



Administrative Approval Action

Case File / Name: ASR-0024-2022
DSLCL - Creedmoor Road Apartments (ASR)

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Glenwood Avenue, east of Creedmoor Road at 5200 Creedmoor Rd.

REQUEST: Development of a 6.83 acre/297,650 sf tract zoned RX-5-PL CU, with .19 acres/8,367 sf of right-of-way dedication, leaving a net area of 6.64 acres/289,283 sf. A site development for a proposed 295 unit apartment building. 162 1-bedroom, 118 2-bedroom & 15 3-bedroom units. Building gross area include 395,219 sf structure with apartment units, including loft/mezzanine units on the interior courtyard. A parking enclosure of 132,230 sf for total area of approximately 527,449 sf.

Z-10-21 (5114, 5118, 5120, 5200, 5206 Creedmoor Road); Adopted 10/21/19 and Effective 10/24/21. Site design and landscaping screening improvements.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 6, 2023 by McAdams Company.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Revise the overall site development gross building area total, for the building and garage structure, as shown on the coversheet data table and transposed application form.

Stormwater

2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer or wetlands prior to the issuance of any grading or site permit (UDO 9.2.3.E).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



Administrative Approval Action

Case File / Name: ASR-0024-2022
DSLCL - Creedmoor Road Apartments (ASR)

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
-------------------------------------	---

--	--

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.
2. A recombination plat shall be recorded recombining the deeded parcels into a single development tract as shown on the ASR site plan.

Engineering

3. A fee-in-lieu for transit stop improvements to stop #8686 is paid to the City of Raleigh (UDO 8.1.1C)
4. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities



Administrative Approval Action

Case File / Name: ASR-0024-2022
DSLCL - Creedmoor Road Apartments (ASR)

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

5. Infrastructure Construction Plans (spr submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

7. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .6925 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded, recombining the existing lots into a single tract.
2. Comply with all conditions of Z-10-21.
3. A demolition permit shall be obtained.

Engineering

4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
5. A fee-in-lieu for transit stop improvements to stop #8686 is paid to the City of Raleigh (UDO 8.1.1C)

Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.
7. Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building).
8. Initiation of the easement exchange process is required (via dedication of new easement on record plat, ending with abandonment of old easement on subsequent deed).

Stormwater



Administrative Approval Action

Case File / Name: ASR-0024-2022
DSLCL - Creedmoor Road Apartments (ASR)

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

9. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
10. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
11. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

12. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 9 street trees along Creedmoor Rd.
13. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
14. A public infrastructure surety for the 9 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:



Administrative Approval Action

Case File / Name: ASR-0024-2022
DSLCL - Creedmoor Road Apartments (ASR)

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

3-Year Expiration Date: May 10, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stogall* Date: 05/10/2023
Development Services Dir./Designee
Staff Coordinator: Jermon Purifoy

CREEDMOOR ROAD APARTMENTS

ADMINISTRATIVE SITE REVIEW

5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27612
CITY OF RALEIGH CASE #: ASR-0024-2022
PROJECT NUMBER: SPEC-20104

DATE: APRIL 4, 2022
REVISED: JUNE 10, 2022
REVISED: AUGUST 5, 2022
REVISED: OCTOBER 13, 2022
REVISED: DECEMBER 02, 2022
REVISED: MARCH 7, 2023
REVISED: APRIL 6, 2023

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 400 • Raleigh, NC 27601 | 919-999-2900

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: Planner (print):

Please review UDO Section 10.2.8, as amended by text change case TC-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan	Tier Three Site Plan
Building Type	General	Subdivision case #:
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Scoping/plan case #:
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Certificate of Appropriateness #:
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Board of Adjustment #:
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Zoning Case #:
		Administrative Alternate #:

GENERAL INFORMATION	
Development name: CREEDMOOR ROAD APARTMENTS	
Inside City limits?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Property address(es):	
Site P.I.N. (s): 0796458278, 0796458369, 0796458458, 0796458553, 0796550760	
Please describe the scope of work. Include any additions, expansions, and change of use.	
The proposed development consists of an approximate 295-unit apartment development with 37 surface parking spaces and 392 parking garage spaces with associated infrastructure and amenities.	

Current Property Owner/Developer Contact Name: LEGACY CREEDMOOR LLC	
NOTE: please attach purchase agreement when submitting this form.	
Company: GCI RESIDENTIAL	Title: PRE-CONSTRUCTION MANAGER
Address: 2510 CHAMBER BLVD, SUITE 300, RICHMOND, VA 47422	
Phone #: 800-320-4133	Email: davis@gciresidential.com
Applicant Name: ADAM PIKE, PE	
Company: MCADAMS	Address: 1 GLENWOOD AVENUE, SUITE 201, RALEIGH, NC 27603
Phone #: 919-399-2272	Email: pike@mcadamsco.com

Page 2 of 2

raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE	
(Applicable to all developments)	
SITE DATA	
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
RX-S-PL-CU	0.09 acres
Gross site acreage: 6.83 acres	New gross floor area: 506,302 SF
# of parking spaces required: 407	Total of gross (to remain and new): 506,302 SF
# of parking spaces proposed: 436	Proposed # of buildings: 2
Overly District (if applicable): N/A	Proposed # of stories for each: 5
Existing use (UDO 6.1.41) SINGLE FAMILY / VACANT	
Proposed use (UDO 6.1.41) APARTMENT	

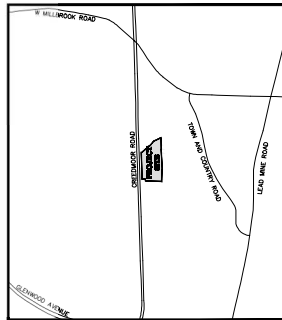
STORMWATER INFORMATION	
Existing Impervious Surface:	Proposed Impervious Surface:
Acre: 1.24	Acre: 3.95
Square Feet: 107,112	Square Feet: 169,965
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide:	
Allowable soils:	
Flood study:	
FEMA Map Panel #:	
Neuse River Buffer:	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Wetlands:	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
# of dwelling units: 295	Total # of hotel units: 0
# of bedroom units: 192	4br or more: 1
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in the application will be maintained in all respects in accordance with the plan and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, ADAM PIKE, will serve as the agent regarding this application, and will receive and respond to administrative comments, respond to plan and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that the application is subject to the final order and final approval, which states applications will expire after 180 days of inactivity.	
Signature: Adam Pike	Date: 04/04/2022
Printed Name: ADAM PIKE	

Page 2 of 2

raleighnc.gov



VICINITY MAP
1"=1000'

SITE DATA	
OWNER INFORMATION	1. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 2. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 3. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 4. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 5. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603
CONTACT INFORMATION	1. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 2. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 3. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 4. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 5. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603
ADDITIONAL INFORMATION	1. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 2. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 3. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 4. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603 5. CREEDMOOR ROAD, 5200 CREEDMOOR ROAD, SUITE 201, RALEIGH, NC 27603

PARKING + BUILD-TO DATA	
EXISTING PARKING	1. 407 TOTAL SPACES 2. 407 TOTAL SPACES 3. 407 TOTAL SPACES 4. 407 TOTAL SPACES 5. 407 TOTAL SPACES
PROPOSED PARKING	1. 436 TOTAL SPACES 2. 436 TOTAL SPACES 3. 436 TOTAL SPACES 4. 436 TOTAL SPACES 5. 436 TOTAL SPACES
ADDITIONAL INFORMATION	1. 436 TOTAL SPACES 2. 436 TOTAL SPACES 3. 436 TOTAL SPACES 4. 436 TOTAL SPACES 5. 436 TOTAL SPACES

BUILD TO CALCULATIONS:

CREEDMOOR ROAD: 521 SF
REQUIRED BUILDING HEIGHT IN BUILT TO: 262' (150')

OUTDOOR AMENITY AREA CALCULATIONS:
SETBACK: 6.61 AC @ 300,000 SF
REQUIRED SETBACK AREA: 0.15 AC @ 300,000 SF
PROPOSED SETBACK AREA: 0.15 AC @ 300,000 SF

SOLID WASTE COMPLIANCE STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DEFENSE MANUAL.
- THE SOLID WASTE DEFENSE FOR THIS PROJECT WILL BE PROVIDED BY THE DEVELOPER.



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCOT STANDARDS, SPECIFICATIONS, AND DETAILS.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ATTENTION CONTRACTORS

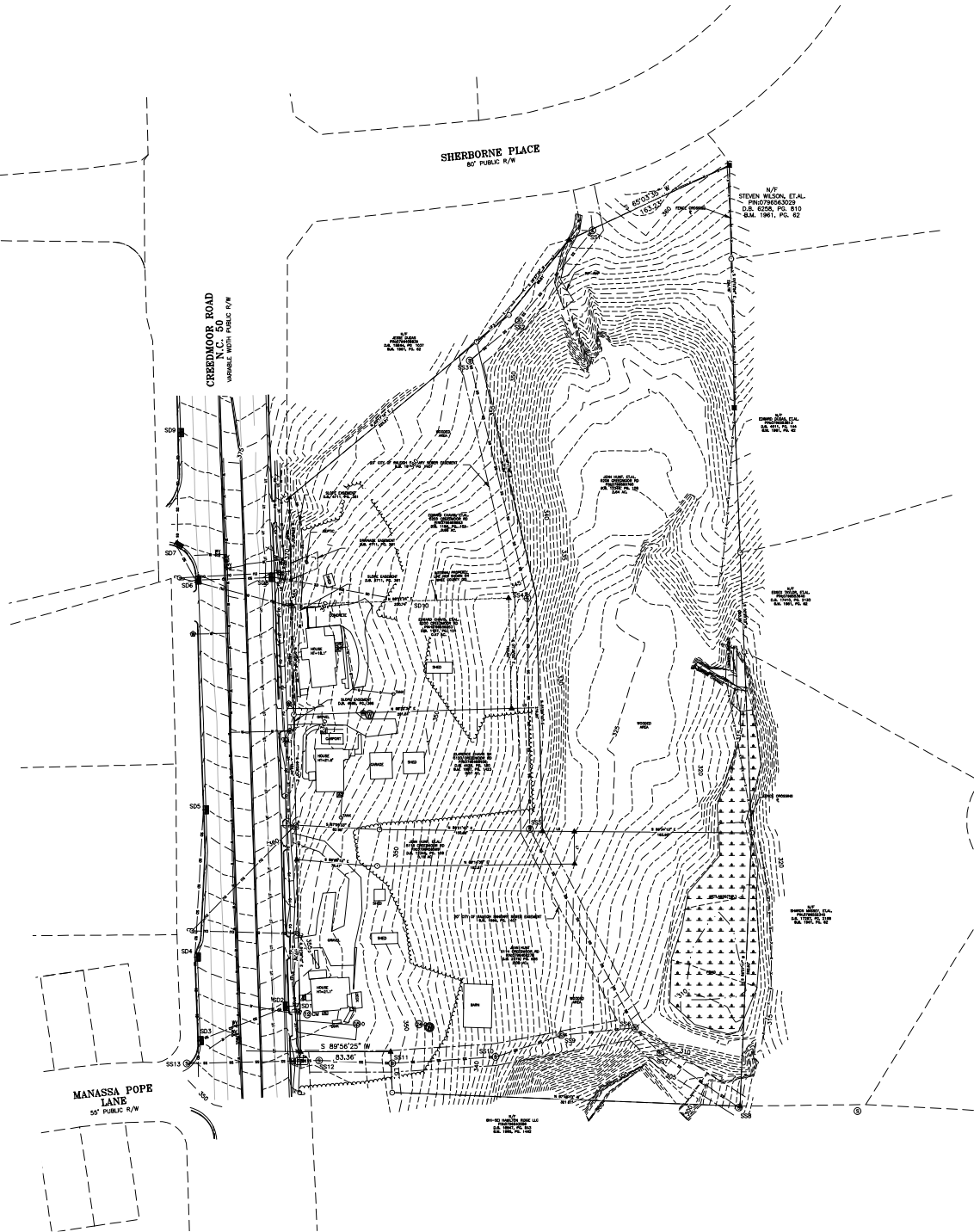
The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2400, and the Public Utilities Department at (919) 996-2400, at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction will result in the issuance of monetary fines, and require relocation of any water or sewer facilities not inspected as a result of the notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other violation of City of Raleigh Standards will result in a Fine and Possible Suspension from future work in the City of Raleigh.

ZONING CONDITIONS:

