

Case File / Name: ASR-0023-2024 Varsity Drive Apartments City of Raleigh Development Services Department One Exchange Plaza Raleigh, NC 27602 (919) 996-2492 currentplanning@raleighnc.gov www.raleighnc.gov

LOCATION:This 2.86 acre site zoned RX-7-UL-CU (Z-50-23) is located on the southwest corner<br/>of the intersection of Varsity Drive and Avent Ferry Road at 1530 Varsity Drive.REQUEST:This is proposed development of a seven story 510,585 square foot building with<br/>324 apartments and a parking garage. Currently there is an apartment complex on<br/>the site to be demolished.DESIGN<br/>ADJUSTMENT(S)/<br/>ALTERNATES, ETC:N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 12, 2024 by McAdams Company.

# **CONDITIONS OF APPROVAL and NEXT STEPS:**

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

## The following items are required prior to approval of Site Permitting Review plans:

#### General

 Please contact solid waste for review comments and if acceptability by COR solid waste. Provide confirmation, (email, note, etc) that COR Solid waste is in agreement with your proposed plan. Solid waste contact - E-mail: swscodecompliance@raleighnc.gov, Phone #: 919-996-3245 - (FYI -A will serve letter is not a confirmation from COR Solid Waste)

#### Engineering

 Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

#### Stormwater

- 3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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#### **Urban Forestry**

- 6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a demolition or grading permit, whichever comes first.
- 7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
- 8. Submit with plans a copy of the approval from NCDOT regarding the street trees to be planted along Avent Ferry Road.
- 9. A tree impact permit must be obtained for the removal of 1 existing tree in the existing right-of-way along Varsity Drive prior to the issuance of a demolition or grading permit, whichever comes first.

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

 ☑ Public Access Deed of Easement Required  ☑ Right of Way Deed of Easement Required

☑ <u>**RECORDED MAP(S)**</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

#### The following items must be approved prior to recording the plat:

#### General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

#### Engineering

2. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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- 3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
- 4. A public infrastructure surety shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## **Public Utilities**

5. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

#### Stormwater

- 6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

#### **Urban Forestry**

8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.2791 acres of tree conservation area

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

## The following items must be approved prior to the issuance of building permits:

#### General

1. Comply with all conditions of Z-50-23



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- 2. A demolition permit shall be obtained. In accordance with zoning condition 4C of Z-50-23, Tenant Notice, the following applies: Residential tenants of buildings that exist on the Property prior to the effective date of these conditions (the "Existing Buildings") are entitled to 90 days written notice before the termination of their leases due to redevelopment of the property. The owner of the Property, or their designee, shall provide the Planning and Development Staff with a sworn affidavit confirming compliance with this condition prior to issuance of a demolition permit for a building on the property. A sample copy of the notification letter shall be attached to and referenced in the affidavit. This condition is not intended to amend any lease or lease term. This condition does not expand the notice period that the Landlord is required by North Carolina law to give such holdover tenants to quit a tenancy from month to month.
- 3. In accordance with zoning condition 4D of Z-50-23, Relocation Assistance, prior to issuance of a demolition permit for buildings on the property, the Property Owner or its designee shall provide to the Planning and Development Staff a sworn affidavit confirming that notice of eligibility for relocation assistance was given to each residential unit located in the Existing Buildings on the Property. A copy of the eligibility notice, identification of the residential units receiving relocation assistance, and the dates such assistance payments were made shall be included in the affidavit required by this condition.
- 4. This plan must conform to zoning condition 4A of Z-50-23, Affordable Housing. Prior to the issuance of any building permit, this (affordable housing) payment obligation shall be evidenced by a promissory note to the City. If a sale of the project or the property (or a portion thereof), including a sale of controlling interests of an ownership entity within the project, occurs subsequent to the issuance of the first building permit and prior to the payment in full of the sum described within this condition, any outstanding amount shall be paid prior to the change of ownership.

## Engineering

5. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

## **Public Utilities**

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## **Urban Forestry**

 A public infrastructure surety for 23 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion, 11 street trees, and 125% of the improvement cost for the City of Raleigh infrastructure, 12 street trees.



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- 9. A tree impact permit must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 11 street trees along Avent Ferry Road and 12 street trees along Varsity Drive for a total of 23 street trees.
- 10. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

## The following are required prior to issuance of building occupancy permit:

#### General

- 1. Final inspections of the tree conservation area and rights-of-way street trees by Urban Forestry Staff.
- 2. In accordance with zoning condition 4A of Z-50-23, Affordable Housing, the Property Owner shall pay to the City a fee in the amount of \$140,000 in lieu of dedicating affordable units. The payment shall be placed in the fund designated for the City's Affordable Housing Program. The amount shall be paid in full prior to the issuance of the first certificate of occupancy. Prior to the issuance of any building permit, this payment obligation shall be evidenced by a promissory note to the City. If a sale of the project or the property (or a portion thereof), including a sale of controlling interests of an ownership entity within the project, occurs subsequent to the issuance of the first building permit and prior to the payment in full of the sum described within this condition, any outstanding amount shall be paid prior to the change of ownership.

#### Stormwater

- 3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- 4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
- EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

#### 3-Year Expiration Date: October 9, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

#### **4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified



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time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:

Keegan McDonald

Development Services Dir/Designee

Date: 10/09/2024

Staff Coordinator: Michael Walters

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eedevelopment of lot for a privatized student housing apartment complex and associated infrastructure         Current Property Owner(s): Dobs Inc.         Company: Dobs Inc.         Title:         Address: 3939 Glenwood Ave. Suite 166 Raleigh, NC 27612         Phone #:       Email:         Applicant Name (If different from owner. See "who can apply" in instructions):         Relationship to owner:       Lessee or contract purchaser         Company: Trinitas       Development LLC         Address:       159 N. Sangaman Dr. Suite 200 Chicago, IL 60607         Phone #: 765.807.2737       Email: lirving@trinitas.ventures         IOTE: please attach purchase agreement or contract, lease or easement when submitting this form.         Developer Contact: Linda Irving         Company: Trinitas       Title: Vice President         viddress: 159 N. Sangaman Dr. Suite 200 Chicago, IL 60607         Phone #: 765.807.2737       Email: lirving@trinitas.ventures         uplicant Name: Linda Irving       Email: lirving@trinitas.ventures         upplicant Name: Linda Irving       Address: 159 N. Sangaman Dr. Suite 200 Chicago, IL 60607         Phone #: 765.807.2737       Email: lirving@trinitas.ventures         upplicant Name: Linda Irving       Address: 159 N. Sangaman Dr. Suite 200 Chicago, IL 60607         Phone #: 765.807.2737       Email: lirving@trinitas.ventures	Site P.I.N.(s):0793472384								
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Phone #: 765.807.2737 E	Email: lirving@trinitas.ventures
DEVELOP	MENT TYPE + SITE DATE TABLE
	blicable to all developments)
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage or RX-7-UL-CU	of each): Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 2.86 AC (124,646 SF)	Existing gross floor area to be demolished: 17,402 SF
# of parking spaces proposed: 326 Spaces	New gross floor area: 510,585 SF
Max # parking permitted (7.1.2.C): 848 Space	Total sf gross (to remain and new): 510,585 SF
Overlay District (if applicable): N/A	Proposed # of buildings: 1

Existing use (UDO 6.1.4): Apartments Proposed # of stories for each: 7 Proposed use (UDO 6.1.4): Apartments Proposed # of basement levels (UDO 1.5.7.A.6) 0

STORMWATER INFORMATION								
Imperious Area on Parcel(s):	Impervious Area for Compliance							
	(includes ROW):							
Existing (sf) 58,622 Proposed total (sf) 93,912								
	Existing (sf) <u>58,622</u> Proposed total (sf) <u>124,150</u>							
<b>RESIDENTIAL &amp; OVERNIGHT</b>	LODGING DEVELOPMENTS							
Total # of dwelling units: 324 Units	Total # of hotel bedrooms: N/A							
# of bedroom units: 1br <u>71</u> 2br <u>119</u> 3br <u>33</u>	4br or more <u>101</u>							
# of lots:	Is your project a cottage court? OYes 💿 No							
	A frequent transit development? O Yes O No							

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Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Licha Liver Date: 4/9/24 Printed Name: Linda Irving Date: Signature: Printed Name:

)	IEW AVENUE		
	BURT		AND ROAD
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	DRIVE		
		CREST RUAU	

# VARSITY DRIVE APARTMENTS

# **ADMINISTRATIVE SITE REVIEW**

1530 VARISTY DRIVE RALEIGH, NORTH CAROLINA 27606 CITY OF RALEIGH CASE #: ASR-0023-2024 PROJECT NUMBER: SPEC-23034

# DATE: APRIL 16, 2024 REVISED: JUNE 19, 2024 REVISED: SEPTEMBER 12, 2024

SITE ADDRESS/PIN NUM	VIBER	1530 VARSITY DRIVE, RALEIGH, NORTH CAROLINA 27616 / PIN# 0793472384					
EXISTING ZONING:		RX-7-UL-CU (RESIDENTIAL MIXED USE - 7 STORY - URBAN LIMITED- CONDITIONAL U	JSE)				
OVERLAY DISTRICT:		N/A					
BLOCK PERIMETER:		MAX ALLOWABLE: 2,500 LF PROPOSED: N/A <sup>1</sup>					
WATER SUPPLY WATER	RSHED:	NEUSE-PERRY CREEK					
FLOODPLAIN/FIRM PAI	NEL:	N/A					
SITE AREA:		GROSS SITE AREA:2.86 ACRES OR 124,646 SF.RIGHT-OF-WAY DEDICATION:0.19 ACRES OR 8,142 SF.NET SITE AREA:2.67 ACRES OR 116,504 SF.					
EXISTING USE: PROPOSED USE: PRIMARY STREET(S): BUILDING + PARKING SETRACK: BUILD-TO		APARTMENTS					
		APARTMENT (324 DWELLING UNITS)	APARTMENT (324 DWELLING UNITS)				
		VARSITY DRIVE AVENT FERRY ROAD					
BUILDING + PARKING SETBACK:	BUILD-TO	PRIMARY STREET (MIN/MAX):0'/20'PRIMARY BUILDING WIDTH (MIN):50%SIDE STREET (MIN/MAX):0'/20'SIDE BUILDING WIDTH (MIN):25%					
	SETBACKS	PRIMARY STREET:BUILDING SETBACK 5'PARKING SETBACK 10'SIDE STREET:5'10'SIDE LOT LINE:0' OR 6'0'REAR LOT LINE:0' OR 6'0'FROM ALLEY:4' OR 20' MIN4'					
BUILDING HEIGHT:	•	MAXIMUM ALLOWED: 7 STORIES PROPOSED: 7 STORY BUILDING					
TREE CONSERVATION		REQUIRED:         0.267 AC. OR 11,650 SF (10.0% NET SITE AR PROPOSED:           0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4% NET SITE AR 0.2791 AC. OR 12,155 SF (10.4\% NET SITE AR 0.2791 AC. OR 12					
IMPERVIOUS AREA		EXISTING :         1.35 AC. (58,622 SF)           PROPOSED:         2.16 AC. (93,912 SF)           DELTA:         +0.81 AC. (35,290 SF)					

ARE NOT APPLICABLE

BUILDING DATA:		BUILDING 1: (399,315 S GARAGE 1: (111,270 SF) TOTAL GROSS AREA: 51	
PARKING DATA:	VEHICLE PARKING	MAXIMUM (PER UDO):	877 TOTAL SPACES
		APARTMENTS:	877 MAXIMUM SPACES (1.5 SPACES MAX/0-1 BED (2.25 SPACES MAX/2 BED (3 SPACES MAX/3 BEDROC (4 SPACES MAX/4 BEDROC
		PROVIDED:	311 STANDARD SPACES +
	ACCESSIBLE PARKING		CCESSIBLE SPACES; 2 VAN S CCESSIBLE SPACES; 2 VAN S
	BIKE PARKING (SHORT-TERM)	REQUIRED (PER UDO):	, ,
		PROVIDED:	18 SPACES (9 RACKS; 2 SP.
	BIKE PARKING (LONG-TERM)	REQUIRED (PER UDO):	116 TOTAL SPACES (1 SPA
		PROVIDED:	162 SPACES

# OUTDOOR AMENITY AREA CALCULATIONS

2.67 AC. OR 116,504 SF. SITE AREA: REQUIRED AMENITY AREA: 0.27 AC OR 11,650 SF PROVIDED AMENITY AREA: 0.40 AC OR 17,350 SF.

	BUILD	ТО	CALC	ULAT	IONS:
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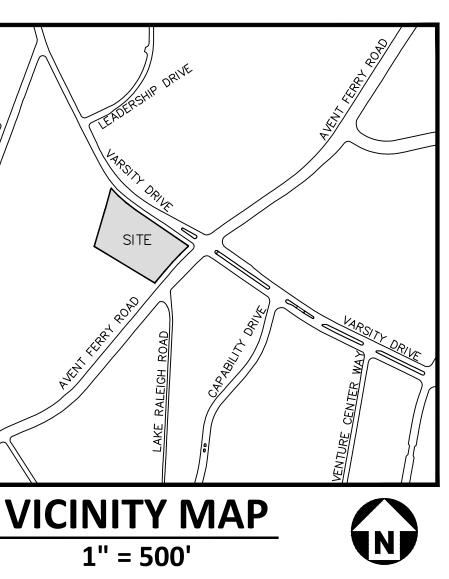
PROVIDED BUILDING WIDTH IN BUILD TO:

VARSITY DRIVE:	512 LF
REQUIRED BUILDING WIDTH IN BUILD TO:	256 LF (50%)
PROVIDED BUILDING WIDTH IN BUILD TO:	442 LF (86%)
AVENT FERRY ROAD:	267 LF
REQUIRED BUILDING WIDTH IN BUILD TO:	133 5 LE (50%)

220.6 LF (83%)

# SOLID WASTE INSPECTION STATEMENT

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF RALEIGH SOLID WASTE SERVICES (SWS) WILL NOT SERVICE THIS DESIGN.
- WILL SERVE LETTER IS PROVIDED ON CO.00 FOR PRIVATE HAULER (WASTE MANAGEMENT)





50 ONE BED; 119 TWO BED; 34 THREE BED; 100 FOUR BED) DROOM UNIT) X 71 UNITS = 107 SPACES MAX DROOM UNIT) X 119 UNITS = 268 SPACES MAX )M UNIT) X 34 UNITS = 102 SPACES M OOM UNIT) X 100 UNITS = 400 SPACES MAX 10 ACCESSIBLE (2 VAN) = 321 TOTAL PACES SPACES CE/20 UNITS; 4 MIN)

ACES EACH RACK ACE/7 BEDROOMS) **REZONING CONDITIONS** 

Z-50-23 1. THE FOLLOWING PRINCIPAL USES AS LISTED IN UDO SECTION 6.1.4 THAT ARE PERMITTED, LIMITED, OR SPECIAL USES IN THE RX- DISTRICT SHALL BE PROHIBITED: (I) CEMETERY, (II) TELECOMMUNICATION TOWER (OF ANY HEIGHT), (III) OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (OF ANY SEATING CAPACITY), (IV) BED AND BREAKFAST. (V) HOSPITALITY HOUSE. (VI) PARKING FACILITY. RESPONSE: THE USE OF THE PROPOSED DEVELOPMENT IS APARTMENTS. WHICH IS NOT IN THE LIST OF PROHIBITED USES. 2. NEITHER VINYL SIDING (NOTWITHSTANDING VINYL WINDOW COMPONENTS) NOR EIFS SHALL BE USED AS A BUILDING SIDING MATERIAL RESPONSE: NEITHER OF THESE MATERIALS ARE PROPOSED AS THE BUILDING SIDING MATERIAL.

3. THE NUMBER OF DWELLING UNITS CONSTRUCTED ON THE PROPERTY SHALL NOT EXCEED 340 DWELLING UNITS RESPONSE: 324 DWELLING UNITS ARE PROPOSED, WHICH DOES NOT EXCEED THE MAXIMUM ALLOWABLE. 4. THE FOLLOWING CONDITION SHALL APPLY ONLY TO DEVELOPMENT QUALIFYING AS A TIER 3 SITE PLAN

A. AFFORDABLE HOUSING. THE PROPERTY OWNER SHALL PAY TO THE CITY A FEE IN THE AMOUNT OF \$140,000 IN LIEU OF DEDICATING AFFORDABLE UNITS. THE PAYMENT SHALL BE PLACED IN

**B. BIKESHARE** 

C. TENANT NOTICE

D. RELOCATION ASSISTANC

RESPONSE: THE OWNER WILL PROVIDE RELOCATION ASSISTANCE WHERE NEEDED

THE FUND DESIGNATED FOR THE CITY'S AFFORDABLE HOUSING PROGRAM. THE AMOUNT SHALL BE PAID IN FULL PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATE OF OCCUPANCY. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THIS PAYMENT OBLIGATION SHALL BE EVIDENCED BY A PROMISSORY NOTE TO THE CITY. IF A SALE OF THE PROJECT OR THE PROPERTY (OR A PORTION THEREOF), INCLUDING A SALE OF CONTROLLING INTERESTS OF AN OWNERSHIP ENTITY WITHIN THE PROJECT, OCCURS SUBSEQUENT TO THE ISSUANCE OF THE FIRST BUILDING PERMIT AND PRIOR TO THE PAYMENT IN FULL OF THE SUM DESCRIBED WITHIN THIS CONDITION, ANY OUTSTANDING AMOUNT SHALL BE PAID PRIOR TO THE CHANGE OF OWNERSHIP. RESPONSE: THIS FEE IN LIEU WILL BE PAID BY THE OWNER PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY.

THE SITE PLAN FOR DEVELOPMENT OF THE PROPERTY SHALL PROVIDE FOR A MUTUALLY ACCEPTABLE LOCATION ON ADJACENT PUBLIC RIGHT-OF-WAY TO ACCOMMODATE A CITY BIKESHARE STATION. THE PROPERTY OWNER SHALL PROVIDE A STATION OF NO FEWER THAN 8 DOCKS, AT LEAST 6 ELECTRIC-ASSIST BIKES, AND INSTALLATION OF ALL NECESSARY EQUIPMENT FOR A FUNCTIONAL BIKESHARE STATION, PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE FIRST BUILDING CLOSEST TO THE PROPOSED BIKESHARE STATION. THE "MUTUALLY ACCEPTABLE LOCATION" FOR THE BIKESHARE STATION SHALL BE DETERMINED BY THE PROPERTY OWNER AND THE CITY. RESPONSE: A BIKESHARE STATION WITH 8 BAYS ARE PROVIDED ON THE PROPOSED DEVELOPMENT

RESIDENTIAL TENANTS OF BUILDINGS THAT EXIST ON THE PROPERTY PRIOR TO THE EFFECTIVE DATE OF THESE CONDITIONS (THE "EXISTING BUILDINGS") ARE ENTITLED TO 90 DAYS WRITTEN NOTICE BEFORE THE TERMINATION OF THEIR LEASES DUE TO REDEVELOPMENT OF THE PROPERTY. THE OWNER OF THE PROPERTY, OR THEIR DESIGNEE, SHALL PROVIDE THE PLANNING AND DEVELOPMENT STAFF WITH A SWORN AFFIDAVIT CONFIRMING COMPLIANCE WITH THIS CONDITION PRIOR TO ISSUANCE OF A DEMOLITION PERMIT FOR A BUILDING ON THE PROPERTY. A SAMPLE COPY OF THE NOTIFICATION LETTER SHALL BE ATTACHED TO AND REFERENCED IN THE AFFIDAVIT. THIS CONDITION IS NOT INTENDED TO AMEND ANY LEASE OR LEASE TERM. THIS CONDITION DOES NOT EXPAND THE NOTICE PERIOD THAT THE LANDLORD IS REQUIRED BY NORTH CAROLINA LAW TO GIVE SUCH HOLDOVER TENANTS TO QUIT A TENANCY FROM MONTH TO MONTH. RESPONSE: THE EXISTING TENANTS WILL BE NOTIFIED WITH ENOUGH NOTICE FOR THE TERMINATION OF THEIR LEASES.

IN THE EVENT THAT PROPERTY OWNER IS REQUIRED BY THESE ZONING CONDITIONS TO PROVIDE TENANTS OF THE EXISTING BUILDINGS WITH 90 DAYS WRITTEN NOTICE OF LEASE TERMINATION UNDER CONDITION 4.C., THE PROPERTY OWNER OR ITS DESIGNEE SHALL PROVIDE RELOCATION ASSISTANCE IN AN AMOUNT OF 82,500 FOR EACH DWELLING UNIT, IRRESPECTIVE OF THE NUMBER OF OCCUPANTS OR BEDROOMS IN EACH DWELLING UNIT. PRIOR TO ISSUANCE OF A DEMOLITION PERMIT FOR BUILDINGS ON THE PROPERTY, THE PROPERTY OWNER OR ITS DESIGNEE SHALL PROVIDE TO THE PLANNING AND DEVELOPMENT STAFF A SWORN AFFIDAVIT CONFIRMING THAT NOTICE OF ELIGIBILITY FOR RELOCATION ASSISTANCE WAS GIVEN TO EACH RESIDENTIAL UNIT LOCATED IN THE EXISTING BUILDINGS ON THE PROPERTY. A COPY OF THE ELIGIBILITY NOTICE, IDENTIFICATION OF THE RESIDENTIAL UNITS RECEIVING RELOCATION ASSISTANCE, AND THE DATES SUCH ASSISTANCE PAYMENTS WERE MADE SHALL BE INCLUDED IN THE AFFIDAVIT REQUIRED BY THIS CONDITION.

SHEET IN	DEX
C0.00	PROJECT NOTES
C1.00	EXISTING CONDITIONS (SURVEY PROVIDED BY KCI)
C1.01	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C3.00	OVERALL GRADING PLAN
C4.00	OVERALL UTILITY PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	WATER DETAILS
C8.03	WATER DETAILS
C8.04	STORM DETAILS
C8.05	SANITARY SEWER DETAILS
C9.00	STORMWATER CONTROL MEASURE PLAN
C9.01	STORMWATER CONTROL MEASURE DETAILS
L8.00	TREE CONSERVATION PLAN
L4.00	CODE COMPLIANCE LANDSCAPE PLAN (BY OTHERS)
L9.10	LANDSCAPE DETAILS AND NOTES (BY OTHERS)
SL1.01	SITE LIGHTING SEVENTH FLOOR PHOTOMETRIC PLAN (BY OTH
ARCHITECT	URAL SHEETS
A 101	

**BUILDING PLANS & LEVEL DIAGRAM** A-101

A-201 **BUILDING ELEVATIONS** 

TOTAL LIMITS OF DISTURBANCE = 3.15 ACRES

SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT NCDOT AND CITY OF RALEIGH ENGINEERING

DESIGN AND CONSTRUCTION STANDARDS

# HORIZONTAL DATUM: NAD 83 VERTICAL DATUM: NAVD 88

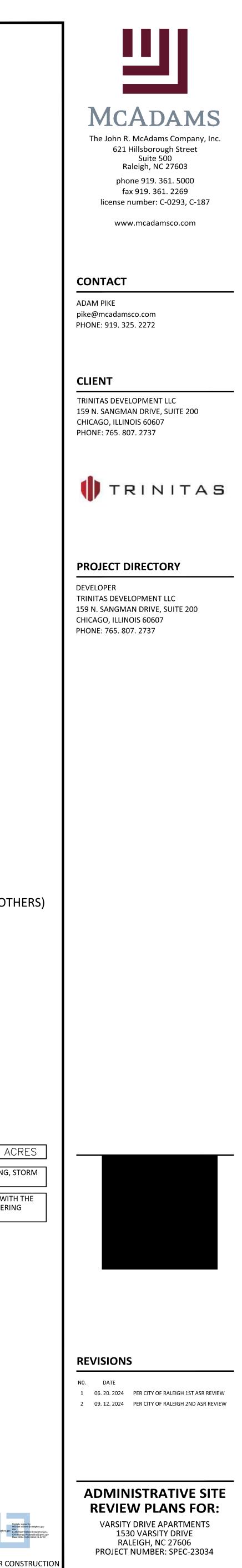
# **ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



# SITE PLAN NOTES 1. NON-ALLEY LOADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF TWO STREET RIGHT-OF-WAYS. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE RADIUS OF CURVATURE. OR 20 FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICH EVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENCROACH ON THE MINIMUM CORNER CLEARANCE. REFER TO SECTION 6.5 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL 2. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINOR RESIDENTIAL, RESIDENTIAL, AND RESIDENTIAL COLLECTOR INTERSECTIONS. THE FULL LENGTH OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRADED ALONG ALL MAJOR, MINOR. & SENSITIVE AREA THOROUGHFARES. 3. WITHIN THE AREA DEFINED SIGHT TRIANGLES SHOWN ON THESE PLANS, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVEL WAY IF NO CURB LINE EXISTS. REFER TO SECTION 6.12 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS. 4. MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEIGH TRANSPORTATION DIVISION THAT THE MULTIWAY STOP INSTALLATION WARRANTS CAN BE MET AND ORDINANCED BY CITY COUNCIL APPROVAL. 5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE. 6. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED. 7. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER. 8. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE. 9. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS. 10. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY. 11. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.). 12. PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT (919) 996-2409, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION. 13. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN. 14. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) DETAILS.

15. ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND. HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). 16. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION

- REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMS A HEAVIER SECTION IS REQUIRED. 17. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE
- OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
- 18. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE. 19. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.
- 20. ANY TRANSIT STOP LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL LOCATION SHALL BE DETERMINED ONCE THE CITY OF RALEIGH TRANSIT ROUTE HAS BEEN FINALIZED. ALL TRANSIT STOPS SHALL HAVE A 10'x20'x6" (3000 PSI) CONCRETE PAD.

