

Case File / Name: ASR-0024-2022 DSLC - Creedmoor Road Apartments (ASR)

LOCATION:This site is located on the north side of Glenwood Avenue, east of Creedmoor Road
at 5200 Creedmoor Rd.REQUEST:Development of a 6.83 acre/297,650 sf tract zoned RX-5-PL CU, with .19
acres/8,367 sf of right-of-way dedication, leaving a net area of 6.64 acres/289,283
sf. A site development for a proposed 295 unit apartment building. 162 1-bedroom,
118 2-bedroom & 15 3-bedroom units. Building gross area include 395,219 sf
structure with apartment units, including loft/mezzanine units on the interior
courtyard. A parking enclosure of 132,230 sf for total area of approximately
527,449 sf.

Z-10-21 (5114, 5118, 5120, 5200, 5206 Creedmoor Road); Adopted 10/21/19 and Effective 10/24/21. Site design and landscaping screening improvements.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 6, 2023 by McAdams Company.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Revise the overall site development gross building area total, for the building and garage structure, as shown on the coversheet data table and transposed application form.

Stormwater

- 2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer or wetlands prior to the issuance of any grading or site permit (UDO 9.2.3.E).
- 3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
- 4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



Case File / Name: ASR-0024-2022 DSLC - Creedmoor Road Apartments (ASR)

5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

- 6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
- 7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

 ☑ Right of Way Deed of Easement Required



☑ <u>**RECORDED MAP(S)**</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- 1. A demolition permit shall be issued and this building permit number shown on all maps for recording.
- 2. A recombination plat shall be recorded recombining the deeded parcels into a single development tract as shown on the ASR site plan.

Engineering

- 3. A fee-in-lieu for transit stop improvements to stop #8686 is paid to the City of Raleigh (UDO 8.1.1(
- 4. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities



Case File / Name: ASR-0024-2022 DSLC - Creedmoor Road Apartments (ASR)

5. Infrastructure Construction Plans (spr submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

7. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .6925 acres of tree conservation area.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

- 1. A recombination map shall be recorded, recombining the existing lots into a single tract.
- 2. Comply with all conditions of Z-10-21.
- 3. A demolition permit shall be obtained.

Engineering

- 4. A public infrastructure surety shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
- 5. A fee-in-lieu for transit stop improvements to stop #8686 is paid to the City of Raleigh (UDO 8.1.1(

Public Utilities

- 6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.
- 7. Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building).
- 8. Initiation of the easement exchange process is required (via dedication of new easement on record plat, ending with abandonment of old easement on subsequent deed).

Stormwater



- Case File / Name: ASR-0024-2022 DSLC - Creedmoor Road Apartments (ASR)
- 9. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 10. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 11. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

- 12. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 9 street trees along Creedmoor Rd.
- 13. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
- 14. A public infrastructure surety for the 9 required street trees shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- 2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

- 3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- 4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:



Case File / Name: ASR-0024-2022 DSLC - Creedmoor Road Apartments (ASR)

3-Year Expiration Date: May 10, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

anial Steadly 05/10/2023 Signed: _ Date:

Development Services Dir Development Services Dir Designee Staff Coordinator: Jermont Purifoy

CREEDMOOR ROAD APARTMENTS

ADMINISTRATIVE SITE REVIEW



Company: GCI RESIDENTIAL		Title: PRE-CONSTRUCTION MANAGER
Address: 25101 CHAGRIN BLVD, 1	SUITE 300, BEACHWOO	D, OH 44122
Phone #: 980-262-6133	Email: dboes	ch@gciresidential.com
Applicant Name: ADAM PIKE, PE		
Company: MCADAMS	Address:1 0	LENWOOD AVENUE, SUITE 201, RALEIGH, NC 2760
Phone #: 919-395-2272	Email: pikeß	mcadamsco.com

Page 1 of 2

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all develops SITE DATA BUILDING DATA gross floor area (not to be demolished) RX-5-PL-CU Existing gross floor area to be demolished: 0.09 acres New gross floor area: 506,302 SF Gross site acreage: 6,83 acres Total sf gross (to remain and new): 506,302 SF Proposed # of buildings: 2 # of parking spaces required: 40 # of parking spaces proposed: 436 Overlay District (if applicable): N/A Proposed # of stories for each: 5 Existing use (UDO 6.1.4): SINGLE FAMILY / VACANT Proposed use (UDO 6.1.4): APARTMENT Existing Impervious Surface: Proposed Impervious Surface: Acres: 335 Square Feet: 140,065 Is this a flood hazard area? Yes No FEMA Map Panel #: Yes No 🖌 Wetlands Yes 🖌 Neuse River Buffer No 🗌 RESIDENTIAL DEVELOPMENTS Total # of dwelling units: 295 Total # of hotel units: 0 # of bedroom units: 1br 162 2br 118 3br 15 4br or more 0

# Of IOIS, 1	is your project a cottage count?	Tes	NO
SIGNATU	JRE BLOCK		
The undersigned indicates that the property owner(s) is an			

cescribed in this application will be maintained in all respects in accordance with the pans and specifications submitte herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance will serve as the agent regarding this application, and will receive will serve as the agent regarding this application, and will receive interative comments, resudmit plans and applicable documentation, and will represent the property a meeting regarding this application. ADAM PIKE and respond to adr owner(s) in any put We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable w proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy which states applications will explain after 150 days of instrihity.

Signature: Adam Poke Date: 040

Page 2 of 2

5200 CREEDMOOR ROAD ZONING CONDITIONS: RALEIGH, NORTH CAROLINA, 27612 2-10-31 - 5114, 5118, 5130, 5300, 5306-CHEDWOOR PD LIN LOCITION TO INSIE OF HIM HE PROFERTIO IN THE LOCA, THE FOLLOWING LINES LAR PROFERTION MANDALING, CONSIGN TRATEMENT, SOUDITY, CONSTERF, SCHOOL, BED AND MELROART, BEDITALTY HOUSE, PLANME AS A PRINCIPAL BE AND GETOOD CITY OF RALEIGH CASE #: ASR-0024-2022 PAGLERY, RESPONDE: NO SUCH USES ARE PROPADED. 2.THORE SHALL BE A MAXIMUM OF 200 ANTIS RESPONDENTIAL UNITS. RESPONDED: A MAXIMUM OF 200 ANTIS REPROPADED. REFERENCE A MARIAN OF SEC MY E FORCED. 23.0 PERCENDER OR ACCESSION SEL DANS MELALOWIN WITHIN SCIENT (EN 1997) OF THE POLICYING PROPERTY INSTITUTE REPARTMENT. 20.0 PERCENDER OVER OWER BORING PRODUCED. **PROJECT NUMBER: SPEC-20104** REPORTE NO RUILONS & PROPOSED WITHIN 157 OF MIREL NO REPORTSION. AND PRINCIPAL OR ACCESSION IN LONGS ARE ALLOWED WITHIN SOF OF THE FOLD AND PRINCIPAL OR ACCESSION PROPERTY, OF RECEASE & REPORTSI-TO PROPERTY, DRIVING AND ADDRESS AND AD PORTA NO IS A DESCRIPTION OF DRAFT AND A DRAFT DATE: APRIL 4, 2022 **REVISED: JUNE 10, 2022** REVISED: AUGUST 5, 2022 REVISED: OCTOBER 13, 2022 2.THE TA' WERE COME ADJACENT TO THE POLICIPANE PROPERTY DEVELOPMENT AND A SHALL INCLUDE 30 CHEMICENT UNDERTOON THESE PROTOCOLOGY, RET TA ADDITION TO THE PRO-DOCTY THE RET THE COMENTION OF SHALL PARTICIPANE ADDITIONAL THE TRANSPORT THESE PRODUCTS. the resource was investigated by the constraints and the resource of the resource and the resource and the resource of the REVISED: DECEMBER 02, 2022 REVISED: MARCH 7, 2023 FOR THESE. BATE AND THE MANY SESSION OF CONSISTENCE THE TWE OF THE REST STEP AND SUMPERAL THE TRANSPORTATION OF SESSION. INCLUDE A SERVICE 1829062. Ли и и волжитита и поредница на колороди и реаларов доче гне кателе нарите про идитера поре нарителя и подован и менента силота за и нада кака кака и села коо неготора на наритера произой наритера и поре наритера и подован и менента силота за и нада кака и села коо неготора на наритера на пореда на пореда и пореда села на на подовани на пореда Пореда на REVISED: APRIL 6, 2023 SITE DATA PARKING + BUILD-TO DATA 162 - 1 REDROOM UNITS 118 - 2 REDROOM UNITS 15-3 REDROOM UNITS LLIS CREDMICOR POLID, PALIDIRI, NORTH CAPOLINA, 27612 / PIN GTOGASSIB L2D CREDMICOR POLID, PALIDIRI, NORTH CAPOLINA, 27617 / PIN GTOGASSIB DGC CREEDWICOR POLID, PALIDIRI, NORTH CAPOLINA, 27612 / PIN GTOGASSIO DGC CREEDWICOR POLID, PALIDIRI, NORTH CAPOLINA, 27612 / PIN GTOGASSIO 279803499/00000 цермация (AV9209803249 90000, Myr Malayn Ym Hawranger Ym Hawranger) Regelerae Differ o gent fas yn yf ym ym Mae yr an dy far addi mar yn ym Ym Gaf ferfert 15. 22 Martin y Marie Malays of Structurio Maria efficie y Societhio Fran Malay Will Harpy far offenens for Panis of News Ad Berse. NJ 8150081W. 25101 DIVORN BLVD, SJITT 390, BLADYWOOD, OH 44122 3901 202-2272 369 TOTAL SPACES (5 SPACE)? BEDROOM UNIT) % 562 UNITS - 162 SPACES (1.5 SPACE)? BEDROOM UNIT) % 158 UNITS - 167 SPACES (2.5 SPACES? BEDROOM UNITS / 310 UNITS - 305 SPACES IOT BY OTHER BETTEL COM IN.-OU (RESIDENTIAL MARCHUSE - 5 STORY - INVERING LIMITED - CONDITIONAL CLUBHOUSE: 38 TOTAL SPACES (1 SPACE/380 SP) X 11,264 SP = 38 SPACES SHEET INDEX C0.00 PROJECT NOTES RECURED: 9 TOTAL ACCESSIBLE SPACES, 2 VAN SPACES PROVIDED: 9 TOTAL ACCESSIBLE SPACES, 2 VAN SPACES C1.00 EXISTING CONDITIONS DEMOLITION PLAN C1.01 raleighnc.go NTIGE VACANT: SINGLE FAMILY RESERVED AT A SINGLE FAMILY PER 2021 UDO V CONSIDERATION APARTMENTS: 15 TOTAL SPACES (1 SPACE/20 UNITS; 4 MIN C2.00 OVERALL SITE PLAN CLUBHOUSE: 4 TOTAL SPACES IT SPACE/5.000 SF: 4 MIN. OVERALL GRADING PLAN C3.00 VIED: 20 SPACES (LORADES, 2 SPACES EACH AN INED: 0 TOTAL SPACES APARTMENTS: 0 TOTAL SPACES (MONE REQUIRED) N NIVATY STREET (MP PL PRIMARY STREET (MIN(MAX) PRIMARY BUILDING WICHI (MIN) SIDE STREET (MIN/MAR) SIDE BUILDING WICHI (MIN): C4.00 OVERALL UTILITY PLAN BIKE PARKAN 20 ICREEDWOOD NO - TO WONDEE 20 ICR C8.00 SITE DETAILS CLINE (MIN): TLINE (MIN): TLINE (MIN): SITE DETAILS WATER DETAILS C8.01 C8.02 CUBHOUSE: 0 TOTAL SPACES (MONE REQUIRED) DE LOT UNE: C8.03 C8.04 WATER DETAILS BUILDING HOOHT: IPER UDO SECTION 3.3.2.4 702- - PL 5 STORES (87) 7 STORES (97) CON NULL DANS (207) STORM DRAINAGE DETAILS C8.05 SEWER DETAILS C9.00 STORMWATER MANAGEMENT DETAILS C9.01 STORMWATER MANAGEMENT DETAILS 0.69 AC 0 0.34 AC 0 3.55 AC 0 1340 AC NUCLES AREA C9.02 STORMWATER CONTROL ACCESS EASEMENT 12.00 TREE CONSERVATION PLAN BUILD TO CALCULATIONS: FOR USIO SECTIO AGLACENT PROP THAN 2 ACRES. AND/ANDS SHALL NOT APPLY CHED BUILDING TYPE ON LC L5.00 OVERALL L 15.01 LANDSCAP RECEIVES & AND C DO NOT APPLY TO ATTACHED HOUSE, TOWNHOUSE OR APARTMENT WHERE THE PROPOSED OR CERTING BUILDING HEIGHT IS SO FEET ON LESS, PROVIDED INC. AND ADDRESS TO ANY APPLICATE FROM AND INCOMENTATION OF A DESCRIPTION. EDMOUGRIDAD: 525 D REQUIRED BUILDING WIDTH IN BUILD TD: 262 LF (50%) PROVIDED BUILDING WIDTH IN BUILD TD: 262 LF (50%) 1 OF 1 DUKE ENER ES-100 PARKING E OUTDOOR AMENITY AREA CALCULATIONS: A-101 CONCEPTU TE APEA: 6.64 AE. OR 200,203 ST PEDURED AMENTY APEA: 0.54 AE OR 200,203 ST PEDURED AMENTY APEA: 0.11 AE OR 210,203 ST CONCEPTU A-102 A-201 CONCEPTUAL ELEVATIONS SOLID WASTE COMPLIANCE STATEMENT: CONCEPTUAL ELEVATIONS A-202 THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOUD WASTE DESIGN MANUAL. A-203 CONCEPTUAL ELEVATIONS THE SOLD WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE PROVIDER. HORIZONTAL DATUM: NAD 83 W MELLIROOK ROAD TOTAL LIMITS OF DISTURBANCE = 6.68 AC. ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS. SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES LOCATED. THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". Know what's below. PORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY Call before you dig. raleighnc.gov ATTENTION CONTRACTORS



The Construction Contractor responsible for the extension of water, sever, and/or reuse, as approved in these plans, is responsible for contacting the Valitik Works Department of (1919) 988-2420, and the Public Utilities Department of (1919) 988-2430 of least teamly four house prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sever facilities not inspected as a result of this notification failure. Failure to call for Inspection, install a Downstream Plug, have Permitted Plans on the Jobbile, or any other Violation of City of Ratelyh Standards will result in a <u>Eine and Possible Exclusion</u> from future work in the City of Ratelyh.

12. PROVING TO DURING STANDARD STRUCTURE AND THE RECOVERY OF STRUCTURES AND HE SKILLTER, DURING THE MAY BE TEMPONARY MOVED T THE CYTERE OF RELEASED AND STRUCTURES AND THE DURING STRUCTURES OF TRUE COLLECTOR.

