

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: _____	
Attached	Mixed use	Scoping/sketch plan case #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: _____			
Inside City limits?    Yes    No			
Property address(es): _____			
Site P.I.N.(s): _____			
Please describe the scope of work. Include any additions, expansions, and change of use.          			
Current Property Owner/Developer Contact Name: <b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: _____		Title: _____	
Address: _____			
Phone #: _____		Email: _____	
Applicant Name: _____			
Company: _____		Address: _____	
Phone #: _____		Email: _____	

**DEVELOPMENT TYPE + SITE DATA TABLE**

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IH-CU	Existing gross floor area (not to be demolished): 0 sf
	Existing gross floor area to be demolished: 0 sf
Gross site acreage: 93.87	New gross floor area: 327,150 sf
# of parking spaces required: 218	Total sf gross (to remain and new): 327,150 sf
# of parking spaces proposed: 323	Proposed # of buildings: 2
Overlay District (if applicable): SHOD-1	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Industrial	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: 2.59 ac      Square Feet: 112,648 sf	Proposed Impervious Surface: Acres: 17.55 ac      Square Feet: 764,654 sf
Is this a flood hazard area?    Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: None	
Flood study: Detailed Study - Zone AE	
FEMA Map Panel #: 3720172100J dated May 02, 2006	
Neuse River Buffer    Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands    Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

**RESIDENTIAL DEVELOPMENTS**

Total # of dwelling units: N/A	Total # of hotel units: N/A
# of bedroom units: 1br      2br      3br      4br or more	
# of lots: N/A	Is your project a cottage court?    Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**SIGNATURE BLOCK**

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Jonathan A. Allen will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature:  Date: 3/22/21

Printed Name: Jonathan A. Allen



# EAGLE CREST INDUSTRIAL PARK

## ADMINISTRATIVE SITE REVIEW

### CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

ASR-0024-2021

#### General Notes:

- All construction shall be in accordance with the City of Raleigh standards and specifications.
- The contractor shall be solely responsible for trench safety during all phases of construction.
- The location and size of existing utilities as shown is approximate only. The contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie in or adjacent to the construction site. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.
- The contractor shall salvage and protect all existing power poles, signs, manholes, telephone risers, water valves, etc. during all construction phases. The contractor shall repair, at his own expense, any existing utilities damaged during construction.
- Traffic design/control on public streets shall be in conformance with the traffic control plan, the Raleigh Street Design Manual, the "Manual of Uniform Traffic Control Devices," and as further directed by City and State Inspectors.
- Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
- Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
- All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall use silt fences (or other methods approved by the engineer and applicable municipality) as required to prevent silt and construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and siltation ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion and with approval of the erosion control inspector.
- The Contractor shall clear and grub the site and place, compact, and moisture condition all fill per the project geotechnical engineer's specifications. The fill material to be used shall be approved by the Geotechnical Engineer prior to placement.
- Materials used to construct embankments for any purpose, backfill around drainage structures, or in utility trenches for any other depression requiring fill or backfill shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standard D-968. The contractor shall, prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project. Tests shall be conducted by a certified materials' testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
- Proposed contours and gutter gradients are approximate. Proposed spot elevations and roadway profiles/super-elevations/typical sections are to be used in case of discrepancy.
- The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the storm sewer.
- All distances shown represent horizontal ground distances.
- Rim elevations are given as top of curb for Catch Basins, top of grate for Drop Inlets, and top of cover for Junction Boxes.
- Storm Sewer (RCP) shall be constructed to the following classes (unless otherwise noted):
  - Cover less than 10 feet - Class C or D bedding, Class III walls
  - Cover 10 feet to 15 feet - Class B bedding, Class III walls
  - Cover greater than 15 feet - Class B bedding Class IV walls
- All curb joints shall extend through the curb. Minimum length of offset joints at radius points is 1.5 feet. All joints shall be sealed with joint sealant.
- All handicap ramping, striping, and pavement markings shall conform to ADA requirements and the "North Carolina State Building Code, Vol. 1-C Accessibility Code."
- Existing Water and sewer main/service sizes adjacent to the property are to be verified by the contractor prior to the start of construction. The project engineer has shown sizes based on as-built plans from the Property Owner, however, exact size/dimension can only be determined from field exposure of the relevant line.
- Before starting any construction of improvements within any City street or highway Right-of-Way, the following procedures should be undertaken: City Right-of-Way-Contact local authority's traffic engineering department for information on detours, open cutting of streets or for any construction within Right-of-Way.
- A portion of the subject property is in a special flood hazard area as mapped by FEMA and shown on FIRM map number 3720172100 J. (Effective Date May 2nd, 2006).

This note shall apply to each and every sheet in this set.

The Engineer does not guarantee that all existing facilities such as pipelines, electrical lines, conduit, telephone cable, service connections, or other facilities are shown on the Plans. It shall be the Contractor's responsibility to have all utilities located by their respective owners, field mark the utility locations, and protect all such existing facilities prior to beginning construction. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.

