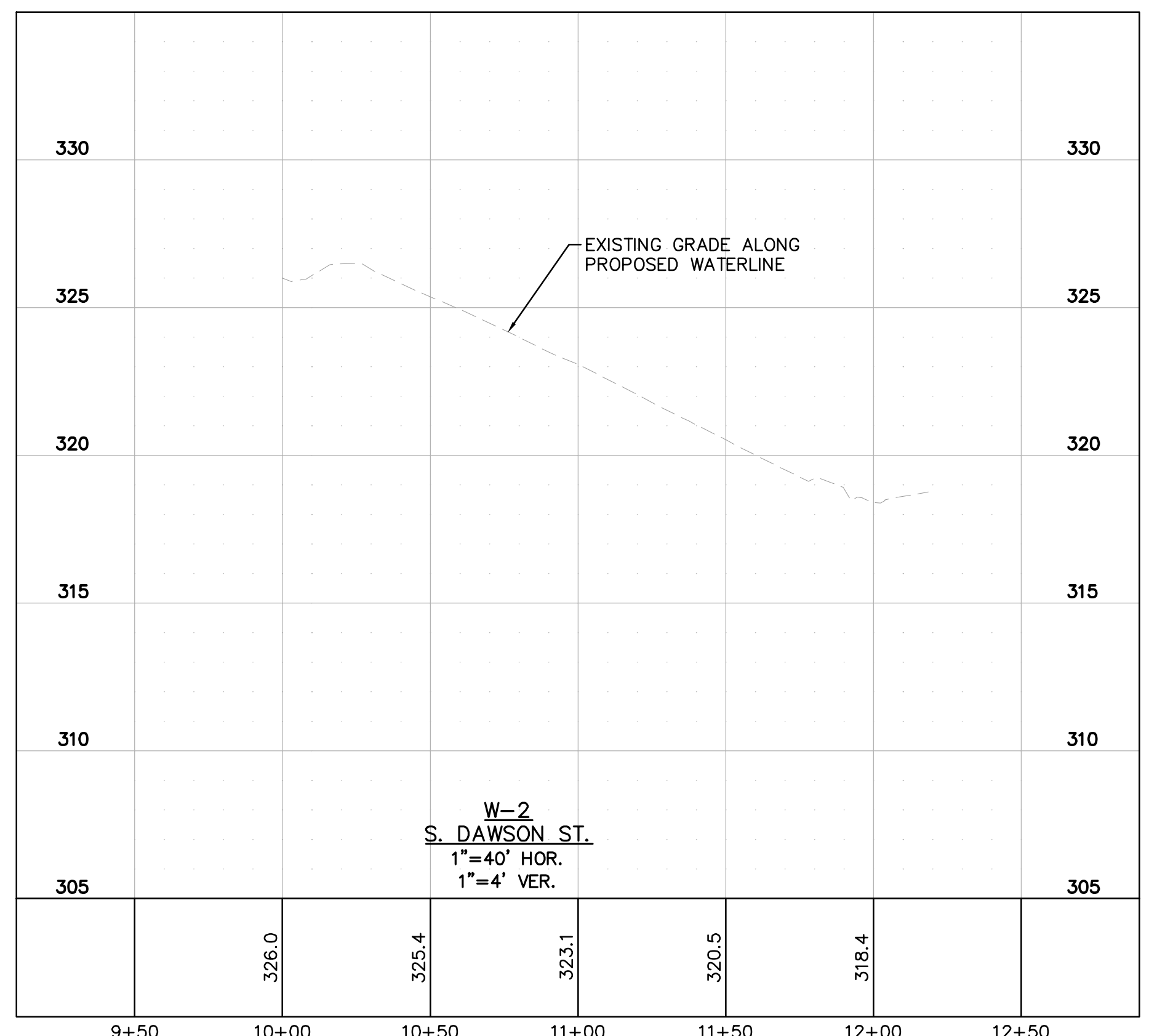
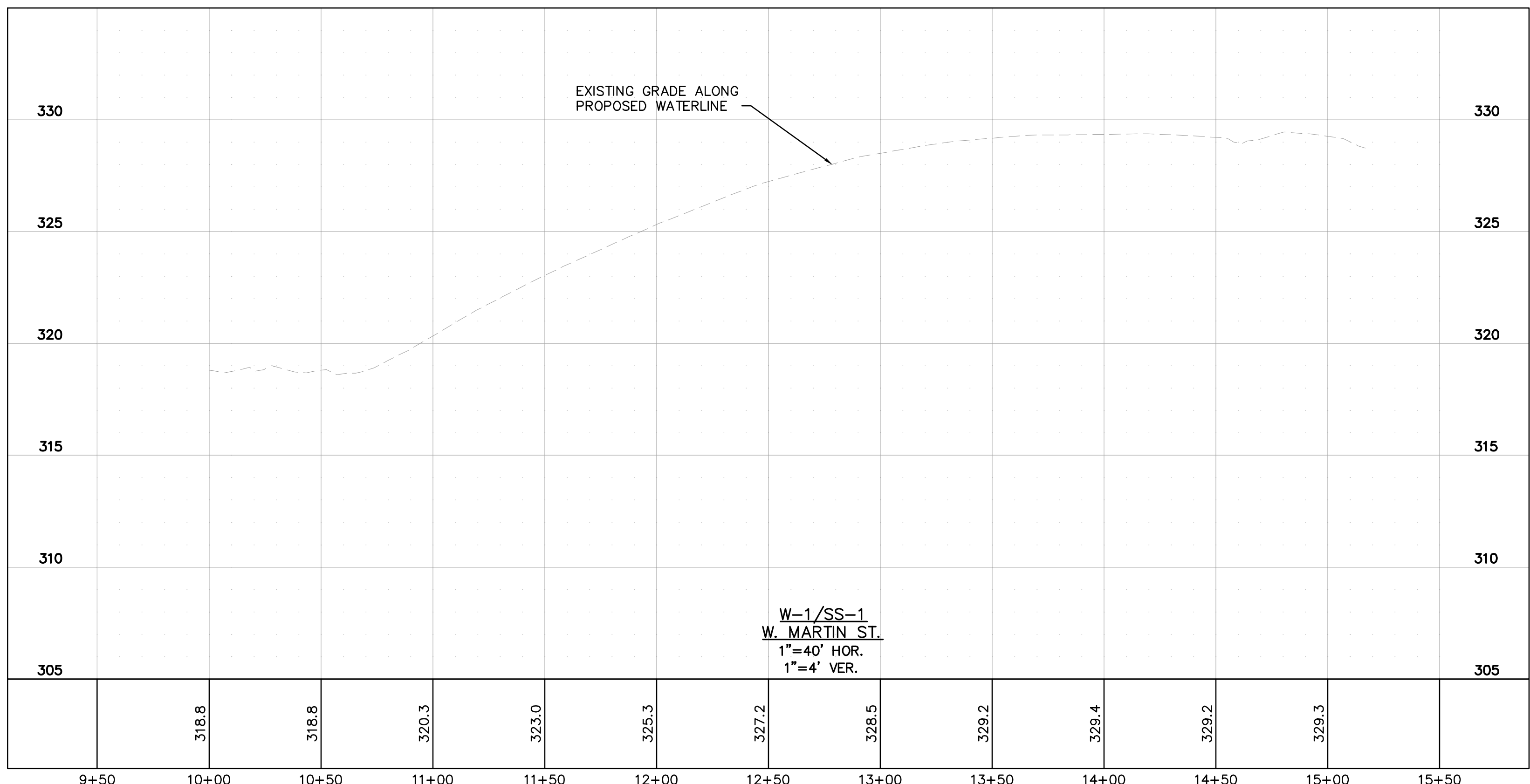
R3.0-1 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

R3.0-2 NOTIFY CITY OF RALEIGH OFFICE OF THE FIRE MARSHAL PRIOR TO DISRUPTING ANY HYDRANT OR FIRE SERVICE.

R3.0-3 CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION, MATERIAL TYPE, AND SIZE OF EXISTING WATERLINE AT W-2 STA 10+00 AT THE INTERSECTION OF SOUTH DAWSON STREET AND WEST DAVE STREET PRIOR TO CONSTRUCTION.



PLAN  
1"=40'



No.	REVISIONS	DATE

**Kimley»Horn**

421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM  
 # - 0102

KHA PROJECT	016145000
DATE	03/14/2023
SCALE	AS SHOWN
DESIGNED BY	AA
DRAWN BY	AA
CHECKED BY	TRC

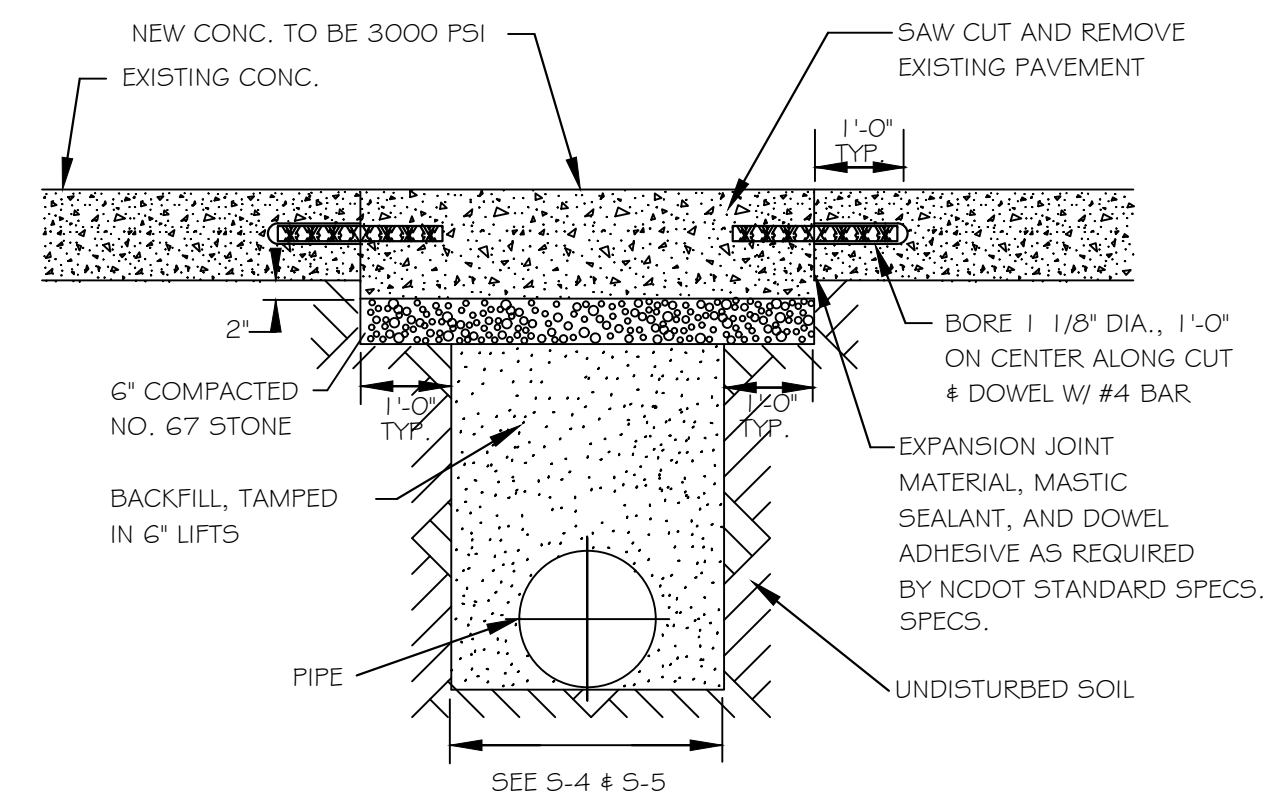
**NASH SQUARE APTS**  
 PREPARED FOR  
**RALEIGH NASH SQUARE LLC**

UTILITY PLAN

RALEIGH NC

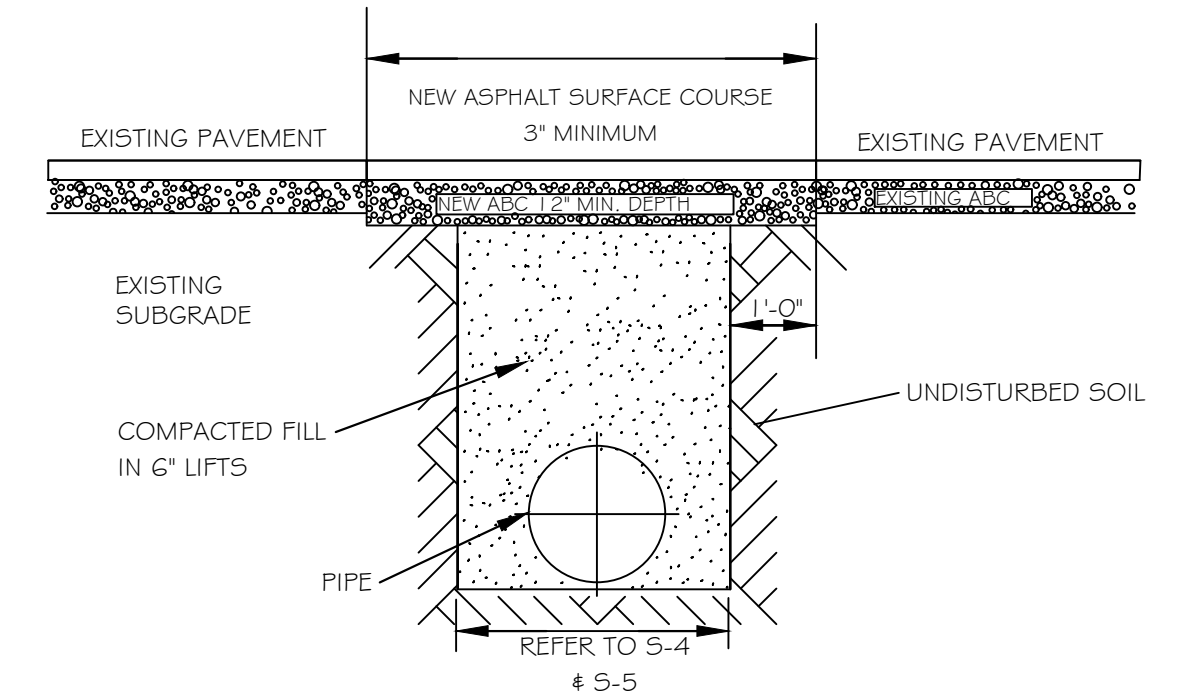
SHEET NUMBER  
**R3.0**

Plotted By: Elnhof, Ted Sheet: Set: Nash Square Apartments Layout: R4.0 STANDARD DETAILS - March 13, 2023 10:03:38am K:\RAL\DEVA016145000\_Nash Sq. Apts\Planning Phase\P15\_CAD Files\Plan\Sheets\R4.0 STANDARD DETAILS.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



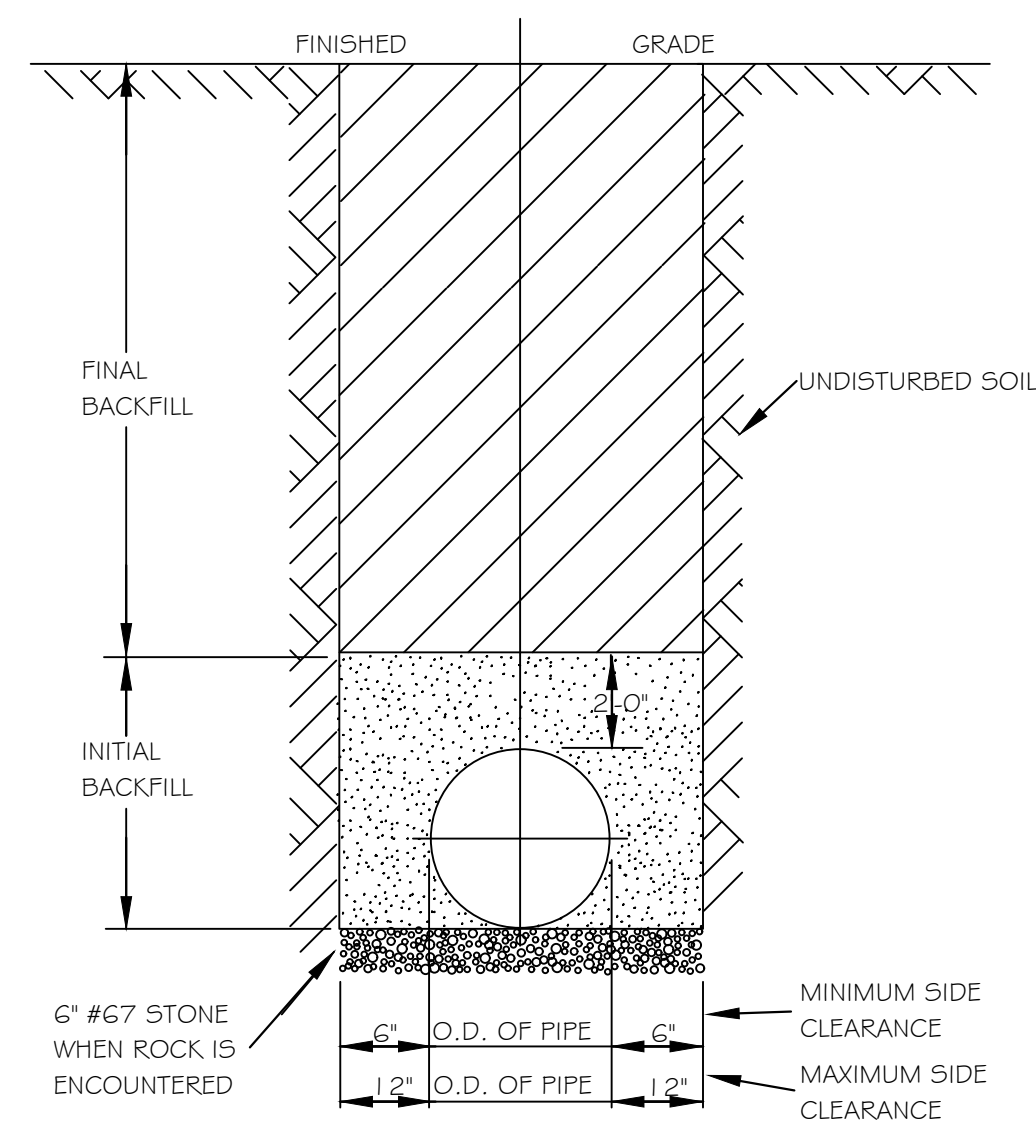
**NOTES:**  
 1. See City of Raleigh standards for trenches and pipe bedding (S-4 & S-5) for additional details.  
 2. Pavement cuts over 5'-0" in width shall be reinforced to N.C.D.O.T. standards.  
 3. Pavement cuts shall be made with an appropriate saw cut machine.  
 4. Pavement cuts within NCDOT ROW shall conform to the approved on site encroachment permit.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
STANDARD CONCRETE PAVEMENT PATCH DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-2	D.W.C.	6-23-99	A.B.B.	4-19-04	
	RRH	3-30-00	J.P.S.	10-8-10	



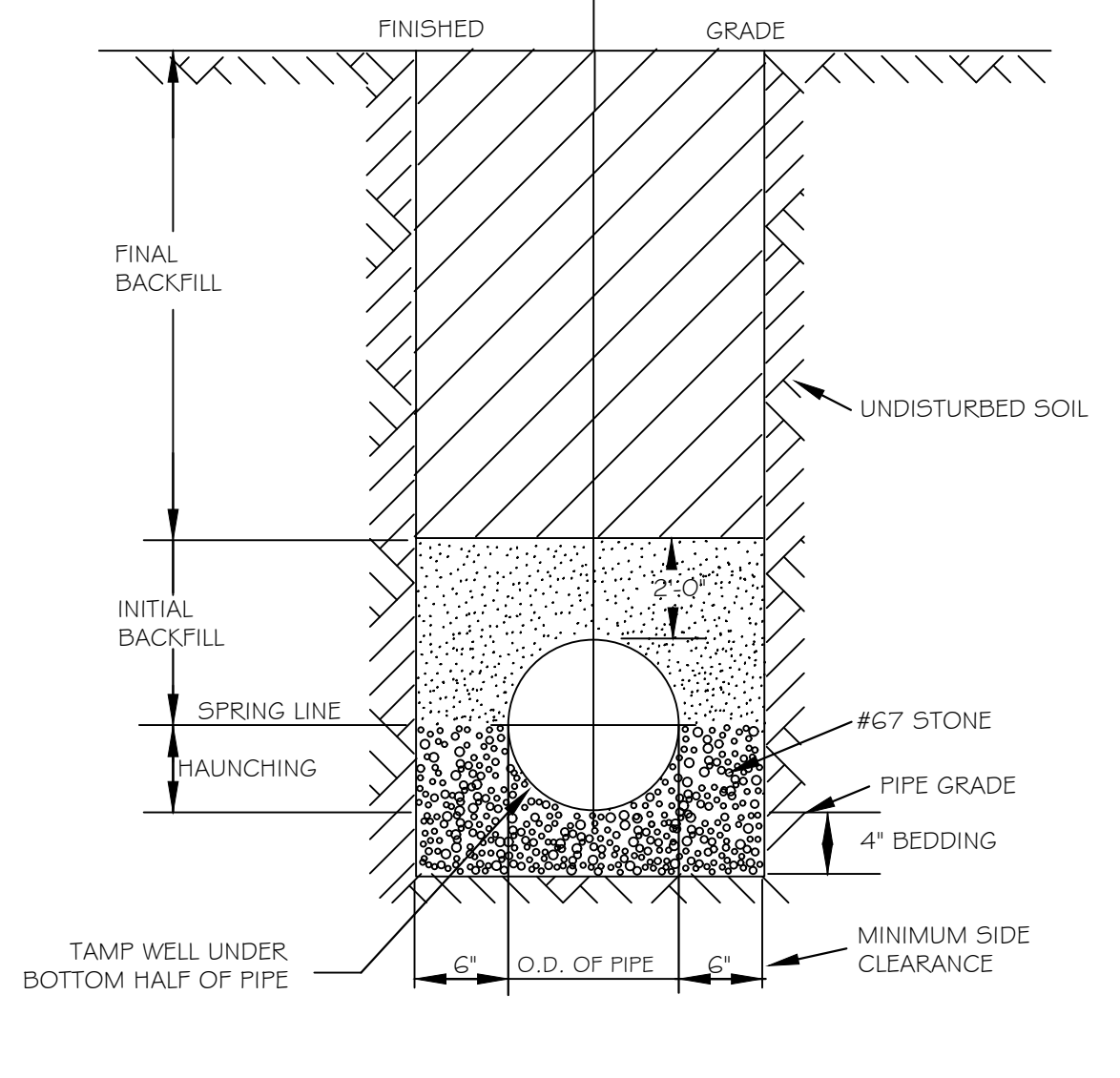
**NOTES:**  
 1. IN NCDOT MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.  
 2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.  
 3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.  
 4. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-80 AS MODIFIED BY NCDOT.  
 5. THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.  
 6. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE THICKNESS BE LESS THAN 3" THICK.  
 7. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.  
 8. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING (S-4 & S-5) FOR ADDITIONAL DETAILS.  
 9. NO HAND PATCHING ALLOWED.  
 10. PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
STANDARD ASPHALT PAVEMENT PATCH DETAIL					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-3	D.W.C.	11-1-99	A.B.B.	4-19-04	
	RRH	3-30-00	J.P.S.	10-8-10	



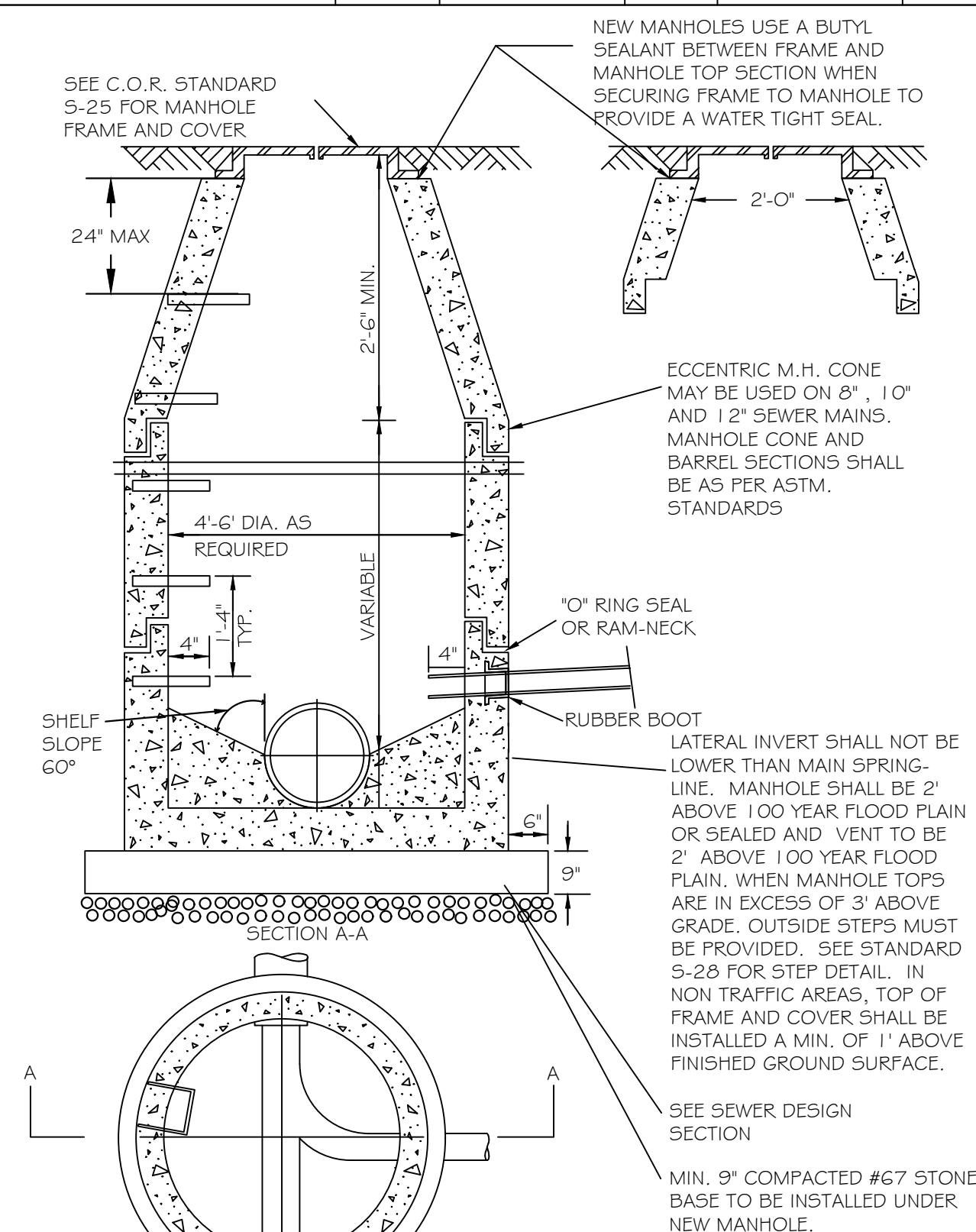
**NOTES:**  
 1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.  
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.  
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.  
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.  
 5. ACHIEVE 80% COMPACTION IN NON-TRAFFIC AREAS, AND 95% COMPACTION IN TRAFFIC AREAS.  
 6. IF IN EASEMENT 4" TOPSOIL, AND 12" CLEAN SELECT FILL MAY BE REQUIRED.  
 7. NO BOULDERS 8" IN DIAMETER OR GREATER ALLOWED IN FINAL BACKFILL.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-4	D.W.C.	9-3-99			
	RRH	3-30-00			