ANDSCAPE PLAN	
E DETAILS AND NOTES	
RGY LIGHTING PLAN	
ECK LIGHTING PLAN	
JAL FLOOR PLANS	
IAL FLOOR PLANS	

VERTICAL DATUM: NAVD 88



ADMINISTRATIVE SITE **REVIEW PLANS FOR:** CREEDMOOR ROAD APARTMENTS RALEIGH, NC, 27612PROJECT NUMBER: SPEC-20104



CONTACT

CLIENT

Adam Pike, PE Pike@mcadamsco.com PHONE: 919, 287, 0813

GCI RESIDENTIAL 10720 SIKES PLACE #150

CHARLOTTE, NC 28277 PHONE: 980, 262, 6133

GCI

PROJECT DIRECTORY

DEVELOPER GCI RESIDENTIAL 10720 SIKES PLACE #150 CHARLOTTE, NC 28277 PHONE: 980. 262. 6133

SUITE 220 ALTAMONTE SPRINGS, FL 32714 PHONE: 407.830.1400

FORUM ARCHITECTURE AND INTERIOR DESIGN 237S WESTMONTE DRIVE

RCHITEC

EROSION CONTROL NOTES

PERMANENT SOLE STABLEATION SPALL BE ATHLID TO ADMIDED AREAS WITHIN Y DAVS, SEE TABLE BECKIN, ATTR FRAG. GAME IS MACHED ON ANY NORTHOL OF STT. THUMMARY SOLES TABLE ZITADES AND ALLE DAVIED WITHIN Y TABLES TABLE BECKING OF COSTUMENTS TO ENHOLD AND ADMIST TATALING AND ALLE TABLES AND ADMINIST ALL ADMINISTRATICS OF COMPARISON AND ADMINISTRATION STALL BE APPEND TO ANNO STATUTATION ADMINISTRATION AND ADMINISTRATION AND ADMINISTRATION STALL BE APPEND TO ANNO STATUTATION ADMINISTRATION AND ADMINISTRATION AND ADMINISTRATION STALL BE APPEND TO ANNO STATUTATION ADMINISTRATION AND ADMINISTRATION AND ADMINISTRATION ADMINISTRATI

- ALL OUT AND THE SLOPES AND CREMINEL SOLES OP IS WHICH ARE NOT TO BE PAVED, SHALL BE SEEDED UNTELA GOOD STAND OF GIVES IS OPTIMIED IN ACCORDANCE WITH:
- A. 100 UBS. PER LODG SQUARE FOOT GROUND LIMESTONE OR EQUIVALENT, NO SOLL TEST REQUIRED FOR INITIAL INTERNALISH MINT.
- 8. 20 LBS. OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQUARE FOOT.
- C. VARIETIES TO BE SEIZED: C.1. SPRING SEEDING MARCH 1 APRIL 30: SPRING OATS 2.5 LBS. PER 1.000 SQUARE FOOT.
- C.2. SUMMER SEEDING MAY 1 MAGIST 1; WEEPING LOVE GMASS AT 2 OZ, PER SQUIRE FOOT MIXED WITH 1 BUSHEL OF SAMOUST YON UNITOM SEEDING.
- C.3. ASPHALT TACK AND STRAW MULCH & GALLONS PER 1,000 SQUARE FOOT. ALL SEEDING SHALL BE MULCHED.
- CITY ENSINEIN AND OTHER APPLICABLE ACENCIES SHALL MAKE A CONTINUING REVIEW AND EVALUATION OF THE METHOD USED FOR THE OVERALL EFFECTIVESES OF THE EDSION CONTINUE PROGRAM, AN APPSOTE DIGBION AND SEMIMATI CONTINUE MAN WILL EMMENDE THE PROVINCE AUTOMOTIVE FOR STRUCTURE OF THE APPSOTE DIGBION AND SEMIMATI CONTINUE MAN WILL EMMENDE THE PROVINCE AUTOMOTIVE FOR STRUCTURE OF THE APPSOTE DIGBION AND SEMIMATI CONTINUE MAN DISTURBED AND THE APPSOTE DISTURBANCE FOR STRUCTURE AND SEMIMATIVE APPSOTE DISTURBANCE AND ADDRESS AND CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTUITIES PRIOR TO REGIMING CONSTRUCTION.
- CONTINCTOR SHALL NOTIFY TACILL' (BLE) OF (1.800 622-454) AT LEAST 3 FLLL REDRISS DAYS PROP TO REIRINANE DOSTINUTION OF REDAVATION TO HAVE SOSTING UTILITIES EXCITED CONTINCTOR 5441, CONTACT 4NY TOCAL UTILIES DOSTINUTION OF REDAVATIONS OF DEVEN SOSTING UTILIES ACCESS CONTINCTOR 5441, CONTACT AND REDRIGHTS MONTIPUISTING AND AND TO ANY DEVENTION OF TACILL'ESCONT AND REDRIGHTS DAYS MONTIPUIST.
- EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED, SO THAT SEDIMENT LADEN RUNOFF FROM THE STEE WILL NOT ENTER STORM DRAININGE FACILITIES.
- 7. PROPERTIES AND RIGHT-OF-WAY ADJOINING THE SITE SHALL BE SEPT CLEAN OF MUD OR SLIT CARRED FROM THE SITE BY VEHICULAR TRAFF/C OR RUNOFF, ANY MUD OR SLIT THAT IMAD/RITERTLY GETS INTO ADJOINING PROPERTIES OR RIGHT-OF-WAY SHALL BE REMOVED JAMEDARTERY BY THE CONTRACTOR.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES. EXCAVATED MATERIAL ROOM TRENDIES SHALL BE PLACED ON THE UPGRADE SIDE OF THE TRENDIE TO ALLOW MATERIAL TO BUDDE INTO THE TRENDI.
- CONSTRUCTION MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF GRADING CONTRACTOR UNLESS OTHERWISE NOTED, AND DALLY AFTER PERMISSION BY THE GOVERNING ALTHORITY.
- SULTERNEE OUTLETS SHOWN ON THESE PLANS ARE BASED ON THE BEST TOPOGRAPHIC INFORMATION AVAILABLE AT THE TIME OF DESIGN. CONTINUETOR TO FILL OF VERY AND ADJUST IOCATIONS OF SULTERNEE OUTLETS AND/OR FLACE ADDITIONAL OUTLETS TO REVISE FLAT ALL LOW SPOTS ALLOW THE SULT FRENCE HAVE AN OUTLET.
- GENERAL DRIVEWAY NOTE
- DRIVENANTS MAY INTERSECT A STREET NO CLOSER THAN 80² FROM THE INTERSECTION OF 2 STREET RIGHTS-OF-WAYS, NOT INCLIDING AN ALLY.

TRAFFIC CONTROL NOTES

- 1. THE CONTRACTOR SHALL CONDUCT ALL WORK IN A SAVE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRACTOR
- 2. THE CONTRACTOR SHALL BE REPORSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCH (MOST CUMBER' EDMICH).
- PROR TO START OF WORK. A PRE CONSTRUCTION INFEITING MUST BE SETUP WITH THE CONTRACTOR AND THE CITY OF PALENCE TWANPORTATION FIELD STRIKES STAFT. CONTACT INSIDERING: INSPECTIONS AT \$25-966-2009 TO SET UP THE MICTING.
- 4. THE CONTRACTOR HALL ORDER & REHT-OF-WAY DESTRUCTION FOMALT OR ANY WORK WHICH ADALESS THE TEMPORATE COLORER OF A TIPECT, TRAVEL LANE, PARENCE SPACE OR RODEWALK FROM REHT-OF-WAY SERVICES AT USAT 44 HOURS IN ADVANCE.
- A TEMPORARY STREET CLOSURE REQUEST MUST BE SUBMITTED AT LEAST A MINIMUM OF TWO WEEKS PRIOR TO THE START OF WORK, SEE "RIGHT-OF-WAY CLOSURES" ON WWW RALEIGHING GOV. SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT REQUEST
- 6. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMITS, APPROVALS AND EASEMANTS ON THE IOR STE AT ALL TIMES.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED DRIVEWARS, DRIVEWAR PIPES, CURB AND BUTTER, SIDEWALKS AND STREETS TO EXISTING COMMITION OR RETTRE.
- SIDEWAUS WLIST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPARED AND PEORE WITH MOBILITY DEABLITIES. DISTING PEDETMAN ROUTS AND ALTERNATE REDSTIMUN NOTES, DAMING CONSTRUCTION, MILL DE REQUIRED TO BE CONTRUMENT WITH ANNUAL DISTINGTIA THE ACCESSIBLE DESIGN AND THE ADDRESS AND THE ADDRESS AND THE ADDRESS AND THE ADDRESS AND THE

PAVEMENT MARKING NOTES

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sever, and/or reuse, as approved in these plans, is responsible for contacting the Public Wards apportment at (2019) 2921-2520, and the Public Utilities Department at (2019) 2921-2530 at least them; Joan Amar, prior to beginning any of their construction.

Follure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and a reinstaliation of any water or sever facilities not inspected as a of this notification follure.

Foliure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Volation of City of Roleigh Standards will result in a <u>Eine and Possible Exclusion</u> from future work in the City of Roleigh.

- ALL SIGNS & PAVEMENT MARKINGS ASSOCIATED WITH THE PUBLIC STREET SYSTEM WILL REQUIRE APPROVAL BY CITY COUNCIL TO BE ORDINANCED FOR ENGINEEMENT.

Raleigh Fire Departn

310 W. Martin Street, Suite 200 Raleigh, NC 27602 Officer (919) 998-6392

Alternate Material, Design or Methods Application

Alternate Material, Design or Methods Application requires 10 business days for review. In accordance with 2018 NORTH CAROLINA ADMINISTRATIVE CODE AND POLICIES

I am requesting review of an alternate or modification to the provisions of Sectio

503.1.1 Exception(1.1), 503.2.3 & 503.2.5 of the 2018 NCFPC, Chapter 5 CODE:

Proposed Alternate: (Include drawings to clearly illustrate request, before and

This code section requires: 103.1.1. Exception 11.1.1. City of Ratest allows how law levels of 207 to all parts of bolding in cores where an approved automatic universe is installed in acceptance with Section 803.3.1.9, 003.12 or 903.3.1

503.2.3 - Grasspave-2 Structural Soll System and heavy-duty concrete pavement located within fire access paths at south side or 503.2.5 - In addition, to accomplish necessary turnaround maneuver, proposed use of interior of proposed parking deck with the that necessary clearances with be served to exame initiarize space is adequate to meet code.

Request For Alternate Material, Design or Methods Staff Use Only

503.2.3 - design and maintain fire access to support the imposed loads of fire apparatus and surface to provide all-weather driving capabilities 503.2.5 - Dead-end fire apparatus access road in excess of 150 feet in length shall be provided with an approved area for turning around

ALL PAVEMENT MARKINGS SHALL BE PLACED FER THE INCOOL DIVISION 12 STANDARD DETAILS. INCYCLE LANE MARKINGS SHALL BE PLACED FER CITY OF RALIDIDE STANDARD INCYCLE FACULTIES DETAILS.

Transaction No. N/A

after if appropriate

son for Reque

To achieve required hose pull lengths for building.

Design Professional: Adam Pike

Building Address: 5200 Creedmoor Road

Section 105 Alternative Material, Design or Methods.

Signature: adar Poke

SITE PLAN NOTES

Phone #: 919. 395. 2272

- NON-ALLP LOADED DRIVEWARS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF TWO STREE INGET-O-WARS. THE INNERMAL CONTRICTABLE THAN CARE UNCOLORS THAN 20 FEET FROM THE INTERSECTION STREETS IN EAST LUSS 20 FEET TOOL THE CONTO TARGEDCY OF THE INVESTIGATION, CONTOCIMINATION OF THE INTERSECTION INSET OF WARY LINES, WHICH EVER IS GREATER. THE SAD IS OF THE OMPWARY SHALL NOT DROCADLE ON THE INVESTIGATION CORRECT CLARANCE, HERE TO SECTION SOF THE CONTOCIMIENT OF THE THE DROCAD ON THE INVESTIGATION OF THE INVESTIGATION. CORNER
- WITHIN THE LARD DEFINED SUBTITIONNELES BELVIN OUT TOER IN ANY, TREET SHALL BE NO BENT DESTRUCTION ON NETTING DESTRUCTION AND LITAKE, SEG AL LOLGER BENKS, DE NUETU VICINES ENVENTS THE MERICIPA DE NUET DESTRUCTION ON DEST AUXILITATION DE LA LOLGER BENKS, DE NUET DESTRUCTION DE LA LOLGER DE LA LOLGER DE SAN DE SAN DE SAN DE SAN DE S VERSION OF THE RULER EINVENDE DESTRUCTIONS DE SAN DE SA
- MULTIWAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF INJURINE TRANSPORTATION DYNRON THAT THE MULTIWAY STOP INSTALLATION WARRANTS CAN BE MET AND ORDINANCED BY CITY COUNCIL APPROVAL.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALENH AND/OR INCOOT STANDARDS AND SPECIFICATIONS AS DEPUTIONED.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTE:
- 6. CONTRACTOR SHALL MANITAIN AN "AS-BUILT" SET OF DRAWINGS TO BECORD THE EXACT LOCATION OF ALL PENG PHOR TO CONCEXMENT. DRAWINGS SHALL BE GIVEN TO THE INDIVIENT UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMETLA LETTER TO THE OWNER. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED, RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BYTHE CONTINUCTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OF SET, TRANSITION, FITTING, ETC. THAY MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUGI STANDARD APPLICIES AS REQUIRED TO GLOSELY FOLLOW THE GRADES AND ADJEMENTS DEPICTION ON THE PRACE.
- CONTINUETOR SHALL NOTIFY "WUSLE" (\$11) OR (1-800 682-9496) AT LLAST 3 FULL BUSINESS DAYS PROR TO BEGINNING CONTINUETION OR FRAZWARION TO MAVE EXISTING UTILITIES LOCATED, CONTINUEDDE SHALL CONTACT ME IGOAL UTILITIES THAT PROVIDE THER CAN LOCATOR SERVICES INDEPENDENT OF "NOSLL", REPORT ANY DECREPANCES TO THE EMBINEER MANEBURITY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED IRECONTONS (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METRIX, ETC.).
- PHOR TO REGINNING CONSTRUCTION REVOND FROND CONTROL MEASURES, THE GENERAL CONTRUCTOR SHALL ATTEND A REP-CONSTRUCTION CONTREMME WITH THE CITY OF AULEON PURLY WORKS DEPARTMENT [15:9] 96-2 REPRESENTATIVE OF THE INFORMER AND OWNER. THE PUPPER OF THIS INSTRUCT S TO REMEW THE SERVICE CON-THE PURP AND OPERATION OF THE PURPER CONTRUCTION.
- ALL DIMERSIONS AND GAUDE SHOWN ON THE FULLY SHULL BE TRUDUCTIONED BY THE CONTINUETOR RED/F TO CONSTRUCTION FOR ANY THE CONTINUETORS IN ANY DISTRIBUTION OF THE CONTINUE OF THE ACCESS N.C. IMAMPS SIMUL BE CONSTRUCTED IN ACCORDANCE WITH THE CTY OF RALENH UNHERD DEVELOPMENT ORDINANCE (UND) DETAILS.
- 4. ALL SEPARATES THAT CONNECT TO THE FUSICION SEGMET OF NUM MUST BE ACCESSING TO PREOMS WHO ARE HAND NUM COM VIDEN AND PROFENSION AND INSTANCESSING PROFESSIONAL SEGMENT ROLLING AND ALTIMANT INSTITUTION AND CONSTRUCTION MULT RESCUENCE TO RECOMPLIANT WITH THE FUBICION FOR AN ACCESSING TO AUXIMUMS (PROVING) 2010 AUX STANDARES OF PROFESSION ROLLING THE MANUAL ON UN FORMATION FOR AN ACCESSING TO AUXIMUMS (PROVING) 2010 AUX STANDARES OF PROFESSION ROLLING THE SEGMENT AUXIMUM PROFESSION FOR AUXIMUMS (PROVING) 2010 AUX STANDARES OF PROFESSION RESEARCH AND THE MANUAL ON UN FORMATION FOR AUXIMUM PROFESSION FOR AUXIMUMS AUXIMUMS FOR PROFESSION RESEARCH AND THE MANUAL ON UN FORMATION FOR AUXIMUM PROFESSION FOR AUXIMICANTE FOR AUXIMICANTE FOR AUXIMICANTE FOR AUXIMUM PROFESSION FOR AUXIMICANTE FOR
- 5. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION ESCALIMENTIAT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-IDDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL BRORDER GEORY A HEAVIER SECTION IS REQUIRED.
- EQUIDMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS REEN OBTAINED FROM THE OWNER IN VIRTING PROFITO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OR ALTERNATE SELEMENT.

Page 2 of 2

- 17. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE BALEICH STREET DESIGN MANUAL AND CONTACT REPORT VERSION STREET OF FURTHER GUID UNCE
- 18. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADRENE TO MUTCO STANDARDS AND SPECIFICATIONS.

Date Received: July 7th, 2022

Suitability: yes

Strength: _____yes Effectiveness: yes

Fire Resistance:

Durability: _____

Safety: ______

on the Drawings.

specifications and meets load requirements.

Additional Information on Proposed Alternate:

will make that determination upon completion at final sign off.