1.01-01, 01A, 02A, 03A, 04A, 05A, 06A, 07A, 08A, 09A, 10A, 11A, 12A, 13A, 14A, 15A, 16A, 17A, 18A, 19A, 20A, 21A, 22A, 23A, 24A, 25A, 26A, 27A, 28A, 29A, 30A, 31A, 32A, 33A, 34A, 35A, 36A, 37A, 38A, 39A, 40A, 41A, 42A, 43A, 44A, 45A, 46A, 47A, 48A, 49A, 50A, 51A, 52A, 53A, 54A, 55A, 56A, 57A, 58A, 59A, 60A, 61A, 62A, 63A, 64A, 65A, 66A, 67A, 68A, 69A, 70A, 71A, 72A, 73A, 74A, 75A, 76A, 77A, 78A, 79A, 80A, 81A, 82A, 83A, 84A, 85A, 86A, 87A, 88A, 89A, 90A, 91A, 92A, 93A, 94A, 95A, 96A, 97A, 98A, 99A, 100A, 101A, 102A, 103A, 104A, 105A, 106A, 107A, 108A, 109A, 110A, 111A, 112A, 113A, 114A, 115A, 116A, 117A, 118A, 119A, 120A, 121A, 122A, 123A, 124A, 125A, 126A, 127A, 128A, 129A, 130A, 131A, 132A, 133A, 134A, 135A, 136A, 137A, 138A, 139A, 140A, 141A, 142A, 143A, 144A, 145A, 146A, 147A, 148A, 149A, 150A, 151A, 152A, 153A, 154A, 155A, 156A, 157A, 158A, 159A, 160A, 161A, 162A, 163A, 164A, 165A, 166A, 167A, 168A, 169A, 170A, 171A, 172A, 173A, 174A, 175A, 176A, 177A, 178A, 179A, 180A, 181A, 182A, 183A, 184A, 185A, 186A, 187A, 188A, 189A, 190A, 191A, 192A, 193A, 194A, 195A, 196A, 197A, 198A, 199A, 200A, 201A, 202A, 203A, 204A, 205A, 206A, 207A, 208A, 209A, 210A, 211A, 212A, 213A, 214A, 215A, 216A, 217A, 218A, 219A, 220A, 221A, 222A, 223A, 224A, 225A, 226A, 227A, 228A, 229A, 230A, 231A, 232A, 233A, 234A, 235A, 236A, 237A, 238A, 239A, 240A, 241A, 242A, 243A, 244A, 245A, 246A, 247A, 248A, 249A, 250A, 251A, 252A, 253A, 254A, 255A, 256A, 257A, 258A, 259A, 260A, 261A, 262A, 263A, 264A, 265A, 266A, 267A, 268A, 269A, 270A, 271A, 272A, 273A, 274A, 275A, 276A, 277A, 278A, 279A, 280A, 281A, 282A, 283A, 284A, 285A, 286A, 287A, 288A, 289A, 290A, 291A, 292A, 293A, 294A, 295A, 296A, 297A, 298A, 299A, 300A, 301A, 302A, 303A, 304A, 305A, 306A, 307A, 308A, 309A, 310A, 311A, 312A, 313A, 314A, 315A, 316A, 317A, 318A, 319A, 320A, 321A, 322A, 323A, 324A, 325A, 326A, 327A, 328A, 329A, 330A, 331A, 332A, 333A, 334A, 335A, 336A, 337A, 338A, 339A, 340A, 341A, 342A, 343A, 344A, 345A, 346A, 347A, 348A, 349A, 350A, 351A, 352A, 353A, 354A, 355A, 356A, 357A, 358A, 359A, 360A, 361A, 362A, 363A, 364A, 365A, 366A, 367A, 368A, 369A, 370A, 371A, 372A, 373A, 374A, 375A, 376A, 377A, 378A, 379A, 380A, 381A, 382A, 383A, 384A, 385A, 386A, 387A, 388A, 389A, 390A, 391A, 392A, 393A, 394A, 395A, 396A, 397A, 398A, 399A, 400A, 401A, 402A, 403A, 404A, 405A, 406A, 407A, 408A, 409A, 410A, 411A, 412A, 413A, 414A, 415A, 416A, 417A, 418A, 419A, 420A, 421A, 422A, 423A, 424A, 425A, 426A, 427A, 428A, 429A, 430A, 431A, 432A, 433A, 434A, 435A, 436A, 437A, 438A, 439A, 440A, 441A, 442A, 443A, 444A, 445A, 446A, 447A, 448A, 449A, 450A, 451A, 452A, 453A, 454A, 455A, 456A, 457A, 458A, 459A, 460A, 461A, 462A, 463A, 464A, 465A, 466A, 467A, 468A, 469A, 470A, 471A, 472A, 473A, 474A, 475A, 476A, 477A, 478A, 479A, 480A, 481A, 482A, 483A, 484A, 485A, 486A, 487A, 488A, 489A, 490A, 491A, 492A, 493A, 494A, 495A, 496A, 497A, 498A, 499A, 500A, 501A, 502A, 503A, 504A, 505A, 506A, 507A, 508A, 509A, 510A, 511A, 512A, 513A, 514A, 515A, 516A, 517A, 518A, 519A, 520A, 521A, 522A, 523A, 524A, 525A, 526A, 527A, 528A, 529A, 530A, 531A, 532A, 533A, 534A, 535A, 536A, 537A, 538A, 539A, 540A, 541A, 542A, 543A, 544A, 545A, 546A, 547A, 548A, 549A, 550A, 551A, 552A, 553A, 554A, 555A, 556A, 557A, 558A, 559A, 560A, 561A, 562A, 563A, 564A, 565A, 566A, 567A, 568A, 569A, 570A, 571A, 572A, 573A, 574A, 575A, 576A, 577A, 578A, 579A, 580A, 581A, 582A, 583A, 584A, 585A, 586A, 587A, 588A, 589A, 590A, 591A, 592A, 593A, 594A, 595A, 596A, 597A, 598A, 599A, 600A, 601A, 602A, 603A, 604A, 605A, 606A, 607A, 608A, 609A, 610A, 611A, 612A, 613A, 614A, 615A, 616A, 617A, 618A, 619A, 620A, 621A, 622A, 623A, 624A, 625A, 626A, 627A, 628A, 629A, 630A, 631A, 632A, 633A, 634A, 635A, 636A, 637A, 638A, 639A, 640A, 641A, 642A, 643A, 644A, 645A, 646A, 647A, 648A, 649A, 650A, 651A, 652A, 653A, 654A, 655A, 656A, 657A, 658A, 659A, 660A, 661A, 662A, 663A, 664A, 665A, 666A, 667A, 668A, 669A, 670A, 671A, 672A, 673A, 674A, 675A, 676A, 677A, 678A, 679A, 680A, 681A, 682A, 683A, 684A, 685A, 686A, 687A, 688A, 689A, 690A, 691A, 692A, 693A, 694A, 695A, 696A, 697A, 698A, 699A, 700A, 701A, 702A, 703A, 704A, 705A, 706A, 707A, 708A, 709A, 710A, 711A, 712A, 713A, 714A, 715A, 716A, 717A, 718A, 719A, 720A, 721A, 722A, 723A, 724A, 725A, 726A, 727A, 728A, 729A, 730A, 731A, 732A, 733A, 734A, 735A, 736A, 737A, 738A, 739A, 740A, 741A, 742A, 743A, 744A, 745A, 746A, 747A, 748A, 749A, 750A, 751A, 752A, 753A, 754A, 755A, 756A, 757A, 758A, 759A, 760A, 761A, 762A, 763A, 764A, 765A, 766A, 767A, 768A, 769A, 770A, 771A, 772A, 773A, 774A, 775A, 776A, 777A, 778A, 779A, 780A, 781A, 782A, 783A, 784A, 785A, 786A, 787A, 788A, 789A, 790A, 791A, 792A, 793A, 794A, 795A, 796A, 797A, 798A, 799A, 800A, 801A, 802A, 803A, 804A, 805A, 806A, 807A, 808A, 809A, 810A, 811A, 812A, 813A, 814A, 815A, 816A, 817A, 818A, 819A, 820A, 821A, 822A, 823A, 824A, 825A, 826A, 827A, 828A, 829A, 830A, 831A, 832A, 833A, 834A, 835A, 836A, 837A, 838A, 839A, 840A, 841A, 842A, 843A, 844A, 845A, 846A, 847A, 848A, 849A, 850A, 851A, 852A, 853A, 854A, 855A, 856A, 857A, 858A, 859A, 860A, 861A, 862A, 863A, 864A, 865A, 866A, 867A, 868A, 869A, 870A, 871A, 872A, 873A, 874A, 875A, 876A, 877A, 878A, 879A, 880A, 881A, 882A, 883A, 884A, 885A, 886A, 887A, 888A, 889A, 890A, 891A, 892A, 893A, 894A, 895A, 896A, 897A, 898A, 899A, 900A, 901A, 902A, 903A, 904A, 905A, 906A, 907A, 908A, 909A, 910A, 911A, 912A, 913A, 914A, 915A, 916A, 917A, 918A, 919A, 920A, 921A, 922A, 923A, 924A, 925A, 926A, 927A, 928A, 929A, 930A, 931A, 932A, 933A, 934A, 935A, 936A, 937A, 938A, 939A, 940A, 941A, 942A, 943A, 944A, 945A, 946A, 947A, 948A, 949A, 950A, 951A, 952A, 953A, 954A, 955A, 956A, 957A, 958A, 959A, 960A, 961A, 962A, 963A, 964A, 965A, 966A, 967A, 968A, 969A, 970A, 971A, 972A, 973A, 974A, 975A, 976A, 977A, 978A, 979A, 980A, 981A, 982A, 983A, 984A, 985A, 986A, 987A, 988A, 989A, 990A, 991A, 992A, 993A, 994A, 995A, 996A, 997A, 998A, 999A, 1000A, 1001A, 1002A, 1003A, 1004A, 1005A, 1006A, 1007A, 1008A, 1009A, 1010A, 1011A, 1012A, 1013A, 1014A, 1015A, 1016A, 1017A, 1018A, 1019A, 1020A, 1021A, 1022A, 1023A, 1024A, 1025A, 1026A, 1027A, 1028A, 1029A, 1030A, 1031A, 1032A, 1033A, 1034A, 1035A, 1036A, 1037A, 1038A, 1039A, 1040A, 1041A, 1042A, 1043A, 1044A, 1045A, 1046A, 1047A, 1048A, 1049A, 1050A, 1051A, 1052A, 1053A, 1054A, 1055A, 1056A, 1057A, 1058A, 1059A, 1060A, 1061A, 1062A, 1063A, 1064A, 1065A, 1066A, 1067A, 1068A, 1069A, 1070A, 1071A, 1072A, 1073A, 1074A, 1075A, 1076A, 1077A, 1078A, 1079A, 1080A, 1081A, 1082A, 1083A, 1084A, 1085A, 1086A, 1087A, 1088A, 1089A, 1090A, 1091A, 1092A, 1093A, 1094A, 1095A, 1096A, 1097A, 1098A, 1099A, 1100A, 1101A, 1102A, 1103A, 1104A, 1105A, 1106A, 1107A, 1108A, 1109A, 1110A, 1111A, 1112A, 1113A, 1114A, 1115A, 1116A, 1117A, 1118A, 1119A, 1120A, 1121A, 1122A, 1123A, 1124A, 1125A, 1126A, 1127A, 1128A, 1129A, 1130A, 1131A, 1132A, 1133A, 1134A, 1135A, 1136A, 1137A, 1138A, 1139A, 1140A, 1141A, 1142A, 1143A, 1144A, 1145A, 1146A, 1147A, 1148A, 1149A, 1150A, 1151A, 1152A, 1153A, 1154A, 1155A, 1156A, 1157A, 1158A, 1159A, 1160A, 1161A, 1162A, 1163A, 1164A, 1165A, 1166A, 1167A, 1168A, 1169A, 1170A, 1171A, 1172A, 1173A, 1174A, 1175A, 1176A, 1177A, 1178A, 1179A, 1180A, 1181A, 1182A, 1183A, 1184A, 1185A, 1186A, 1187A, 1188A, 1189A, 1190A, 1191A, 1192A, 1193A, 1194A, 1195A, 1196A, 1197A, 1198A, 1199A, 1200A, 1201A, 1202A, 1203A, 1204A, 1205A, 1206A, 1207A, 1208A, 1209A, 1210A, 1211A, 1212A, 1213A, 1214A, 1215A, 1216A, 1217A, 1218A, 1219A, 1220A, 1221A, 1222A, 1223A, 1224A, 1225A, 1226A, 1227A, 1228A, 1229A, 1230A, 1231A, 1232A, 1233A, 1234A, 1235A, 1236A, 1237A, 1238A, 1239A, 1240A, 1241A, 1242A, 1243A, 1244A, 1245A, 1246A, 124



STORM DRAIN INVERT TABLE		
SD1	TOP=35.57	HW=35.57 17'W(030)
SD2	TOP=35.57	HW=35.57 17'W(030)
SD3	TOP=35.57	HW=35.57 17'W(030)
SD4	TOP=35.57	HW=35.57 17'W(030)
SD5	TOP=35.57	HW=35.57 17'W(030)
SD6	TOP=35.57	HW=35.57 17'W(030)
SD7	TOP=35.57	HW=35.57 17'W(030)
SD8	TOP=35.57	HW=35.57 17'W(030)
SD9	TOP=35.57	HW=35.57 17'W(030)
SD10	TOP=35.57	HW=35.57 17'W(030)
SD11	TOP=35.57	HW=35.57 17'W(030)
SD12	TOP=35.57	HW=35.57 17'W(030)
SD13	TOP=35.57	HW=35.57 17'W(030)
SD14	TOP=35.57	HW=35.57 17'W(030)
SD15	TOP=35.57	HW=35.57 17'W(030)
SD16	TOP=35.57	HW=35.57 17'W(030)
SD17	TOP=35.57	HW=35.57 17'W(030)
SD18	TOP=35.57	HW=35.57 17'W(030)
SD19	TOP=35.57	HW=35.57 17'W(030)
SD20	TOP=35.57	HW=35.57 17'W(030)
SD21	TOP=35.57	HW=35.57 17'W(030)
SD22	TOP=35.57	HW=35.57 17'W(030)
SD23	TOP=35.57	HW=35.57 17'W(030)
SD24	TOP=35.57	HW=35.57 17'W(030)
SD25	TOP=35.57	HW=35.57 17'W(030)
SD26	TOP=35.57	HW=35.57 17'W(030)
SD27	TOP=35.57	HW=35.57 17'W(030)
SD28	TOP=35.57	HW=35.57 17'W(030)
SD29	TOP=35.57	HW=35.57 17'W(030)
SD30	TOP=35.57	HW=35.57 17'W(030)
SD31	TOP=35.57	HW=35.57 17'W(030)
SD32	TOP=35.57	HW=35.57 17'W(030)
SD33	TOP=35.57	HW=35.57 17'W(030)
SD34	TOP=35.57	HW=35.57 17'W(030)
SD35	TOP=35.57	HW=35.57 17'W(030)
SD36	TOP=35.57	HW=35.57 17'W(030)
SD37	TOP=35.57	HW=35.57 17'W(030)
SD38	TOP=35.57	HW=35.57 17'W(030)
SD39	TOP=35.57	HW=35.57 17'W(030)
SD40	TOP=35.57	HW=35.57 17'W(030)
SD41	TOP=35.57	HW=35.57 17'W(030)
SD42	TOP=35.57	HW=35.57 17'W(030)
SD43	TOP=35.57	HW=35.57 17'W(030)
SD44	TOP=35.57	HW=35.57 17'W(030)
SD45	TOP=35.57	HW=35.57 17'W(030)
SD46	TOP=35.57	HW=35.57 17'W(030)
SD47	TOP=35.57	HW=35.57 17'W(030)
SD48	TOP=35.57	HW=35.57 17'W(030)
SD49	TOP=35.57	HW=35.57 17'W(030)
SD50	TOP=35.57	HW=35.57 17'W(030)
SD51	TOP=35.57	HW=35.57 17'W(030)
SD52	TOP=35.57	HW=35.57 17'W(030)
SD53	TOP=35.57	HW=35.57 17'W(030)
SD54	TOP=35.57	HW=35.57 17'W(030)
SD55	TOP=35.57	HW=35.57 17'W(030)
SD56	TOP=35.57	HW=35.57 17'W(030)
SD57	TOP=35.57	HW=35.57 17'W(030)
SD58	TOP=35.57	HW=35.57 17'W(030)
SD59	TOP=35.57	HW=35.57 17'W(030)
SD60	TOP=35.57	HW=35.57 17'W(030)
SD61	TOP=35.57	HW=35.57 17'W(030)
SD62	TOP=35.57	HW=35.57 17'W(030)
SD63	TOP=35.57	HW=35.57 17'W(030)
SD64	TOP=35.57	HW=35.57 17'W(030)
SD65	TOP=35.57	HW=35.57 17'W(030)
SD66	TOP=35.57	HW=35.57 17'W(030)
SD67	TOP=35.57	HW=35.57 17'W(030)
SD68	TOP=35.57	HW=35.57 17'W(030)
SD69	TOP=35.57	HW=35.57 17'W(030)
SD70	TOP=35.57	HW=35.57 17'W(030)
SD71	TOP=35.57	HW=35.57 17'W(030)
SD72	TOP=35.57	HW=35.57 17'W(030)
SD73	TOP=35.57	HW=35.57 17'W(030)
SD74	TOP=35.57	HW=35.57 17'W(030)
SD75	TOP=35.57	HW=35.57 17'W(030)
SD76	TOP=35.57	HW=35.57 17'W(030)
SD77	TOP=35.57	HW=35.57 17'W(030)
SD78	TOP=35.57	HW=35.57 17'W(030)
SD79	TOP=35.57	HW=35.57 17'W(030)
SD80	TOP=35.57	HW=35.57 17'W(030)
SD81	TOP=35.57	HW=35.57 17'W(030)
SD82	TOP=35.57	HW=35.57 17'W(030)
SD83	TOP=35.57	HW=35.57 17'W(030)
SD84	TOP=35.57	HW=35.57 17'W(030)
SD85	TOP=35.57	HW=35.57 17'W(030)
SD86	TOP=35.57	HW=35.57 17'W(030)
SD87	TOP=35.57	HW=35.57 17'W(030)
SD88	TOP=35.57	HW=35.57 17'W(030)
SD89	TOP=35.57	HW=35.57 17'W(030)
SD90	TOP=35.57	HW=35.57 17'W(030)
SD91	TOP=35.57	HW=35.57 17'W(030)
SD92	TOP=35.57	HW=35.57 17'W(030)
SD93	TOP=35.57	HW=35.57 17'W(030)
SD94	TOP=35.57	HW=35.57 17'W(030)
SD95	TOP=35.57	HW=35.57 17'W(030)
SD96	TOP=35.57	HW=35.57 17'W(030)
SD97	TOP=35.57	HW=35.57 17'W(030)
SD98	TOP=35.57	HW=35.57 17'W(030)
SD99	TOP=35.57	HW=35.57 17'W(030)
SD100	TOP=35.57	HW=35.57 17'W(030)

LEGEND

- EXISTING IRON PIPE
- NEW PIPE SET
- EXISTING POINT
- NEW POINT
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- WIRELESS RING
- ELECTRIC BOX
- LIGHT POLE
- POWER POLE
- OUT WARE
- CURB INLET
- STORM DRAINAGE MANHOLE
- YARD INLET
- TRANSFORMER
- FIBER OPTIC VAULT
- SEIN
- ROLLING
- STORM DRAIN PIPE
- OVERHEAD UTILITY LINES
- WATER LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FORCE LINE
- TREE LINE
- PROPERTY BOUNDARY LINE
- EASEMENT LINE
- SETBACK LINE

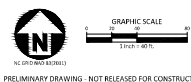
TREE LEGEND

- CRANE MYRTLE
- CHERRY
- ELM
- DOGWOOD
- DOUBLE AND TRIPLE TRUNKS
- DOUBLE OAK
- TRIPLE OAK
- CHERRY AND ELM OF TREE
- FRONT OF TREE
- BACK OF TREE

LINE	BEARING	DISTANCE
11	N 50° 10' 00" E	3.50
12	N 01° 00' 00" E	37.85
13	N 88° 25' 00" E	25.00
14	S 01° 00' 00" E	30.00
15	N 01° 00' 00" E	30.00
16	N 02° 00' 00" E	37.85
17	S 01° 00' 00" E	30.00
18	S 89° 15' 00" E	25.00

SITE SHEET COORDINATES FOR ALL PROJECT, SITE, GRADINGS, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



CLIENT

GCI RESIDENTIAL, LLC
10720 SHERBORNE PLACE #500
CHARLOTTE, NC 28277
PHONE: 980.262.6133



CREEDMOOR ROAD APARTMENTS
ADMINISTRATIVE SITE REVIEW
5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27612

REVISIONS

NO.	DATE	DESCRIPTION
1	06-26-2024	FOR CITY OF RALEIGH SITE REVIEW
2	06-26-2024	FOR CITY OF RALEIGH SITE REVIEW
3	07-15-2024	FOR CITY OF RALEIGH SITE REVIEW
4	07-15-2024	FOR CITY OF RALEIGH SITE REVIEW
5	07-15-2024	FOR CITY OF RALEIGH SITE REVIEW
6	07-15-2024	FOR CITY OF RALEIGH SITE REVIEW