# ADDITIONAL UTILITY NOTES

- 1. ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER. 2. ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS, ALL PIPE MATERIAL SHALL MEET CITY
- OF RALEIGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNIFIED DEVELOPMENT ORDINANCE (UDO).
- 3. ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 5'Wx5'L CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT PROPERTY. 4. ALL SANITARY SEWER INTERCEPTOR LINES (12" AND LARGER), AS WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE INTERCEPTOR LINE, SHALL BE INTERNALLY LINED WITH PROTECTO 401 OR APPROVED EQUAL TO PREVENT HYDROGEN SULFIDE
- CORROSION. SEE THE CURRENT CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK FOR APPROVED COATINGS AND APPLICATION METHODS. 5. IN ACCORDANCE WITH GENERAL STATUTE 87-121(G), ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2014 SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
- 6. EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- 7. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
- 8. ALL WATER AND SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER.
- 9. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- 10. ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2' MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND MARKED.

# **RETAINING WALL NOTES**

- 1. THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE BOTTOM OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENCROACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS. 2. RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO
- OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
- 3. RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH CONFIRMATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER THAT READILY AVAILABLE ON-SITE SOILS CAN BE USED
- 4. THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS. 5. ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
- 6. ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT AGREEMENT. ENCROACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL
- 7. ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
- STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.
- 9. ALL WORK TO BE CONSTRUCTED IN STRICT COMPLIANCE W THE GEOTECHNICAL REPORT.

# **CITY OF RALEIGH PUBLIC UTILITIES** STANDARD UTILITY NOTES (AS APPLICABLE)

- SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION). 2. UTILITY SEPARATION REQUIREMENTS:
- DIAMETER
- WATERLINE SPECIFICATIONS.
- DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER. CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
- REQUIRED.
- RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES
- PROVIDE ADEOUATE FLOW & PRESSURE.
- EVERY 75 LINEAR FEET MAXIMUM.
- 24. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. WHERE SANITARY SERVICES ARE A BACKWATER VALVE.
- SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- 296-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

# **GRADING NOTES**

- DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- APPLICABLE.
- IMMEDIATELY
- REPRESENTATIVE OF THE OWNER.
- CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- 9. ALL WORK TO BE CONSTRUCTED IN STRICT COMPLIANCE W THE GEOTECHNICAL REPORT.

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS &

a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL. b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE

c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO

d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS

f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION

3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF

4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO

6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN

ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE. 7. INSTALL 3/4" COPPER\* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO

8. INSTALL 4" PVC\* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED

SERVING A BUILDING INSTALLED ON A FLOOR WITH A FINISHED FLOOR ELEVATION BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER, SUCH FIXTURES SHALL BE PROTECTED BY A BACKWATER VALVE INSTALLED IN THE SERVICE LINE. SANITARY SERVICES SERVING A BUILDING WITH A FINISHED FLOOR ELEVATION ABOVE THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER SHALL NOT DISCHARGE THROUGH

25. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION. 26. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS &

27. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919)

28. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN. 2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN

3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS

4. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER

5. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A

6. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL

7. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED

8. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND

# TRAFFIC CONTROL NOTES

- 1. THE CONTRACTOR SHALL CONDUCT ALL WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD
- (MOST CURRENT EDITION). 3. PRIOR TO START OF WORK, A PRE CONSTRUCTION MEETING MUST BE SETUP WITH THE CONTRACTOR AND THE CITY OF RALEIGH
- TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING. 4. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY
- CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE
- 5. A TEMPORARY STREET CLOSURE REQUEST MUST BE SUBMITTED AT LEAST A MINIMUM OF TWO WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT REQUEST TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 6. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMITS, APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
- 7. THE CONTRACTOR SHALL REPAIR ALL DAMAGED DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREETS TO EXISTING CONDITION OR BETTER.
- 8. SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES, DURING CONSTRUCTION, WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

# **PAVEMENT MARKING NOTES**

- 1. ALL PAVEMENT MARKINGS SHOWN IN THESE PLANS FOR CITY OF RALEIGH MAINTAINED STREETS ARE SUBJECT TO FINAL APPROVAL FROM PUBLIC WORKS TRANSPORTATION OPERATIONS DIVISION. CONTRACTOR SHALL CONTACT TRANSPORTATION OPERATIONS AT 919-996-3030 FOR COORDINATION AND FINAL APPROVAL PRIOR TO PLACEMENT OF ANY PAVEMENT MARKINGS. MARKINGS WITHIN NCDOT RIGHT-OF-WAYS SHALL BE IN COMPLIANCE WITH NCDOT STANDARDS AND SPECIFICATIONS.
- 2. ALL SIGNS & PAVEMENT MARKINGS ASSOCIATED WITH THE PUBLIC STREET SYSTEM WILL REQUIRE APPROVAL BY CITY COUNCIL TO BE ORDINANCED FOR ENFORCEMENT.
- 3. ALL PAVEMENT MARKINGS SHALL BE PLACED PER THE NCDOT DIVISION 12 STANDARD DETAILS. BICYCLE LANE MARKINGS SHALL BE PLACED PER CITY OF RALEIGH STANDARD BICYCLE FACILITIES DETAILS.

# STORM DRAINAGE NOTES

CITY OF RALEIGH STORMWATER DEPARTMENT.

- 1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCP) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE GEOTECH TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED PER THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
- 2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS.
- 3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- 4 ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- 5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- 6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD. USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- 7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- 8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
- 10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- 11. ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCDOT STANDARDS BY MANUFACTURER. 12. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION.
- ANY DAMAGED ITEMS SHALL NOT BE INSTALLED. 13. "KNOCK-OUT" BOXES OR HDPE PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY



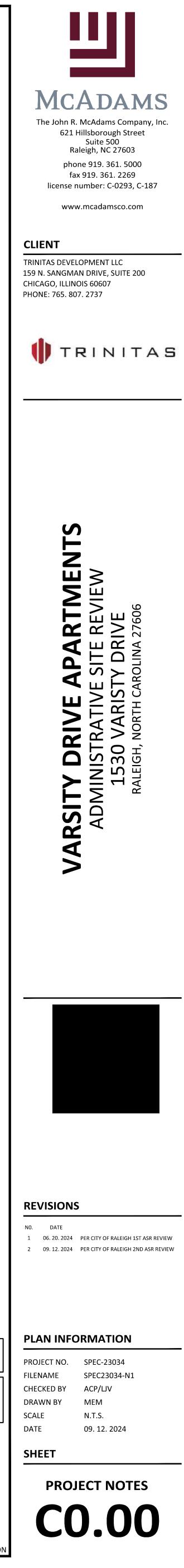
June 5, 2024

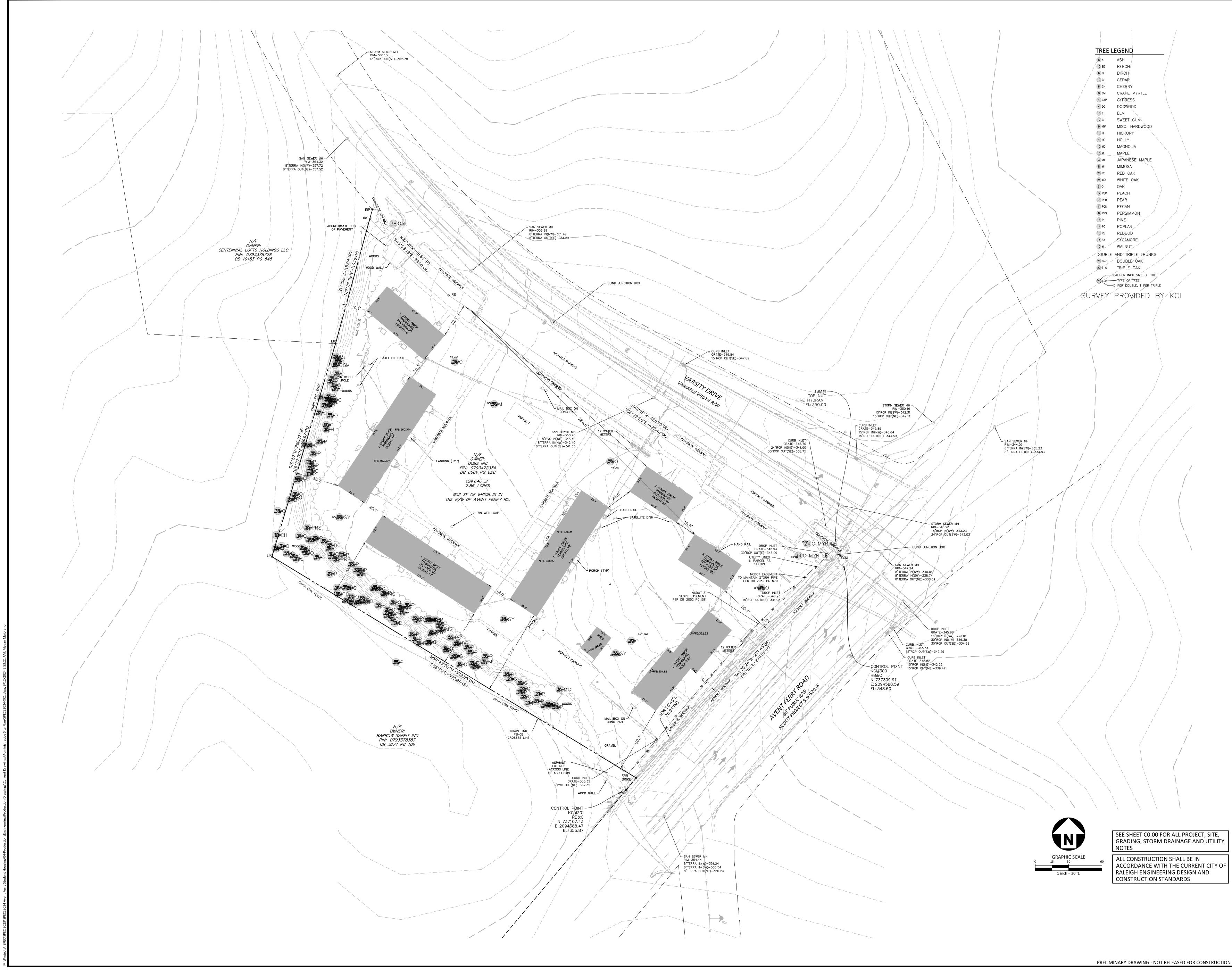
City of Raleigh,

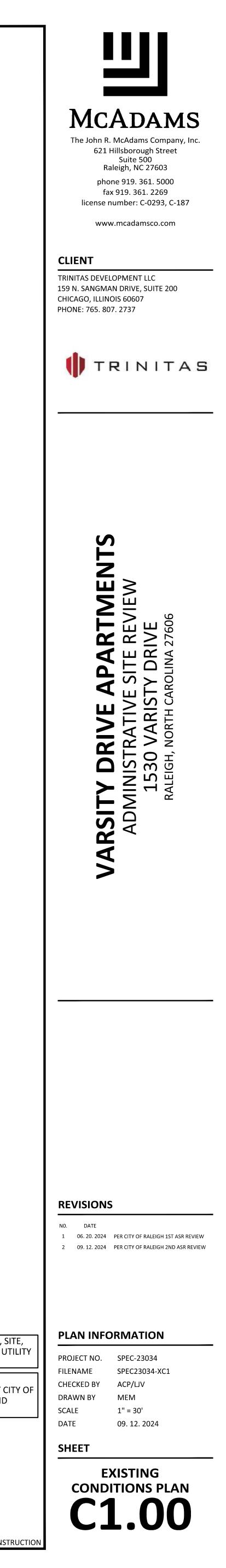
This letter represents that Waste Management is working with the site and will service 1530 Varsity Drive, Raleigh, NC, upon completion of the build-out. We intend to service containers at this site for their waste and recycling needs. Please let me know if you have any questions.

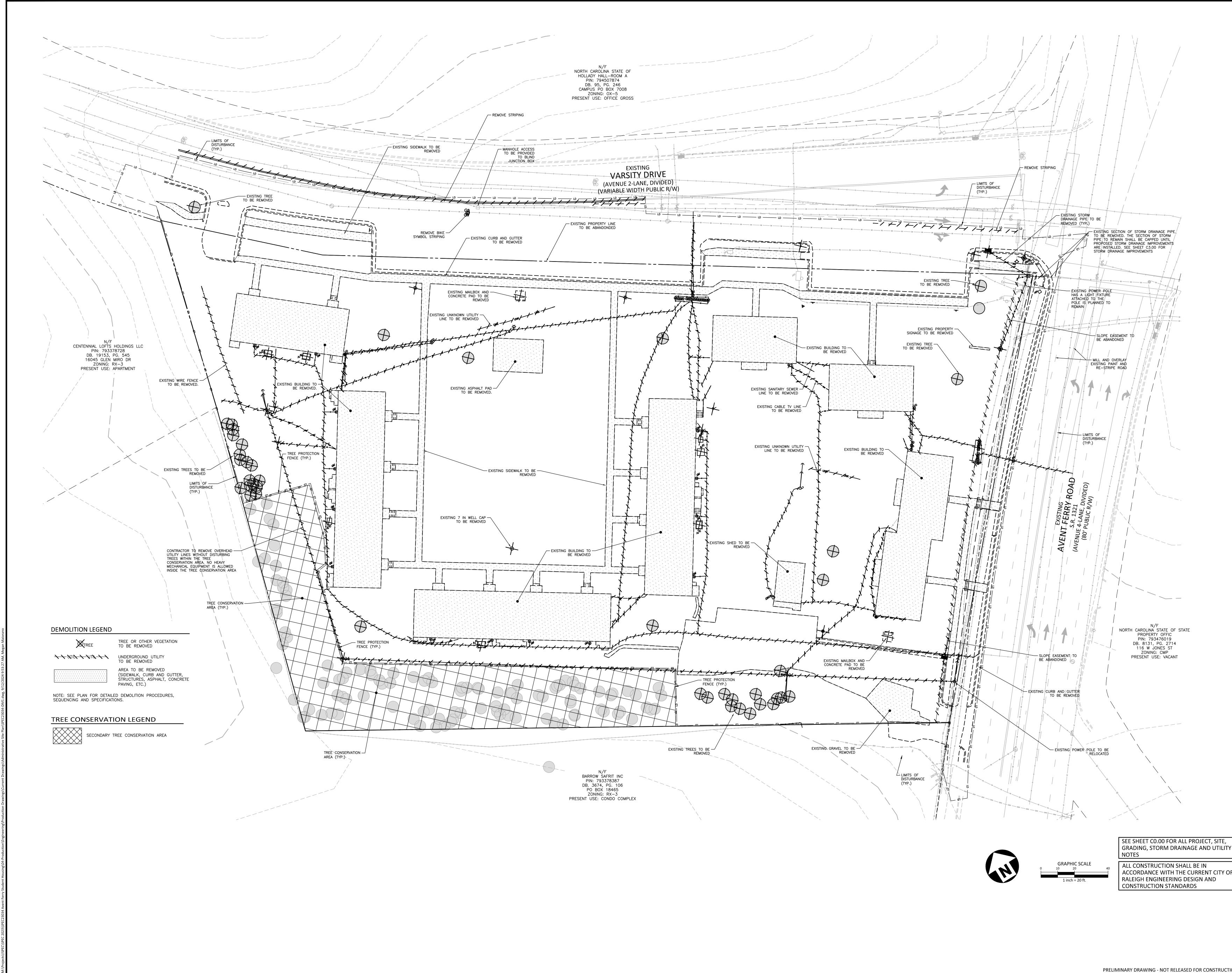
Amber Abercrombie Senior Account Executive South Atlantic Region aabercro@wm.com 919-452-1057

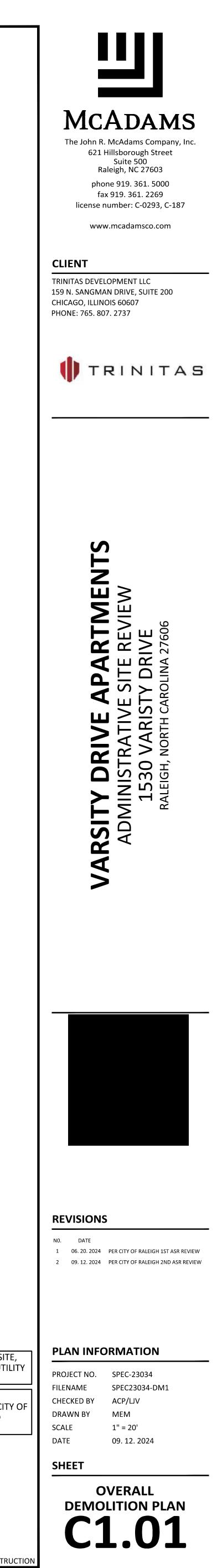
> SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