Sanitation:

Evaluation of Proposal by: RFD Office of the Fire Marshal

Recommended Action: APPROVE _____DENY ____ By: ____Assistant Fire Marshal

Conditions: Note - Office of The Fire Marshal will not provide signage as referenced in the notes located

Signage as shown on the Drawing may or may not be sufficient - The project DFM Field Inspector

Upon completion - COR will require a letter of completion stating this system has been installed per Manufactures

Approved by: KT Balley Asst. Fire Marshal Date: 7/07/2022

GRADING NOTES

ALL DRIVENED AND OPADES SHOWN ON THE PLACE SHULL BE FEED VEHICLE BY THE CONTRACTOR FROM TO CONTRACTOR CONTRACTOR FROM THE CONTRACTOR OF THE CONTRACTOR FROM THE CONTRA TRONG, SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAUATIONS; FINAL BULE 295FR PART 1966, T *** APPLIES TO ALL DOCUMENTAME DOCEEDING FOR (S) HERTIN DIPTIL, EXCAUNTION EXCEDING TWENTINY 1269 FEETIN EQUILISS THE DESIGN OF A "TRIVIL SHETTY SYSTEM MAY A REGISTRED PORSEQUAL HEAS HEALT, MEDICAL

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BALEIGH ANE/OR NODOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE BROSION CONTROL INSPECTOR.
- DAN EVENTS OF A NO CREAKE SHALL RECOVER SHOULD HAVE AND ADDREADONL HAD A WAVE SHALL AND ADDREAD AND A SHALL AND A SHALL AND ADDREAD AND A SHALL AND ADDREAD AND AD
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (HV) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GROTECHNICAL PAGINEEL. CONTRACTOR SHALL DETERMINE LOCATIONS FOR SHILL CURB TO PROVIDE POSITIVE DRUINAGE TO STORM STRUCTURES THROUGHOUT THE SITE. NO "BIRDBATHS" SHALL BE CREATED WITHIN THE CURB AND GUTTER OR ASPHALT PAVED AREAS

STORM DRAINAGE NOTES

- ALL STORM DRAINAGE PIPES SHOWN SHALL BE CLASS III REINFORCED CONCRETE (HOP) UNLESS NOTED OTHERWISE 2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF PALEIGH STANDARDS.
- 3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- 4 ALL RIVERS STORE DAMA STRUCT JPS SHALL RESTRUCT IVEN WITH INSPECTIVAL
- ALL PIPE JOINTS SHALL BE MADE WITH PREPORTED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-188 FOR TYPE B FLEXUME PLASTIC GASARTS UNLESS OTHERMISE NOTIO.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MILEO TO MARAWATURER'S SEEGERCHTONS.
- ALL BACKFUL SHALL BE NON-PURSTIC IN NATURE, FIRE FROM ROOTS, YOBETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER DISECTORNALE MATERIAL SND MATERIAL SND AND RALL BE CARAGE OF BEING COMPACTED BY INFORMATION, MEMOR AND SHALL HAVE NO TEXNON OF TO FLOW OF BEINGTE IN A FLORE COMMON WHILE THE MATTER BUTWENG BUTWENG PROOF ROUTED INFORMATION.
- MATERIALS DEEMED BY THE OWNERS REPRESENTATIVE OR GEOTOCH AS UNSUITABLE FOR BACKFEL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL
- RACIFILING OF TRUNCIES SHALL RE ACCOMPLISHID BRIVENATLY AFTER PPE IS LAD. THE FILL AND AND THE FIRE SHALL BE THOROGENERY COMPACTED TO SS NO FTHE MAXIMUM OW DENSITY STATUBATE WITH THE STANDARD PROCEDOR TEST. THE TOP IDHI'L OR PACHE SHALL IS COMPACTED TO TO TRUETZY FILMANDARI THEOLOGY.
- 10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED
- 13. ALL CONCRETE PIPE AND PRECASE STORM STRUCTURES SHALL MEET NODOL STANDARDS AND STANPED ACCORDINGLY BY MANUFACTURES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS, PRIOR TO INSTALLATION. ANY DIAMAGED TEMS SHALL NOT BE INSTALLED.
- "INDEX-OUT" BOILES OR HOPE EPIE SHALL NOT BE ALLOWED WITHIN PUBLIC INSHT-OF-WAYS UNLESS APPROVED IN WRITING BY CITY OF INLIGHT STORMMATER DEPIRITMENT. 14 ALL BRIVATE STYRES NOW INFOR MADE EXCLUSION AND STYRESOWATER MEASURES WILL BE MARKTANED BY THE REPORTED Y WARDED.
- 15. CONTRACTOR TO COORDINATE THE LOCATION OF CONDUIT WITH STORM DRAINAGE

June 22, 2022

McAdams One Glenwood Ave. Raleigh, NC 27603

Sincerely, Sincerely, *Taxe Junits* Account Manager GFL Environmental – Raleigh 3741 Conquest Drive Garner NC 27529 (M) 919-427-2399

Creedmoor Rd Ap

Attn: Adam Pike

Creedmoor Rd Raleigh, NC 27612.

ervices for this property

This is a letter of support for trash and recycling services for your new project being planned for \$200

We have reviewed the plans and have found that GFL Environmental will be able to safely perform

If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-teneforable

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service and the trash rooms are large enough to accommodate the volume of trash that will be rundured.

Should you have any questions or need more information, please contact me at tara.zents@gflenv.com.

We look forward to providing waste and recycling services at your new property once it has bee

RETAINING WALL NOTES REFER TO THE RETRINING WALL IS ANS BY OTHERS

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

- ALL MATCHALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF BALECH DESIGN STANDARDS, DETALS & INTERCATIONS INTERPORTS, CONSTRUCTION METHODS, 2010 (1990) (201
- 2. UTILITY SEPARATION REQUIREMENTS: a) A DETARCE OF 100⁵ SHALL BE MAINTAINED ETHNER SANTAAY SENTR & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SLC1 AS AN INFORMED RESERVANT UND AS A SENTEL OF DIMENSION WATER IN ADDRESS TO SUPPLY TO THE AND THE DETARLE SENTENCE OF THE SUPPLY AND ADDRESS OF THE SUPPLY ADDRESS OF THE SUPPLY ADDRESS OF THE DETARLE SENTENCE OF THE SUPPLY ADDRESS OF THE SUPPLY ADDRESS OF THE SUPPLY ADDRESS OF THE DETAILS OF THE SUPPLY ADDRESS OF THE SUPPLY ADDRESS OF THE SUPPLY ADDRESS OF THE SUPPLY DETAILS OF THE SUPPLY ADDRESS OF THE SUPPLY ADDRESS OF THE SUPPLY ADDRESS OF THE SUPPLY ADDRESS OF THE SUPPLY DETAILS OF THE SUPPLY ADDRESS OF THE SUPPLY ADDRESS OF THE SUPPLY ADDRESS OF THE SUPPLY ADDRESS OF THE SUPPLY DETAILS OF THE SUPPLY ADDRESS OF THE SUPPLY

MCADAMS

The John R. McAdams Company, Inc One Glenwood Avenue

Suite 201 Raleigh, NC 27603

www.mcadamsco.com

CLIENT

CHARLOTTE, NC 28277 PHONE: 980.262.6133

GCI

ENTS

E REVIEW ROAD

MOOR ROAD APA DMINISTRATIVE SITE RE 5200 CREEDMOOR RO. RALEIGH, NORTH CAROLINA, 276

ADN

06. 10. 2022 PER CITY OF BALEIGH 1ST REVIEW

 06. 22. 2022
 PER CITY OF RULERY IS: INVENTION

 08. 65. 2022
 PER CITY OF RULERY IS: INVENTION

 10. 13. 2022
 PER CITY OF RULERY IS: INVENTION

 12. 02. 2023
 PER CITY OF RULERY IS: INVENTION

 60. 07. 2023
 PER CITY OF RULERY IS: INVENTION

 61. 06. 2023
 PER CITY OF RULERY IS: INVENTION

 61. 06. 2023
 PER CITY OF RULERY IS: INVENTION

SPEC-20104

12.02.2022

PROJECT NOTES **CO.00**

MEM DRAWN BY

SPEC-20104-N3

PLAN INFORMATION

ROJECT NO.

CHECKED BY ACP/MDS

FILENAME

SCALE N.T.S.

DATE

SHEET

SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND

ALL CONSTRUCTION SHALL BE IN

CONSTRUCTION STANDARDS

CRE

phone 919. 823. 4300 fax 919. 361. 2269 nse number: C 0293. C-187

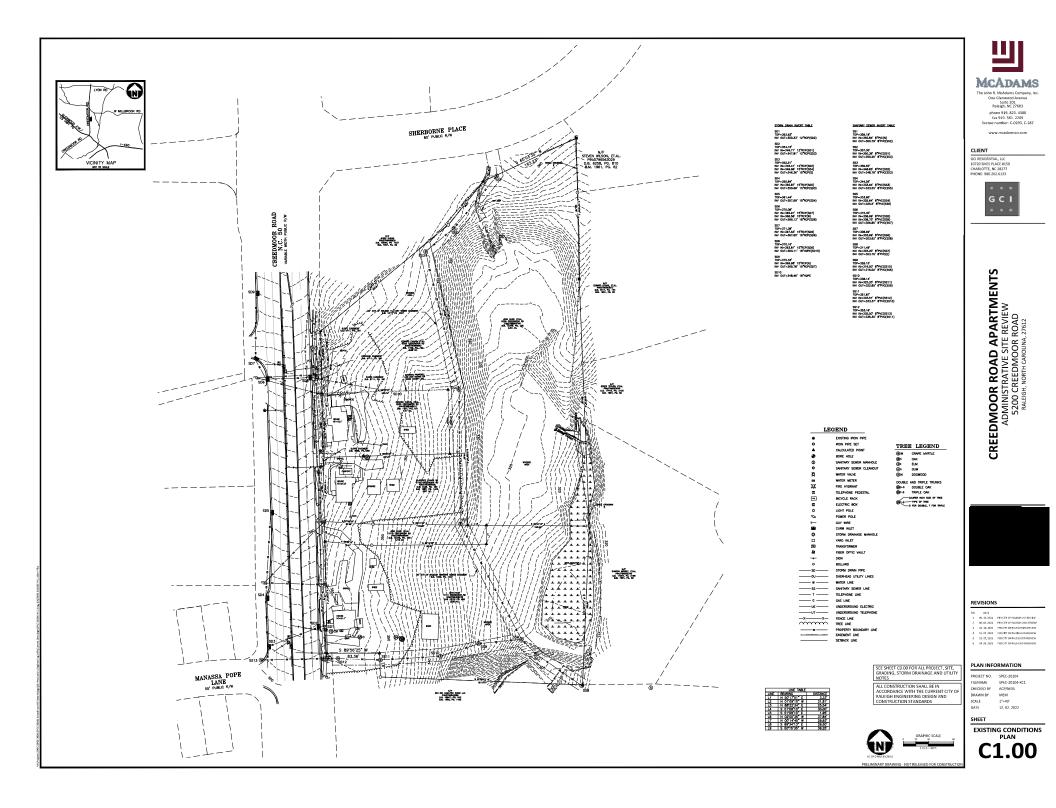
- N UNEN RETAILING WATER AUGR STOTE MANNE, THE UNBOUND WATER BRAUED 20 20000 A FUEL WALL STOTEMENT AUGR STOTEMENT AND AN AND THE UNBOUND WATER AND AN ANY AND THESE SUIL LESS UNE THE STANAIT THEORY OF HIS THE NUMBER AND END ADDRESS THE WATER AND AN ANY AND ADDRESS THE WATER ANALY NE MARTER THE OWNER DIFF. THE FUELD CHLIFTES DERECTOR, ALL DETAILES AND EMERSION FOR DUTIES DAMATER THEORY AND DIFF. THE FUELD CHLIFTES DERECTOR, ALL DETAILES AND EMERSION FOR DUTIES DAMATER THEORY AND DUTIES DAMATERS.
- c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEMER PASSES OVER A WATERMAN, DP MATERIALS OR STELL ENCASSMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERIALE SPECIFICATIONS.

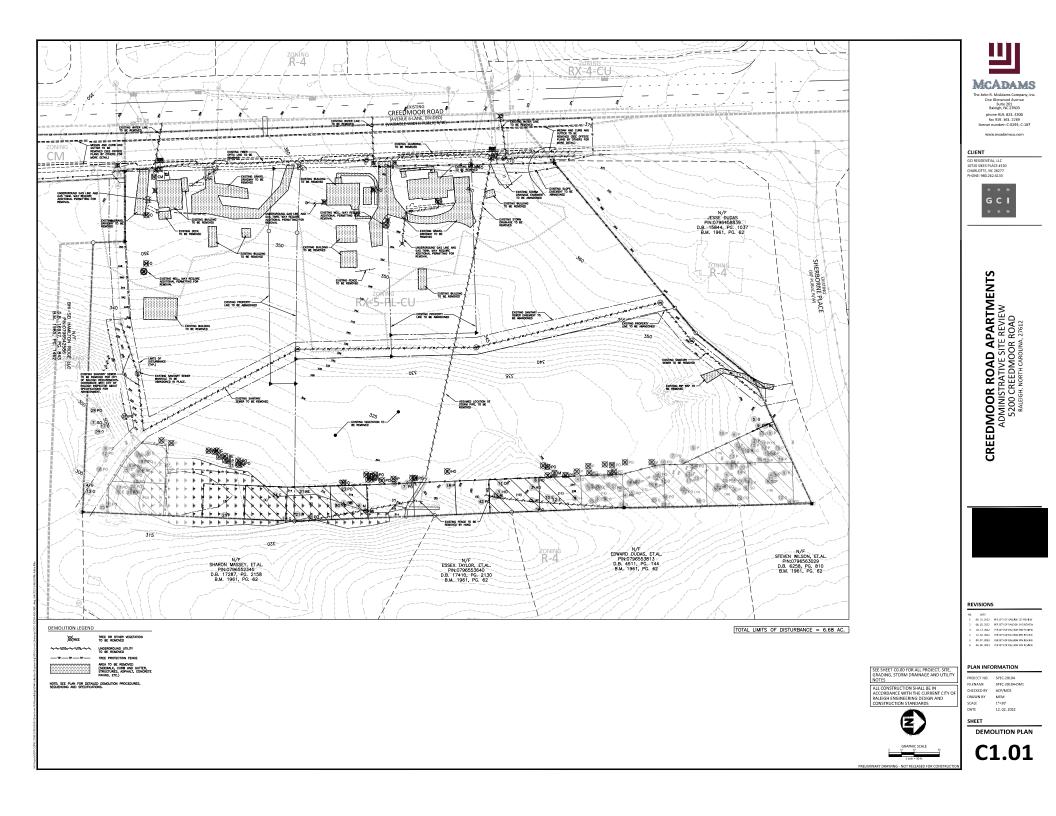
d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANTARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.

