

# EAGLE CREST INDUSTRIAL PARK

## ADMINISTRATIVE SITE REVIEW

### CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

ASR-0024-2021

#### General Notes:

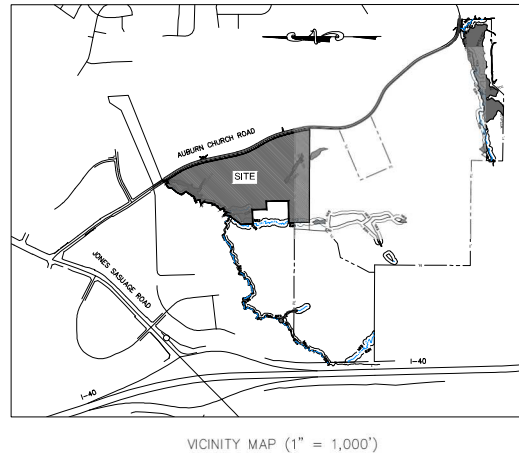
1. All construction shall be in accordance with the City of Raleigh standards and specifications.
2. The contractor shall be solely responsible for trench safety during all phases of construction.
3. The location and size of existing utilities as shown is approximate only. The contractor is responsible for horizontally and vertically locating and protecting all public or private utilities that lie in or adjacent to the construction site. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.
4. The contractor shall salvage and protect all existing power poles, signs, manholes, telephone risers, water valves, etc. during all construction phases. The contractor shall repair, at its own expense, any existing utilities damaged during construction.
5. Traffic design/control on public streets shall be in conformance with the traffic control plan, the Raleigh Street Design Manual, the Manual of Uniform Traffic Control Devices, and as further directed by City and State Inspectors.
6. Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such inconsistencies or ambiguities. Work done by the Contractor after his discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
7. Contractor is responsible for verifying all required permits and approvals prior to commencing construction.
8. All areas shall be graded for positive drainage, and as shown on these plans. The contractor shall maintain adequate site drainage during all phases of construction. The contractor shall use sit fences (or other methods approved by the engineer and applicable municipality) as required to prevent all construction debris from flowing onto adjacent properties. Contractor shall comply with all applicable federal, state, or local erosion, conservation, and storm water ordinances. Contractor shall remove all temporary erosion control devices upon completion of permanent drainage facilities and the establishment of a stand of grass or other growth to prevent erosion and with approval of the erosion control inspector.
9. The Contractor shall clear and grub the site and place, compact, and moisture condition all fill per the project geotechnical engineer's specifications. The fill material to be used shall be approved by the Geotechnical Engineer prior to placement.
10. Materials used to construct embankments for any purpose, backfill around drainage structures, or in utility trenches for any other depression requiring fill or backfill shall be compacted to 95% of maximum density as determined by the modified proctor test as set out in ASTM Standard D-1556. The contractor shall, prior to any operations involving filling or backfilling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project. Tests shall be conducted by a certified materials testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
11. Proposed contours and gutter gradients are approximate. Proposed spot elevations and roadway profiles/super-elevations/spacial sections are to be used in case of discrepancy.
12. The contractor shall verify and coordinate all dimensions shown, including the horizontal and vertical location of curb inlets and grate inlets and all utilities crossing the same sewer.
13. All distances shown represent horizontal ground distances.
14. Rim elevations are given as top of curb for Catch Basins, top of grate for Drop Inlets, and top of cover for Junction Boxes.
15. Storm Sewer (RCP) shall be constructed to the following classes (unless otherwise noted):  
Cover less than 10 feet - Class C or D bedding, Class III walls  
Cover 10 feet to 15 feet - Class B bedding, Class II walls  
Cover greater than 15 feet - Class B bedding Class IV walls
16. All curb joints shall extend through the curb. Minimum length of offset joints at radius points is 1.5 feet. All joints shall be sealed with joint sealant.
17. All handicap ramping, striping, and pavement markings shall conform to ADA requirements and the North Carolina State Building Code, Vol. 1-C Accessibility Code.
18. Existing Water and sewer main/service sizes adjacent to the property are to be verified by the contractor prior to the start of construction. The project engineer has shown sizes based on as-built plans from the Property Owner, however, exact size/dimension can only be determined from field exposure of the relevant line.
19. Before starting any construction of improvements within any City street or highway Right-of-Way, the following procedures should be undertaken: City Right-of-Way-Contact local authority's traffic engineering department for information on detours, open cutting of streets or for any construction within Right-of-Way.
20. A portion of the subject property is in a special Road hazard area as mapped by FEMA and shown on FIRM map number 372012100 J. (Effective Date May 2nd, 2006).

This note shall apply to each and every sheet in this set.

The Engineer does not warrant that all existing facilities such as pipelines, electrical lines, conduits, telephone cables, service connections, or other facilities are shown on the Plans. It shall be the Contractor's responsibility to have all utilities located by their respective owners, field mark the utility locations, and protect all such existing facilities prior to beginning construction. The Contractor is fully responsible for notifying all utility owners in accordance with NC General Statute - Chapter 87, Article 8, The Underground Damage Prevention Act.

**PROJECT MANAGER**  
  
**DEVELOPMENT & CONSTRUCTION INSIGHT**  
2054 KILDEARE FARM RD. #167  
CARY, NORTH CAROLINA 27516  
CONTACT: DAVID PARKER  
David@dcinsight.com  
(919) 868-3099

**ENGINEER**  
  
**NV5 ENGINEERS & CONSULTANTS**  
3300 REGENCY PARKWAY, SUITE 100  
CARY, NORTH CAROLINA 27516  
CONTACT: JONATHAN ALLEN  
Jonathan.Allen@nv5.com  
(919) 858-1831



#### Administrative Site Review Application

Planning and Development Customer Service Center - One CityCenter Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-2000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8, as amended by text change 10-14-19 to determine the site plan tier. If additional determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
<b>Building Type</b>	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Board of Adjustment # 705
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
	<input type="checkbox"/> Zoning Case # 705
	<input type="checkbox"/> Administrative Alternative # N/A
<b>GENERAL INFORMATION</b>	
Development name: Eagle Crest Industrial Park	
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Property address: 4100, 4300 Auburn Church Road	
Site P.I.N. (s): 1721671227, 1721667466	
Please describe the scope of work, include any additions, expansions, and change of use.	
Two new industrial buildings (approx. 353,750 sf total) and supporting infrastructure (roads, parking lots, truck docks and trailer storage).	

Current Property Owner/Developer Contact Name: Sound Timber Management, LLC / Glen Bagwell, Manager  
**NOTE: please attach purchase agreement when submitting this form.**  
Company: RWN Real Estate Partners, LLC Title: Art Shalman, Managing Partner  
Address: 712 Fifth Avenue, 30th Floor  
Phone #: 212-920-3128 Email: ashalm@rwnpp.com  
Applicant Name: Jonathan Allen  
Company: NV5 Engineers Address: 3300 Regency Parkway, Suite 100  
Phone #: 919-924-2510 Email: jonathan.allen@nv5.com

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<b>DEVELOPMENT TYPE &amp; SITE DATA TABLE</b>	
Applicable to all developments	
<b>SITE DATA</b>	<b>BUILDING DATA</b>
Zoning district of more than one, please provide the acreage of each:	Existing gross floor area (not to be demolished): 0 sf
Existing gross floor area (not to be demolished): 0 sf	Existing gross floor area to be demolished: 0 sf
On-site water acreage: 57.9	New gross floor area: 353,750 sf
# of parking spaces required: 230	Total of gross to remain and new: 353,750 sf
# of parking spaces proposed: 238	Proposed # of buildings: 2
Existing use (if applicable): SHC-D-1	Proposed # of stories for each: 1
Existing use (UDO E.1.4): Vacant	
Proposed use (UDO E.1.4): Industrial	
<b>STORMWATER INFORMATION</b>	
Existing Impervious Surface: Acre: 4.39 ac	Proposed Impervious Surface: Acre: 10.05 ac
Stormwater runoff: 10.05 ac	Stormwater runoff: 40.19 ac
Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, please provide: Flood study: County Study: 2010	
FEMA Map Panel #: 1721671227	Violations: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Nearest flood barrier: None	
<b>RESIDENTIAL DEVELOPMENTS</b>	
Total # of dwelling units: N/A	Total # of total units: N/A
# of bottom units: 10r 20r 30r 40r or more	
# of top units: N/A	Is your project a multi-unit? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
<b>SIGNATURE BLOCK</b>	
The undersigned certifies that the property owner is the applicant and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, Jonathan A. Allen, will serve as the agent regarding this application, and will receive and respond to administrative comments, record plans and applicable documentation, and will represent the property owner in any public meeting regarding this application.	
I have read, acknowledged, and affirm that this project is conforming to all application requirements applicable with the provisions of the City of Raleigh Unified Development Ordinance, and I am subject to the filing schedule and submittal policy, which states applications shall expire after 90 days of receipt.	
Signature: Jonathan A. Allen	Date: 6/25/21
Printed Name: Jonathan A. Allen	