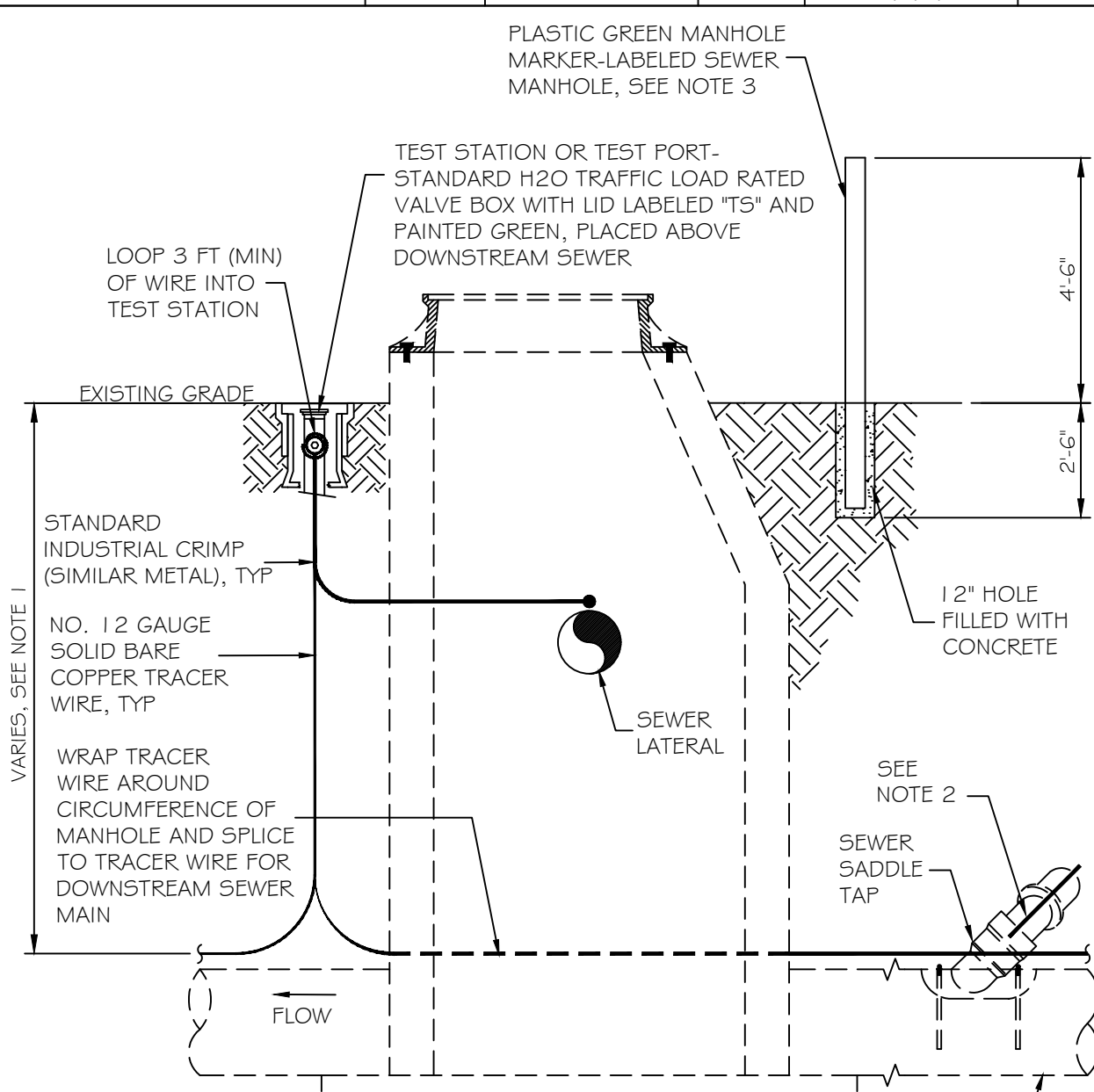


**NOTES:**  
 1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.  
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.  
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.  
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-5	TO NOTES	3-1-87	D.W.C.	9-3-99	
		7-2-82	RRH	8-30-00	

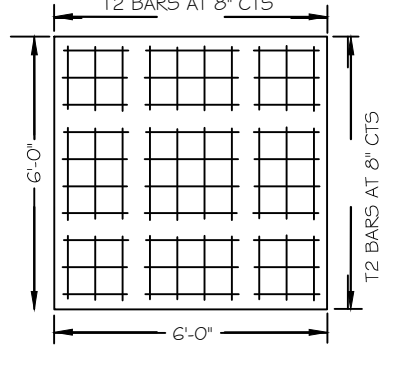


CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
STANDARD PRECAST SANITARY SEWER MANHOLE					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-20	T.C.A.	12-31-82	ABR	2-21-05	
	RRH	3-30-00	D.H.L.	6-16-08	

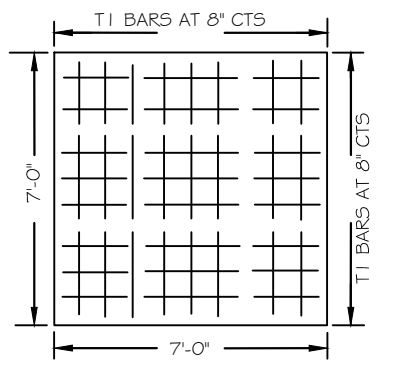


**NOTES:**  
 1. THE TRACER WIRE SHALL BE CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. FOR GRAVITY MAIN AND OR LATERAL INSTALLATIONS LESS THAN 8 FT, THE TRACER WIRE SHALL BE ATTACHED TO THE PIPE. TRACER WIRE SHALL BE LAID FLAT AND SECURELY AFFIXED TO THE PIPE AT 10 FOOT INTERVALS. FOR GRAVITY MAIN AND OR LATERAL INSTALLATION DEEPER THAN 8 FT, THE TRACER WIRE SHALL BE INSTALLED AT A DEPTH OF 7-8 FT. THE WIRE SHALL BE PROTECTED FROM DAMAGE DURING THE EXECUTION OF THE WORK. NO BREAKS OF CUTS IN THE TRACER WIRE SHALL BE PERMITTED.  
 2. WHERE LATERAL TAPS ARE MADE BY SERVICE SADDLES, THE TRACER WIRE SHALL NOT BE ALLOWED TO BE PLACED BETWEEN THE SADDLE AND MAIN.  
 3. MANHOLE MARKERS SHALL BE PLACED ADJACENT TO MANHOLES AT THE DISCRETION OF OWNER OR OWNER'S REPRESENTATIVE.

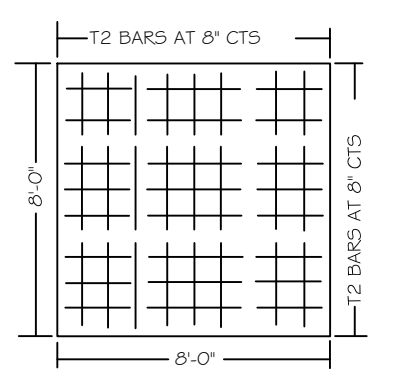
CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
GRAVITY SEWER MAIN TRACER WIRE AND MANHOLE MARKER					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-20A	WHD	09-14			



BILL OF MATERIAL FOR 4' MANHOLE					
BAR	SIZE	LENGTH	NO.	WT. LBS.	
T2	#5	5'-6"	18	103	
CL. 1" CONCRETE TOTAL CU. YDS.					1,000



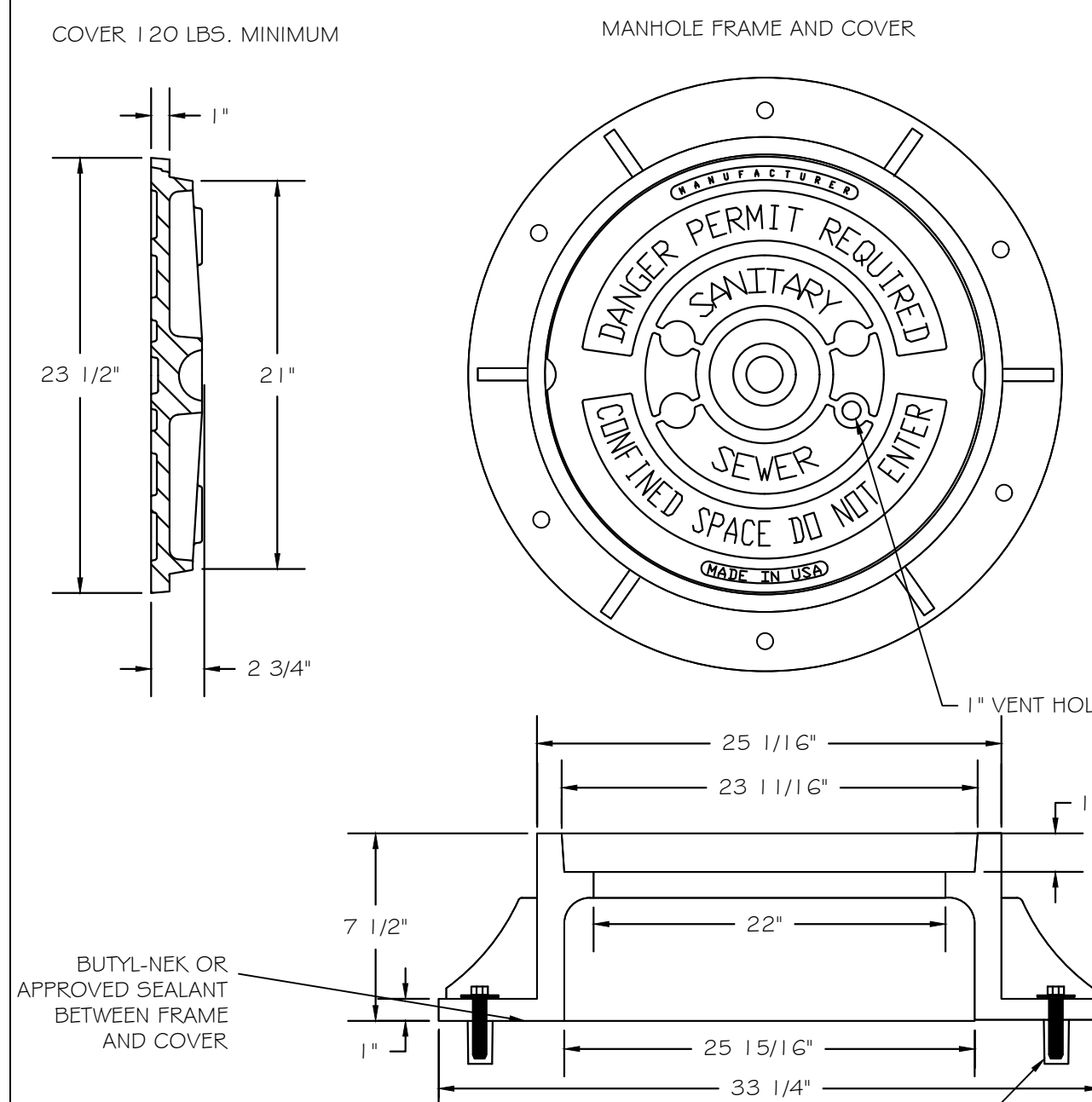
BILL OF MATERIAL FOR 4' MANHOLE					
BAR	SIZE	LENGTH	NO.	WT. LBS.	
T1	#5	6'-6"	20	136	
CL. 1" CONCRETE TOTAL CU. YDS.					1,361



BILL OF MATERIAL FOR 4' MANHOLE					
BAR	SIZE	LENGTH	NO.	WT. LBS.	
T2	#5	7'-6"	24	165	
CL. 1" CONCRETE TOTAL CU. YDS.					1,778

\* ALL BARS ARE MINIMUM 9" THICK

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
EXTENDED BASE OR CAST-IN-PLACE REINFORCED CONCRETE BASE					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-21	RRH	3-1-87	ABR	2-9-09	
		3-30-00			



**NOTES:**  
 1) ALL MANHOLE FRAMES SHALL BE DOMESTICALLY CAST.  
 2) FRAME SHALL BE A MINIMUM WEIGHT OF 182 LBS. WITHIN PUBLIC ROW AND 160 LBS. WITHIN EASEMENTS.  
 3) COVER SHALL WEIGH A MIN. OF 120 LBS.  
 4) ALL MANHOLE FRAMES OUTSIDE OF PAVED SURFACES SHALL BE BOLTED TO THE CONE SECTION OR RING WITH A MINIMUM OF 4 BOLTS PER FRAME.  
 5/8"x3" LAGSHELD IN HOLE DRILLED INTO CONE OR RING WITH ANCHOR SUNK TO DESIGN DEPTH, AND 3/8"x3" HOT DIPPED GALVANIZED LAG BOLT AND WASHER.

CITY OF RALEIGH					
DEPARTMENT OF PUBLIC UTILITIES					
STANDARD MANHOLE COVER					
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	
S-25	RRH	3-1-87	A.B.B.	2-9-05	
		3-30-00	D.H.L.	6-18-08	

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**EXISTING CONDITION NOTES:**  
 1. EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018.  
 2. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

**Kimley»Horn**  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM  
 #F-0102

KHA PROJECT  
 016145000  
 DATE  
 03/14/2023  
 SCALE AS SHOWN  
 DESIGNED BY AA  
 DRAWN BY AA  
 CHECKED BY TRC

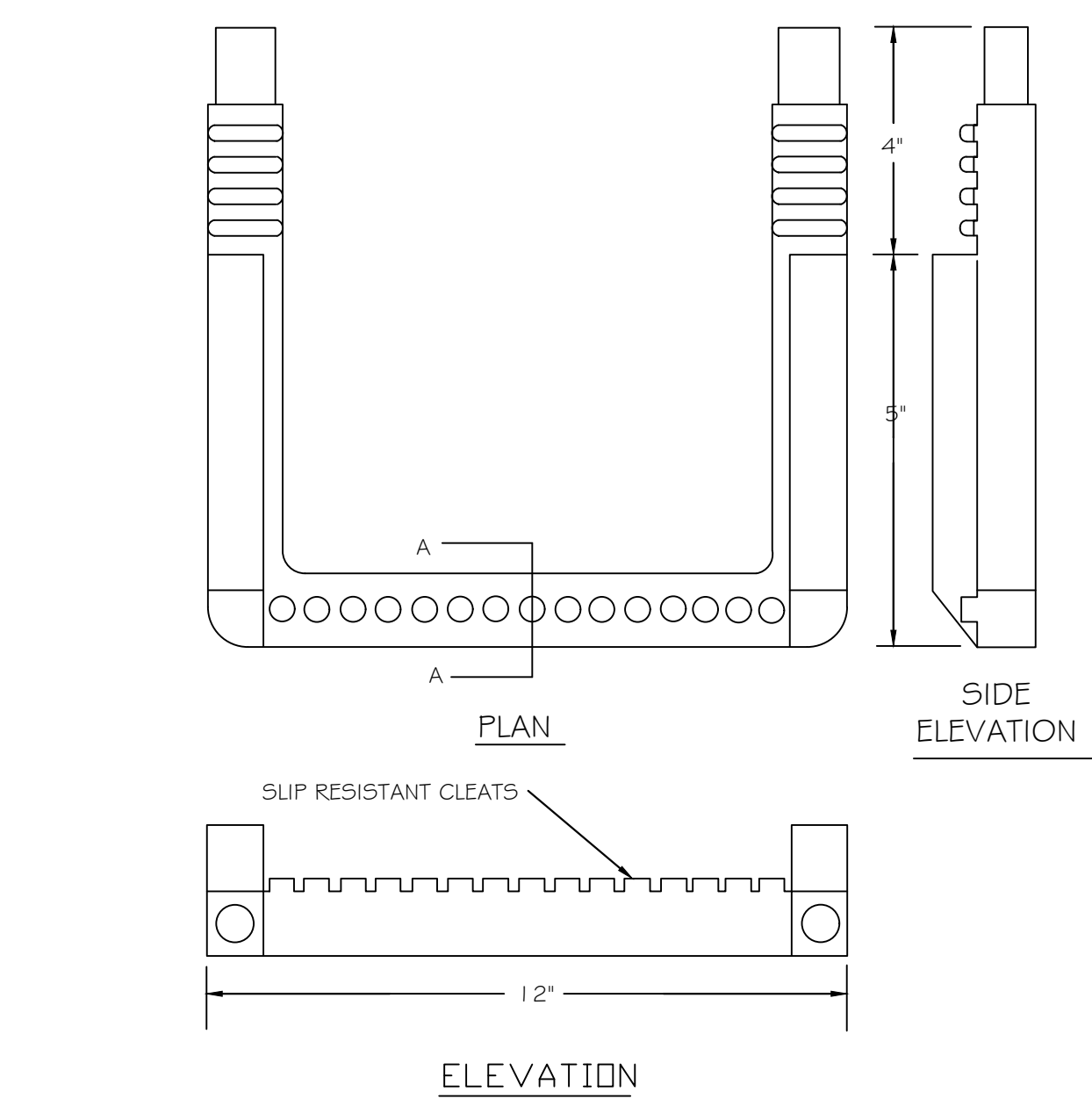
**STANDARD DETAILS**

**NASH SQUARE APTS**  
 PREPARED FOR  
**RALEIGH NASH SQUARE**  
**LLC**

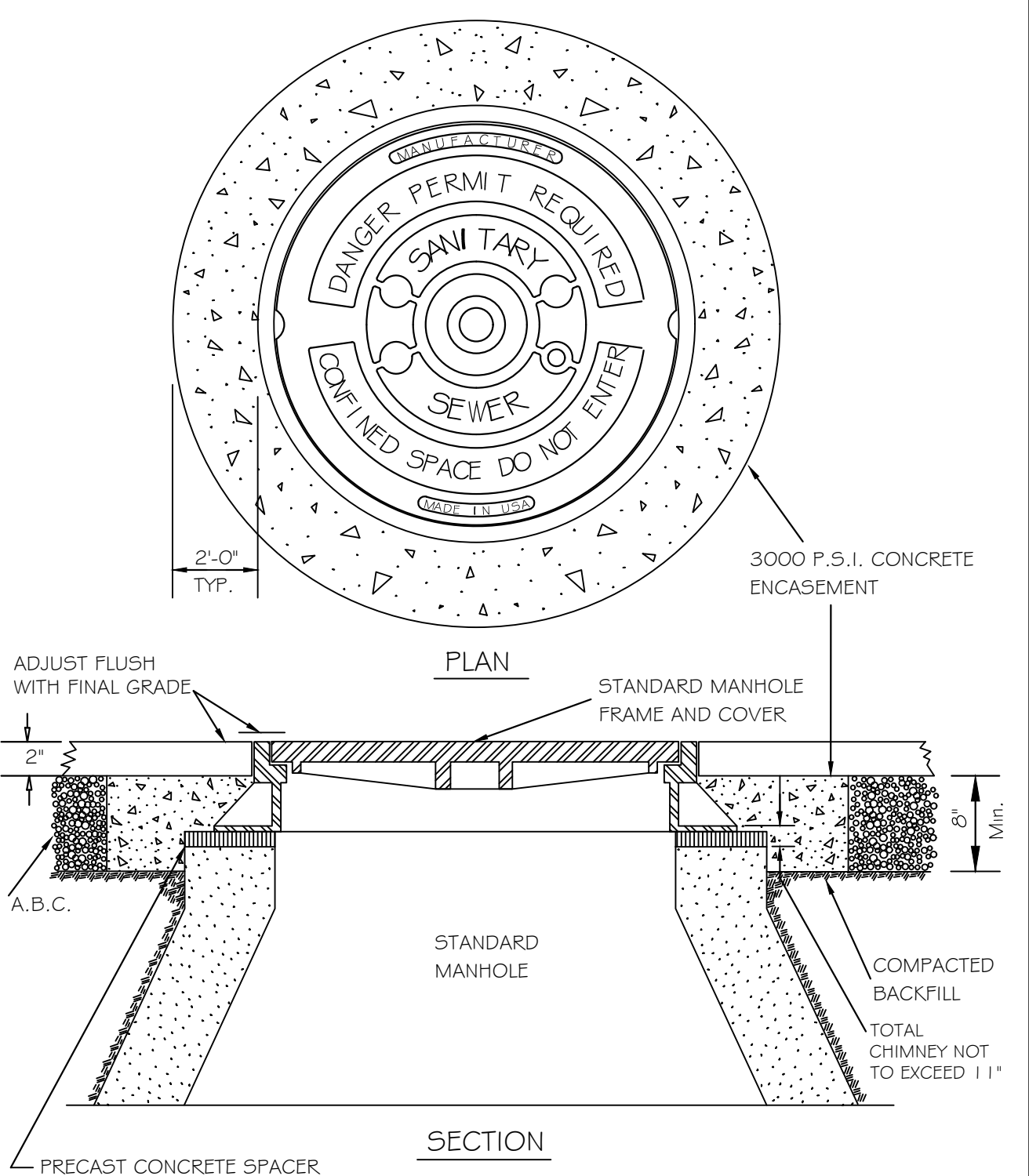
SHEET NUMBER  
**R4.0**

RALEIGH

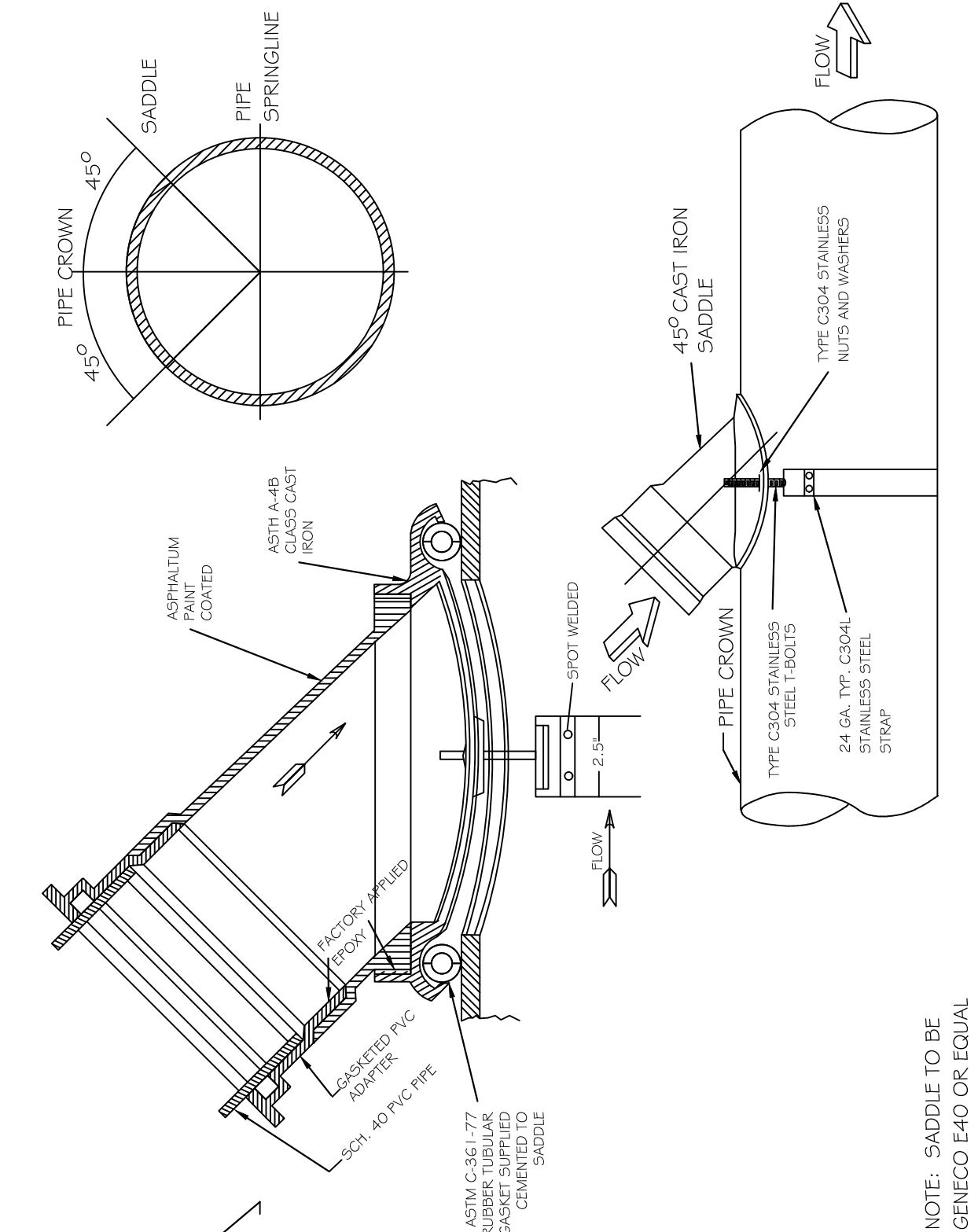
Plotted By: Elnof, Ted Sheet: Nash Square Apartments Layout: R5.0 STANDARD DETAILS March 13, 2023 10:03:48am K:\RAL\DEVA\16145000\_Nash\_Sq\_Apts\Planning\_Phase\15\_CAD\_Files\PlanSheets\R5.0 STANDARD DETAILS.dwg This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



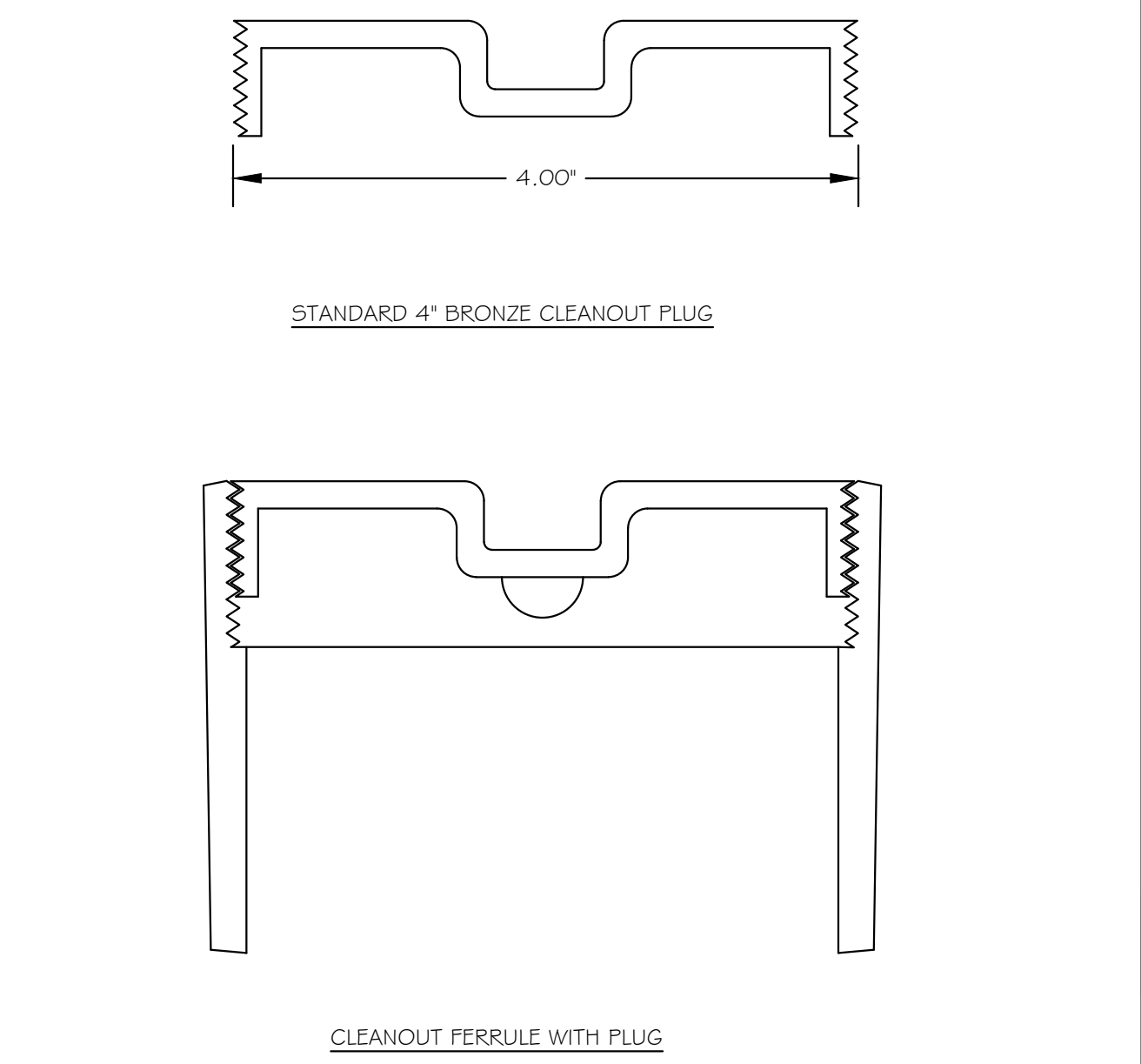
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD SLIP RESISTANT MANHOLE STEP DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-28	RRH	3-30-00		



