



# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>
Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: <u>SCOPE-0187-2022</u>
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: <u>Z-20-22</u>
<input type="checkbox"/> Open lot		Design Alternate #: _____
GENERAL INFORMATION		
Development name: Pleasant Valley Promenade Multifamily		
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Property address(es): 4001 Pleasant Valley Road, 3917 Pleasant Valley Road, 6204 Glenwood Avenue, 6250 Glenwood Avenue		
Site P.I.N.(s): 0786881039, 0786885116, 0786874371, 0786779662		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Demolition of existing Van Gogh Exhibition building (formerly Fitness Connection) in north east corner of subject property to allow for construction of a new apartment building.		
<b>Current Property Owner(s):</b> Kimco Raleigh LP		
Company: Kimco Raleigh LP		Title: _____
Address: 3333 New Hyde Park Road, New Hyde Park, NY 11042		
Phone #: (704) 362-6149		Email: lbjohnson@kimcorealty.com
<b>Applicant Name (If different from owner. See "who can apply" in instructions):</b>		
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder		
Company: Kimley-Horn		Address: 421 Fayetteville Street, Raleigh, NC 27601

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:	Total # of hotel bedrooms:		
# of bedroom units: 1br <u>214</u> 2br <u>143</u> 3br <u>15</u> 4br or more _____			
# of lots:	Is your project a cottage court?	Yes	No
	A frequent transit development?	Yes	No

Continue to Applicant Signature Block on Page Three.

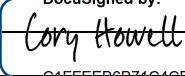
**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

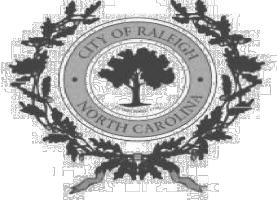
Signature:  <small>DocuSigned by: C1FFEEB6B71C4CD...</small>	Date: 3/31/2023
Printed Name: Cory Howell	





Plotted By: Yondali\_Sorch\_Sch-PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1 - Layout: CO.2 APPROVAL LETTERS - March 31, 2023 01:22:11pm K:\RAI\DEV\017377022-pleasant\_valley - phase 1 - m\05-cod\_files\02-plant\sheet\CO.2\_APPROVAL LETTERS.dwg  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

DocuSign Envelope ID: 41548A60-1D6D-4E29-A3A4-E8F66CFD8E2A



**City of Raleigh Public Utilities**  
**Cross Connection Program**  
**Certificate of Compliance Application**  
**New Construction**

**Office Use Only**

Date Application Received: \_\_\_/\_\_\_/20\_\_\_

Certificate Granted: Yes  No

Date: \_\_\_/\_\_\_/20\_\_\_

---

Joanie S. Hartley  
 Cross Connection Coordinator

Date: 03/27/2023

PIN: 0786881039, 0786885116, 0786874371, 0786779662  
\*PIN: Property Identification Number can be found on Wake Gov. Real Estate

Address: 4001 Pleasant Valley Rd, 3917 Pleasant Valley Rd, 6204 Glenwood Avenue, 6250 Glenwood Avenue, Raleigh, NC 27612

Street Address (Site of new construction) City State Zip Code

Daytime Phone Number 704-362-6149 Email: lbjohnson@kimcorealty.com

**Containment Assembly: A backflow assembly, installed at the point of separation between the public water supply and a private service or private distribution system or at the point of metering.**

**Minimum requirements: Containment assemblies must be installed within 50' linear feet of piping from the most downstream edge of the meter box or ROW and be on the ASSE and USC approval list. Please see Appendix A: Guidelines and Requirements for the Cross Connection Program for further installation guidelines.**

Water Service (Domestic, Irrigation, Fire, or Private Distribution System)	Type of Backflow: Reduced Pressure Zone (RPZ), Reduced Pressure Detector Assembly (RPDA), Double Check (DC), or Double Check Detector Assembly (DCDA)	Model of Containment Backflow	Size of Service	Office Use Only Approval of Location, Type, and Model
IRRIGATION	RPZ	WATTS SERIES 909 HWQT	1"	
DOMESTIC	RPZ	WATTS SERIES 909 M1QT	6"	
FIRE	RPDA	WATTS SERIES 909 RPDA	6"	

**Professional Engineer**


I understand that all containment backflow assemblies must be installed in accordance with Raleigh City Code Article D: Water Quality Protection and Appendix A: Guidelines and Requirements of the Cross-Connection Program. Any changes made to the type of containment backflow or location must be resubmitted to the City of Raleigh's Cross Connection Program for approval.