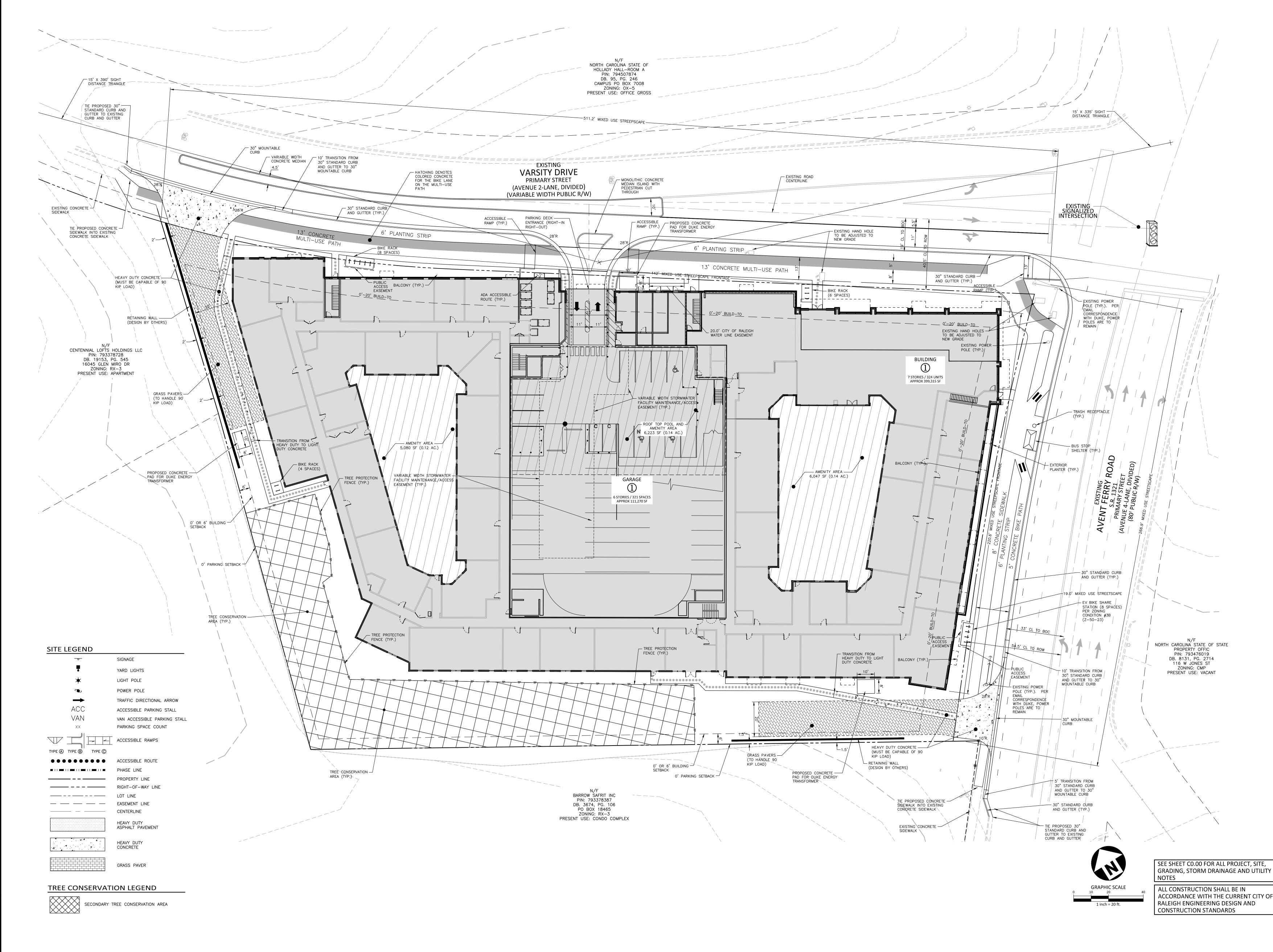




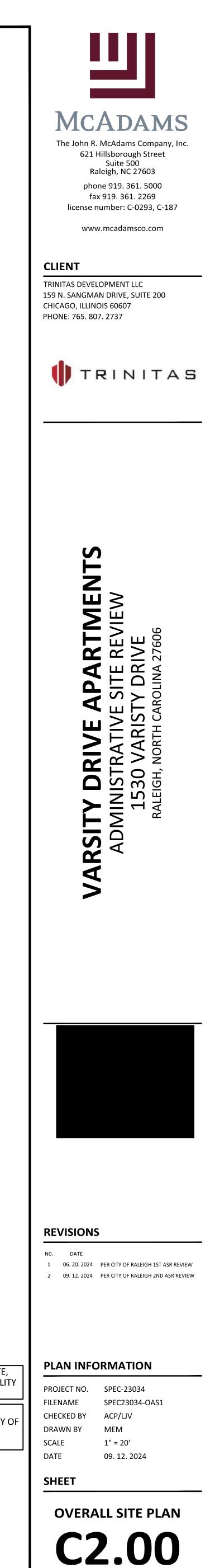


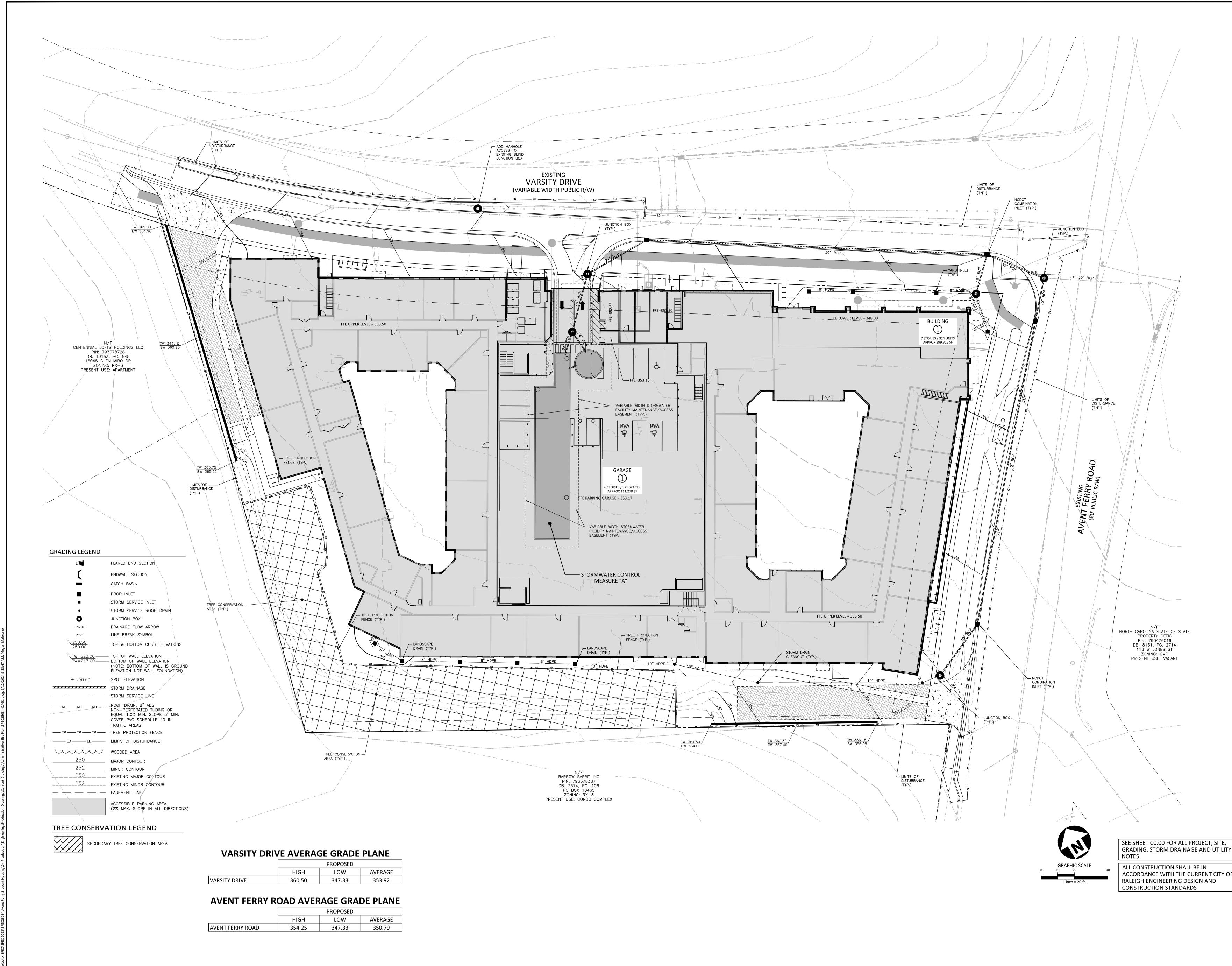


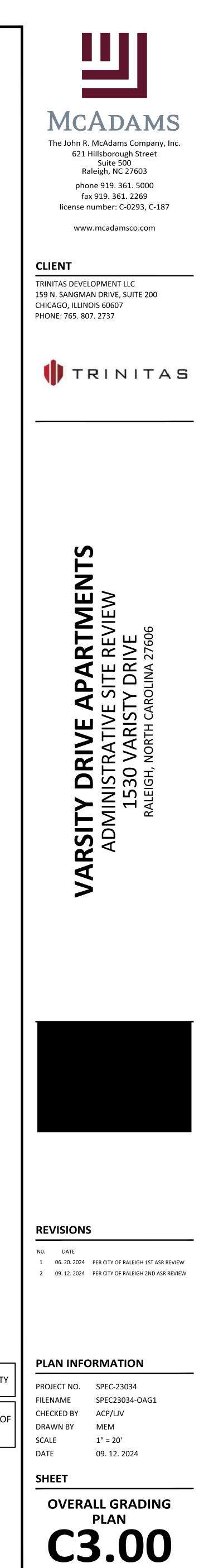


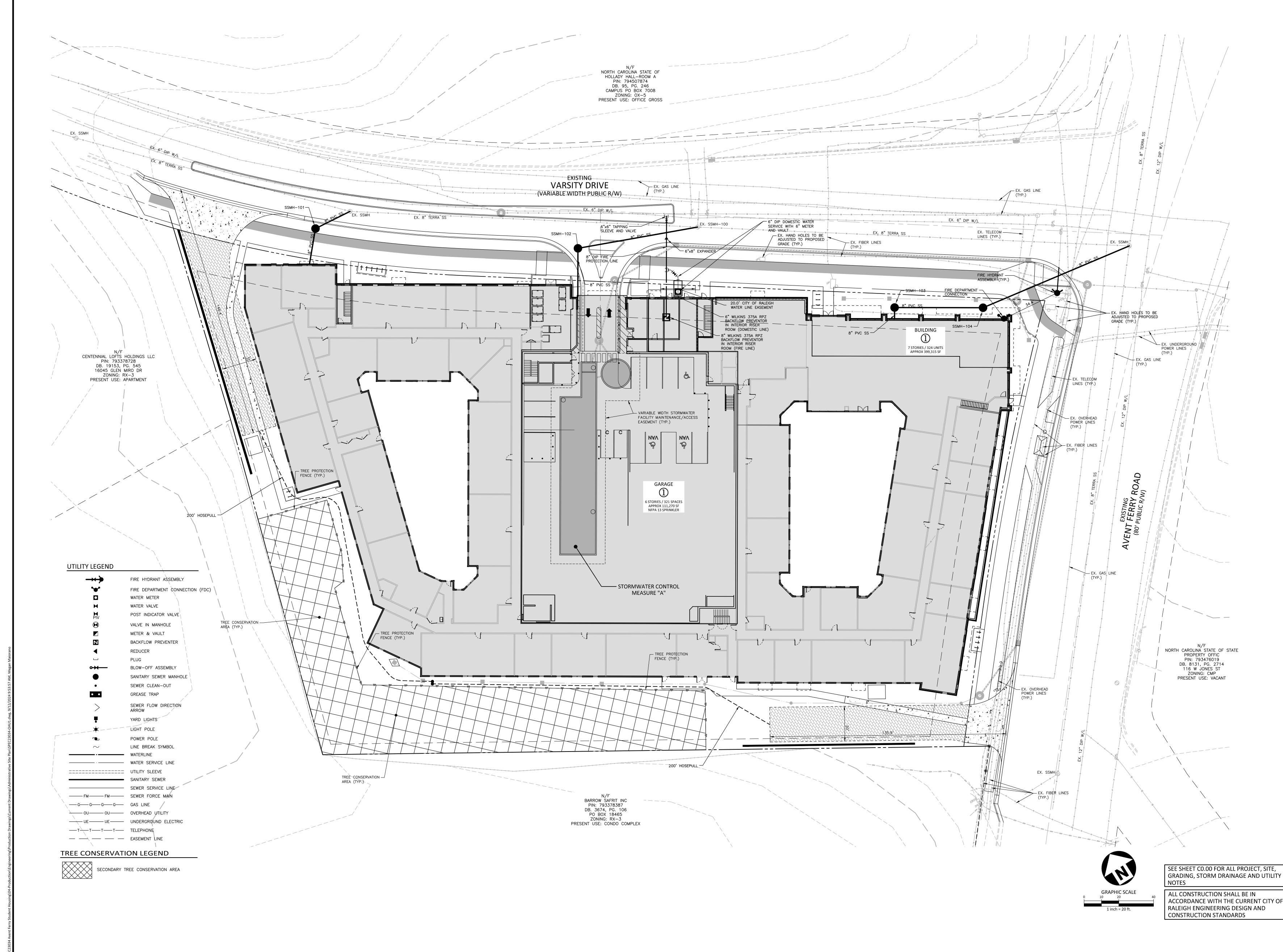


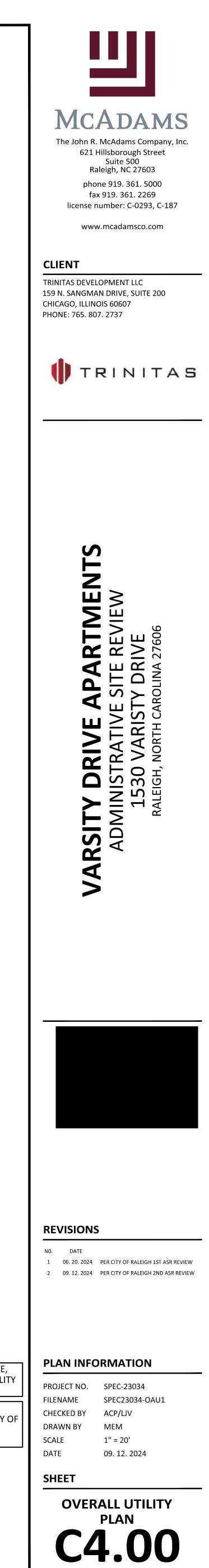
PEC 2023\SPEC23034 Avent Ferry Student Housing\04-Production\Engineering\Production Drawings\Current Drawings\Administrative Site Plan\SPEC23034-0AS1.dwg, 9/12/2024 9:53:37 AM, Megan Maiorano

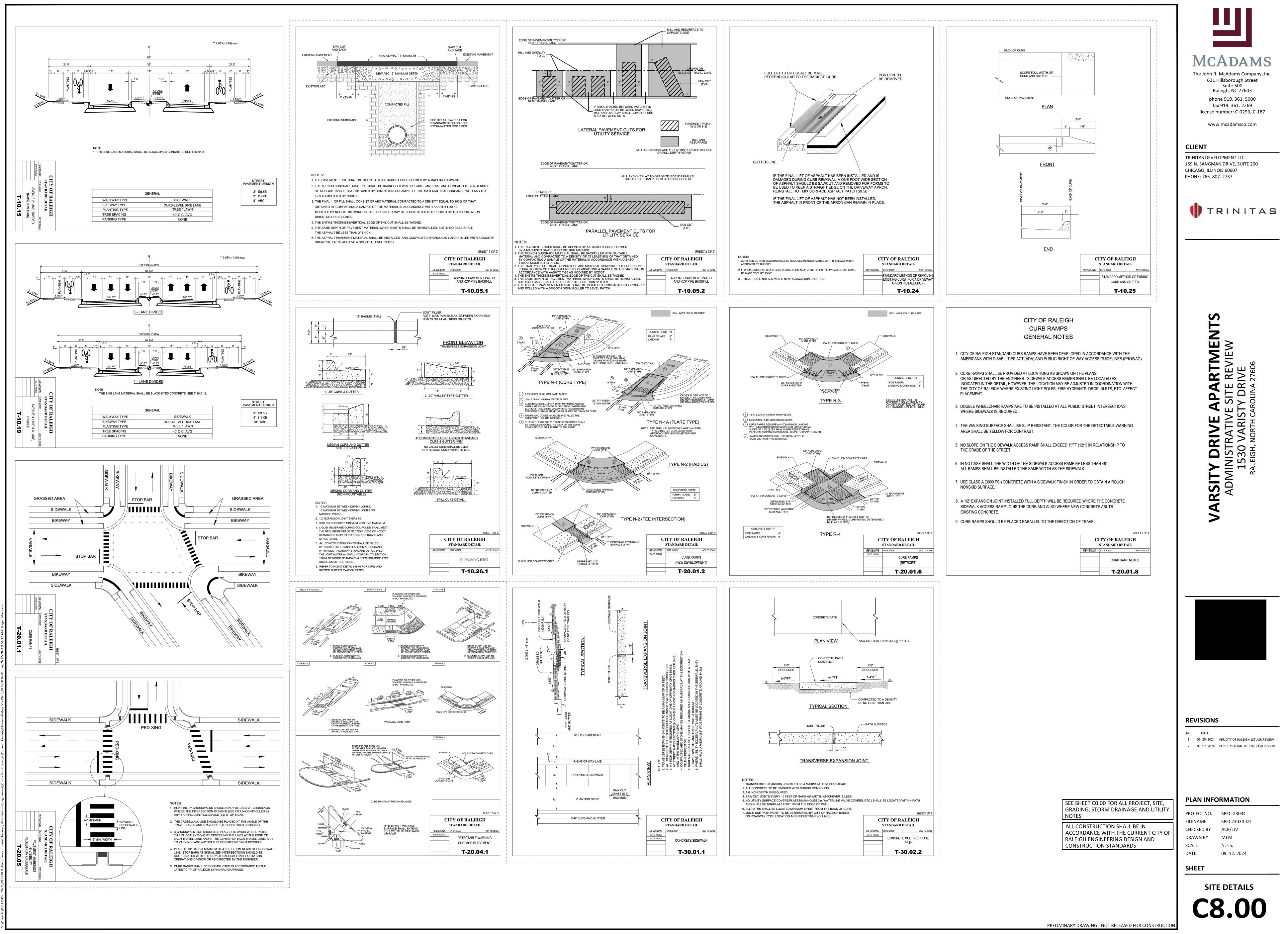


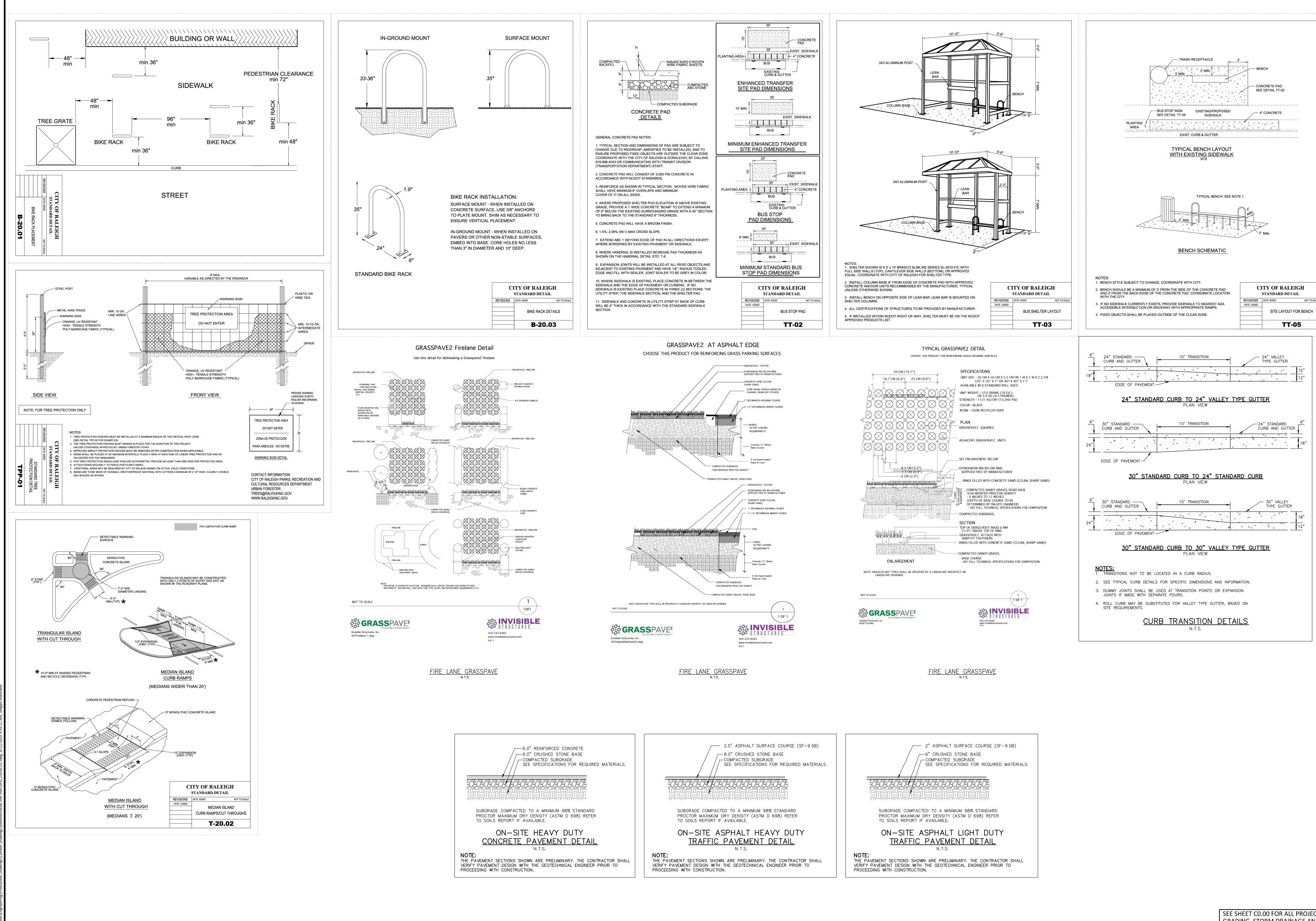






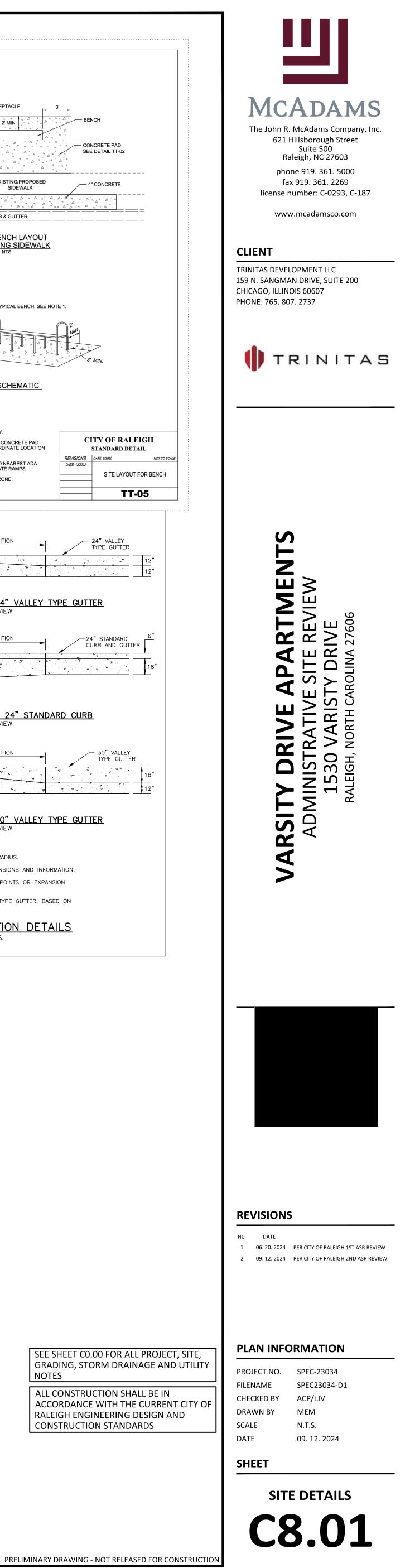






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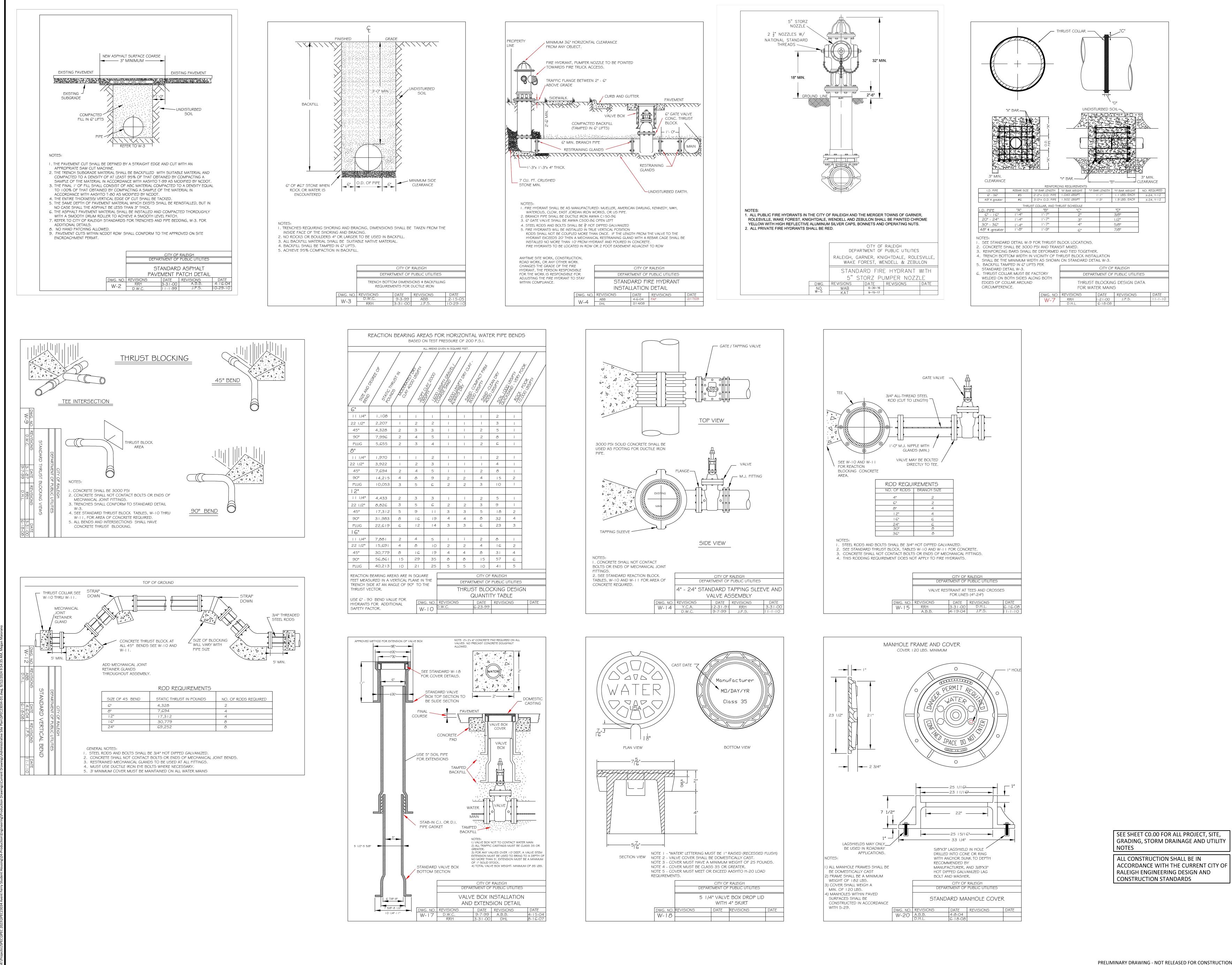
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



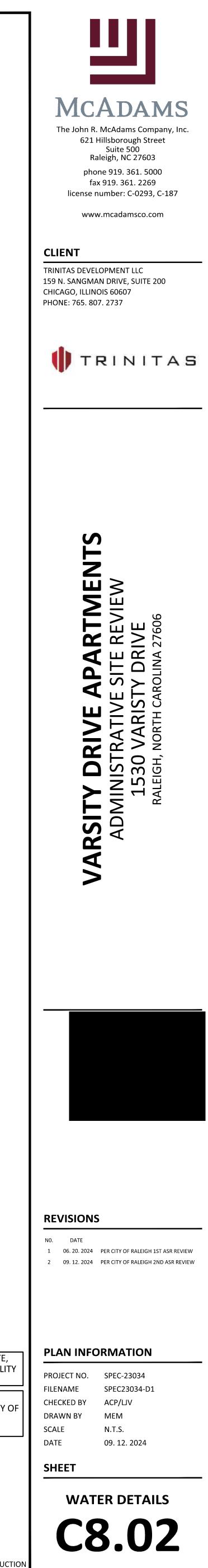
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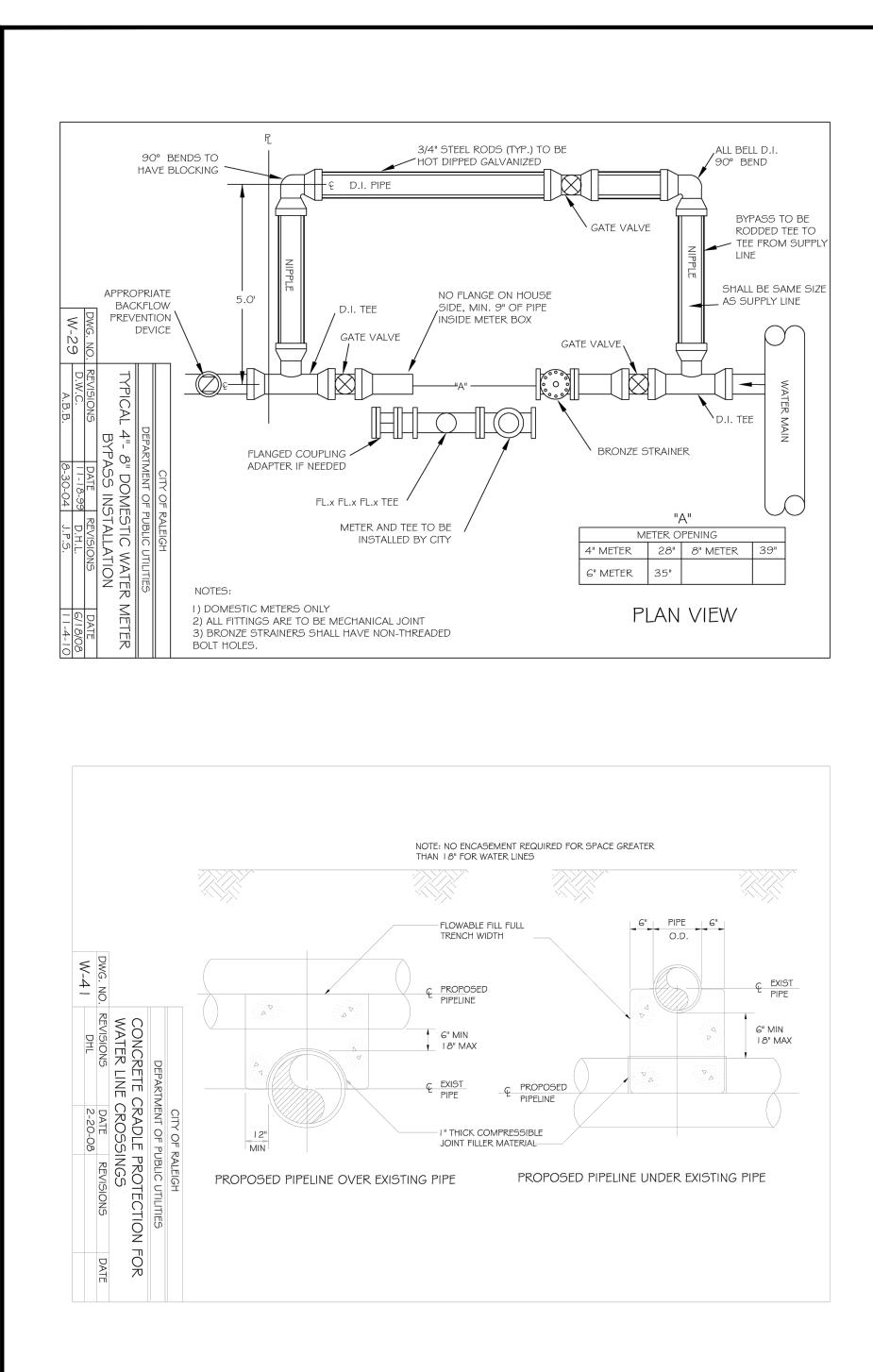
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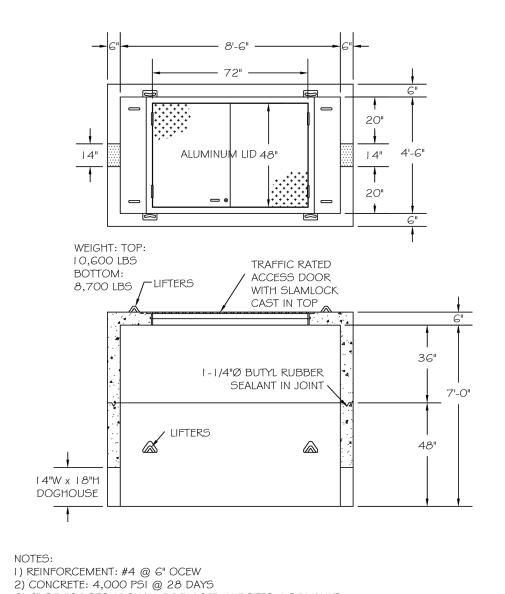
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SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY