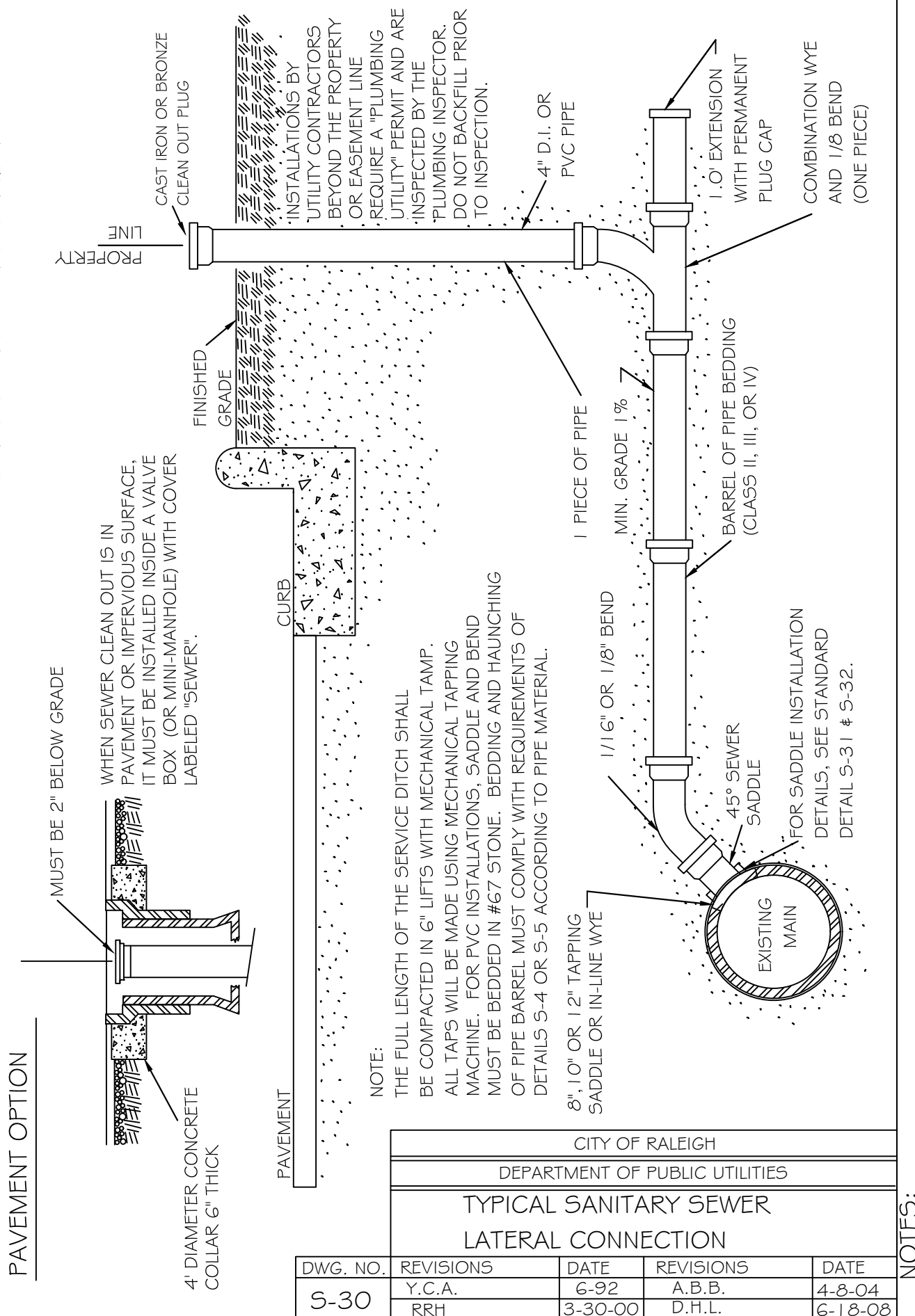
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD MANHOLE FRAME AND COVER DETAIL WITHIN PAVED SURFACES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-29	Y.C.A. RRH	12-31-91 3-30-00	ABB DHL	9-20-04 1-29-07



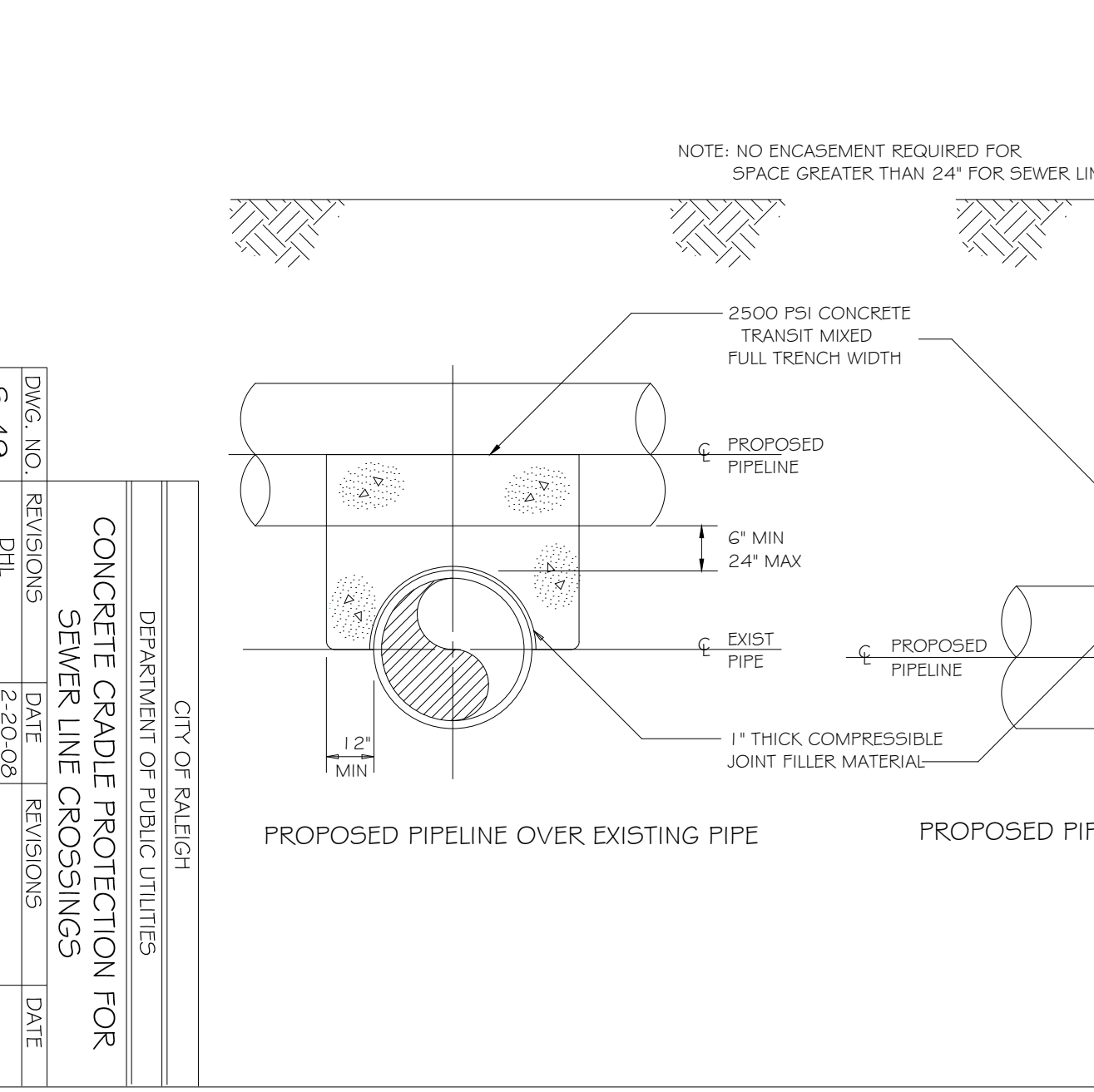
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES LATERAL SADDLE INSTALLATION DETAIL FOR VCP AND DUCTILE IRON PIPE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-32	RRH	3-1-87 3-30-00		



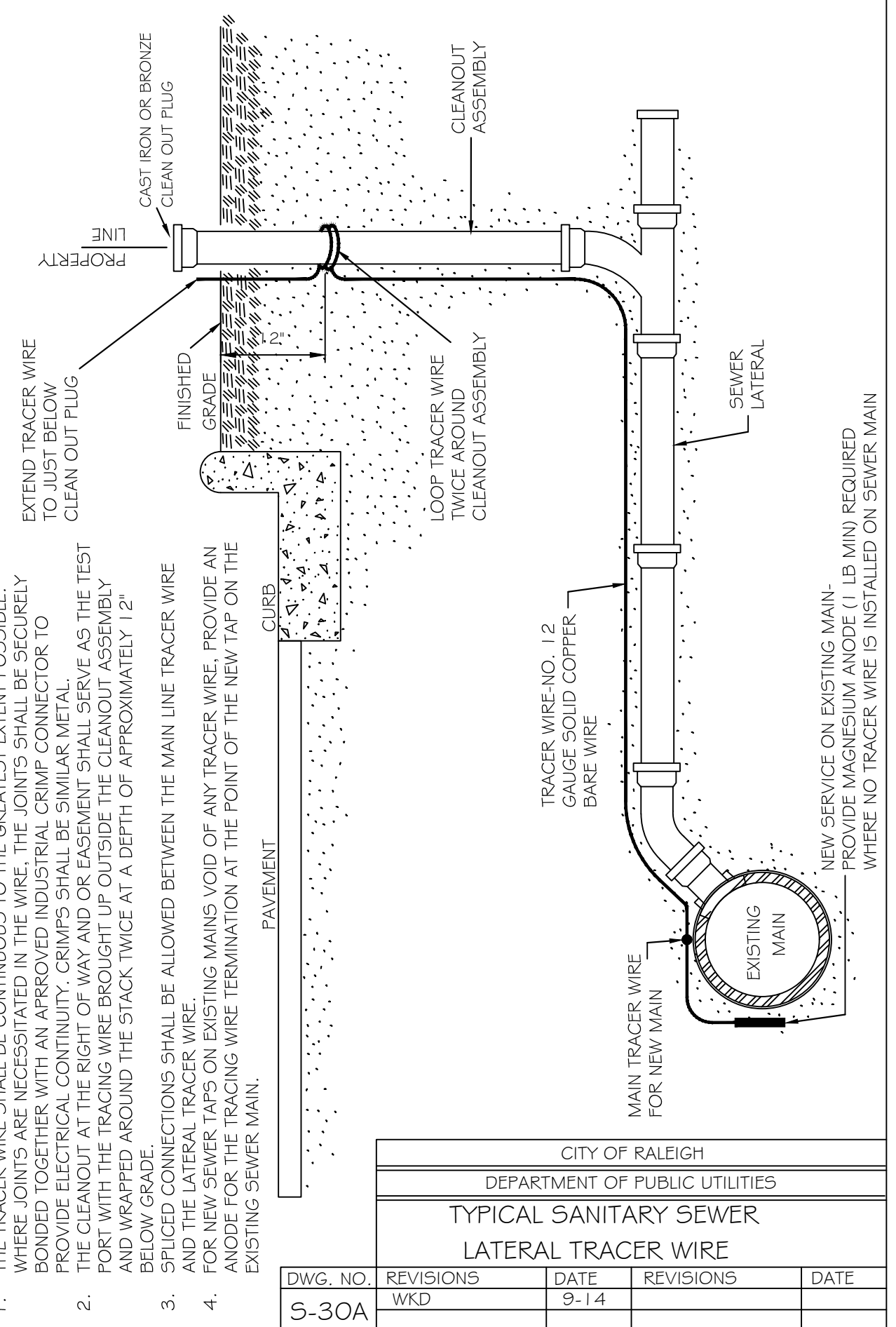
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES 4\"/>				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-34	D.W.C.	3-27-98	RRH	3-30-00



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES TYPICAL SANITARY SEWER LATERAL CONNECTION				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-30	Y.C.A. RRH	6-92 3-30-00	A.B.B. D.H.L.	4-8-04 6-18-08



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES CONCRETE CRADLE PROTECTION FOR SEWER LINE CROSSINGS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-29	DHL	2-20-08		



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES TYPICAL SANITARY SEWER LATERAL TRACER WIRE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-30A	WKD	9-14		

NOTES:  
 1. THE TRACER WIRE SHALL BE CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. WHERE JOINTS ARE NECESSARY IN THE WIRE, THE JOINTS SHALL BE SECURELY BONDED TOGETHER WITH AN APPROVED INDUSTRIAL CRIMP CONNECTOR TO PREVENT THE WIRE FROM MOVING OR BREAKING AT THE JOINTS.  
 2. THE CLEANOUT AT THE RIGHT OF WAY AND OR EASEMENT SHALL SERVE AS THE TEST POINT WITH THE TRACING WIRE BROUGHT UP OUTSIDE THE CLEANOUT ASSEMBLY AND WRAPPED AROUND THE STACK TWICE AT A DEPTH OF APPROXIMATELY 12" BELOW GRADE.  
 3. SPICED CONNECTIONS SHALL BE ALLOWED BETWEEN THE MAIN LINE TRACER WIRE FOR NEW SEWER TAPS ON EXISTING MAINS VOID OF ANY TRACER WIRE. PROVIDE AN ANODE FOR THE TRACING WIRE TERMINATION AT THE POINT OF THE NEW TAP ON THE EXISTING SEWER MAIN.  
 4. NEW SERVICE ON EXISTING MAINS PROVIDE MAGNESIUM ANODE (1 LB. MIN) REQUIRED WHERE NO TRACER WIRE IS INSTALLED ON SEWER MAIN.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

EXISTING CONDITION NOTES:  
 1. EXISTING INFORMATION TAKEN FROM AN ALTA/NISPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018.  
 2. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

**Kimley»Horn**  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM #F-0102

**NASH SQUARE APTS**  
 PREPARED FOR  
**RALEIGH NASH SQUARE LLC**

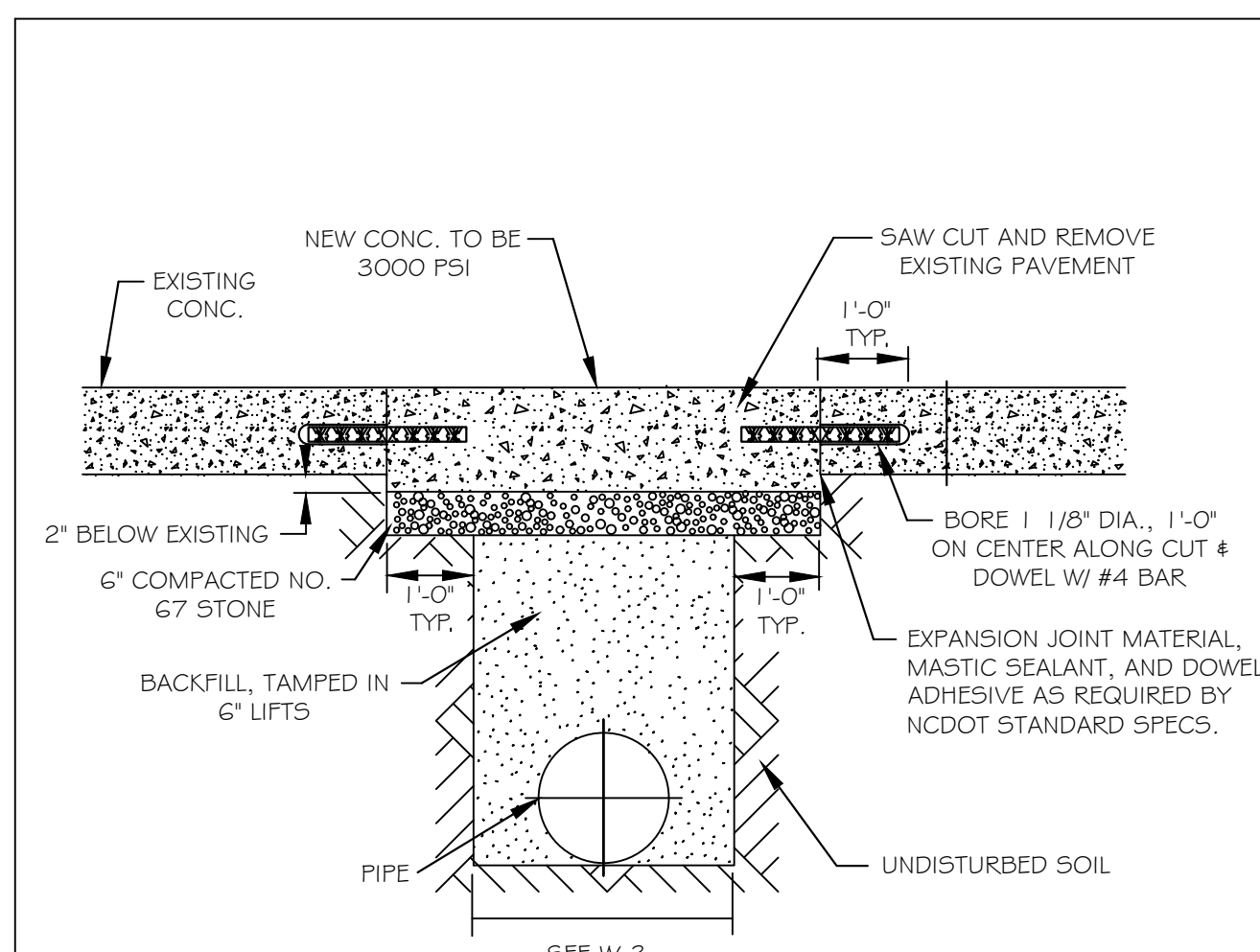
**STANDARD DETAILS**

RALEIGH NC

SHEET NUMBER  
**R5.0**

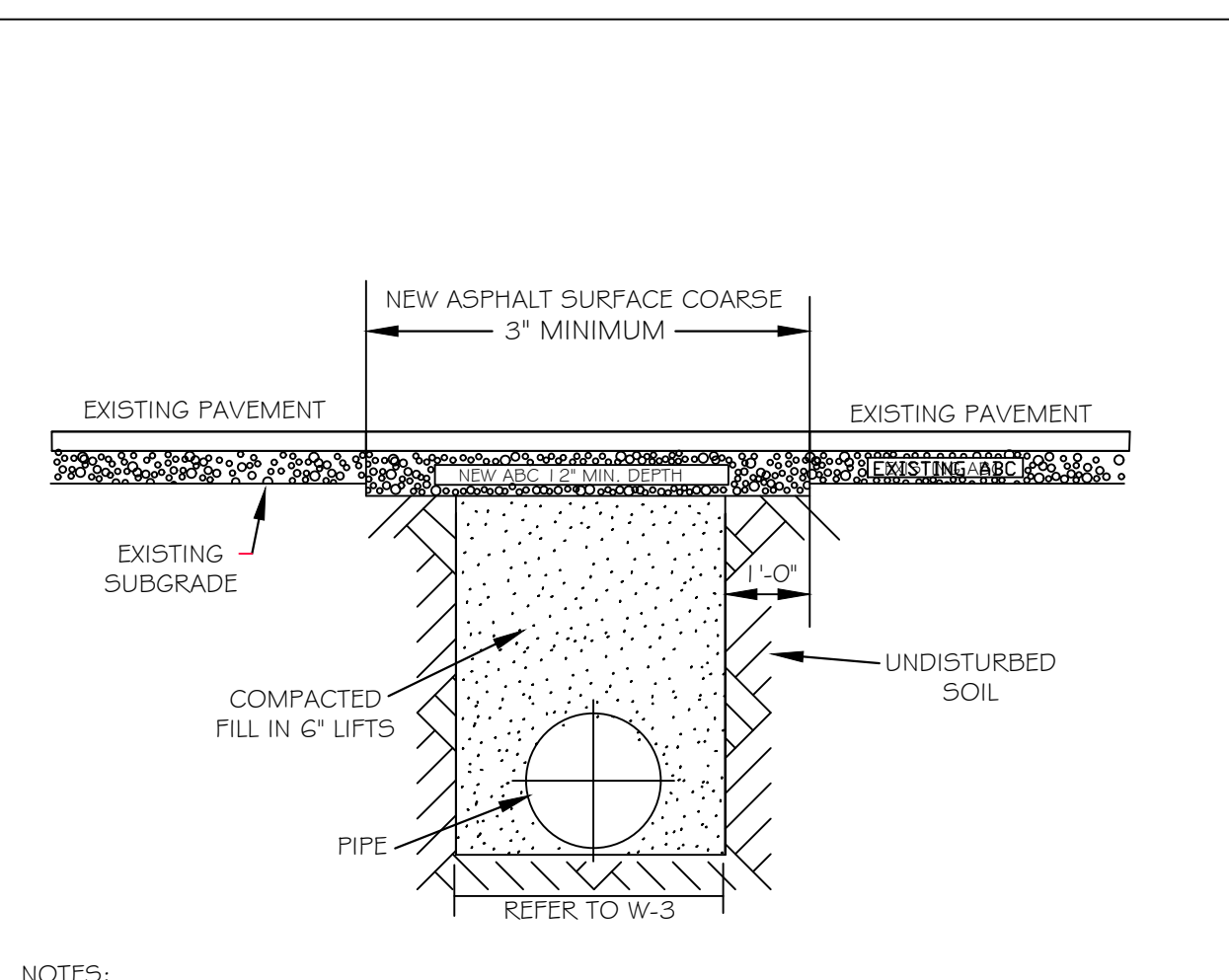
No.	REVISIONS	DATE	BY

Plotted By: Elnof, Ted Sheet: Nash Square Apartments - Layout: R6.0 STANDARD DETAILS - March 13, 2023 10:04:03am K:\RAL\DEVA\016145000\_Nash\_Sq\_Apts\_Planning\_Phase\F15\_CAD\_Files\PlanSheets\R6.0 STANDARD DETAILS.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



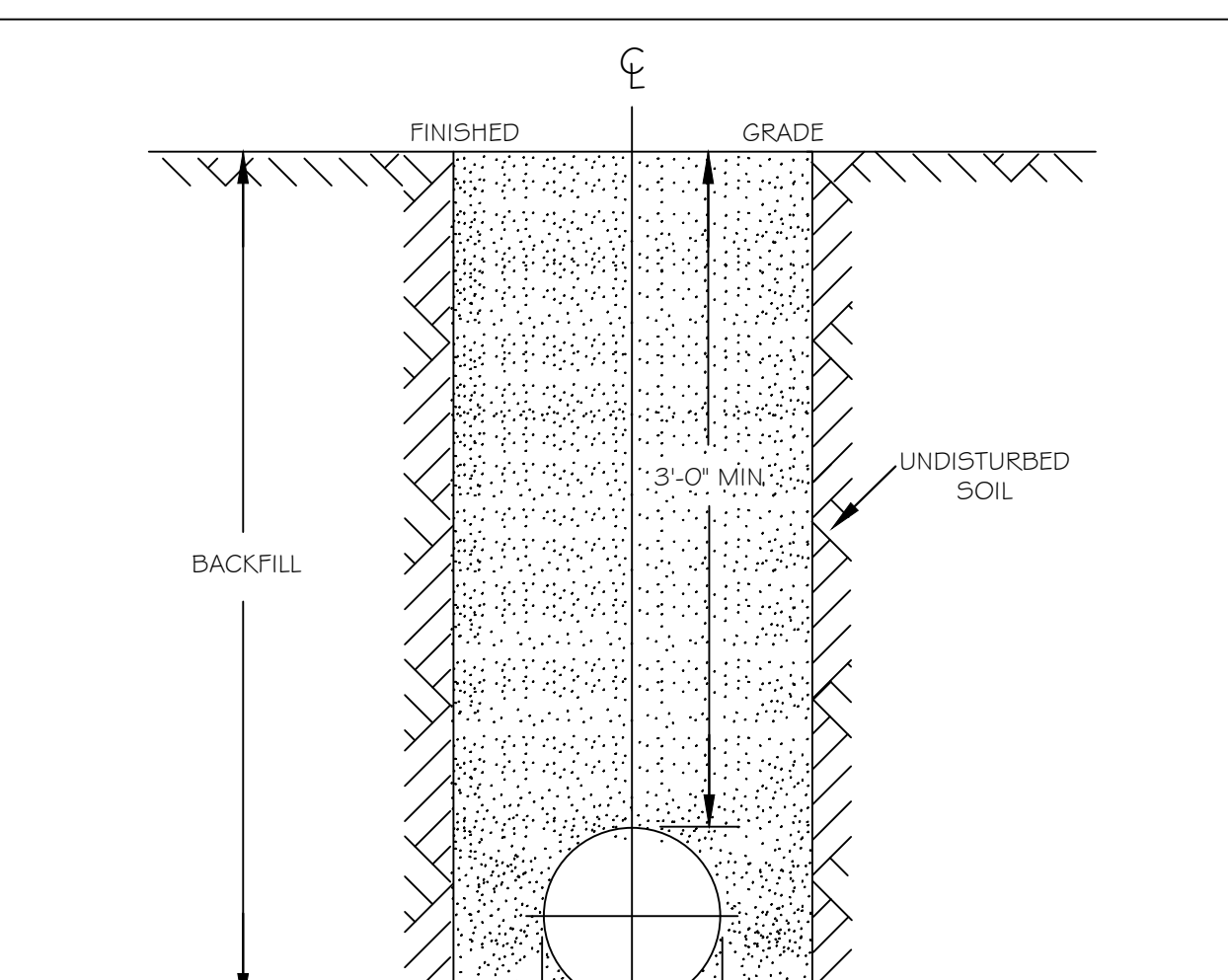
- NOTES:
- SEE CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING W-3 FOR ADDITIONAL DETAILS.
  - PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.
  - THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROVED SAW CUT MACHINE.
  - THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT. 5. THE FINAL 6" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-80 AS MODIFIED BY NCDOT.
  - THE ENTIRE THICKNESS/ VERTICAL EDGE OF CUT SHALL BE TACKED.
  - THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
  - THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
  - REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING, W-3, FOR ADDITIONAL DETAILS.
  - NO HAND PATCHING ALLOWED.
  - PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD CONCRETE PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-1	RRH	3-31-00	A.B.B.	10-29-10
	A.B.B.	2-8-05	MAB	10-31-13



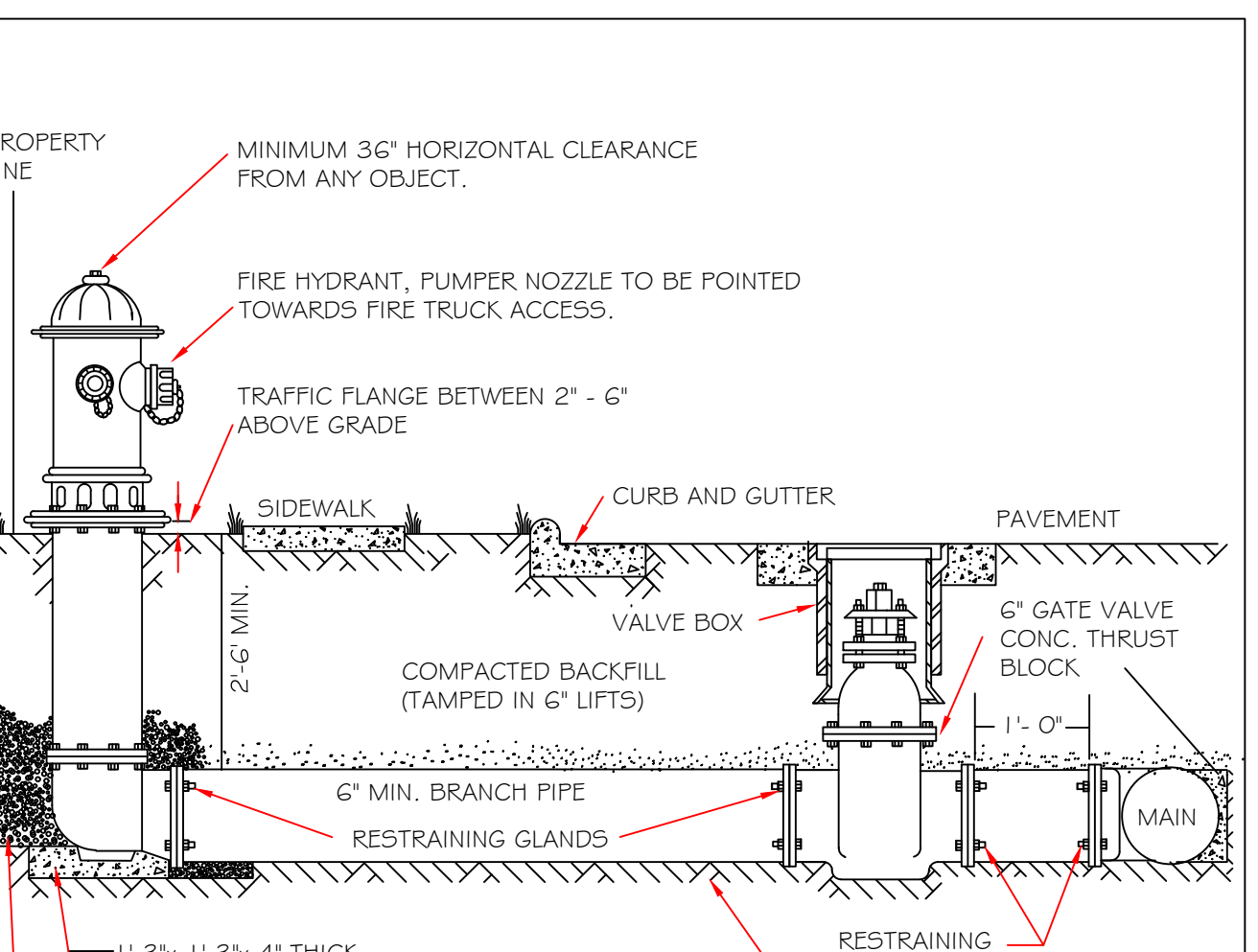
- NOTES:
- THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAW CUT MACHINE.
  - THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
  - THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-80 AS MODIFIED BY NCDOT.
  - THE ENTIRE THICKNESS/ VERTICAL EDGE OF CUT SHALL BE TACKED.
  - THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
  - THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
  - REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING, W-3, FOR ADDITIONAL DETAILS.
  - NO HAND PATCHING ALLOWED.
  - PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-2	RRH	3-31-00	A.B.B.	4-16-04
	D.W.C.	11-1-99	J.P.S.	10-29-10