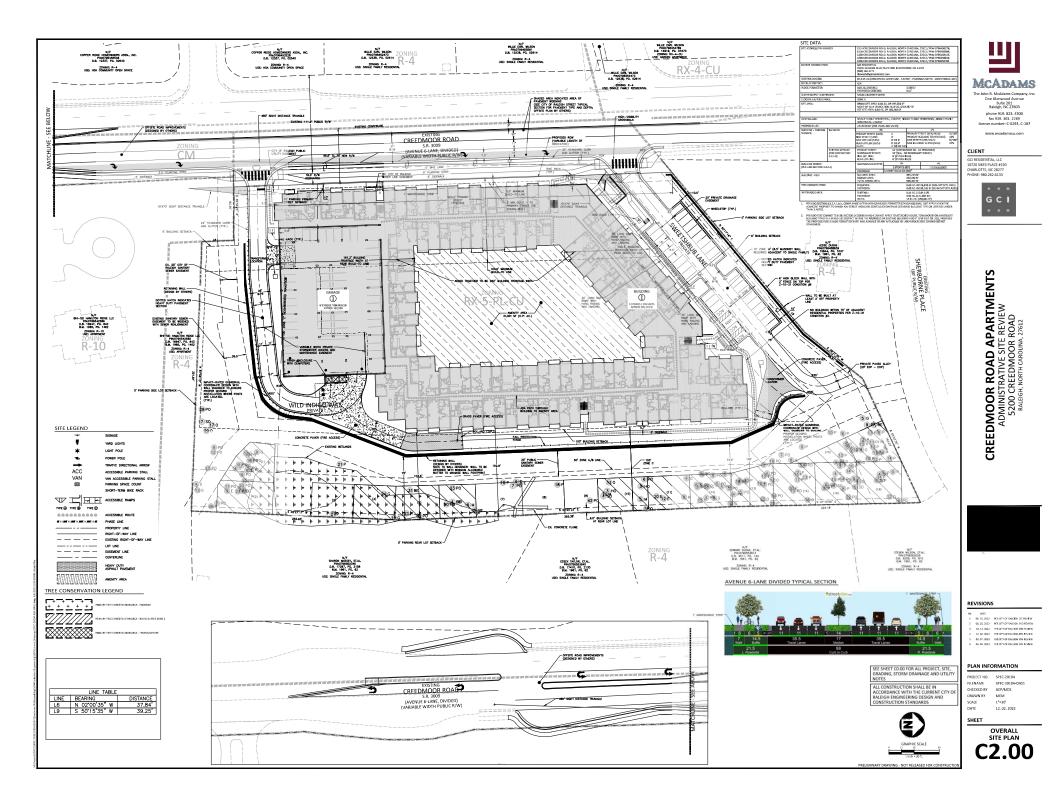
- e) MINITAIN 15" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN OROSSINGS, MARKAN 24" MIN. VERTICAL SEPARATION AT ALL SANTARY SERIES & RCP STORM DRAIN CORESNOS HUMBLE & MIN. VERTICAL SEPARATION AT ALL SANTARY SERIES & ACCOUNTER CONDUCTION HUMBLE & MIN. OFERANCE (PER CORFIL DETAILS WHAT AS "AN AT A SCALE AS CONNECTE CONDUCTION HUMBLE & MIN. OFERANCE (PER CORFIL DETAILS WHAT AS "AN AT A SCALE AS CONNECTE CONDUCTION AND ALL SANTARY SERIES"). () ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18' MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEXCH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROLECT, MAY INCESSARY SERVICE INTERRUPTIONS SHALL BE PERCEDED BY A 24 HORR REDWINED, NOTE TO THE CITY OF RALEXH PUBLIC UTLINES DEPARTMENT,
- 5. 3.0' MINIMUM COVER IS REDURED ON ALL WATER MAINS & SEWER FORCEMAINS, 4.0' MINIMUM COVER IS REDURED ON ALL RELISE MAINS.
- IT IS THE DUPLOPER'S RESPONSEMENT TO ABANCON OR REMOVE EXENTING WITH & SENAR SERVICES NO REMOVE USED IN REDUKLIONARIO FOR A STE MARKES DIREMENTS DIRECTLY OF REQUEST REQUEST REMOVES AND A REMOVAL OF SERVICE FROM ROM OR LESENART FOR CORFUL INVESSION FRACEDURE.
- INSTALL 3/4" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADMICHT, BOTTL, IT IS THE APPLICANT'S RESIGNABILITY TO PROPERLY SZE THE WATER SERVICE FOR EACH COMMECTION TO PROVE ADMICHT FLOW & PRESSURE.
- INSTALL 4" PAC" SEWER SERVICES @ 1.0% WINNUN GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET WAXMUM.
- PRESSURE REDUCING VALVES ARE REGURED ON ALL WATER SERVICES EXCEEDING 80 PS: BACKWATER VALVES ARE REQURED ON ALL SANTARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM WANDUL.
- 0. ALL DAVISONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM INCOMO, USACE &/OR FEMA FOR ANY REPARAN BUTTER, WETLAND &/OR FLOODPLAN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION. 12. OREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOO PRODRAW COORDINATOR PRIOR TO ISSUANCE OF A BULDING PERMIT. CONTACT STEPHEN CAUVERLEY AT (919) 988-9334 OR STEPHEN CAUVERLEY/REAL INSTALLATION
- PERMIT. CONTACT STEP
- Incomparison of the American's process are strategy and the content of res. In works which the strategy and the strategy a

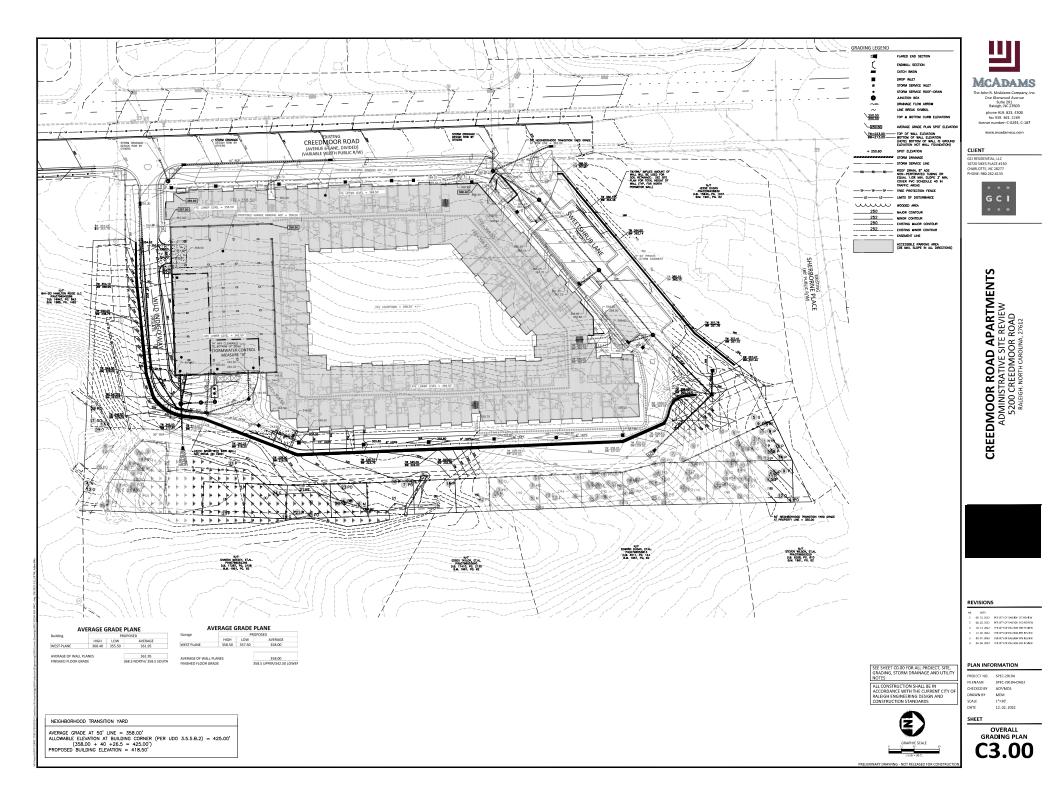
ADDITIONAL UTILITY NOTES:

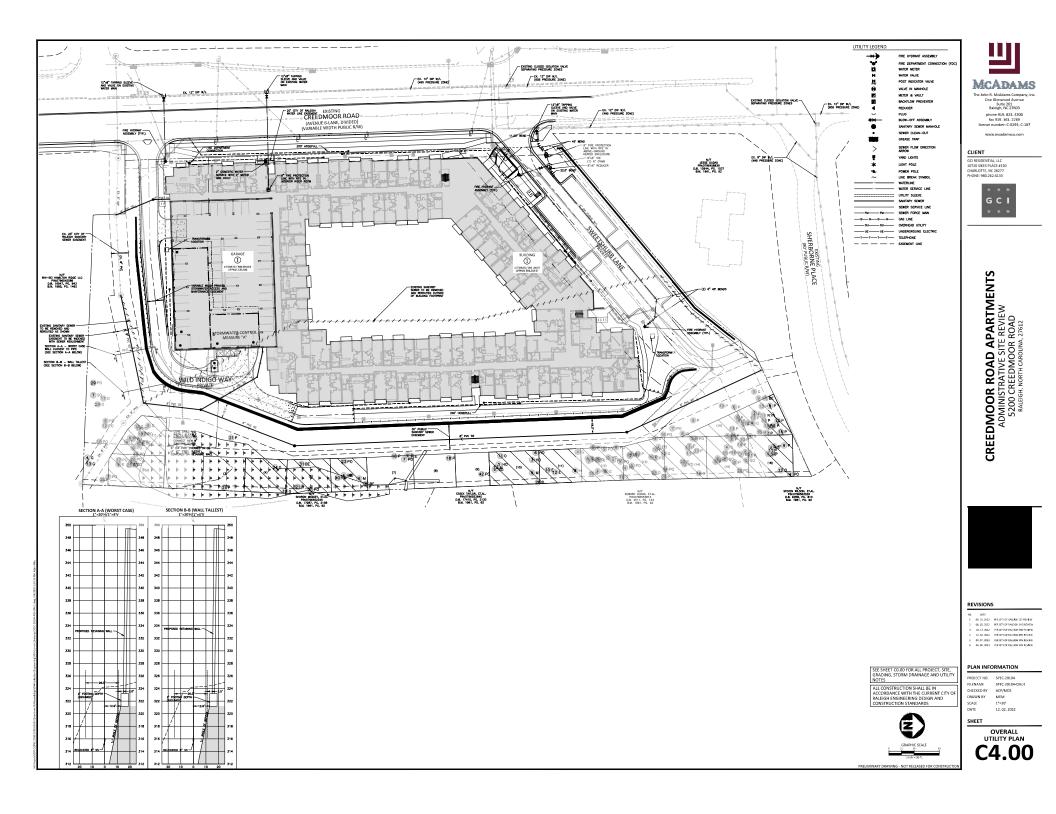
- ALL WATER MAINS, SERVICES AND HIRE SERVICES GREATER THAN 2° DAMETER ARE TO BE DUCTLE IRON HIRE 2° & SNALLER DOMESTIC SERVICES AND ALE YORK IS SERVICED PROFILE ANTIHONY INTINGS TO THE WATER METER PRIVATE WATER SERVICES SERVICES AND ALE ANTIHONED BACKTON PROFILEMENT REAL RECIDENT OF DEFINIATE PARTIES AND AND THAN THAN AND ALE SERVICES AND ALE AND ALE
- ALL SEWER MANNS SHALL BE EITHER PLC ON DUCTLE INON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALINGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATIST ISSUE OF THE PUBLIC UTLIFTES HANDROOK AND/OR
- ALL FIRE INFORMITS ALONG PUBLIC R/W LINES SHALL HAVE A SWARL CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT PROFERITY.
- 4 ALL SAMTHAY 15 WE RETERED TO BURS (1) "AND ARGER), AT WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE CONTENT OF A DESCRIPTION OF A CONTENT OF A DESCRIPTION AND A DESCRIPTION OF A DESCRIPTION OF A DESCRIPTION OF A DESCRIPTION OF A DESCRIPTION AND A DESCRIPTION OF A DESCRIPTION OF A DESCRIPTION OF A DESCRIPTION OF A DESCRIPTION AND A DESCRIPTION OF A DESCRIPTION AND A DESCRIPTION OF A DES
- IN ACCORDANCE WITH GENERAL STATUTE 8 × 121(6), ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2014 SHALL B LESTROMCALLY LOCATABLE, CONTRACTOR SHALL COORSINATE DASCELY WITH THE OTY OF RALEGH PUBLIC UTILITIES DEVINITION IN FOR CIVILS AND SECREPATIONS FOR WITHORY THIS ENTRY INTERVIENTING.
- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SMALL VIERY CONSTITUTION PROB TO RECOMMING CONSTRUCTION. ANY DISORFANDES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO HE INORMER IMMEDIATELY.
- 7. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS OF WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALIDER.
- 8 ALL WATER AND SEVER MAINS NOT WITHIN PUBLIC EASEMENTS OR R GHTS OF WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER. 9 ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2' MINIRAUM COVER. BOTH ENDS SHALL BE CAPPED AND