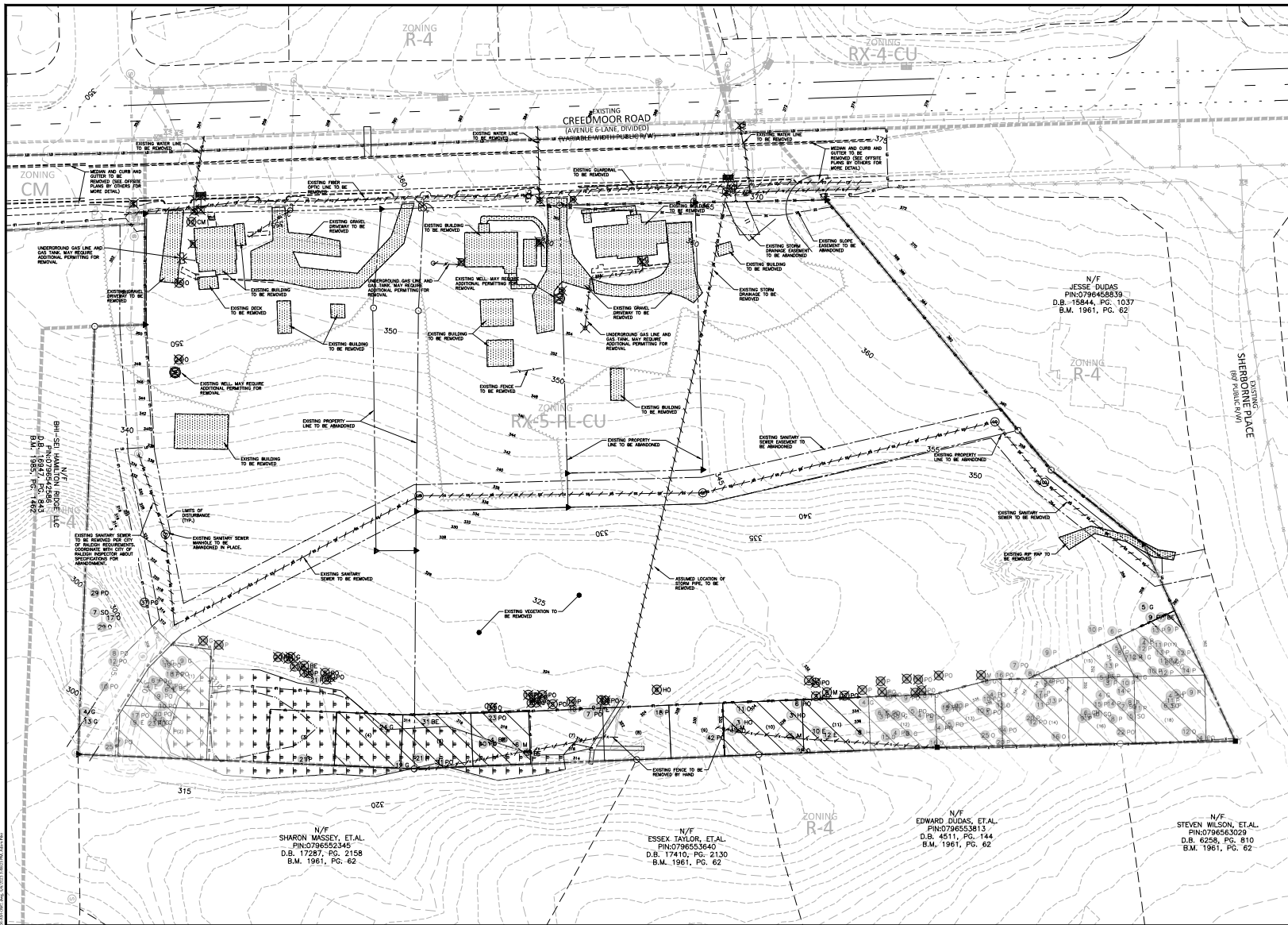
PLAN INFORMATION

PROJECT NO. SPEC-2024-01
FILE NAME: SPEC-2024-01-01
CHECKED BY: AC/PM/MS
DRAWN BY: MEM
SCALE: 1"=40'
DATE: 12-02-2024

SHEET

EXISTING CONDITIONS
PLAN

C1.00



CLIENT

303 RESIDENTIAL, LLC
10720 SHES PLACE #150
CHARLOTTE, NC 28277
PHONE: 980.762.6133



CREEDMOOR ROAD APARTMENTS
ADMINISTRATIVE SITE REVIEW
5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27612

REVISIONS

NO.	DATE	DESCRIPTION
1	06.10.2022	REV CITY OF RALEIGH 1ST REVIEW
2	06.16.2022	REV CITY OF RALEIGH 2ND REVIEW
3	06.13.2022	REV CITY OF RALEIGH 3RD REVIEW
4	12.01.2022	REV CITY OF RALEIGH 4TH REVIEW
5	06.01.2023	REV CITY OF RALEIGH 5TH REVIEW
6	06.06.2023	REV CITY OF RALEIGH 6TH REVIEW

PLAN INFORMATION

PROJECT NO. SPIC-20104
FILENAME: SPIC-20104-DM1
CHECKED BY: ACQ/MDS
DRAWN BY: MDM
SCALE: 1"=30'
DATE: 12.02.2022

SHEET

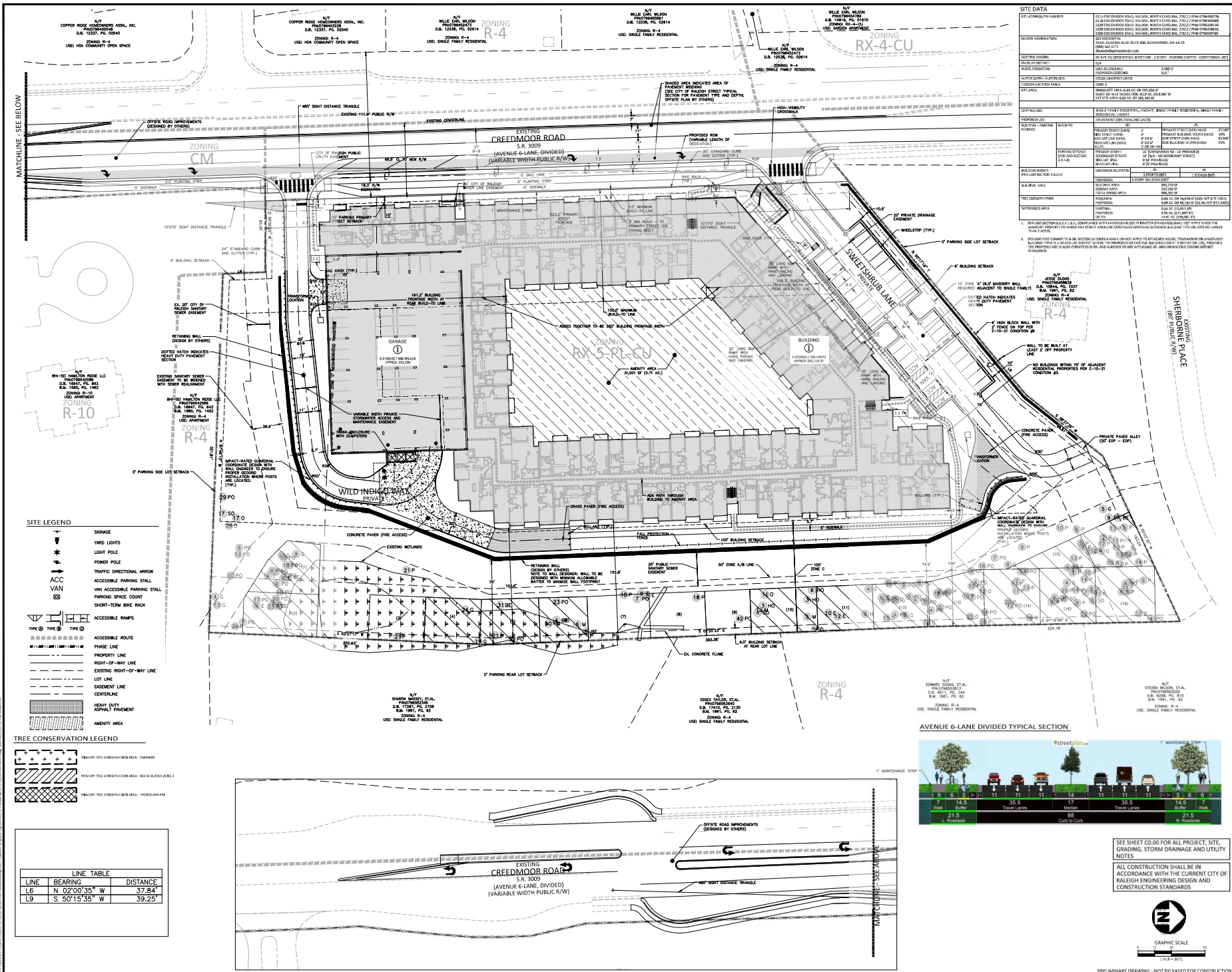
DEMOLITION PLAN

C1.01

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McAdams
The John R. McAdams Company, Inc.
One Glenwood Avenue
Suite 201
Raleigh, NC 27603
phone 919.823.4300
fax 919.823.2269
license number: C-0293, C-187
www.mcadamsinc.com

CLIENT
GPO RESIDENTIAL, LLC
10720 SHELPS PLACE #150
CHARLOTTE, NC 28277
PHONE: 980.762.6133

CREEDMOOR ROAD APARTMENTS
ADMINISTRATIVE SITE REVIEW
5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27612

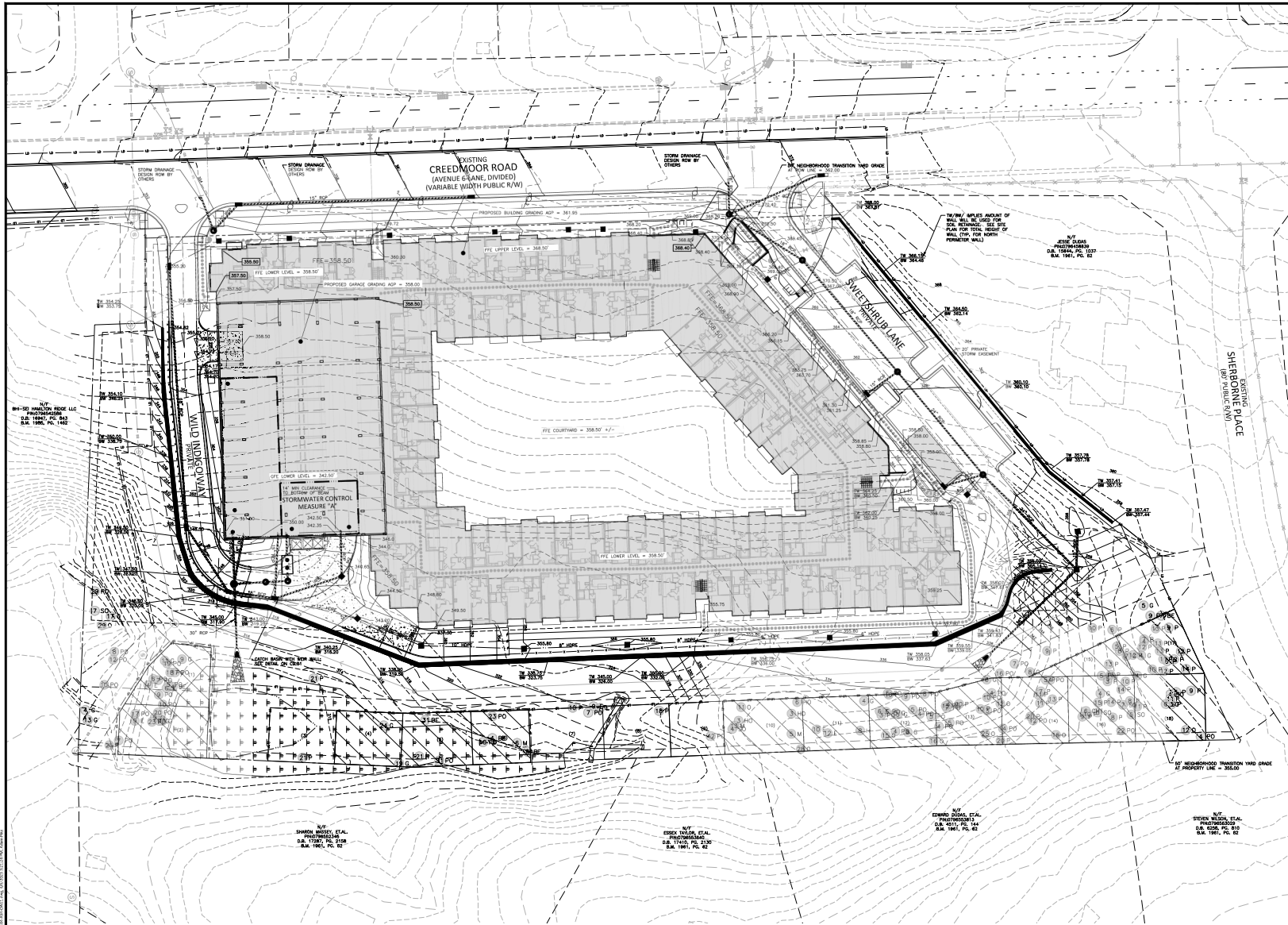
REVISIONS

NO	DATE	DESCRIPTION
1	06.12.2022	REV CITY OF RALEIGH 1ST REVIEW
2	06.15.2022	REV CITY OF RALEIGH 2ND REVIEW
3	06.15.2022	REV CITY OF RALEIGH 3RD REVIEW
4	12.01.2022	REV CITY OF RALEIGH 4TH REVIEW
5	06.01.2023	REV CITY OF RALEIGH 5TH REVIEW
6	06.06.2023	REV CITY OF RALEIGH 6TH REVIEW

PLAN INFORMATION

PROJECT NO: SPIC-2024-004
FILENAME: SPIC-2024-004-003
CHECKED BY: ACY/MDS
DRAWN BY: MAM
SCALE: 1"=50'
DATE: 12.02.2022

SHEET
OVERALL SITE PLAN
C2.00



- GRADING LEGEND**
- FLARED END SECTION
 - ENDWALL SECTION
 - CATCH BASIN
 - DROP INLET
 - STORM SERVICE INLET
 - STORM SERVICE ROOF-DRAIN
 - JUNCTION BOX
 - DRAINAGE FLOW ARROW
 - LINE BREAK SYMBOL
 - TOP & BOTTOM CURB ELEVATIONS
 - AVERAGE GRADE PLAN SPOT ELEVATION
 - TOP OF WALL ELEVATION (DATE BOTTOM OF WALL IS CIRCLED ELEVATION NOT WALL FOUNDATION)
 - SPOT ELEVATION
 - STORM DRAINAGE
 - STORM SERVICE LINE
 - ROOF DRAIN, 8" ACS
 - NON-PERFORATED TUBING ON EQUAL 1.2% MIN. SLOPE 3" MIN. COVER PER SCHEDULE 40 IN TRAFFIC AREAS
 - TREE PROTECTION FENCE
 - UNITS OF DISTURBANCE
 - WOODED AREA
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EASEMENT LINE
 - ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

AVERAGE GRADE PLANE

Building	PROPOSED		
	HIGH	LOW	AVERAGE
WEST PLANE	358.40	355.50	351.95

AVERAGE OF WALL PLANES
FINISHED FLOOR GRADE

351.95
358.5 NORTH/355.5 SOUTH

AVERAGE GRADE PLANE

Garage	PROPOSED		
	HIGH	LOW	AVERAGE
WEST PLANE	358.50	357.50	358.00

AVERAGE OF WALL PLANES
FINISHED FLOOR GRADE

358.00
358.5 UPPER/342.50 LOWER

NEIGHBORHOOD TRANSITION YARD

AVERAGE GRADE AT 50' LINE = 358.00'
ALLOWABLE ELEVATION AT BUILDING CORNER (PER UDO 3.5.5.B.2) = 425.00'
(358.00 + 40 + 26.5 = 425.00')
PROPOSED BUILDING ELEVATION = 418.50'