Cory Howell 919 678 4190 Phone

Name of Professional 421 Fayetteville St Ste 600 Raleigh NC 27601

City State Zip Code

Signature: *Cory Howell* Date: 3/31/2023

  
 P.E. Original Stamp/Seal

Office: 919-996-2747 Fax: 919-996-1868  
 cross.connection@raleighnc.gov  
 Go To www.raleighnc.gov and Search "Cross Connection"

Dominion Energy North Carolina  
 3516 Spring Forest Road, MCN26, Raleigh, NC 27616  
 DominionEnergyNC.com



March 13, 2023

Attn: Connor Linton  
 Kimley-Horn  
 421 Fayetteville Street, Suite 600  
 Raleigh, N.C. 27601

RE: Natural Gas Availability to serve address of 3911 Pleasant Valley Rd. located in Raleigh, N.C.

Dear Connor,

This letter is to advise that natural gas service is available to the address referenced above.

It is the policy of Dominion Energy to extend service based upon feasibility. Once we are provided with an acceptable site plan and specific gas load information we can determine if gas service can be extended without aid in construction charges to the customer/owner.

Feel free to contact me with any questions, I look forward to working with you.

Sincerely,  
*Matthew Koehl*  
 Matthew Koehl  
 Dominion Energy  
 Retail Commercial Sales Representative  
 matthew.koehl@dominionenergy.com  
 (919) 819-0485



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 NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

**SURVEY NOTE:**  
 ALL EXISTING TOPOGRAPHICAL BOUNDARY, SUBSURFACE UTILITY INFORMATION WAS PROVIDED WITHIN A TOPOGRAPHIC SURVEY OF PLEASANT VALLEY SHOPPING CENTER PREPARED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NC 27609, (919) 787-5805, DATED 10/10/2018 AND REVISED 03/10/2023.

No.	REVISIONS	DATE	BY



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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM  
 #F-0102

KHA PROJECT	017377022
DATE	03/31/2023
SCALE AS SHOWN	
DESIGNED BY	JAU
DRAWN BY	SET
CHECKED BY	CJH

## APPROVAL LETTERS

**PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1**  
 PREPARED FOR  
**KIMCO RALEIGH LIMITED PARTNERSHIP**  
 RALEIGH NC

SHEET NUMBER  
**CO.2**

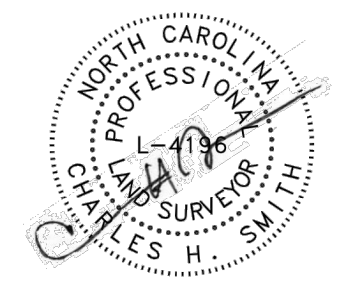






Plotted By: Yindali, Sarah. Sheet: SHEET PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1. Layout: C1.2. March 31, 2023. 12:45:56pm. K:\RAL\DEVA\017377022.pleasant\_valley - phase 1.mxd. User: charles.smith. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

- LEGEND OF SYMBOLS:**
- <sub>IPP</sub> IRON PIN OR PIPE FOUND W/SIZE
  - <sub>NAC</sub> NAIL & CAP
  - <sub>CP</sub> CALCULATED POINT - NO IRON SET
  - <sub>SY</sub> SIGN
  - <sub>B</sub> BOLLARD
  - <sub>FHY</sub> FIRE HYDRANT
  - <sub>FDC</sub> FIRE DEPARTMENT CONNECTION
  - <sub>WV</sub> WATER VALVE
  - <sub>WM</sub> WATER METER
  - <sub>ICV</sub> IRRIGATION CONTROL VALVE
  - <sub>MW</sub> MONITORING WELL
  - <sub>LP</sub> LIGHT POLE
  - <sub>UP</sub> UTILITY/POWER POLE
  - <sub>GW</sub> GUY WIRE
  - <sub>SP</sub> TRAFFIC SIGNAL POLE
  - <sub>E</sub> ELECTRIC PEDESTAL OR METER
  - <sub>TR</sub> TRANSFORMER
  - <sub>TEB</sub> TELEPHONE BOX
  - <sub>TSP</sub> TRAFFIC SIGNAL BOX
  - <sub>FBO</sub> FIBER OPTIC BOX OR VAULT
  - <sub>SDM</sub> STORM DRAIN MANHOLE
  - <sub>SDCI</sub> STORM DRAIN CURB INLET
  - <sub>SDRI</sub> STORM DRAIN DROP INLET
  - <sub>SM</sub> SANITARY SEWER MANHOLE
  - <sub>SSM</sub> SANITARY SEWER CLEANOUT
  - <sub>OE</sub> OVERHEAD ELECTRIC
  - <sub>FL</sub> FENCE LINE
  - EDGE OF ASPHALT PAVEMENT
  - CURB & GUTTER
- SUBSURFACE UTILITY SYMBOLS**
- UNDERGROUND GAS LINE
  - UNDERGROUND ELECTRIC LINE
  - UNDERGROUND COMMUNICATIONS LINES (TELEPHONE/CABLE/FIBER OPTIC)
  - WATER MAINS
  - UNKNOWN
  - SANITARY SEWER MAINS