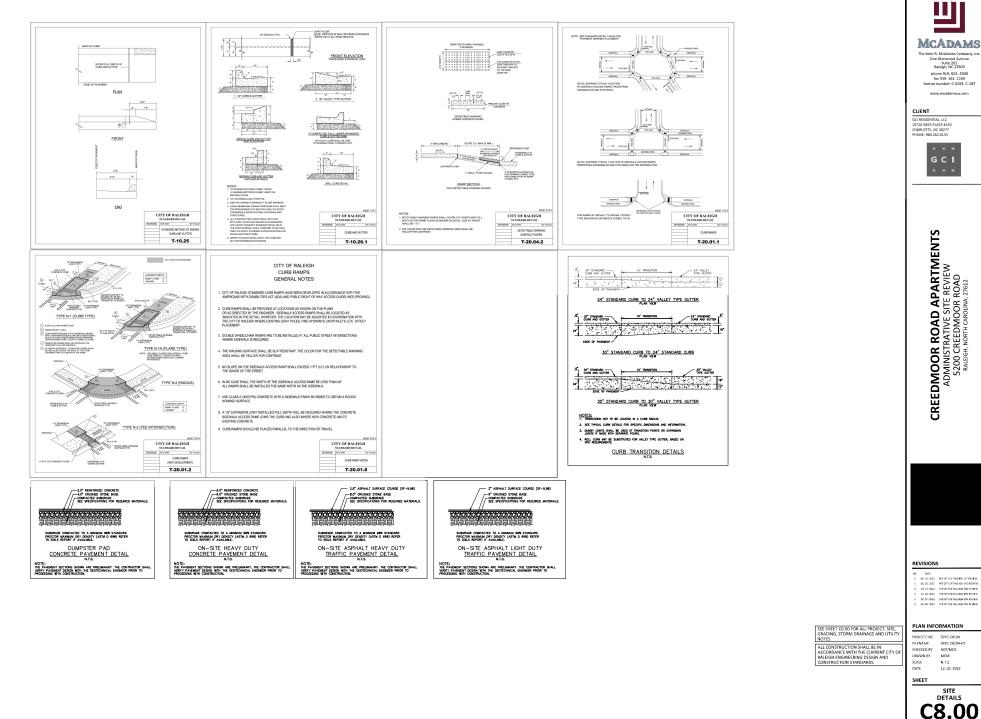






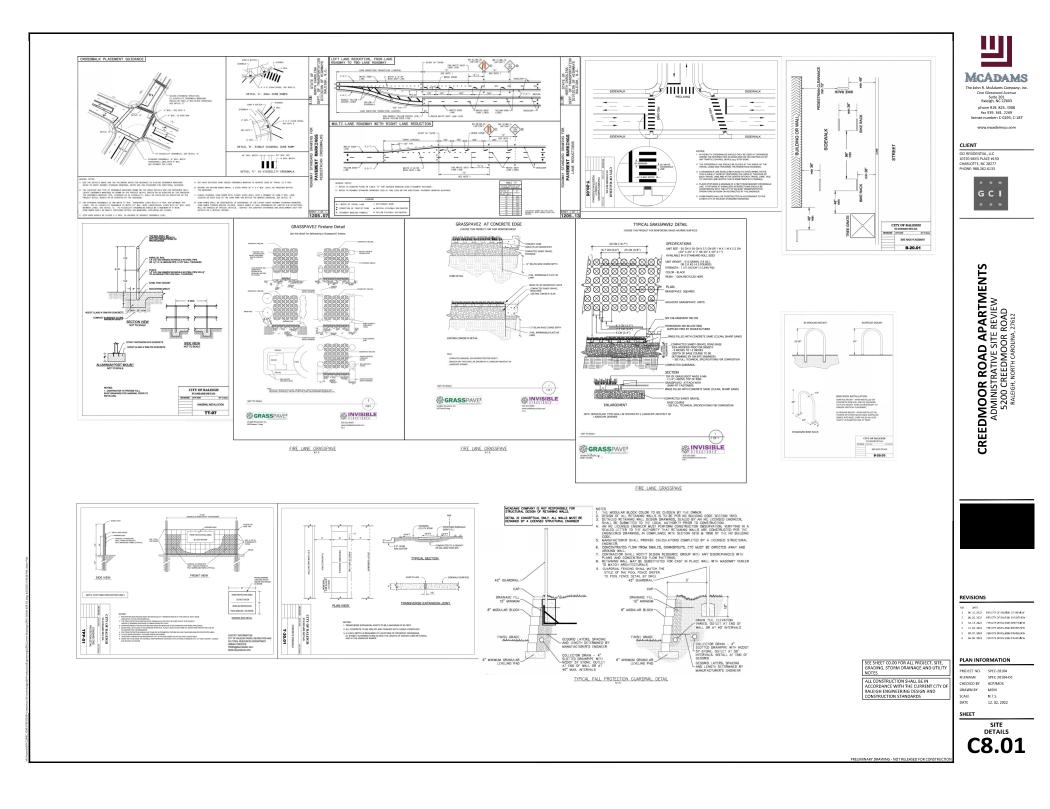


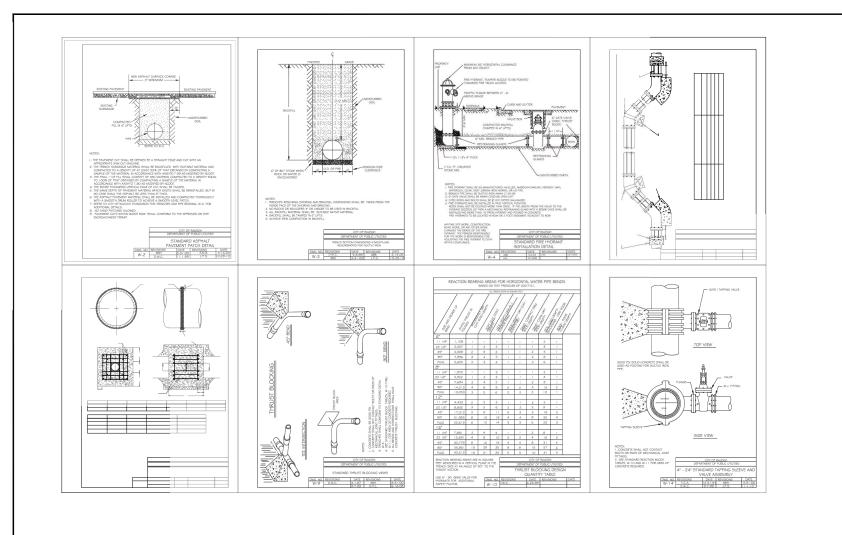




CREEDMOOR ROAD APARTMENTS ADMINISTRATIVE SITE REVIEW 5200 CREEDMOOR ROAD RALEIGH, NORTH CAROUNA, 2752

PRELIMINARY DRAWING - NOT RELEASED FOR







CREEDMOOR ROAD APARTMENTS ADMINISTRATIVE SITE REVIEW 5200 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA, 27612

REVISIONS
 No.
 DATE

 1
 06:10:2022
 PER CITY OF PAULIDAL ST RELEVANCE

 2
 06:02:322
 PER CITY OF PAULIDAL ST RELEVANCE

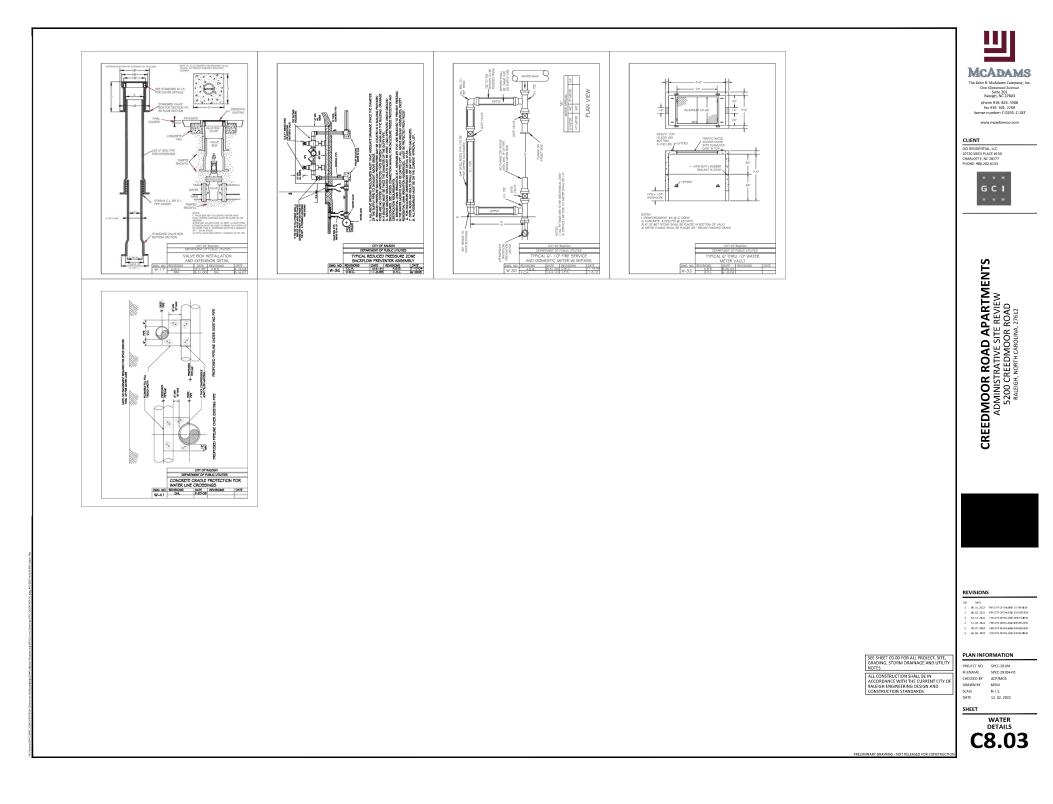
 3
 10:3:302
 PER CITY OF PAULIDAL STD RELEVANCE

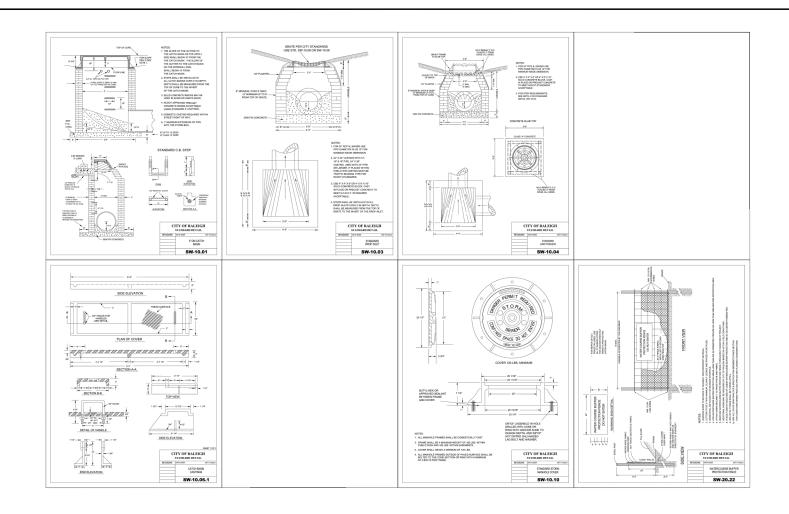
 4
 12:0:3:302
 PER CITY OF PAULIDAL STD RELEVANCE

 5
 04:7:3:202
 PER CITY OF PAULIDAL STD RELEVANCE

 6
 04:0:3:202
 PER CITY OF PAULIDAL STD RELEVANCE
 SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES PLAN INFORMATION PROJECT NO. SPEC-20104 ALCONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS FILENAME SPEC-20104-D1 CHECKED BY DRAWN BY ACP/MDS MEM SCALE DATE N.T.S. 12.02.2022 SHEET WATER DETAILS **C8.02**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION







CREEDMOOR ROAD APARTMENTS ADMINISTRATIVE SITE REVIEW 5200 CREEDMOOR ROAD RALEIGH, NORTH CAROUNA, 27612

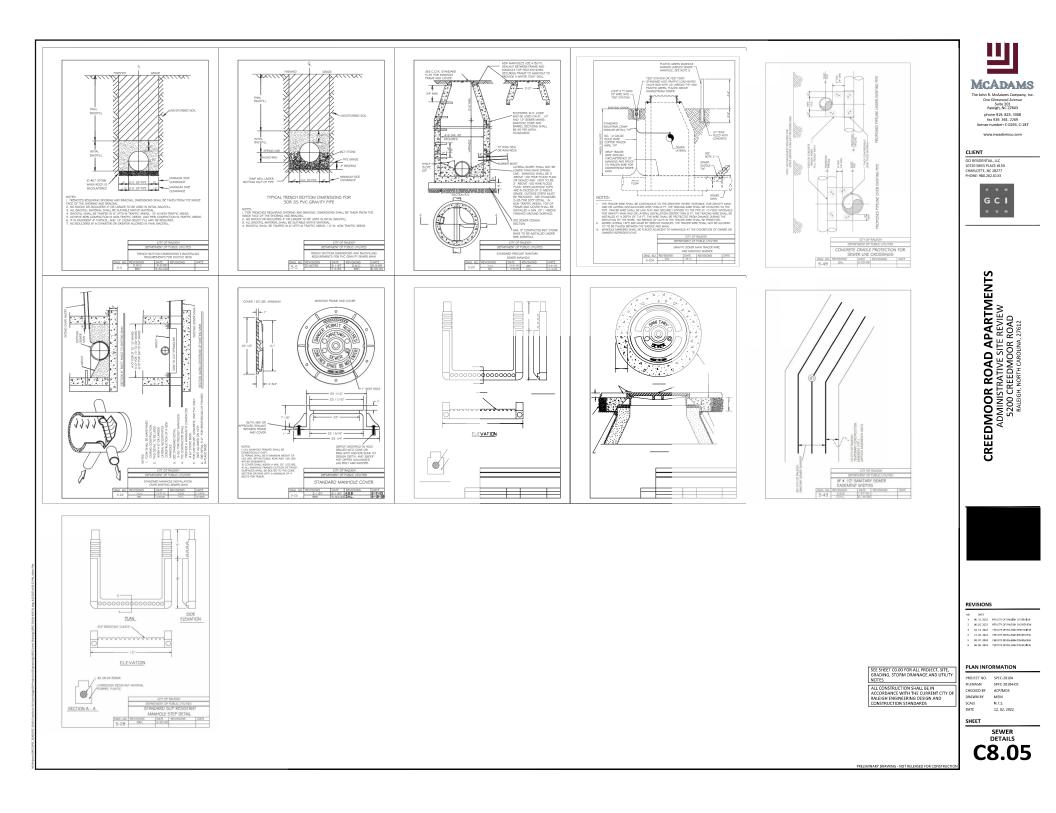
ND.	DATE	
1	06.10.2022	PER CITY OF RANDON 1ST READOW
2	06.05.2222	FER CITY OF RALEISH 2ND REVEW
3	10.13.2022	FER CITY OF PALEICH SKD REVIEW
4	12.02.3022	FER CITY OF PALEIGH 4TH REVIEW
s		FER OTH OF BALEIGH STH BEVIEW
6	04.05.2023	PER OTY OF PALEIGH STH REVIEW
PL	AN INFO	ORMATION
-		
PRC	UECT NO.	SPEC-20104
PRC		
PRC	UECT NO.	SPEC-20104
PRC FILE CHE	NECT NO.	SPEC-20104 SPEC-20104-01
PRC FILE CHE DR4	NECT NO. INAME ICKED BY	SPEC-20104 SPEC-20104-D1 ACP/MDS
PRC FILE CHE	NECT NO. NAME ICKED BY ICKEN BY	SPEC-20104 SPEC-20104-D1 ACP/MDS MEM