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#### SITE DATA TABLE

PROJECT NAME:	EAGLE CREST INDUSTRIAL PARK	ZONING:	SHC-D-1
PARCEL ADDRESS:	4100 AUBURN CHURCH ROAD	OVERLAY DISTRICT:	N/A
PIN NUMBER:	1721671227	TOTAL TRACT ACREAGE:	57.9 ACRES
	1721667499	WATERSHED:	REVER SASIN
PROPERTY OWNER:	SOUND TIMBER MANAGEMENT LLC	RIVER BASIN:	NEUSE
	333 SHEPHERD DRIVE	JURISDICTION:	CITY
	RALEIGH, NC 27603	CURRENT USE:	VACANT
		PROPOSED USE:	OFFICE/WAREHOUSE

#### TOTAL VEHICULAR PARKING REQUIRED:

REQUIRED SPACES:	1 SPACE PER 600 SF OF OFFICE SPACE = 1 SPACE PER 3,000 SF OF ADDITIONAL INDOOR AREA
BUILDING 1 (166,250 SF)	OFFICE = 41,600 SF / 600 SF 69 SPACES REQUIRED
	ADDITIONAL AREA = 124,650 SF / 3,000 SF 42 SPACES REQUIRED
BUILDING 1 TOTAL SPACES REQUIRED = 111 SPACES	
MAXIMUM PARKING ALLOWED = 111 X .508 = 147 SPACES	
BUILDING 1 TOTAL SPACES PROVIDED = 133 SPACES	
ACCESSIBLE SPACES REQUIRED = 5	
ACCESSIBLE SPACES PROVIDED = 5	
BIKE PARKING REQUIRED:	SHORT-TERM SPACES = NONE
	LONG-TERM SPACES = 1 SPACE PER 40,000 SF = 16,250 SF / 40,000 SF = 4.16 SPACES
BUILDING 2 (187,500 SF)	OFFICE = 47,000 SF / 600 SF 78 SPACES REQUIRED
	ADDITIONAL AREA = 140,500 SF / 3,000 SF 47 SPACES REQUIRED
BUILDING 2 TOTAL SPACES REQUIRED = 125 SPACES	
MAXIMUM PARKING ALLOWED = 125 X .508 = 188 SPACES	
BUILDING 2 TOTAL SPACES PROVIDED = 183 SPACES	
ACCESSIBLE SPACES REQUIRED = 6	
ACCESSIBLE SPACES PROVIDED = 6	
BIKE PARKING REQUIRED:	SHORT-TERM SPACES = NONE
	LONG-TERM SPACES = 1 SPACE PER 40,000 SF = 187,500 SF / 40,000 SF = 4.69 SPACES
	LONG-TERM SPACES PROVIDED = 3 SPACES

BLOCK PERIMETER EXEMPTION:  
BLOCK PERIMETER REQUIREMENTS ARE N/A FOR IN ZONING PER UDO SECTION 8.3.2.A.1.b.vi.c.

STUB STREET EXEMPTION:  
CREATION OF STUB STREET OBSTRUCTED BY WATERCOURSE THAT HAS ONE (1) SQUARE MILE OF DISCHARGE AREA OR MORE PER UDO SECTION 8.3.2.A.1.b.vi.c.

CROSS ACCESS EXEMPTION:  
CREATION OF CROSS ACCESS OBSTRUCTED BY STEEP SLOPES IN EXCESS OF 25% WITHIN 10 FEET OF THE PROPERTY LINE PER UDO SECTION 8.3.5.D.5.b.ii.

#### INDEX OF SHEETS

C000	COVER
C001	ZONING CONDITIONS
C100	EXISTING CONDITIONS
C101	DEMOLITION PLAN
C200	OVERALL SITE PLAN
C201	SITE PLAN - BLDG 01
C202	SITE PLAN - BLDG 02
C300	GRADING & STORM DRAINAGE PLAN - BLDG 01
C301	GRADING & STORM DRAINAGE PLAN - BLDG 02
C302	STORMWATER MANAGEMENT PLAN
C303	POND DETAILS
C400	UTILITY PLAN - BLDG 01
C401	UTILITY PLAN - BLDG 02
C500	SITE DETAILS
C501	SITE DETAILS
C502	SITE DETAILS
C503	SITE DETAILS
C504	SITE DETAILS
L100	LANDSCAPE PLAN - BLDG 01
L101	LANDSCAPE PLAN - BLDG 01
L102	LANDSCAPE PLAN - BLDG 02
TC100	TREE CONSERVATION PLAN
TC101	TREE CONSERVATION PLAN
21-0107A	LIGHTING PLAN
A2.01	ARCHITECTURAL ELEVATION - BLDG 1
A2.02	ARCHITECTURAL ELEVATION - BLDG 2

Kasey Evans  
Stamp From: 2021.05.25 10:04:00 AM  
2021.05.25 10:04:00 AM

**NV5**

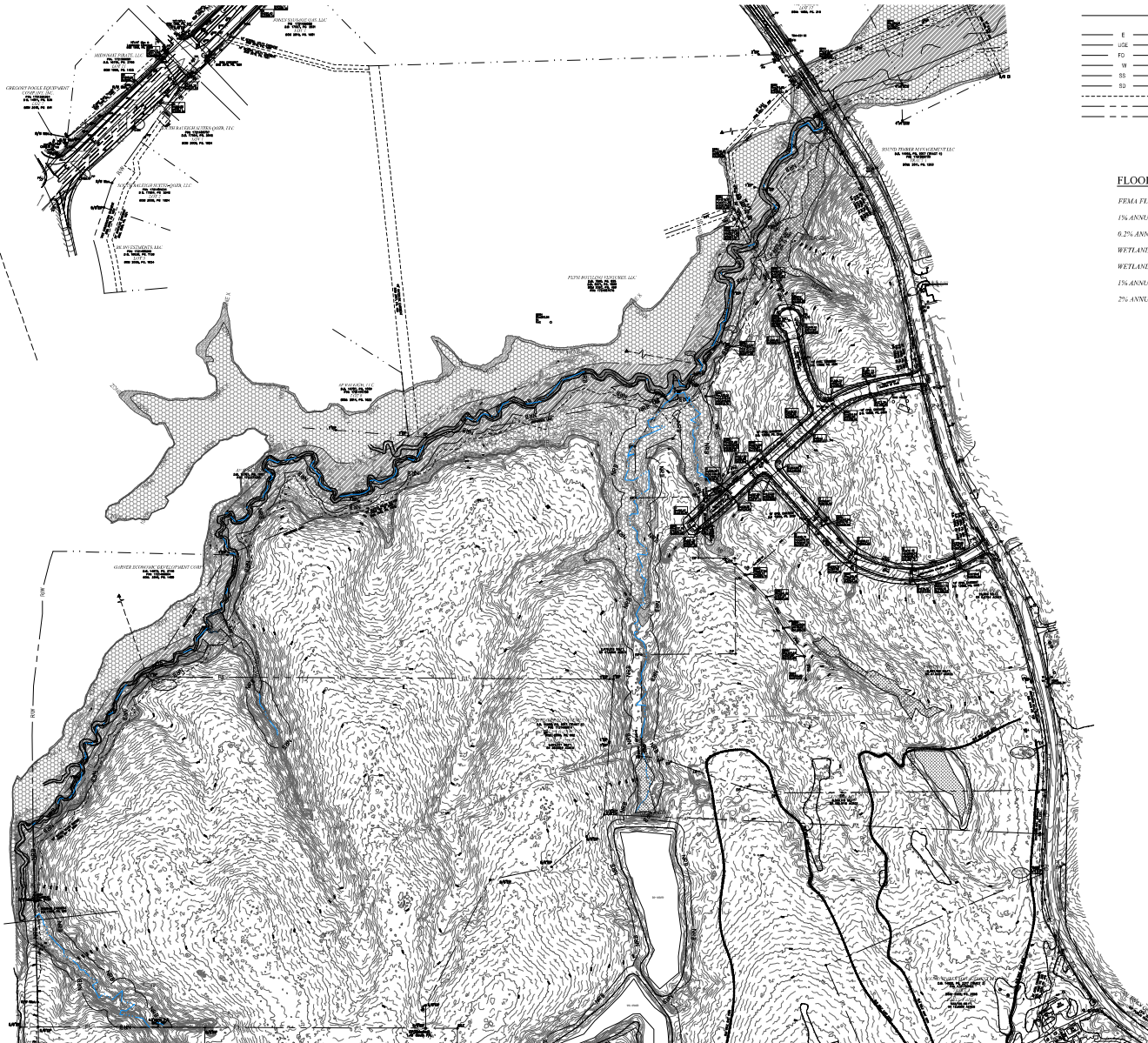
NV5 ENGINEERS AND CONSULTANTS, INC.  
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Jonathan Allen  
Jonathan.Allen@nv5.com