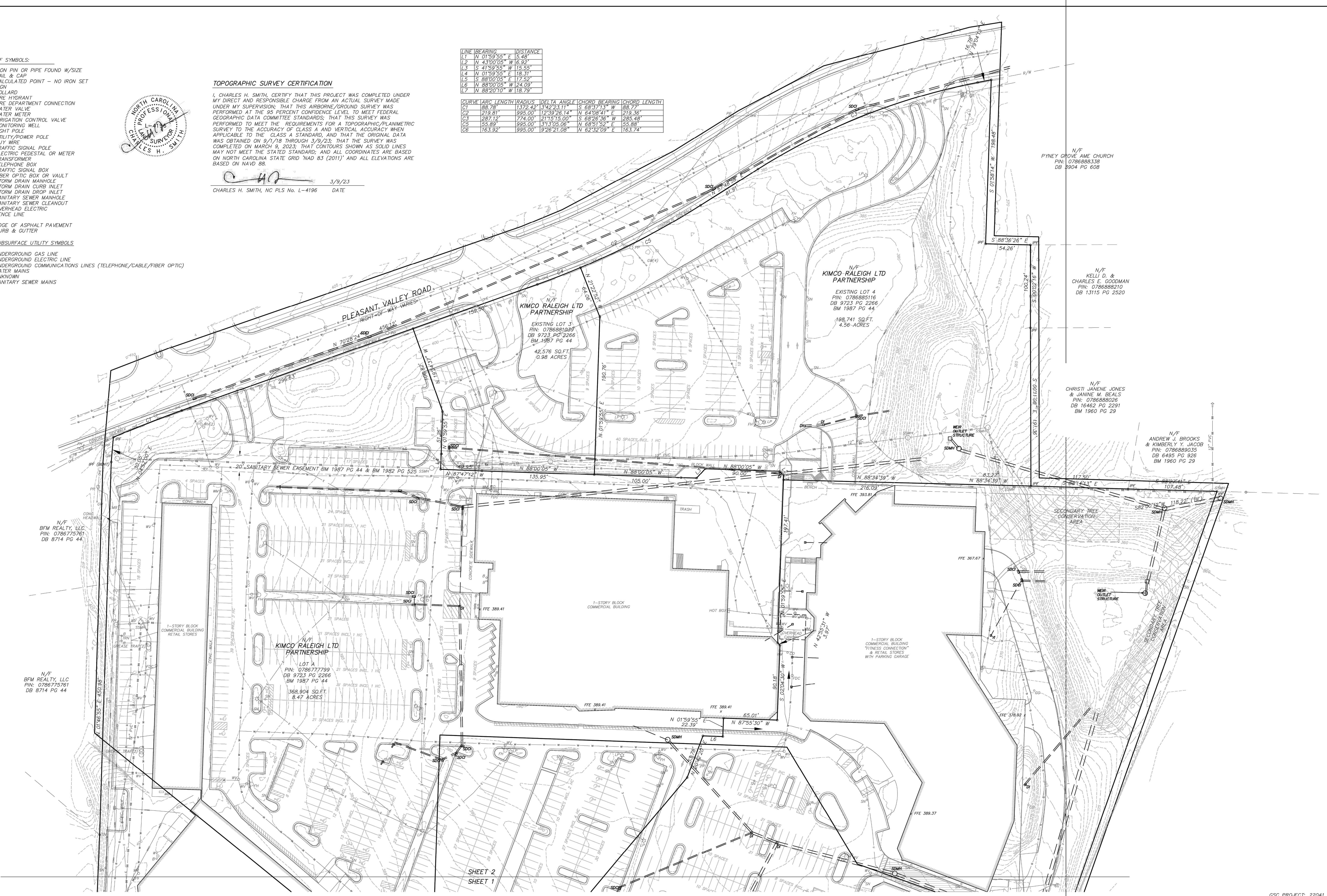


**TOPOGRAPHIC SURVEY CERTIFICATION**

I, CHARLES H. SMITH, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. THAT THIS AIRBORNE/GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS A AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS A STANDARD; AND THAT THE ORIGINAL DATA WAS OBTAINED ON 3/1/18 THROUGH 3/9/23; THAT THE SURVEY WAS COMPLETED ON MARCH 9, 2023; THAT CONTOURS SHOWN AS SOLID LINES MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NORTH CAROLINA STATE GRID NAD 83 (2011) AND ALL ELEVATIONS ARE BASED ON NAVD 88.