PROJECT MANAGER

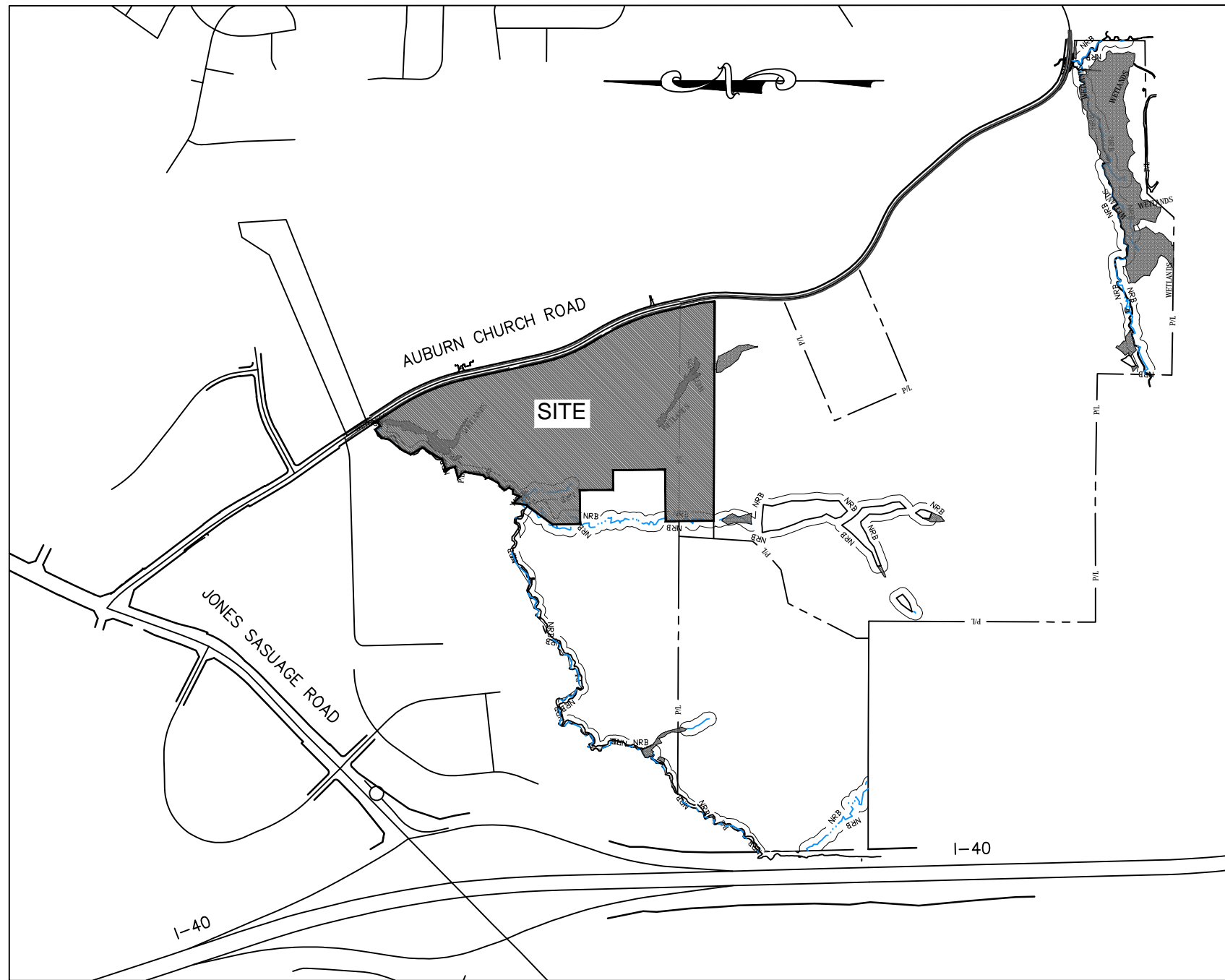
DEVELOPMENT &  
CONSTRUCTION INSIGHT

2054 KILDAIRE FARM RD, #167  
CARY, NORTH CAROLINA 27518  
CONTACT: DAVID PARKER  
David@DCInsight.com  
(919) 868-3099

ENGINEER

NV5 ENGINEERS &  
CONSULTANTS

3300 REGENCY PARKWAY, SUITE 100  
CARY, NORTH CAROLINA 27518  
CONTACT: JONATHAN ALLEN  
Jonathan.Allen@NV5.com  
(919) 858-1831



VICINITY MAP (1" = 1,000')

#### Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: Planner (print):

Please review UDO Section 10.2.8, as amended by text change case # C-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan ☐ Tier Three Site Plan ☒

Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: SUB-0011-2021 (in Review)	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: 0124-2022	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: N/A	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: N/A	
		Zoning Case #: N/A	
		Administrative Alternate #: N/A	

#### GENERAL INFORMATION

Development name: Eagle Crest Industrial Park

Inside City limits? Yes ☒ No ☐

Property address(es): 4100, 4300 Auburn Church Road

Site P.L.N.(s): 1721671227, 1721667499

Please describe the scope of work. Include any additions, expansions, and change of use.