EAGLE CREST INDUSTRIAL PARK  
ADMINISTRATIVE SITE REVIEW

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA

REVISIONS	
NO.	DATE
1	05/18/2021
2	05/18/2021
3	05/18/2021
4	05/18/2021
5	05/18/2021
6	05/18/2021
7	05/18/2021
8	05/18/2021
9	05/18/2021
10	05/18/2021
PROJECT NO: 2020173.01	
DRAWN BY: JJA	
DWG. CHECKED BY: JJA	
SCALE: SEE PLAN	
DATE: 05-25-2021	
COVER	
C000	



**LEGEND**

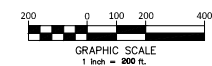
— E —	EXISTING POWER LINE	— C/O —	EXISTING CLEAN-OUT
— UGE —	EXISTING POWER LINE (UNDERGROUND)	— C —	EXISTING STORM DRAINAGE
— FID —	EXISTING FIBER OPTIC LINE		
— W —	EXISTING WATER LINE		
— SS —	EXISTING SANITARY SEWER PIPE		
— SD —	EXISTING EXCESS DRAINAGE		
— — —	EXISTING EASEMENT		
— RW —	EXISTING RIGHT-OF-WAY		
— PL —	EXISTING PROPERTY LINE		

**FLOOD LEGEND**

— FEMA FLOODWAY	
— 1% ANNUAL FLOOD	
— 0.2% ANNUAL FLOOD	
— WETLANDS	
— WETLANDS LIMITS	
— 1% ANNUAL FLOOD LIMITS	100'
— 2% ANNUAL FLOOD LIMITS	150'

**NOTES**

- PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY P.B. PHARR AND ASSOCIATES, P.A. DATED 11/15/2002 AND WAKE COUNTY GIS INFORMATION.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-4-A-SHARES FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.



**NIVIS**

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www.nivis.com

**EAGLE CREST INDUSTRIAL PARK  
ADMINISTRATIVE SITE REVIEW**

AUBURN, GULF CREEK ROAD, RALEIGH, NORTH CAROLINA

NO.	DATE	REVISIONS
1.	06/24/2021	SITE PLAN SUBMITTAL
2.	08/09/2021	SITE PLAN SUBMITTAL
3.	09/09/2021	SITE PLAN SUBMITTAL
4.		
5.		
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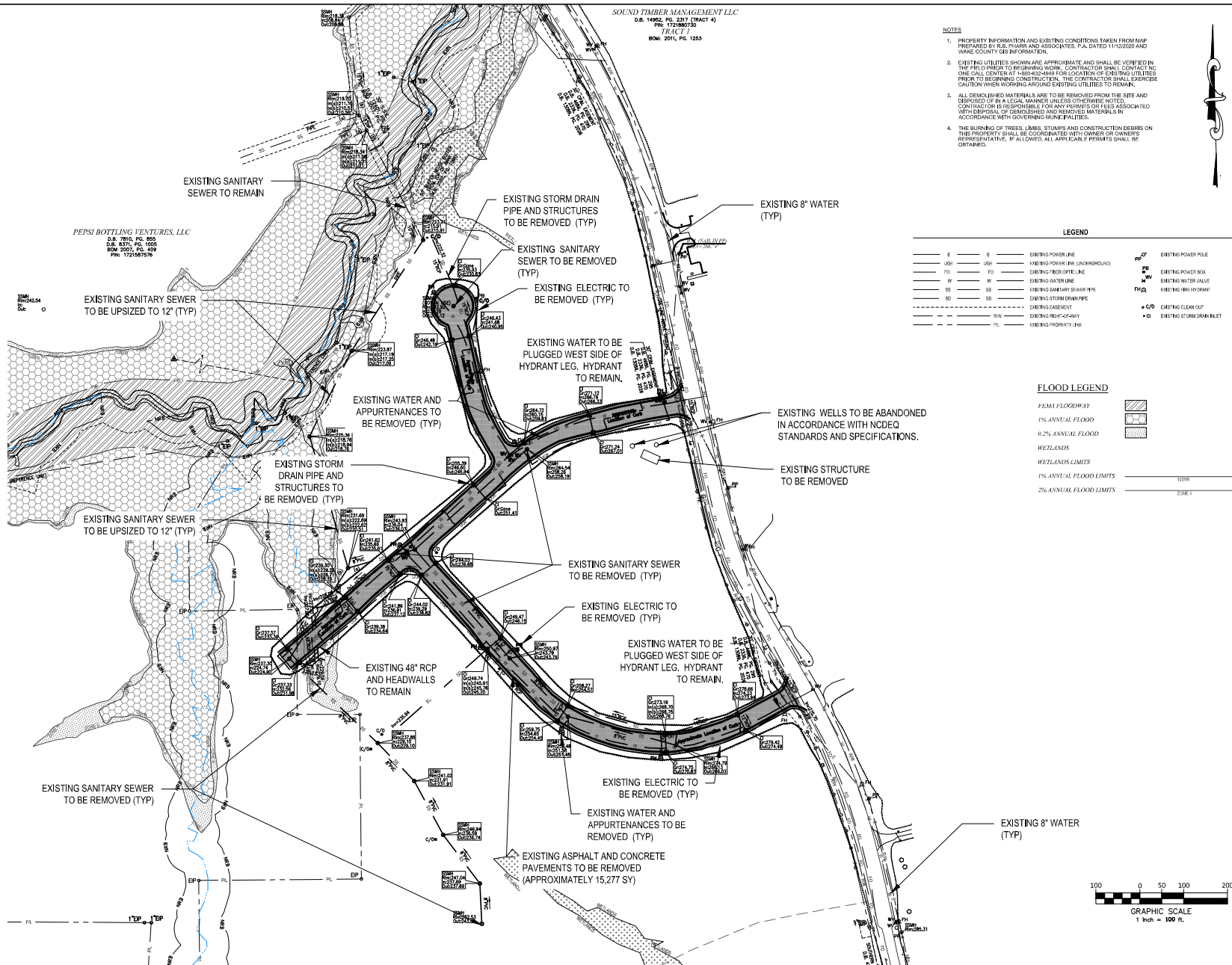
PROJECT NO: 200073.01  
DRAWN BY: JPD  
DWC, CHECKED BY: JPD  
SCALE: SEE PLAN  
DATE: 05-23-2023

**EXISTING  
CONDITIONS**

C100



SOUND TIMBER MANAGEMENT LLC  
D.S. 14962, P.C. 237 (TRACT 4)  
TRACT 1  
BOM: 2011, P.L. 1253



## EAGLE CREST INDUSTRIAL PARK ADMINISTRATIVE SITE REVIEW

AUBURN, GULF CREEK ROAD, RALEIGH, NORTH CAROLINA

# NIVIS

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3300 REGENCY PARKWAY, STE 100  
DURHAM, NC 27713  
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REVISIONS	
NO.	REMARKS
1	DATE: 05/24/2021
2	DATE: 06/24/2021
3	DATE: 08/09/2021
4	DATE: 09/09/2021
5	DATE: 09/09/2021
6	DATE: 09/09/2021
7	DATE: 09/09/2021
8	DATE: 09/09/2021

PROJECT NO: 2020173.01

DRAWN BY: JLM

DWG. CHECKED BY: JLM

SCALE: SEE PLAN

DATE: 05-23-2023

**DEMOLITION PLAN**

C101

SOUND TIMBER MANAGEMENT LLC  
D.B. 14992, PS. 2317 (TRACT 4)  
P.N. 173580730  
TRACT 1  
80% 2011, Pn. 1283

PEPSI BOTTLING VENTURES, LLC  
D.B. 7853, PS. 850  
D.B. 8371, PS. 1005  
80% 2007, Pn. 409  
P.N. 172158754

FLOOD WAY -TYP  
(WAKE COUNTY GIS)

FLOOD ZONE AE -TYP  
(WAKE COUNTY GIS)

FLOOD ZONE X-TYP  
(WAKE COUNTY GIS)

SEE SHEET C-201

BUILDING 1  
166,250 SF

BUILDING 2  
187,500 SF

LOT LINE, TYPICAL

SEE SHEET C-202

NOTES

1. PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY R.B. PHOENIX AND ASSOCIATES, P.A. DATED 11/12/2020 AND WAKE COUNTY GIS INFORMATION.
2. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-444-4449 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.