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



CREEDMOOR ROAD APARTMENTS
ADMINISTRATIVE SITE REVIEW
5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27612

REVISIONS

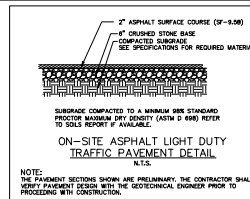
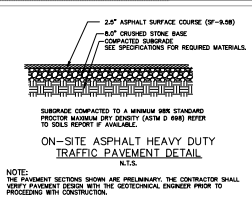
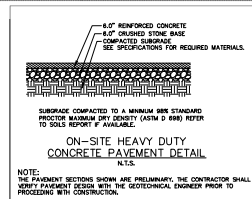
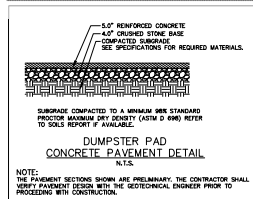
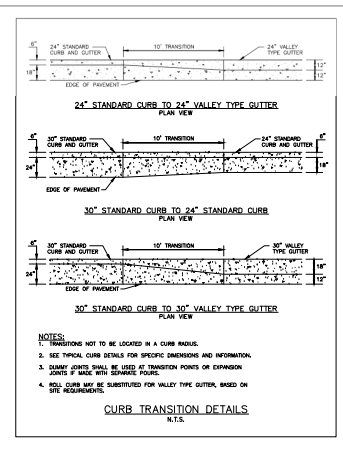
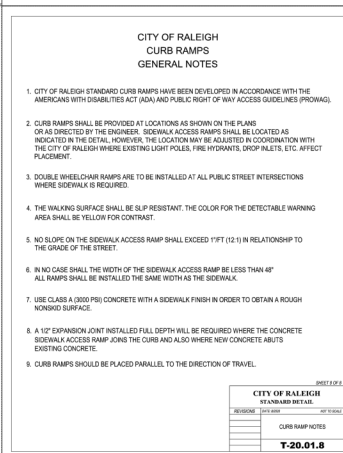
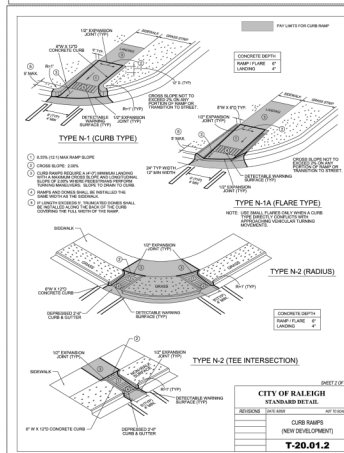
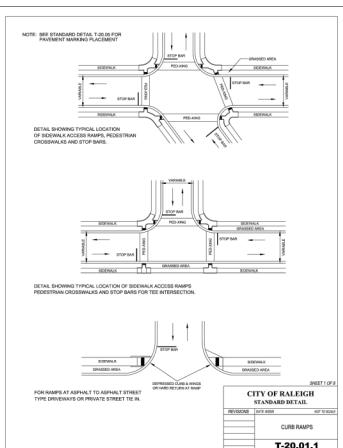
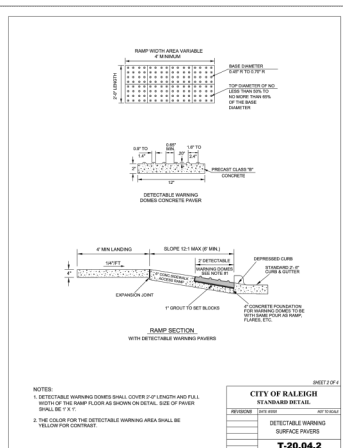
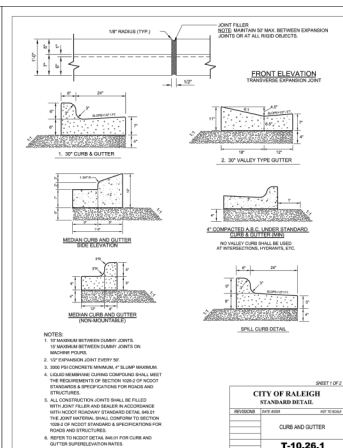
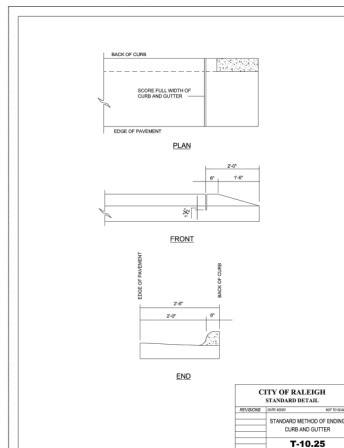
NO	DATE	DESCRIPTION
1	06.10.2022	REV CITY OF RALEIGH 1ST REVIEW
2	06.10.2022	REV CITY OF RALEIGH 2ND REVIEW
3	08.13.2022	REV CITY OF RALEIGH 3RD REVIEW
4	12.02.2022	REV CITY OF RALEIGH 4TH REVIEW
5	08.01.2023	REV CITY OF RALEIGH 5TH REVIEW
6	06.06.2023	REV CITY OF RALEIGH 6TH REVIEW

PLAN INFORMATION

PROJECT NO.	SPIC-20104
FILENAME	SPIC-20104-0401
CHECKED BY	ACV/MDS
DRAWN BY	MM
SCALE	1"=30'
DATE	12.02.2022

SHEET

OVERALL
GRADING PLAN
C3.00

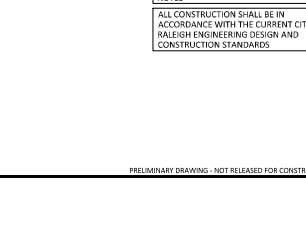
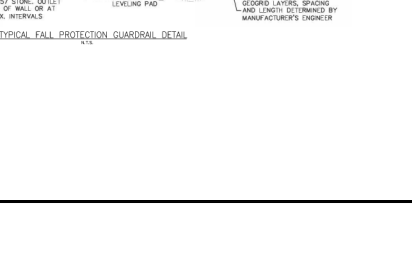
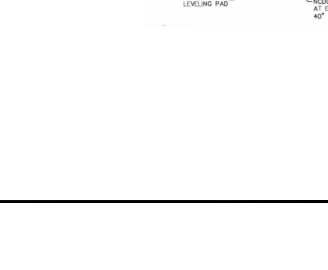
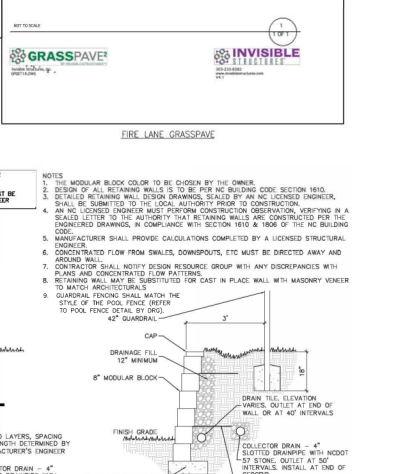
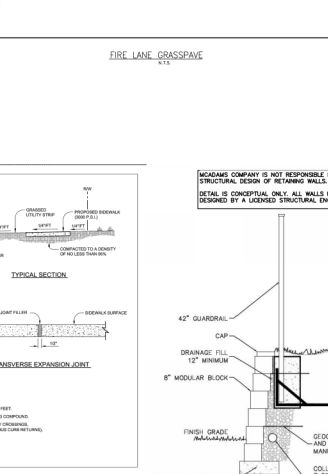
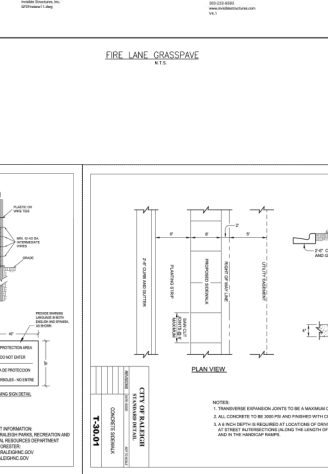
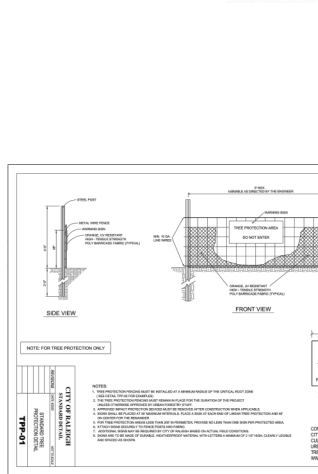
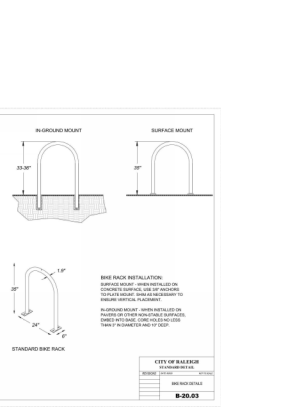
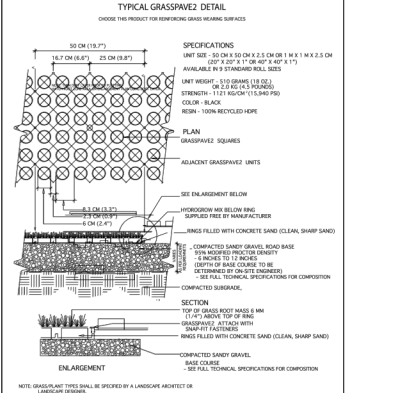
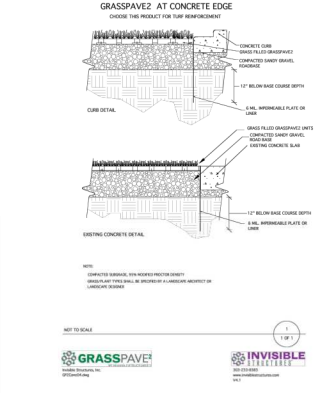
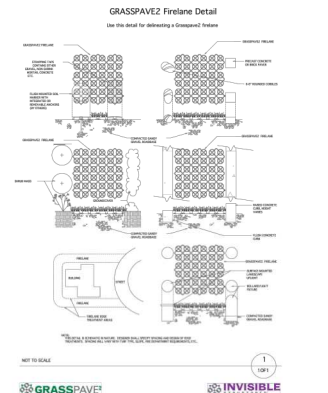
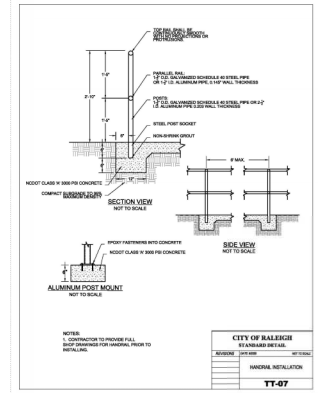
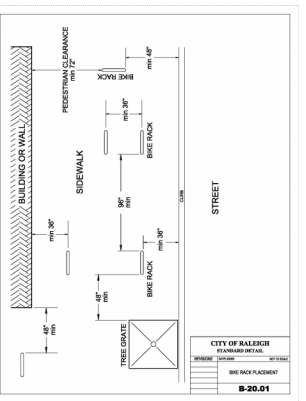
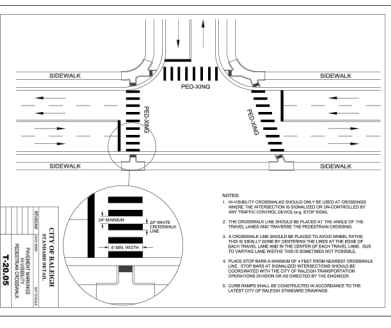
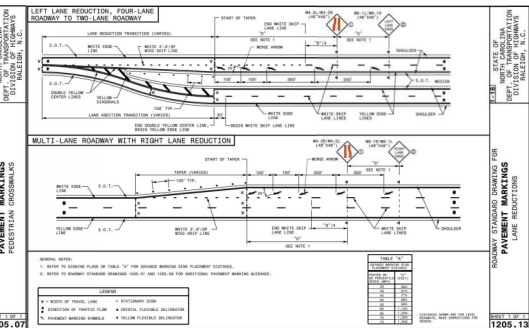
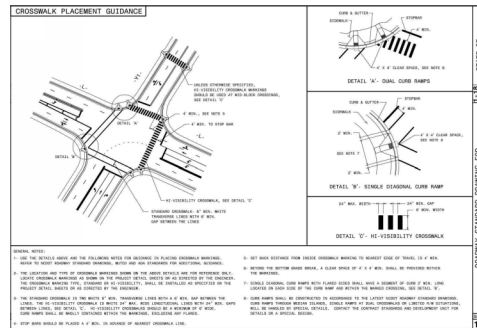


SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

NO.	DATE	REVISION
1	06.10.2022	REV CITY OF RALEIGH 1ST REVIEW
2	06.10.2022	REV CITY OF RALEIGH 2ND REVIEW
3	06.10.2022	REV CITY OF RALEIGH 3RD REVIEW
4	12.02.2022	REV CITY OF RALEIGH 4TH REVIEW
5	06.01.2023	REV CITY OF RALEIGH 5TH REVIEW
6	06.06.2023	REV CITY OF RALEIGH 6TH REVIEW

PLAN INFORMATION
PROJECT NO. SPC-20104
FILENAME: SPC-20104-01
CHECKED BY: AC/MDS
DRAWN BY: MAM
SCALE: N.T.S.
DATE: 12.02.2022

SHEET
SITE DETAILS
C8.00



REVISIONS

NO.	DATE	DESCRIPTION
1	06.10.2022	REV CITY OF RALEIGH 1ST REVIEW
2	06.10.2022	REV CITY OF RALEIGH 2ND REVIEW
3	06.10.2022	REV CITY OF RALEIGH 3RD REVIEW
4	12.01.2022	REV CITY OF RALEIGH 4TH REVIEW
5	06.07.2022	REV CITY OF RALEIGH 5TH REVIEW
6	06.06.2022	REV CITY OF RALEIGH 6TH REVIEW

PLAN INFORMATION

PROJECT NO.	SPEC-20104
FILENAME	SPEC-20104-01
CHECKED BY	AC/MDS
DRAWN BY	MEM
SCALE	N.T.S.
DATE	12.02.2022

SHEET

SITE DETAILS

C8.01

CLIENT
GGI RESIDENTIAL, LLC
10730 SITES PLACE #150
CHARLOTTE, NC 28277
PHONE: 980.362.6133

CREEDMOOR ROAD APARTMENTS
ADMINISTRATIVE SITE REVIEW
5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27612

REVISIONS

NO.	DATE	DESCRIPTION
1	06.10.2022	REV CITY OF CHARLOTTE 1ST REVIEW
2	06.10.2022	REV CITY OF CHARLOTTE 2ND REVIEW
3	10.13.2022	REV CITY OF RALEIGH 1ST REVIEW
4	12.01.2022	REV CITY OF RALEIGH 2ND REVIEW
5	06.07.2023	REV CITY OF RALEIGH 3RD REVIEW
6	06.06.2023	REV CITY OF RALEIGH 4TH REVIEW

PLAN INFORMATION

PROJECT NO.	SPEC-201004
FILENAME	SPEC-201004-01
CHECKED BY	ACQ/MDS
DRAWN BY	MEM
SCALE	N.T.S.
DATE	12.02.2022

SHEET

WATER DETAILS
C8.02

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

NOTES:
1. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAW CUT MACHINE.
2. THE TRENCH EXCAVATION MATERIAL SHALL BE BACKFILLED WITH SURFACE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH METHOD A-10 AS MODIFIED BY NCOTD.
3. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH METHOD A-10 AS MODIFIED BY NCOTD.
4. THE EXISTING EXCAVATION MATERIAL SHALL BE REINFORCED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
5. THE ADJACENT PAVEMENT MATERIAL SHALL BE REINFORCED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
6. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND TIE BACKS, W-3 FOR ADDITIONAL DETAILS.
7. NO HAND PATCHING ALLOWED.
8. PAVEMENT CUTS WITHIN NCOTD ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DATE	NO.	REVISIONS	DATE
06.10.2022	W-2	1.0	12.02.2022

NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE EXISTING FACE OF THE EXCAVATION AND BRACING.
2. NO ROCKS OR BOLLARDS AT OR LARGER TO BE USED IN BACKFILL.
3. ALL BACKFILL MATERIAL SHALL BE SUFFICIENTLY NATIVE MATERIAL.
4. BACKFILL SHALL BE TAMPED IN 6" LIFTS.
5. ADOPTED PERMITS IN BACKFILL.