Two new industrial buildings (approx. 353,750 sf total) and supporting infrastructure (roads, parking lots, truck docks and trailer storage).

Current Property Owner/Developer Contact Name: Sound Timber Management, LLC / Glen Bagwell, Manager

NOTE: please attach purchase agreement when submitting this form.

Company: RWN Real Estate Partners, LLC Title: Ari Shalam, Managing Partner

Address: 712 Fifth Avenue, 30th Floor

Phone #: 212-920-3120 Email: ashalam@rwnrp.com

Applicant Name: Jonathan Allen

Company: NV5 Engineers Address: 3300 Regency Parkway, Suite 100

Phone #: 919-924-2510 Email: jonathan.allen@nv5.com

Page 1 of 2

REVISION 02.19.21

raleighnc.gov

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IH-CU	Existing gross floor area (not to be demolished): 0 sf
Gross site acreage: 67.9	Existing gross floor area to be demolished: 0 sf
# of parking spaces required: 236	New gross floor area: 353,750 sf
# of parking spaces proposed: 316	Total sf gross (to remain and new): 353,750 sf
Overlay District (if applicable): SHOD-1	Proposed # of buildings: 2
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Industrial	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 2.69 ac Square Feet: 117,648 sf	Proposed Impervious Surface: Acres: 18.82 ac Square Feet: 806,731 sf
Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, please provide: Alluvial soils: None	
Flood study: Detailed Study - Zone AE FEMA Map Panel #: 3720172100J dated May 02, 2006	
Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: N/A	Total # of hotel units: N/A
# of bedroom units: 1br 2br 3br 4br or more	
# of lots: N/A	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

#### SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Jonathan A. Allen, will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: [Signature] Date: 6/23/21

Printed Name: Jonathan A. Allen

Page 2 of 2

REVISION 02.19.21

raleighnc.gov

#### SITE DATA TABLE

PROJECT NAME:	EAGLE CREST INDUSTRIAL PARK	ZONING:	IH-CU
PARCEL ADDRESS:	4100 AUBURN CHURCH ROAD 4300 AUBURN CHURCH ROAD	OVERLAY DISTRICT:	SHOD-1
PIN NUMBER:	1721671227 1721667499	TOTAL TRACT ACREAGE:	57.9 ACRES
PROPERTY OWNER:	SOUND TIMBER MANAGEMENT LLC 333 SHERWEE DRIVE RALEIGH, NC 27603	WATERSHED:	N/A
		RIVER BASIN:	NEUSE
		JURISDICTION:	CITY
		CURRENT USE:	VACANT
		PROPOSED USE:	OFFICE/WAREHOUSE

#### TOTAL VEHICULAR PARKING REQUIRED:

REQUIRED SPACES: 1 SPACE PER 600 SF OF OFFICE SPACE + 1 SPACE PER 3,000 SF OF ADDITIONAL INDOOR AREA

BUILDING 1 (166,250 SF) OFFICE = 41,600 SF / 600 SF  
69 SPACES REQUIRED  
ADDITIONAL AREA = 124,650 SF / 3,000 SF  
42 SPACES REQUIRED

BUILDING 1 TOTAL SPACES REQUIRED = 111 SPACES  
MAXIMUM PARKING ALLOWED = 111 X 150% = 167 SPACES  
BUILDING 1 TOTAL SPACES PROVIDED = 133 SPACES

ACCESSIBLE SPACES REQUIRED = 5  
ACCESSIBLE SPACES PROVIDED = 5

BIKE PARKING REQUIRED: SHORT-TERM SPACES = NONE  
LONG-TERM SPACES = 1 SPACE PER 40,000 SF = 166,250 SF / 40,000 SF = 4.16 SPACES  
LONG-TERM SPACES PROVIDED = 4 SPACES

BUILDING 2 (187,500 SF) OFFICE = 47,000 SF / 600 SF  
78 SPACES REQUIRED  
ADDITIONAL AREA = 140,500 SF / 3,000 SF  
47 SPACES REQUIRED

BUILDING 2 TOTAL SPACES REQUIRED = 125 SPACES  
MAXIMUM PARKING ALLOWED = 125 X 150% = 188 SPACES  
BUILDING 2 TOTAL SPACES PROVIDED = 183 SPACES

ACCESSIBLE SPACES REQUIRED = 6  
ACCESSIBLE SPACES PROVIDED = 6

BIKE PARKING REQUIRED: SHORT-TERM SPACES = NONE  
LONG-TERM SPACES = 1 SPACE PER 40,000 SF = 187,500 SF / 40,000 SF = 4.69 SPACES  
LONG-TERM SPACES PROVIDED = 5 SPACES

BLOCK PERIMETER EXEMPTION:  
BLOCK PERIMETER REQUIREMENTS  
ARE N/A FOR IH ZONING PER UDO  
SECTION 8.3.2.A.2.b.