*Charles H. Smith* 3/9/23  
 CHARLES H. SMITH, NC PLS No. L-4196 DATE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	88.78'	1372.42'	1342.2311"	S 69°17'13" W 88.77'	
C2	219.81'	995.00'	12°39'26.14"	N 64°08'41" E 219.36'	
C3	287.12'	774.00'	21°15'15.00"	S 68°26'36" W 285.48'	
C4	153.89'	995.00'	131°03'08"	N 69°51'59" E 155.88'	
C5	163.92'	995.00'	9°26'21.08"	N 62°32'09" E 163.74'	



NO.	REVISIONS	DATE	BY

**Kimley»Horn**

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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
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 WWW.KIMLEY-HORN.COM  
 #1-0102

KHA PROJECT	017377022
DATE	03/31/2023
SCALE	AS SHOWN
DESIGNED BY	JAU
DRAWN BY	SET
CHECKED BY	CJH

**TOPOGRAPHIC SURVEY**

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1  
 PREPARED FOR  
 KIMCO RALEIGH LIMITED PARTNERSHIP

RALEIGH NC

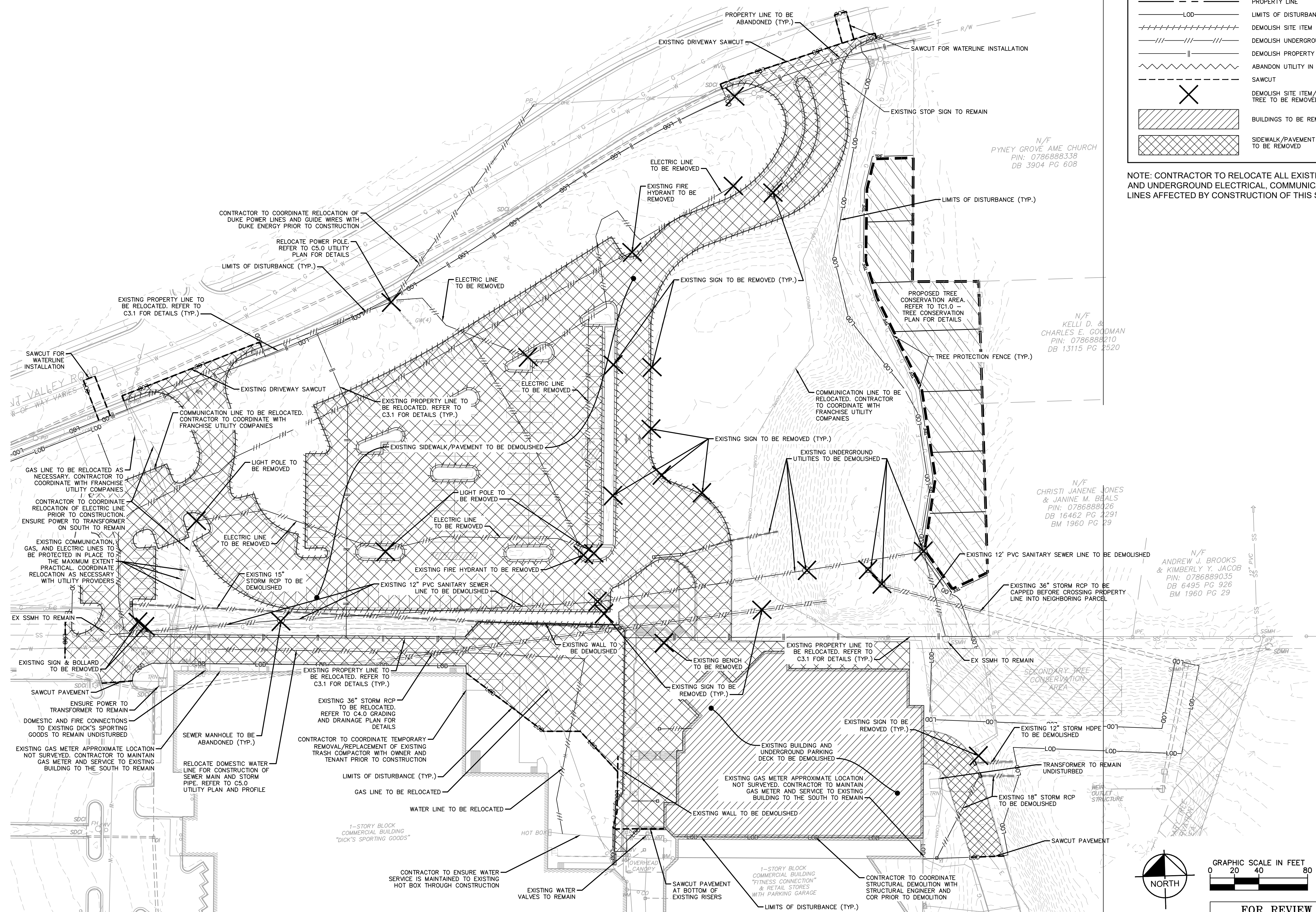
SHEET NUMBER  
**C1.2**

**GSC SURVEYING**  
 4072 BARRETT DRIVE  
 RALEIGH, NC 27609  
 PHONE (919) 787-5805  
 NC CORPORATE LICENSE No. C-2335

A PARTIAL TOPOGRAPHIC SURVEY OF  
 PLEASANT VALLEY SHOPPING CENTER AND PLEASANT VALLEY ROAD  
 CITY OF RALEIGH, WAKE COUNTY, NC