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ADMINISTRATIVE SITE REVIEW

AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA

NO.	DATE	REVISIONS
1	06/24/2021	SITE PLAN REVISIONS
2	06/24/2021	SITE PLAN REVISIONS
3	08/09/2021	SITE PLAN REVISIONS
4	08/09/2021	SITE PLAN REVISIONS
5		
6		
7		
8		

PROJECT NO: 2020173.01

DRAWN BY: JPL  
DWG. CHECKED BY: JPL  
SCALE: SEE PLAN  
DATE: 05-23-2023

OVERALL  
SITE PLAN

C200



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

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P: 919.851.1212  
www.nivis.com

REVISIONS  
REVISED BY: JPL  
REVISION DATE: 05-23-2023

**EAGLE CREST INDUSTRIAL PARK  
ADMINISTRATIVE SITE REVIEW**

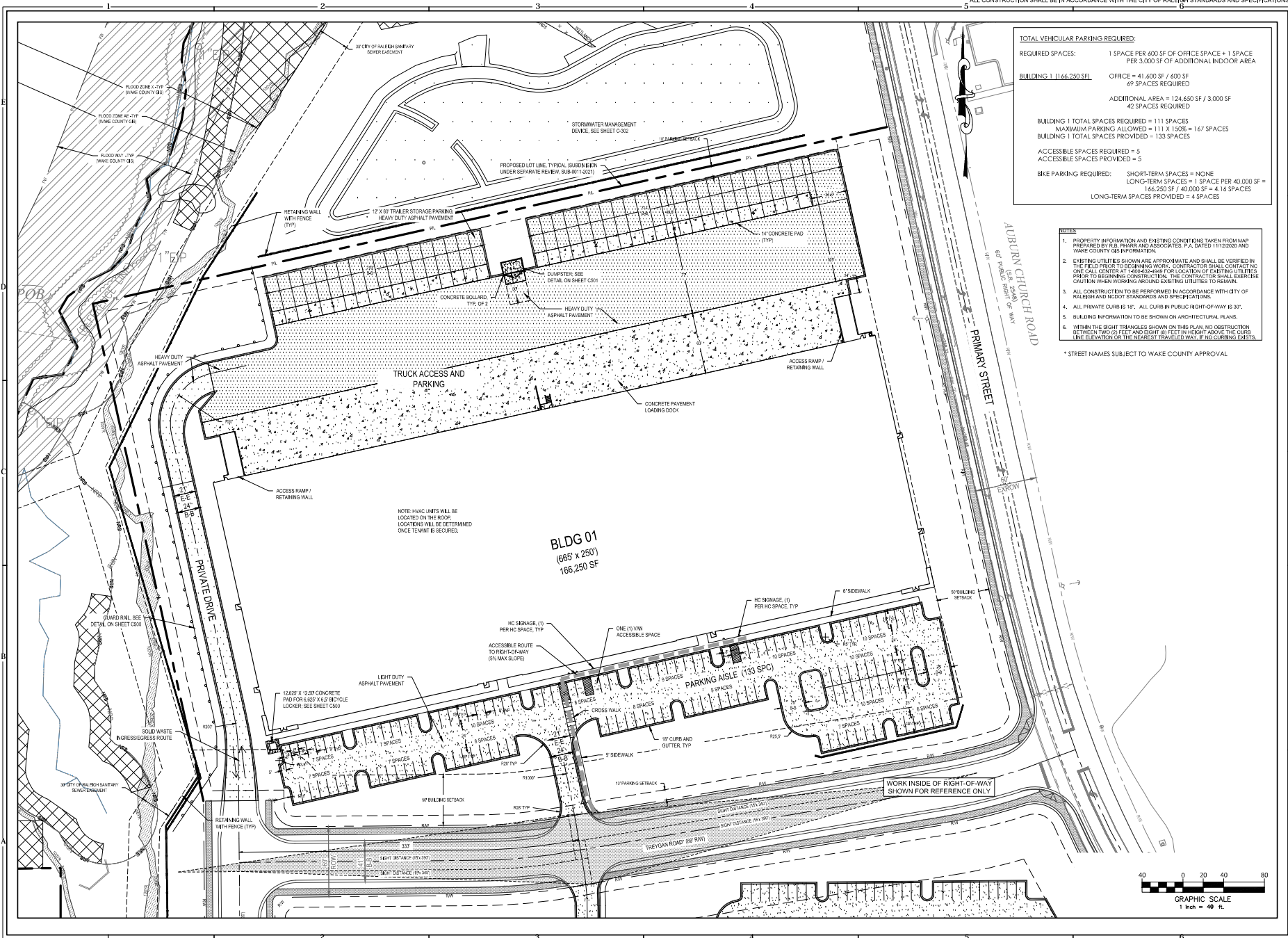
AUBURN CHURCH ROAD, RALEIGH, NORTH CAROLINA

NO.	DATE	REVISIONS
1	05/24/2023	INITIAL SITE PLAN
2	06/24/2023	SITE PLAN REVISIONS
3	08/09/2023	SITE PLAN REVISIONS
4	09/20/2023	SITE PLAN REVISIONS
5		
6		
7		
8		

PROJECT NO: 2020173.01  
DRAWN BY: JPL  
CHECKED BY: JPL  
SCALE: SEE PLAN  
DATE: 05-23-2023

**SITE PLAN -  
BLDG 1**

C201



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NIVIS ENGINEERS AND CONSULTANTS, INC.  
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AUBURN, GULF CREEK, RALEIGH, NORTH CAROLINA

NO.	DATE	REVISIONS
1	06/24/2021	SITE PLAN REVISION
2	08/09/2021	SITE PLAN REVISION
3	08/09/2021	SITE PLAN REVISION
4	08/09/2021	SITE PLAN REVISION
5	08/09/2021	SITE PLAN REVISION
6	08/09/2021	SITE PLAN REVISION
7	08/09/2021	SITE PLAN REVISION
8	08/09/2021	SITE PLAN REVISION

PROJECT NO: 2020173.01  
DRAWN BY: JPL  
DWG. CHECKED BY: JPL  
SCALE: SEE PLAN  
DATE: 05-23-2021

**SITE PLAN -  
BLDG 2**

C202

**TOTAL VEHICULAR PARKING REQUIRED:**

**REQUIRED SPACES:** 1 SPACE PER 400 SF OF OFFICE SPACE  
+ 1 SPACE PER 3,000 SF OF ADDITIONAL INDOOR AREA

**BUILDING 2 (187,500 SF):** OFFICE = 47,000 SF / 400 SF = 78 SPACES REQUIRED  
ADDITIONAL AREA = 140,500 SF / 3,000 SF = 47 SPACES REQUIRED

**BUILDING 2 TOTAL SPACES REQUIRED = 125 SPACES**  
MAXIMUM PARKING ALLOWED = 125 X 1.50% = 188 SPACES  
BUILDING 2 TOTAL SPACES PROVIDED = 183 SPACES

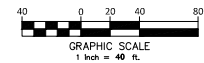
**ACCESSIBLE SPACES REQUIRED = 6**  
ACCESSIBLE SPACES PROVIDED = 6

**BIKE PARKING REQUIRED:** SHORT-TERM SPACES = NONE  
LONG-TERM SPACES = 1 SPACE PER 40,000 SF = 187,500 SF / 40,000 SF = 4.69 SPACES  
LONG-TERM SPACES PROVIDED = 5 SPACES

- NOTES:**
- PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY R.E. PHARR AND ASSOCIATES, P.A. DATED 11/15/2020 AND WAKE COUNTY GIS INFORMATION.
  - EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-548-4647 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.
  - ALL CONSTRUCTION TO BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.
  - ALL PRIVATE CURBS IS 18". ALL CURBS IN PUBLIC RIGHT-OF-WAY IS 30".
  - BUILDING INFORMATION TO BE SHOWN ON ARCHITECTURAL PLANS.
  - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRUCK ACCESS RAMP IF NO CURBS EXIST.
- STREET NAMES SUBJECT TO WAKE COUNTY APPROVAL