STUB STREET EXEMPTION:  
CREATION OF STUB STREET  
OBSTRUCTED BY WATERCOURSE  
THAT HAS ONE (1) SQUARE MILE  
OF DISCHARGE AREA OR MORE  
PER UDO SECTION 8.3.2.A.1.b.vi.c.

CROSS ACCESS EXEMPTION:  
CREATION OF CROSS ACCESS  
OBSTRUCTED BY STEEP SLOPES IN  
EXCESS OF 25% WITHIN 10 FEET OF  
THE PROPERTY LINE PER UDO  
SECTION 8.3.5.D.5.b.iii.

EAGLE CREST INDUSTRIAL PARK  
ADMINISTRATIVE SITE REVIEW

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA

REVISIONS

REMARKS

SITE PLAN RESUBMITTAL

SITE PLAN RESUBMITTAL

SITE PLAN RESUBMITTAL

SITE PLAN RESUBMITTAL

PROJECT NO: 2020173.01

DRAWN BY: FM

DWG. CHECKED BY: JA

SCALE: SEE PLAN

DATE: 03-23-2021

COVER

C000



NIV5

**NV5 ENGINEERS AND CONSULTANTS, INC.**  
**300 REGENCY PARKWAY, STE 100**  
**CARY, NC 27518**  
**919.851.1912** [www.NV5.com](http://www.NV5.com)  
 License # F-1333  
 Formerly CALYX Engineers + Consultants

# EAGLE CREST INDUSTRIAL PARK ADMINISTRATIVE SITE REVIEW

AUBURN CHURCH ROAD, RALEIGH , NORTH CAROLINA

REVISIONS	
NO.	DATE
1.	05/18/2021
2.	06/24/2021
3.	08/09/2021
4.	09/09/2021
5.	
6.	
7.	
8.	
9.	

PROJECT NO:	2020173.01
-------------	------------

DRAWN BY: FM

WG: CHECKED BY:	JA
CALE:	SEE PLAN

## EXISTING CONDITIONS

100





NV5

NV5 ENGINEERS AND CONSULTANTS, INC.  
3300 REGENCY PARKWAY, STE 100  
CARY, NC 27518  
P: 919.851.1912  
www.NV5.com  
NC License # F1333  
Formerly CALYX Engineers + Consultants

NOTES

1. PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY R.B. PHARR AND ASSOCIATES, P.A. DATED 11/12/2020 AND WAKE COUNTY GIS INFORMATION.
2. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.

SOUND TIMBER MANAGEMENT LLC  
D.B. 14952, PG. 2317 (TRACT 4)  
PIN: 1721880730  
TRACT 1  
BOM: 2011, PG. 1253

SEE SHEET C-201

BUILDING 1  
166,250 SF

BUILDING 2  
187,500 SF

SEE SHEET C-202

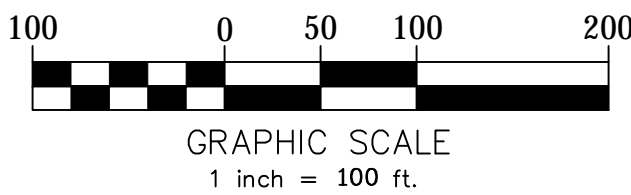
FLOOD ZONE AE -TYP  
(WAKE COUNTY GIS)

PEPSI BOTTLING VENTURES, LLC  
D.B. 7810, PG. 855  
D.B. 8371, PG. 1005  
BOM 2007, PG. 409  
PIN: 1721587576

FLOOD WAY -TYP  
(WAKE COUNTY GIS)

FLOOD ZONE X -TYP  
(WAKE COUNTY GIS)

LOT/LINE, TYPICAL



EAGLE CREST INDUSTRIAL PARK  
ADMINISTRATIVE SITE REVIEW

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA

REVISIONS

NO.	DATE	REMARKS
1.	05/18/2021	SITE PLAN RESUBMITTAL
2.	06/24/2021	SITE PLAN RESUBMITTAL
3.	08/05/2021	SITE PLAN RESUBMITTAL
4.	09/05/2021	SITE PLAN RESUBMITTAL
5.		
6.		
7.		
8.		