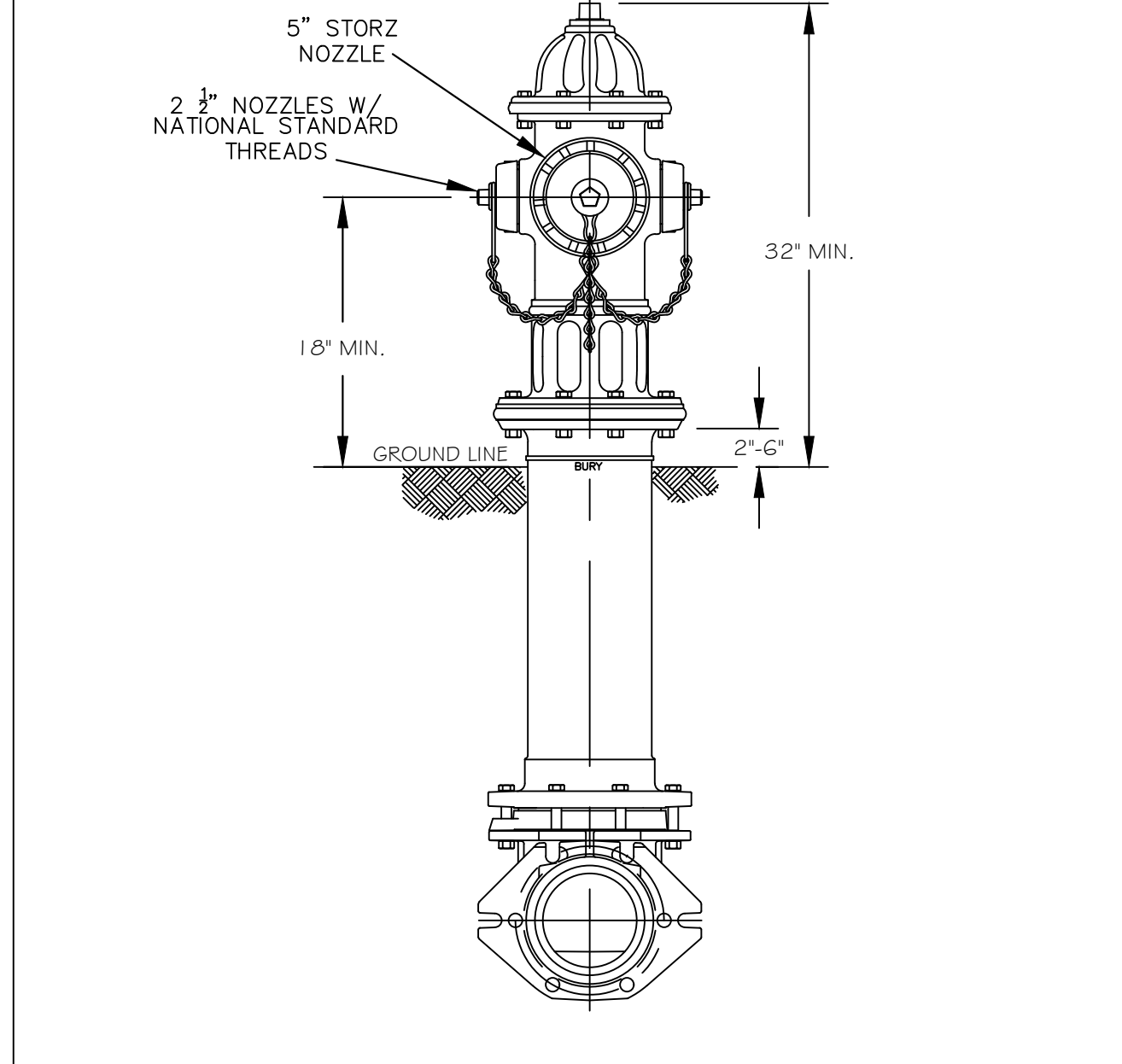
- NOTES:
- TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  - NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN BACKFILL.
  - ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
  - BACKFILL SHALL BE TAMPED IN 6" LIFTS.
  - ACHIEVE 95% COMPACTION IN BACKFILL.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-3	D.W.C.	9-3-99	ABB	2-15-05
	RRH	3-31-00	J.P.S.	10-29-10



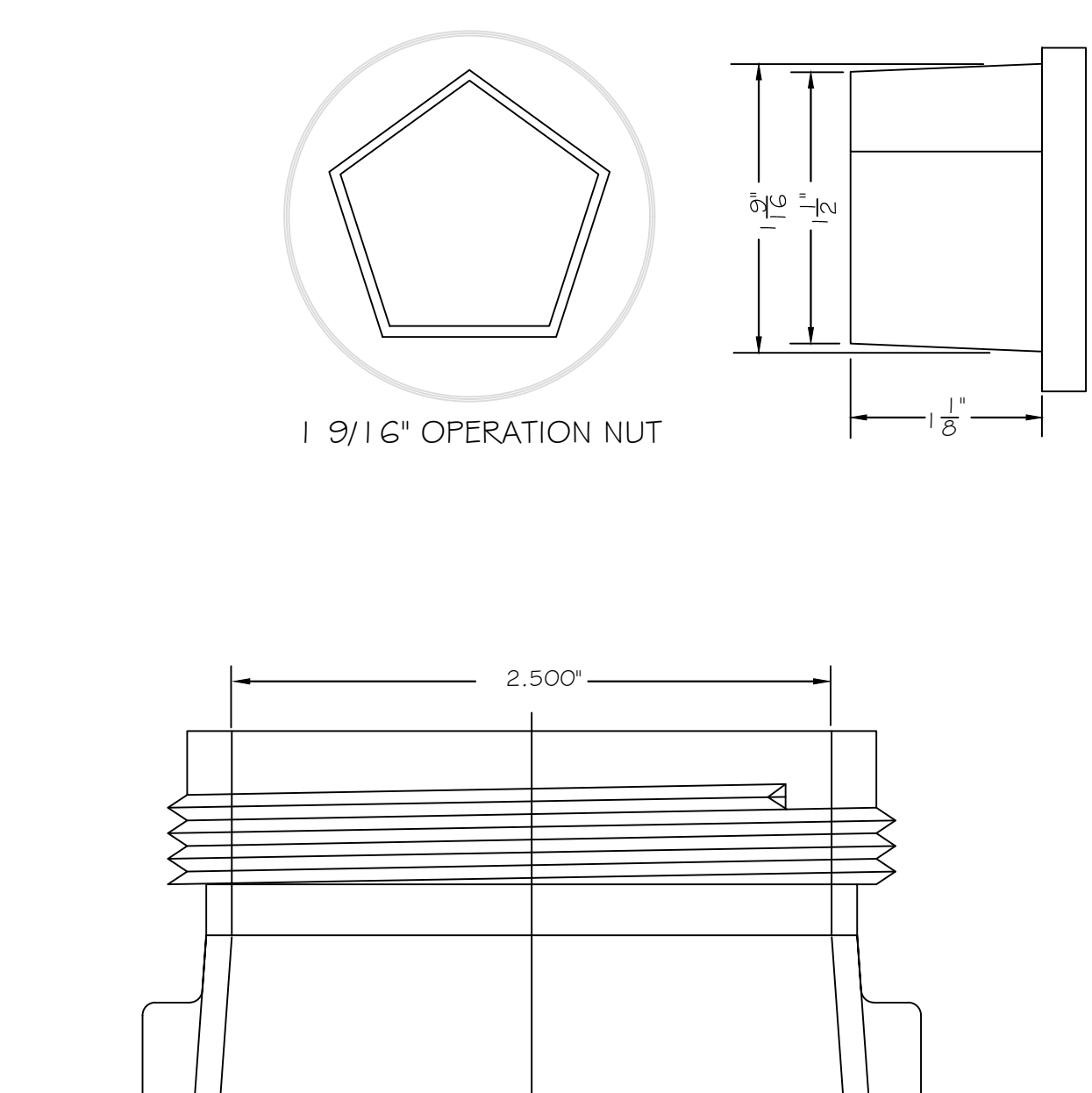
- NOTES:
- FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARLING, KENNEDY, MHF, WATERLOUS, GLOW, EAST JORDAN IRON WORKS, OR LUS PIPE.
  - BRANCH PIPE SHALL BE DUCTILE IRON AWWA C150-96
  - 6" GATE VALVE SHALL BE AWWA C500-86 OPEN LEFT
  - STEEL RODS AND BOLTS SHALL BE 3/8" HOT DIPPED GALVANIZED
  - FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION. RODS SHALL NOT BE COUPLED MORE THAN ONCE. IF THE LENGTH FROM THE VALVE TO THE HYDRANT EXCEEDS 20' THEN A MECHANICAL RESTRAINING GLAND WITH A REBAR CAGE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE. FIRE HYDRANTS TO BE LOCATED IN ROW OR 2 FOOT EASEMENT ADJACENT TO ROW

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD FIRE HYDRANT INSTALLATION DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-4	ABB	4-6-04	PAP	2/7/09
	D.H.L.	2/14/06		



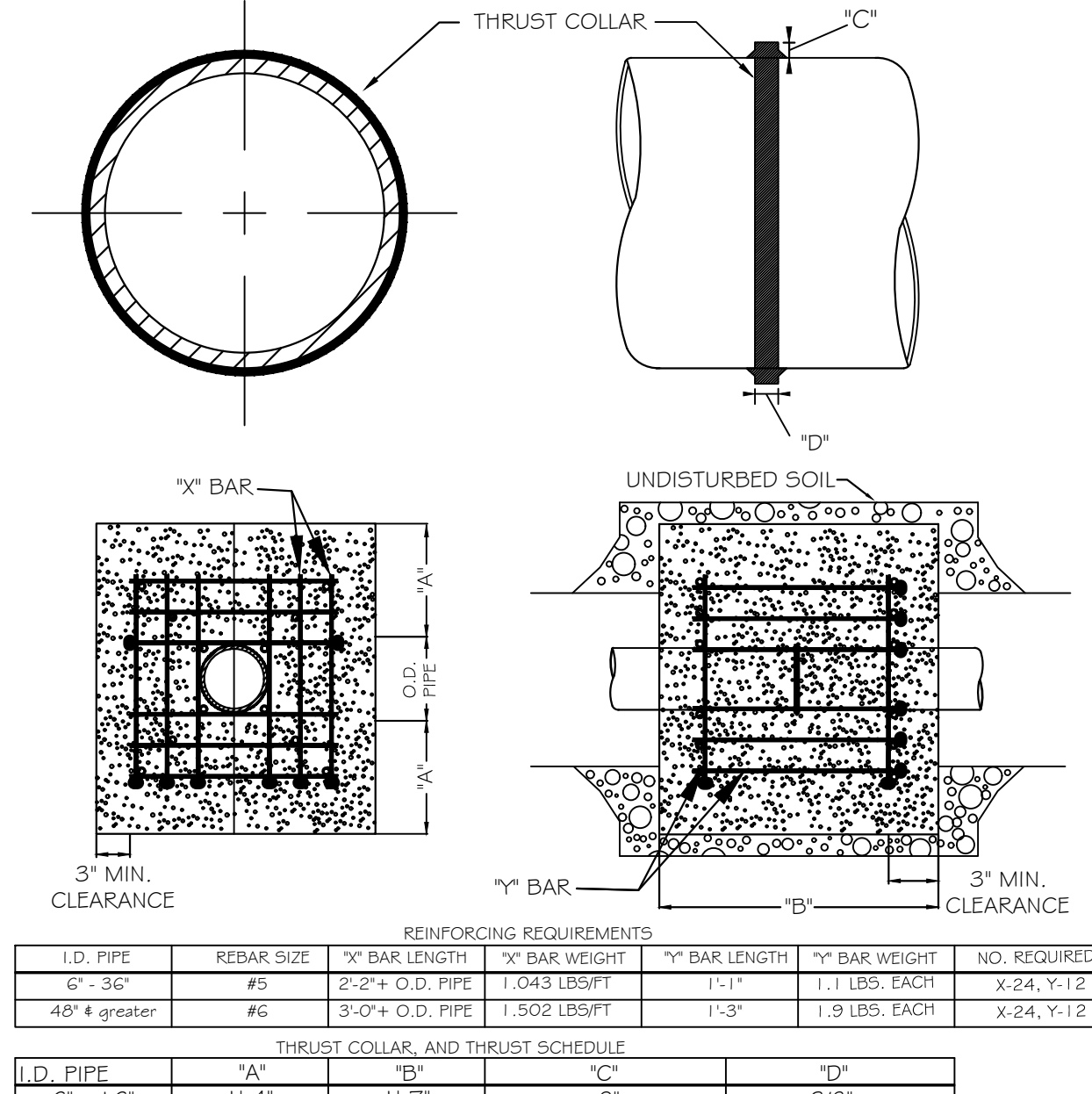
- NOTES:
- ALL PUBLIC FIRE HYDRANTS IN THE CITY OF RALEIGH AND THE MERGER TOWNS OF GARNER, ROLESVILLE, WAKE FOREST, KNIGHTDALE, WENDELL AND ZEBULON SHALL BE PAINTED CHROME YELLOW WITH HIGH REFLECTIVE ALUMINUM SILVER CAPS, BONNETS AND OPERATING NUTS.
  - ALL PRIVATE FIRE HYDRANTS SHALL BE RED.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD FIRE HYDRANT WITH 5\"/>				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-5	MAB	6-30-16		
	KAT	9-15-17		

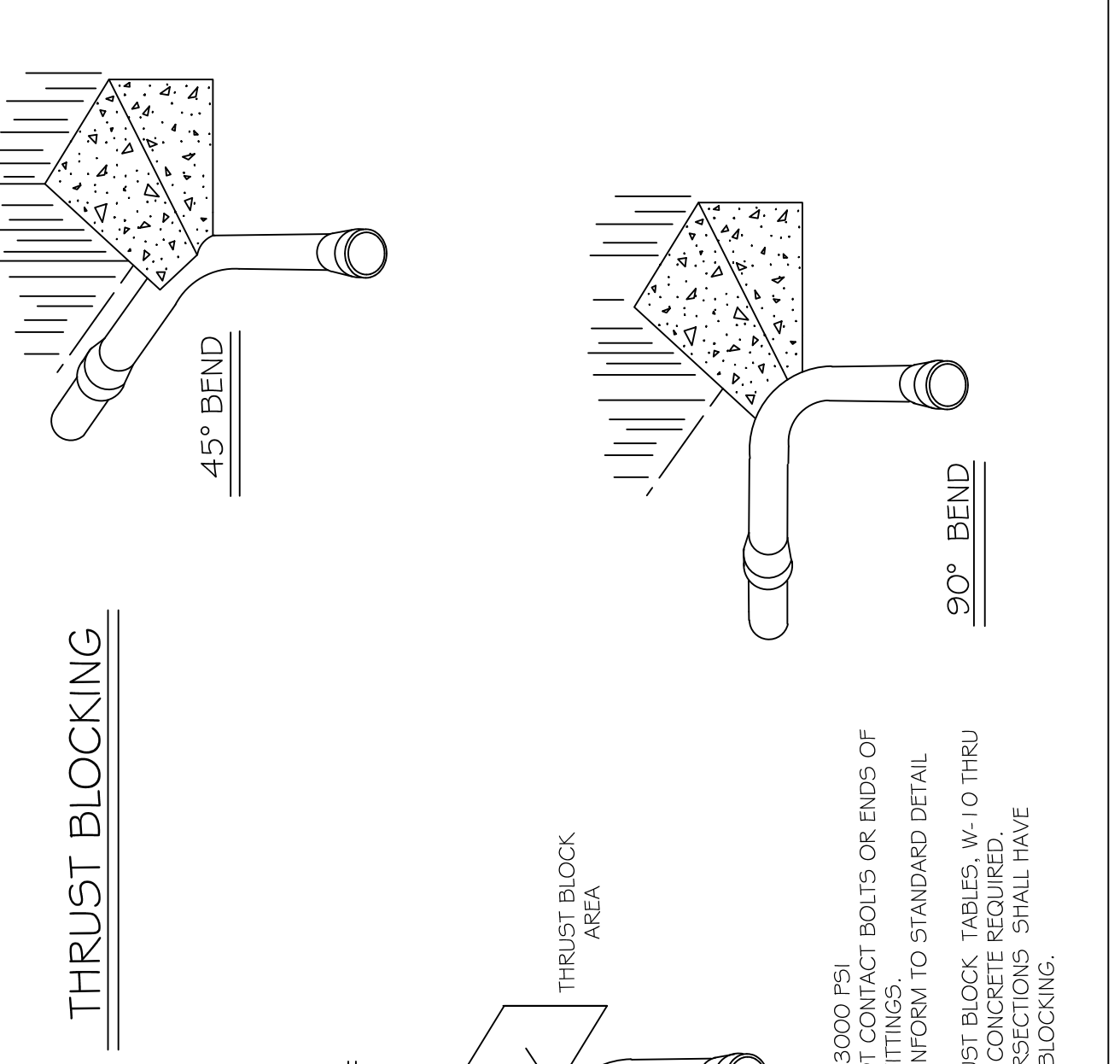


- NOTES:
- SEE STANDARD DETAIL W-9 FOR THRUST BLOCK LOCATIONS.
  - CONCRETE SHALL BE 3000 PSI AND TRANSIT MIXED.
  - REINFORCING BARS SHALL BE DEFORMED AND TIED TOGETHER.
  - TRENCH BOTTOM WIDTH IN VICINITY OF THRUST BLOCK INSTALLATION SHALL BE THE MINIMUM WIDTH AS SHOWN ON STANDARD DETAIL W-3.
  - BACKFILL TAMPED IN 6" LIFTS PER STANDARD DETAIL W-3.
  - THRUST COLLAR MUST BE FACTORY WELDED ON BOTH SIDES ALONG BOTH EDGES OF COLLAR AROUND CIRCUMFERENCE.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
HYDRANT OPERATING NUT AND 2 1/2\"/>				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-6	RRH	3-31-00	D.H.L.	2-18-08
	A.B.B.	4-13-04	J.P.S.	11-1-10



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
THRUST BLOCKING DESIGN DATA FOR WATER MAINS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-7	RRH	1-21-00	J.P.S.	11-1-10
	D.H.L.	6-18-08		



- NOTES:
- CONCRETE SHALL BE 3000 PSI
  - CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
  - TRENCHES SHALL CONFORM TO STANDARD DETAIL W-3
  - SEE STANDARD THRUST BLOCK TABLES W-10 THRU W-11 FOR AREA OF CONCRETE REQUIRED.
  - ALL BENDS AND INTERSECTIONS SHALL HAVE CONCRETE THRUST BLOCKING.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD THRUST BLOCKING VIEWS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-9	D.W.C.	3-1-87	RRH	3-31-00
	D.H.L.	9-7-99	D.H.L.	6-18-08

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

- EXISTING CONDITION NOTES:
- EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018.
  - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

**Kimley»Horn**  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM  
 # - 0102

KHA PROJECT  
 016145000  
 DATE  
 03/14/2023  
 SCALE AS SHOWN  
 DESIGNED BY AA  
 DRAWN BY AA  
 CHECKED BY TRC

STANDARD DETAILS

NASH SQUARE APTS  
 PREPARED FOR  
 RALEIGH NASH SQUARE  
 LLC

SHEET NUMBER  
**R6.0**

Plotted By: Elnof, Ted Sheet: Set: Nash Square Apartments Layout: R7.0 STANDARD DETAILS March 13, 2023 10:04:16am K:\REAL\DEVA\16145000\_Nash Sq. Apts\Planning Phase\15\_CAD Files\PlanSheets\R7.0 STANDARD DETAILS.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS  
BASED ON TEST PRESSURE OF 200 P.S.I.

ALL AREAS GIVEN IN SQUARE FEET.

SIZE AND DEGREE OF BEND	SOFT CLAY 2000 LB/SQ FT							
	1 1/4"	2"	3"	4"	6"	8"	10"	12"
11 1/4°	1,108	1	1	1	1	1	2	1
22 1/2°	2,207	1	2	2	1	1	3	1
45°	4,326	2	3	3	1	1	5	1
90°	7,996	2	4	5	1	1	8	1
PLUG	5,655	2	3	4	1	1	6	1
8"								
11 1/4°	1,970	1	1	2	1	1	2	1
22 1/2°	3,922	1	2	3	1	1	4	1
45°	7,694	2	4	5	1	1	8	1
90°	14,215	4	8	9	2	2	15	2
PLUG	10,053	3	5	6	2	2	10	1
12"								
11 1/4°	4,433	2	3	3	1	1	5	1
22 1/2°	8,826	3	5	6	2	2	9	1
45°	17,312	5	9	11	3	3	18	2
90°	31,983	8	16	19	4	4	32	4
PLUG	22,619	6	12	14	3	3	23	3
16"								
11 1/4°	7,881	2	4	5	1	1	8	1
22 1/2°	15,691	4	8	10	2	2	16	2
45°	30,779	8	16	19	4	4	31	4
90°	56,861	15	29	35	8	8	57	6
PLUG	40,213	10	21	25	5	5	41	5

REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS  
BASED ON TEST PRESSURE OF 200 P.S.I.

ALL AREAS GIVEN IN SQUARE FEET.

SIZE AND DEGREE OF BEND	MODERATELY DRY CLAY							
	1 1/4"	2"	3"	4"	6"	8"	10"	12"
11 1/4°	17,734	5	9	11	3	3	18	2
22 1/2°	35,305	9	18	22	5	5	36	4
45°	69,252	18	35	42	9	9	72	7
90°	127,936	32	64	77	16	16	128	13
PLUG	90,478	23	46	55	12	12	91	10
30"								
11 1/4°	27,709	7	14	17	4	4	23	3
22 1/2°	55,163	14	28	34	7	7	46	6
45°	108,206	28	55	65	14	14	91	11
90°	199,900	50	100	120	25	25	200	20
PLUG	141,372	36	71	85	18	18	142	15
36"								
11 1/4°	39,901	10	20	24	5	5	30	4
22 1/2°	79,439	20	40	48	10	10	60	8
45°	155,816	39	78	94	20	20	120	16
90°	287,855	72	144	172	36	36	288	29
PLUG	203,575	51	102	122	26	26	204	21
48"								
11 1/4°	70,935	18	36	43	9	9	54	8
22 1/2°	141,218	36	71	85	18	18	108	15
45°	277,007	70	139	166	35	35	214	28
90°	511,742	128	256	320	64	64	428	52
PLUG	361,911	91	181	217	46	46	362	37

REACTION BEARING AREAS ARE IN SQUARE FEET MEASURED IN A VERTICAL PLANE IN THE TRENCH SIDE AT AN ANGLE OF 90° TO THE THRUST VECTOR.