**R/W AREA**  
25,064 SQ.FT.  
OR 0.5754 ACRES



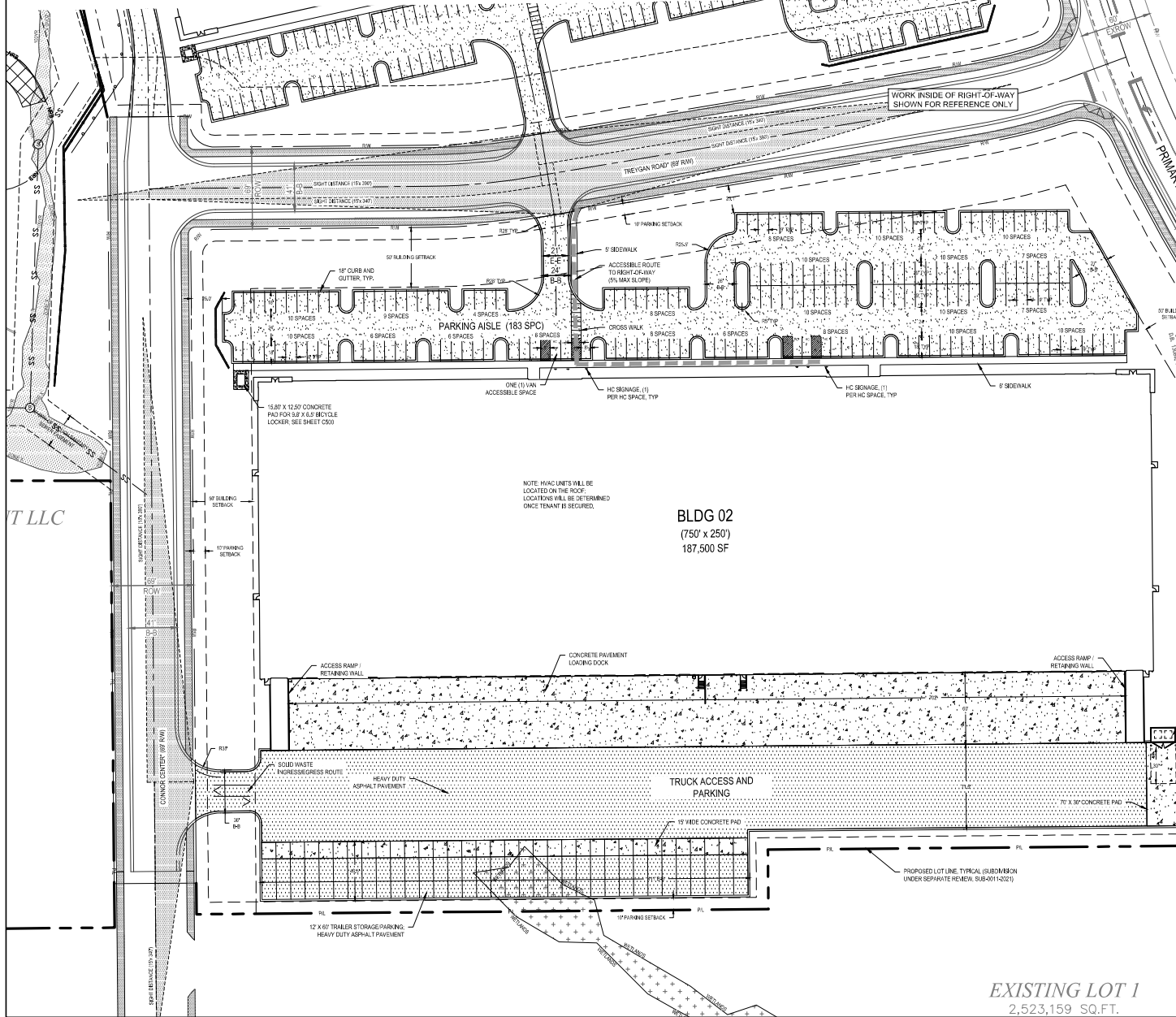
**EXISTING LOT 1**  
2,523,159 SQ.FT.

**BLDG 02**  
(750' x 250')  
187,500 SF

NOTE: HVAC UNIT'S WILL BE LOCATED ON THE ROOF. LOCATIONS WILL BE DETERMINED ONCE TENANT IS SECURED.

**PARKING AISLE (183 SPC)**

**TRUCK ACCESS AND PARKING**

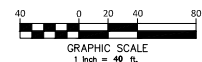






1. All materials and construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUS Handbook, current edition).
2. Utility separation requirements:
  - a. A distance of 100' shall be maintained between sanitary sewer and any private or public water service such as an irrigation system, a water service, a water service line, or a dedicated lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to water service locations. However, the minimum separation shall not be less than 10' from a water service to a well.
  - b. When installing water service mains, the horizontal separation between utilities shall be maintained. If the water service main is installed in a trench, the trench shall be allowed to be water airtight in a separate trench with the elevation of the water main at 10' below the elevation of the sewer main. If the water service is installed in a trench, the trench shall be allowed to be water airtight in a separate trench with the elevation of the water main at 10' below the elevation of the sewer main. All distances are measured from outside diameter to outside diameter.
  - c. It is not possible to install a 12" or larger diameter sanitary sewer pipe over a watermain, DIP materials or steel encasement (entire 100' on each side of crossing) must be specified & installed to water service locations.
  - d. If a 12" or larger diameter sanitary sewer pipe crosses a sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - e. If a 12" or larger diameter sanitary sewer pipe crosses a storm drain crossings, maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. If a 12" or larger diameter sanitary sewer pipe crosses a concrete storm drain crossings, maintain 24" min. clearance (per CORPUS details V4-1 & 4-6).
  - f. If all other ground utilities shall cross water & sewer facilities with 12" min. vertical separation required.
3. Any necessary field revisions are subject to review & approval of an amended plan and profile by the City of Raleigh Public Utilities Department prior to construction.
4. Contractor shall maintain continuous water & sewer service to existing residences & businesses. If a water or sewer service interruption is required, the water or sewer service shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
5. 3.0' minimum required on all side streets & sewer facilities, 4.0' minimum required on all route mains.
6. It is the developer's responsibility to maintain & remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. The developer shall be responsible for the removal of water or sewer from CORPUS or Handbook procedure. Coordinate with inspector.
7. Install water services with meters located at ROW or within the 24" vertical Easement minimum. The easement shall be all encasement, including above and below the water service for each connection to provide adequate flow & pressure.
8. Install sewer services @ 1.5% minimum grade with manholes located at ROW or easement line & spaced every 75 linear foot maximum.
9. Pressure reducing valves are required on all water services exceeding 80 psi, backward flow preventers are required on all sewer services having building drains lower than 1.0' above the outside upstream manhole.
10. All environmental permits applicable to the project must be obtained from NCDOQ, USACE, or FEMA for any riparian buffer, wetland & floodplain impacts (respectively prior to construction).
11. NCDOT / Railroad Easement/Encroachment Agreements are required for any utility work (including main installation & service taps) within or railroad ROW prior to construction.
12. Grantee/Interceptor / CID Water Separator sizing calculations & installation specifications shall be approved by the City of Raleigh Public Utilities Department prior to issuance of a Building Permit. Contact Stephen Chappell at (919) 996-2334 or [stephen.chappell@raleighnc.gov](mailto:stephen.chappell@raleighnc.gov) for more information.
13. Cross-connection control protection devices are required based on degree of health involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The division shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of North Carolina approved list of products. The division shall also meet the ASSE and periodic (yearly) testing/information in accordance with the manufacturer's recommendations or the manufacturer's website. For more information, please contact the Division of Public Health and Safety at (919) 212-5923 or [public\\_safety@raleighnc.gov](mailto:public_safety@raleighnc.gov) for more information.

1. PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PREPARED BY R.B. PHARR AND ASSOCIATES, P.A. DATED 11/12/2020 AND WAKE COUNTY GIS INFORMATION.
2. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT NC ONE CALL CENTER AT 1-800-632-4849 FOR LOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.

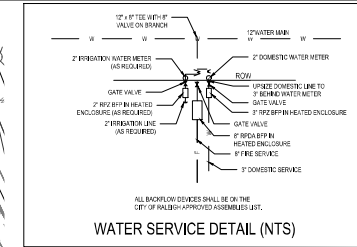
EAGLE CREST' INDUSTRIAL PARK  
ADMINISTRATIVE SITE REVIEW

NO		DATE	REVISIONS
1.	05/18/2021	SITE PLAN RESUBMITTAL	
2.	06/24/2021	SITE PLAN RESUBMITTAL	
3.	08/09/2021	SITE PLAN RESUBMITTAL	
4.	09/09/2021	SITE PLAN RESUBMITTAL	
5.			
6.			
7.			
8.			
9.			