PROJECT NO: 2020173.01

DRAWN BY: FM

DWG. CHECKED BY: JA

SCALE: SEE PLAN

DATE: 03-23-2021

OVERALL  
SITE PLAN

C200



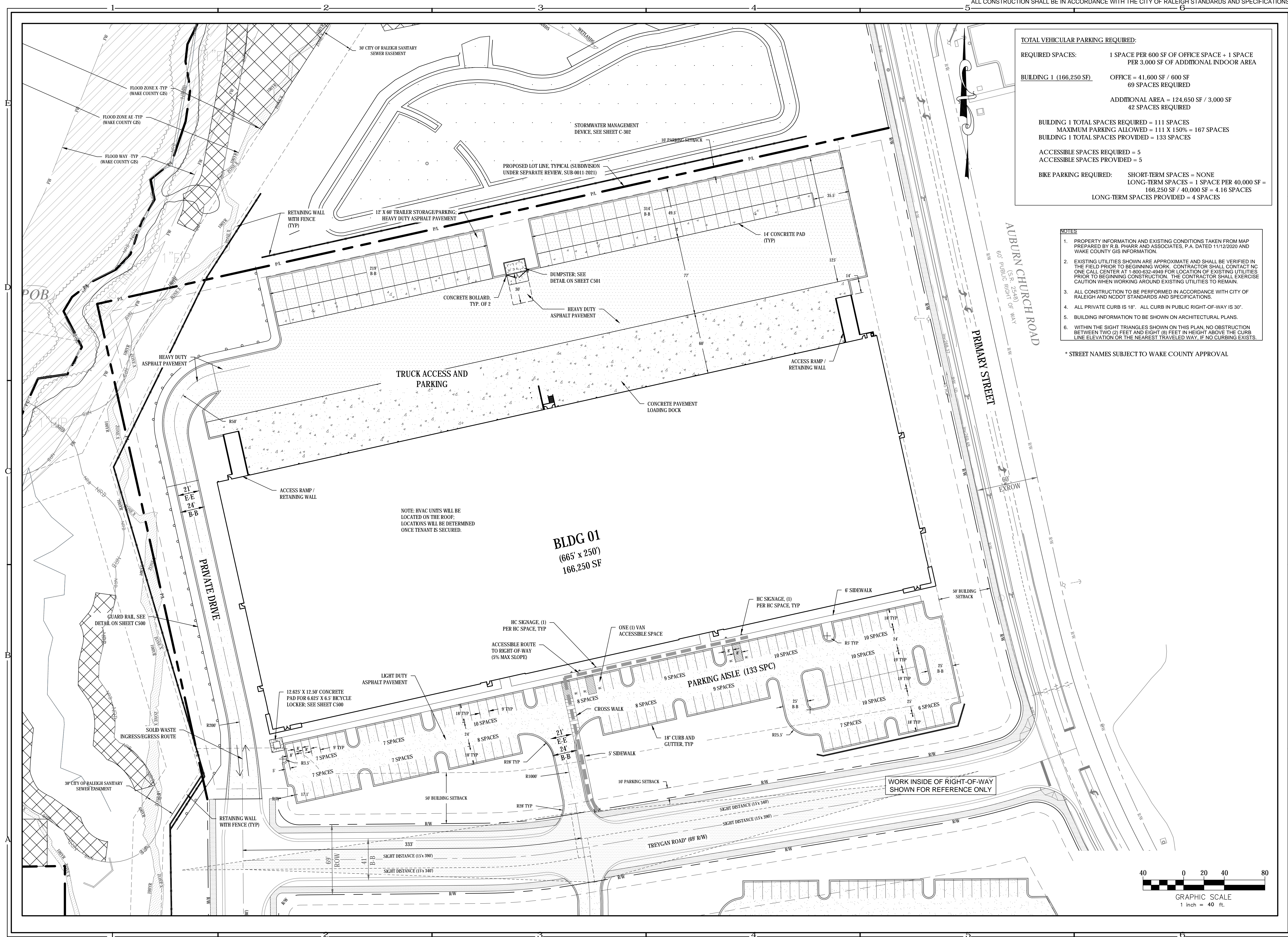
# EAGLE CREST INDUSTRIAL PARK ADMINISTRATIVE SITE REVIEW

AUBURN CHURCH ROAD, RALEIGH , NORTH CAROLINA

REVISIONS	
NO.	DATE
1.	05/18/2021
2.	06/24/2021
3.	08/09/2021
4.	09/09/2021
5.	
6.	
7.	
8.	
9.	

SITE PLAN -  
BLDG 1

201





EAGLE CREST INDUSTRIAL PARK  
ADMINISTRATIVE SITE REVIEW

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA

TOTAL VEHICULAR PARKING REQUIRED:

REQUIRED SPACES: 1 SPACE PER 600 SF OF OFFICE SPACE  
+ 1 SPACE PER 3,000 SF OF ADDITIONAL  
INDOOR AREA

BUILDING 2 (187,500 SF) OFFICE = 47,000 SF / 600 SF  
78 SPACES REQUIRED

ADDITIONAL AREA = 140,500 SF / 3,000 SF  
47 SPACES REQUIRED

BUILDING 2 TOTAL SPACES REQUIRED = 125 SPACES  
MAXIMUM PARKING ALLOWED = 125 X 150% = 188 SPACES  
BUILDING 2 TOTAL SPACES PROVIDED = 183 SPACES

ACCESSIBLE SPACES REQUIRED = 6  
ACCESSIBLE SPACES PROVIDED = 6

BIKE PARKING REQUIRED: SHORT-TERM SPACES = NONE  
LONG-TERM SPACES = 1 SPACE PER  
40,000 SF = 187,500 SF / 40,000 SF =  
4.69 SPACES  
LONG-TERM SPACES PROVIDED =  
5 SPACES