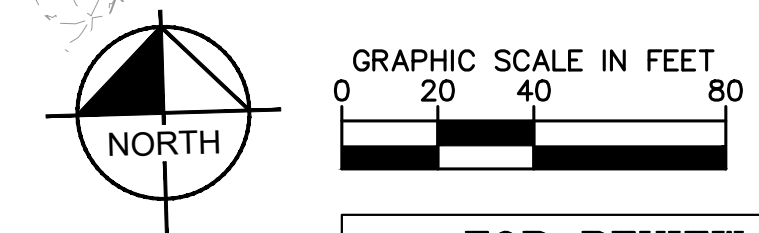
DATE: MAR. 9, 2023 SCALE: 1" = 50' SHEET: 2 OF 2

Plotted By: Jondall, Sarah. Sheet: SHEET-PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1. Layout: C2.0 DEMOLITION PLAN. March 31, 2023. 12:46:16pm. K:\RAL\DEVA\1727022-pleasant\_valley - phase 1.mxd. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



DEMOLITION LEGEND	
	PROPERTY LINE
	LIMITS OF DISTURBANCE
	DEMOLISH SITE ITEM
	DEMOLISH UNDERGROUND UTILITY
	DEMOLISH PROPERTY LINE
	ABANDON UTILITY IN PLACE
	SAWCUT
	DEMOLISH SITE ITEM/TREE TO BE REMOVED
	BUILDINGS TO BE REMOVED
	SIDEWALK/PAVEMENT TO BE REMOVED

NOTE: CONTRACTOR TO RELOCATE ALL EXISTING LIGHT POLES AND UNDERGROUND ELECTRICAL, COMMUNICATION, AND GAS LINES AFFECTED BY CONSTRUCTION OF THIS SITE.



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NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.



Call before you dig.

**SURVEY NOTE:**  
ALL EXISTING TOPOGRAPHICAL BOUNDARY, SUBSURFACE UTILITY INFORMATION WAS PROVIDED WITHIN A TOPOGRAPHIC SURVEY OF PLEASANT VALLEY SHOPPING CENTER PREPARED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NC 27609, (919) 787-5805, DATED 10/10/2018 AND REVISED 03/10/2023.