PROJECT NO:	2020173.0
DRAWN BY:	FI
DWG. CHECKED BY:	J
SCALE:	SEE PLA
DATE:	03-23-20

UTILITY PLAN -  
BLDG 1

C400

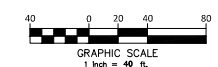


**STANDARD UTILITY NOTES (as applicable):**

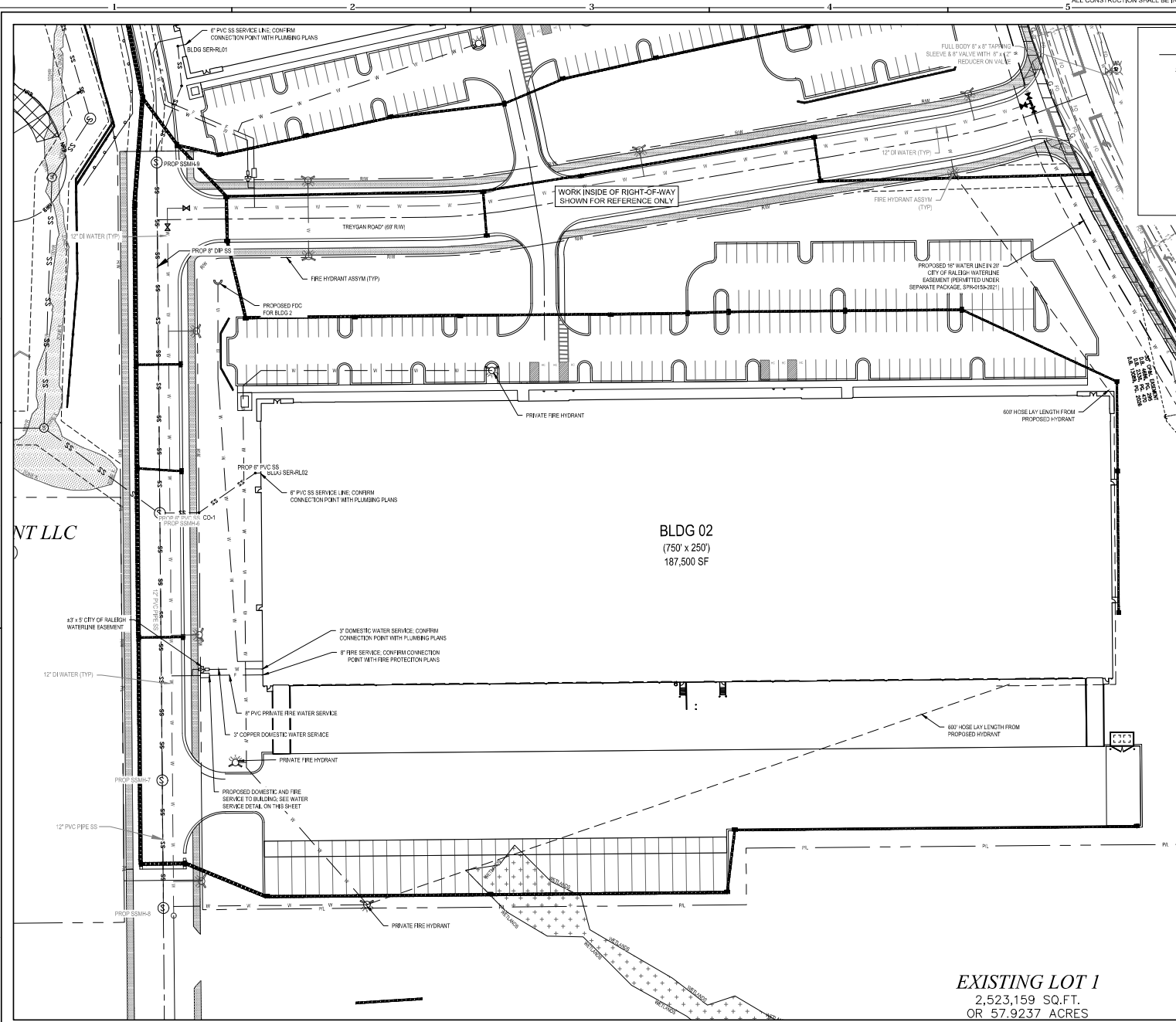
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
  - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to meet the specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
  - When installing water &/or sewer mains, the horizontal separation between utilities shall be 12". If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All enclosures are required from outside diameter to outside diameter.
  - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP material or steel encasement extended 10' on each side of crossing must be specified & installed to meet the specifications.
  - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
  - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings. Where adequate separation cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details V4-1 & S-4-3).
  - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an approved plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer forcemans. 4.0' minimum cover is required on all waste mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure. Coordinate with respect.
- Install water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
- Install sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75' linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi backwater. Valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDOT, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Stephen Calverly at (919) 986-2334 or stephen.calverly@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial & periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Healey at (919) 912-4562 or joanie.healey@raleighnc.gov for more information.

**NOTES**

- PROPERTY INFORMATION AND EXISTING CONDITIONS TAKEN FROM MAP PROVIDED BY SUB. INFORMATIONAL: A. DATED 11/15/2019 AND 11/16/2019.
- EXISTING UTILITIES SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CONTACT THE FIELD OFFICE OF THE DIVISION OF PUBLIC UTILITIES OF THE CITY OF RALEIGH FOR LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING AROUND EXISTING UTILITIES TO REMAIN.



**EXISTING LOT 1**  
2,523,159 SQ.FT.  
OR 57.9237 ACRES



REVISIONS		REMARKS
NO.	DATE	
1	06/24/2021	SITE PLAN REVISIONS
2	08/20/2021	SITE PLAN REVISIONS
3	09/20/2021	SITE PLAN REVISIONS
4		
5		
6		
7		
8		

PROJECT NO: 202017301

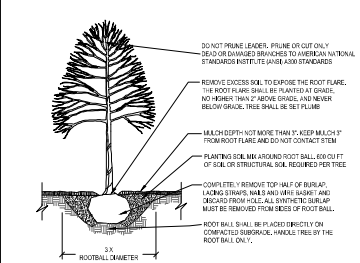
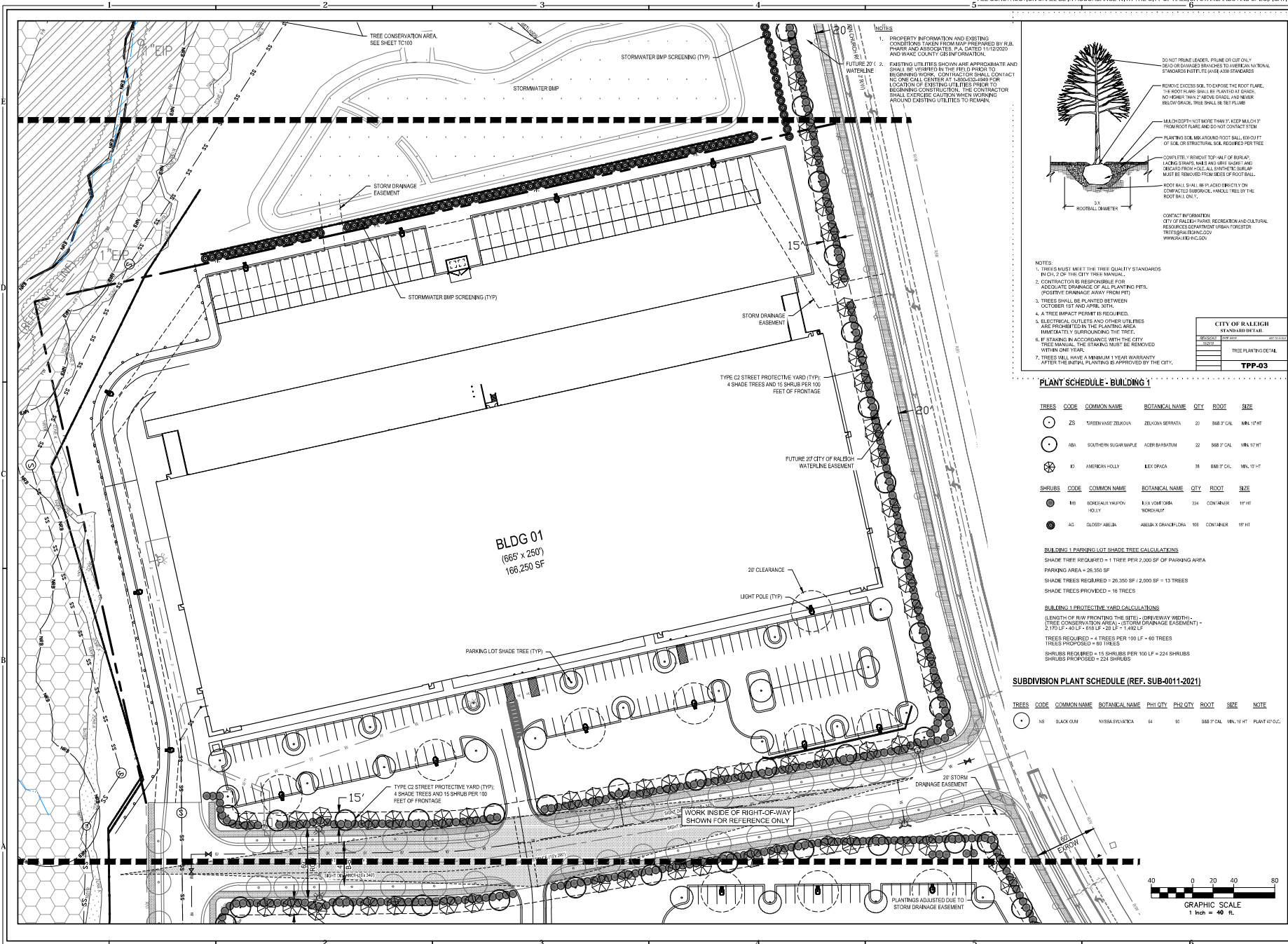
DRAWN BY: JH  
DWG. CHECKED BY: JH  
SCALE: SEE PLAN  
DATE: 05-23-2021

**UTILITY PLAN -  
BLDG 2**

C401







CONTACT INFORMATION:  
CITY OF RALEIGH PARK, RECREATION AND CULTURAL RESOURCES DEPARTMENT (URBAN FORESTER)  
TREES@RALEIGH.GOV  
WWW.RALEIGH.GOV

- NOTES:
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
  2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. PROTECT DRAINAGE AWAY FROM TREE.
  3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  4. A TREE IMPACT PERMIT IS REQUIRED.
  5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  6. IF STAKING IS IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL			
REVISION	DATE	DESCRIPTION	BY
1	05/24/2021	REVISED TO INCLUDE TREE PLANTING DETAIL	TPP-03