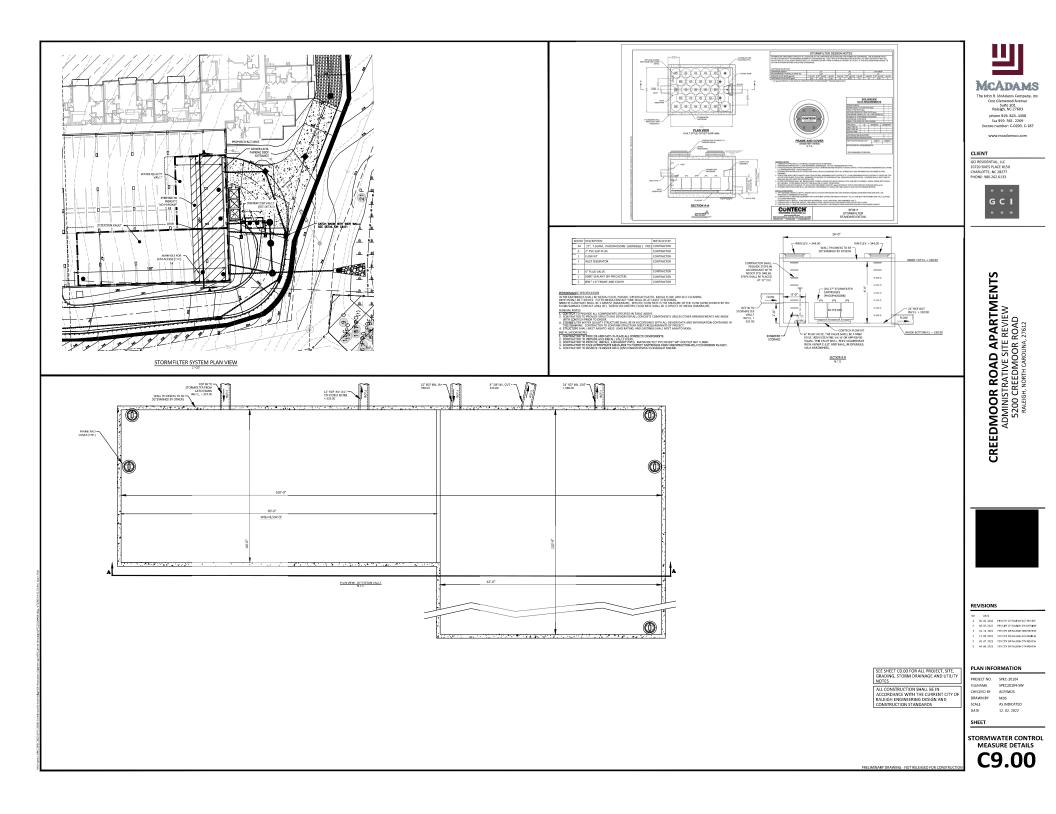
storm drainage details **C8.04**

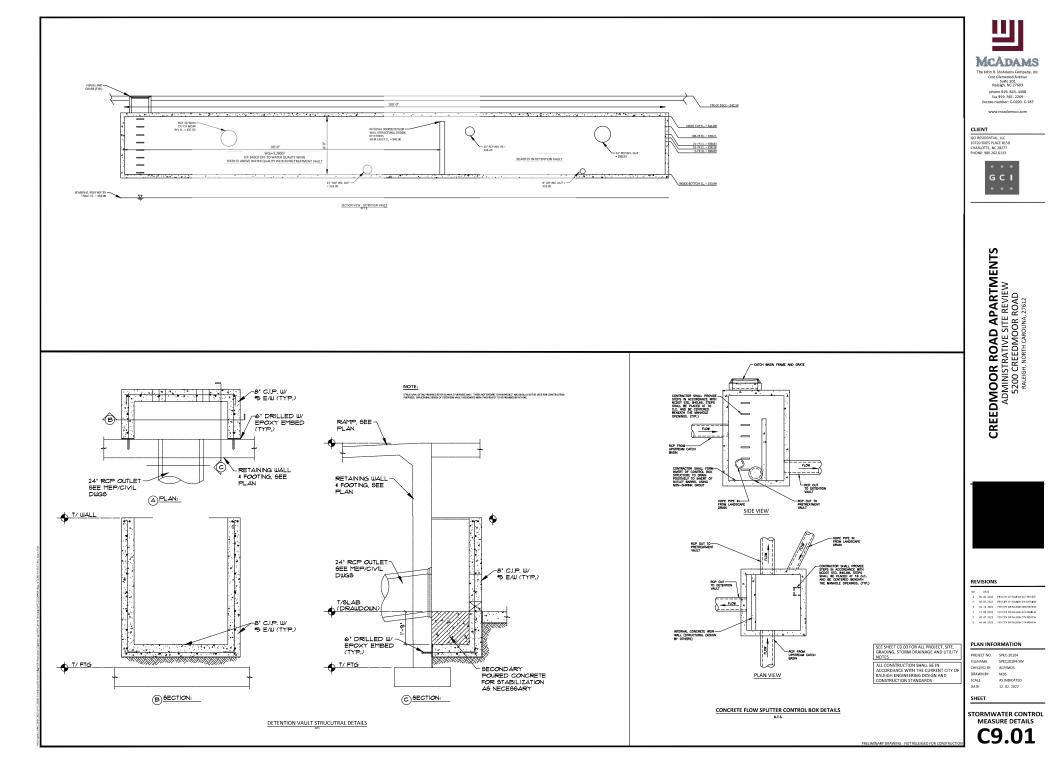
SHEET

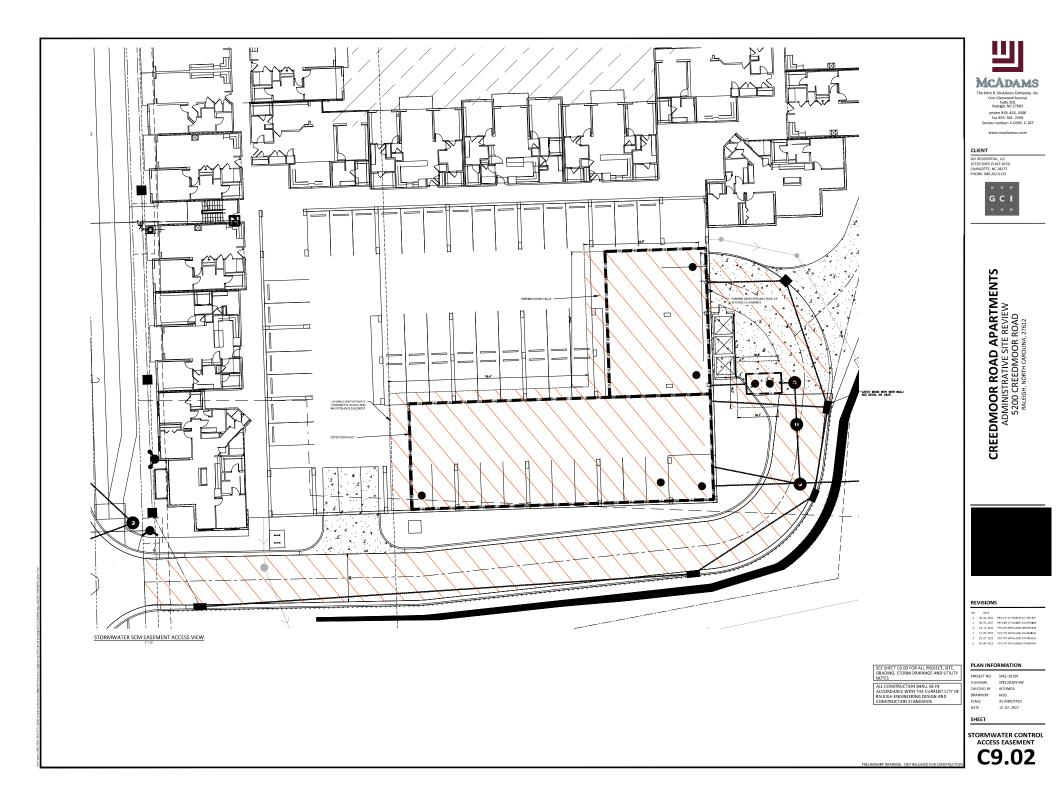
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

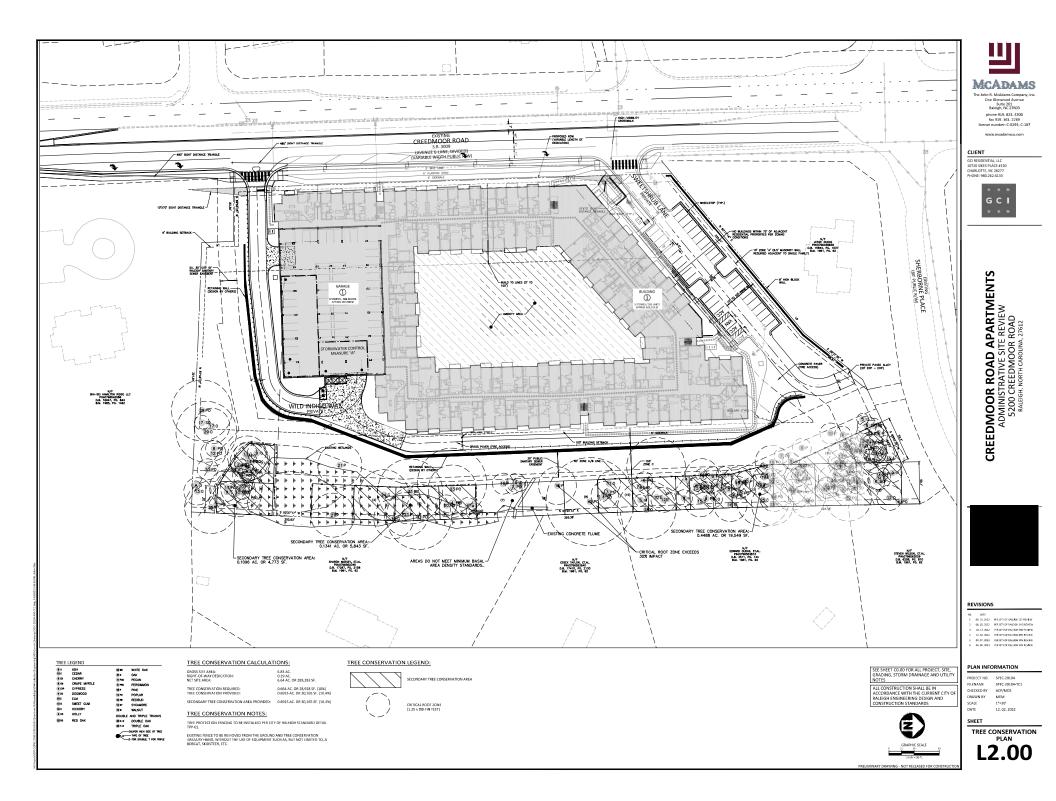
SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH FROMERENING DESIGN AND CONSTRUCTION STANDARDS

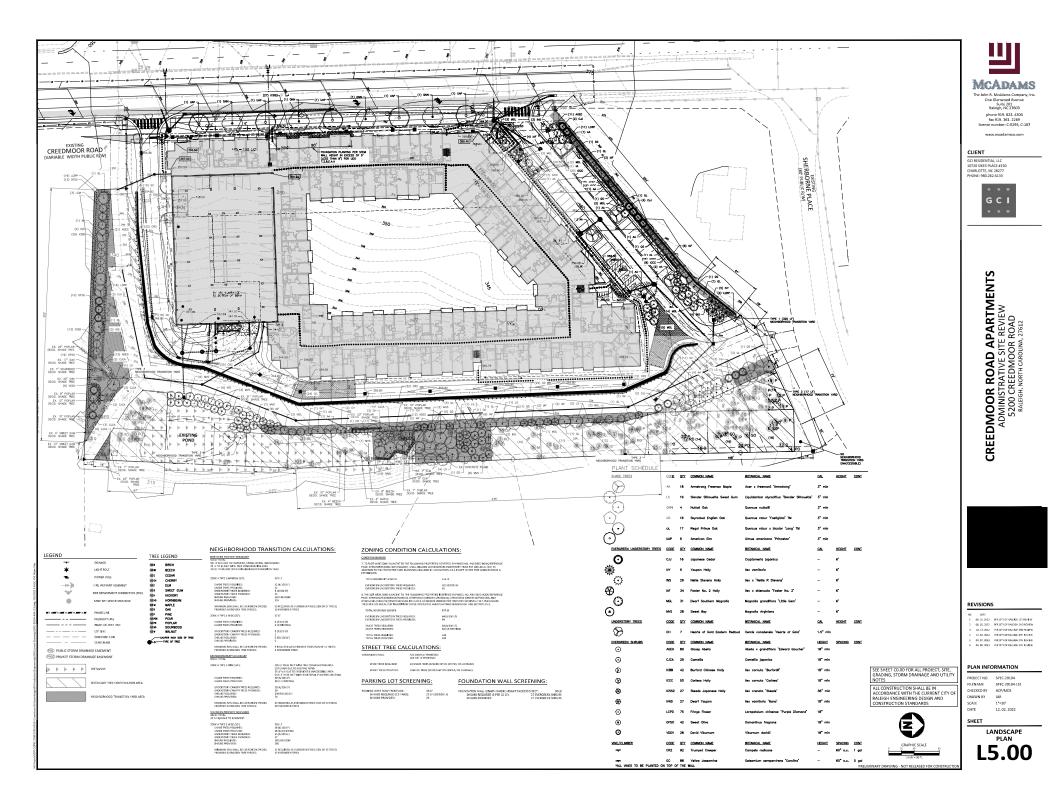














MCADAMS The John R. McAdams Company, Inc One Glerwood Avenue

Suite 201 Raleigh, NC 27603 phone 919, 823, 4300 fax 919, 361, 2269 license number: C-0293, C-187 www.mcadamsco.com

CLIENT GCI RESIDENTIAL, LLC 10720 SIKES PLACE #150 CHARLOTTE, NC 28277 PHONE: 980.262.6133

ENTS

APARTME E REVIEW R ROAD M, 27612

DMOOR ROAD APA ADMINISTRATIVE SITE RE 5200 CREEDMOOR RO. RALEIGH, NORTH CAROLINA, 276.

Ž

Ш ß



13. CONTRACTOR TO COORDINATE WITH OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLEST THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS. 24. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING ABEAS. 15. PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE. 5. PROPOSILD TIBLIS TO BE PLANTED A MINIMUM 3 FUIT FROM ANY FIRE HYDRANT AS MUSSURED FROM TRUNK OF THE TRUE TO THE HYDRANT.

17. CONTRACTOR SHALL COMPLETE SOLLTEST IN ALL PLANTING AREAS TO DETERMINE SOL AMENDMENT REDLAREMENTS UNLESS WAVED BY DWINER'S REPRESENTATIVE. CONTINUETOR SHALL ADJUST PH AND FRETULIT RASED UPON THE SOLLTEST RESALTS.

GENERAL LANDSCAPE NOTES:

CONTRACTOR IS RESPONSING FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.

THIS PLAN IS FOR PLANTING PLAPOSES ONLY, FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, STE AND GRUZING PLANS.

VENTRATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAFE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

LANDSCAPE MATERIAL SHALL BE WELL FORMED, YIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VALIETIES SPECIFIED AND SHALL BE PRIE RIZKE DAMARKE, KRISTES AND DERXKES, MATTRIAL SHALL RULAL OR SUBJASS BL CAUALITY AS DETAILD IN THE CRIENT SAMPLICAN STANDARD FOR MUSIKEY STOOLS 'S MULISIED BY THE AMTHICAN MUSIFIER A LANGEARE ASSOCIATION.

10. ALI PLANT MATERIAL IS TO BE CAREFULLY MANDLED BY THE ROOT BALL, NOT THE THURK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHARDLED PLANT MATERIAL MAY BE RELECTED BY THE LANDSCOPE ARCHITECT.

ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL BEMAINS INTACT THROAGHOUT THE PLANTING PROCESS. DEPKEENT PLANT MATERIAL MAY BE REJECTED BY THE UNDECKNE ANCHINE? OR OWNER.

12. ALL PLAYTS TO BE A MUNIPHING OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LUNDSCAVE AND IFTICT AND COVENING JURISSICTION PRIOR TO ANY HOLE BLING DUG.

8. CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.

3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UKDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.

CONTRACTOR SHALL NOTHY LANDSCAR, ANCHITECT OF ANY DESCRIPTANCES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OF STE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.

5 ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

- 18. TOPSOL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 BIGH IN DAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CRIDERS, STORES, LUNDS OF SOLL STRUE, MODTS TRASH, OR OTHER COTIONED MATERIAL
- F IMPORTED TOPSOL IS RECURRED, THE SUBGRAPH SHALL BE SCAFFED OR TILLED TO A DIPTH OF AT LIAST 5 INCHES PROR TO INSTALLATION OF IMPORTED TOPSOL, FOLLOWING INSTALLATION OF IMPORTED TOPSOL, THE TOPSOL SHALL BE TILLED TO INTEGRATE THE SOL PROFILES.
- 21. PLACE MATERIALS ARE TO BE GARAWITED FOR A PERIOD OF 12 MONTHS. PLACE MATERIALS WHICH REMAIN UNHIALTRY WILL BE REPLACED BY THE LANSSAUR CONTRACTOR SURGET IN EXPENSION OF THE GARAWITE PERIOD OF BAMEDIATLY IF SO ARRESTED BY THE OWNERS'S REPRESENTATION OF LANSSAUR AGARETECT.
- 22. ALL THEE HANTINGS SHALL BE MULDIED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT SADJUS FROM BASE OF THEE OR TO DRIPUNE. MULDI SHALL BE FREE OF TIMOS HAND MAINTAINED WEED FREE. MALCH SHALL NOT COVER THE REDT FLARE, CONTINN MULCH SPECIFICATIONS WITH OWNERS REPRESENTATION OF LANDAGEAR EASEMITICT.
- NO DIA DIANE TATUNI TATUNI DALLA RECONTRATIONALI DI ANTONIO DI ANTONIO DI ANTONIO DI ANTONIO DI ANTONIO DI ANTONIO NEL INTERNE ANTONIO DI ANTONIO ANTONIO DI ANTONIO ANTONIO DI ANTONIO ANTONIO DI ANTONIO ANTONIO DI ANTONIO ANTONIO DI ANTONIO ANTONIO DI ANTONIO ANTONIO DI ANTONIO DI ANTONIO DI ANTONIO DI ANTO DI ANTO DI ANTO DI ANTO DI ANTONIO DI ANTO DI ANTO DI ANTO DI ANTO ANTONIO DI ANTONIO DI ANTONIO DI ANTONIO DI ANTO ANTONIO DI ANTONIO DI ANTONIO DI ANTO DI
- 25. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- 26 FROMATE FOORS OF ALL PLANTING BEDS TO 2 INCH DEPTH TO LORMA A YEAR AND CRESP OPEINTERN
- 27. CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PROR TO INSTALLATION.

PLANTING INSTALLATION:

DEVICED AND TREATED AND THE ADDRESS AND THE AD

THE INFORMATION ADDRESS OF ADDRES ALL TRENCHES AND ADJOINT AND ODDEDS EDOMATHE SITE

PIPE INSTALLATION 1. MAN UNE PIPING, PIPE SHALL BE INSTALLED IN A 4" WIDE IMINIMUM TRENCH WITH A MINIMUM OF 18".

- HIGH STREAM OF A DESTRICT OF THE PCC PRAFTIC OF SMORED WITH PCLIMERTS CLOTH FETORE SOLVERT WILLING, THE CONNECTOR SHALL MARK SOLVING WITH AN OWNER SWITHETIC RESTRET WASHING WILLING THE CONNECTOR SHALL BEDUILED, USE THEADED PVC ADAPTERS INTO WHICH THE PPE MAY BE WILLION THE CONNECTOR SHALL DO NITHERADE.

AUTOMATIC CONTINUES AS A REPORT AND A REPORT

TREATHER REPORT WAVES SHALL BE SUPPLIED IN A DCORENANCE WITH THE SPECIFICATIONS WAVES SHALL BE REVIALED DEEP REVOCATES OF THE THE REVE BE AT LEAST 12° OF COME FOR THE WAVE SUPPLIES SHALL BE PART OF THESE SPECIFICATIONS. A GREEN FUSTI CTOP SHALL BE INSTALLED ON THE WAVE SUPPLIES SHALL BE THAN L GRADE. THALE OF C GRAVING, UNDER SLOCE INVALUES BEFORE INSTALLED ON THE WAVE SORY FUSH WITH THE FINAL CRADE. THALE OF C.