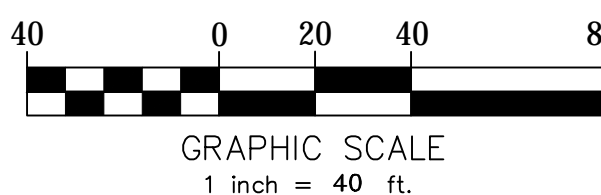
NOTES

1. PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY R.B. PHARR AND ASSOCIATES, P.A. DATED 11/12/2020 AND WAKE COUNTY GIS INFORMATION.
2. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-832-4949 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
3. ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
4. ALL PRIVATE CURB IS 18". ALL CURB IN PUBLIC RIGHT-OF-WAY IS 30".
5. BUILDING INFORMATION TO BE SHOWN ON ARCHITECTURAL PLANS.
6. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

STREET NAMES SUBJECT TO WAKE COUNTY APPROVAL

BLDG 02  
(750' x 250')  
187,500 SF

R/W AREA  
25,064 SQ.FT.  
OR 0.5754 ACRES



EXISTING LOT 1  
2,523,159 SQ.FT.

REVISIONS

NO.	DATE	REMARKS
1.	05/18/2021	SITE PLAN RESUBMITTAL
2.	06/24/2021	SITE PLAN RESUBMITTAL
3.	08/09/2021	SITE PLAN RESUBMITTAL
4.	09/09/2021	SITE PLAN RESUBMITTAL
5.		
6.		
7.		
8.		
9.		