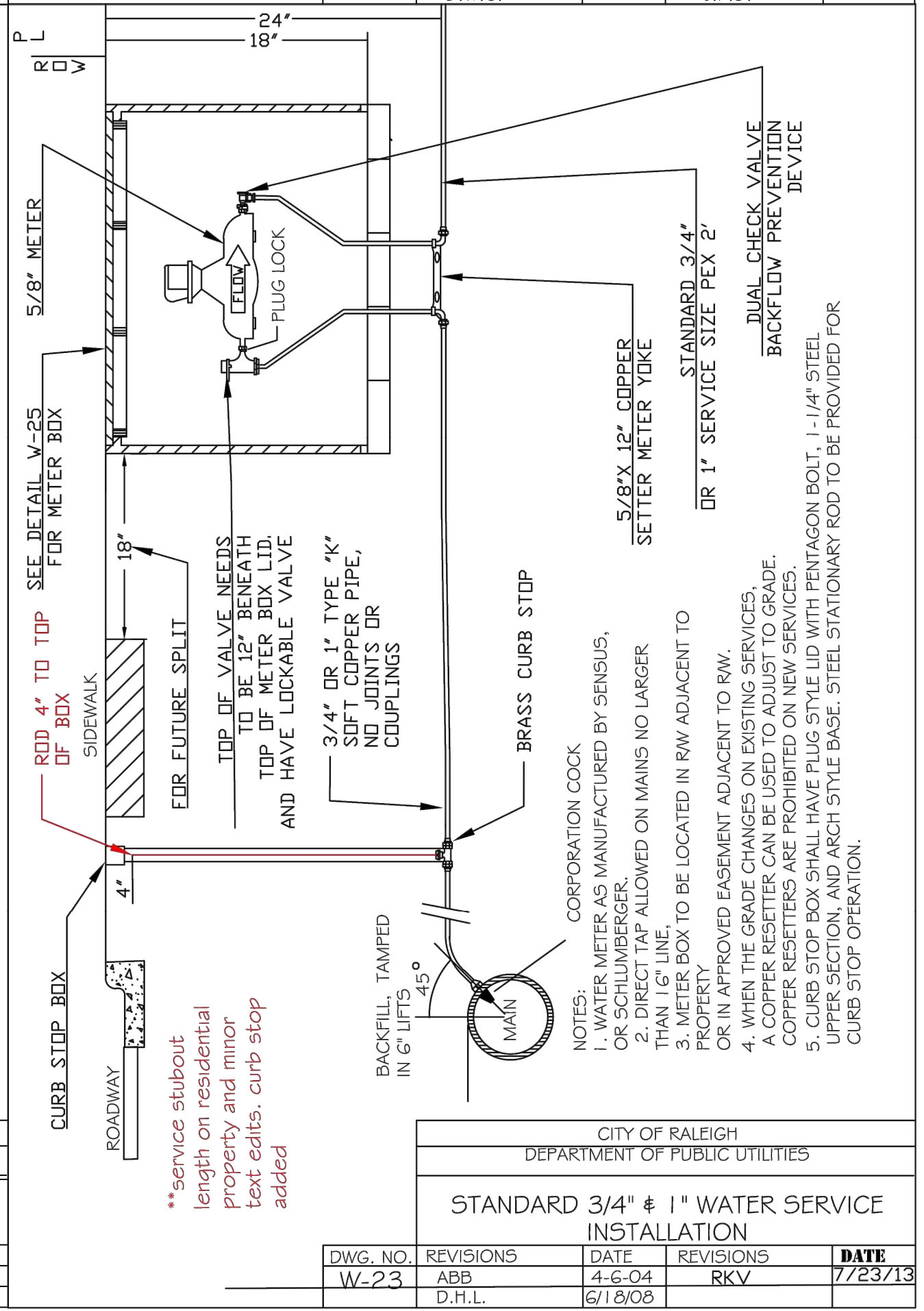
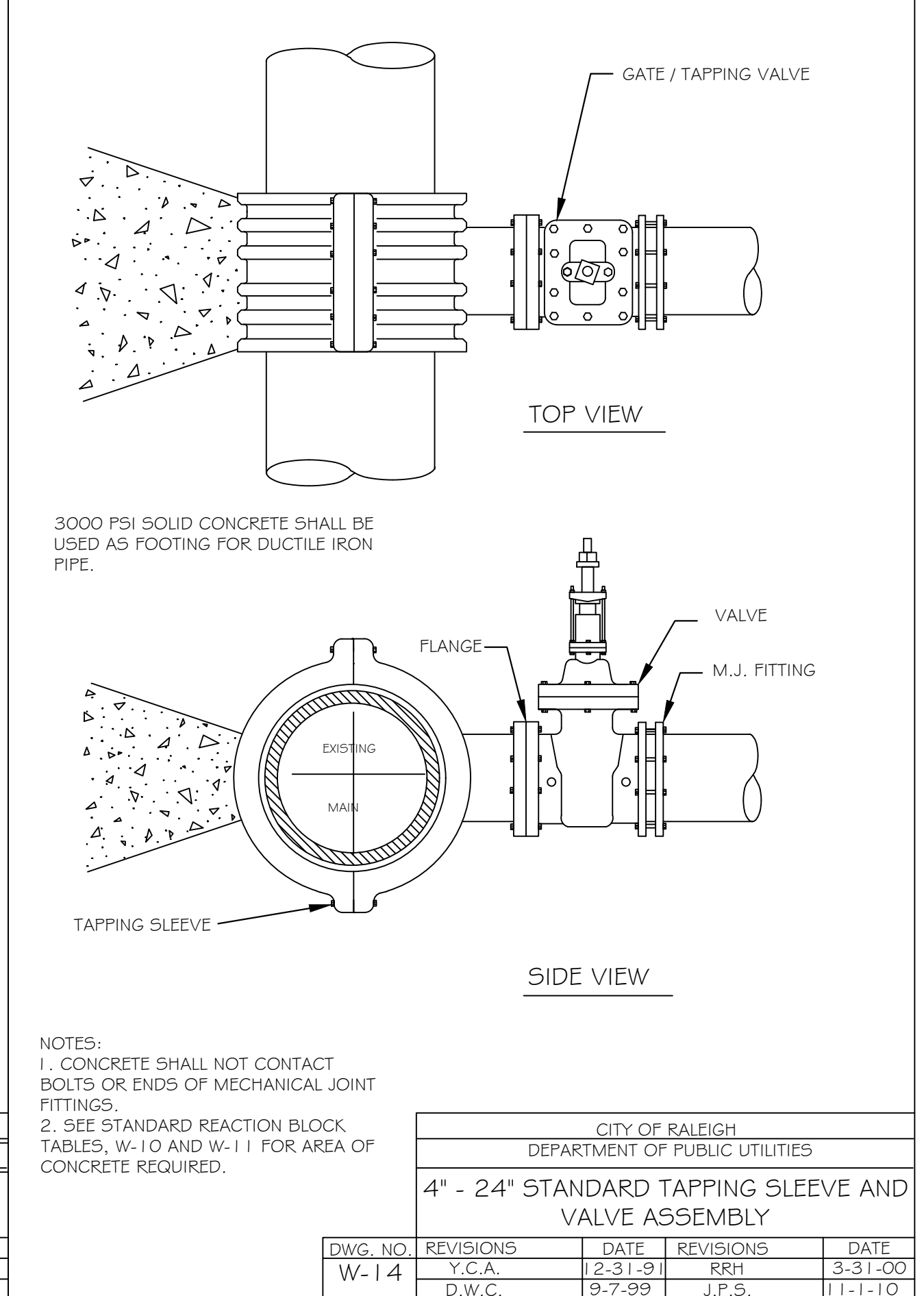
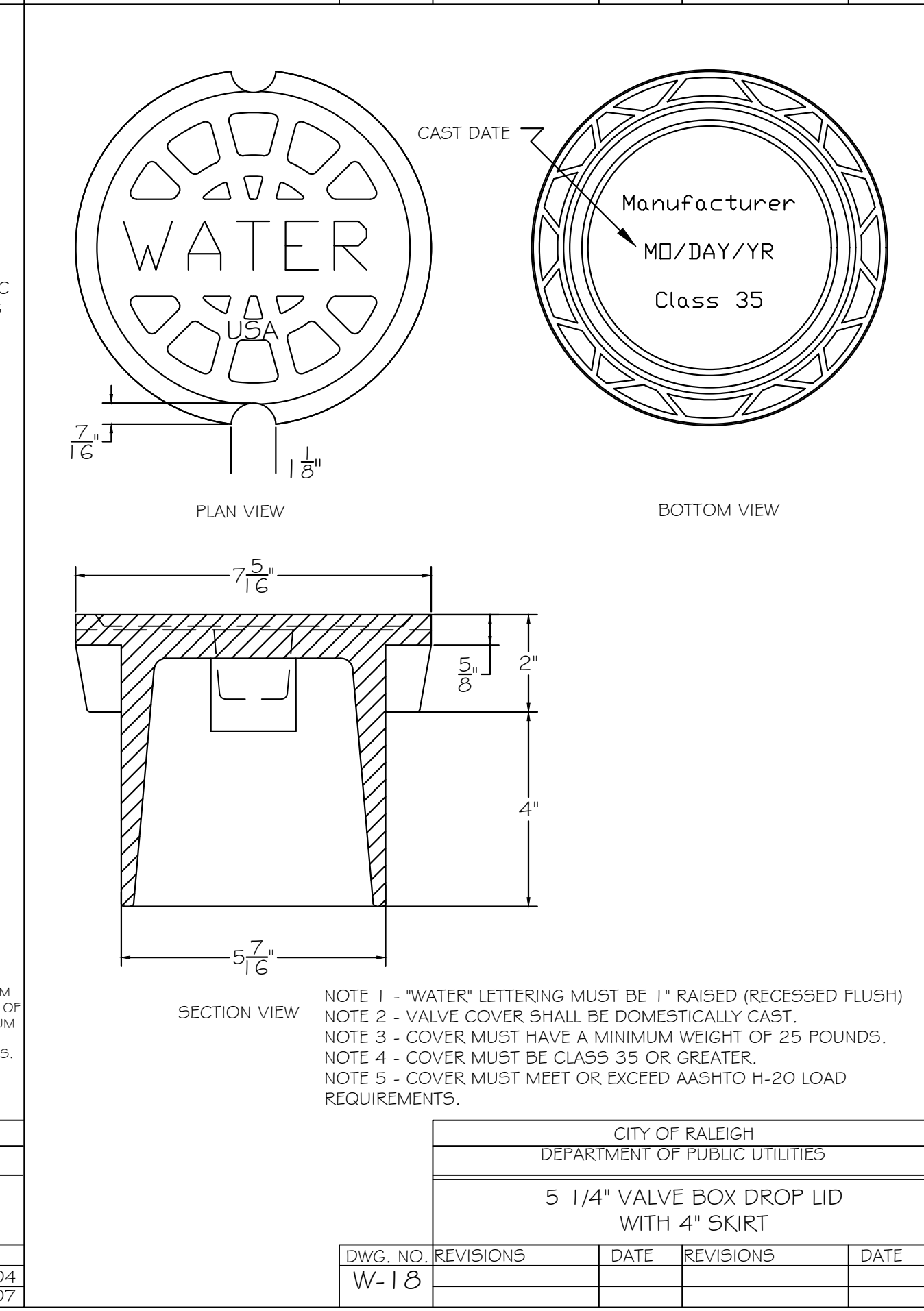
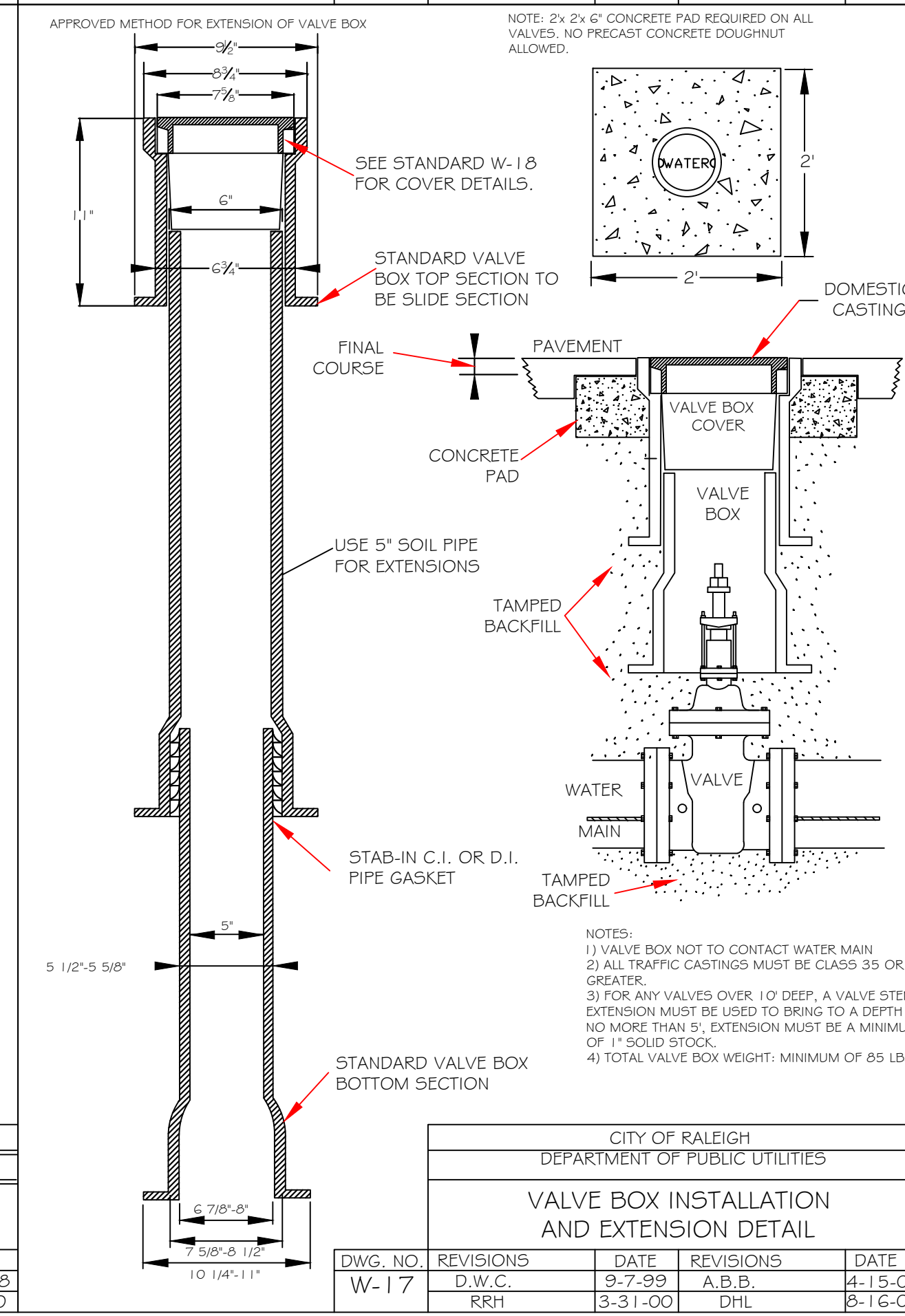
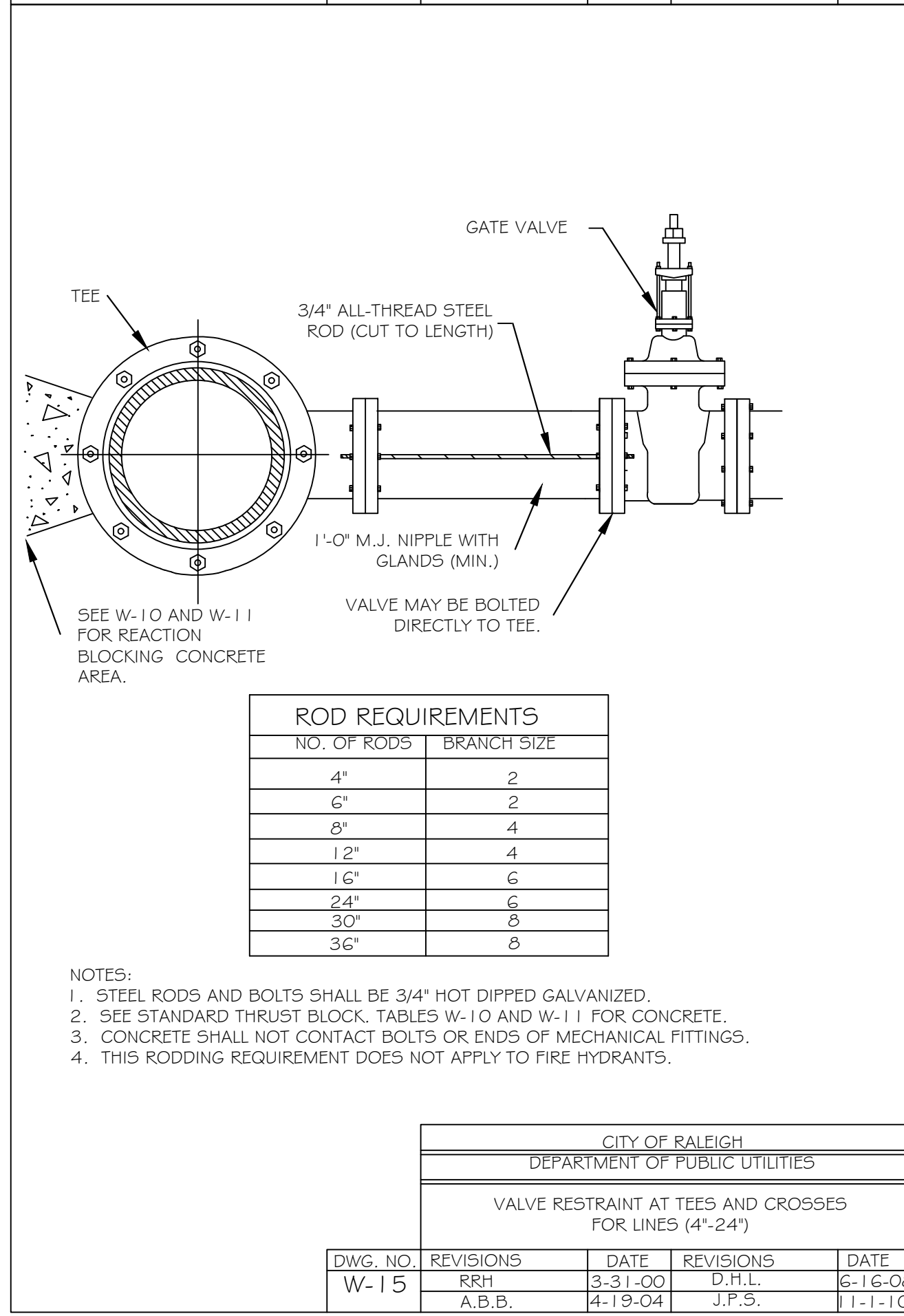
USE 6" - 90° BEND VALUE FOR HYDRANTS FOR ADDITIONAL SAFETY FACTOR.

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-10		6-23-99		

REACTION BEARING AREAS ARE IN SQUARE FEET MEASURED IN A VERTICAL PLANE IN THE TRENCH SIDE AT AN ANGLE OF 90° TO THE THRUST VECTOR.

USE 6" - 90° BEND VALUE FOR HYDRANTS FOR ADDITIONAL SAFETY FACTOR.

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-11		6-23-99		



CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
VALVE RESTRAINT AT TEES AND CROSSES FOR LINES (4"-24")

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-15		3-31-00		6-16-08
	A.B.B.	4-19-04	J.P.S.	11-11-10

CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
VALVE BOX INSTALLATION AND EXTENSION DETAIL

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-17		9-7-99		4-15-04
	R.R.H.	3-31-00	D.H.L.	8-16-07

CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
5 1/4" VALVE BOX DROP LID WITH 4" SKIRT

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-18				

CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES  
STANDARD 3/4" # 1" WATER SERVICE INSTALLATION

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-23		4-6-04		7/23/13
	D.H.L.	6/18/08	RKV	

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

EXISTING CONDITION NOTES:  
1. EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018.  
2. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