THE CORE TARK OF UNDER CARE CARE AND REPORT DURING THE REPORT DURING THE REPORT THE DURING THE DURING THE REPORT OF THE DURING THE REPORT OF THE DURING THE REPORT OF THE REPORT OF THE DURING THE REPORT OF THE DURING THE DURING THE DURING THE DURING THE THE DURING THE DURING

TRUE CLEAR-UP UPTROTOMETON OF THE WORK AND BEFORE ACCEPTANCE AND IRRUE ANAMENT WILL BE MADE. THE OVERTACTOR SHALL CLEAR AND REMOVE FROM THE STED OF THE WORK, HIS SUPPLYS AND DISCARDED MATERIAL THIMPORARY STRUCTURES AND DORES OF EVERY WICh HE SHALL CLEAR THE STED OF THE WORK IN A KEAT AND DIREWS CONTENTION DUAL IN STE THE ALL RE DIRESS OF LICENTICIA STATUTORY TO THE INFORMATIVE.

GENERAL 3. REFER TO CIVIL DRAWINGS FOR NOTES AND DETAILS ON SITE GRADING AND ERGSION AND SEDMENT CONTROL, REFER TO SEEDING AND SODDING NOTES FOR TUBE GRASS INSTAULTON. CONTRACTOR TO SUBMIT A LIST OF PLANT MATERIALS AND SOURCES FOR REVIEW BY LANDSCAFE ARCHITECT PRICE TO PURCHASE AND INSTALLATION. CONTRACTOR TO ITO PUPEHASE AND INSTALLATION. CONTRACTO ICES OR SUBSTITUTIONS WITH LANDSCAPE ARCH

PLANTS, INCLUDING THEES, SHIJLIBS, GILDUNICOWELS, WINES AND ORNAMENTAL GRASSES, TO BE INSTALLED BETWEEN THE FOLLOWING DATES: SPRING FLANTING STACKON: INABOL 35 TO JUNE 1. FAIL PLANTING STACKON: PLANCE IS TO DECEMBER 1.

PLANTING SPECIFICATIONS:

- PROCEED WITH PLANTING ONLY WHEN CONSTRUCT AND FORECASTED WEATHER CONSTRUCTION PERMIT. PLANT TREES AND SHIKARS AFTER FINISH GRADES ARE ESTABLISHED AND BEFORE PLANTING LAWRS. PROTECT LAWN ARXAS TO REMAIN AND PROMPTLY REPAIR DAVAGE CAUSED BY PARTING OPERATIONS.
- CONTRACT OF ANY TIME UTTENDED. CONTRACTOR SHALL CAREFULLY TAXANIET THE CAVE, RECERD AND SURVIY DRIVINGS TO RECOMPLICATE ANY THE DISTRUCTURE DRIVE CONTRACT OF THE THE RESONANCE. TO A THE CONTRACTOR DRIVE ANY THE CAVE, AND A DRIVEN DRIVING RESONANCE. TO A DRIVE CONTRACT TO A DRIVE ANY THE CAVE, AND A DRIVEN DRIVING WOULD RECEIVE THE CONTRACT OF DRIVEN DRIVEN DRIVE AND A DRIVEN DRIVEN WOULD RECEIVE THE DRIVEN DRIVEN DRIVEN DRIVEN DRIVEN DRIVEN DRIVEN DRIVEN HALT DRIVEN RECEIVED DRIVEN DRIVENDA DRIVEN DRIVENDA DRIVE
- SOL: ASTM D S268 TOPSOL, #H RANGE OF 5.5 TO 7, A MINIMUM OF 6 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STORES 1 INCH OR LARGER IN ANY DIMENSION AND OTHER EXTRANLOUS MATERIALS HARMPLE TO PLANT GROWTH.
- EXTRACTOR OF MOLTRING SPRANE LOT CHAIN STATUTE S SCIL ANTIDIORE NO. MILL COMPOSITIO. STATUE AND WHEN PREC MEMOLIC ACTIVE, pH AMORI OF STATUS AND MOLTRIC COMPOSITIO. STATUS AND WHEN MANORI OF STATUS AND MOLTRIC ACTIVITIES TO STATUS AND MOLTON DUCTORING IS AN AND MOLTRIC ACTIVITIES AND ANTIONAL STATUS AND ANTIONAL DUCTORING IS ANTICIPACINE TO COMPOSITION AND ANTIONAL STATUS AND ANTIONAL DUCTORING IS ANTICIPACINE TO COMPOSITION AND ANTIONAL STATUS AND ANTIONAL MOLTRICAS. OL AMPROVEMENT, COMMINENT AND ANTION ANTIONAL AND ANTIONAL MOLTRICAS.
- FIRTULETR: GRANULAR OR PELLET SLOW-PELEASE FERTILIZER CONSISTING OF 50 PERCENT WATER-INSOLUBLE MITROGEN, 2HOSPHOROUS AND POTASSUM IN THE COMPOSITION AS DIRECTED BY 50L ANALYSIS TESTING.
- ORGANIC MURCH: SHREDDED HARDWOOD IN NATURAL BROWN COLOR; 3" MAXIMUM SZE IN LONGEST DIMENSION; FREE FROM DELITENOUS MATERIALS AND SUITABLE FOR A TOP DRESSING OF TREES AND SHRUBS. 6. STAKES AND GUYS: DELPROOT APPORTIE STAKING AND GUYING MATERIAL OR APPROVED FOLIAL

CENTRAL 1. INVIDUE & COMPLETE AND OPERATING LAWRY SPHINDLER INSTALLATION AS SHOWN ON THE PLANS INCLUDING, MET NOT UNTED TO, THE FOLLOWING ITEMS:

IRRIGATION SPECIFICATIONS:

JT NOT UNITED TO, ITEL COMMUNICATION OF THE ADD ITELES PARA PER AND ITELES PARAS SPRINGER PARAS SPRINGER UNITED PARAS SPRINGER USED AND ADD IN THE ADD INTELLIGENCE AND ADD IN THE ADD INTELLIGENCE AND COMMUNICATION OF ADD IN THE ADD INTELLIGENCE ADD IN THE ADD INTELLIGENCE ADD IN THE ADD IN THE ADD INTELLIGENCE ADD IN THE ADD INTER ADD IN THE ADD IN THE ADD IN THE ADD INTER ADD INTO ADD INTER ADD INTER ADD

Hold Controller
 Helds Controller
 Helds
 Helds Controller
 Helds
 He

HE DEVICES THE AUTOMATICS THE EPISED IN CONTRACT IN THE DEVICTIONS OF EXAMINATIONS FEQURE DV THESE AUTOMATICS. THE EPISEDINATIVE WILL BE NOTIFIED WHICH THESE INSPECTIONS AND FEQURED, ANY INCESSARY WORK INSPECT OF BE DONE BY THE CONTRACTOR AS A RESULT OF THISS INSPECTIONS WILL BE DEPICIONATED AT THE CONTRACTORS SEPTIME. CONTRACTOR AS A RESULT OF THISS INSPECTIONS WILL BE PERFORMED AT THE CONTRACTOR'S REPORTS SHALL BE FORWARDED TO THE REPRESENTATIVE GUAPANTEE AND MAINTENANCE 3. INATURAL AND WORKRAMSHIP SHALL BE FULLY GUAPANTIED FOR ONE YEAR AFTER THE DATE OF STAFFARM FOR THE FORM THE COMPACT ON THE ACCOUNT OF DEPECTIVE MATERIAL COMPACT ON BENEFICION. HERACOUNT OF DEPECTIVE MATERIAL COMPACT OF DEPECTIVE DEPECTIVE MATERIAL COMPACT OF DEPECTIVE DEPECTIVE MATERIAL COMPACT OF DEPECTIVE ACCOMPACT OF DEPECTIVE OF DEPECTIVE ACCOMPACT OF DEPECTIVE ACCOMPACT OF DEPECTIVE DEPE SUBSTANTIAL COMPLETION INSPECTION: REPACEMENT OF DEPERTUE NATIONAL OR REPAIR OF WOME SHA BE DORE AT NO DEPONSE TO THE OWNER, DURING THE PIRAT YEAR, DEDEPTION REPAINS OR REPAINS OR REPAINS ON REPAINS RECESSITATED BY DAMAGE OF MAY INAD NOT OF THE CONTRACTOR'S MAXIME, MAY REMAINSEMENT FOR REPAIRS MARK TWA'R PROPERTIES. REPRESENTATIVE.

DEBARMENT INSTITUTIONS NO SYSTEMUTIONS OF ECONOMICS TO THE OPERATION CONSISTS OF THE SPECIFIC THE SPECIFIC THEORY NO SYSTEMUTIONS OF ECONOMICS TO THE OPERATION CONSTRUCTIONS OF THE SPECIFIC SUBSTITUTIONS

PRODUCTS

EXX.VVID. CHORE # PPI TEXTWARK_CHORE # PPI ULTRIMATER REFERED TO AS PXC PPI (SULLI VAR. MEN MANUACTURED IN ACCORMANCI, WITH THE REPORT OF TAMANDER AR FOLD ARE PROJECT STANDARD 95-27-75 (MLL APPI VAND B THE GOLFWARK AUTOMITY AS ANALLER ANALNI TO NAN UNE FIT WARK AND SANL IN STALL (LAS SAN SPECIFICATION, 21/27 AND SMALLER MAIN LINE AND LATERAL UNE PPING WILL BE SOLVENT WILD JOINTS.

THE FILLING 2.32F MOSINULER PRIMITING SHALL BE AND SHOULE AND SMALLING BETTE USOD COMPANY, O DIGALL, ALL AND SHALLING SHALL BE ON THE SAME MATTERNAL AS THE INCLINES SHOULD AND SHALL BE COMPANIES AND THE PRICING SHALLING ON THE SAME MATTERNAL AS THE MANUFACTURES OF THE PRICING SHALLING SHALING SHALLING SHALLING SH

WHE ILL VALUE INTOINE STALL BE 14 ALLOSE COVING SIMILE CONDUCTOR NAME INTO AGAE VINCE INTERNATIONAL MARKATO FOR UNLET TRANSMERIZARE BALLIL IN SU VOIT ACCOLLES SIMILET THE NATIONAL ELECTRICA CODE, WHERE VINCE MERITE FOR VINCE ON EARING COVING BALTER THE SAME BIFGL WAS ARE TO BE COLOR CODED. THIS COLOR CODEN TO BE NOTED ON RECORD BALTER AND MARKATE COLOR CODED. THIS COLOR CODEN TO BE NOTED ON RECORD BAUMINGS.

DPM/SDOCKES DISTORMENCES WHICH ARE TO CONSIST OF APPROXIMATELY TO WRAPS OF WRITE ADDRED 1* HPC, WELL BE PROMISED ON LOCH WRITE APPROXIMATELY TO RY STATE TO BE READED AND TAPID TO DET THE UNITY OFFERT, INFORME EMPROXIMANTELY TO RY STATE TO BE READED AND TAPID TO DET THE UNITY OFFERT, INFORME EMPROXIMENCES AT KARD HELETTER WAVE READED THE WAVE READ

WHE SPILOS ALL WHE SPILOS SHALL BE MADE WITH A MICHWIGHL CONNECTOR AND WATER ROOFED ACCOUDING TO THE MANULACTURES SPECIFICATION. THE WHE SPILOE SHALL BE SPILATS THE SPILET, AM SOUTH LOCK, OR AM DRY WHE SPILOE ALL WHE SPILOES SHALL BE IN VALVE BODES, AND NO DIRECTLY SURGEO RE UNDERGROUND SPILOTS WILL REACEPTED. EXECUTION

HONORE
 HONOREMENT
 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 HONOREMENT

 H

The STATE STATE OF THE RELEASE IN A CHIEFE CHI

FLECTRIC VALVES

SYSTEM DEMONSTRATION BRITALIST CONTRESPONSEL IN OPERATION AND MAINTENANCE OF SYSTEM, INCLUSING ADJUSTING DESYMPLIENT MEASURE OPERATION AND MAINTENANCE MATERIAL AS BASES FOR DEMONSTRATION.



BORNEL CONTRACT DATA DE LA CONTRACT ANALISA DE LA CONTRACT DATA DE LA CONTRACT ANALISA DE LA CONTRACT ANALISA



SEE SHEET CO.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND

CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR C

193	DATE	
1	06.10.2002	PER CITY OF BALLERY LST REVEN
2	09. 55. 2022	PER OTY OF RALEIGH 2ND REVIEW
3	29.13.2022	PER CITY OF MALENER 3RD PENEW.
4	12.02.2022	PER CITY OF BALENCH 4TH REVIEW
5	43.07.2023	PER OTV OF MUDGH STH REVIEW
	05 06 2023	PER OTY OF RALEISH STH REVEW

PLAN INFORMATION

ROJECT NO. SPEC-20104 FILENAME SPEC-20104-LS WECKED BY ACP/MDS MEM DRAWN BY SCALE 1"=30' DATE 12.02.2022

SHEET LANDSCAPE DETAILS

L5.01



TREES SHALL BE PLANTED BETWEE OCTOBER 1ST AND APRIL SOTH A TREE MPACT PERMIT IS INSURANCE. ELECTRICAL OUTLETS AND OTHER UTLITIE ARE PROHIBITED IN THE PLANTING AREA INSURANCE Y SURROLINDING THE TREE. CITY OF RALEIGH STANDARD DETAIL STANDARD DETAIL AVECAL SYSTEM S2019 TREE PLANTING 5. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE VIEW TPP-03 7. TREES WELL HAVE A MINIMUM 1 YEAR WARRANTY

DO HOT PRUNE LEADER. PRUNE OR OUT ONLY ODAD OR DAMAGED SRIVKCHES TO AMERICAN INITION STANDARDS INSTITUTE (ANSI) AND STANDARDS

SHRUB PLANTING

шĦ

3" (8 CM) BARK MULCH: DO NOT PLACE MULCH WITHIN 3" OF TRUNK/STEM,

FORM 2" DEE

TOP OF ROOT BALL SHALL BE 1" HIGHER THAN ADJACENT EMISHED CRADE

-- CUT & REMOVE BURLAP FROM 1/3 OF ROOT BALL

6" MN

- PLANTING SOIL MIX TO BE TAMPED TO AVOID SETTLING

- SUBSOL BROKEN _

WOTH OF PLANTING HOLE SHALL BE 3 TIMES THE ROOT BALL DUAMETER IN HIGHLY COMPACTED OR CLAY SOLL : TIMES THE ROOT BALL DUAMETER MINIMUM IN ALL OTHERS

SS

THICE ROOT BULL

NOTES: 1. THEES MUST MEET THE THEE GUAL/T IN CH. 2 OF THE CITY TREE MANUAL.

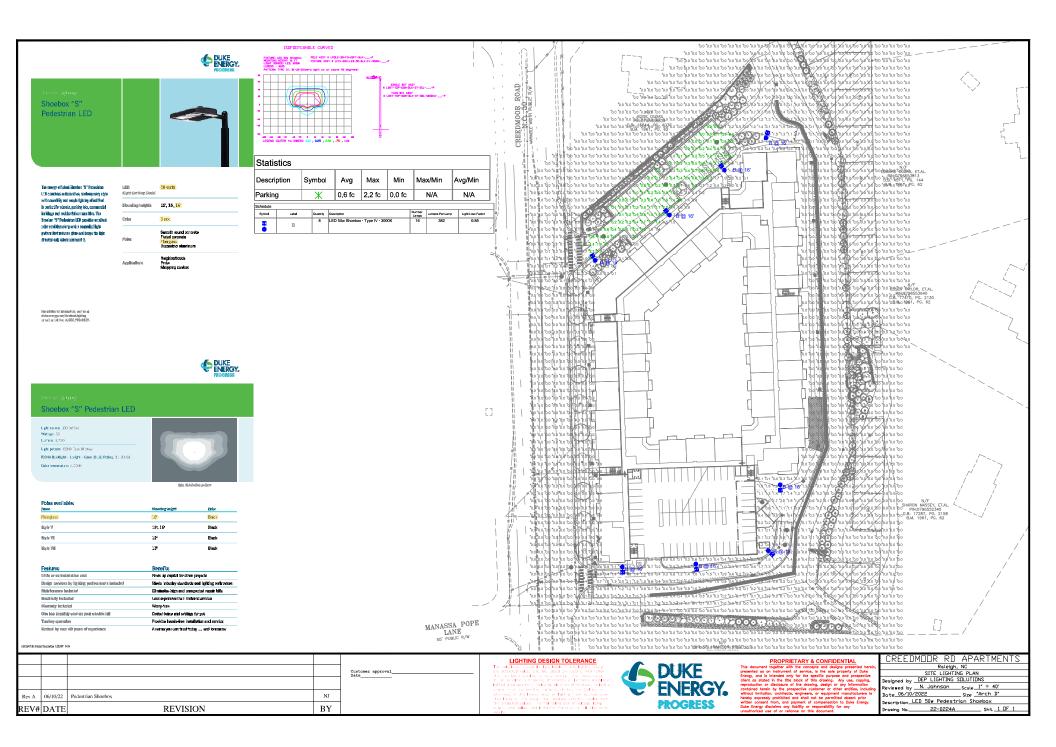
CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS.