PROJECT NO: 2020173.01

DRAWN BY: FM

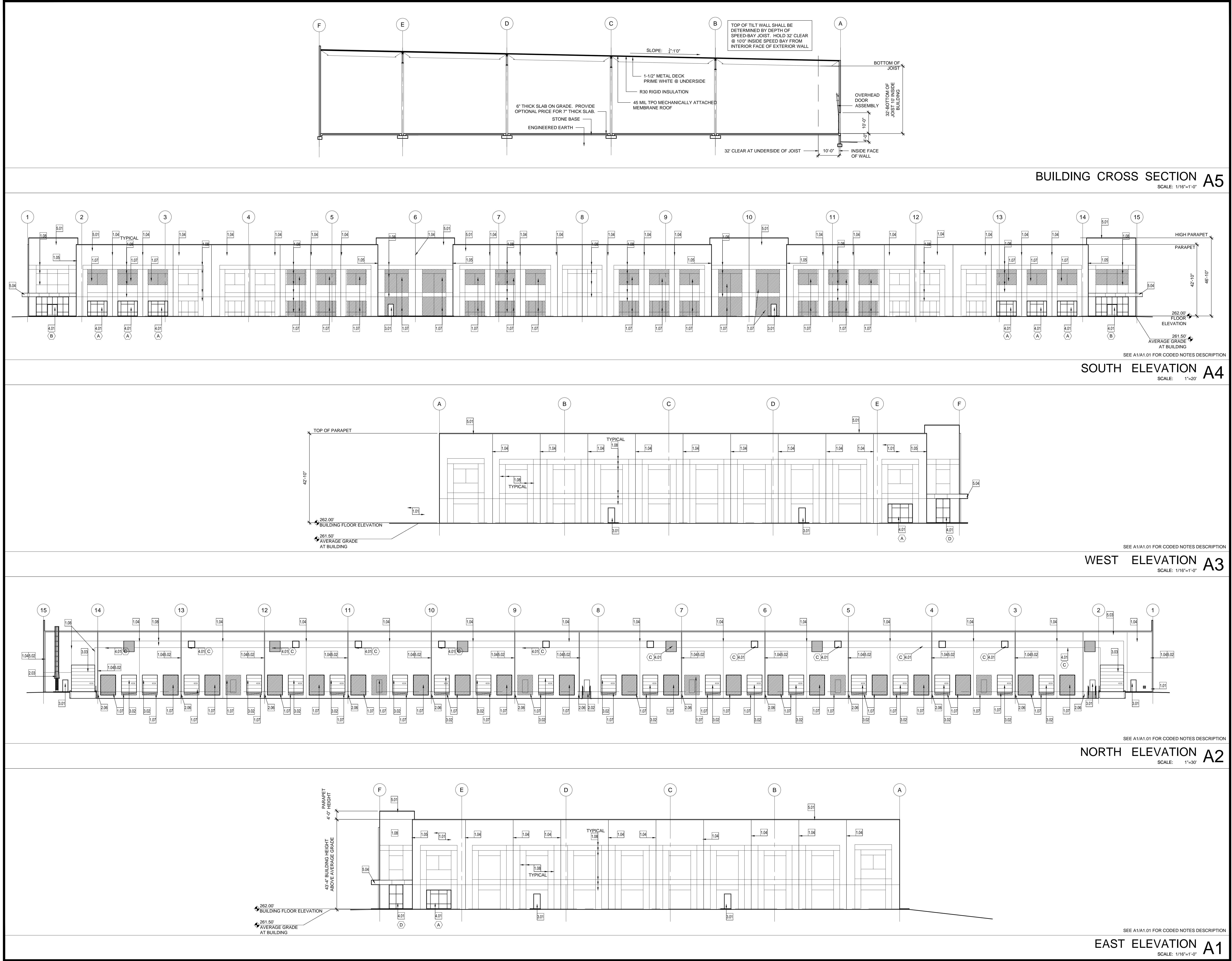
DWG. CHECKED BY: JA

SCALE: SEE PLAN

DATE: 03-23-2021

SITE PLAN -  
BLDG 2

C202



Paul Woody Architect  
447 S. Sharon Amity Road  
Suite 235  
Charlotte, NC 28211

T. 704.365.4932  
C. 980.475.2224



## SCHEMATIC DESIGN

### EAGLECREST INDUSTRIAL BUILDING ONE

AUBUREN CHURCH RD.  
RALEIGH, NC

## BUILDING ELEVATIONS

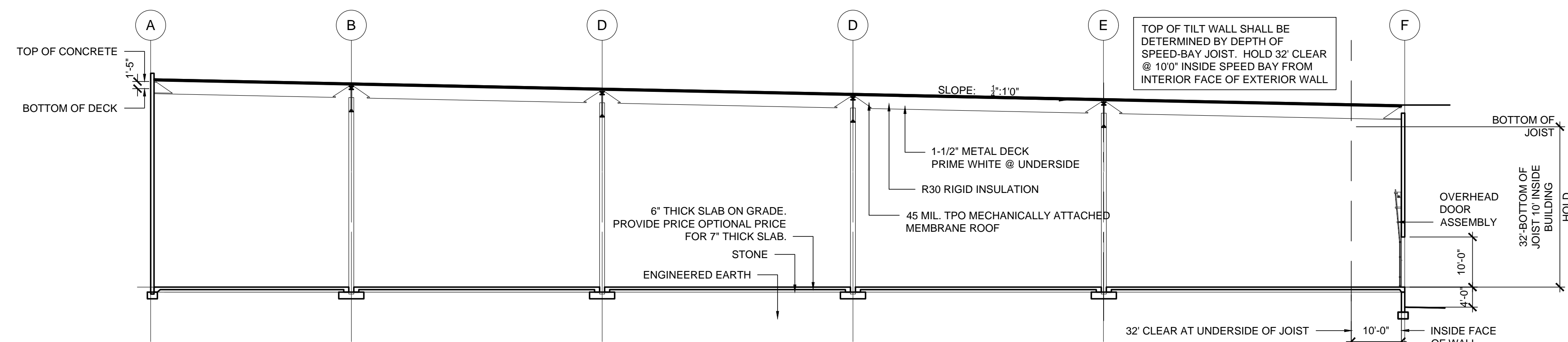
Progress Set Date:

Final Issue Date: 03/03/2021  
Revisions:

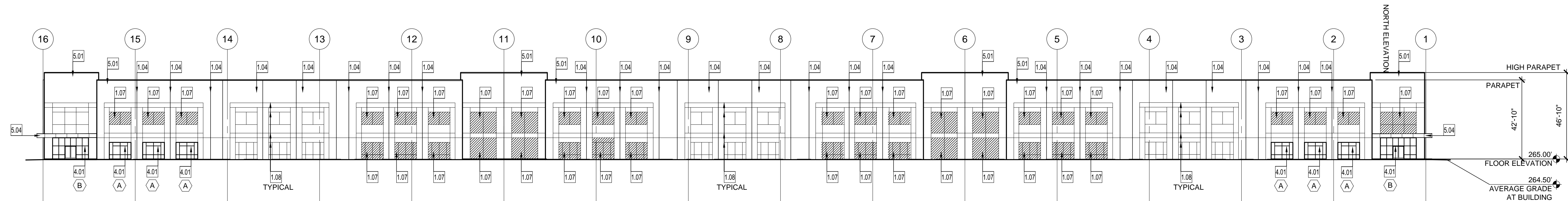
Project Number: 20-30  
Cad File Number: 20-30-A2.00