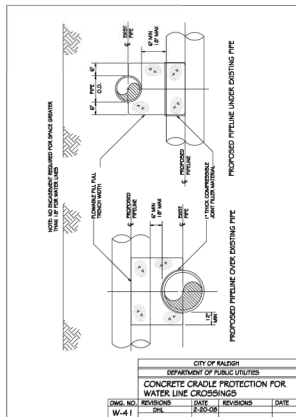
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES			
TRENCH BOTTOM OVERLAP DETAIL REQUIREMENTS FOR SLOTTED PIPE			
DATE	NO.	REVISIONS	DATE
06.10.2022	W-3	1.0	12.02.2022

NOTES:
1. THE HYDRANT SHALL BE AN MANUFACTURED, MULTIPLE, AMERICAN STANDARD, REMOVABLE, HYDRANT, SHALL BE 15" DIA. AND 15" HIGH.
2. BRANCH PIPE SHALL BE SLOTTED, 15" DIA. AND 15" HIGH.
3. IF GATE VALVE SHALL BE 15" DIA. AND 15" HIGH.
4. STEEL HOOD AND BOLT SHALL BE 15" DIA. AND 15" HIGH.
5. THE HYDRANT SHALL BE INSTALLED IN THE CENTER OF THE TRENCH.
6. THE HYDRANT SHALL BE INSTALLED IN THE CENTER OF THE TRENCH.
7. THE HYDRANT SHALL BE INSTALLED IN THE CENTER OF THE TRENCH.
8. THE HYDRANT SHALL BE INSTALLED IN THE CENTER OF THE TRENCH.
9. THE HYDRANT SHALL BE INSTALLED IN THE CENTER OF THE TRENCH.
10. THE HYDRANT SHALL BE INSTALLED IN THE CENTER OF THE TRENCH.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES			
STANDARD FIRE HYDRANT INSTALLATION DETAIL			
DATE	NO.	REVISIONS	DATE
06.10.2022	W-4	1.0	12.02.2022

NOTES:
1. CONCRETE SHALL NOT CONTACT BACKS OF ENDS OF MECHANICAL JOINT FITTINGS.
2. SEE STANDARD REACTION BLOCK.
3. REACTION BLOCK SHALL BE 15" DIA. AND 15" HIGH.
4. REACTION BLOCK SHALL BE 15" DIA. AND 15" HIGH.
5. REACTION BLOCK SHALL BE 15" DIA. AND 15" HIGH.
6. REACTION BLOCK SHALL BE 15" DIA. AND 15" HIGH.
7. REACTION BLOCK SHALL BE 15" DIA. AND 15" HIGH.
8. REACTION BLOCK SHALL BE 15" DIA. AND 15" HIGH.
9. REACTION BLOCK SHALL BE 15" DIA. AND 15" HIGH.
10. REACTION BLOCK SHALL BE 15" DIA. AND 15" HIGH.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES			
4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY			
DATE	NO.	REVISIONS	DATE
06.10.2022	W-5	1.0	12.02.2022



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

NO.	DATE	DESCRIPTION
1	06.10.2022	PER CITY OF RALEIGH 1ST REVIEW
2	06.05.2022	PER CITY OF RALEIGH 2ND REVIEW
3	10.1.5.2022	PER CITY OF RALEIGH 3RD REVIEW
4	12.02.2022	PER CITY OF RALEIGH 4TH REVIEW
5	03.07.2028	PER CITY OF RALEIGH 5TH REVIEW
6	04.03.2028	PER CITY OF RALEIGH 6TH REVIEW

PROJECT NO.	SPEC-20104
FILENAME	SPEC-20104-01
CHECKED BY	ACP/MDS
DRAWN BY	MEM
SCALE	N.T.S.
DATE	12. 02. 2022

WATER DETAILS

C8.03

CREEDMOOR ROAD APARTMENTS
ADMINISTRATIVE SITE REVIEW
5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27612



McAdams

The John R. McAdams Company, Inc.
One Glenwood Avenue
Suite 200
Raleigh, NC 27603
phone 919.823.4300
fax 919.362.2369
license number: C-0293, C-187
www.mcadamsco.com

CLIENT

GCI RESIDENTIAL, LLC
10720 SITES PLACE #150
CHARLOTTE, NC 28277
PHONE: 980.362.6133



CREEDMOOR ROAD APARTMENTS
ADMINISTRATIVE SITE REVIEW
5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27612

REVISIONS

NO.	DATE	DESCRIPTION
1	06.10.2022	REV CITY OF RALEIGH 1ST REVIEW
2	06.10.2022	REV CITY OF RALEIGH 2ND REVIEW
3	10.13.2022	REV CITY OF RALEIGH 3RD REVIEW
4	12.01.2022	REV CITY OF RALEIGH 4TH REVIEW
5	06.07.2023	REV CITY OF RALEIGH 5TH REVIEW
6	06.06.2023	REV CITY OF RALEIGH 6TH REVIEW

PLAN INFORMATION

PROJECT NO.	SPEC-201004
FILENAME	SPEC-201004-01
CHECKED BY	ACQ/MDS
DRAWN BY	MEM
SCALE	N.T.S.
DATE	12.02.2022

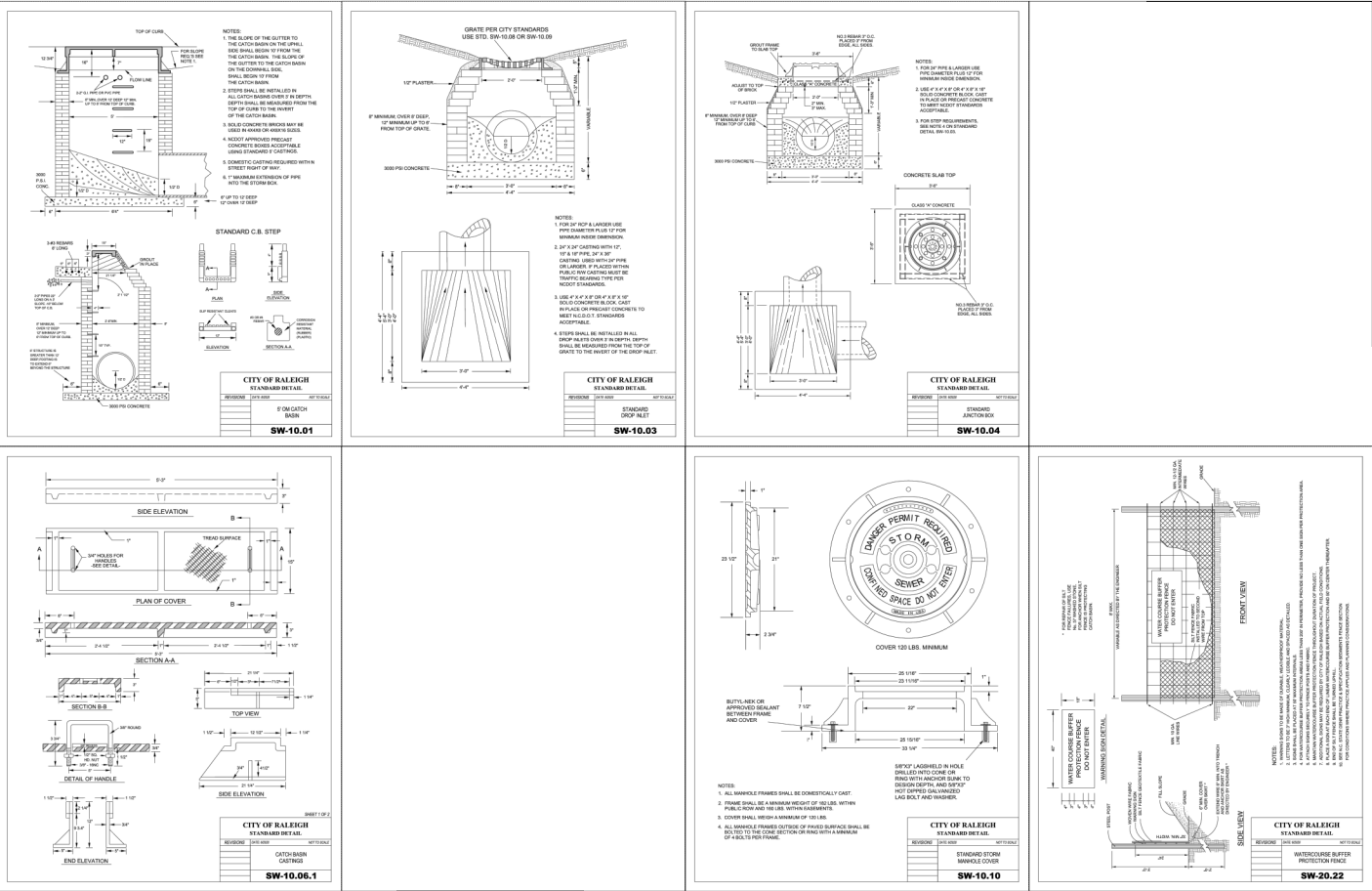
SHEET

STORM DRAINAGE
DETAILS

C8.04

SEE SHEET C0.00 FOR ALL PROJECT, SITE,
GRADING, STORM DRAINAGE AND UTILITY
NOTES

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE CURRENT CITY OF
RALEIGH ENGINEERING DESIGN AND
CONSTRUCTION STANDARDS



REVISIONS

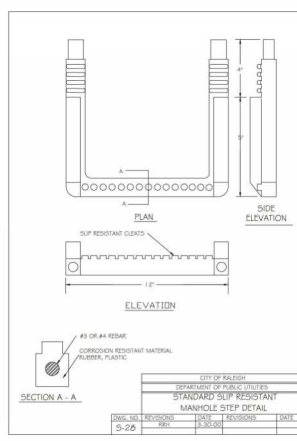
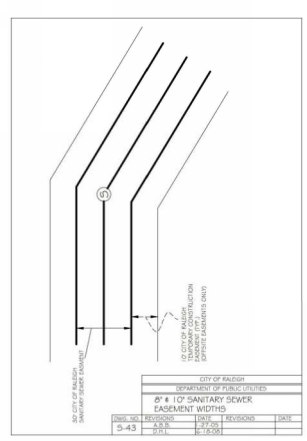
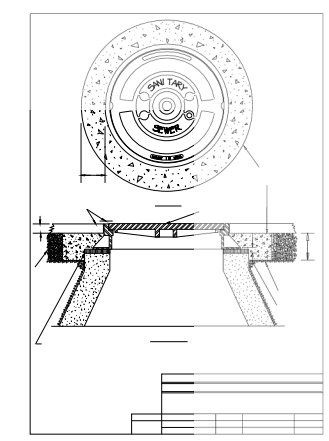
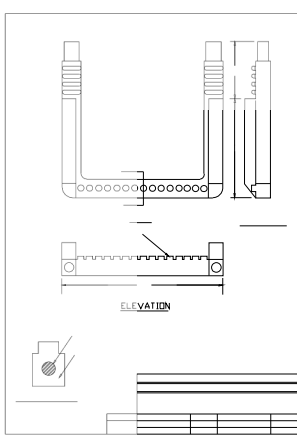
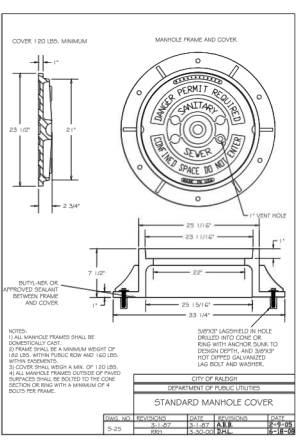
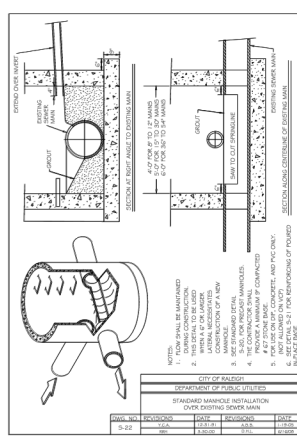
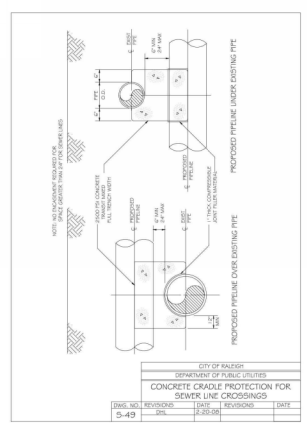
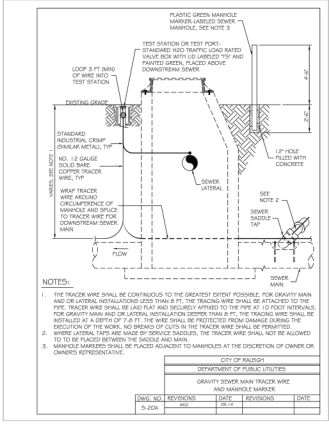
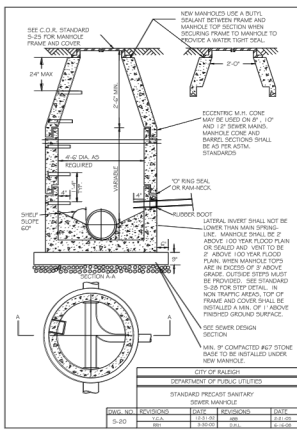
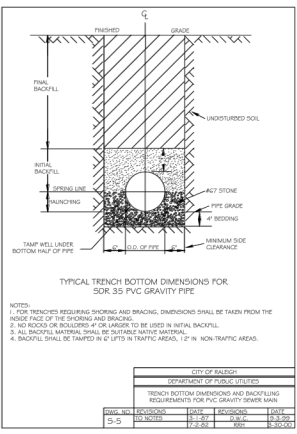
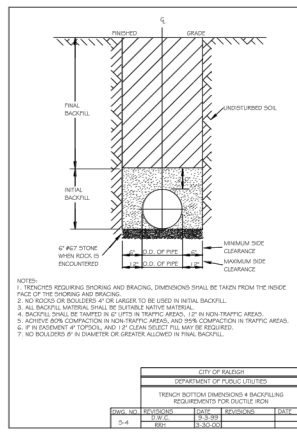
NO.	DATE	DESCRIPTION
1	06.10.2022	REV CITY OF RALEIGH 1ST REVIEW
2	06.10.2022	REV CITY OF RALEIGH 2ND REVIEW
3	10.13.2022	REV CITY OF RALEIGH 3RD REVIEW
4	12.01.2022	REV CITY OF RALEIGH 4TH REVIEW
5	06.07.2023	REV CITY OF RALEIGH 5TH REVIEW
6	06.06.2023	REV CITY OF RALEIGH 6TH REVIEW

PLAN INFORMATION

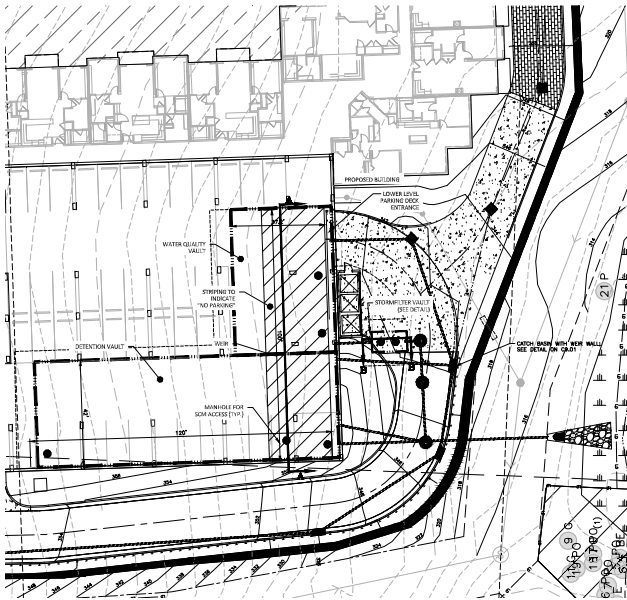
PROJECT NO.	SPEC-201004
FILENAME	SPEC-201004-01
CHECKED BY	ACQ/MDS
DRAWN BY	MEM
SCALE	N.T.S.
DATE	12.02.2022

SHEET

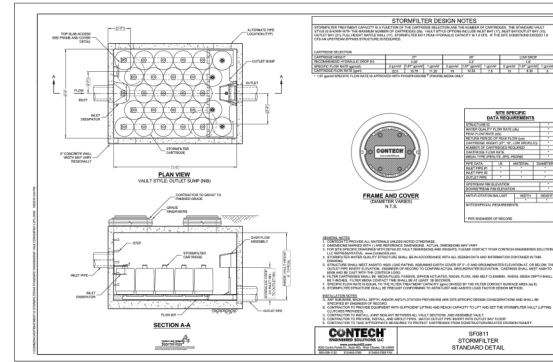
SEWER DETAILS
C8.05



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

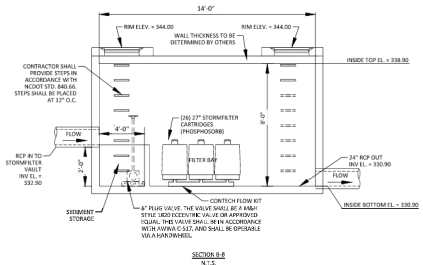


STORMFILTER SYSTEM PLAN VIEW
1"=20'