No.	REVISIONS	DATE	BY

**Kimley-Horn**  
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
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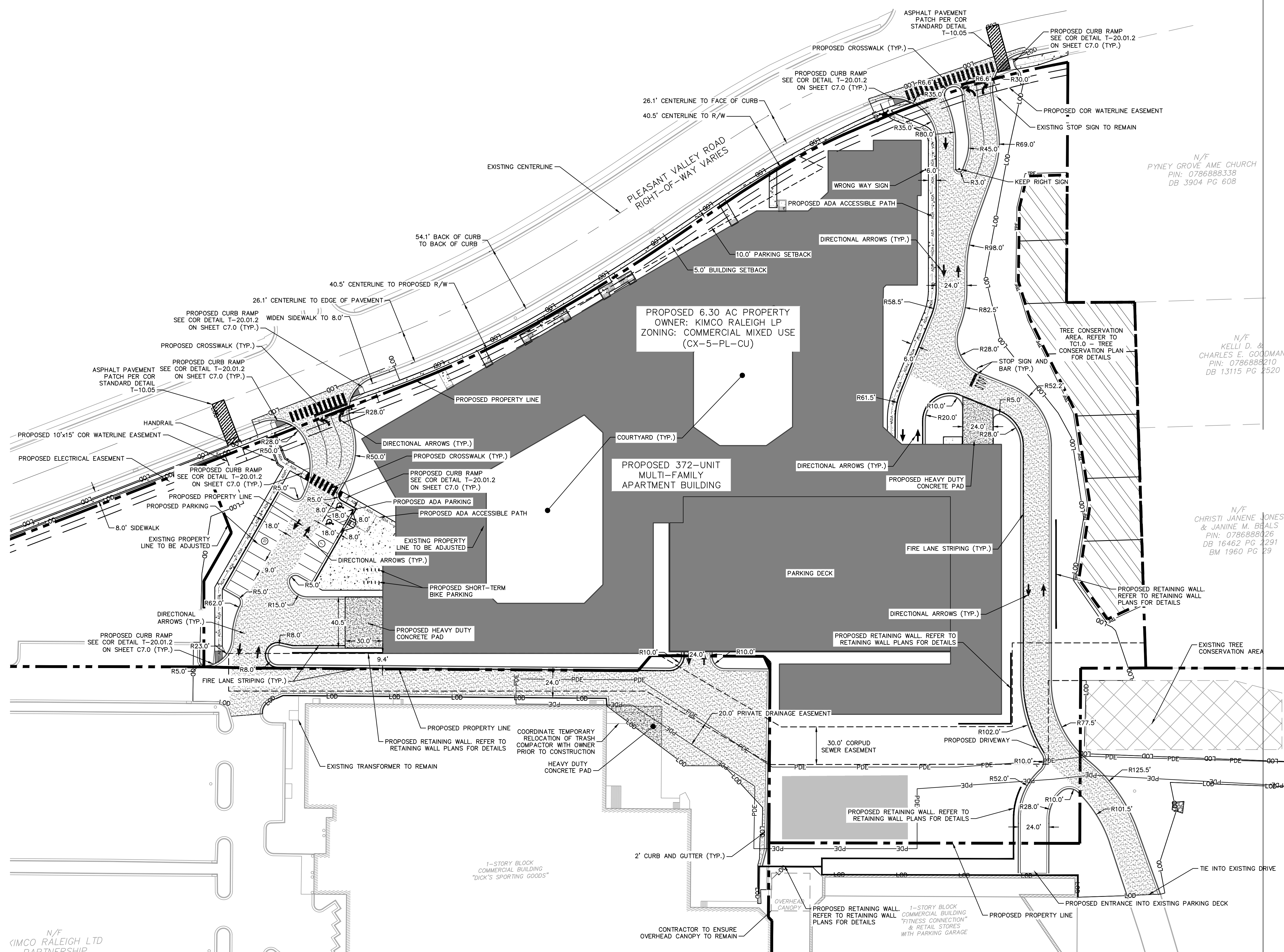
KHA PROJECT	017377022
DATE	03/31/2023
SCALE	AS SHOWN
DESIGNED BY	JAU
DRAWN BY	SET
CHECKED BY	CJH

# DEMOLITION PLAN

PLEASANT VALLEY PROMENADE  
 MULTIFAMILY - PHASE 1  
 PREPARED FOR  
 KIMCO RALEIGH LIMITED  
 PARTNERSHIP  
 RALEIGH, NC

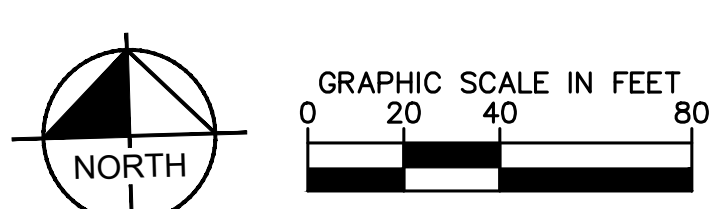
SHEET NUMBER  
**C2.0**

Plotted By: Jindal, Sarah. Sheet: SITE-PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1. Layout: C3.0 SITE PLAN. March 31, 2023. 12:46:37pm. K:\RAL\LEVA\07377022-pleasant valley - phase 1.mxd. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SITE LEGEND	
	PROPERTY LINE
	BUILDING SETBACK
	FENCE
	RETAINING WALL
	STANDARD CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	STANDARD DUTY CONCRETE
	HEAVY DUTY CONCRETE
	BUILDING