**Kimley»Horn**

421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM #F-0102

**STANDARD DETAILS**

**NASH SQUARE APTS**  
PREPARED FOR  
**RALEIGH NASH SQUARE**  
**LLC**

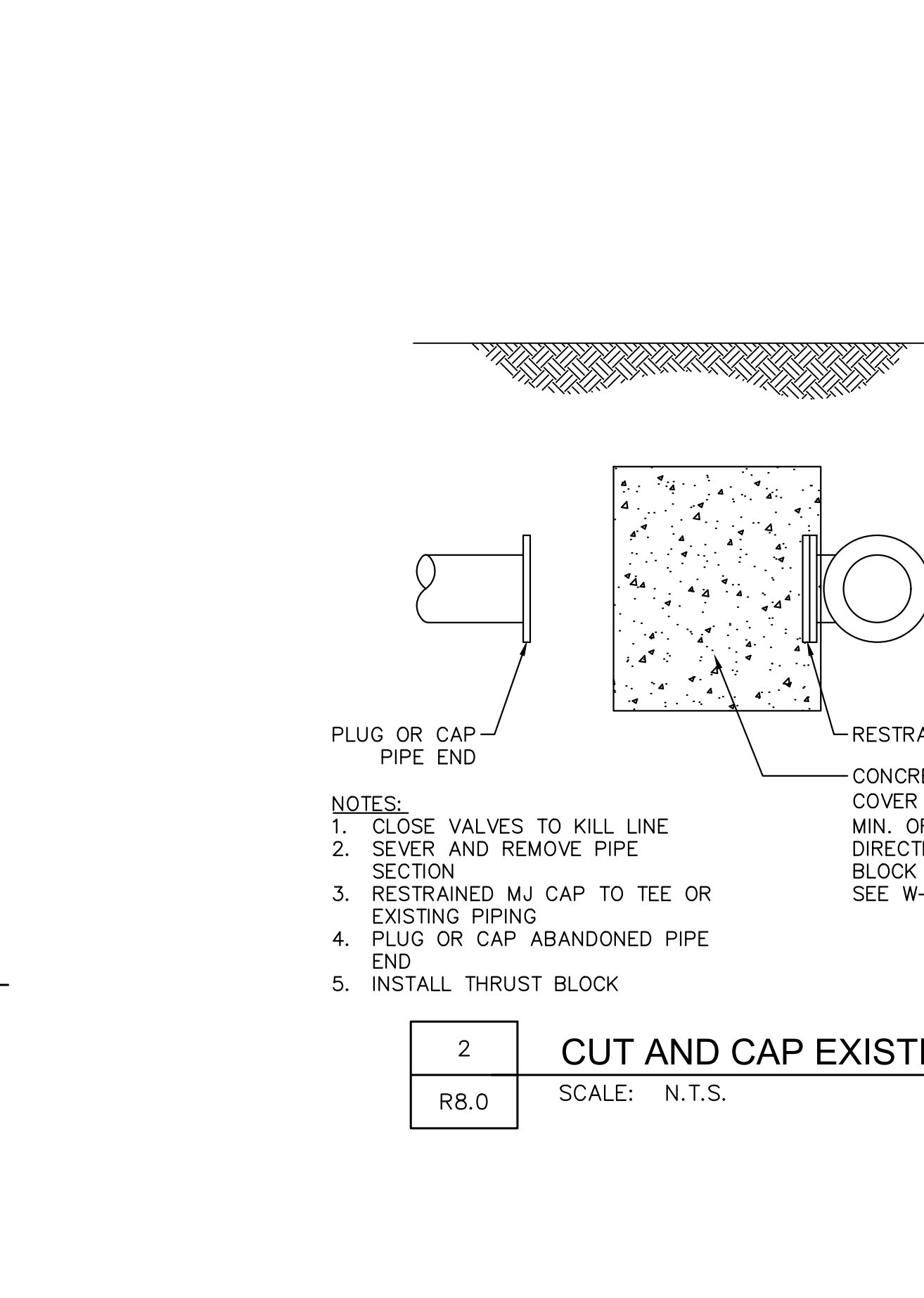
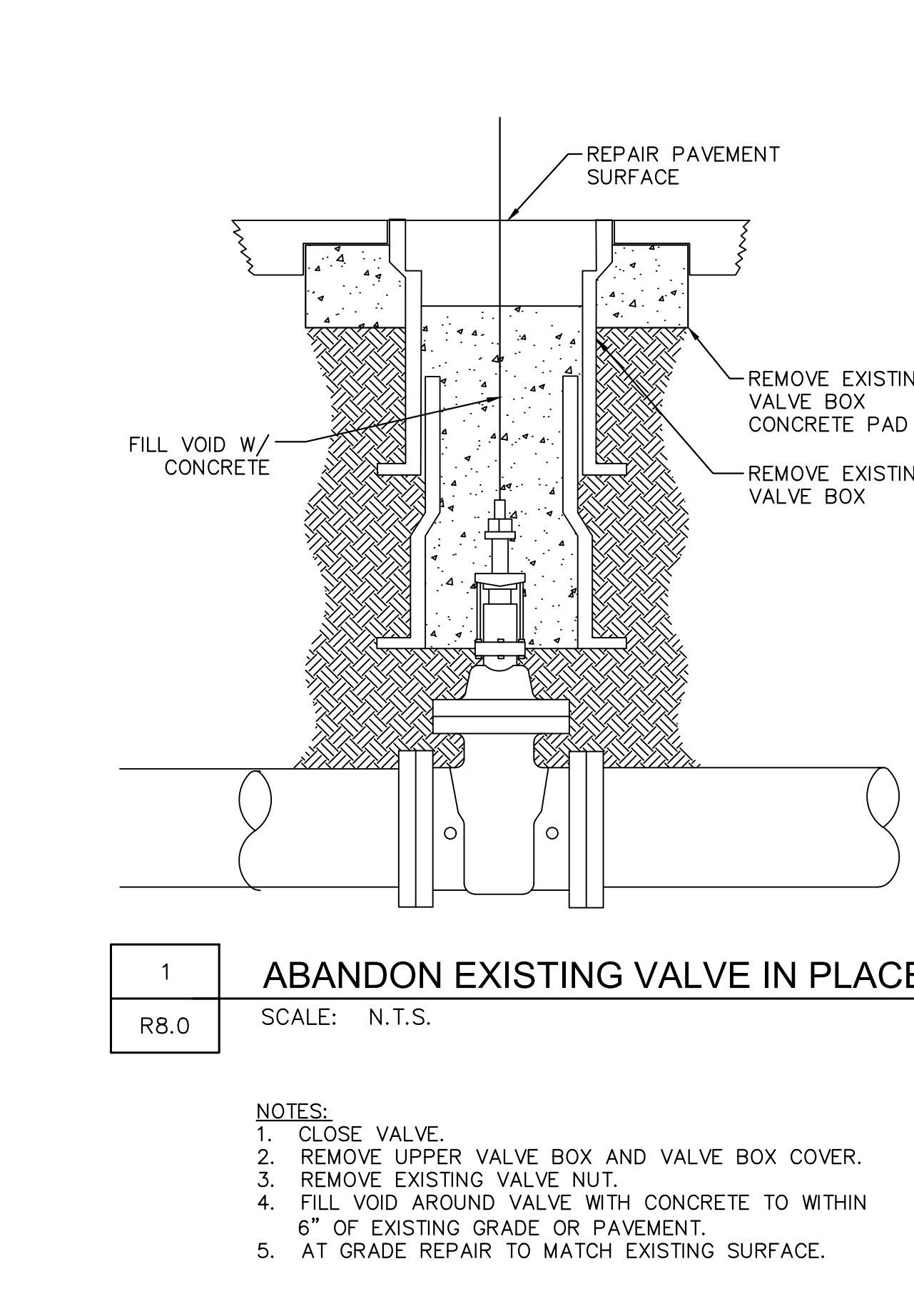
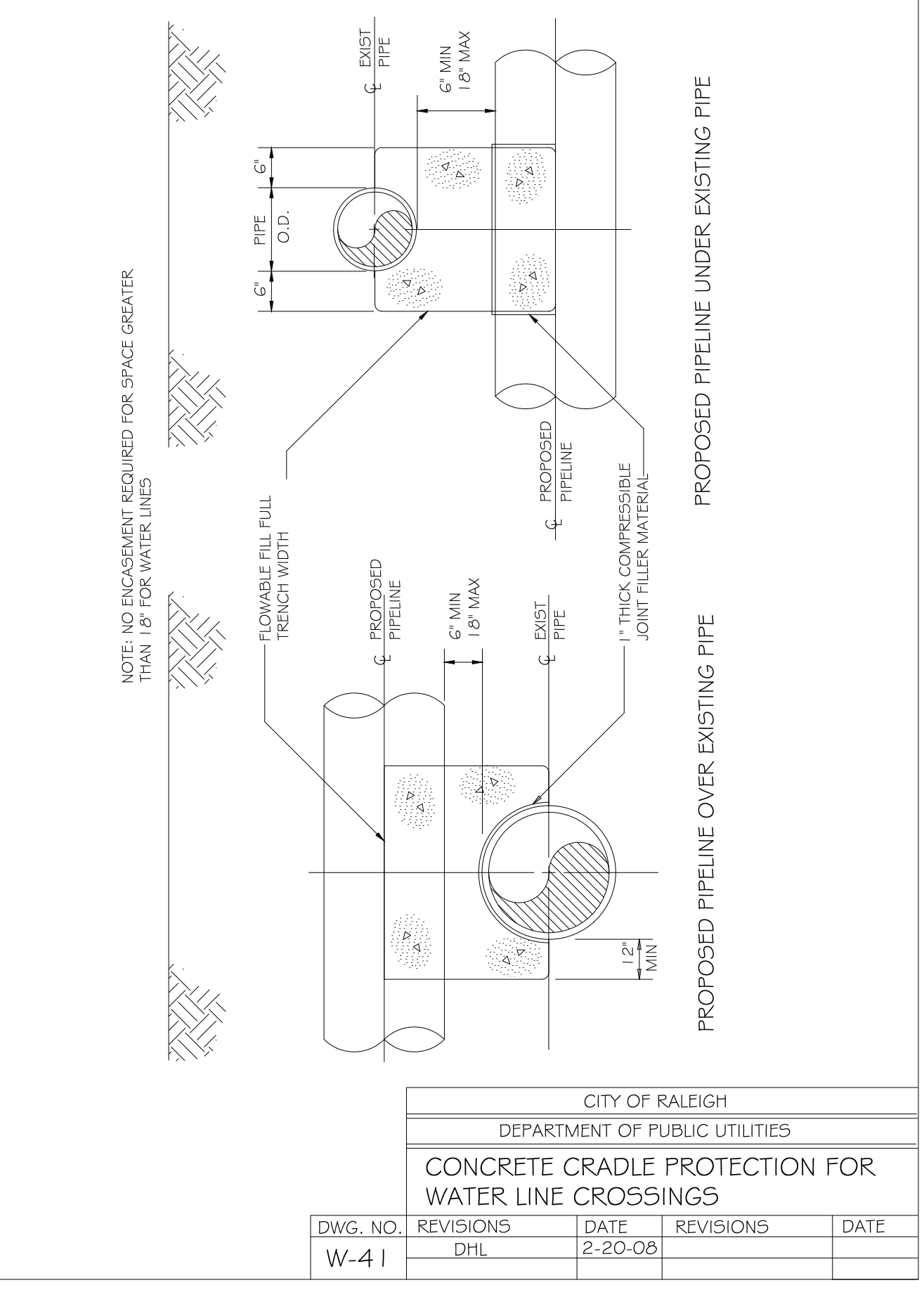
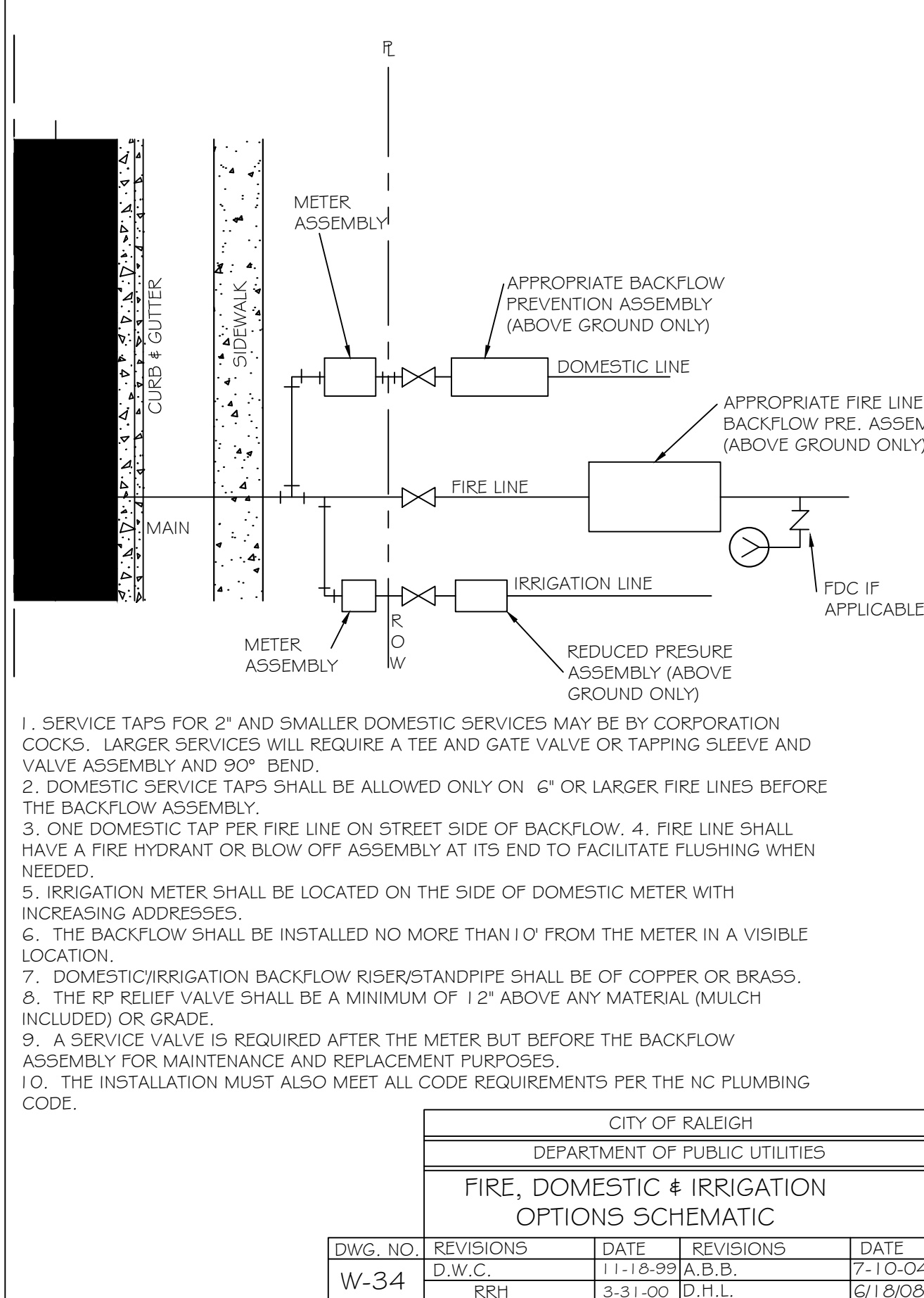
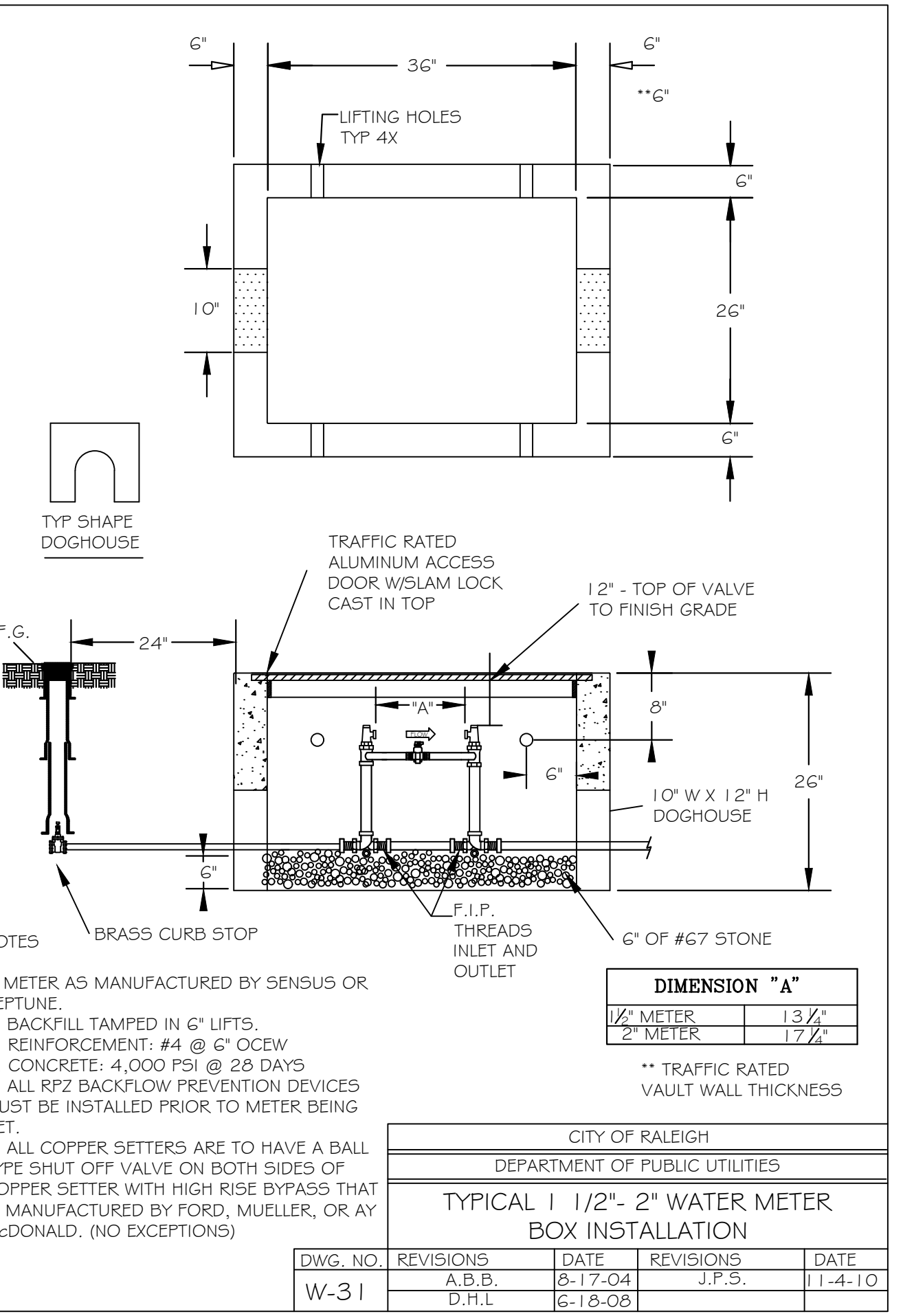
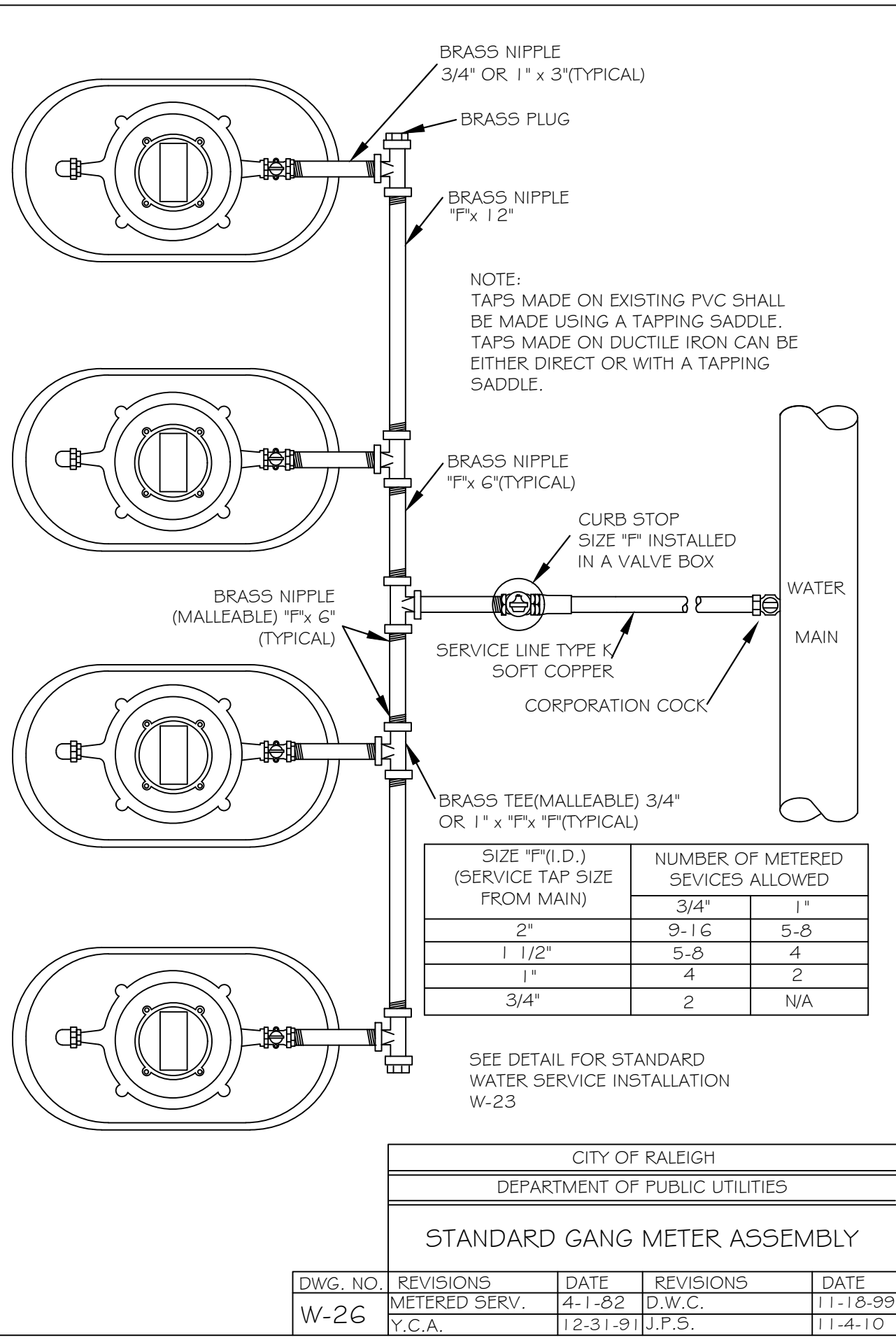
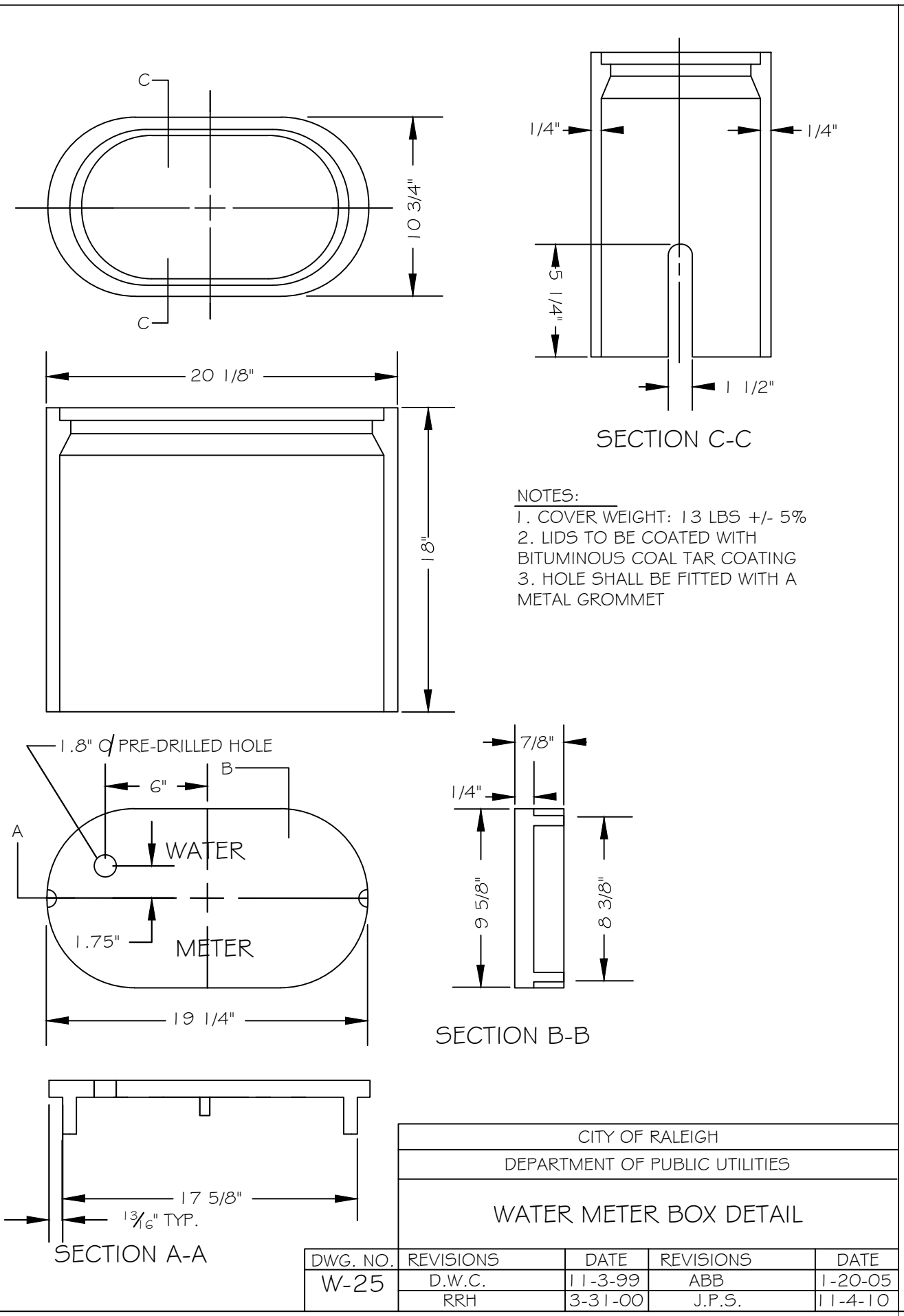
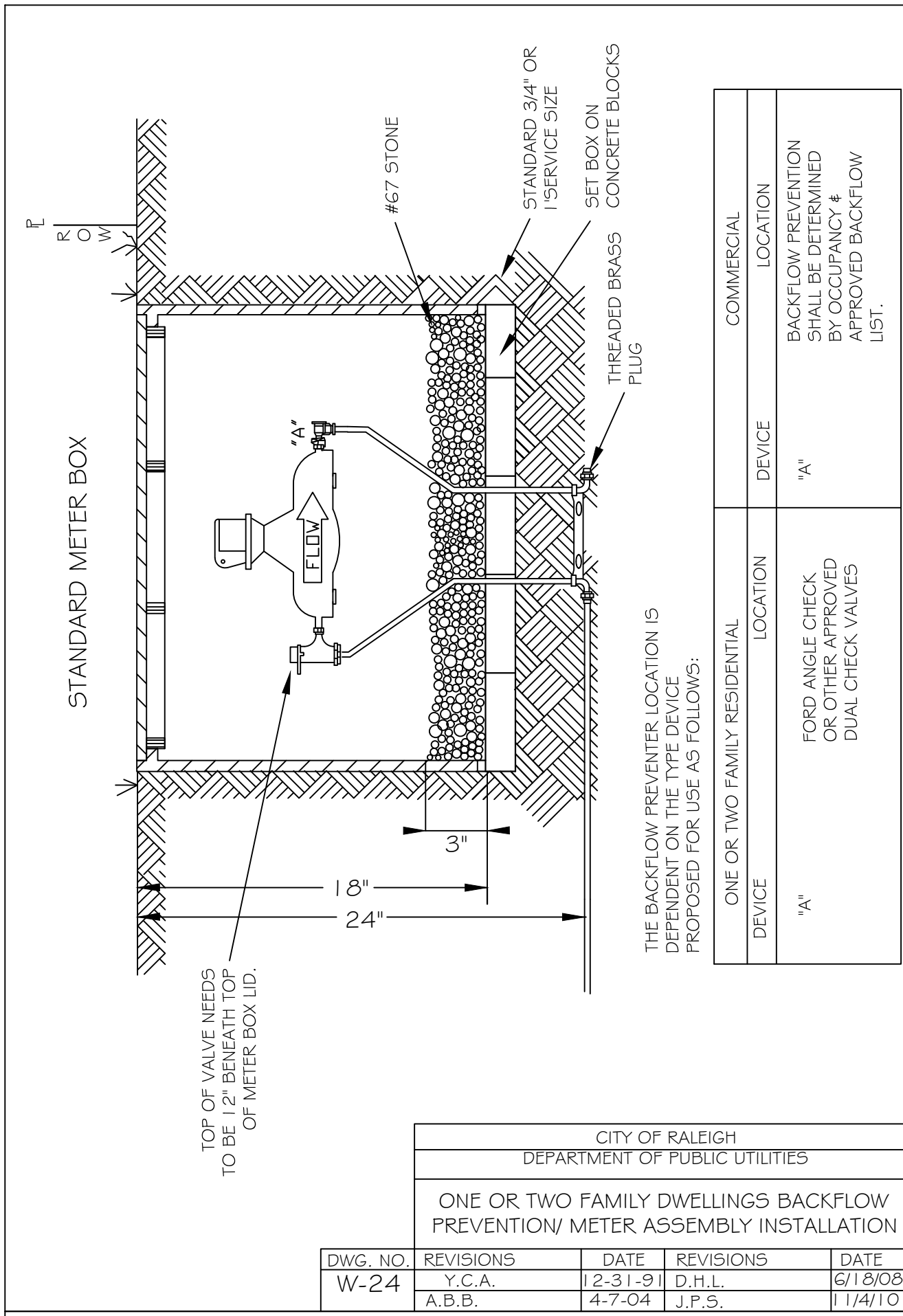
SHEET NUMBER  
**R7.0**

KHA PROJECT 016145000  
DATE 03/14/2023  
SCALE AS SHOWN  
DESIGNED BY AA  
DRAWN BY AA  
CHECKED BY TRC

NO. REVISIONS DATE BY



Plotted By: Elnosh, Ted Sheet: Nash Square Apartments Layout: R8.0 STANDARD DETAILS - March 13, 2023 10:04:27am K:\RAL-DEVA\016145000\_Nash Sq Apts\Planning Phase\PLS-CAD Files\PlanSheets\R8.0 STANDARD DETAILS.dwg  
 This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**EXISTING CONDITION NOTES:**