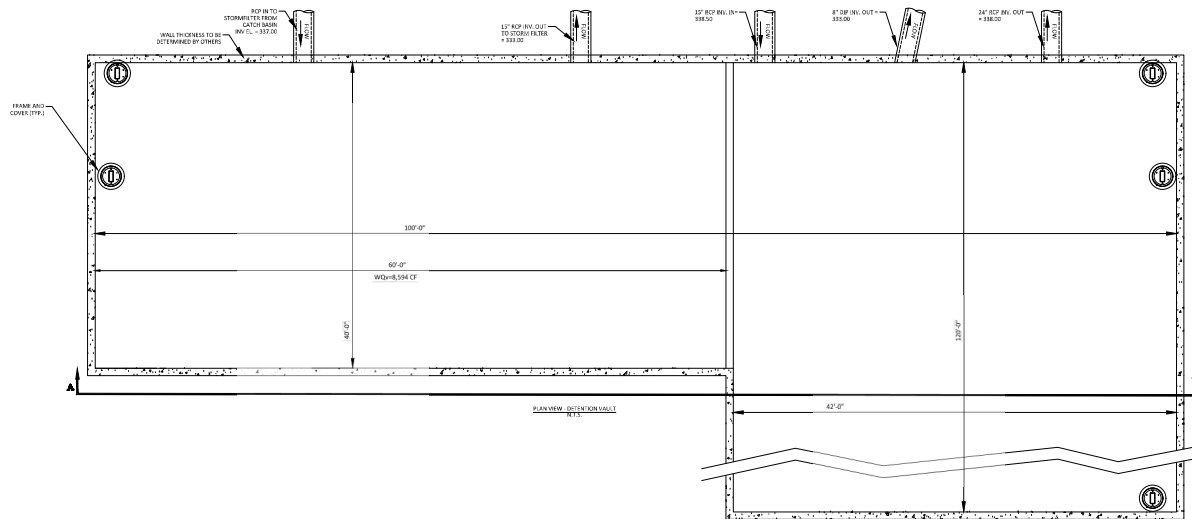


COUNT	DESCRIPTION	INSTALLED BY
1	1" 1/2" TYPICAL PHOSPHORUS CARTRIDGE (1" P.W.)	CONTRACTOR
2	1" 1/2" PVC SIF PLUS	CONTRACTOR
3	FLOW KIT	CONTRACTOR
4	SAFETY EXHAUSTOR	CONTRACTOR
5	1" PLUG VALVE	CONTRACTOR
6	1" JOINT SEALANT (BY PRECASTER)	CONTRACTOR
7	2" 80" x 4" FRAME AND COVER	CONTRACTOR

PERFORMANCE SPECIFICATION
 FILTER CARTRIDGES SHALL BE MEDIA FILLED, PASSIVE, UPON ACTIVATED, BACKWASH, AND SELF-CLEANING. CAPACITY SHALL BE 100 GPM. 10" MEDIA CONTACT TIME SHALL BE AT LEAST 15 MINUTES.
 SPECIFIC SURFACE AREA SHALL BE 100 SQ. FT. PER CU. YD. OF MEDIA. MEDIA VOLUME SHALL BE 6 SQ. YD. OF MEDIA (MINIMUM).
CONSTRUCTION NOTES:
 1. CONTRACTOR TO PROVIDE ALL COMPONENTS SPECIFIED IN TABLE ABOVE.
 2. CONTRACTOR TO PROVIDE 10" MEDIA TO 10" DIA. FOR ALL CONCRETE COMPONENTS UNLESS OTHER ARRANGEMENTS ARE MADE WITH CITY ENGINEER PRIOR TO CONSTRUCTION.
 3. STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS SPECIFICATION. CONTRACTOR TO CONFORM STRUCTURE WITH ALL REQUIREMENTS OF PROJECT.
 4. STRUCTURE SHALL MEET AASHTO H20-10B (LOAD RATING) AND CASTINGS SHALL MEET AASHTO M240.
INSTALLATION NOTES:
 1. CONTRACTOR TO PROVIDE AND CAST-IN PLACE ALL CONCRETE COMPONENTS.
 2. CONTRACTOR TO PROVIDE AND CAST-IN PLACE ALL 10" DIA. MEDIA TO 10" DIA. FOR ALL CONCRETE COMPONENTS UNLESS OTHER ARRANGEMENTS ARE MADE WITH CITY ENGINEER PRIOR TO CONSTRUCTION.
 3. CONTRACTOR TO PROVIDE AND CAST-IN PLACE ALL 10" DIA. MEDIA TO 10" DIA. FOR ALL CONCRETE COMPONENTS UNLESS OTHER ARRANGEMENTS ARE MADE WITH CITY ENGINEER PRIOR TO CONSTRUCTION.
 4. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
 5. CONTRACTOR TO REMOVE FRAME AND COVER WHEN SYSTEM IS READY TO OPERATE.



SECTION A-A
N.T.S.



PLAN VIEW - DETENTION VAULT
1"=20'

SITE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

McADAMS
 The John R. McAdams Company, Inc.
 One Glenwood Avenue
 Suite 202
 Raleigh, NC 27603
 phone 919.823.4300
 fax 919.361.2369
 license number: C-00393, C-187
 www.mcadamsco.com

CLIENT
 GCI RESIDENTIAL, LLC
 10720 SHAW PLACE #150
 CHARLOTTE, NC 28277
 PHONE: 980.262.6133



CREEDMOOR ROAD APARTMENTS
 ADMINISTRATIVE SITE REVIEW
 5200 CREEDMOOR ROAD
 RALEIGH, NORTH CAROLINA, 27612

NO.	DATE	REVISION
1	08.05.2022	PER CITY OF RALEIGH FOR REVIEW
2	08.05.2022	PER CITY OF RALEIGH FOR REVIEW
3	10.13.2022	PER CITY OF RALEIGH FOR REVIEW
4	10.13.2022	PER CITY OF RALEIGH FOR REVIEW
5	01.07.2023	PER CITY OF RALEIGH FOR REVIEW
6	04.06.2023	PER CITY OF RALEIGH FOR REVIEW

PLAN INFORMATION
 PROJECT NO. SPEC-20108
 FILENAME: SPEC20108-00W
 CHECKED BY: ACP/MDS
 DRAWN BY: MDS
 SCALE: AS INDICATED
 DATE: 12.02.2022

SHEET

STORMWATER CONTROL MEASURE DETAILS

C9.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



CLIENT



CREEDMOOR ROAD APARTMENTS
ADMINISTRATIVE SITE REVIEW
5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27612

PLAN INFORMATION

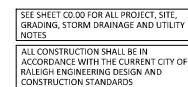
SHEET

STORMWATER CONTROL MEASURE DETAILS

C9.01



DETENTION VAULT STRUCTURAL DETAILS



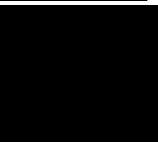
CONCRETE FLOW SPLITTER CONTROL BOX DETAILS
N.T.S.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

CLIENT
GCI RESIDENTIAL, LLC
10720 SAGES PLACE #150
CHARLOTTE, NC 28277
PHONE: 980.262.6133



CREEDMOOR ROAD APARTMENTS
ADMINISTRATIVE SITE REVIEW
5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27612



REVISIONS

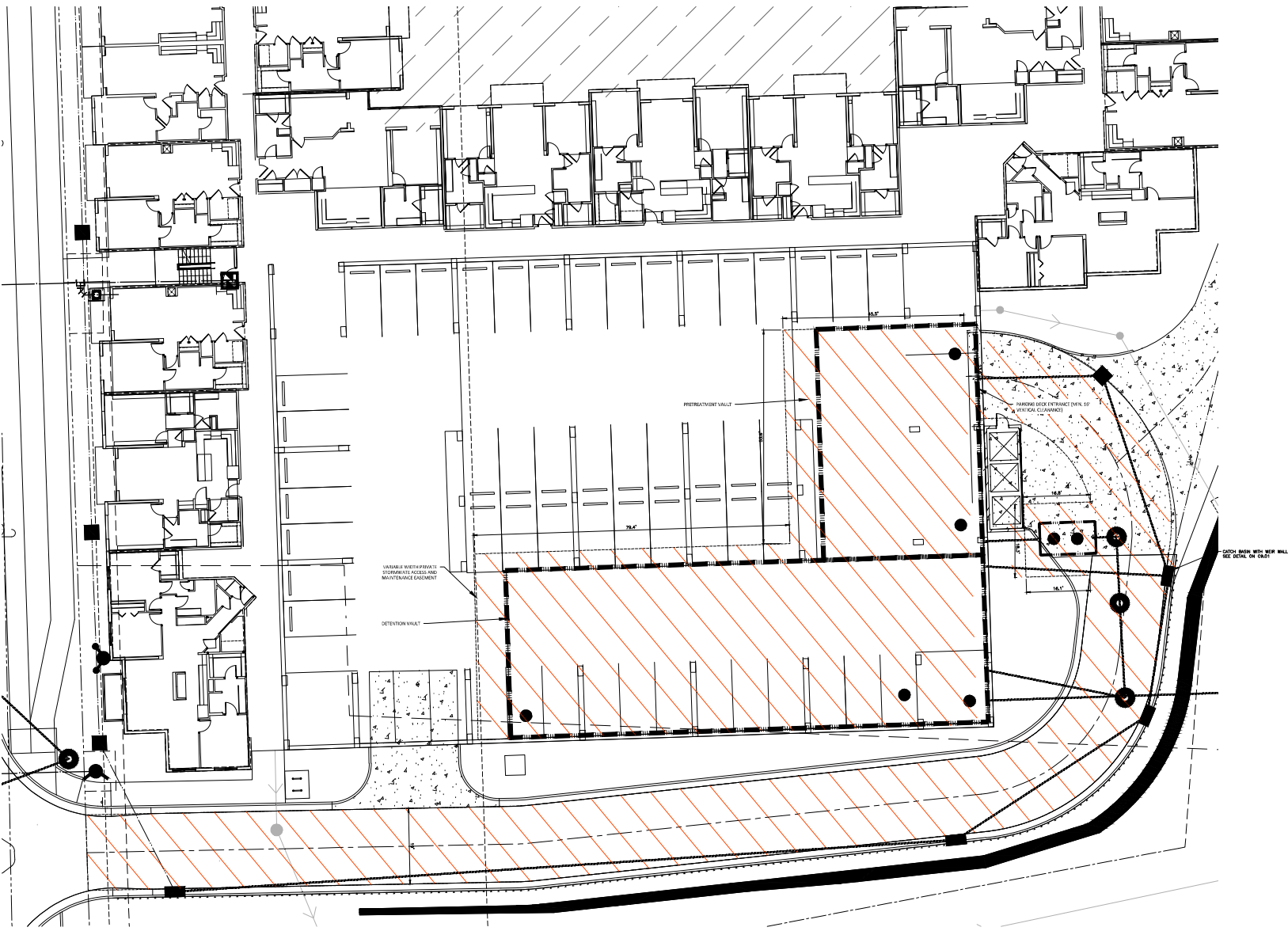
NO.	DATE	DESCRIPTION
1	08-05-2022	PER CITY OF RALEIGH 1ST REVIEW
2	08-05-2022	PER CITY OF RALEIGH 2ND REVIEW
3	08-13-2022	PER CITY OF RALEIGH 3RD REVIEW
4	08-18-2022	PER CITY OF RALEIGH 4TH REVIEW
5	08-18-2022	PER CITY OF RALEIGH 5TH REVIEW
6	08-18-2022	PER CITY OF RALEIGH 6TH REVIEW

PLAN INFORMATION

PROJECT NO.	SPEC 2010R
FILENAME	SPEC2010R.DWG
CHECKED BY	ACP/MDS
DRAWN BY	MDS
SCALE	AS INDICATED
DATE	12-02-2022

SHEET

**STORMWATER CONTROL
ACCESS EASEMENT
C9.02**



SITE SHEET CDD FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



McADAMS
The John R. McAdams Company, Inc.

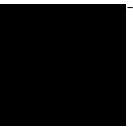
One Glenwood Avenue
Suite 201
Raleigh, NC 27603
phone 919.823.4300
fax 919.883.2309
license number: C-0293, C-187
www.mcadamsco.com

CLIENT

320 RESIDENTIAL, LLC
10720 SHES PLACE #150
CHARLOTTE, NC 28277
PHONE: 980.762.6133



CREEDMOOR ROAD APARTMENTS
ADMINISTRATIVE SITE REVIEW
5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27612



REVISIONS

NO.	DATE	DESCRIPTION
1	06.10.2022	REVISED FOR RALEIGH CITY REVIEW
2	06.10.2022	REVISED FOR RALEIGH CITY REVIEW
3	06.10.2022	REVISED FOR RALEIGH CITY REVIEW
4	12.02.2022	REVISED FOR RALEIGH CITY REVIEW
5	06.10.2022	REVISED FOR RALEIGH CITY REVIEW
6	06.10.2022	REVISED FOR RALEIGH CITY REVIEW

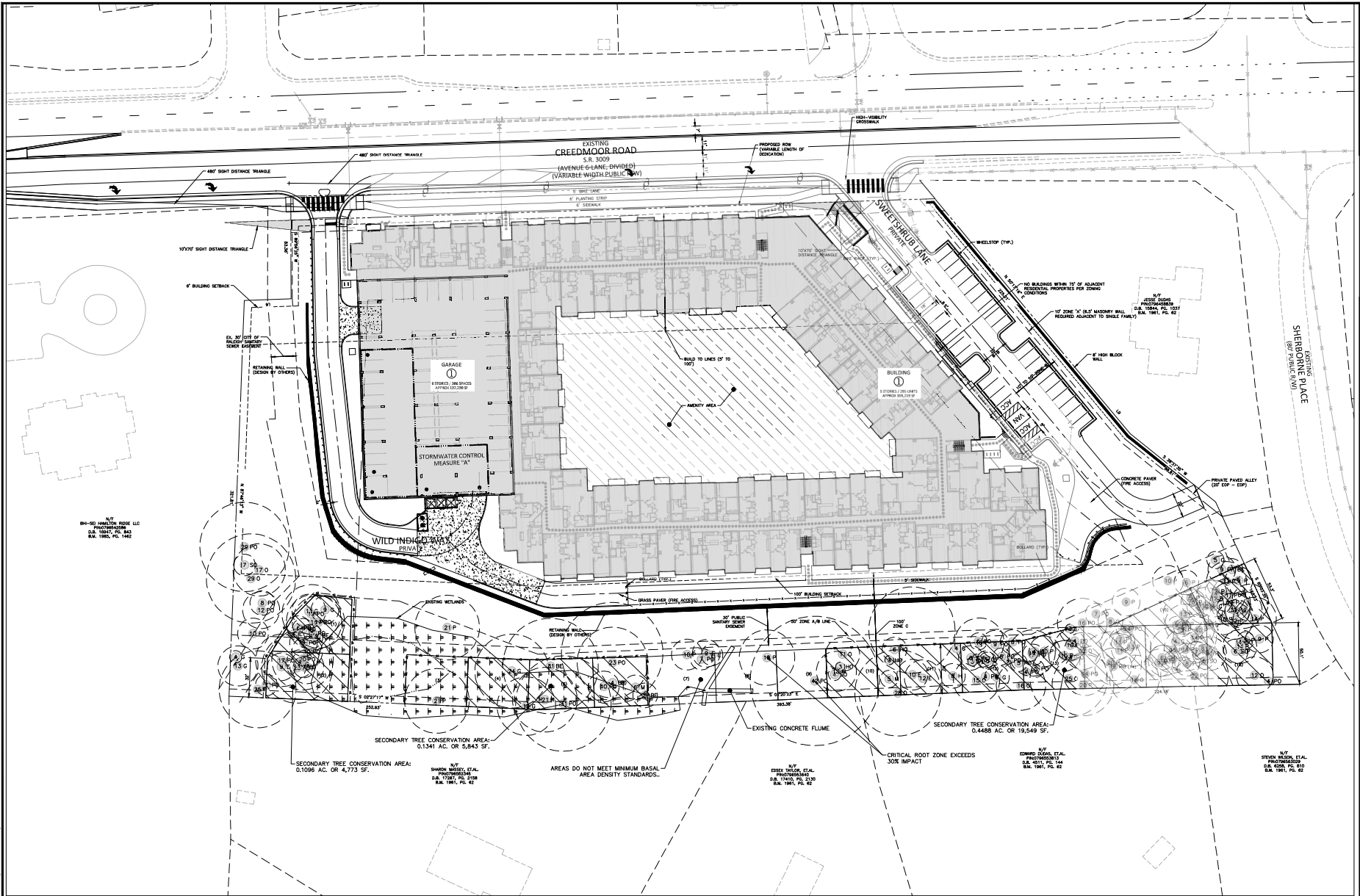
PLAN INFORMATION

PROJECT NO. SPEC-20104
FILENAME: SPEC-20104-TC1
CHECKED BY: ACV/MDS
DRAWN BY: MAM
SCALE: 1"=30'
DATE: 12.02.2022

SHEET

TREE CONSERVATION PLAN

L2.00



TREE LEGEND

18-A	ASH	28-00	WHITE OAK
18-B	CEDAR	18-01	OAK
18-C	CHERRY	18-02	PECAN
18-D	CRAPPE MYRTLE	18-03	PERSEPHONE
18-E	CYPRESS	18-04	PINE
18-F	DOGWOOD	18-05	POPULAR
18-G	ELM	18-06	REDBUD
18-H	SWEET GUM	18-07	SPYGLASS
18-I	HICKORY	18-08	WALNUT
18-J	HOLLY	18-09	DOUBLE AND TRIPLE TRUNKS
18-K	RED OAK	18-10	DOUBLE OAK
		18-11	TRIPLE OAK
		18-12	DOUBLE AND TRIPLE TRUNKS
		18-13	TRIPLE OAK
		18-14	DOUBLE AND TRIPLE TRUNKS
		18-15	TRIPLE OAK

TREE CONSERVATION CALCULATIONS:

GROSS SITE AREA: 6.83 AC.
RIGHT-OF-WAY DEDICATION: 0.39 AC.
NET SITE AREA: 6.44 AC. OR 299,283 SF.