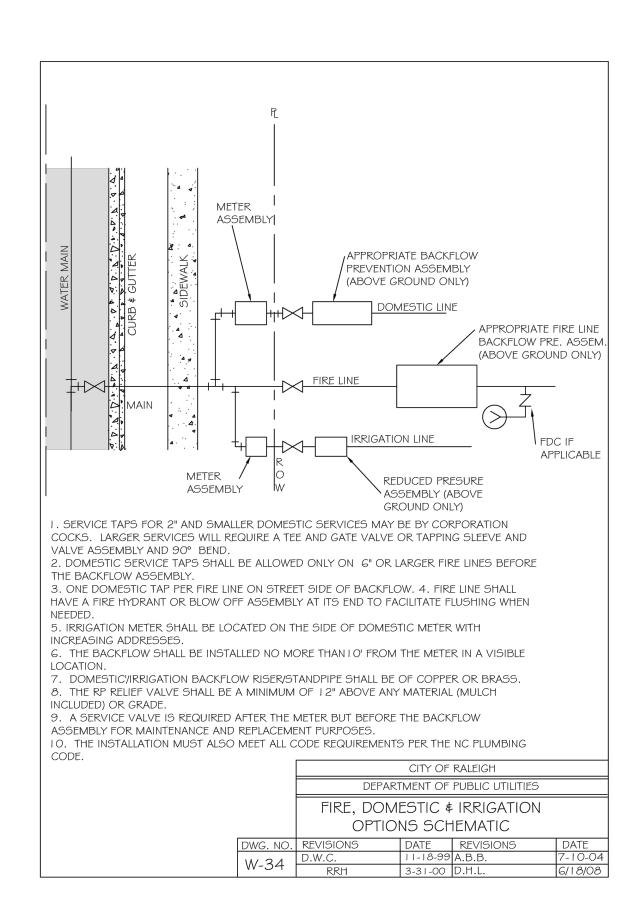


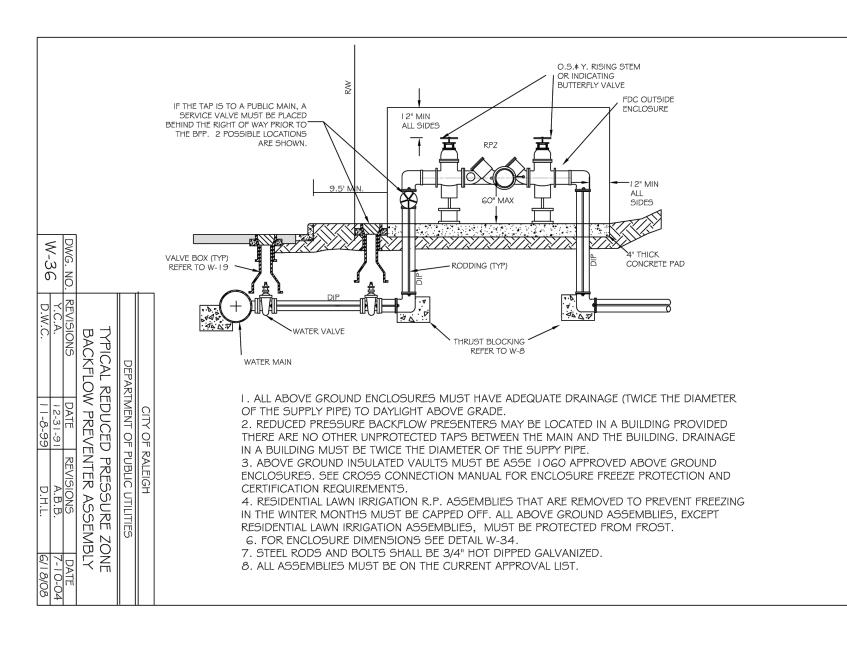




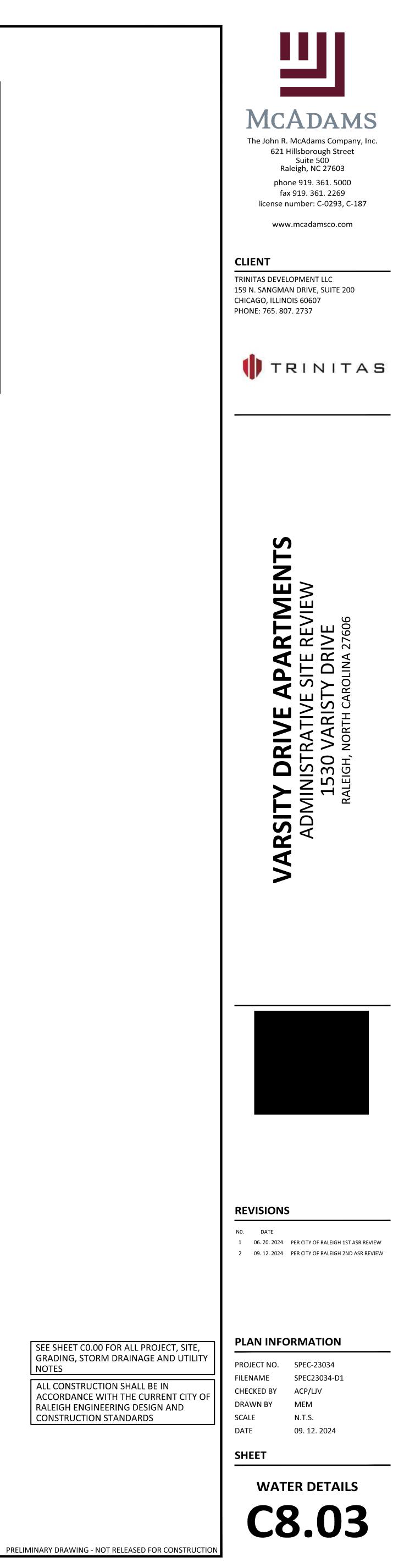
3) 6" OF #67 STONE SHALL BE PLACED IN BOTTOM OF VAULT 4) METER FLANGE SHALL BE PLACED 49 " BELOW FINISHED GRADE

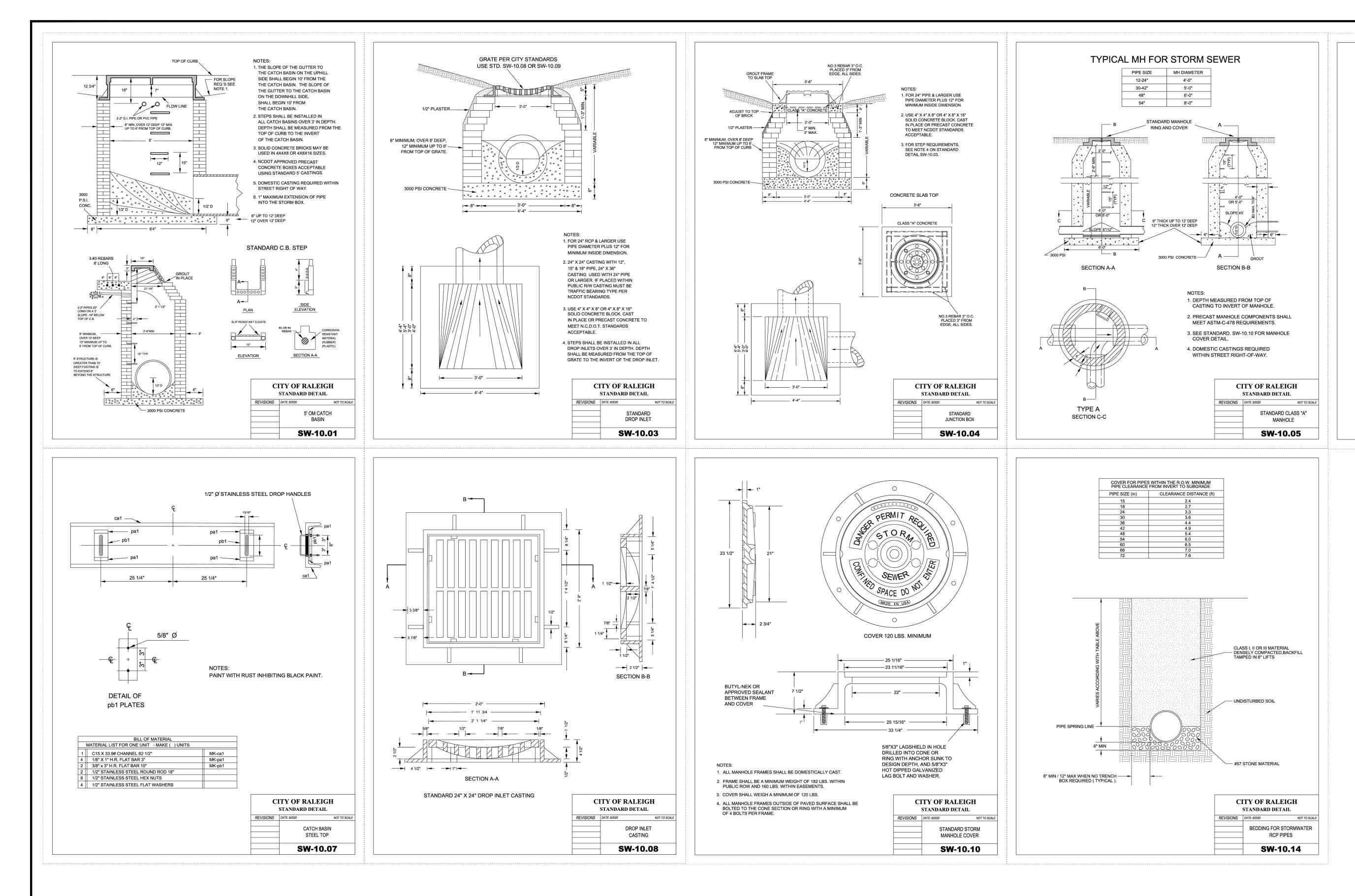
		CITY OF	RALEIGH	
	DEPART	MENT OF	PUBLIC UTILITIES	
		6" THRI 1ETER V	J I O" WATER AULT	
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
14/22	A.B.B.	8-26-04		
W-33	D.H.L.	6-18-08		

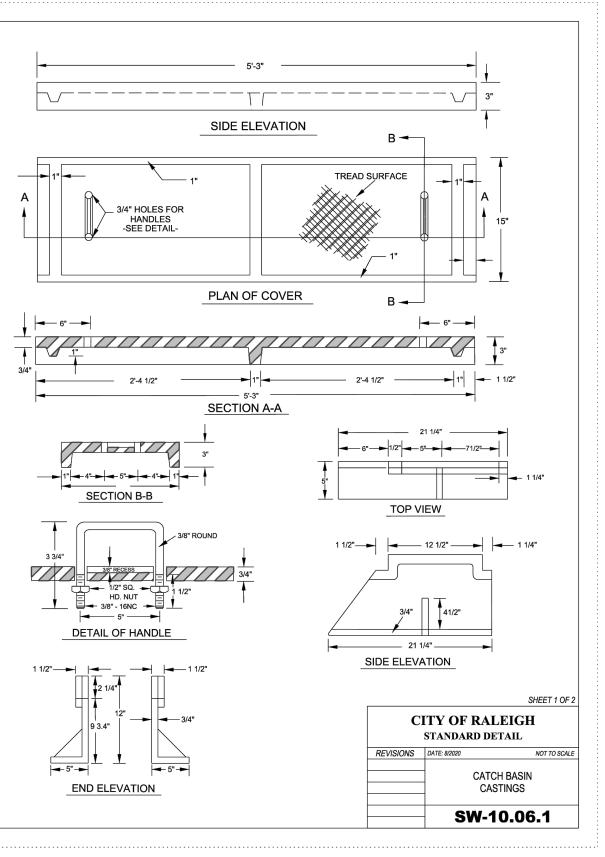




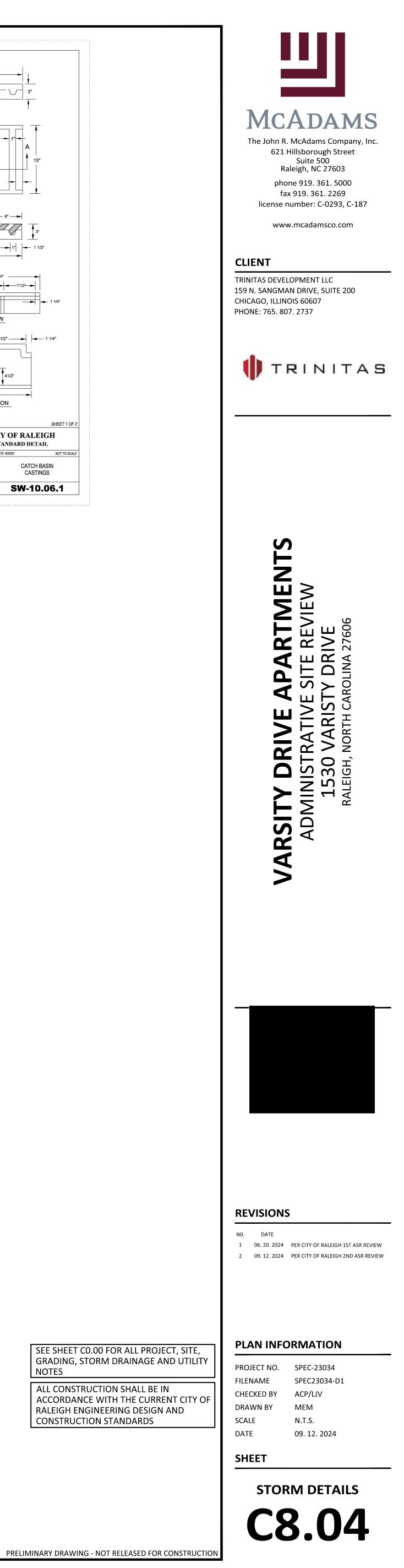
SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

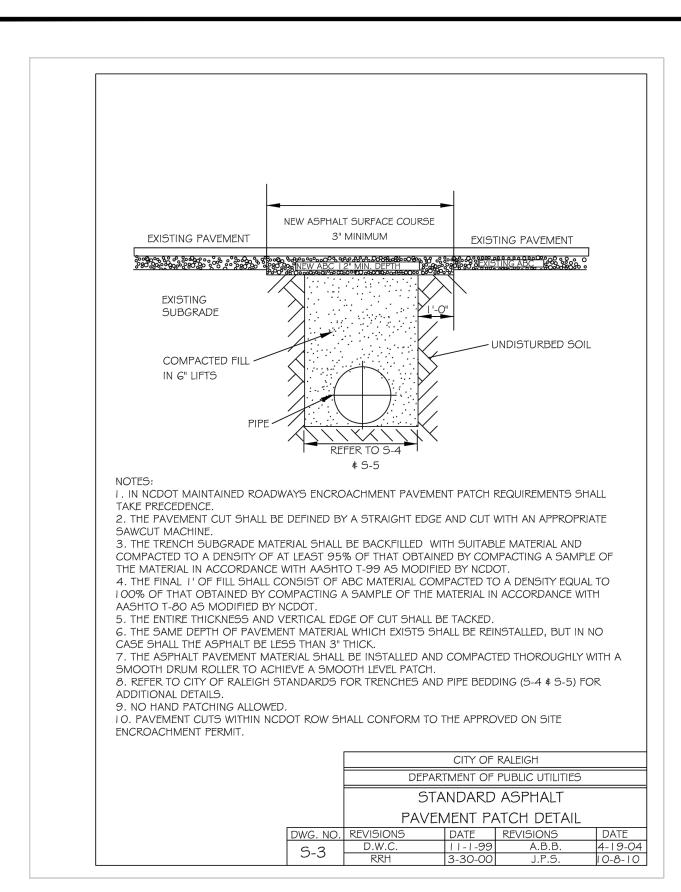


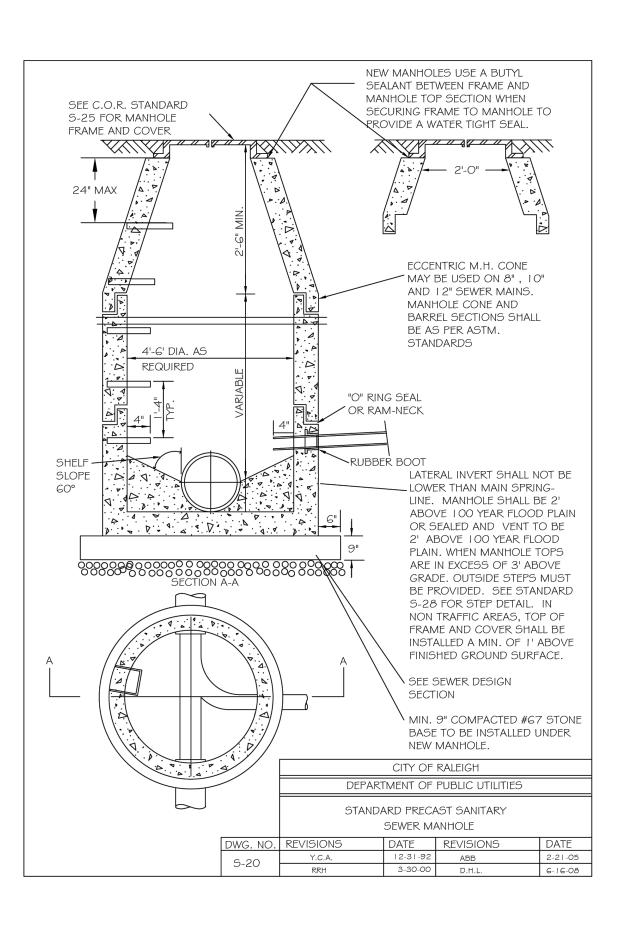


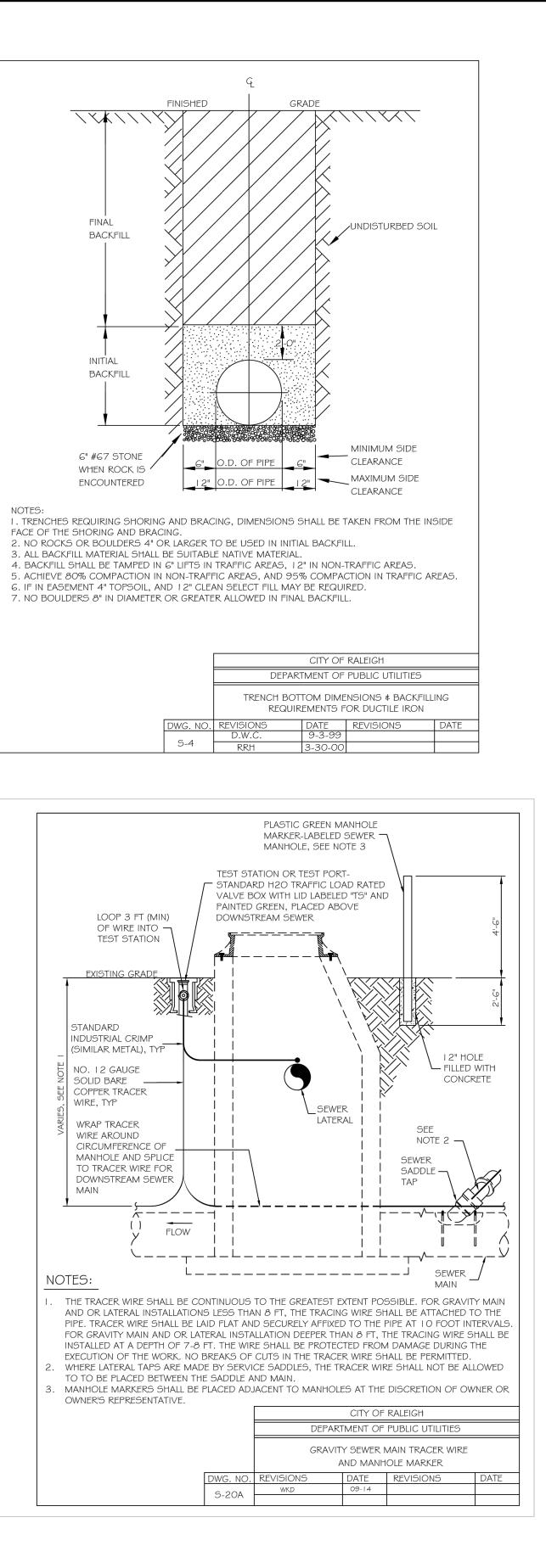


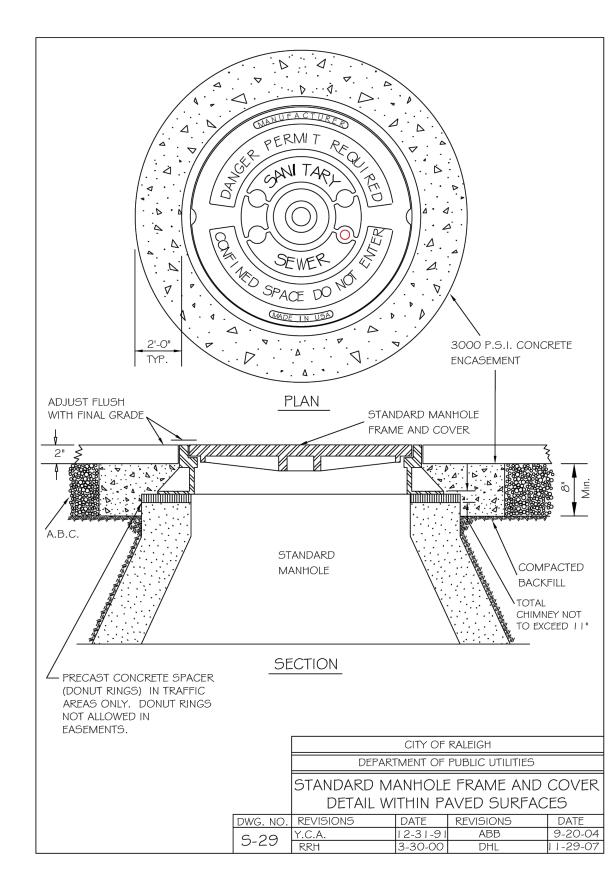
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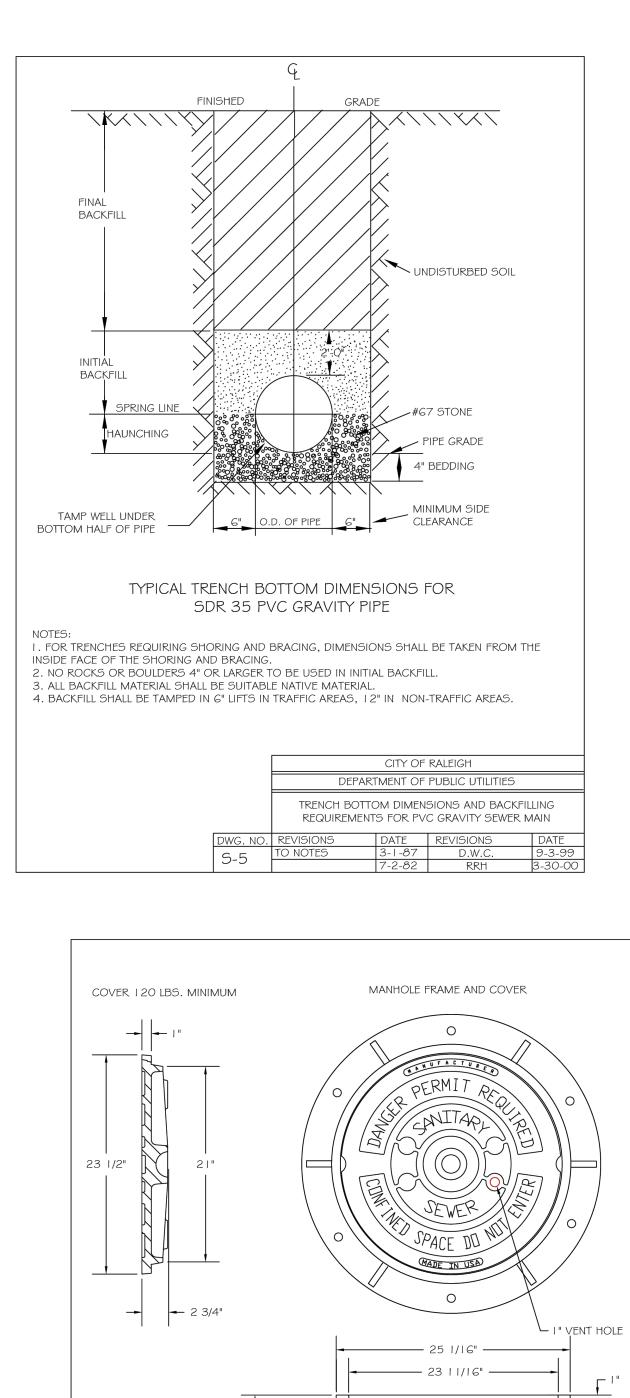












7 1/2"

DWG. NO. REVISIONS

S-25

BUTYL-NEK OR

PROVED SEALANT

NOTES:

BETWEEN FRAME

DOMESTICALLY CAST.

WITHIN EASEMENTS.

BOLTS PER FRAME.

AND COVER

I) ALL MANHOLE FRAMES SHALL BE

2) FRAME SHALL BE A MINIMUM WEIGHT OF

182 LBS. WITHIN PUBLIC ROW AND 160 LBS.

3) COVER SHALL WEIGH A MIN. OF 120 LBS.

4) ALL MANHOLE FRAMES OUTSIDE OF PAVED

SURFACES SHALL BE BOLTED TO THE CONE

SECTION OR RING WITH A MINIMUM OF 4

\_\_\_\_ 22" \_\_\_\_

—— 25 I5/I6" ———

5/8"X3" LAGSHIELD IN HOLE

RING WITH ANCHOR SUNK TO

DESIGN DEPTH, AND 3/8"X3"

HOT DIPPED GALVANIZED

LAG BOLT AND WASHER.