**PLANT SCHEDULE - BUILDING 1**

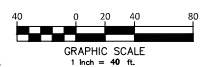
TREES	CODE	COMMON NAME	BOTANICAL NAME	QTY	ROOT	SIZE
•	ZS	GREEN VASE ZELKOVA	ZELKOVA SERATA	20	8-8" CAL	10-12' HT
•	ABA	SOUTHERN SUGAR MAPLE	ACER BARBATUM	22	8-8" CAL	10-12' HT
•	HO	AMERICAN HOLLY	ILEX OPACA	35	8-8" CAL	10-12' HT
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME	QTY	ROOT	SIZE
•	MS	BURGUNDY HYDRANGEA	HYDRANGEA	224	CONTAINER	10" HT
•	AO	GLOOMY ABILENA	ABELIA X GRANDIFLORA	135	CONTAINER	10" HT

**BUILDING 1 PARKING LOT SHADE TREE CALCULATIONS**  
SHADE TREES REQUIRED = 1 TREE PER 2,000 SF OF PARKING AREA  
PARKING AREA = 26,350 SF  
SHADE TREES REQUIRED = 26,350 SF / 2,000 SF = 13 TREES  
SHADE TREES PROVIDED = 16 TREES

**BUILDING 1 PROTECTIVE YARD CALCULATIONS**  
(LENGTH OF ROW FRONTING THE SITE) - (DRIVEWAY WIDTH) - (TREE CONSERVATION AREA) - (STORM DRAINAGE EASEMENT) = 2,170 LF - 60 LF - 180 LF - 20 LF = 1,410 LF  
TREES REQUIRED = 4 TREES PER 100 LF = 60 TREES  
TREES PROPOSED = 60 TREES  
SHRUBS REQUIRED = 15 SHRUBS PER 100 LF = 224 SHRUBS  
SHRUBS PROPOSED = 224 SHRUBS

**SUBDIVISION PLANT SCHEDULE (REF. SUB-0011-2021)**

TREES	CODE	COMMON NAME	BOTANICAL NAME	PH1 QTY	PH2 QTY	ROOT	SIZE	NOTE
•	1B	BLACK OLIVE	MYRTUS PRUNIFOLIA	54	60	8-8" CAL	10-12' HT	PLANT 47' O.C.



# NIVIS

NIVIS ENGINEERS AND CONSULTANTS, INC.  
3300 REGENCY PARKWAY, STE 100  
DURHAM, NC 27713  
P: 919.853.1312  
F: 919.853.1313  
www.nivis.com

## EAGLE CREST INDUSTRIAL PARK ADMINISTRATIVE SITE REVIEW

AUBURN, GULFPORT ROAD, RALEIGH, NORTH CAROLINA

NO.	DATE	REVISIONS	REMARKS
1	05/24/2021	1	REVISED TO INCLUDE TREE PLANTING DETAIL
2	06/24/2021	2	REVISED TO INCLUDE TREE PLANTING DETAIL
3	08/09/2021	3	REVISED TO INCLUDE TREE PLANTING DETAIL
4	08/09/2021	4	REVISED TO INCLUDE TREE PLANTING DETAIL
5	08/09/2021	5	REVISED TO INCLUDE TREE PLANTING DETAIL
6	08/09/2021	6	REVISED TO INCLUDE TREE PLANTING DETAIL
7	08/09/2021	7	REVISED TO INCLUDE TREE PLANTING DETAIL
8	08/09/2021	8	REVISED TO INCLUDE TREE PLANTING DETAIL

PROJECT NO: 200173.01

DRAWN BY: JH

DWG. CHECKED BY: JH

SCALE: SEE PLAN

DATE: 05-23-2021

LANDSCAPE PLAN - BLDG 1

L101



**NIVIS**NIVIS ENGINEERS AND CONSULTANTS, INC.  
3300 REGENCY PARKWAY, STE 100  
DARY, NC 27515  
P: 919.851.1212  
www.nivis.comNIVIS 001717-1  
Project: 001717-1 Eagle Crest Industrial Park**EAGLE CREST INDUSTRIAL PARK  
ADMINISTRATIVE SITE REVIEW**

AUBURN, GULFPORT ROAD, RALEIGH, NORTH CAROLINA

NO.	DATE	REVISIONS	REMARKS
1	06/24/2021	1	PRELIMINARY
2	06/24/2021	2	SITE PLAN REVISIONS
3	08/09/2021	3	SITE PLAN REVISIONS
4		4	
5		5	
6		6	
7		7	
8		8	

PROJECT NO: 2020173.01

DRAWN BY: JH

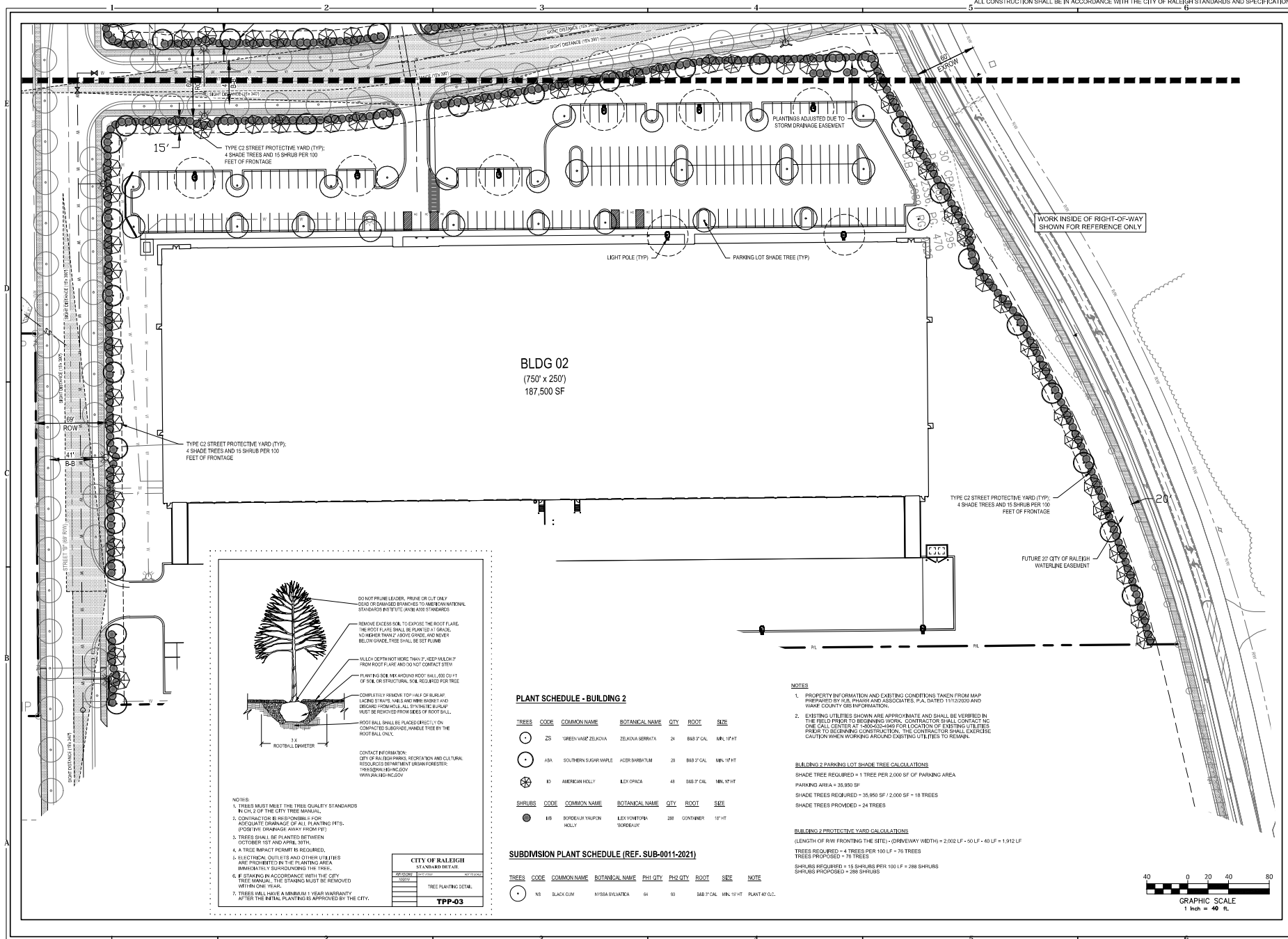
DWG. CHECKED BY: JH

SCALE: SEE PLAN

DATE: 05-23-2021

**LANDSCAPE PLAN -  
BLDG 1**

L102





Paul Woody Architect  
447 S. Sharon Amity Road  
Suite 200  
Charlotte, NC 28211