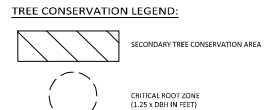
TREE CONSERVATION REQUIRED: 0.664 AC. OR 28,538 SF. (10.0%)
TREE CONSERVATION PROVIDED: 0.6925 AC. OR 30,165 SF. (10.4%)

SECONDARY TREE CONSERVATION AREA PROVIDED: 0.6925 AC. OR 30,165 SF. (10.4%)

TREE CONSERVATION NOTES:

TREE PROTECTION FENCING TO BE INSTALLED PER CITY OF RALEIGH STANDARD DETAIL TYPICAL.

EXISTING FENCE TO BE REMOVED FROM THE GROUND AND TREE CONSERVATION AREAS BY HAND, WITHOUT THE USE OF EQUIPMENT SUCH AS, BUT NOT LIMITED TO, A BORCAT, MISTLETOE, ETC.



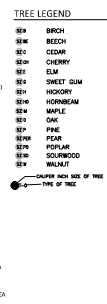
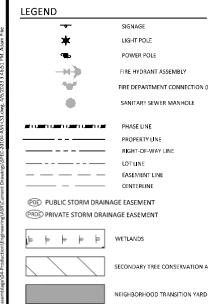
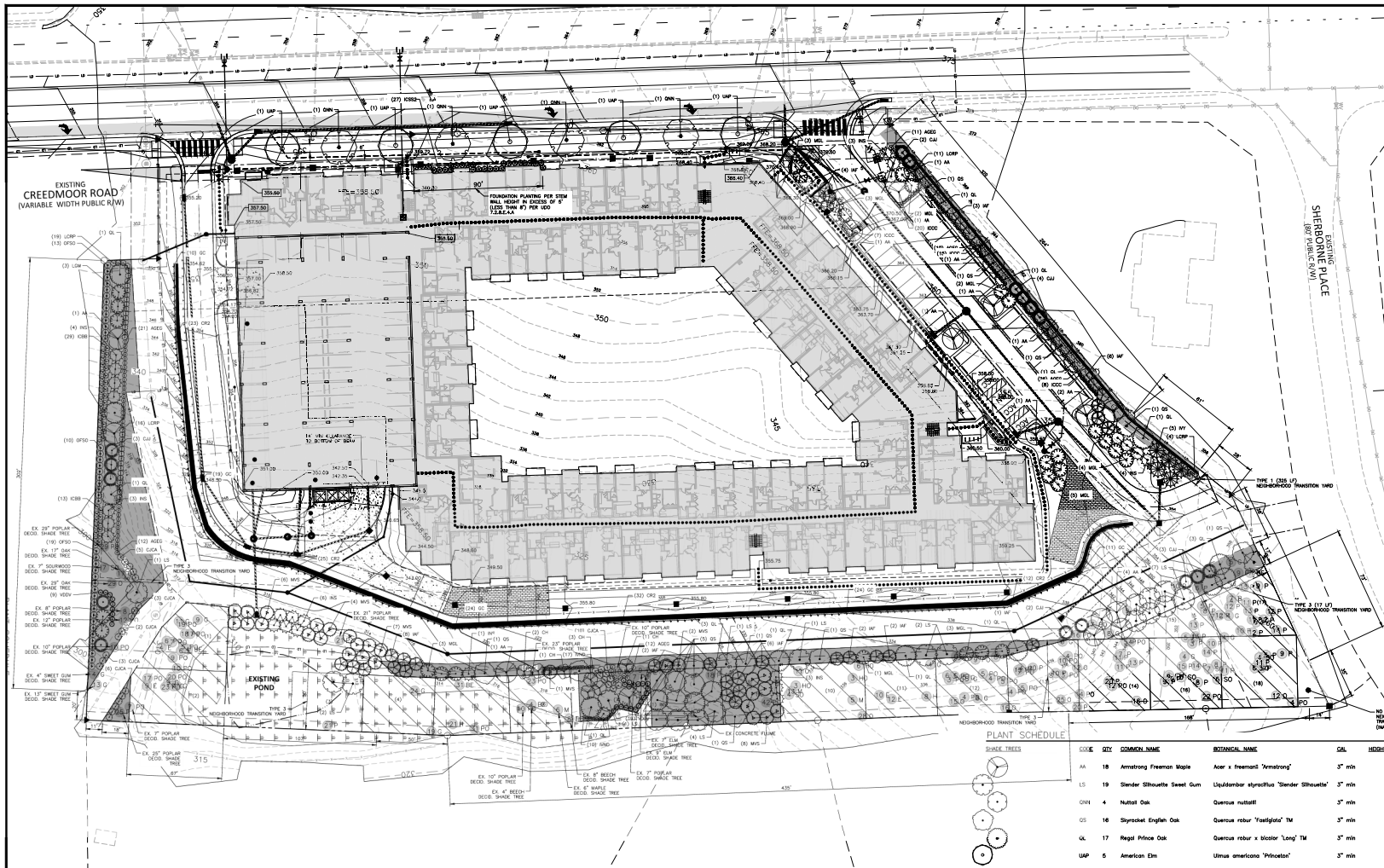
SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.



GRAPHIC SCALE
1"=30.0'

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



NEIGHBORHOOD TRANSITION CALCULATIONS:

NEIGHBORHOOD TRANSITION YARD

SEE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE.

NEIGHBORHOOD TRANSITION YARD

SEE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE.

ZONING CONDITION CALCULATIONS:

CONDITIONS

7' TO 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 7' TO 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 7' TO 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE.

STREET TREE CALCULATIONS:

STREET TREES

SEE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE.

FOUNDATION WALL SCREENING:

FOUNDATION WALL

SEE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE.

PARKING LOT SCREENING:

PARKING LOT

SEE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE. MINIMUM SET BACK TO THE FOLLOWING PROPERTY LINE SHALL BE 10' MIN. SET BACK TO THE FOLLOWING PROPERTY LINE.

PLANT SCHEDULE

CODE	QTY	COMMON NAME	SCIENTIFIC NAME	CAL.	HEIGHT	CONT.
AA	18	Armstrong Freeman Maple	Acer x Freeman 'Armstrong'	3"	min	
LS	19	Slender Silhouette Sweet Gum	Liquidambar styraciflua 'Slender Silhouette'	3"	min	
QV1	4	Natural Oak	Quercus nuttallii	3"	min	
OS	16	Syracuse English Oak	Quercus robur 'Syracuse'	3"	min	
UK	17	Regal Prince Oak	Quercus robur x bicolor 'Long TM'	3"	min	
AL	5	American Elm	Ulmus americana 'Princeton'	3"	min	
CAJ	16	Japanese Cedar	Cryptomeria japonica	-	6'	
NY	5	Yucca Holly	Ilex verticillata	-	6'	
NS	26	Nella Stevens Holly	Ilex x 'Nella R Stevens'	-	6'	
RF	34	Foster No. 2 Holly	Ilex x attenuata 'Foster No. 2'	-	6'	
MSL	31	Dwarf Southern Magnolia	Magnolia grandifolia 'Little Gem'	-	6'	
MS	26	Sweet Bay	Magnolia virginiana	-	6'	
CAJ	16	Japanese Cedar	Cryptomeria japonica	CAL	HEIGHT	CONT.
CH	7	Hearts of Gold Eastern Redbud	Cercis canadensis 'Hearts of Gold'	1.5"	min	
AGEG	89	Gray Abelia	Abelia x grandifolia 'Edward Goucher'	18"	min	
GUA	29	Cornelia	Cornelia japonica	18"	min	
KOR	42	Burford Chinese Holly	Ilex cornuta 'Burford'	18"	min	
KOR	50	Carless Holly	Ilex cornuta 'Carless'	18"	min	
KSS2	27	Steeds Japanese Holly	Ilex cornuta 'Steeds'	36"	min	
NND	27	Dwarf Yucca	Ilex verticillata 'Nand'	18"	min	
LEPD	75	Fringe Flower	Lamprolaima chinensis 'Purple Diamond'	18"		
OFSD	42	Sweet Olive	Cantharus fragrans	18"	min	
VDV	28	David Viburnum	Viburnum davidii	18"	min	
CR2	92	Trumpet Creeper	Campsis radicans	-	60" e.s.	1 gal
OC	88	Yellow Jasmine	Yasminum repens 'Carolina'	-	60" e.s.	5 gal

EVERGREEN UNDERSTORY TREES

UNDERSTORY TREES

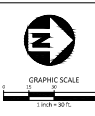
EVERGREEN SHRUBS

VINE/CRAWLER

ALL VINES TO BE PLANTED ON TOP OF THE WALL.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.



CLIENT

303 RESIDENTIAL, LLC
10720 SHERBORN PLACE #150
CHARLOTTE, NC 27603
PHONE: 919.823.4300
FAX: 919.385.2289
LICENSE NUMBER: C-0259, C-187
www.mcadams.com



CREEDMOOR ROAD APARTMENTS
ADMINISTRATIVE SITE REVIEW
5200 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA, 27612

REVISIONS

NO.	DATE	DESCRIPTION
1	06.12.2022	REVISED FOR RALEIGH CITY REVIEW
2	08.12.2022	REVISED FOR RALEIGH CITY REVIEW
3	08.12.2022	REVISED FOR RALEIGH CITY REVIEW
4	12.01.2023	REVISED FOR RALEIGH CITY REVIEW
5	08.01.2023	REVISED FOR RALEIGH CITY REVIEW
6	08.01.2023	REVISED FOR RALEIGH CITY REVIEW

PLAN INFORMATION

PROJECT NO. SPEC-2020-04
FILENAME: SPEC-2020-04-151
CHECKED BY: AC/MDS
DRAWN BY: JAM
SCALE: 1"=10'
DATE: 12.02.2022

SHEET

LANDSCAPE PLAN

L5.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



Shoebox "S" Pedestrian LED



The energy-efficient Shoebox "S" Pedestrian LED combines a decorative, contemporary style with functionality and results in lighting that is perfect for streets, parking lots, commercial buildings and residential areas. The Shoebox "S" Pedestrian LED provides excellent color rendering along with a residential light pattern that minimizes glare and keeps the light directed only where you want it.

LED 50 watts

Light distribution: CIES

Mounting height: 24', 28', 16'

Color: 3 REC

Search and seizure: 100%

Police: 100%

Decommission: 100%

Applications: Neighborhoods, Parks, Shopping centers

For additional information, visit our website at www.dukeenergy.com/lighting or call us at 1-800-779-0033.



Shoebox "S" Pedestrian LED

Light source: LED 50/70W
Wattage: 52
Lumen: 5,750
Light pattern: ESD Type III beam
IESNA Footlight - Light - 60° Beam Rating: 3:10:61
Color temperature: 4,200K



Police and security:	Mounting height:	Color:
Police	24'	Black
Police	28'	Black
Police	16'	Black
Police	12'	Black

Features:	Benefits:
LEDs are installed at the street	Provides support for other projects
Designs created by lighting professionals are featured	Meets industry standards and lighting performance
Modern features featured	Eliminates risk and unexpected repair bills
Weatherproof technology	Low maintenance and replacement service
Weatherproof technology	Weather-free
One-time installation cost on your schedule bill	Cost-effective and savings for you
Weather-resistant	Positive results for installation and service
Weather-resistant	A variety of uses for lighting ... and more!

USCAR File Group Number: 12077 0-0

REV#	DATE	REVISION	BY
Rev A	06/10/22	Pedestrian Shoebox	NJ

Customer approval:	Date:

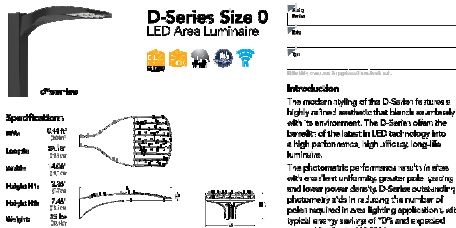
LIGHTING DESIGN TOLERANCE

The tolerance for lighting design is defined as the difference between the actual and intended values of the lighting design. The tolerance for lighting design is defined as the difference between the actual and intended values of the lighting design. The tolerance for lighting design is defined as the difference between the actual and intended values of the lighting design.



PROPRIETARY & CONFIDENTIAL
This document together with the concepts and designs presented herein, is the sole property of Duke Energy, and is intended only for the specific purpose and prospective client as stated in this block of this drawing. Any use, copying, reproduction or disclosure of the drawing, design or any information contained herein by the prospective client or other entities, including without limitation architects, engineers, or equipment manufacturers is hereby expressly prohibited and shall not be permitted without prior written consent from, and payment of compensation to Duke Energy. Duke Energy disclaims any liability or responsibility for any unauthorized use of or reference to this document.

CREEDMOOR RD APARTMENTS	
Raleigh, NC	
SITE LIGHTING PLAN	
Designed by	DEP LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale: 1" = 40'
Date:	06/10/2022 Size: "Arch D"
Description	LED 50w Pedestrian Shoebox
Drawing No.	22-0224A Sht. 1 OF 1



EXAMPLE: DS40 LED P6 40/7000 75W MVOLT 18"X45" 2'x2' BIN IN DS40

Item	Quantity	Unit	Description	Notes
DS40 LED P6 40/7000 75W MVOLT 18"X45" 2'x2' BIN IN DS40	1	Each	DS40 LED P6 40/7000 75W MVOLT 18"X45" 2'x2' BIN IN DS40	

Item	Quantity	Unit	Description	Notes
DS40 LED P6 40/7000 75W MVOLT 18"X45" 2'x2' BIN IN DS40	1	Each	DS40 LED P6 40/7000 75W MVOLT 18"X45" 2'x2' BIN IN DS40	

Notes:

- DS40 LED P6 40/7000 75W MVOLT 18"X45" 2'x2' BIN IN DS40
- DS40 LED P6 40/7000 75W MVOLT 18"X45" 2'x2' BIN IN DS40
- DS40 LED P6 40/7000 75W MVOLT 18"X45" 2'x2' BIN IN DS40

Copyright © 2010 by Luminaire Technology, Inc. All rights reserved.



Light Distribution Diagram

The diagram illustrates the light distribution pattern of the luminaire, showing a beam spread of 120 degrees and a footcandle distribution across the illuminated area.

Light Distribution Diagram

The diagram illustrates the light distribution pattern of the luminaire, showing a beam spread of 120 degrees and a footcandle distribution across the illuminated area.

Light Distribution Diagram

The diagram illustrates the light distribution pattern of the luminaire, showing a beam spread of 120 degrees and a footcandle distribution across the illuminated area.

Light Distribution Diagram

The diagram illustrates the light distribution pattern of the luminaire, showing a beam spread of 120 degrees and a footcandle distribution across the illuminated area.

Light Distribution Diagram

The diagram illustrates the light distribution pattern of the luminaire, showing a beam spread of 120 degrees and a footcandle distribution across the illuminated area.

Light Distribution Diagram

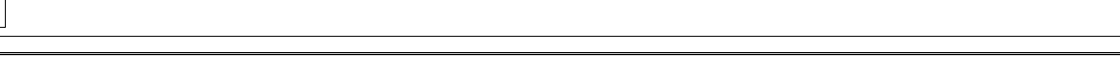
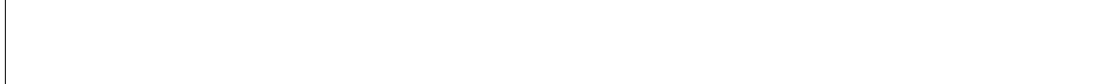
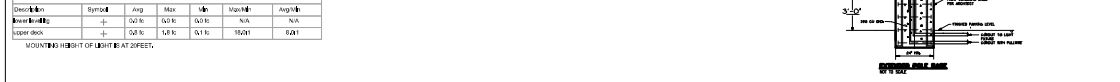
The diagram illustrates the light distribution pattern of the luminaire, showing a beam spread of 120 degrees and a footcandle distribution across the illuminated area.

Light Distribution Diagram

The diagram illustrates the light distribution pattern of the luminaire, showing a beam spread of 120 degrees and a footcandle distribution across the illuminated area.

Light Distribution Diagram

The diagram illustrates the light distribution pattern of the luminaire, showing a beam spread of 120 degrees and a footcandle distribution across the illuminated area.



JSE
Jordan & Skala
Engineers
4275 Shattuck Road, Suite 200
Norcross, GA 30092-9297
p. 770.447.5544 • f. 770.448.0262

THIS DRAWING IS THE PROPERTY OF JORDAN & SKALA ENGINEERS, INC. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION BY JORDAN & SKALA ENGINEERS.