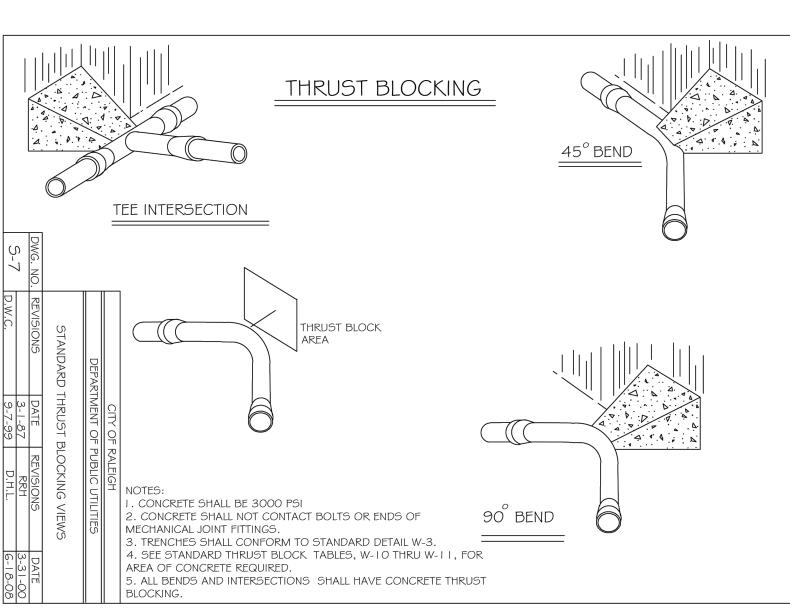
CITY OF RALEIGH

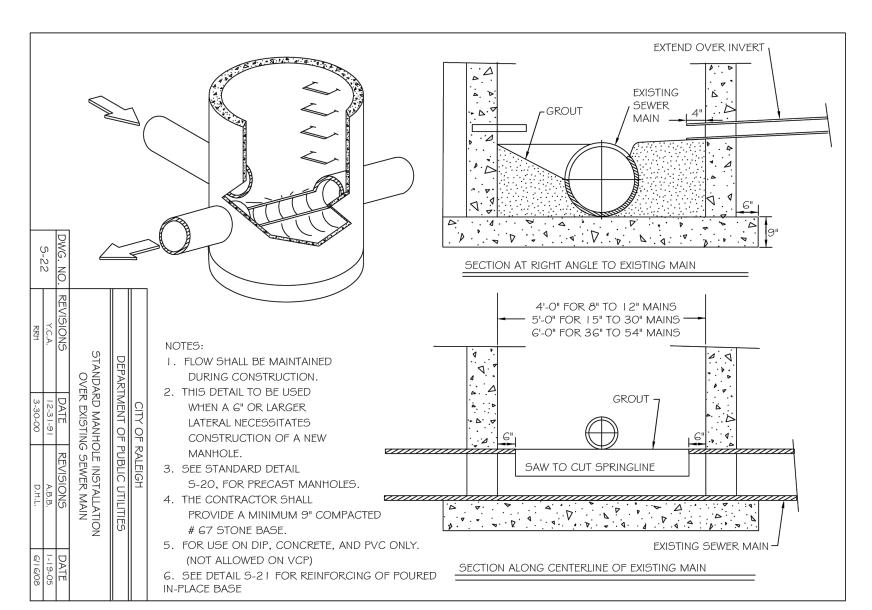
DEPARTMENT OF PUBLIC UTILITIES

STANDARD MANHOLE COVER

3-1-87 A.B.B.

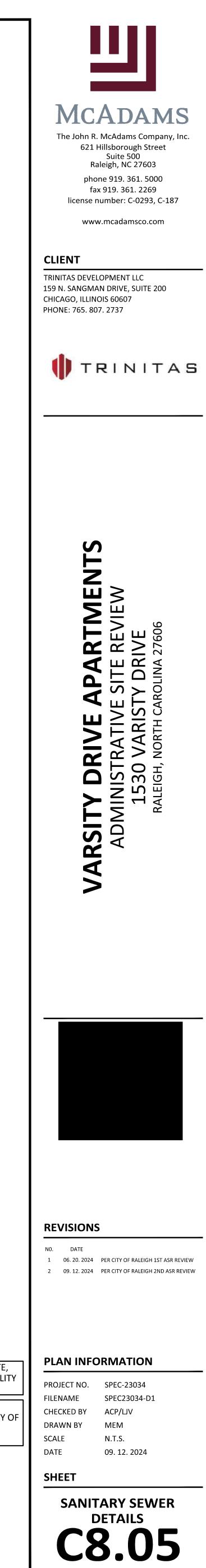
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SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

1. PRIOR TO CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS AND NOTES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.

- 2. PRIOR TO ANY CONSTRUCTION OR PLACEMENT OF ANY BACKFILL, THE ONSITE GEOTECHNICAL ENGINEER SHALL INSPECT THE EXCAVATION AREA FOR THE UNDERGROUND SCM WITHIN THIS AREA TO ASSESS WHETHER SUITABLE SOILS EXIST AT THE SUBGRADE LEVEL. IF THE CONTRACTOR CONSTRUCTS AND COVERS UP THE UNDERGROUND SCM PRIOR TO INSPECTION, THEN THIS AREA SHALL BE UNCOVERED AND TESTED (TO THE ENGINEER'S AND OWNER'S APPROVAL) AT THE CONTRACTOR'S EXPENSE.
- 3. THE FACILITY SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL DEVICE (I.E. SEDIMENT TRAP OR SEDIMENT BASIN) DURING CONSTRUCTION. 4. PRIOR TO PLACING STORMFILTER CARTRIDGES WITHIN THE UNDERGROUND SYSTEM, THE CONTRACTOR SHALL REQUEST AN ONSITE MEETING WITH THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR TO ENSURE THE UPSTREAM DRAINAGE AREA IS COMPLETELY STABILIZED (I.E. GOOD VEGETATIVE COVER). IF THE CONTRACTOR DECIDES TO PLACE THE STORMFILTER CARTRIDGES PRIOR TO APPROVAL FROM THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR, THEN THE CONTRACTOR SHALL EXCAVATE/REPLACE, AS NECESSARY, THE COMPONENTS NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY AT HIS / HER EXPENSE SHOULD THE STORMFILTER CARTRIDGES NOT FUNCTION PROPERLY (I.E. WILL NOT DRAIN DUE TO
- SEDIMENT DEPOSITION) DUE TO AN UNSTABILIZED UPSTREAM DRAINAGE AREA. 5. ONCE CONSTRUCTED. THE STORMFILTER CARTRIDGES SHALL NOT RECEIVE STORMWATER RUNOFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA
- TO THE UNDERGROUND SYSTEM HAS BEEN COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETE. 6. ALL COMPONENTS OF THE UNDERGROUND SCM SYSTEM (JOINT / RISER CONNECTIONS, ENDCAPS, ACCESS MANHOLES, ETC.) SHALL BE DESIGNED BY OTHERS. ANY VARIATIONS OR CHANGES MADE FROM THESE SPECIFICATIONS AND DRAWINGS DURING THE ORDERING AND/ OR INSTALLATION OF ALL COMPONENTS MUST BE APPROVED BY THE DESIGN ENGINEER. THE STRUCTURAL DESIGN OF THE UNDERGROUND SCM, ALONG WITH ITS
- ASSUMPTIONS, IS ALSO BY OTHERS. THE JOHN R. MCADAMS COMPANY, INC. AND ITS EMPLOYEES ASSUME NO LIABILITY WITH RESPECT TO ANY ASPECT OF THE STRUCTURAL DESIGN FOR THE UNDERGROUND SCM SYSTEM. 7. ALL PIPE/RISER CONNECTIONS AND JOINTS ASSOCIATED WITH THE STORM FILTER SYSTEM AND UNDERGROUND DETENTION PIPE SHALL BE WATER
- TIGHT. THE MECHANISM FOR ACHIEVING THIS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW. 8. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM
- VARIOUS PARTS OF THE SAND FILTER SYSTEM SITE. IT IS ANTICIPATED THAT PUMPING WILL BE NECESSARY IN THE EXCAVATION AREAS. DURING PLACEMENT OF FILL WITHIN THIS AREA (OR OTHER AREAS AS NECESSARY), THE CONTRACTOR SHALL KEEP THE WATER LEVEL BELOW THE BOTTOM OF THE EXCAVATION. THE MANNER IN WHICH THE WATER IS REMOVED SHALL BE SUCH THAT THE EXCAVATION BOTTOM AND SIDE SLOPES ARE STABLE. 9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO ALL CURRENT OSHA REGULATIONS FOR CONFINED SPACE ENTRY AND PROVIDE
- SUCH DURING ENGINEER WALK-THROUGH/INSPECTION. 10. ALL PIPE PENETRATIONS THROUGH A CONCRETE OR CMP STRUCTURE (I.E. STORMFILTER CARTRIDGE / DETENTION SYSTEM, STORM DRAINAGE MANHOLES, ETC.) SHALL BE MADE WATERTIGHT USING NON-SHRINK CEMENTIOUS GROUT.
- 11. ACCESS MANHOLES SHALL INCLUDE LADDERS OR MANHOLE STEPS. IF, AT ANY ACCESS POINT, MANHOLE STEPS WOULD RESULT IN A 3" OR GREATER OFFSET, A LADDER SHALL BE PROVIDED. AS SUCH, A LADDER SHALL BE REQUIRED AT ALL MANHOLE ACCESS POINTS TO THE STORMFILTER VAULT. ALL LADDERS SHALL INCLUDE AN EXTENDING AND RETRACTING SECTION THAT ALLOWS THE LADDER TO BE EXTENDED ABOVE THE ACCESS LID TO FACILITATE SAFE INGRESS AND EGRESS TO/FROM A STANDING POSITION.

# FOUNDATION NOTES

- 1. ONCE THE EXCAVATION IS COMPLETE AND PRIOR TO INSTALLATION OF THE UNDERGROUND SCM SYSTEM, THE ONSITE GEOTECHNICAL ENGINEEER SHALL VERIFY THE BEARING CAPACITY OF THE UNDERLYING SOILS TO SERVE AS A FOUNDATION FOR THE UNDERGROUND SCM SYSTEM. IF THE ONSITE GEOTECHNICAL ENGINEER DEEMS THE FOUNDATION SOILS AS UNSUITABLE, THEN THE UNSUITABLE MATERIAL SHOULD BE REMOVED DOWN TO A SUITABLE DEPTH AND THEN BUILT BACK UP TO THE CORRECT ELEVATION WITH A COMPACTED BACKFILL MATERIAL THAT IS APPROVED BY THE ONSITE GEOTECHNICAL ENGINEER. THE APPROVED BACKFILL MATERIAL SHOULD HAVE A GRADATION THAT WILL NOT ALLOW THE MIGRATION OF FINES, WHICH COULD CAUSE SETTLEMENT OF THE UNDERGROUND SCM SYSTEM. IF NECESSARY, A GEOTEXTILE FABRIC CAN BE USED TO SEPARATE THE UNDERLYING SOILS AND THE BACKFILL MATERIAL. THIS GEOTEXTILE FABRIC (IF USED) IS TO BE SPECIFIED BY THE GEOTECHNICAL ENGINEER.
- 2. IF THE FOUNDATION SUBGRADE WILL BE EXPOSED FOR AN EXTENDED PERIOD DURING CONSTRUCTION, THEN IT SHOULD BE GRADED TO A SLIGHT SLOPE SUCH THAT SATURATION OF THE SUBGRADE DOES NOT OCCUR.
- 3. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM THE EXCAVATION. IT IS BEST TO BEGIN THE CONSTRUCTION OF THE SAND FILTER/DETENTION SYSTEMS AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR WATER TO ESCAPE.
- 4. THE CONTRACTOR SHALL PROVIDE FOUNDATION DRAINS FOR THE UNDERGROUND SCM. THE FOUNDATION DRAIN SHALL CONSIST OF 8" DIAMETER PERFORATED PIPE WRAPPED IN NONWOVEN GEOTEXTILE FABRIC. THE FOUNDATION DRAINS SHALL BE PLACED ON ALL FOUR SIDES OF THE UNDERGROUND SCM AS SHOWN ON THE DRAWINGS AND WITHIN THE VAULT'S BEDDING SYSTEM (BUT NOT DIRECTLY BELOW THE VAULT). THE FOUNDATION DRAIN SYSTEM SHALL TIE TO THE NEAREST STORM SEWER INLET / JUNCTION BOX MAINTAINING A POSITIVE SLOPE TO THE DOWNSTREAM STRUCTURE. FOUNDATION DRAINS SHALL NOT TIE INTO THE UNDERGROUND VAULT AT ANY POINT.

# **BEDDING NOTES**

- 1. THE EXCAVATION SUB GRADE MUST BE TRANSIT LEVEL.
- 2. THE EXCAVATION PIT SHALL BE LINED (ON THE BOTTOM AND ALL FOUR SIDES) WITH A NON-WOVEN GEO-TEXTILE (GEOTEX 401 OR APPROVED EQUIVALENT). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
- 3. THE SUBGRADE FOR THE DETENTION SYSTEM CAN BE A CONCRETE SLAB, OR CLEAN GRANULAR MATERIAL WITH A MAXIMUM AGGREGATE SIZE OF 3/4".
- THE BEDDING SHALL BE FREE FROM ROCK FORMATIONS, PROTRUDING STONES, FROZEN LUMPS, ROOTS, AND OTHER FOREIGN MATERIAL. 4. PREPARE THE SUBGRADE PER THE ONSITE GEOTECHNICAL ENGINEER'S DIRECTION (APPROXIMATELY 5-6" BELOW GRADE ON WHICH SLAB WILL SET). THE BEDDING MATERIAL SHOULD BE GRADED SUCH THAT A SMOOTH UNIFORM GRADE IS ESTABLISHED TO ALLOW FOR OPTIMUM PLACEMENT OF THE SAND
- 5. THE SUBGRADE MUST SUPPORT THE DETENTION SYSTEM WITHOUT DIFFERENTIAL SETTLEMENT BETWEEN PIECES.
- 6. IF CONSTRUCTION EQUIPMENT WILL BE OPERATING FOR AN EXTENDED PERIOD OF TIME ON THE BEDDING, THEN THE APPROPRIATE MEASURES (E.G. STIFF GEOGRID, ETC.) SHALL BE TAKEN TO ENSURE THE INTEGRITY OF THE BEDDING IS NOT COMPROMISED. STORMFILTER VAULT CONSTRUCTION NOTES

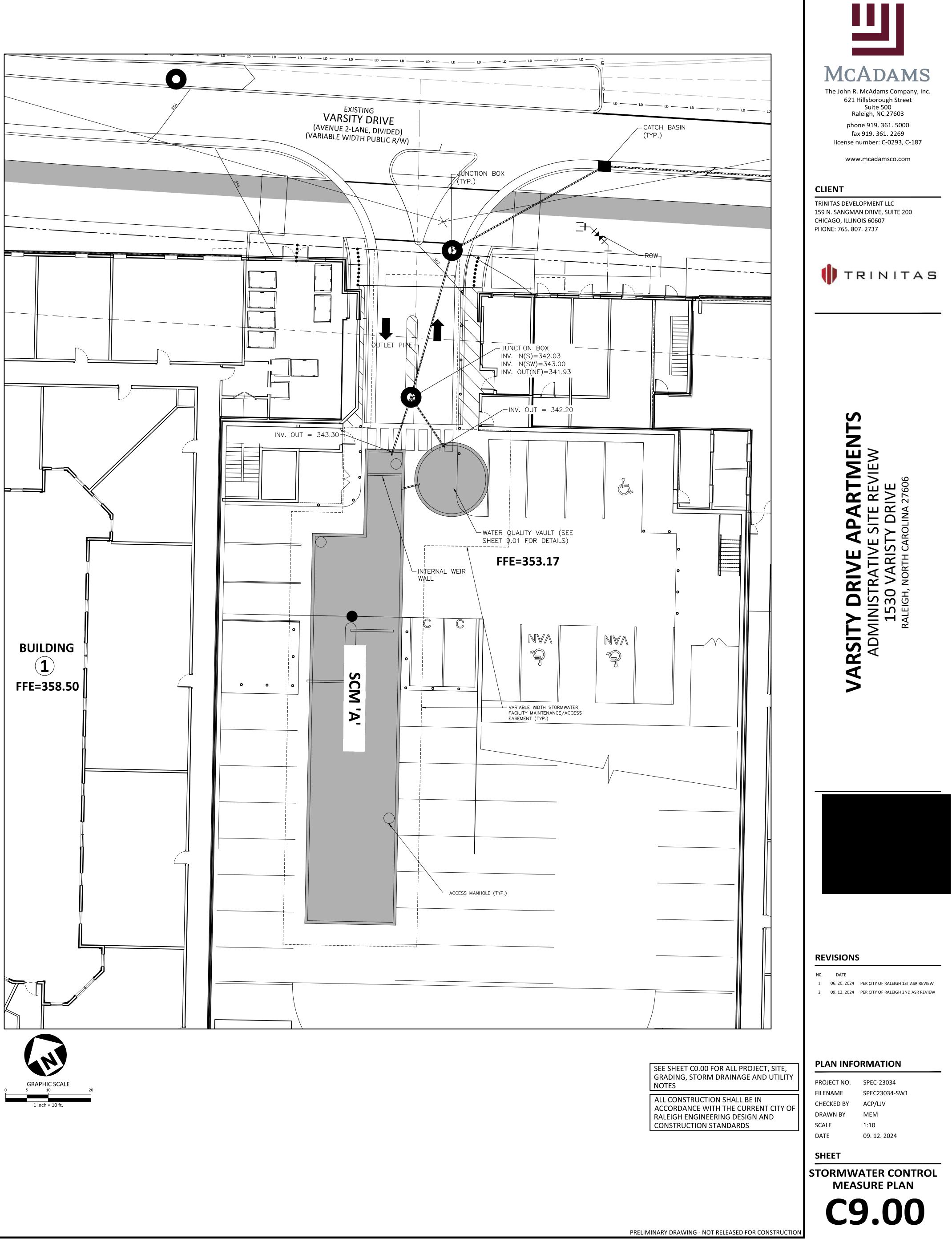
- 1. STORMFILTER CONTROL MEASURE CONFIGURATION IS PROVIDED ON SHEET C9.01. 2. ABSOLUTELY NO RUNOFF SHALL ENTER THE STORMFILTER CONTROL MEASURE UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
- 3. MANHOLE ACCESS SHALL BE PROVIDED FOR THE STORMFILTER CONTROL MEASURE. MANHOLES SHALL BE IN COMPLIANCE WITH CITY OF RALEIGH STANDARD DETAILS BUT SHALL BE A MINIMUM OF 24 INCHES IN DIAMETER TO COMPLY WITH OSHA CONFINED SPACE REQUIREMENTS (OR MINIMUM OSHA REQUIREMENTS APPLICABLE AT TIME OF CONSTRUCTION). CONTRACTOR SHALL PROVIDE ACCESS LADDERS FOR ACCESS BELOW ALL MANHOLES. MANHOLE COVERS SHALL ALLOW FOR PROPER VENTILATION.

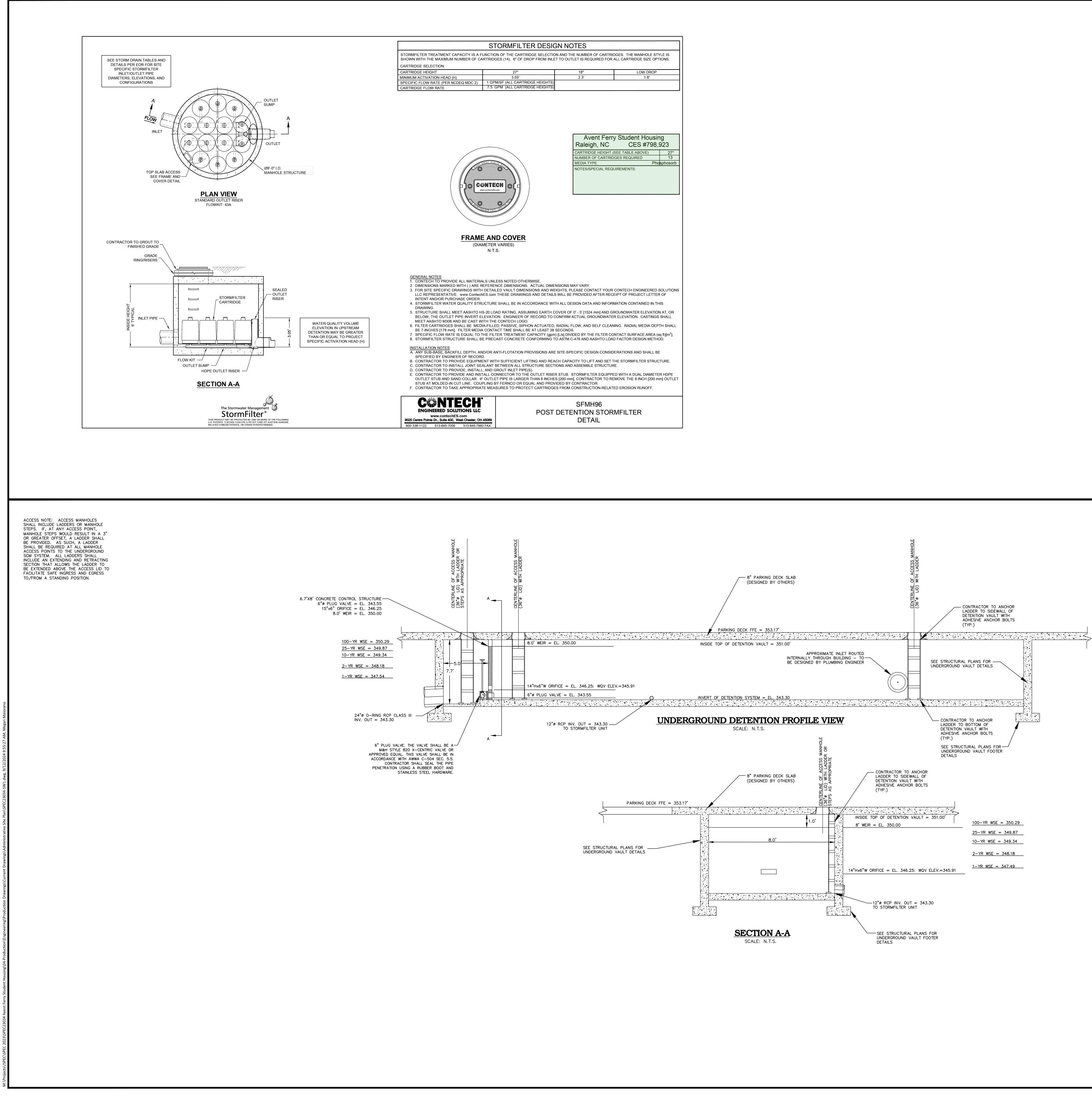
# STORMWATER SYSTEM MATERIAL SPECIFICATIONS

- 1. THE UNDERGROUND SCM UNITS ARE TO BE DESIGNED BY OTHERS. ANY CHANGES TO THE APPROVED PLANS SHALL BE PROVIDED TO THE DESIGN ENGINEER PRIOR TO INSTALLATION FOR REVIEW.
- 2. ACCESS RISERS SHALL BE INSTALLED PER MANUFACTURE SPECIFICATIONS. ACCESS STEPS / LADDERS SHALL BE ATTACHED TO THE RISERS TO ALLOW FOR ACCESS INTO THE UNDERGROUND SCM SYSTEM.
- 3. DRAWDOWN OF THE DETENTION SYSTEMS IS VIA AN 6"Ø PLUG VALVE. THE VALVES SHALL BE A M&H STYLE 1820 X-CENTRIC VALVE OR ENGINEER APPROVED EQUIVALENT. THIS VALVE IS IN ACCORDANCE WITH AWWA C-517, AND SHALL BE OPERABLE FROM INSIDE THE SEDIMENTATION AND DETENTION SYSTEMS VIA A HANDWHEEL (SEE DETAIL SHEET SW-2). THE CONTRACTOR SHALL PROVIDE A REMOVABLE VALVE WRENCH WITH A HANDWHEEL ON TOP FOR OPERATION OF THE 6"Ø PLUG VALVE.
- 4. THE RCP OUTLET BARREL SHALL BE CLASS III RCP, MODIFIED BELL AND SPIGOT, MEETING THE REQUIREMENTS OF ASTM C76-LATEST. THE PIPE SHALL HAVE CONFINED O-RING RUBBER GASKET JOINTS MEETING ASTM C-443-LATEST. THE PIPE JOINTS SHALL BE TYPE R-4.
- 5. GEOTEXTILE FABRIC FOR THE OUTLET BARREL JOINTS SHALL BE MIRAFI 180N OR ENGINEER APPROVED EQUAL (NON-WOVEN FABRIC). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
- 6. ALL POURED CONCRETE SHALL BE MINIMUM 3000 PSI (28 DAY) UNLESS OTHERWISE NOTED.
- 7. THE CONTRACTOR SHALL INSTALL THE UNDERGROUND SCM UNITS PER MANUFACTURERS' SPECIFICATIONS. CONTRACTOR TO PROVIDE A LETTER FROM MATERIAL SUPPLIER(S) STATING MATERIALS MEET THE SPECIFIED STANDARDS PRIOR TO INSTALLATION.