- EXISTING INFORMATION TAKEN FROM AN ALTA/NISPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

**Kimley»Horn**

421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM  
 #F-0102

**STANDARD DETAILS**

**NASH SQUARE APTS**  
 PREPARED FOR  
**RALEIGH NASH SQUARE**  
 LLC

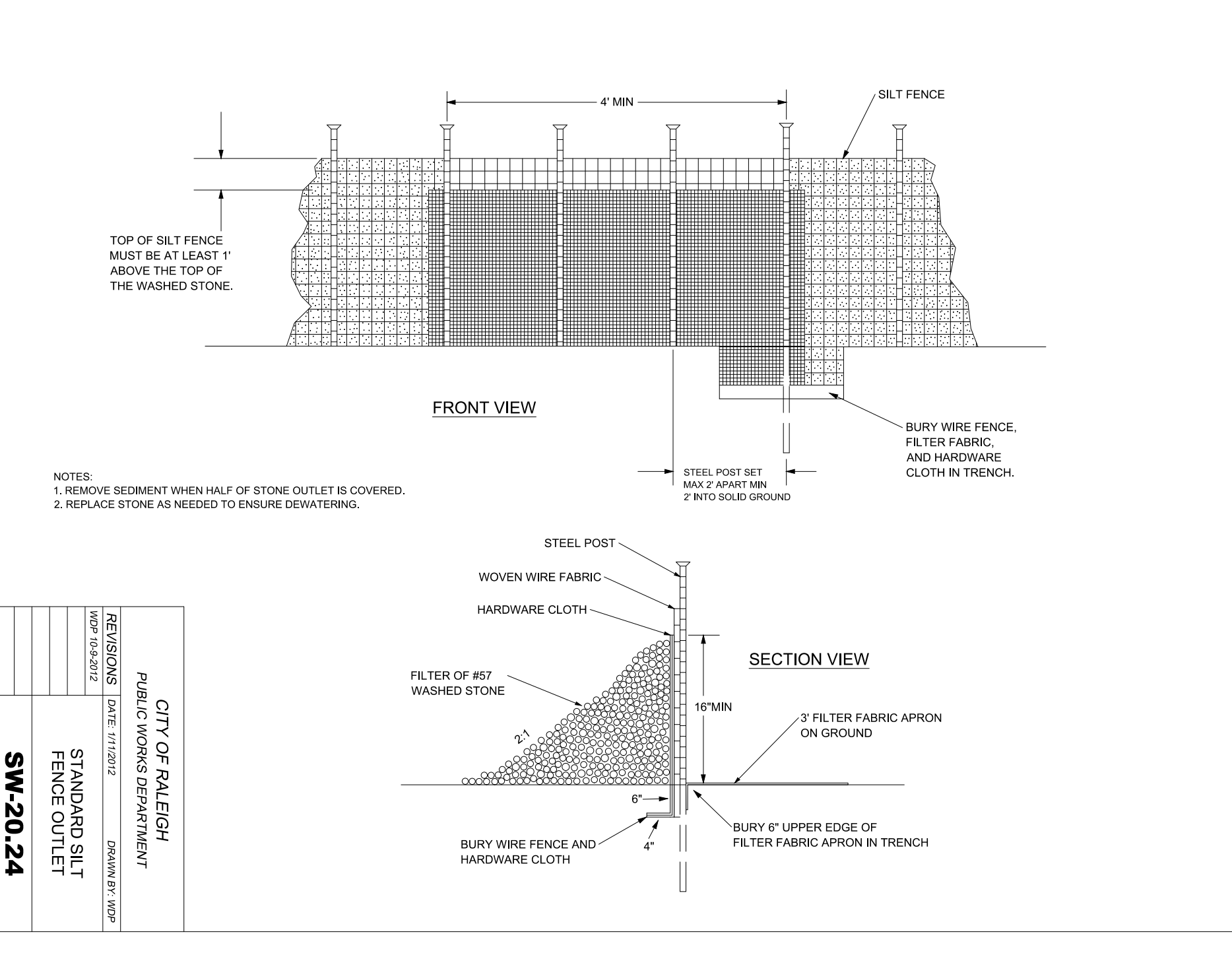
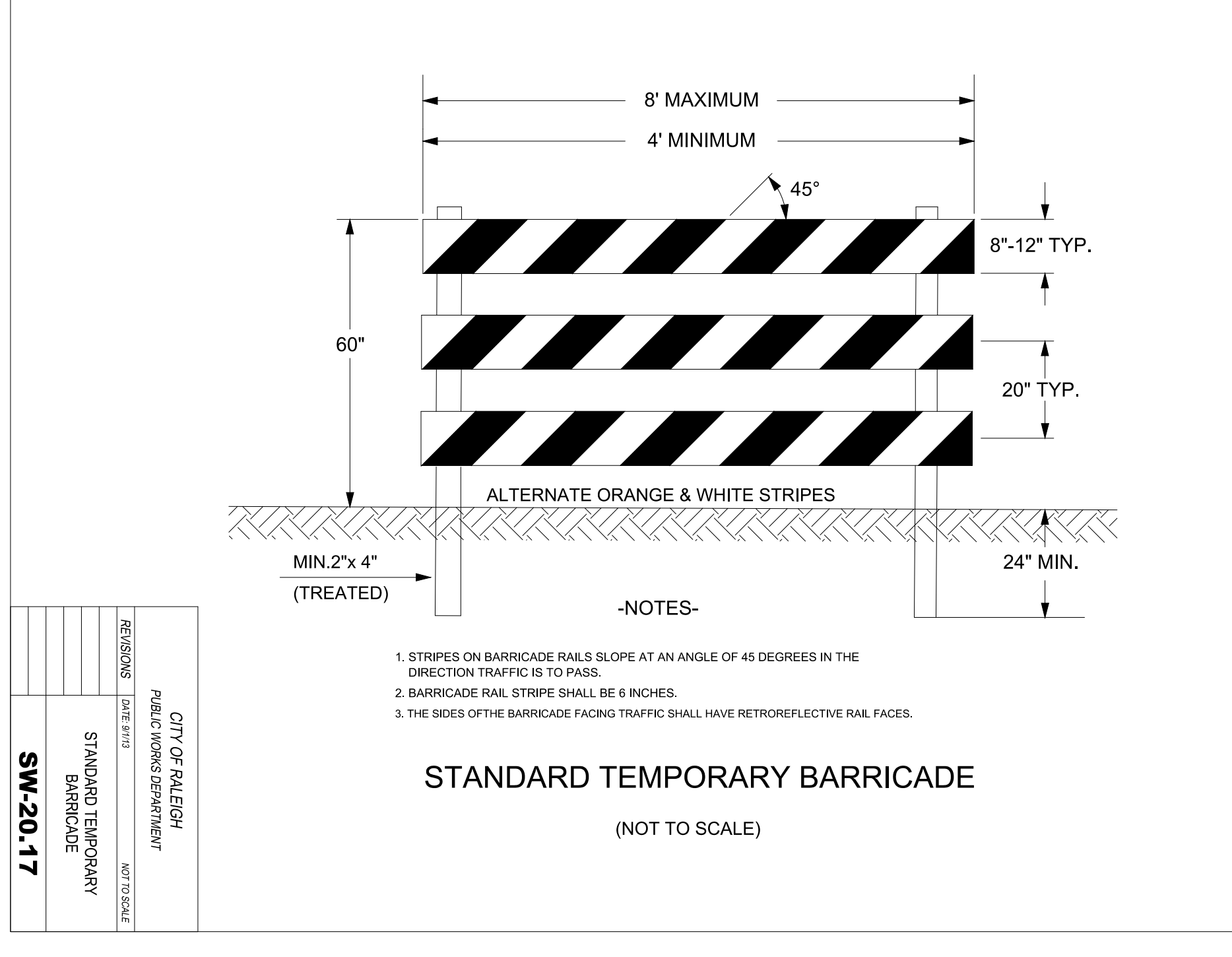
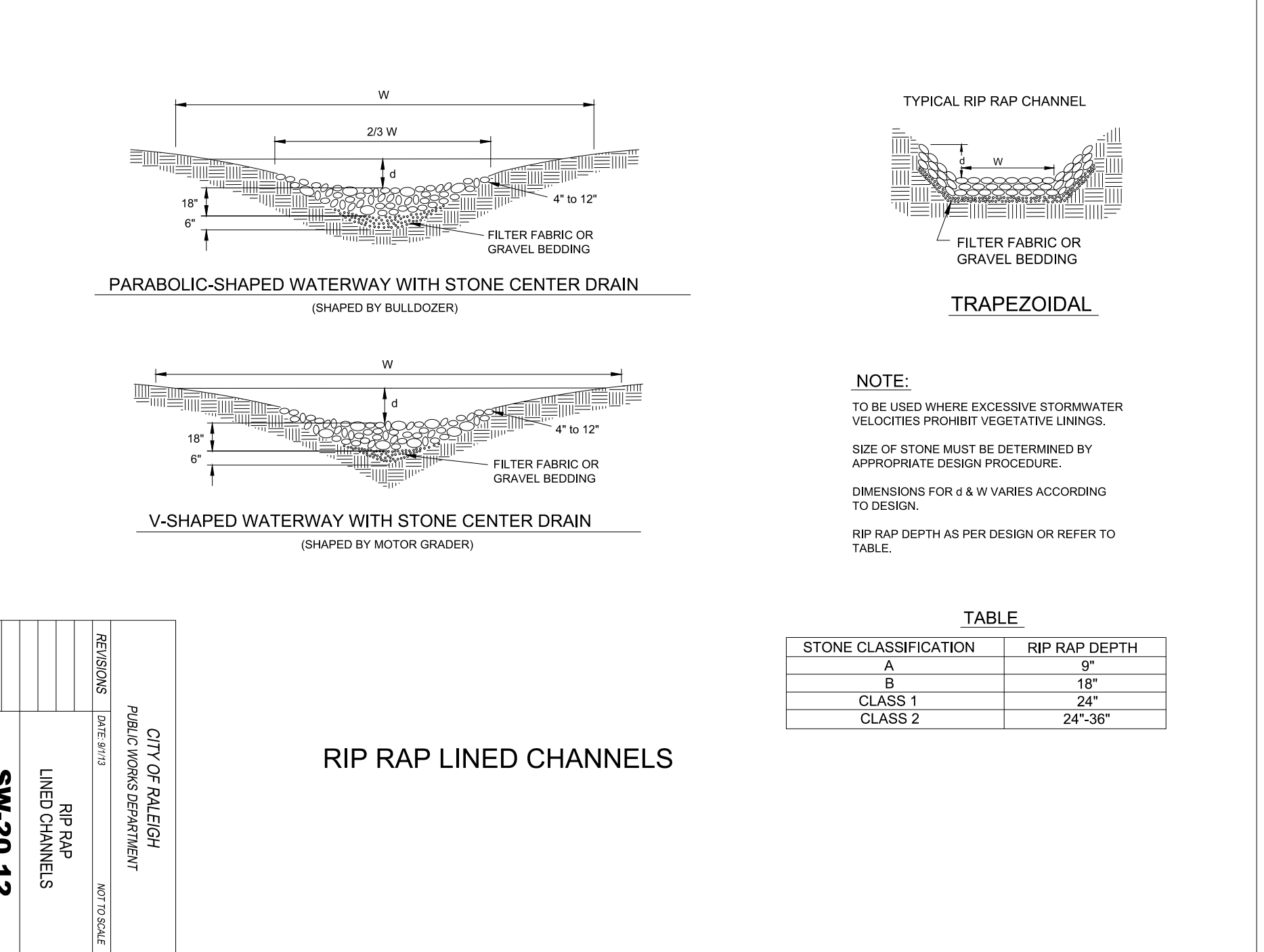
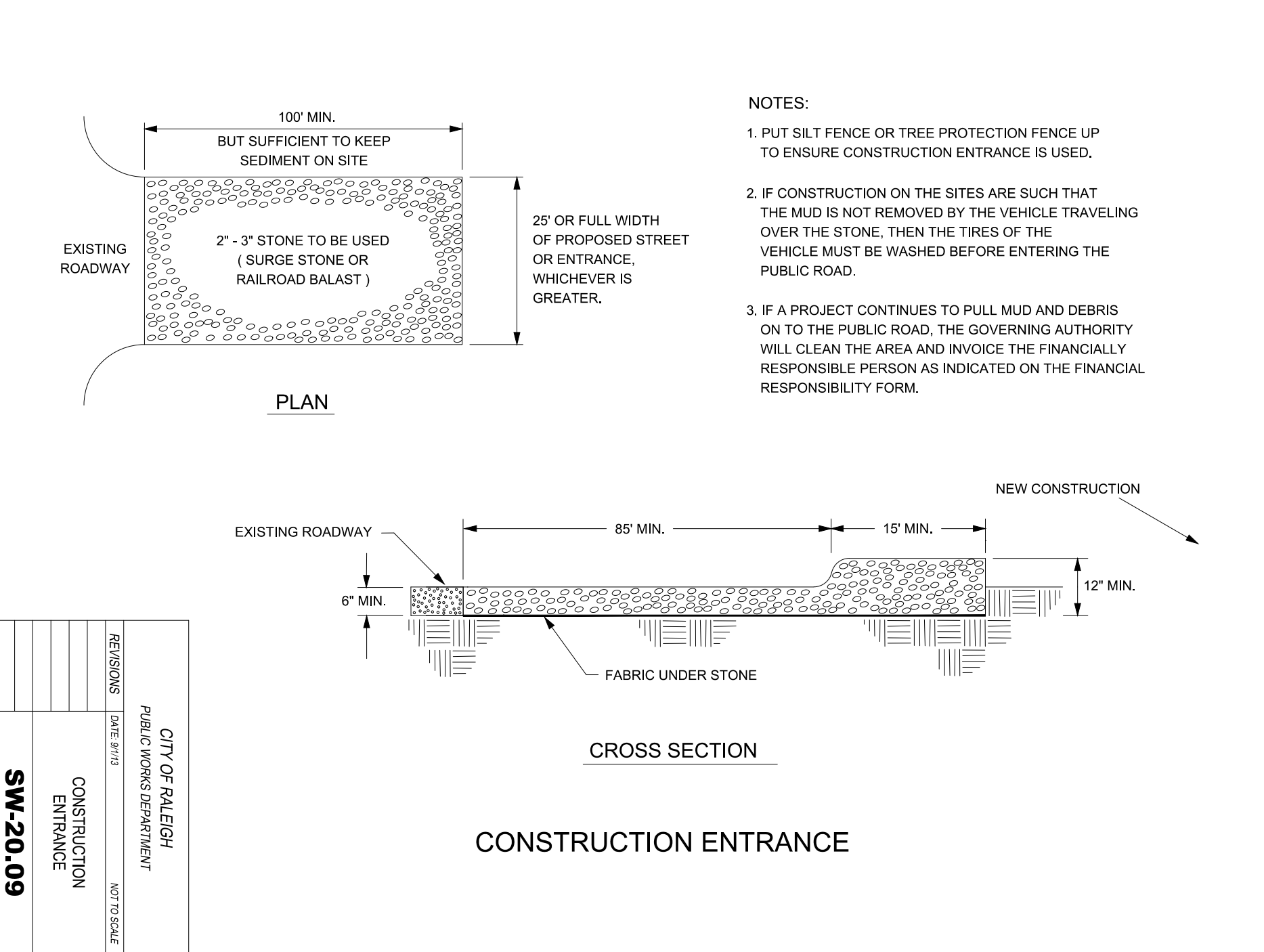
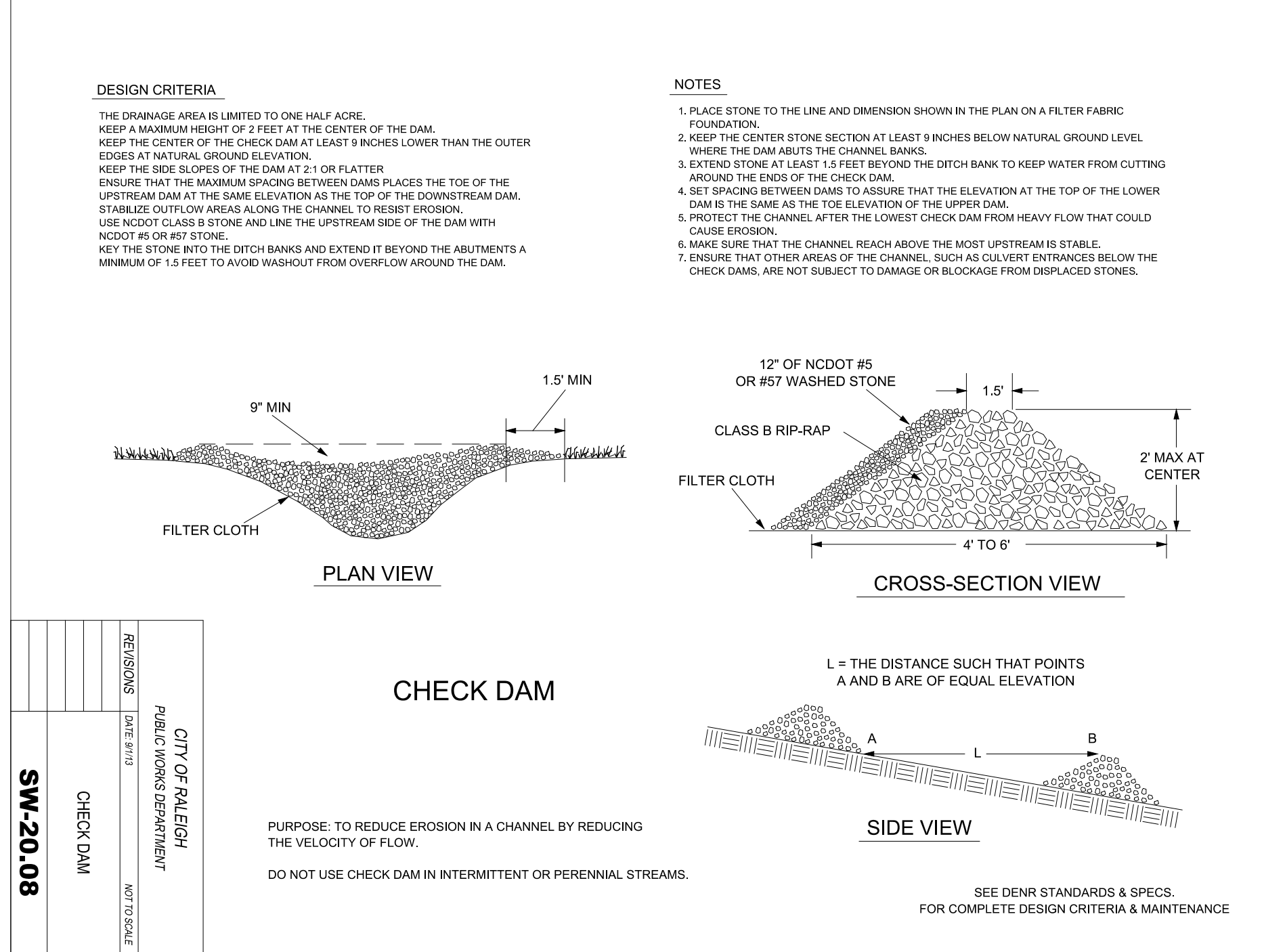
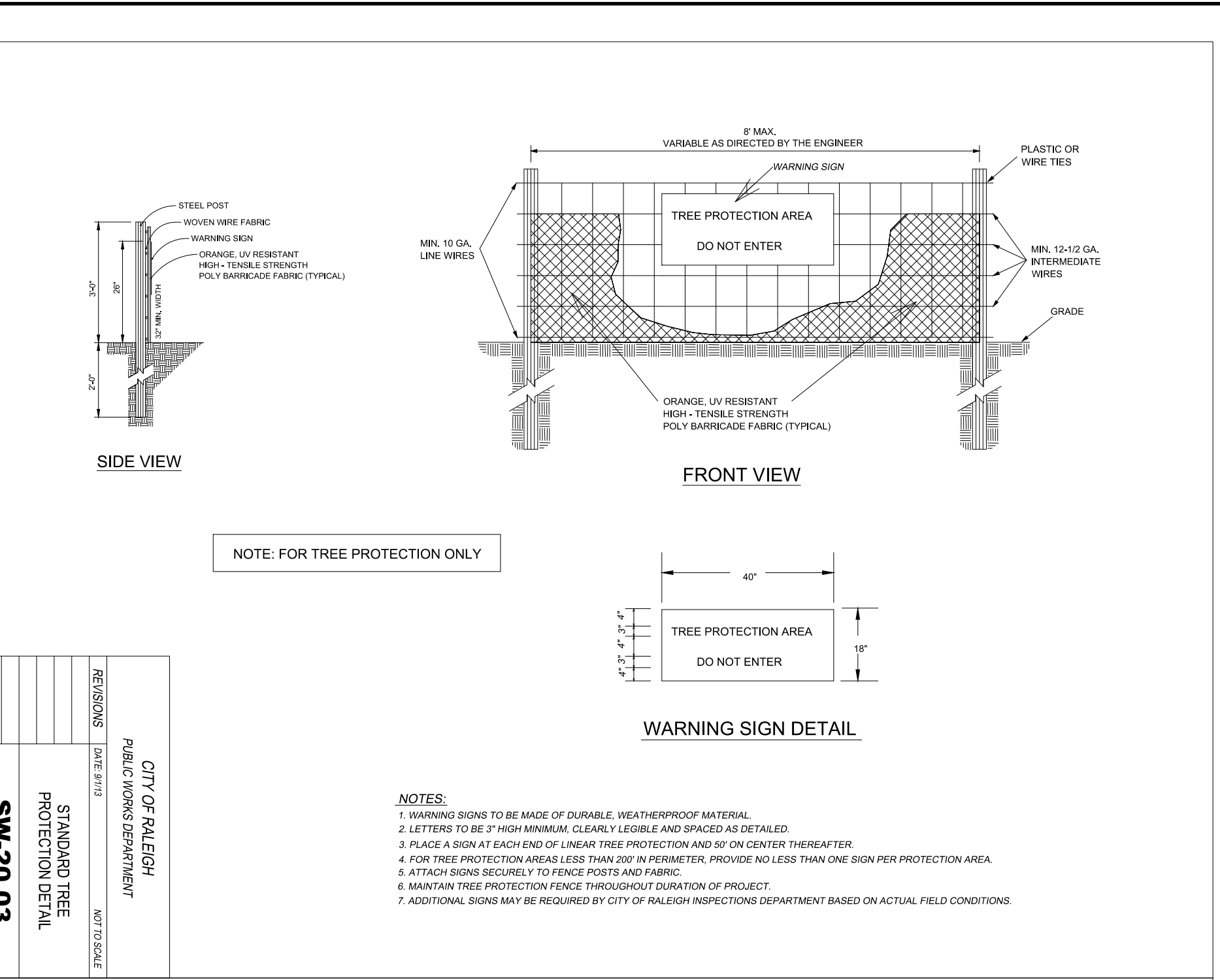
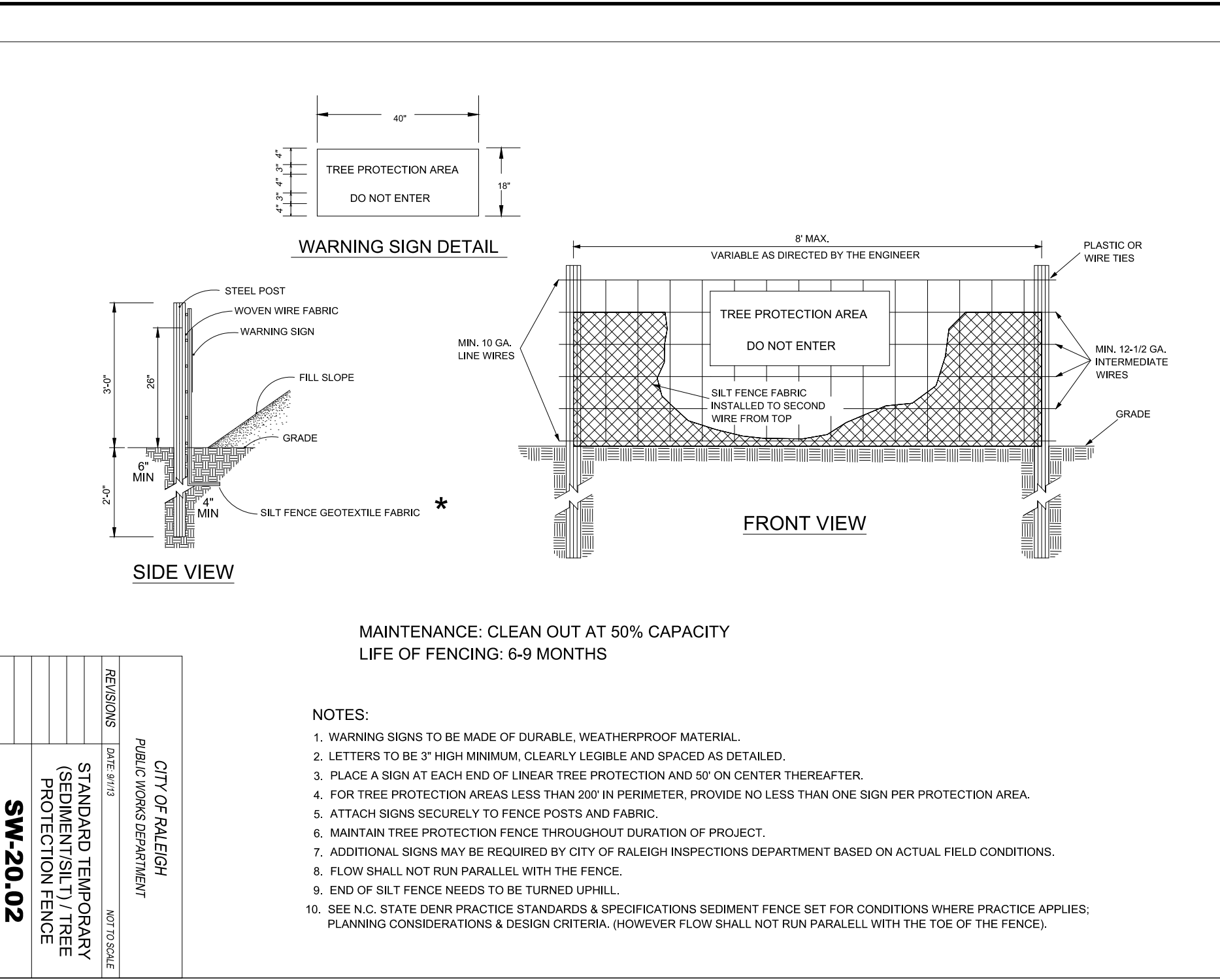
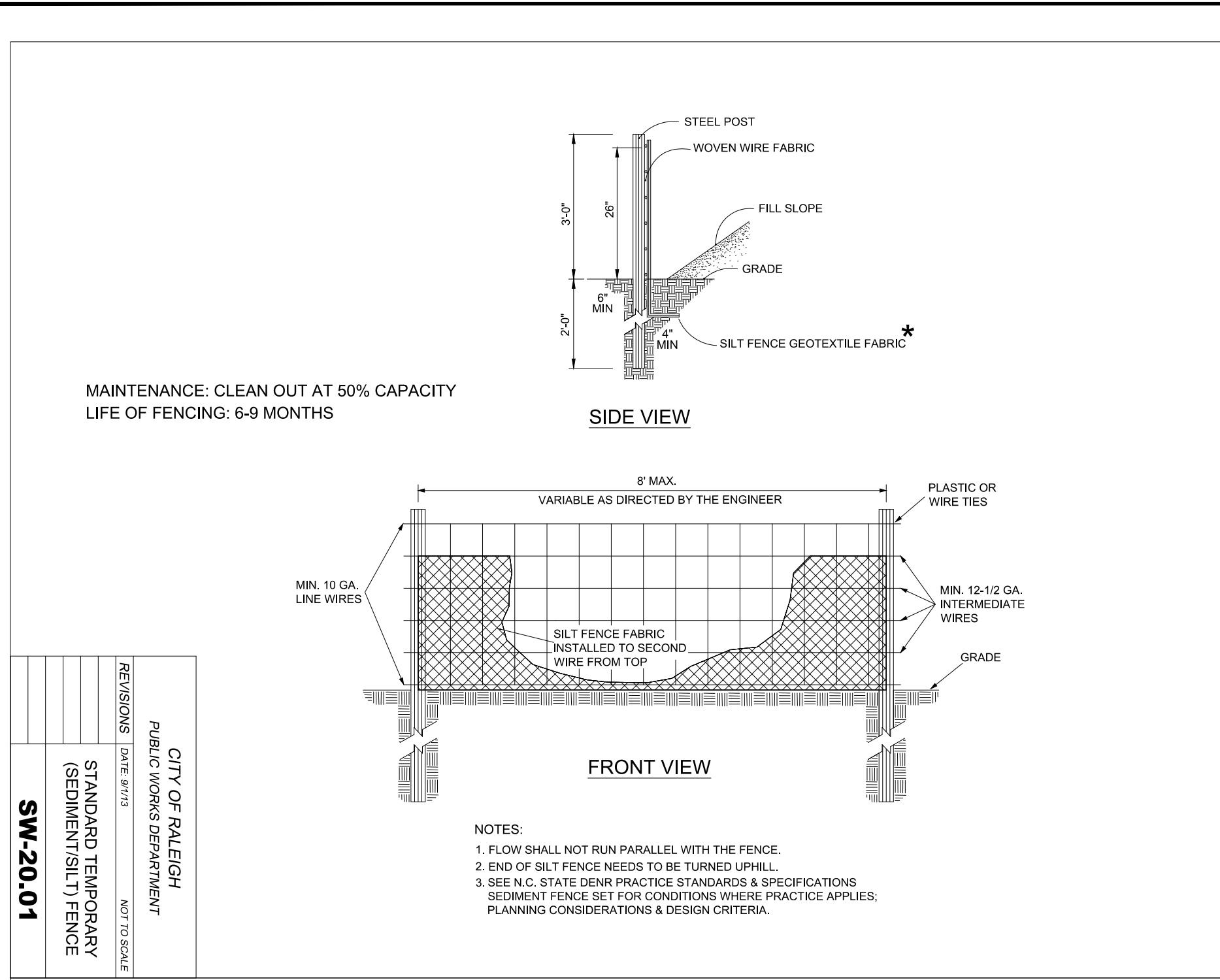
NO.	REVISIONS	DATE

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
016145000	03/14/2023	AS SHOWN	AA	AA	TRC

SHEET NUMBER  
**R8.0**

RALEIGH

Plotted By: Elnor, Ted - Sheet - Set: Nash Square Apartments - Layout: R9.0 - STANDARD DETAILS - March 13, 2023 - 10:04:38am - K:\RAL-DEVA\016145000\_Nash Sq. Apts.Planning\_Phase 1\15-CAD\_Files\PlanSheets\R9.0 - STANDARD DETAILS.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**Kimley»Horn**

421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM  
#F-0102

**STANDARD DETAILS**

**NASH SQUARE APTS  
PREPARED FOR  
RALEIGH NASH SQUARE  
LLC**

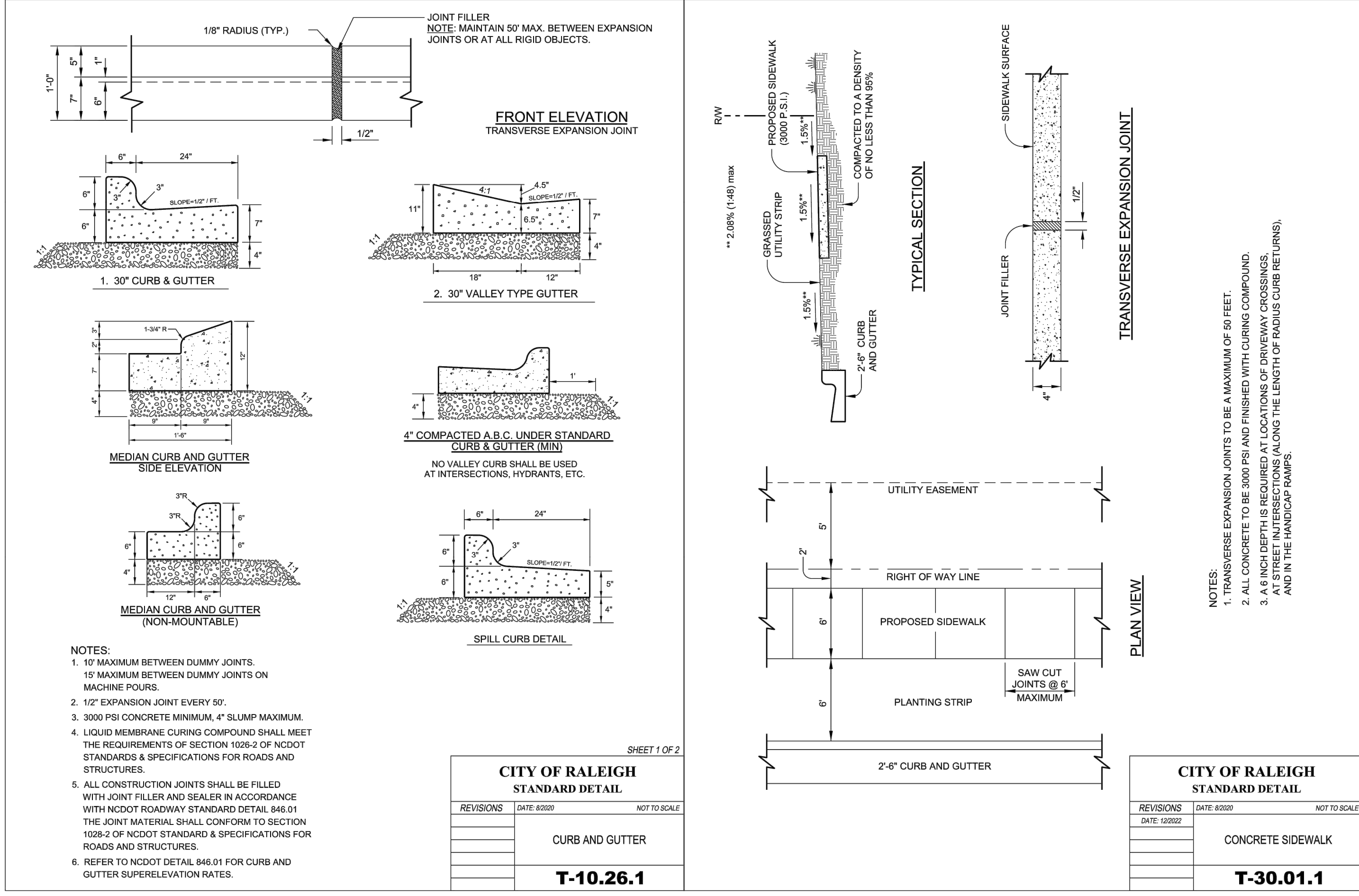
SHEET NUMBER  
**R9.0**

KHA PROJECT  
016145000  
DATE  
03/14/2023  
SCALE  
AS SHOWN  
DESIGNED BY  
AA  
DRAWN BY  
AA  
CHECKED BY  
TRC

RALEIGH, NC

NO. REVISIONS DATE BY

Plotted By: Elnor, Ted Sheet: Sect: Nash Square Apartments Layout: R10.0 STANDARD DETAILS March 13, 2023 10:04:50am K:\RAL\LEVA\016145000\_Nash Sq Apts\Plan\Drawings\Phase\15\_CAD\_Files\Plan\Sheet\10.0\_STANDARD\_DETAILS.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**MAINTENANCE AND RESTORATION OF UNPAVED SURFACES**

ALL GRASSED AND NATURAL AREAS (INCLUDING SHOULDERS OF ROADS) DISTURBED DURING THE COURSE OF THE WORK SHALL BE RESEDED. THE TOPSOIL SHALL BE REPLACED AND RAKED TO AN EVEN GRADE WITH ALL STONES, AND DEBRIS REMOVED.

SCARIFY SUBSOIL TO DEPTH OF 3"; REMOVE WEEDS, ROOTS, STONES, AND FOREIGN MATERIALS 1.5" IN DIAMETER AND LARGER.

ALL GRASS, FERTILIZER AND MULCH APPLICATIONS SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH THE FOLLOWING TABLE:

Planting Dates	Grass Type	Pounds/Acre
Aug. 15 - Nov. 1	Tall Fescue	300
Nov. 1 - Mar. 1	Tall Fescue & Abruzzi Rye	300
Mar. 1 - Apr. 15	Tall Fescue	300
Apr. 15 - Jun. 30	Hulled Common Bermudagrass	25
Jul. 1 - Aug. 15**	Tall Fescue & Browntop Millet & Sorghum-Sudan Hybrids	120
		35
		30
Lime		2 Tons/Ac ; 3 Tons/Ac in Clay Soils
Fertilizer	10/10/2010	1,000
Mulch	Straw	4,000

Wetland Seed Mix		
Species Name	Common Name	Mix Percentage*
Panicum rigidulum	Redtop Panic Grass	60
Carex lupulina	Hop Sedge	10
Juncus effusus	Soft Rush	10
Carex lurida	Lurid (shallow) Sedge	7
Scirpus cyperinus	Wool Grass	5
Saururus cernuus	Lizard's Tail	4
Carex squarrosa	Squarrose Sedge	4

\* Similar seed mix can be used with Engineer's Approval.  
\*\* Application Rate of 20 lbs/Ac

AFTER SEEDING, THE AREA SHALL BE ROLLED AND MULCHED WITH FINE GRAIN STRAW AT THE APPLICATION RATE SPECIFIED. AN ASPHALTIC TACK COAT, OR AN APPROVED EQUAL TREATMENT SHALL BE USED TO HOLD THE MULCH IN PLACE.

SEEDING AREAS THAT FAIL TO ESTABLISH A VIGOROUS STAND OF GRASS ADEQUATE TO RESTRAIN ACCELERATED EROSION SHALL BE RESEDED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL NOT BE ELIGIBLE FOR FINAL PAYMENT UNTIL A VIGOROUS STAND OF GRASS HAS BEEN ESTABLISHED FOR ALL DISTURBED AREAS.

IN ADDITION, THE APPLICATION RATE FOR EMULSIFIED ASPHALT TACK SHOULD BE SPECIFIED AT A MINIMUM OF 400 GAL./ACRE. SEEDING AREAS THAT FAIL TO ESTABLISH A VIGOROUS STAND OF GRASS ADEQUATE TO RESTRAIN EROSION SHALL BE PROMPTLY RESEDED AT THE CONTRACTOR'S EXPENSE. SEEDING AT ANY OTHER TIME MUST BE REQUESTED IN WRITING AND APPROVED BY THE ENGINEER.

SEE SPECIFICATION SECTION 02920 FOR MAINTENANCE REQUIREMENTS.

**SEEDBED PREPARATION PER SPECIFICATIONS SECTION 02920**  
SCARIFY SUBSOIL TO DEPTH OF 3"; REMOVE WEEDS, ROOTS, STONES, AND FOREIGN MATERIALS 1.5" IN DIAMETER AND LARGER.

PLACE TOPSOIL TO MINIMUM DEPTH OF 4".

APPLY LIME EVENLY BY MEANS OF MECHANICAL DISTRIBUTOR. INCORPORATE LIME IN THE TOP 2-3" OF SOIL.