CREEDMOR RESIDENTIAL

NORTH CAROLINA

DATE	ISSUED FOR
12/01/2012	ASR SITE PLAN SUBMISSION

DATE	DESCRIPTION
XX/XX/XXXXXX	XXXX

Project Number: 1730785
Drawn by: XXX Checked by: XXX
SHEET TITLE
PHOTOMETRIC SITE PLAN

SHEET NUMBER
ES-100
NOT FOR CONSTRUCTION

AREA & PARKING CALCULATIONS

Aggregate Area per Floor

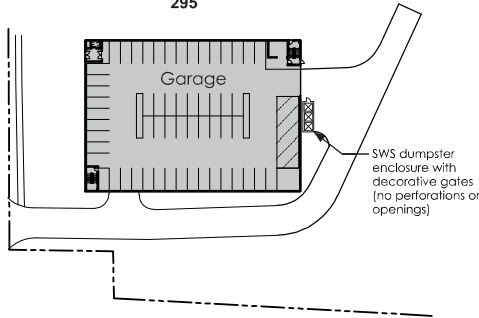
Level	Garage Area (SF)	Building Area (SF)	Total Area (SF)	Parking Spaces
Building Level 5 / Garage Roof Lvl	5,348	36,544	41,892	13
Building Level 4 / Garage Level 5	21,147	76,276	97,423	64
Building Level 3 / Garage Level 4	21,147	76,276	97,423	64
Building Level 2 / Garage Level 3	21,147	76,276	97,423	64
Building Level 1 w/ mezz./ Garage Lvl 2	21,147	65,828	86,975	64
Ground Level (courtyard) / Garage Lvl 1	21,147	64,019	85,166	62
Garage Basement	21,147	---	21,147	55
Total	132,230	395,219	506,302	386

UNIT MIX & AREAS

Unit	Area (SF)	Qty	Qty/Type	%
S1	588	24	25	8
S1M	885	1		
A1	747	44		
A2	904	67		
A2M	1,355	2		
A3	1,013	1		
A4	977	5	137	46
A5	667	3		
A6	917	3		
A7	620	5		
A8	738	3		
A9	622	4		
B1	1,145	45		
B2	1,254	47	118	41
B3	1,150	19		
B3M	1,728	1		
B4M	1,147	3		
B5M	1,246	3		
C1	1,519	5		
C2	1,610	10	15	5

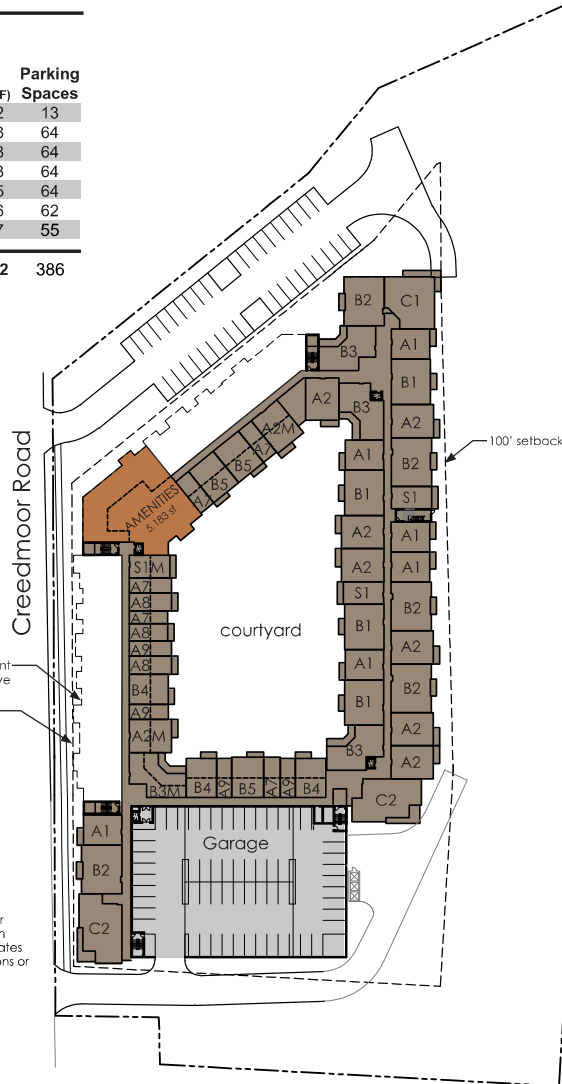
Total

295



Garage Basement Plan

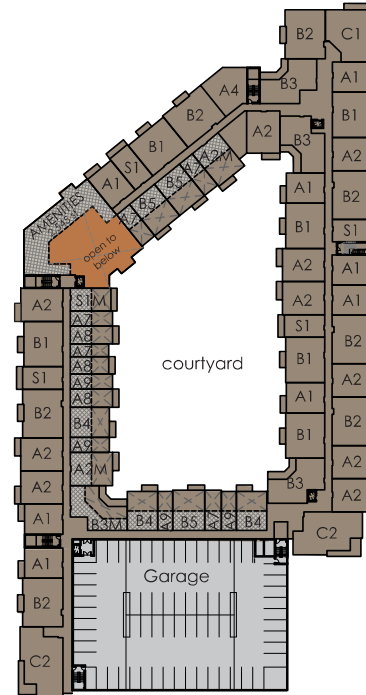
FFE 342.50



Building Ground Level (courtyard)

Garage Level 1

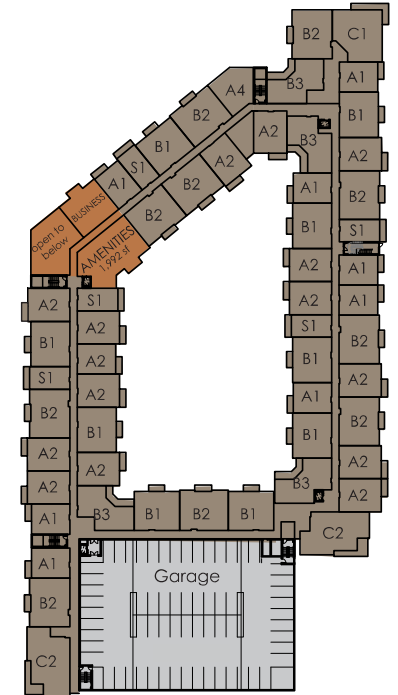
FFE 358.50



Building Level 1 w/ mezzanines

Garage Level 2

FFE 368.50



Building Level 2

Garage Level 3

FFE 378.50

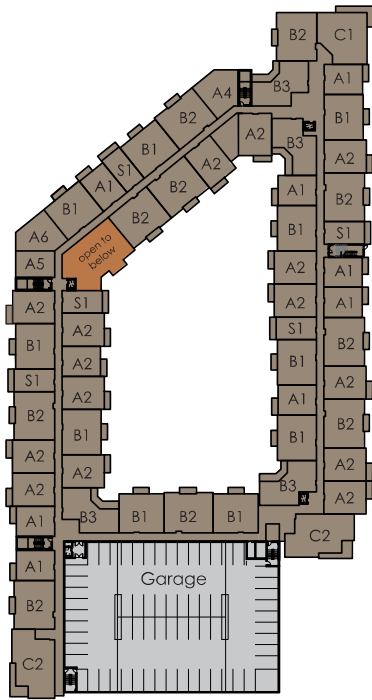
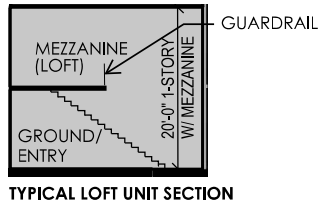
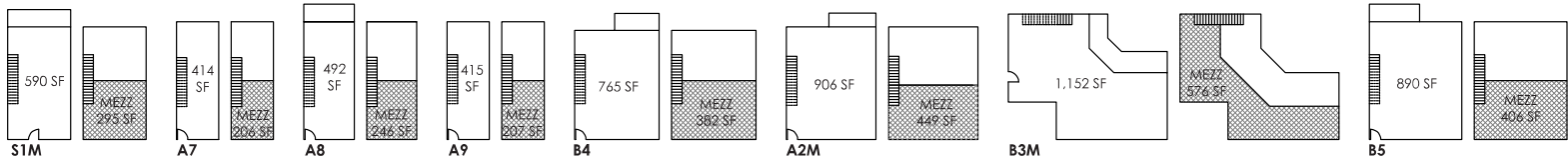
LEGEND

	GARAGE
	AMENITIES
	5-STORY APARTMENTS
	MEZZANINES

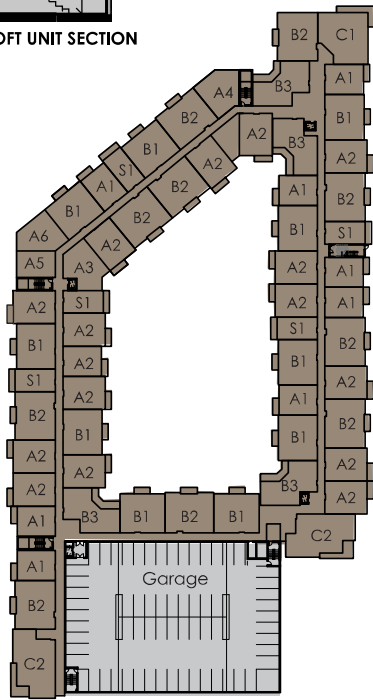
AMENITY & LOFT UNIT MEZZANINE CALCULATIONS

Location/Unit	Ground (SF)	Mezzanine (SF)	Floor Area %
AMENITIES	5,183	2,545	49
S1M	590	295	50
A2M	906	449	50
A7	414	206	49
A8	492	246	50
A9	415	207	49
B3M	1,152	576	50
B4	765	382	49
B5	890	406	48

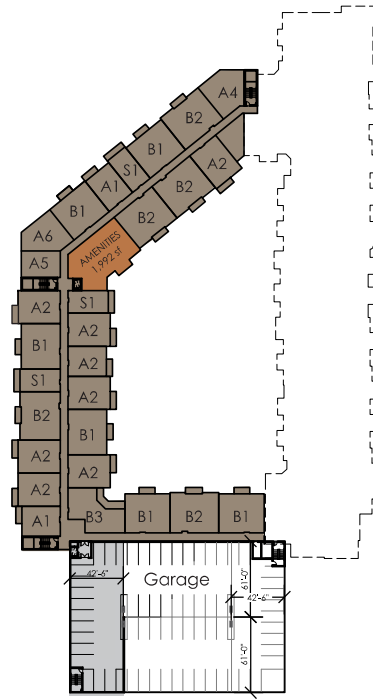
LOFT UNIT PLANS



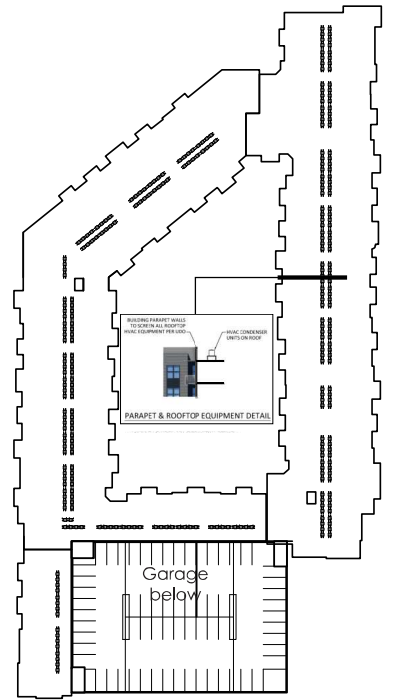
Building Level 3
Garage Level 4
FFE 388.50



Building Level 4
Garage Level 5
FFE 398.50



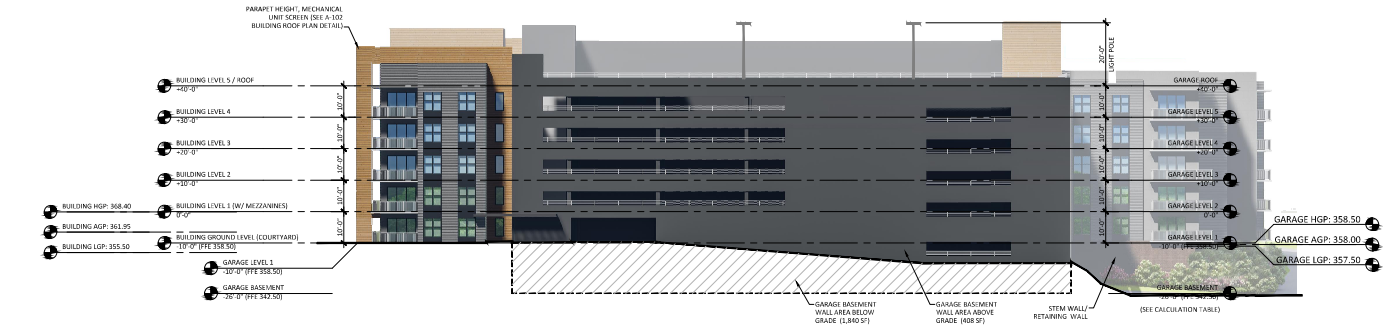
Building Level 5
Garage Roof Level
FFE 408.50



Building Roof Plan
Garage below
FFE 418.50



EAST ELEVATION
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

GARAGE BASEMENT EXPOSURE CALCULATION PER TC-17-16

ELEVATION	AREA OF EACH WALL PANE FACADE	BELOW GRADE SF	FACADE % BELOW GRADE
NORTH	2,248 SF	2,248 SF	100%
SOUTH	2,248 SF	1,840 SF	82%
EAST	1,523 SF	809 SF	53 %
WEST	1,710 SF	1,710 SF	100%
TOTAL AREA OF ALL WALL PANES = 7,729 SF			
50% OF TOTAL WALL PANES = 3,864 SF			
TOTAL ACTUAL AREA BELOW GRADE = 6,607 SF			
ACTUAL % OF AREA BELOW GRADE = 85.5%			

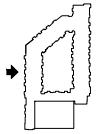
AREA & PARKING CALCULATIONS

Aggregate Area per Floor

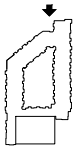
Level	Garage Area (sf)	Building Area (sf)	Total Area (sf)	Parking Spaces
Building Level 5 / Garage Roof Lvl	5,348	36,544	41,892	13
Building Level 4 / Garage Level 5	21,147	76,276	97,423	64
Building Level 3 / Garage Level 4	21,147	76,276	97,423	64
Building Level 2 / Garage Level 3	21,147	76,276	97,423	64
Building Level 1 w/ mezz./ Garage Lvl 2	21,147	65,828	86,975	64
Ground Level (courtyard) / Garage Lvl 1	21,147	64,019	85,166	62
Garage Basement	21,147	---	21,147	55
Total	132,230	395,219	506,302	386



WEST ELEVATION
SCALE: 1/16" = 1'-0"



NORTH ELEVATION
SCALE: 1/16" = 1'-0"



GARAGE BASEMENT EXPOSURE CALCULATION PER TC-17-16

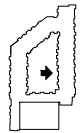
ELEVATION	AREA OF EACH WALL PANE FACADE	BELOW GRADE SF	FACADE % BELOW GRADE
NORTH	2,248 SF	2,248 SF	100%
SOUTH	2,248 SF	1,840 SF	82%
EAST	1,523 SF	809 SF	53%
WEST	1,710 SF	1,710 SF	100%

TOTAL AREA OF ALL WALL PANES = 7,729 SF
50% OF TOTAL WALL PANES = 3,864 SF
TOTAL ACTUAL AREA BELOW GRADE = 6,607 SF
ACTUAL % OF AREA BELOW GRADE = 85.5%

AREA & PARKING CALCULATIONS

Aggregate Area per Floor

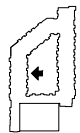
Level	Garage Area (sf)	Building Area (sf)	Total Area (sf)	Parking Spaces
Building Level 5 / Garage Roof Lvl	5,348	36,544	41,892	13
Building Level 4 / Garage Level 5	21,147	76,276	97,423	64
Building Level 3 / Garage Level 4	21,147	76,276	97,423	64
Building Level 2 / Garage Level 3	21,147	76,276	97,423	64
Building Level 1 w/ mezz./ Garage Lvl 2	21,147	65,828	86,975	64
Ground Level (courtyard) / Garage Lvl 1	21,147	64,019	85,166	62
Garage Basement	21,147	---	21,147	55
Total	132,230	395,219	506,302	386



INTERIOR COURTYARD WEST ELEVATION
SCALE: 1/16" = 1'-0"



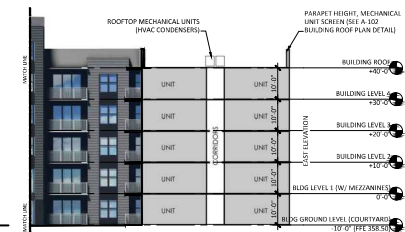
INTERIOR COURTYARD NORTH ELEVATION
SCALE: 1/16" = 1'-0"



INTERIOR COURTYARD EAST ELEVATION
SCALE: 1/16" = 1'-0"



INTERIOR COURTYARD SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



INTERIOR COURTYARD SOUTH ELEV (CONT)
SCALE: 1/16" = 1'-0"