T: 704.365.4100  
C: 888.478.2224



**SCHEMATIC  
DESIGN**  
**EAGLECREST  
INDUSTRIAL  
BUILDING ONE**

AUBURN CHURCH RD.  
RALEIGH, NC

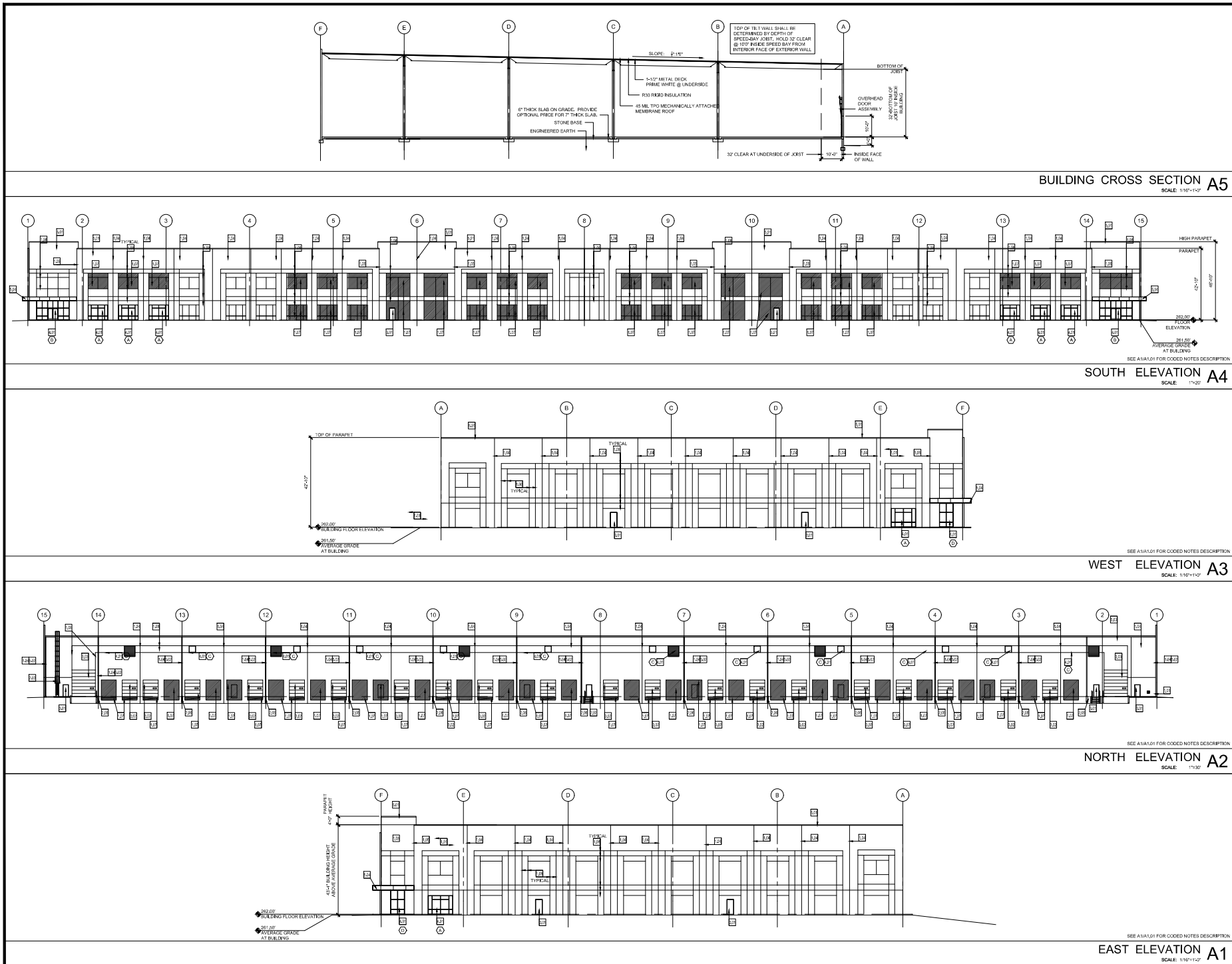
**BUILDING  
ELEVATIONS**

Progress Set Date:

Final Issue Date: 03/03/2021  
Revisions:

Project Number: 20-30  
Cad File Number: 20-30-A2.00

**A2.01**







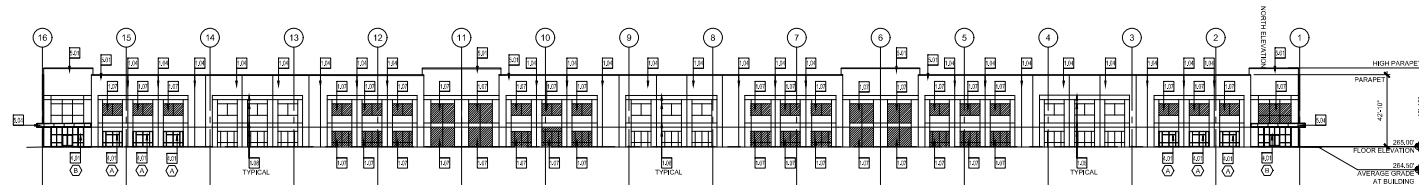
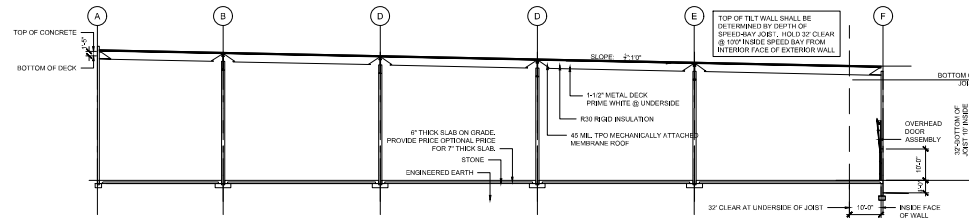
Paul Woody Architect  
447 S. Sharon Amity Road  
Suite 230  
Charlotte, NC 28211

T: 704.365.4102  
C: 888.478.2224



## BUILDING CROSS SECTION A5

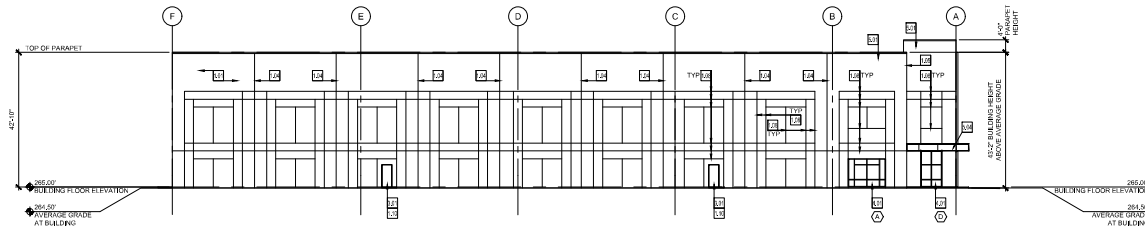
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SEE A1/A1.01 FOR CODED NOTES DESCRIPTION

## NORTH ELEVATION A4

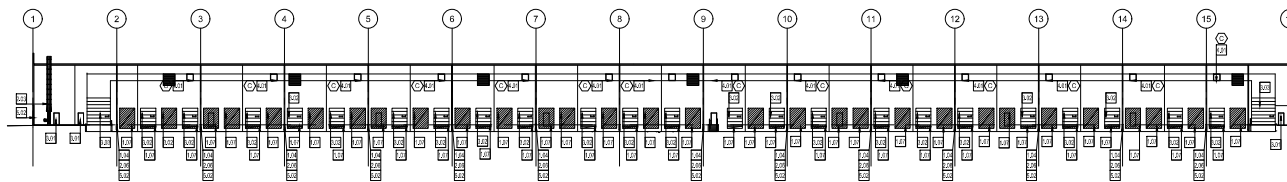
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SEE A1/A1.01 FOR CODED NOTES DESCRIPTION

## EAST ELEVATION A3

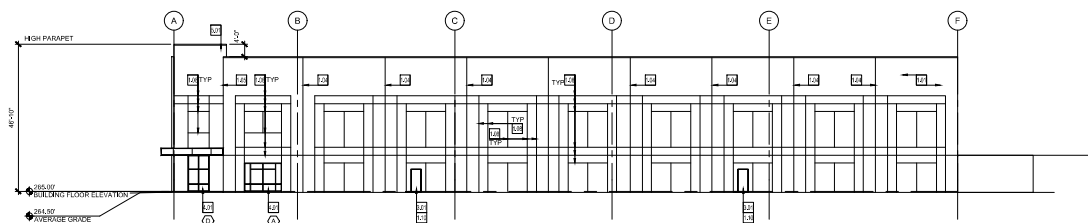
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SEE A1/A1.01 FOR CODED NOTES DESCRIPTION

## SOUTH ELEVATION A2

SCALE: 1/16"=1'-0"



SEE A1/A1.01 FOR CODED NOTES DESCRIPTION

## WEST ELEVATION A1

SCALE: 1/16"=1'-0"

## SCHEMATIC DESIGN

EAGLECREST  
INDUSTRIAL  
BUILDING TWO

AUBURN CHURCH RD.  
RALEIGH, NC

## BUILDING ELEVATIONS

Progress Set Date:

Final Issue Date: 03/03/2021  
Revisions:

Project Number: 21-02  
Cad File Number: 21-02-A2.02

A2.02