A2.01

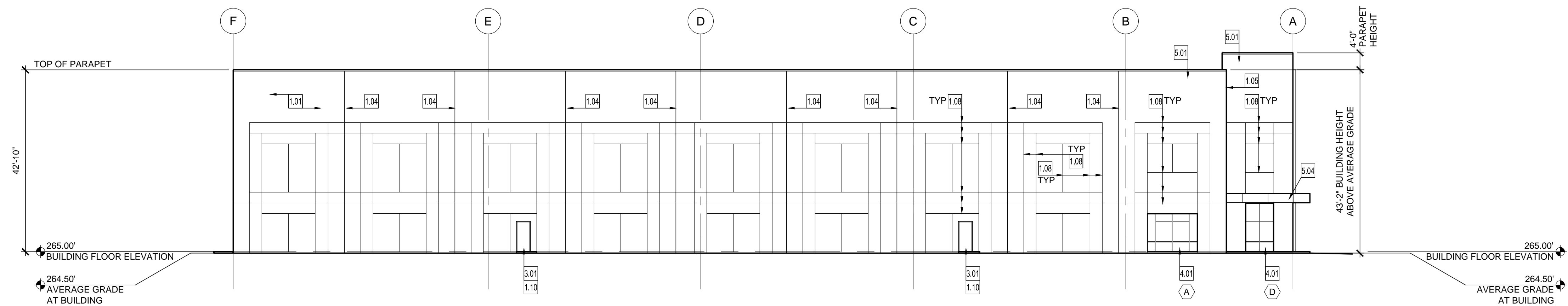




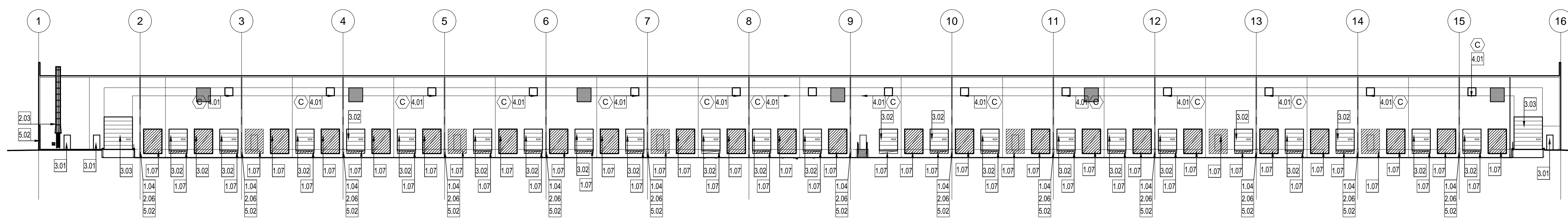
BUILDING CROSS SECTION A5  
SCALE: 1/16"=1'-0"



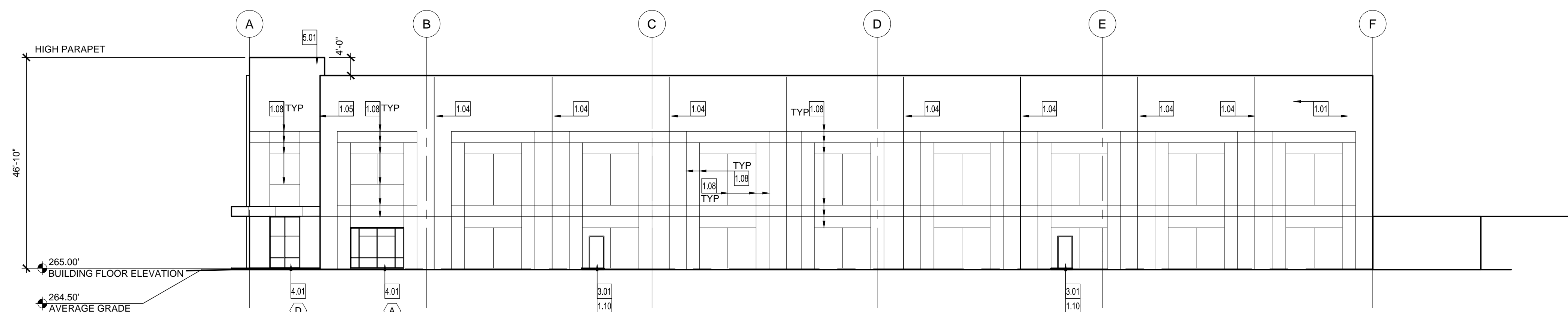
SEE A1/A1.01 FOR CODED NOTES DESCRIPTION  
NORTH ELEVATION A4  
SCALE: 1"=20'



SEE A1/A1.01 FOR CODED NOTES DESCRIPTION  
EAST ELEVATION A3  
SCALE: 1/16"=1'-0"



SEE A1/A1.01 FOR CODED NOTES DESCRIPTION  
SOUTH ELEVATION A2  
SCALE: 1"=30'



SEE A1/A1.01 FOR CODED NOTES DESCRIPTION  
WEST ELEVATION A1  
SCALE: 1/16"=1'-0"



Paul Woody Architect  
447 S. Sharon Amity Road  
Suite 235  
Charlotte, NC 28211

T. 704.365.4932  
C. 980.475.2224



## SCHEMATIC DESIGN

## EAGLECREST INDUSTRIAL BUILDING TWO

AUBUREN CHURCH RD.  
RALEIGH, NC

## BUILDING ELEVATIONS

Progress Set Date:

Final Issue Date: 03/03/2021  
Revisions:

Project Number: 21-02  
Cad File Number: 21-02-A2.02