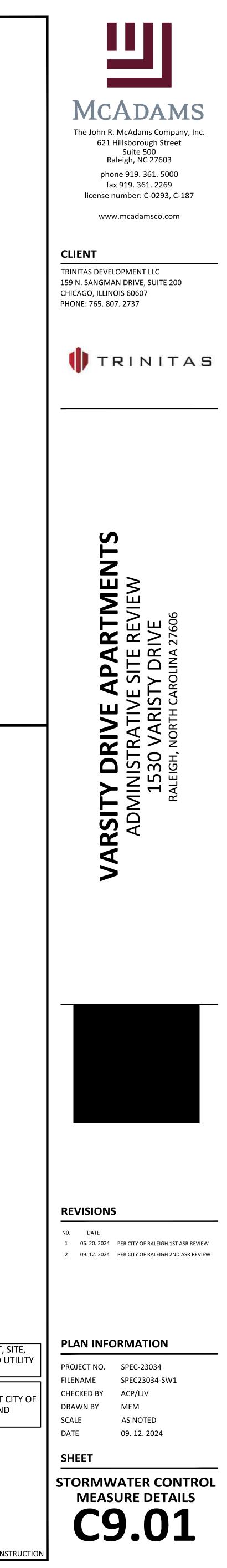
# BACKFILL MATERIAL NOTES

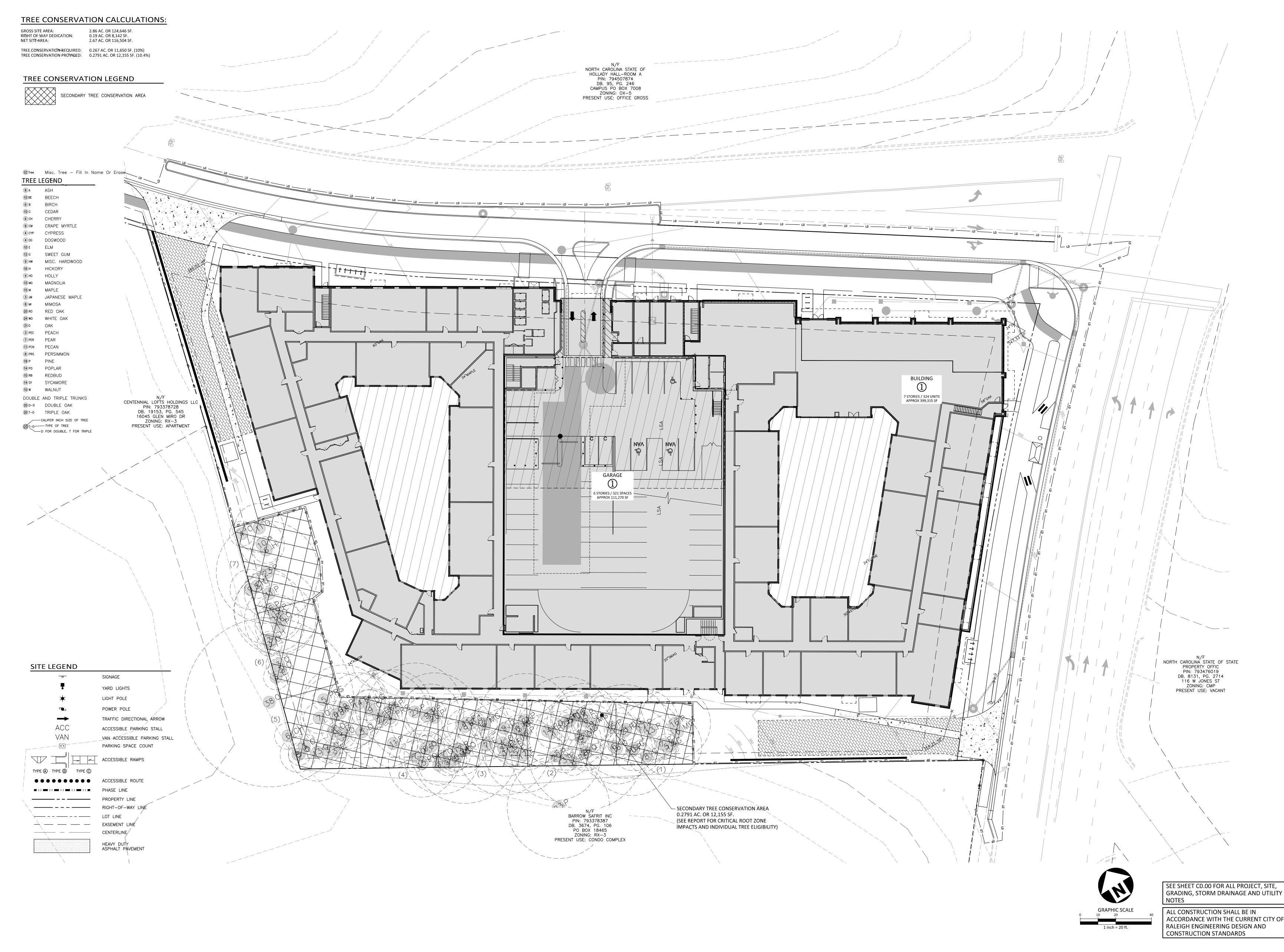
- 1. THE ON-SITE GEOTECHNICAL ENGINEER SHALL SPECIFY THE BACKFILL MATERIAL FOR THE UNDERGROUND SCM SYSTEM.
- 2. THE BACKFILL MATERIAL SHOULD BE FREE OF ROCKS, FROZEN LUMPS, AND OTHER FOREIGN MATTER THAT COULD CAUSE HARD SPOTS WITHIN THE BACKFILL MATERIAL, OR THAT COULD DECOMPOSE AND CREATE VOIDS.
- 3. HIGHLY PLASTIC SILTS, HIGHLY PLASTIC CLAYS, ORGANIC SILTS, ORGANIC CLAYS, AND PEATS SHOULD NOT BE USED AS A BACKFILL MATERIAL.
- 4. THE BACKFILL MATERIAL SHOULD BE PLACED IN 6" LOOSE LIFTS AND COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY
- (ASTM-D698). THE FILL SOILS SHOULD BE COMPACTED AT A MOISTURE CONTENT WITHIN +/- TWO PERCENT OF ITS OPTIMUM MOISTURE CONTENT. 5. ANY MATERIAL STOCKPILING ON TOP OF THE UNDERGROUND SCM SYSTEM SHALL BE APPROVED BY THE STRUCTURAL DESIGN ENGINEER.
- STATEMENT OF RESPONSIBILITY
- 1. ALL REQUIRED MAINTENANCE AND INSPECTIONS OF THIS FACILITY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, PER THE EXECUTED OPERATION AND MAINTENANCE AGREEMENT FOR THIS FACILITY.



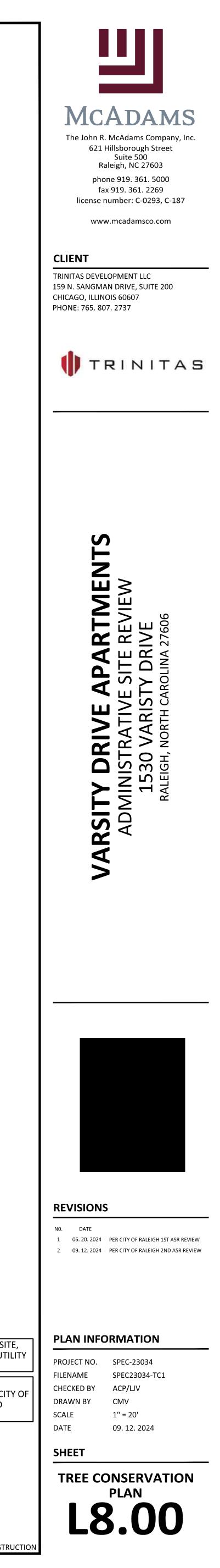


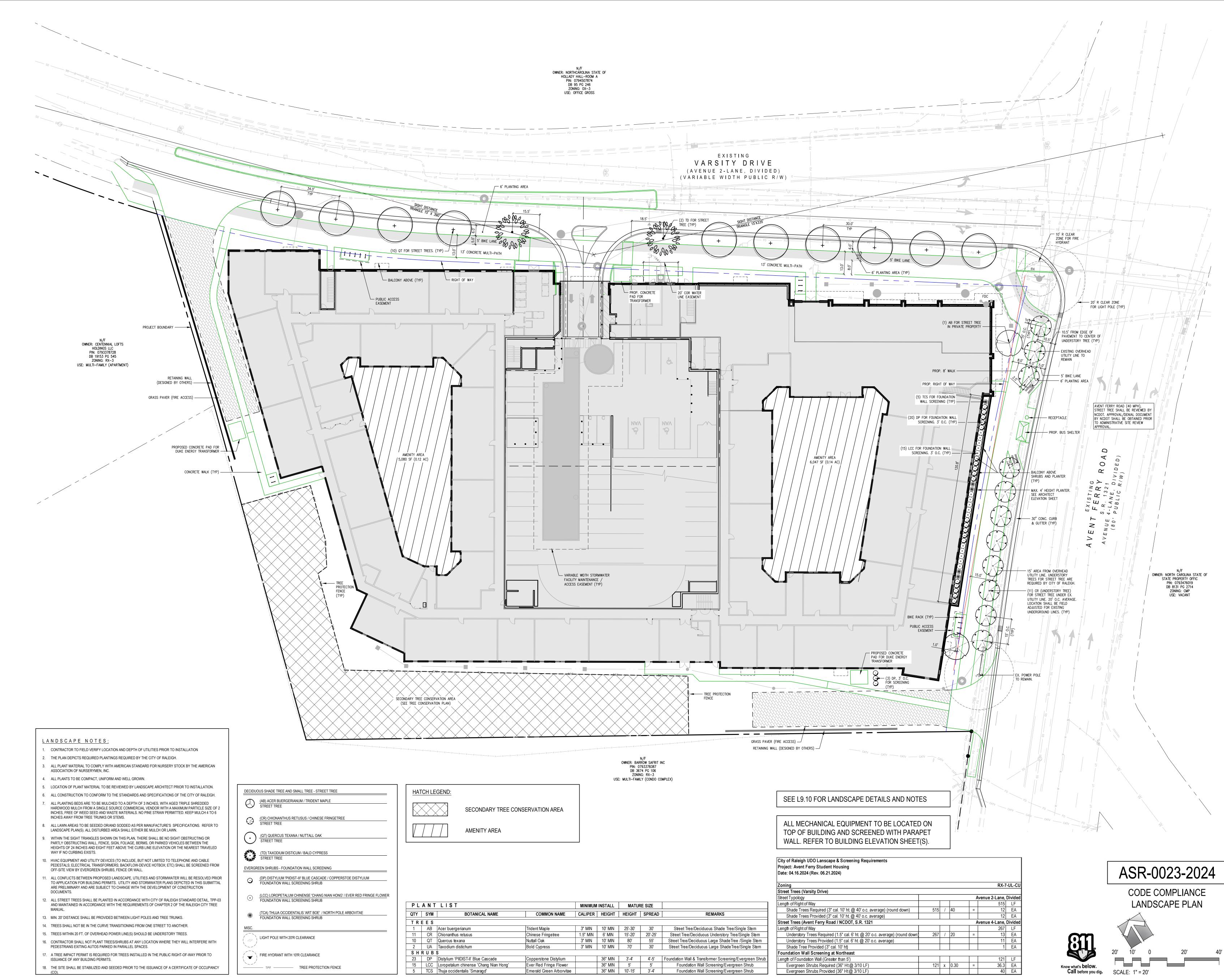
SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

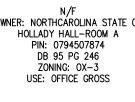




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ΝΤ	LIST		MINIMUM	INSTALL	MATUF	RE SIZE	
SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	HEIGHT	SPREAD	REMARKS
S							
AB	Acer buergerianum	Trident Maple	3" MIN	10' MIN	25'-30'	30'	Street Tree/Deciduous Shade Tree/Single Stem
CR	Chionanthus retusus	Chinese Fringetree	1.5" MIN	6' MIN	15'-20'	20'-25'	Street Tree/Deciduous Understory Tree/Single Stem
QT	Quercus texana	Nuttall Oak	3" MIN	10' MIN	80'	55'	Street Tree/Deciduous Large Shade Tree /Single Stem
UA	Taxodium distichum	Bold Cypress	3" MIN	10' MIN	70'	30'	Street Tree/Deciduous Large ShadeTree/Single Stem
JBS	>					•	
DP	Distylium 'PIIDIST-II' Blue Cascade	Copperstone Distylium		36" MIN	3'-4'	4'-5'	Foundation Wall & Transformer Screening/Evergreen Shrub
_CC	Loropetalum chinense 'Chang Nian Hong'	Ever Red Fringe Flower		36" MIN	5'	5'	Foundation Wall Screening/Evergreen Shrub
TCS	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae		36" MIN	10'-15'	3'-4'	Foundation Wall Screening/Evergreen Shrub

Jainh JIDO Langaana & Caraaning Damuingmenta						
leigh UDO Lanscape & Screening Requirements						
vent Ferry Student Housing						
6.2024 (Rev. 06.21.2024)						
					RX-7	-UL-CU
es (Varsity Drive)						
blogy				A	venue 2-Lane,	Divided
Right of Way					515	LF
e Trees Required (3" cal. 10' ht @ 40' o.c. average) (round down)	515	/	40	=	12	EA
e Trees Provided (3" cal. 10' ht @ 40' o.c. average)					12	EA
es (Avent Ferry Road / NCDOT, S.R. 1321				A	venue 4-Lane,	Divided
Right of Way					267	LF
rstory Trees Required (1.5" cal. 6' ht. @ 20' o.c. average) (round down)	267	/	20	=	13	EA
rstory Trees Provided (1.5" cal. 6' ht @ 20' o.c. average)					11	EA
e Tree Provided (3" cal. 10' ht)					1	EA
on Wall Screening at Northeast						
oundation Wall (Greater than 5')					121	LF
reen Shrubs Required (36" Ht @ 3/10 LF)	121	Х	0.30	=	36.3	EA
reen Shrubs Provided (36" Ht@ 3/10 LF)					40	EA



# **CHAPTER 2 TREE PLANTING AND** MAINTENANCE

# THIS CHAPTER OUTLINES THE STANDARDS FOR PLANTING AND MAINTAINING TREES ON PROPERTY OWNED OR CONTROLLED BY THE CITY OF RALEIGH.

# **B. TREE PLANTING ON CITY PROPERTY**

- THE PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT IS RESPONSIBLE FOR PLAN REVIEW, INSPECTION, MONITORING AND ENFORCEMENT ASSOCIATED WITH TREE PLANTING AND MAINTENANCE ON PROPERTY OWNED OR CONTROLLED BY THE CITY.
- 1. DEVELOPMENT, PRIVATE CITIZEN OR CONTRACT PLANTING ON CITY OWNED OR CONTROLLED PROPERTY BY ANY INDIVIDUAL OR ORGANIZATION OTHER THAN THE CITY. THESE PROJECTS ARE AT THE EXPENSE OF THE REQUESTOR AND REQUIRE A TREE IMPACT PERMIT.
- 2. PARTNERSHIP PLANTING UNDERTAKEN BY NON-PROFIT ORGANIZATIONS, PUBLIC-PRIVATE PARTNERSHIPS, AND CIVIC GROUPS. UNLESS WORK IS DONE UNDER STRICT GUIDANCE AND OVERSIGHT BY THE URBAN FORESTER, THESE PROJECTS ARE AT THE EXPENSE OF THE REQUESTOR AND REQUIRE A TREE IMPACT PERMIT.
- . REQUESTS FOR TREE PLANTING
- I. REQUESTS FOR TREE PLANTING AND TREE IMPACT PERMITS ARE EVALUATED IN THE ORDER IN WHICH THEY ARE RECEIVED.
- 2. TREE PLANTING IS CONTINGENT ON THE PLANTING SEASON, AVAILABILITY OF PLANT MATERIAL, SITE SUITABILITY, STAFFING, AND FUNDING.
- 3. THE URBAN FORESTER OR DESIGNEE WILL PRIORITIZE TREE PLANTING REQUESTS ACCORDING TO THE FOLLOWING CRITERIA:
- A. NEEDS BASED: AREAS IDENTIFIED WITH THE GREATEST TREE CANOPY DEFICITS
- B. PRE-IDENTIFIED LOCATIONS: AREAS EARMARKED FOR BEAUTIFICATION IMPROVEMENTS
- C. ON DEMAND: CITY DEPARTMENTS, VOLUNTEER GROUPS, NEIGHBORHOODS, CITIZENS, AND DEVELOPMENT D. TREE QUALITY STANDARDS
- 1. GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED ON DRAWINGS AND COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING AND A VISIBLE ROOT FLARE. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND
- DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED, WILL BE REJECTED. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, INSECT DAMAGE, OR CUTS ON LIMBS OVER 1/2 IN, IN DIAMETER THAT ARE NOT COMPLETELY CLOSED, OR ROOT FLARE MORE THAN 2" BELOW SURFACE OF ROOT BALL WILL BE REJECTED.
- 3. SPECIES SELECTION
- A. SELECTED TREE SPECIES SHALL BE OF A CULTIVAR THAT IS SUPERIOR IN FORM AND DISEASE RESISTANCE. PREFERENCE WILL BE GIVEN TO STREET TREES GROWN SPECIFICALLY FOR URBAN CONDITIONS. B. EXOTIC INVASIVE SPECIES ARE NOT PERMITTED.
- C. TREES TO BE INSTALLED UNDER OVERHEAD POWERLINES SHALL HAVE A MATURE HEIGHT OF NO GREATER
- D. ALL SPECIES SELECTIONS SHALL BE REVIEWED BY THE URBAN FORESTER OR DESIGNEE.
- E. SPECIES DIVERSITY IS ENCOURAGED TO IMPROVE OVERALL URBAN FOREST HEALTH.
- F. ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THIS MANUAL, THE AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 AND NURSERY STOCK, ANSI Z60.1 AND APPROVED CITY STANDARD DETAILS.
- 4. ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND CANKERS, IN HEALTHY CONDITION, AND FREE OF MECHANICAL DAMAGE AT THE TIME OF PLANTING AS DETERMINED BY URBAN FORESTRY STAFF.
- PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF LARGER SIZE MAY BE USED IF ACCEPTABLE TO URBAN FORESTER, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- 6. LABEL EACH PLANT OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR. IF APPLICABLE.
- WHEN MORE THAN ONE PLANT OF ANY SPECIES IS PLANTED, ALL PLANT MATERIAL SHALL BE UNIFORM IN SIZE AND SHAPE WHEN POSSIBLE. ALL PLANT MATERIAL SHALL HAVE FULL FORM WITH EVEN-SPACED BRANCHING. ONE-SIDED PLANTS OR TIGHT ROW PLANTS ARE NOT ACCEPTABLE IF THE GROWTH HABIT IS ADVERSELY AFFECTED.
- 8. TREE AND SHRUB MEASUREMENTS A. MEASURE ACCORDING TO ANSI Z60.1 WITH BRANCHES AND TRUNKS OR CANES IN THEIR NORMAL POSITION. DO NOT PRUNE TO OBTAIN REQUIRED SIZES.
- B. INSTALLATION SIZE FOR RIGHT OF WAY TREES.
  - SHADE TREES SHALL BE A MINIMUM OF 3" CALIPER AND 10' TALL. • UNDERSTORY TREES SHALL BE A MINIMUM OF 1.5" CALIPER FOR SINGLE STEM AND 6' TALL FOR BOTH SINGLE AND MULTI-STEMMED TREES.
- 9. BALLED AND BURLAP (B&B), CONTAINER AND BARE ROOT PLANT MATERIALS A. TREES DESIGNATED B&B SHALL BE PROPERLY DUG WITH FIRM, NATURAL BALLS OF SOIL WITH BALL SIZE
  - NOT LESS THAN DIAMETER AND DEPTH RECOMMENDED BY ANSI Z60.1 FOR TYPE AND SIZE OF TREE, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE. BALLS SHALL BE FIRMLY WRAPPED WITH BIODEGRADABLE BURLAP AND SECURED WITH NAILS AS RECOMMENDED BY ANSI Z60.1.
  - B. THE ROOT FLARE SHALL BE APPARENT AT THE SURFACE OF THE ROOT BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOT BALL IN ORDER TO ESTABLISH THE CORRECT GRADE TREES SHALL BE REJECTED IF THE ROOT FLARE HAS BEEN BURIED LONG ENOUGH FOR THE STEM TO SPROUT ADVENTITIOUS ROOTS. TREES WITH LOOSE, BROKEN, PROCESSED, OR MANUFACTURED ROOT BALLS WILL NOT BE ACCEPTED.
  - CONTAINER-GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED EXTERIOR PLANTS GROWN IN A CONTAINER WITH WELL-ESTABLISHED ROOT SYSTEM REACHING SIDES OF CONTAINER AND MAINTAINING A FIRM BALL WHEN REMOVED FROM CONTAINER. THE ROOT FLARE SHALL BE APPARENT AT SURFACE OF BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOT BALL IN ORDER TO ESTABLISH THE CORRECT GRADE. CONTAINER SHALL BE RIGID ENOUGH TO HOLD BALL SHAPE AND PROTECT ROOT MASS DURING SHIPPING AND BE SIZED ACCORDING TO ANSI Z60.1 FOR KIND, TYPE, AND SIZE OF EXTERIOR PLANT REQUIRED.
- D. BARE ROOT MATERIAL SHALL BE GROWN IN THE GROUND IN THE NURSERY WITHOUT ARTIFICIAL ROOT RESTRICTION DEVICES, SUCH AS CONTAINERS OR FABRIC BAGS, UNDER FAVORABLE GROWING CONDITIONS AND WHICH HAVE RECEIVED THE PROPER CULTURAL TREATMENT TO DEVELOP A WELL-BRANCHED ROOT SYSTEM. AFTER HARVEST, THE SOIL IS REMOVED FROM THE ROOTS.
- 10. DELIVERY, STORAGE AND HANDLING A. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY.
- B. HANDLE PLANTING STOCK BY ROOT BALL. HEAVIER MATERIAL SHALL BE HANDLED WITH STRAPS ON THE ROOT BALL AND APPROPRIATE EQUIPMENT SUCH AS A SMALL SKID STEER LOADER.
- 2. DELIVER BARE-ROOT STOCK PLANTS FRESHLY DUG. IMMEDIATELY AFTER DIGGING UP BARE-ROOT STOCK, PACK ROOT SYSTEM IN WET STRAW, HAY, OR OTHER SUITABLE MATERIAL TO KEEP ROOT SYSTEM MOIST UNTIL PLANTING
- D. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET EXTERIOR PLANTS IN THEIR APPROPRIATE ASPECT (SUN, FILTERED SUN, OR SHADE), PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER

ACCEPTABLE MATERIAL.