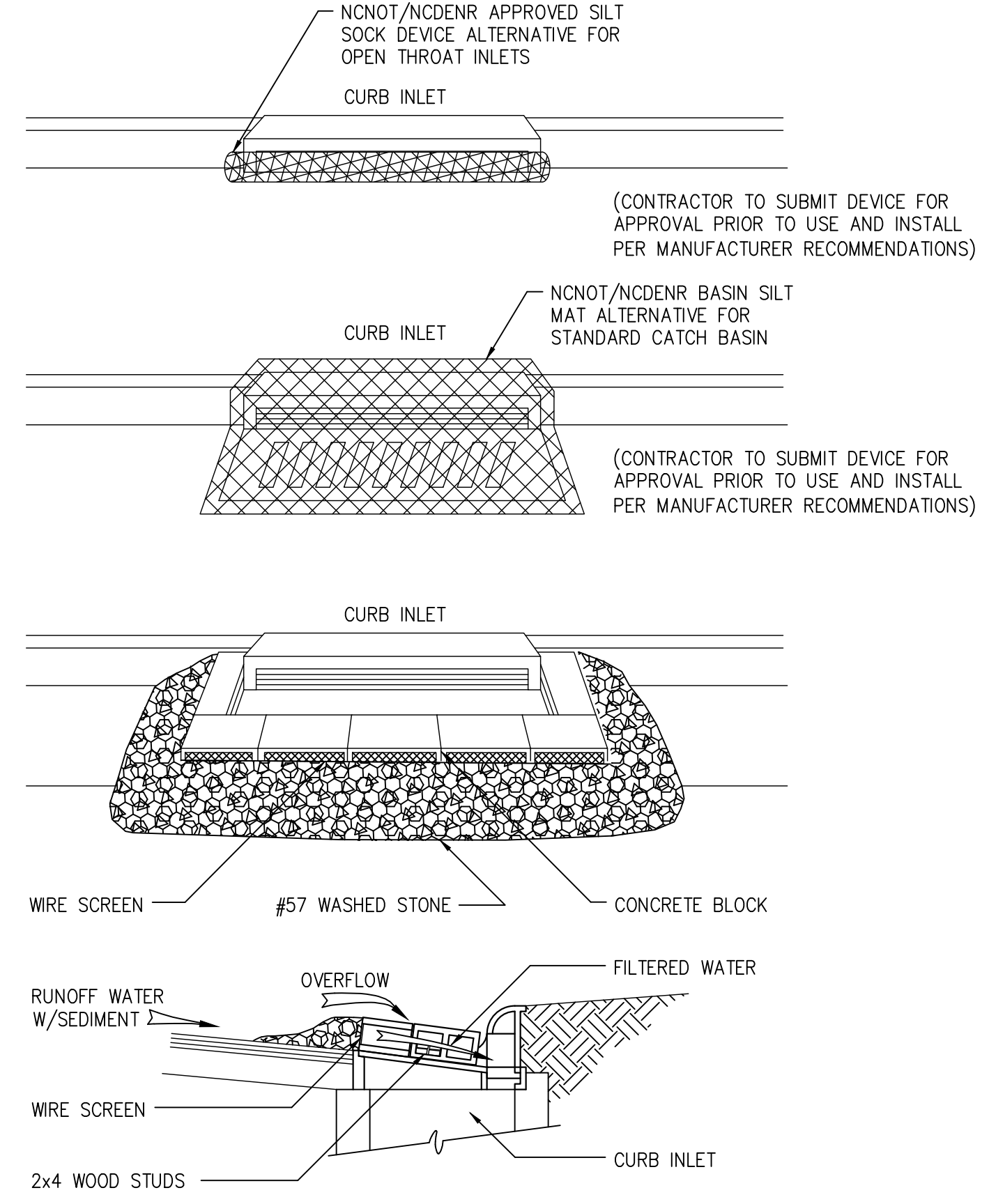
SPREAD FERTILIZER NOT MORE THAN 2 WEEKS IN ADVANCE OF SEEDING BY MEANS OF MECHANICAL DISTRIBUTOR. INCORPORATE FERTILIZER IN THE TOP 2-3" OF SOIL.

APPLY SEED VIA APPROVED METHOD.

APPLY MULCHING AND MATTING AS REQUIRED IN THE SPECIFICATIONS.

NPDES Ground Stabilization Chart*		
Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed.
Slopes 3:1 or flatter	14 days	7-days for slopes greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HQW Zones)

\*Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable. (Section II.B.2(b))



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**EXISTING CONDITION NOTES:**

- EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

**Kimley»Horn**

421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM  
#-0102

REVISIONS

No.	DATE

KHA PROJECT 016145000

DATE 03/14/2023

SCALE AS SHOWN

DESIGNED BY AA

DRAWN BY AA

CHECKED BY TRC

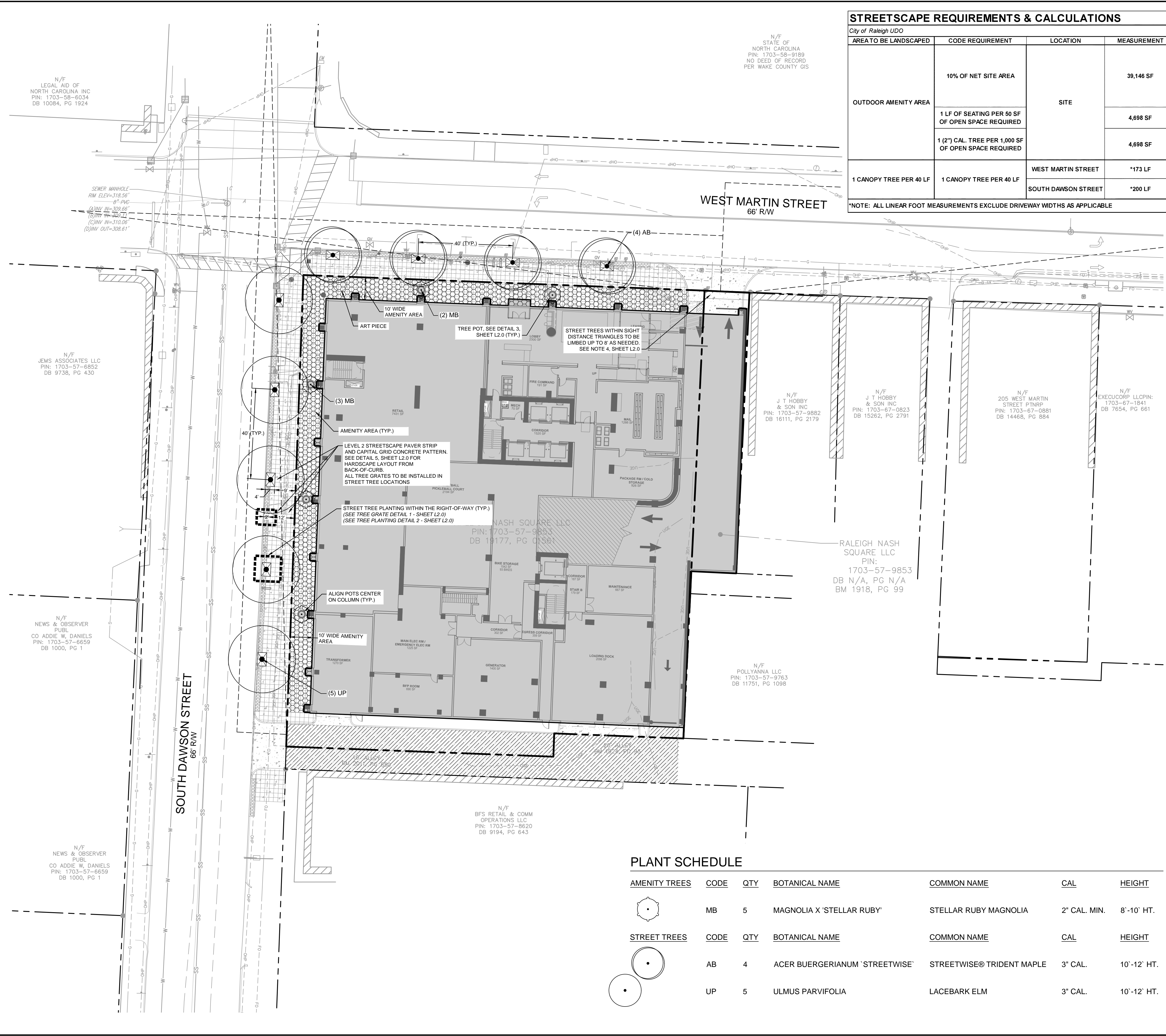
STANDARD DETAILS

NASH SQUARE APTS  
PREPARED FOR  
RALEIGH NASH SQUARE  
LLC

SHEET NUMBER  
**R10.0**

RALEIGH NC

Plotted By: Westpal, Nick - Sheet: Nash Sq Apts - Layout: L1.0 - Landscape Plan - March 24, 2023 - 01:25:54pm - K:\RAL\DEV\016145000-Nash Sq Apts - Planning Phase - P19\_CAD - Files\PlanSheets\L1.0 - LANDSCAPE PLAN.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



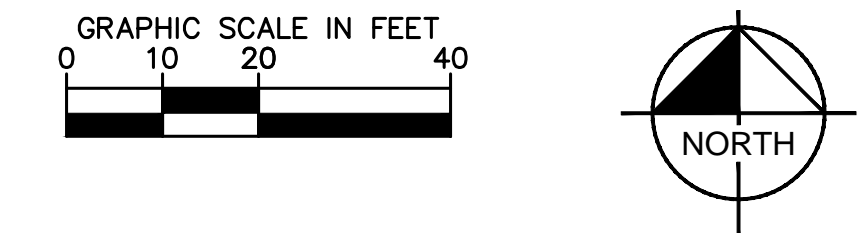
### STREETSCAPE REQUIREMENTS & CALCULATIONS

AREA TO BE LANDSCAPED	CODE REQUIREMENT	LOCATION	MEASUREMENT	QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
OUTDOOR AMENITY AREA	10% OF NET SITE AREA	SITE	39,146 SF	39,146 SF x 10% = 3,915 SF +50 SF FOR EACH FLOOR ABOVE THE 7TH FLOOR 36 - 7 = 29 FLOORS 31 FLOORS x 50 SF = 1,450 SF 3,915 SF + 1,450 SF = 5,365 SF 12% MAX. GROSS SITE AREA = 4,698 SF REQUIRED	5,903 SF	1.5.3.C
	1 LF OF SEATING PER 50 SF OF OPEN SPACE REQUIRED		4,698 SF	4,698 SF / 50 SF = 94 LF	PROVIDED IN UPPER LEVEL AMENITY AREAS	1.5.3.C.3
	1 (2") CAL. TREE PER 1,000 SF OF OPEN SPACE REQUIRED		4,698 SF	4,698 SF / 1,000 SF = 5 TREES	5 TREES	1.5.3.C.3
1 CANOPY TREE PER 40 LF	1 CANOPY TREE PER 40 LF	WEST MARTIN STREET	*173 LF	(173 / 40) = 4 CANOPY TREES	4 CANOPY TREES	8.5.5.D
		SOUTH DAWSON STREET	*200 LF	(200 / 40) = 5 CANOPY TREES	5 CANOPY TREES	8.5.6.C

\*NOTE: ALL LINEAR FOOT MEASUREMENTS EXCLUDE DRIVEWAY WIDTHS AS APPLICABLE

### PLANT SCHEDULE

AMENITY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL	HEIGHT
	MB	5	MAGNOLIA X 'STELLAR RUBY'	STELLAR RUBY MAGNOLIA	2" CAL. MIN.	8'-10' HT.
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL	HEIGHT
	AB	4	ACER BUERGERIANUM 'STREETWISE'	STREETWISE® TRIDENT MAPLE	3" CAL.	10'-12' HT.
	UP	5	ULMUS PARVIFOLIA	LACEBARK ELM	3" CAL.	10'-12' HT.



ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**EXISTING CONDITION NOTES:**

- EXISTING INFORMATION TAKEN FROM AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY BOHLER ENGINEERING NC, LLC, 4130 PARKLANE AVENUE SUITE 130, RALEIGH, NC 27612, DATED 07/09/2018 AND AN ALTA/NSPS LAND TITLE SURVEY PROVIDED BY JONATHAN MURPHY PROFESSIONAL LAND SURVEYING, DATED 07/05/2022.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720170300K DATED 07/19/2022.

DATE
REVISIONS
BY

No.
No.
No.

DATE
REVISIONS
BY

No.
No.
No.

DATE
REVISIONS
BY

No.
No.
No.

DATE
REVISIONS
BY

No.
No.
No.

DATE
REVISIONS
BY

No.
No.
No.

DATE
REVISIONS
BY

No.
No.
No.

**Kimley»Horn**

© 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM  
#-0102

PRELIMINARY  
NOT RELEASED FOR CONSTRUCTION

KHA PROJECT: 016145000  
DATE: 03/22/2023  
SCALE: AS SHOWN  
DESIGNED BY: TBH  
DRAWN BY: TBH  
CHECKED BY: MRC

**NASH SQUARE APTS**  
PREPARED FOR  
**RALEIGH NASH SQUARE LLC**

LANDSCAPE PLAN

SHEET NUMBER  
**L1.0**







© 2023 JDAVIS ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND CONSENT OF JDAVIS ARCHITECTS, P.L.L.C.

Alchemy Properties, Inc  
**ONE NASH SQUARE**  
303 S. DAWSON STREET  
RALEIGH, NC 27601

**NOT FOR CONSTRUCTION**

PROJECT:	DATE:
2294	03.24.2023
ISSUE:	
7	ASR SUBMISSION 03.24.23
CONTENT:	FLOOR PLAN LEVEL 8 - 10



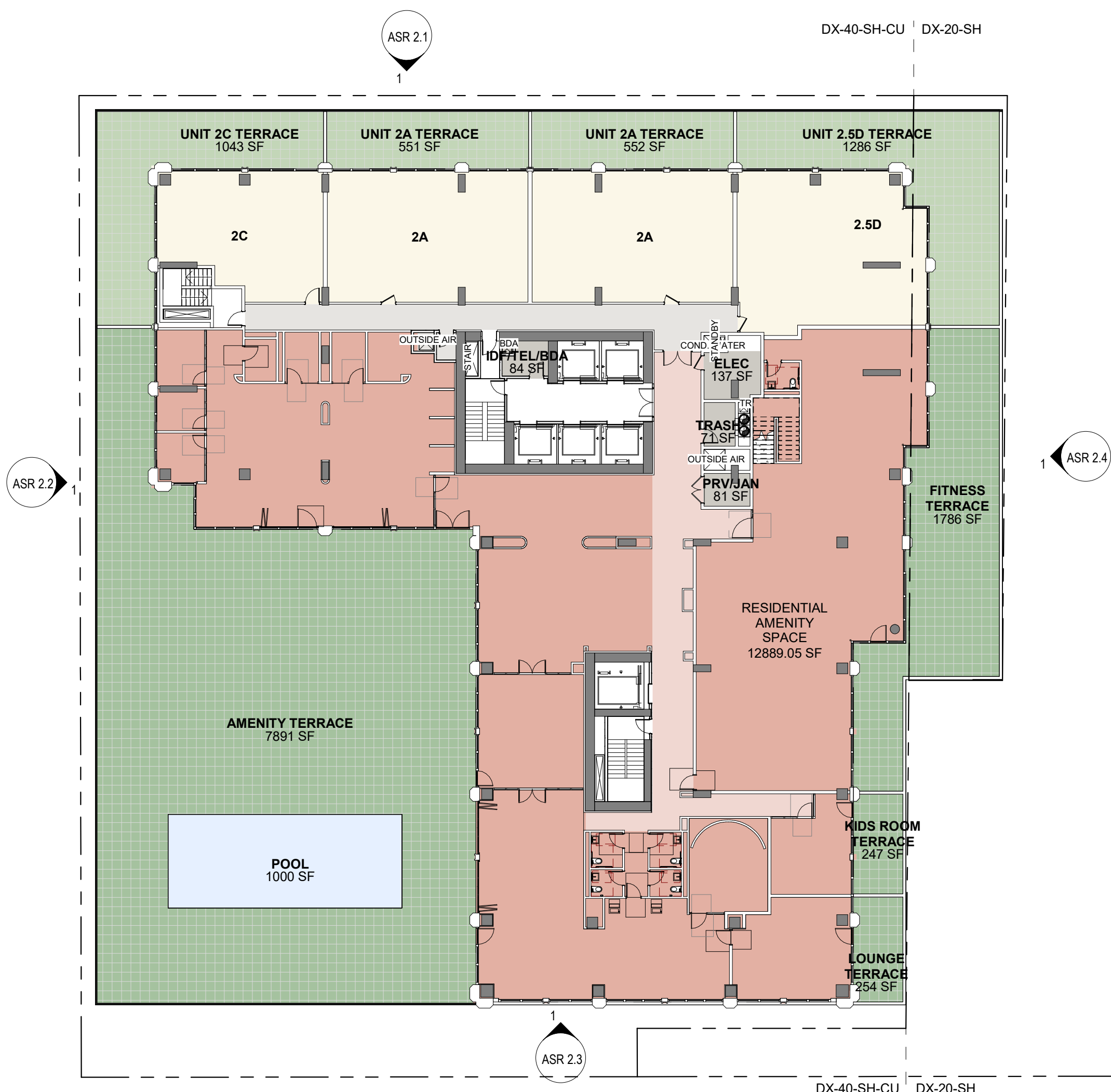
**LEVEL 08**  
3/64" = 1'-0"



**LEVEL 09**  
3/64" = 1'-0"



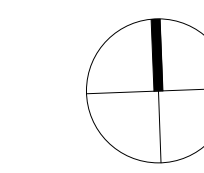
**LEVEL 09 MEZZANINE**  
3/64" = 1'-0"



**LEVEL 10**  
3/64" = 1'-0"

**COLOR SCHEME**

- AMENITY 1
- AMENITY 2
- AMENITY 3
- CORE
- LANDSCAPE 1
- LANDSCAPE 2
- PARKING/ BOH
- CORRIDOR
- RESIDENTIAL 1
- RESIDENTIAL 2
- RESIDENTIAL 3
- RESIDENTIAL 4
- RETAIL
- WATER

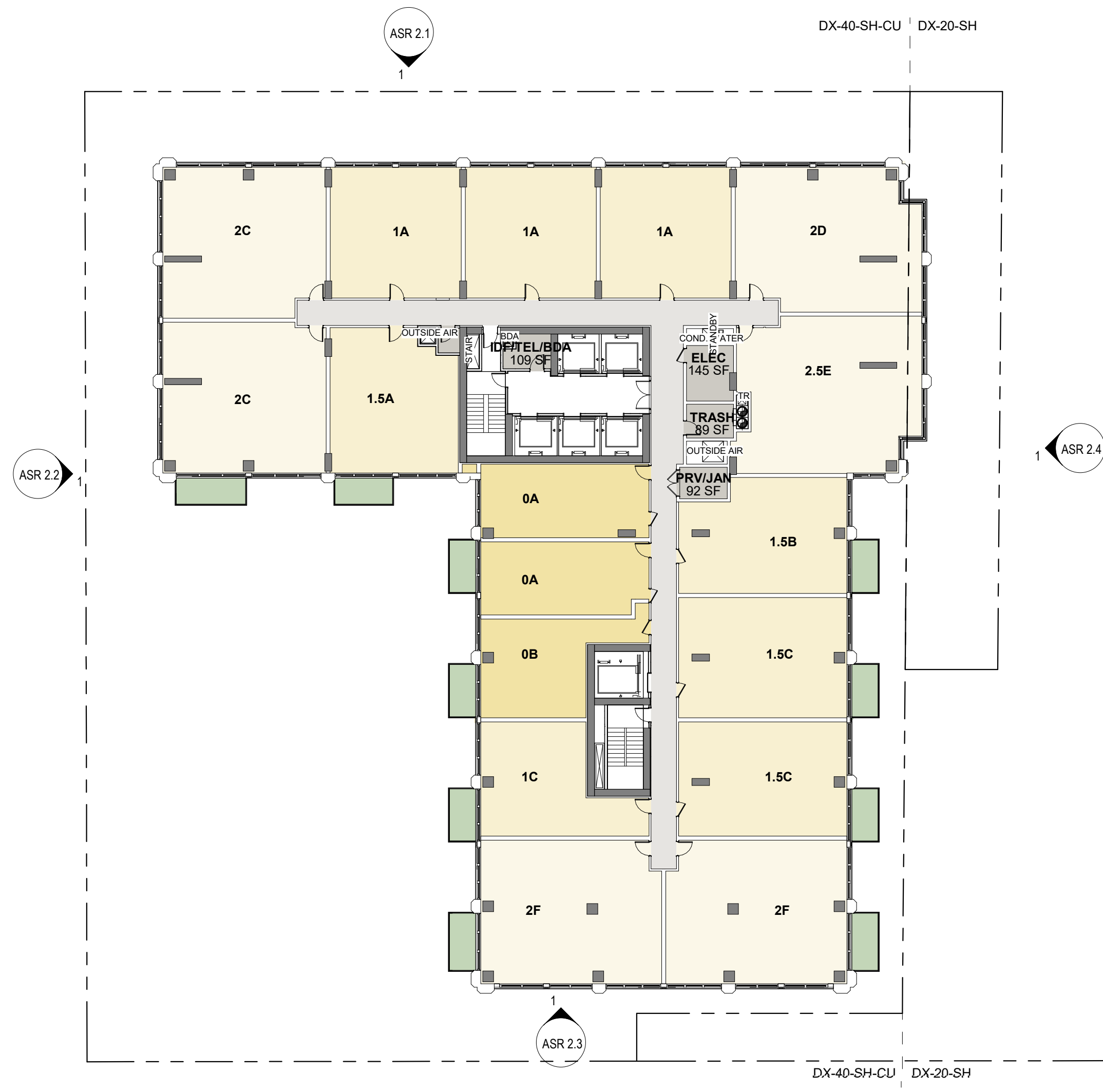


3/22/2023 3:58:37 PM A:\bldg\_03a1\Mech\Nash\_Square\F2023\04\_2294\_2171\Mezz\_09.rvt









**FLOOR PLATE AREA**  
MAXIMUM AREA LIMIT: 30,000 SF  
(TAKEN FROM SEC 3.3.3.C OF  
THE UDO)  
AREA PROVIDED: 20,109 SF

**LEVEL 19**  
3/64" = 1'-0"



**FLOOR PLATE AREA**  
MAXIMUM AREA LIMIT: 30,000 SF  
(TAKEN FROM SEC 3.3.3.C OF  
THE UDO)  
AREA PROVIDED: 19,877 SF

**LEVEL 20**  
3/64" = 1'-0"



**FLOOR PLATE AREA**  
MAXIMUM AREA LIMIT: 30,000 SF  
(TAKEN FROM SEC 3.3.3.C OF  
THE UDO)  
AREA PROVIDED: 19,877 SF

**LEVEL 21**  
3/64" = 1'-0"



**FLOOR PLATE AREA**  
MAXIMUM AREA LIMIT: 30,000 SF  
(TAKEN FROM SEC 3.3.3.C OF  
THE UDO)  
AREA PROVIDED: 19,877 SF

**LEVEL 22**  
3/64" = 1'-0"

**COLOR SCHEME**

- AMENITY 1
- AMENITY 2
- AMENITY 3
- CORE
- LANDSCAPE 1
- LANDSCAPE 2
- PARKING/ BOH
- CORRIDOR
- RESIDENTIAL 1
- RESIDENTIAL 2
- RESIDENTIAL 3
- RESIDENTIAL 4
- RETAIL
- WATER

**Alchemy Properties, Inc**  
**ONE NASH SQUARE**  
 303 S. DAWSON STREET  
 RALEIGH, NC 27601

**NOT FOR CONSTRUCTION**

PROJECT:	ISSUE:	DATE:
2294		03.24.2023
ASR SUBMISSION		03.24.23

CONTENT: FLOOR PLAN LEVEL 19 - 22







OWNER/CLIENT: Alchemy Properties  
800 3rd Avenue  
22nd Fl  
New York, NY 10022  
Phone: (212) 683-0044  
info@alchemy-properties.com

ARCHITECT OF RECORD: JDAVIS ARCHITECTS  
510 S Wilmington St  
Raleigh, NC 27601  
Phone: (919) 835-1500  
info@jDavisarchitects.com

DESIGN ARCHITECT: VERTICAL TRANSPORT  
4th Fl  
New York, NY 10004  
Phone: (212) 982-2020  
info@vts.com

MEP/FP: Crenshaw Consulting Engineers, Inc.  
3516 Bush St  
Suit 200  
Raleigh, NC 27609  
Phone: (919) 871-1070

STRUCTURAL: Utzun + Case  
421 Fayetteville Street  
Suite 1305  
Raleigh, NC 27601  
Phone: (919) 813-0670

© 2023 JDAVIS ARCHITECTS EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION AND CONSENT OF JDAVIS ARCHITECTS, P.C.

Alchemy Properties, Inc  
**ONE NASH SQUARE**  
303 S. DAWSON STREET  
RALEIGH, NC 27601

NOT FOR CONSTRUCTION

PROJECT:	DATE:
2294	03.24.2023
ISSUE:	DATE:
ASR SUBMISSION	03.24.23

CONTENT: FLOOR PLAN LEVEL 35 - ROOF



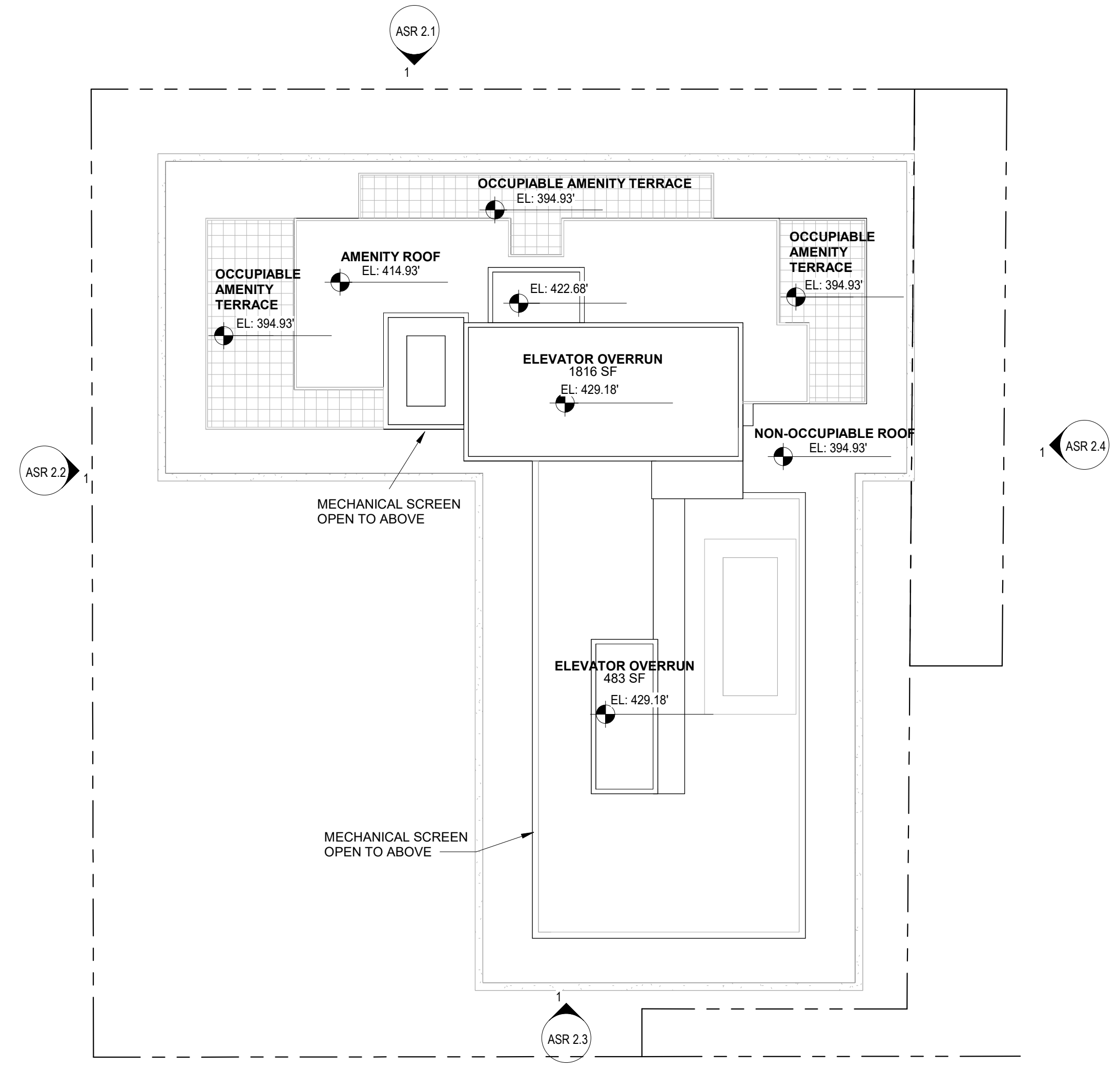
FLOOR PLATE AREA  
 MAXIMUM AREA LIMIT: 30,000 SF  
 (TAKEN FROM SEC 3.3.3.C OF THE UDO)  
 AREA PROVIDED: 19,431 SF

LEVEL 35  
3/64" = 1'-0"



FLOOR PLATE AREA  
 MAXIMUM AREA LIMIT: 30,000 SF  
 (TAKEN FROM SEC 3.3.3.C OF THE UDO)  
 AREA PROVIDED: 11,279 SF

LEVEL 36  
3/64" = 1'-0"



ROOF PLAN  
3/64" = 1'-0"

- COLOR SCHEME
- AMENITY 1
  - AMENITY 2
  - AMENITY 3
  - CORE
  - LANDSCAPE 1
  - LANDSCAPE 2
  - PARKING/ BOH
  - CORRIDOR
  - RESIDENTIAL 1
  - RESIDENTIAL 2
  - RESIDENTIAL 3
  - RESIDENTIAL 4
  - RETAIL
  - WATER

3/22/2023 3:08:30 PM Address: C:\asr\Nash\_Square\2023\MA-2294-217\1\Main.dwg