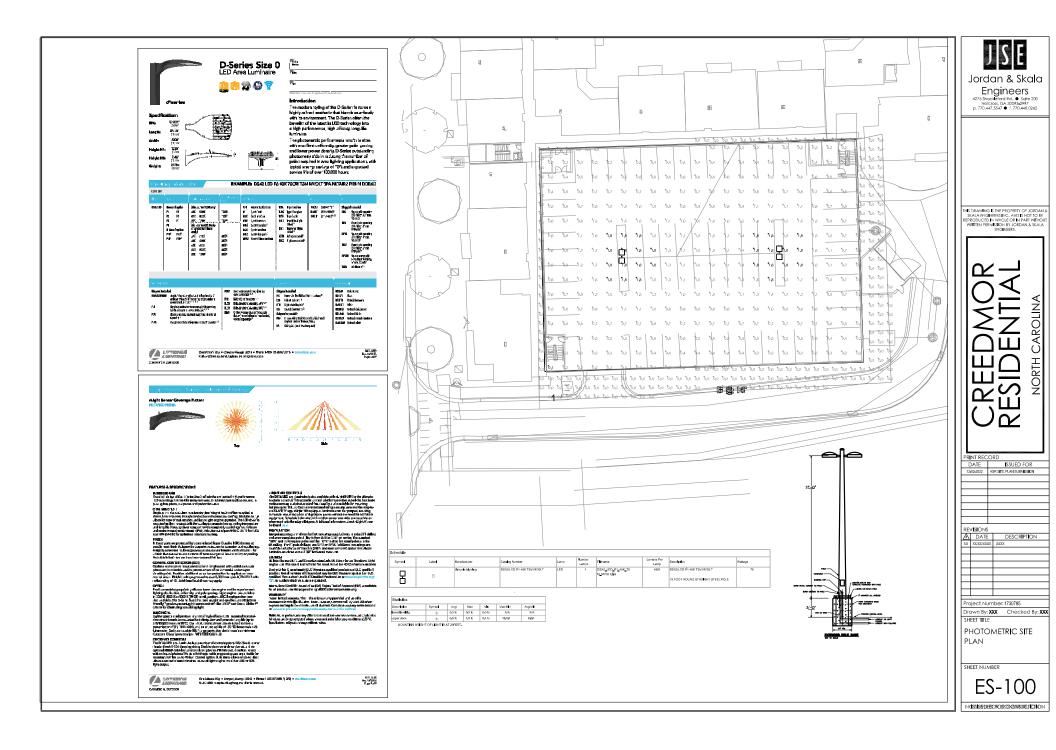
DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL RUBERATELY. INVERDIATELY AFTER UNICACIMUS, STAND THE THESE UP TO REDUCE THE RISK OF PLAN SCALD. PROPERTS TARE DI THESE ARE STANDING, UNITED AND SPACED, LOW MINEMATINY TATALILLO, SET OCTEMED AND AND THAT HALD THESE IN MARKE, PARIOTE TO MON WATHING AND MINEMATING. AND SPACED, LOW FOOTS

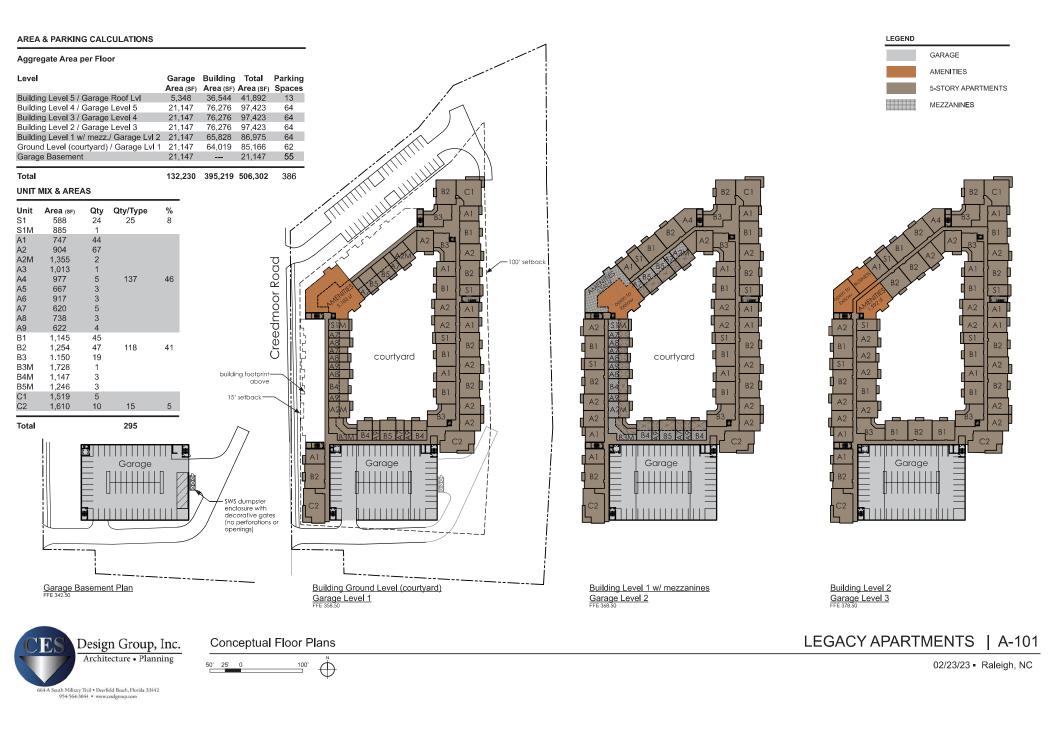
PAYTER OF STATUS PARAMINE PAYTER OF STATUS PROVIDED AND ADDRESS LOCATE NURSEARCE TO A MANUALINA DEPTI-OF E INDEX STATUS STORE LAKEN THAL THEY IN ANY TAMENTAN AND STOCK SECTOR INDEX STATUS STORE LAKEN THAL THEY IN ANY TAMENTAN AND STOCK SECTOR MATERING STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER STATUS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS PAYTER ADDRESS AND ADDRESS AND ADDRESS AND ADDRESS ADDRESS ADDRESS PAYTER ADDRESS AND ADDRESS ADDRESS ADDRESS ADDRESS ADDRESS ADDRESS ADDRESS PAYTER ADDRESS PAYTER ADDRESS PAYTER ADDRESS PAYTER ADDRESS PAYTER ADD

28. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.

29. ENLISH GRADING: GRADE PLANTING AGEAS TO A SMOOTH. UNFORM SUBFACE PLAVE WITH LODGE, UNFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR WINLIS 1/2 INCH OF FINSH LEXANDAR. BOLL AND RAKE, FEMORE RIDGES, AND FLL DEPRESSIONS TO MEET FINSH GRADES. UNAT RINGHED GRADING TO AREA THAT CAN BE PLANTER IN THE MINEMATE FULLIAS.



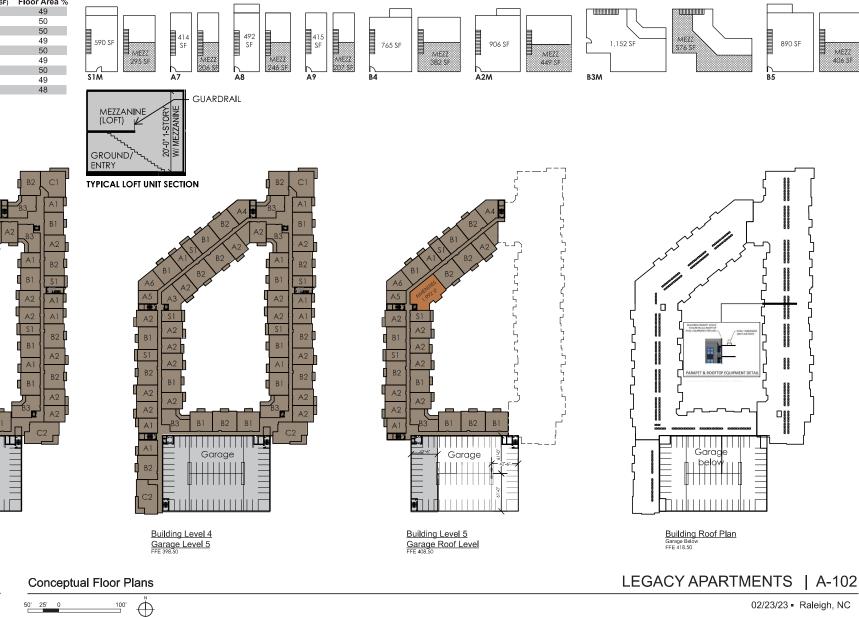




AMENITY & LOFT UNIT MEZZANINE CALCULATIONS

LOFT UNIT PLANS

Location/Unit	Ground (SF)	Mezzanine (SF)	Floor Area %
AMENITIES	5,183	2,545	49
S1M	590	295	50
A2M	906	449	50
A7	414	206	49
A8	492	246	50
A9	415	207	49
B3M	1,152	576	50
B4	765	382	49
B5	890	406	48



664-A South Military Trail • Deerfield Beach. Florida 33442 954-564-3044 • www.cesdgroup.com

A2

B2

A2

A2

A

A1

B2

Т

2 2

Building Level 3 Garage Level 4 FFE 388.50

Design Group, Inc.

Architecture • Planning

B2

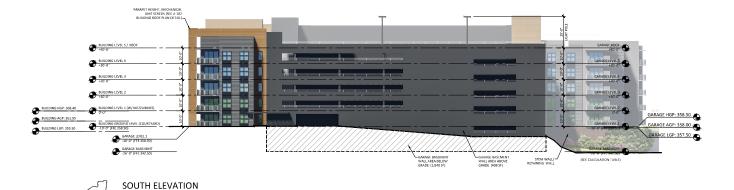
Garage

B1





SCALE: 1/16" = 1'-0"



GARAGE BASEMENT EXPOSURE CALCULATION PER TC-17-16

ELEVATION	AREA OF EACH WALL PANE FACADE	BELOW GRADE SF	FACACE % BELOW GRADE
NORTH	2,248 SF	2,248 SF	100%
SOUTH	2,248 SF	1,840 SF	82%
EAST	1,523 SF	809 SF	53 %
WEST	1,710 SF	1,710 SF	100%
50% OF TOTAL TOTAL ACTUA	DF ALL WALL PANES = 7,729 . WALL PANES = 3,864 SF L AREA BELOW GRADE = 6, AREA BELOW GRADE = 85.	607 SF	

AREA & PARKING CALCULATIONS

Aggregate Area per Floor

Level	Garage Area (SF)	Building Area (SF)	Total Area (SF)	Parking Spaces
Building Level 5 / Garage Roof Lvl	5,348	36,544	41,892	13
Building Level 4 / Garage Level 5	21,147	76,276	97,423	64
Building Level 3 / Garage Level 4	21,147	76,276	97,423	64
Building Level 2 / Garage Level 3	21,147	76,276	97,423	64
Building Level 1 w/ mezz./ Garage Lvl 2	21,147	65,828	86,975	64
Ground Level (courtyard) / Garage Lvl 1	21,147	64,019	85,166	62
Garage Basement	21,147		21,147	55
Total	132,230	395,219	506,302	386

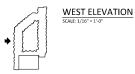
LEGACY APARTMENTS | A-201

Design Group, Inc. Architecture • Planning

Inc. Conceptual Elevations

02/23/23 • Raleigh, NC









NORTH ELEVATION SCALE: 1/16" = 1'-0"

GARAGE BASEMENT EXPOSURE CALCULATION PER TC-17-16

ELEVATION	AREA OF EACH WALL PANE FACADE	BELOW GRADE SF	FACACE % BELOW GRADE
NORTH	2,248 SF	2,248 SF	100%
SOUTH	2,248 SF	1,840 SF	82%
EAST	1,523 SF	809 SF	53 %
WEST	1,710 SF	1,710 SF	100%
50% OF TOTA TOTAL ACTU	OF ALL WALL PANES = 7,72 L WALL PANES = 3,864 SF AL AREA BELOW GRADE = 6 AREA BELOW GRADE = 85	,607 SF	

AREA & PARKING CALCULATIONS

Aggregate Area per Floor

Level	Garage Area (SF)	Building Area (SF)	Total Area (SF)	Parking Spaces
Building Level 5 / Garage Roof Lvl	5,348	36,544	41,892	13
Building Level 4 / Garage Level 5	21,147	76,276	97,423	64
Building Level 3 / Garage Level 4	21,147	76,276	97,423	64
Building Level 2 / Garage Level 3	21,147	76,276	97,423	64
Building Level 1 w/ mezz./ Garage Lvl 2	21,147	65,828	86,975	64
Ground Level (courtyard) / Garage Lvl 1	21,147	64,019	85,166	62
Garage Basement	21,147		21,147	55
Total	132,230	395,219	506,302	386



c. Conceptual Elevations

LEGACY APARTMENTS | A-202

02/23/23 · Raleigh, NC

PARAPET HEIGHT, MECHANICAL UNIT SCREEN (SEE A-102 BUILDING ROOF PLAN DETAIL)	\					
A 40-0"		-				
BUILDING LEVEL 4						
BUILDING LEVEL 2						
BUILDING LEVEL 1 (W/ MEZZANINES)						
PUILDING GROUND LEVEL (COURTYARD			tin tel tel			The case of the local in the







INTERIOR COURTYARD WEST ELEVATION

SCALE: 1/16" = 1'-0"

٠

UNIT SCREEN (SEE A-102 BUILDING ROOF PLAN DETAIL)			ROOFTOP ME	HANICAL UNITS ISERS)										PARAPET HEIGHT, MECHANICAL
BUILDING ROOF	Ì.			The second second							RODFTOP ME	CHANICAL UNITS		UNIT SCREEN (SEE A-102 BUILDING ROOF PLAN DETAIL)
		UNIT	UNIT			R .						7	-	1
BUILDING LEVEL 5 / ROOF	-	_	_	_						ALC: N				BUILDING RODE
BUILDING LEVEL 4	10/10	UNIT	UNIT							2		UNIT	UNIT 0	BUILDING LEVEL 4
BUILDING LEVEL 3 Z	10'.0"	UNIT	SI UNIT									UNIT	UNIT INU	+30°-0 Car
BUILDING LEVEL 2	10.0*	UNIT	UNIT COURT									UNIT	Official Office	S +20°-0 S
≥ BLDG LEVEL 1 (W/ MEZZANINE	10'-0"	UNIT	MEZZANINE							ſ		UNIT	UNIT UNIT	BLDG LEVEL 1 (W/ MEZZANINES)
CO-0"	0.01 ARD)		UNIT			/	\ \	\	20 DE	TOLINE		UNIT	UNIT IO	0-00-F
10' 0' (FFE 338.50)			ETAINED EARTH WHER SEE CIVIL DRAWINGS FO	APPLICABLE. R GRADE ELEVATIONSJ	MEZZANINE IN LOBBY (SE CALCULATIONS ON PLAN	E AREA SHEETS)	BRISE SOLEIL WINDO		COURTYARD LEVEL UNITS SULATIONS ON PLAN SHEETS)	- •				-10°.0° (FFE 358.50)

INTERIOR COURTYARD EAST ELEVATION



PARAPET HEIGHT, MECHANICAL

INTERIOR COURTYARD SOUTH ELEVATION SCALE: 1/16" = 1'-0"





Inc. Conceptual Elevations

LEGACY APARTMENTS | A-203

02/23/23 · Raleigh, NC