CONDITION

- DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS BEF WATER ROOT SYSTEMS OF EXTERIOR PLANTS STORED ON-SITE WIT AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST,
- HEEL-IN BARE-ROOT STOCK. SOAK ROOTS THAT ARE IN DRY CONDITIO
- HOURS. REJECT DRIED-OUT PLANTS. 11. NURSERY
- A. PLANTS SHALL BE GROWN WITHIN ONE COLD HARDINESS ZONE OF THE PROJECT B. PROVIDE DIGITAL PHOTOS FROM THE NURSERY WITH HEIGHT IDENTIFIED FOR FORESTER OR DESIGNEE PRIOR TO DIGGING OR SHIPPING. ALL TREES SHALL APPROVED PRIOR TO INSTALLATION EITHER AT PLACE OF PURCHASE, NURSER SITE BY THE URBAN FORESTER OR DESIGNEE.
- 12. OBSERVATION AND REJECTION
  - A. URBAN FORESTER OR DESIGNEE MAY OBSERVE TREES AT PLACE OF PURCHAN YARD, OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS VARIETY, SIZE, AND QUALITY, URBAN FORESTER RETAINS RIGHT TO OBSERVE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LAT
- UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS ( REJECTED TREES IMMEDIATELY FROM PROJECT SITE.
- 13. SUBSTITUTIONS A. REQUESTS FOR SUBSTITUTION FOR THE LISTED PLANT MATERIAL MUST BE MAI FORESTER IN WRITING. THE REQUEST SHALL INCLUDE A MINIMUM OF 5 NURSE LOCATION AND CONTACT INFORMATION. SUBSTITUTIONS WILL BE CONSIDERED CANNOT BE LOCATED OR CONFIRMED BY KNOWN SUPPLIERS. PLANT SUPPLIE
  - AND LOCATED PRIOR TO SUBMITTAL. IF PLANT MATERIAL SUBSTITUTIONS ARE OF THE CONTRACT OR PERMIT, THE SUBSTITUTION MUST BE OF SIMILAR GROW CHARACTERISTICS; SIMILAR IN SPECIFIED SIZE; AND EQUAL IN PRICE AND SUBJ REJECTION BY THE URBAN FORESTER.
- B. IF FOR ANY REASON TREES CANNOT BE INSTALLED ACCORDING TO THE PLANS TO THE URBAN FORESTER IN WRITING THE CONTRACTOR SHALL INFORM THE PLANTING LOCATIONS SHALL BE SELECTED FOR APPROVAL BY THE URBAN FOR
- E. TREE QUALITY STANDARDS
- 1. PLEASE REFER TO CITY OF RALEIGH STANDARD DETAILS LOCATED AT RALEIGHNC.GOV 2. LINEAR SPACING AND LOCATION
- A. TREES WILL BE PLANTED IN ACCORDANCE WITH SPACING REQUIREMENTS DE
- DEVELOPMENT ORDINANCE UNLESS OTHERWISE DIRECTED BY THE URBAN FO B. TREES TO BE INSTALLED UNDER OVERHEAD UTILITY LINES SHALL HAVE A MATU
- THAN 30FT.
- C. GROUPED PLANTINGS GROUPING TREES WHEREVER POSSIBLE AND DESIGNING TREE PITS ( ALLOW SHARED ROOT SPACE PROVIDES A NUMBER OF BENEFITS TO OF URBAN TREES. DESIGNS THAT GROUP TREES ARE FAVORED OVER
- 3. EXECUTION
- A. TREE AND SHRUB EXCAVATION PLANTING HOLE: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWA CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL AND ASSIST
  - FURTHER DISTURB BASE. SCARIFY SIDES OF PLANT PIT SMEARED OF EXCAVATION.
- EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETE PLANTING HOLES SHALL BE NO DEEPER THAN THE ROOT FLARE OF T SHALL BE INSTALLED AT GRADE, A MAXIMUM OF 2 INCHES ABOVE GRA GRADE.
- SOIL REMOVED FROM EXCAVATIONS MAY BE USED AS BACKFILL PROV
- SPECIFIED PLANTING SOIL MIX REQUIREMENTS OBSTRUCTIONS: NOTIFY URBAN FORESTER IF UNEXPECTED ROCK
- DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVA
- DRAINAGE: PLANTING HOLES NOT ASSOCIATED WITH A DRAIN SYSTEM WITHIN A 12-HOURPERIOD. NOTIFY URBAN FORESTER IF SUBSOIL CO UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PI

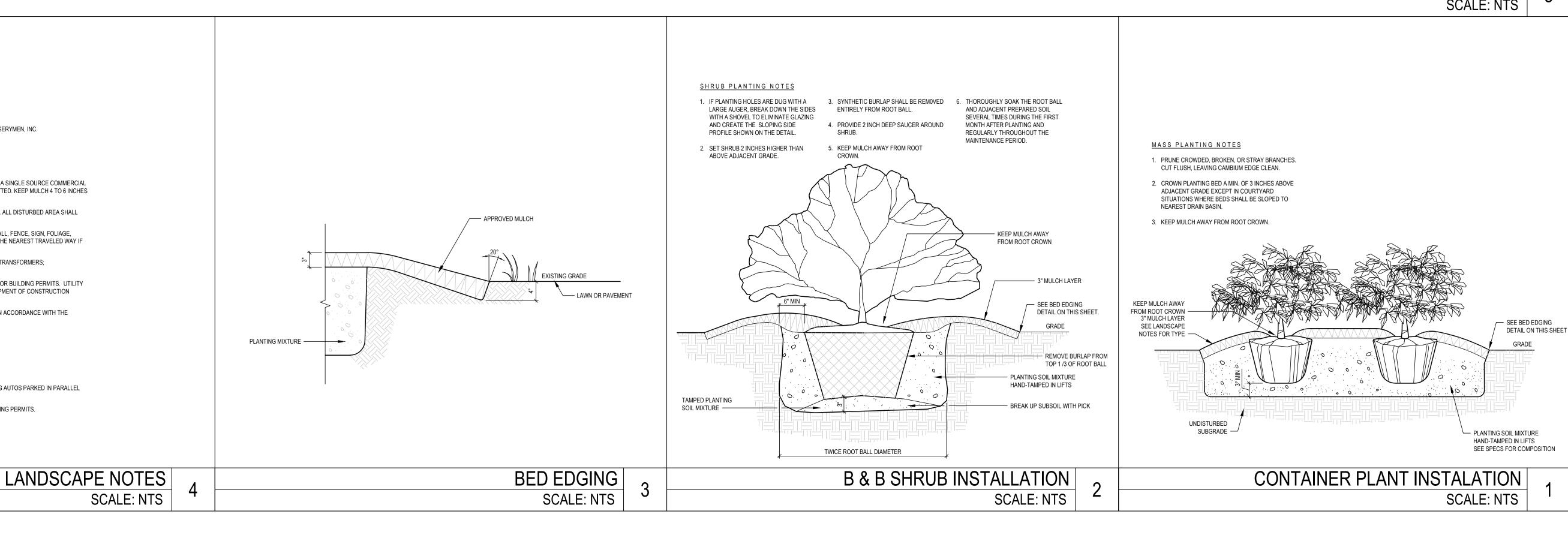
B. TREE AND SHRUB PLANTING BALL AND BURLAP

- a. SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER ( ROOT FLARE AT GRADE, A MAXIMUM OF 2 INCHES ABOVE ADJA
- NEVER BELOW GRADE. DO NOT MANEUVER BY TRUNK. HANDL
- b. REMOVE BURLAP AND WIRE BASKETS FROM THE TOP ½ OF ROC DISCARD FROM HOLE, BUT DO NOT REMOVE FROM UNDER RO IF ANY, BEFORE SETTING. DO NOT USE PLANTING STOCK IF RO
- BROKEN BEFORE OR DURING PLANTING OPERATION. c. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS. TAI MIX AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPI BACKFILLED. WATER THOROUGHLY BEFORE PLACING REMAIND WATERING UNTIL NO MORE WATER IS ABSORBED. WATER AGAI TAMPING FINAL LAYER OF PLANTING SOIL MIX.
- CONTAINER a. SET CONTAINER-GROWN STOCK PLUMB AND IN CENTER OF PIT FLARE AT GRADE, A MAXIMUM OF 2 INCHES ABOVE ADJACENT F BELOW GRADE, DO NOT MANEUVER BY TRUNK. HANDLE BY R
- b. CAREFULLY REMOVE ROOT BALL FROM CONTAINER WITHOUT PLANT. GENTLY LOOSEN THE ROOTS AND CUT ANY GIRDLING
- PLACES c. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS, TA FLIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROXIM WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACK UNTIL NO MORE WATER IS ABSORBED. WATER AGAIN AFTER F
- LAYER OF PLANTING SOIL MIX. BARE ROOT a. FOLLOW THE METHOD FOR CONTAINER PLANTING. STAKING F
- C. TREES IN SIDEWALKS, PITS, GRATES AND TREE LAWNS TREE GRATES

LANDSCAPE NOTES:

- 1. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
- 2. THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH.
- 3. ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN. INC.
- 4. ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
- 5. LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 6. ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- 7. ALL PLANTING BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES, WITH AGED TRIPLE SHREDDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS. 8. ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURE'S SPECIFICATIONS. REFER TO LANDSCAPE PLAN(S). ALL DISTURBED AREA SHALL
- EITHER BE MULCH OR LAWN. 9. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF
- NO CURBING EXISTS 10. HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS;
- BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.
- 11. ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS. 12. ALL STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03 AND MAINTAINED IN ACCORDANCE WITH THE
- REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
- 13. MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS
- 14. TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES. 15. TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
- 16. TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.
- 17. CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES
- 18. A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS
- 19. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

BEFORE TIME OF PLANTING.	<ul> <li>a. 4' X 6' GRAY IRON, ADA COMPLIANT</li> <li>b. TREE GRATES SHALL HAVE A PROVISION FOR TRUNK EXPANSION OF THE TREE, SUCH AS</li> </ul>	E. USE A SLOW FLOW HOSE END DEVICE / COMMERCIALLY AVAILABLE WATER BA THOROUGHLY SOAK THE ROOT BALL, T
/ITH A FINE-MIST SPRAY. WATER	POP OUT CONCENTRIC RINGS IN THE GRATE AROUND THE TRUNK.	OF WATER TO ENSURE THE BAG WILL E STARTING NOVEMBER 1 UNTIL APRIL 1
ST, BUT NOT OVERLY-WET	UTILITIES MAY RUN BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE.	3. MULCH
DITION IN WATER FOR TWO	TREES SHALL BE CENTERED IN THE PIT	A. MAINTAIN A 3-INCH AVERAGE THICKNES PLANTING PIT OR TRENCH. TYPICAL M
	• TREE PITS SHALL ACCOMMODATE A DEPTH OF 3' OF PLANTING SOIL.	PINE STRAW (NOT PERMITTED WITHIN ' B. MULCH TO THE DRIP LINE OF MATURE '
OJECT SITE.	HIGH QUALITY PLANTING SOIL SHALL BE USED IN THE PIT DIRECTLY BELOW THE GRATE	C. DO NOT PLACE MULCH WITHIN 3 INCHE
OR REVIEW BY THE URBAN ALL ALSO BE REVIEWED AND	DRAINAGE SHALL BE PROVIDED.	ALL PLANT MATERIAL. D. KEEP MULCH FREE OF WEEDS, TRASH
SERY, HOLDING YARD OR WORK	<ul> <li>D. TREE LAWN</li> <li>MINIMUM 6 FEET WIDE TREE LAWN.</li> </ul>	E. THE MULCH RING PREVENTS STRING T
	TREE CENTERED IN AREA.	IMPROVES SOIL QUALITY, MOISTURE AI AND LONGEVITY OF THE URBAN TREE
	600 CUBIC FEET OF HIGH-QUALITY PLANTING SOIL IN THE IMMEDIATE AREA WHERE TREE IS TO BE	4. TREE GRATES
	PLACED. E. REQUIRED SUBSURFACE ROOT EXPANSION	A. TREE GRATE MAINTENANCE IS THE RE GRATES FREE OF WEEDS, TRASH AND
CHASE, NURSERY HOLDING	REQUIRED SUBSURFACE ROOT EXPANSION     HIGH-QUALITY PLANTING SOIL OR STRUCTURAL SOIL SHALL BE USED TO ACCOMPLISH THE SOIL	B. REPLENISH GRAVEL AS NEEDED TO MA
NTS FOR GENUS, SPECIES, RVE TREES FURTHER FOR SIZE ATENT DEFECTS AND TO REJECT	VOLUME REQUIREMENT.	MATERIAL; TYPICALLY GRAY PEA GRAV C. NOTIFY URBAN FORESTER IF THE TREE
ESS OF WORK. REMOVE	<ul> <li>600 CUBIC FEET OF SUBSURFACE ROOT EXPANSION AREA REQUIRED PER TREE.</li> <li>a. STRUCTURAL SOIL</li> </ul>	5. PESTICIDE AND HERBICIDE APPLICATION
	b. SUBSURFACE SOIL CONTAINMENT STRUCTURE	A. APPLY PESTICIDES AND OTHER CHEMI REQUIREMENTS OF AUTHORITIES HAVI
MADE TO THE URBAN RSERIES ATTEMPTED FOR	c. ROOT PATHWAYS	RECOMMENDATIONS. COORDINATE AF THE WORK. NOTIFY URBAN FORESTER
ERED IF THE LISTED MATERIAL PLIERS MUST BE RESEARCHED	c.1. MAY ONLY BE USED IN COMBINATION WITH OTHER OPTIONS OR IN CASES WHERE CONNECTIONS TO AVAILABLE SOIL SPACE ACHIEVES THE 600 CUBIC FEET	PERMIT B. PRE-EMERGENT HERBICIDE: APPLY TC
ARE TO BE MADE AFTER AWARD ROWTH HABIT, FORM, AND	REQUIREMENT. c.2. 20-FOOT MINIMUM EXTENSION FOR EACH PATH. CONNECT TO ADJACENT ROOT	MANUFACTURER'S WRITTEN RECOMME
SUBJECT TO APPROVAL OR	PATHS WHEN POSSIBLE. c.3. WHEN ROOT EXPANSION PATHS EXTEND UNDER THE SIDEWALK ENSURE MINIMUM	C. POST-EMERGENT HERBICIDE: APPLY C IN ACCORDANCE WITH MANUFACTURE
ANS A REQUEST SHALL BE MADE THE CITY AND ALTERNATE	DENSITY REQUIREMENTS ARE MET.	6. TREE PRUNING
FORESTER.	d. SUSPENDED PAVEMENT	A. ALL TREE PRUNING SHALL BE DONE BY
GOV		B. ANSI A-300 PRUNING STANDARDS SHAL 7. ROOT PRUNING
	e. EXCEPTIONS AND DESIGN ALTERNATIVES ARE ENCOURAGED TO ACHIEVE SOIL VOLUME:	A. AREA FOR ROOT PRUNING MUST BE AF
DETAILED IN THE UNIFIED	URBAN FORESTER REVIEW REQUIRED.DESIGNS THAT GROUP TREES AND CONNECT ROOT SPACES WILL BE FAVORED AS WELL AS THE INTRODUCTION OF LID MATERIALS AND TECHNOLOGY.	HAZARDOUS TREE CONDITION (CHAPTE B. ACCEPTABLE METHODS OF CUTTING A
MATURE HEIGHT OF NO GREATER	F. ORGANIC MULCHING	TOOLS. IMPLEMENT MUST LEAVE A CLE
	APPLY 3 INCH AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING 12 INCHES BEYOND EDGE OF	C. IF EXCAVATION CAUSES PRUNED ROOT HOURS, ROOTS ON TREE SIDE SHALL B
TS OR MULCH AREAS THAT	PLANTING PIT OR TRENCH. DO NOT PLACE MULCH WITHIN 3 INCHES OF TRUNKS OR STEMS. ROOT FLARE SHALL BE VISIBLE AT BASE OF ALL PLANT MATERIAL.	WITH WET BURLAP. D. WHERE CONCRETE IS POURED ADJACE
TO THE HEALTH AND LONGEVITY IVER INDIVIDUAL PLANTINGS	<ul> <li>MULCH SHALL BE THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNER TO REFRESH AS NEEDED AND KEEP FREE OF DEBRIS AND TRASH.</li> </ul>	AGAINST THE TREE SIDE OF THE PRUN 8. TREE REPLACEMENT OF WARRANTIED TREES
	G. SOIL	<ul> <li>A. TREES SHALL BE REPLACED IN THE NE</li> </ul>
	<ul> <li>BACKFILL DIRECTLY IN TREE PIT OR PLANTING AREA SHALL BE HIGH-QUALITY PLANTING SOIL SUITABLE FOR SUCCESSFUL GROWTH.</li> </ul>	DECLINE, ARE INFESTED BY INSECTS O BRANCHES, EXCESSIVE PRUNING INCL
INWARD. TRIM BASE LEAVING	• IF SOIL ON SITE IS SUITABLE IT MAY BE MIXED AT A RATE OF 50% WITH HIGH-QUALITY PLANTING	ARE FAILING DUE TO OTHER CAUSES. B. REPLACEMENT TREES INSTALLED AFTE
SIST IN DRAINAGE. DO NOT OR SMOOTHED DURING	<ul> <li>SOIL.</li> <li>SOIL MUST BE FREE OF SUBSOIL, HARD CLODS, STONE, RESIDUES OR UNDESIRABLE MATERIALS,</li> </ul>	SHALL GET A FULL 1 YEAR OF WARRAN
ETER FOR ALL PLANT MATERIAL.	STICKS, WEED SEED AND UNIFORM IN QUALITY.	C. DEAD, DYING, DISEASED OR VANDALIZE BUSINESS DAYS.
F THE TREE OR PLANT WHICH	THE URBAN FORESTER OR DESIGNEE MAY REJECT UNSUITABLE SOIL.	D. REPLACEMENT TREE SPECIES MAY BE G. TREE PROTECTION
GRADE, AND NEVER BELOW	<ul> <li>H. GUYING AND STAKING</li> <li>DO NOT STAKE UNLESS THE TREE BECOMES UNSTABLE OR IT IS A HIGH WIND AREA.</li> </ul>	
ROVIDED IT MEETS THE	REMOVE ALL STAKING MATERIAL AFTER 1 YEAR.	A TREE PROTECTION PLAN IS REQUIRED FOR ANY ACTIV
K OR OBSTRUCTIONS	LEAVE SLIGHT SLACK IN TIE TO PROMOTE TRUNK TAPER.	TREE PROTECTION PLAN     A. SUBMIT PROJECT PLANS SHOWING TRE
AVATIONS.	<ul> <li>UPRIGHT STAKING AND TYING: WHEN REQUIRED USE A MINIMUM OF 3 STAKES. SET VERTICAL STAKES AND SPACE TO AVOID PENETRATING ROOT BALLS OR ROOT MASSES. SUPPORT TREES</li> </ul>	B. TREE PROTECTION PLAN SHALL INCLU
STEM SHALL DRAIN FULLY CONDITIONS EVIDENCE	WITH TWO STRANDS OF TIE WIRE ENCASED IN HOSE SECTIONS OR ARBORIST TAPE AT CONTACT POINTS WITH TREE TRUNK. ALLOW ENOUGH SLACK TO AVOID RIGID RESTRAINT OF TREE. SPACE	EXISTING TREES ON SITE
B PITS.	STAKES EQUALLY AROUND TREES AND ATTACH FLAGS TO EACH GUY WIRE FOR VISIBILITY.	CRITICAL ROOT ZONES OF PRO
	F. MAINTENANCE AND WARRANTY STANDARDS	TREE PROTECTION FENCING E
R OF PIT OR TRENCH WITH	A TREE IMPACT PERMIT IS REQUIRED FOR MAINTENANCE ACTIVITIES	OTHER PRODUCTS FOR PROTI     REMEDIATION
DJACENT FINISH GRADES, AND NDLE BY ROOT BALL ONLY.	IT IS THE ADJACENT PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN THE MULCH RING OR TREE GRATE AROUND TREES IN THE RIGHT OF WAY AND PREVENT STRING TRIMMER OR MOWER DAMAGE.	2. TREE PROTECTION FENCING SHALL BE INSTALL
ROOT BALL, CUT OFF AND ROOT BALLS. REMOVE PALLETS,	A 2-YEAR WARRANTY AND MAINTENANCE PERIOD IS REQUIRED AFTER THE FINAL INSPECTION OF PERMITTED PLANTING.	TREES (CRZ DEFINED AS RADIUS 1.25' FEET PER
FROOT BALL IS CRACKED OR	1. TREE AND PLANT MAINTENANCE	<ol> <li>TREE PROTECTION SIGNAGE REQUIRED EVERY</li> <li>IF CONSTRUCTION OCCURS WITHIN THE CRZ AT</li> </ol>
TAMPING GENTLY TO SETTLE APPROXIMATELY ONE-HALF	A. MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, MULCHING, RESTORING PLANTING SAUCERS, ADJUSTING AND REPAIRING TREE-STABILIZATION DEVICES, RESETTING	WHERE MACHINERY MANEUVERS TO REDUCE S
AFFROXIMATELT ONE-HALF AINDER OF BACKFILL. REPEAT AGAIN AFTER PLACING AND	TO PROPER GRADES OR VERTICAL POSITION, AND REPAIRING TREE-STABILIZATION DEVICES, RESETTING TO PROPER GRADES OR VERTICAL POSITION, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS, SPRAY OR TREAT AS REQUIRED TO KEEP PLANTS FREE OF	5. THE TREE PROTECTION FENCING SHALL NOT BE APPROVAL FROM URBAN FORESTRY STAFF.
	INSECTS AND DISEASE.	<ol> <li>THERE WILL BE ZERO TOLERANCE FOR STORIN PROTECTED TREES.</li> </ol>
F PIT OR TRENCH WITH ROOT	B. FILL IN AS NECESSARY SOIL SUBSIDENCE THAT MAY OCCUR BECAUSE OF SETTLING, RUTTING OR DAMAGE BY EQUIPMENT OR OTHER PROCESSES. REPLACE MULCH MATERIALS DAMAGED OR LOST IN AREAS OF SUBSIDENCE.	7. REMEDIATION INCLUDES BUT IS NOT LIMITED TO NUTRITION (FERTILIZER, ORGANIC MATTER, ETC
NT FINISH GRADES, AND NEVER Y ROOT BALL ONLY.	C. APPLY TREATMENTS AS REQUIRED TO KEEP PLANT MATERIALS, PLANTED AREAS AND SOILS FREE OF	MITIGATION
UT DAMAGING ROOT BALL OR	PESTS AND PATHOGENS OR DISEASE. USE INTEGRATED PEST MANAGEMENT PRACTICES WHENEVER POSSIBLE TO MINIMIZE THE USE OF PESTICIDES AND REDUCE HAZARDS. TREATMENTS INCLUDE PHYSICAL	<ol> <li>AFTER CONSTRUCTION OR IMPACT PROTECTIO USED FOR A ROOT BUFFER SHALL BE REMOVED</li> </ol>
IG ROOTS IN AT LEAST TWO	CONTROLS SUCH AS HOSING OFF FOLIAGE, MECHANICAL CONTROLS SUCH AS TRAPS, AND BIOLOGICAL CONTROL AGENTS.	MECHANICALLY BEYOND THIS ZONE. THERE SH THIS CHAPTER.
TAMPING TO SETTLE MIX AND IMATELY ONE-HALF BACKFILLED,	2. WATERING INSTRUCTIONS	
CKFILL. REPEAT WATERING R PLACING AND TAMPING FINAL	A. PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES.	
	B. SCHEDULE WATERING TO COMPLY WITH THE CITY OF RALEIGH WATER CONSERVATION ORDINANCE.	
G REQUIRED.	C. WATERING VOLUMES SHOULD BE BASED UPON DELIVERY OF INCH OF MOISTURE PER WEEK TO THE PLANT IF PRECIPITATION DOES NOT MEET THAT AMOUNT DURING THE ACTIVE GROWING SEASON DEFINED AS	
	APRIL 1 THROUGH NOVEMBER 1. D. SUPPLEMENTAL WATER SHALL BE APPLIED DURING THE ESTABLISHMENT PERIOD AS FREQUENTLY AS 3	
	TIMES PER WEEK AND DURING PERIODS OF DROUGHT OR EXCESSIVE HEAT.	



#### ICE AND WATER EACH TREE AT THE BASE FOR SEVERAL MINUTES. BAGS ARE ACCEPTABLE. AT EACH VISIT MAKE SURE THE BAG IS EMPTY. L, THEN REFILL THE BAG CHECKING THE EMITTERS ALLOW FREE FLOW L DRAIN. ALL WATERING BAGS SHALL BE REMOVED FROM TREES L 1 OF FOLLOWING YEAR.

KNESS OF ORGANIC MULCH EXTENDING 12 INCHES BEYOND EDGE OF L MATERIAL IS SHREDDED HARDWOOD, PINE BARK, WOOD CHIPS OR HIN 10' OF STRUCTURES). RE TREES.

CHES OF TRUNKS OR STEMS. ROOT FLARE SHALL BE VISIBLE AT BASE OF SH AND DEBRIS

IG TRIMMER, MOWER AND OTHER MECHANICAL DAMAGE. IT ALSO E AND TEMPERATURE EXCHANGE, AESTHETICS AND OVERALL HEALTH

RESPONSIBILITY OF THE ADJACENT PROPERTY OWNER. MAINTAIN ND DEBRIS. MAINTAIN AN EVEN SURFACE. GRAVEL SHALL MATCH EXISTING RAVEL/ #67 WASHED STONE GRAVEL. REE GRATE IS GIRDLING TREE OR CAUSING DAMAGE TO TREE.

EMICALS AND BIOLOGICAL CONTROL AGENTS IN ACCORDANCE WITH AVING JURISDICTION AND MANUFACTURER'S WRITTEN E APPLICATIONS WITH CITY OPERATIONS AND OTHERS IN PROXIMITY TO TER BEFORE EACH APPLICATION IS PERFORMED OR AS SPECIFIED IN

Y TO TREE, SHRUB AND GROUND-COVER AREAS IN ACCORDANCE WITH IMENDATIONS. DO NOT APPLY TO SEEDED AREAS. LY ONLY AS NECESSARY TO TREAT ALREADY-GERMINATED WEEDS AND JRER'S WRITTEN RECOMMENDATIONS.

E BY OR UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST HALL APPLY (CHAPTER 6).

E APPROVED BY AN ISA CERTIFIED ARBORIST TO PREVENT A IG ARE BY SHARP HAND PRUNERS, LOPPERS, HAND SAW OR HYDRAULIC

CLEAN CUT. OOTS OVER 1.5" IN DIAMETER TO REMAIN EXPOSED FOR MORE THAN 24 LL BE KEPT MOIST. BACKFILL WITH TOPSOIL, MOIST MULCH, OR DRAPE

IACENT TO PRUNED ROOTS HEAVY DUTY PLASTIC SHALL BE INSTALLED RUNED ROOTS TO PREVENT UPTAKE (TOXIC TO TREE)

NEXT PLANTING SEASON IF THEY ARE MORE THAN 25% DEAD, IN RAPID IS OR DISEASE, HAVE LOST THE NATURAL SHAPE DUE TO DEAD NCLUDING VANDALISM, INADEQUATE OR IMPROPER MAINTENANCE, OR

AFTER THE 1ST YEAR OF A 2-YEAR WARRANTY/MAINTENANCE PERIOD RANTY/MAINTENANCE FROM THE TIME OF PLANTING. LIZED TREES THAT ARE DESTROYED SHALL BE REMOVED WITHIN 15

BE CHANGED WITH APPROVAL FROM URBAN FORESTER OR DESIGNEE.

CTIVITY IMPACTING CITY TREES INTENDED TO REMAIN.

TREE PROTECTION WITH THE TREE IMPACT PERMIT REQUEST. CLUDE ALL THAT APPLY

PROTECTED TREES NG DELINEATION AND SPECIFICATION ROTECTION (MULCH/MATTING/ETC.)

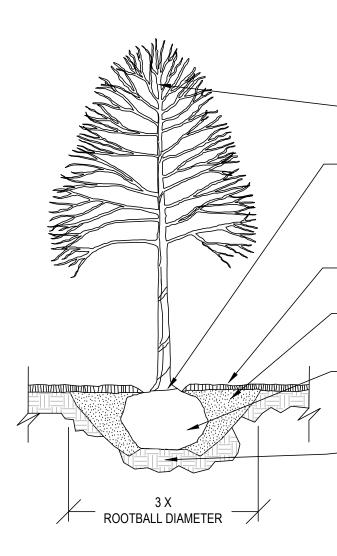
ALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (CRZ) OF PER CALIPER INCH AT DBH FROM TRUNK OF TREE).

ERY 50 FEET. Z AT LEAST 12" OF MULCH SHALL BE PLACED AND/OR LOGGING MATS CE SOIL COMPACTION IN THIS ZONE AND IDENTIFY ON PLAN. T BE VIOLATED FOR THE DURATION OF THE PROJECT WITHOUT

RING OR PARKING VEHICLES, SUPPLIES, OR EQUIPMENT UNDER

D TO REPLACEMENT, PRUNING, SUPPLEMENTAL WATER, MULCH, ETC.), INSECT/DISEASE CONTROL, STAKING AND COMPACTION

TION DEVICES SHALL BE REMOVED. MULCH OR OTHER MATERIALS VED BY HAND WITHIN THE CRITICAL ROOT ZONE. IT MAY BE REMOVED E SHALL BE 3" OF MULCH LEFT ON SITE AS DESCRIBED IN SECTION F.3 O



## DO NOT PRUNE LEADER. PRUNE OR CUT ONLY — DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARDS

REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE PLANTED AT GRADE, NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. TREE SHALL BE SET PLUMB

- MULCH DEPTH NOT MORE THAN 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM - PLANTING SOIL MIX AROUND ROOT BALL. 600 CU FT OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE

- COMPLETELY REMOVE TOP HALF OF BURLAP, LACING STRAPS, NAILS AND WIRE BASKET AND DISCARD FROM HOLE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL. ROOT BALL SHALL BE PLACED DIRECTLY ON

COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY.

CONTACT INFORMATION: CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER: TREES@RALEIGHNC.GOV WWW.RALEIGHNC.GOV

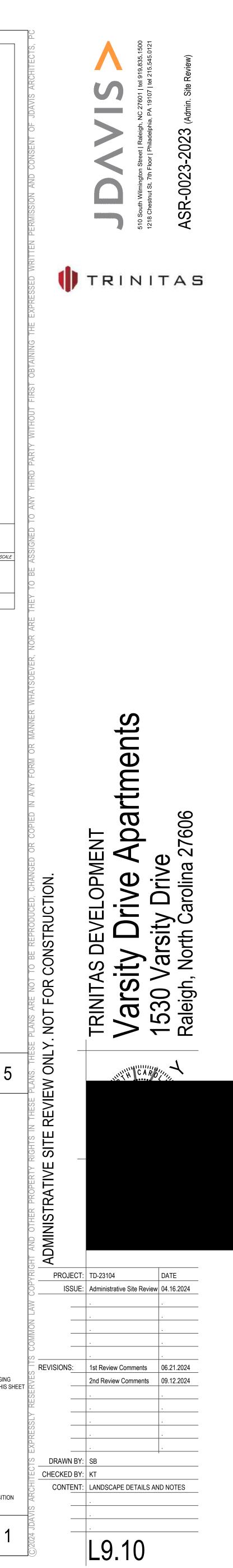
# 1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.

- 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
- 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
- 4. A TREE IMPACT PERMIT IS REQUIRED.
- 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA
- IMMEDIATELY SURROUNDING THE TREE. 6. IF STAKING IN ACCORDANCE WITH THE CITY
- TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
- 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL							
REVISIONS	DATE: 8/2020	NOT TO S					
10/2019	TREE PLAN	ITING DETAIL					
	TP	P-03					

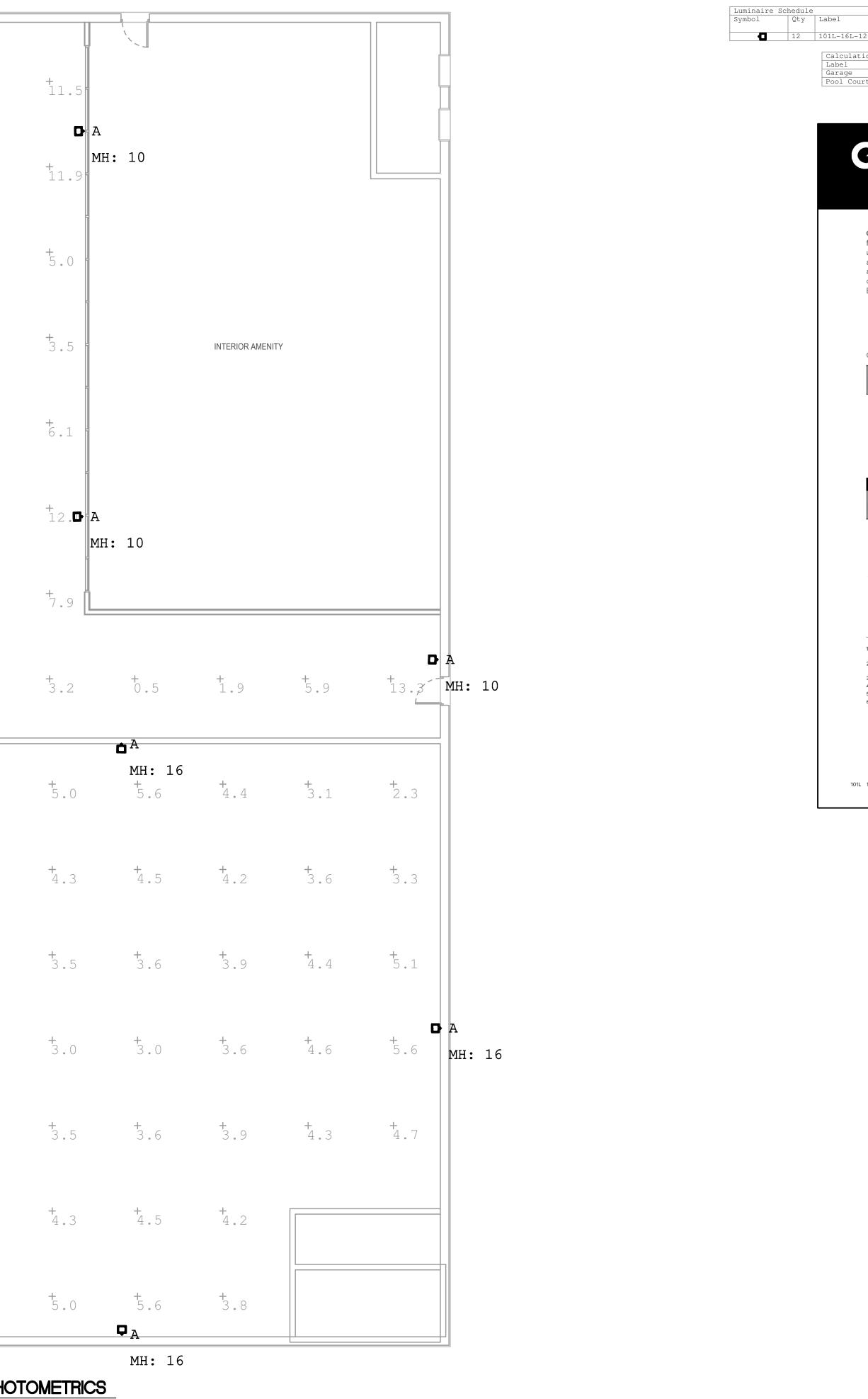
# CITY OF RALEIGH STANDARD DETAILS AND NOTES FOR CITY TREES

SCALE: NTS



				MH:	10	
					+ 10.3	+ 0.
					<b>+</b> 5.8	+ 7.
					<b>+</b> 3.0	+ 4.
		NO NIGHT S	WIMMING		+ 1.6	+3.
					+ 1.8 POOL DECK	+4.
O OCCUPANTS	PERMITTED BEY	OND ANTICIPAT	ED FENCE AT N	NIGHT.	+ 2.8	+ 6.
A MH: <sup>+</sup> 110, 2	<b>+</b> 5.3	+ 2.1	<b>+</b> 2.8	<b>+</b> 4.5	<b>+</b> 5.6	+6.
` <u>`</u> + 5.6	+ 3.7	+ 2.1	<b>+</b> 4.5	+ 13.1	+ 13.1	+6.
			<b>b</b> <sup>A</sup>	M	H: 8	
+ 2.2	+ 2.9	+ 4.1		H: 16 + 5.2	+ 3.9	<b>+</b> 3.
+ 3.2	+ 3.5	+ 4.0	+ 4.4	+ 4.4	+ 3.6	+3.
+	+ 4.3	+ 3.8	+ 3.5	+ 3.5	+ 3 。2 PARKING BELOW	+3.
ин: †65	+ 4.5	+ 3.5	+ 2.9	+ 2.9	+ 2.8	+ 2.
ин: †65	+4.5 +4.1	+3.5 +3.7	+2.9 +3.5	+2.9 +3.5	+ 2.8 + 3.2	+2.
ά <b>Η: <sup>+</sup>⊉6</b> 5 + 4.4	+ 4.1	+ 3.7	+ 3.5	+ 3.5	+ 3.2	+3.
ά <b>Η: <sup>+</sup>⊉6</b> 5 + 4.4	+ 4.1	+ 3.7	+ 3.5 + 4.4	+3.5 +4.3 +5.2	+3.2 +3.6	+ 3.

3 2 Ap A



	Description		Tag	Luminaire	Luminaire	[MANUFAC]		[LUMINAIF	E]	Mour	nting
				Lumens	Watts					Heig	ght
200-NW-G2-4	101L-16L-12	00-NW-G2-4	A	6588	65.6	SIGNIFY GA	ARDCO	101L LED	Sconce	8, 1	LO, 16
ion Summary											
ion Summary		CalcType		U1	nits	Avg	Max	Min	Avg/1	Min	Max/Min
ion Summary		CalcType Illuminance	e	UI		Avg 3.94	Max 5.6	Min 2.2	Avg/1		Max/Min 2.55

	Wall Mount	
GARDCO	LED Wall Sconce	
by §ignify	101L	
flexibility in high performance ex usable illumination patterns, and and architecturally pleasing desi and 4 distributions, and provide (	ture a low-profile design that provides wide terior wall illumination. Full cutoff performar powerful wattages combine into a compact gn. 101L sconces are available in Type 2, 3, output of up to 12,000 lumens. Energy saving savings and offer California Title 24 complia on available for path of egress.	g Location: Cat.No: Type: GW
Ordering guide		example: 101L-32L-700-NW-G2-3-120-BL-IMRI2-BZ
Prefix Number of LEDs	Drive Current LED Color - Generation Di	stribution Emergency Voltage
101L 101L LED Wall Sconce	200         200mA         CW-G2         Cool White 5000K, 70 CRI         2         3           530         530 mA         NW-G2         Neutral White 4000K, 70 CRI         3           700         700 mA         NW-G2         Neutral White 3000K, 70 CRI         4           1000         1000mA         WW-G2         Warm White 3000K, 70 CRI Generation 2         4           WY-G2         Warm Yellow 2700K, 80 CRI Generation 2 <sup>2</sup> 80 CRI Generation 2 <sup>2</sup> 2	Type 3 Battery Pack HVU 347-480V
<b>32L</b> 32 LEDs (2 modul		<b>480</b> 480V
Options Dimming Controls	Motion Sensing lens Photo-sensing Elect	trical Finish
(controls by others) <sup>4</sup>	IMRI2 Integral with #2 lens <sup>10</sup> IMRI3 Integral with #3 lens <sup>10</sup> TLRD5 IWist Look Receptacle 5-Pin <sup>14</sup> TLRD7 Twist Look Receptacle 7-Pin <sup>14</sup> TLRPC Twist Look Receptacle w/ Photocell <sup>8,16</sup> Surg	Single (120, 277, 347VAC) <sup>®</sup> Double (208, 240, 480VAC) <sup>®</sup> WH White Canadian Double Pull (208, 240, 480VAC) <sup>®</sup> BZ Bronze DGY Dark Gray MGY Medium Gray He Protection (10kA standard) Increased 20kA Customer specified RAL Specify optional color or RAL (ex: OC-LGP or OC-RAL7024) CC Custom color (Must supply color
<ol> <li>Only 16L up to 700mA can be used with battery backup (EBPC) configuration.</li> <li>Extended lead times apply. Contact factory for details.</li> <li>Available in 120 or 277V only.</li> <li>Not available with other dimming control op 5. Not available with motion sensor.</li> <li>Not available with photocontrol.</li> </ol>	<ol> <li>Not available in 347 or 480V.</li> <li>Must specify input voltage.</li> <li>Available with two modules (32L) at 530mA.</li> <li>Not available with DD, DCC, and FAWS dimming control options.</li> <li>Must specify a motion sensor lens. Limited to 30% ambient if combined with 32L-1000mA (107W).</li> <li>Not available with DCC and FAWS.</li> </ol>	chip for required factory quote) 13. Not available with DCC. 14. Dimming will not be connected to NEMA receptacle if ordering with other control options. 15. Not available in 480V. Order photocell separately with TLRD5/7. C
10/21 page1of5		a the second sec

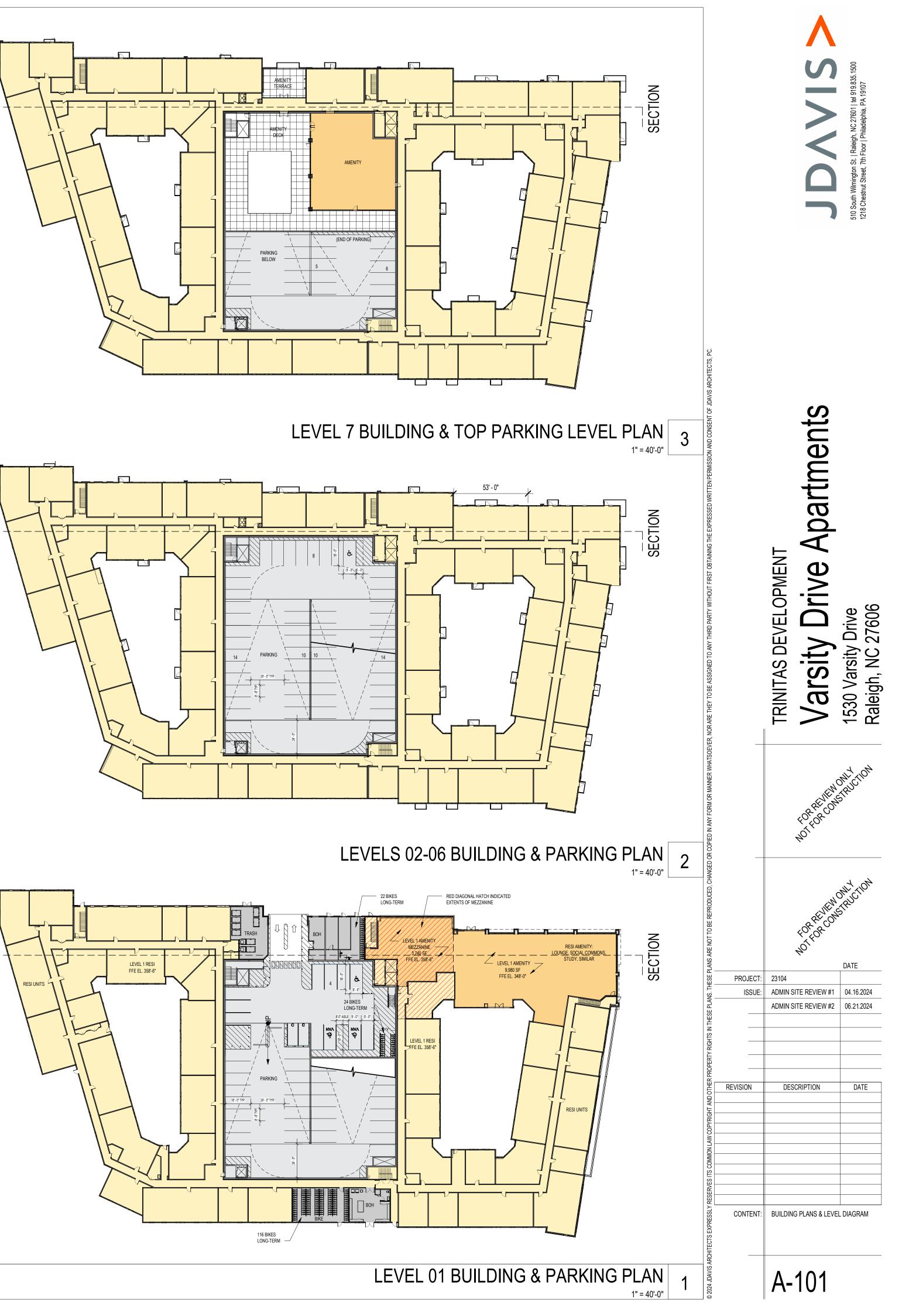
101L 10/21 page1 of 5

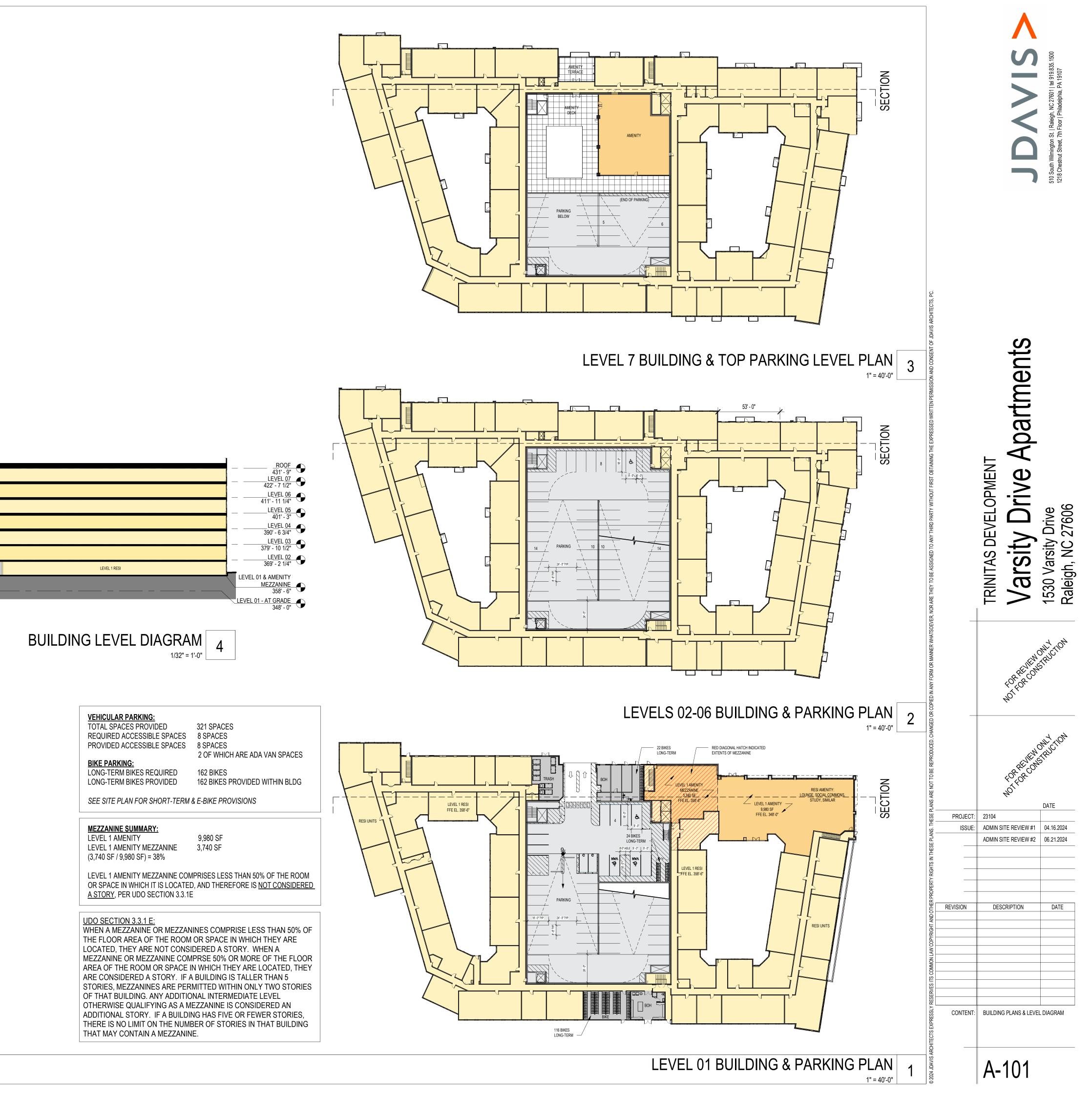
# <u>GENERAL NOTES</u>:

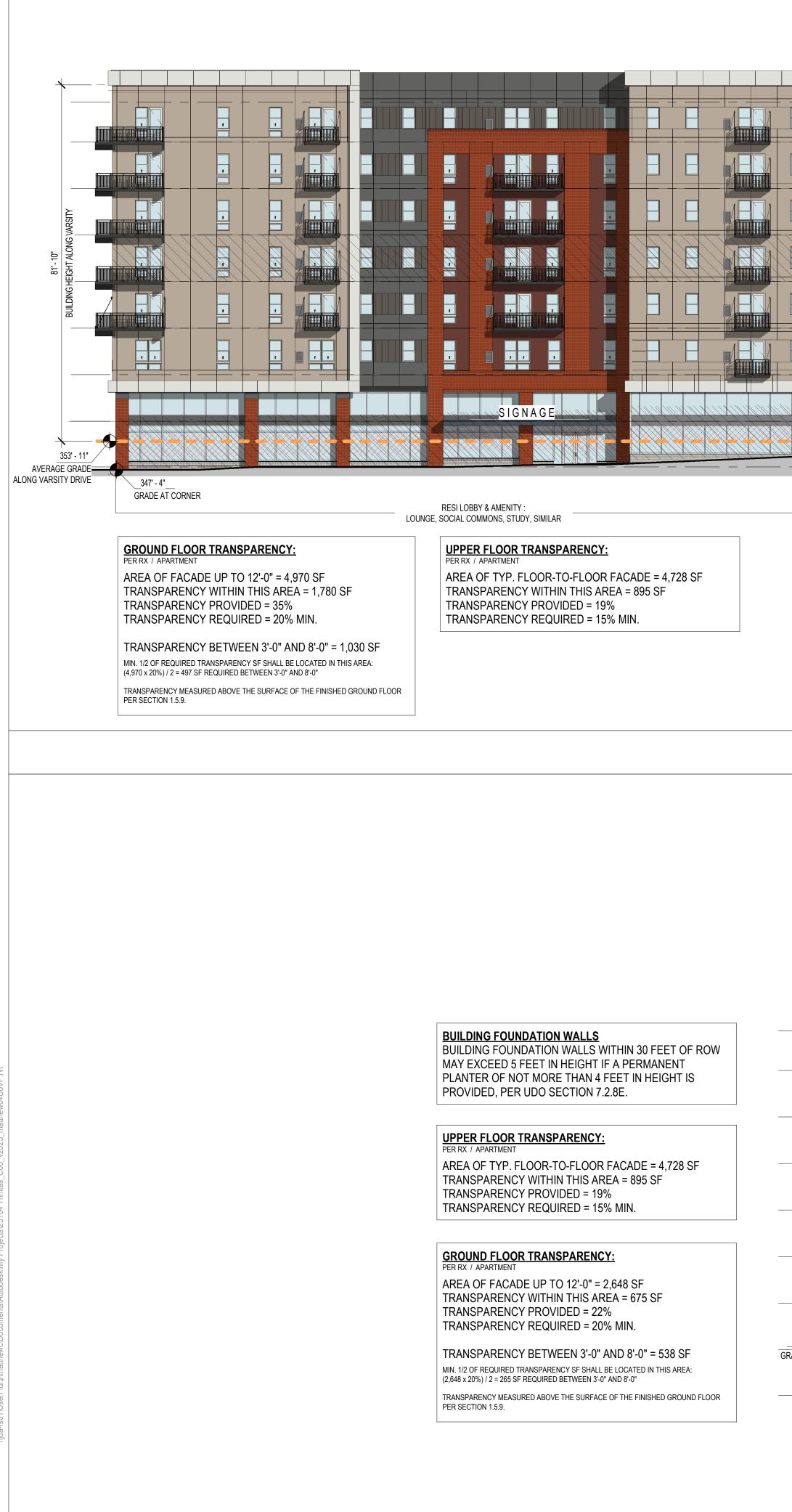
- I. ALL LIGHT FIXTURES SHALL BE A FULL-CUTOFF AND MOUNTED AT 90 DEGREES.
- 2. ALL LIGHT FIXTURES INDICATED ON PLAN ARE BELOW THE SURROUNDING STRUCTURE.
- 3. ALL LIGHT FIXTURE MOUNTING HEIGHTS (MH) ARE THE ABOVE FINISHED FLOOR HEIGHT.



● <u>ROOF</u>	LEVEL 7 RESI	
LEVEL 06	LEVEL 6 RESI	
● 411' - 11 1/4" ● LEVEL 05	LEVEL 5 RESI	
$ \begin{array}{c} \bullet & 401^{\circ} - 3^{\circ} \\ \bullet & \underline{LEVEL} \ 04 \\ \hline 390^{\circ} - 6 \ 3/4^{\circ} \end{array} -  $	LEVEL 4 RESI	
$ \begin{array}{c}             390 - 6 3/4 \\             \underline{LEVEL 03} \\             379' - 10 1/2" \\            $	LEVEL 3 RESI	
$ \begin{array}{c}                                     $		
LEVEL 01 & AMENITY MEZZANINE 358' - 6"	LEVEL 1 AMENITY 9,980 SF FFE EL 348-0"	
LEVEL 01 - AT GRADE 348' - 0"	RED DIAGONAL HATCH INDICATED EXTENTS OF MEZZANINE	







		ROOFTOP MECHANICAL E BE VISIBLE FROM RPUBLIC	
LICENTERRY BUILDING HEIGHT ALONG AVENT FERRY			
354' - 3"			
GRADE AT CORNER			
			PERMANENT PLANTER NOT TO EXCEED 4' IN HEIGHT

GARAGE ENTRY/EXIT

ROOFTOP MECHANICAL EQUIPMENT WILL NOT

BE VISIBLE FROM RPUBLIC ROW