SITE DATA TABLE	
<b>PROJECT INFORMATION</b>	
PROJECT NAME:	PLEASANT VALLEY PROMENADE MULTIFAMILY
COUNTY:	WAKE COUNTY
JURISDICTION:	CITY OF RALEIGH
PIN #S:	0786885116, 0786881039, 0786874371, 0786779662
<b>SITE SIZE &amp; COVERAGES</b>	
SITE ACREAGE:	6.30 AC
BUILDING SIZE:	374,062 SF
REQUIRED AMENITY SPACE:	10% OF SITE AREA = 0.630 AC
PROVIDED AMENITY SPACE:	1.46 AC
REQUIRED TREE CONSERVATION AREA:	10% OF SITE AREA = 0.630 AC
PROVIDED TREE CONSERVATION AREA:	0.389 AC
<b>ZONING</b>	
EXISTING ZONING:	COMMERCIAL MIXED USE (CX-5-PL CU)
PROPOSED ZONING:	COMMERCIAL MIXED USE (CX-5-PL CU)
<b>SETBACK REQUIREMENTS</b>	
STREET	5' BUILDING, 10' PARKING
SIDE	5' BUILDING, 0' PARKING



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**811**  
SURVEY NOTE:  
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Know what's below.  
Call before you dig.

NO.
REVISIONS
DATE

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM

**PROJECT INFORMATION**

KHA PROJECT: 017377022  
DATE: 03/31/2023  
SCALE: AS SHOWN  
DESIGNED BY: JAU  
DRAWN BY: SET  
CHECKED BY: C/JH

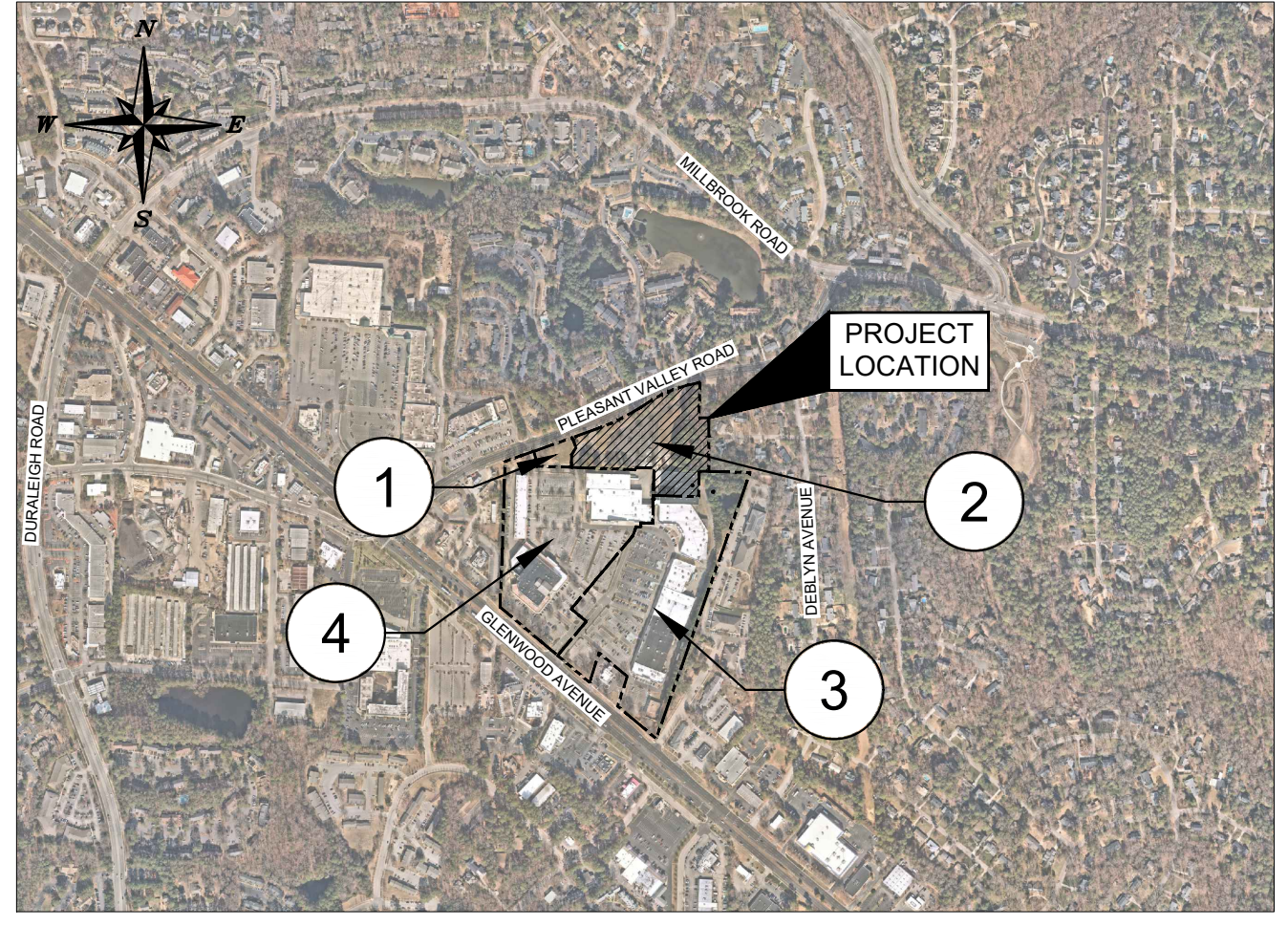
**SITE PLAN**

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1  
PREPARED FOR  
KIMCO RALEIGH LIMITED PARTNERSHIP

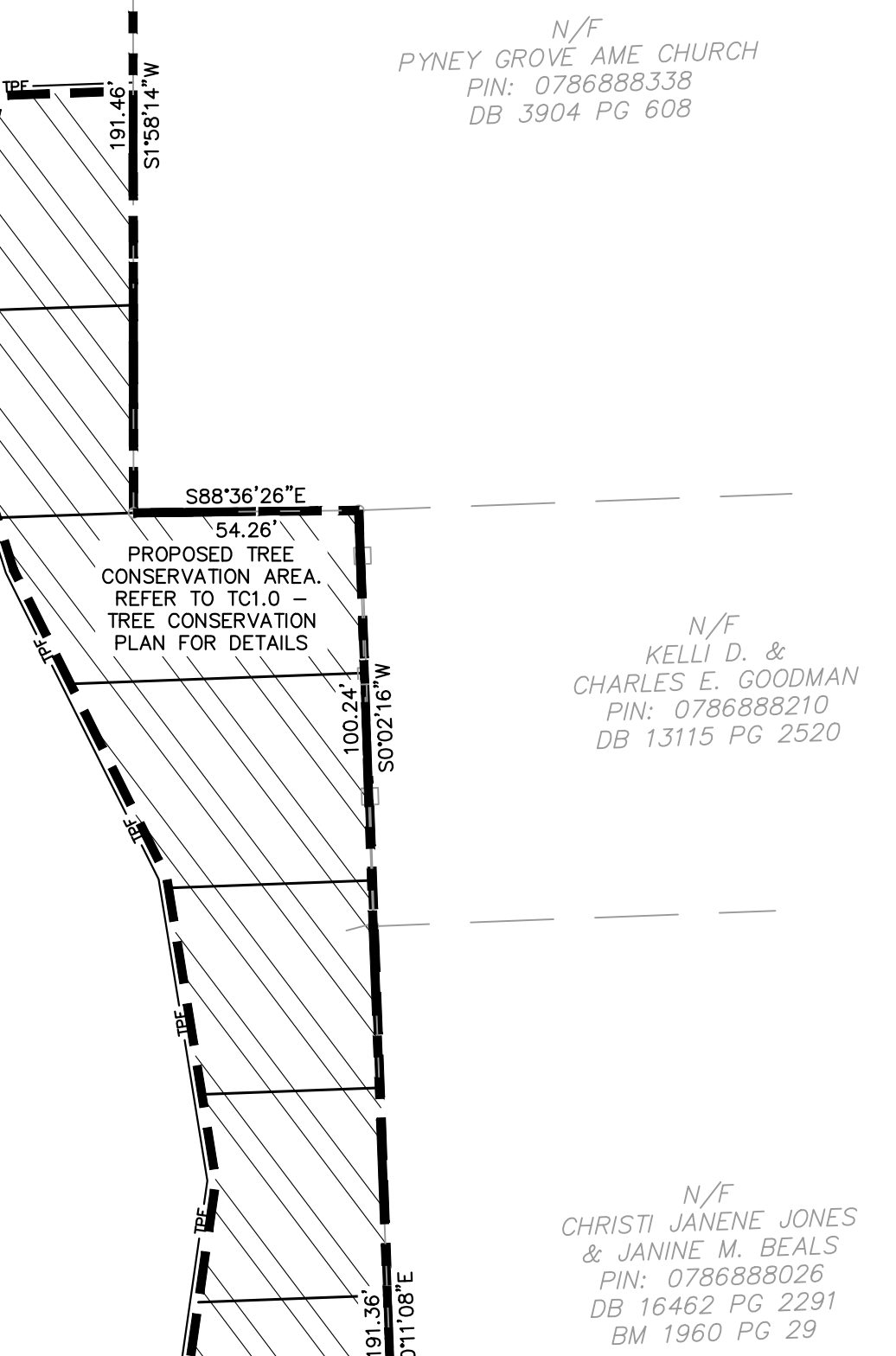
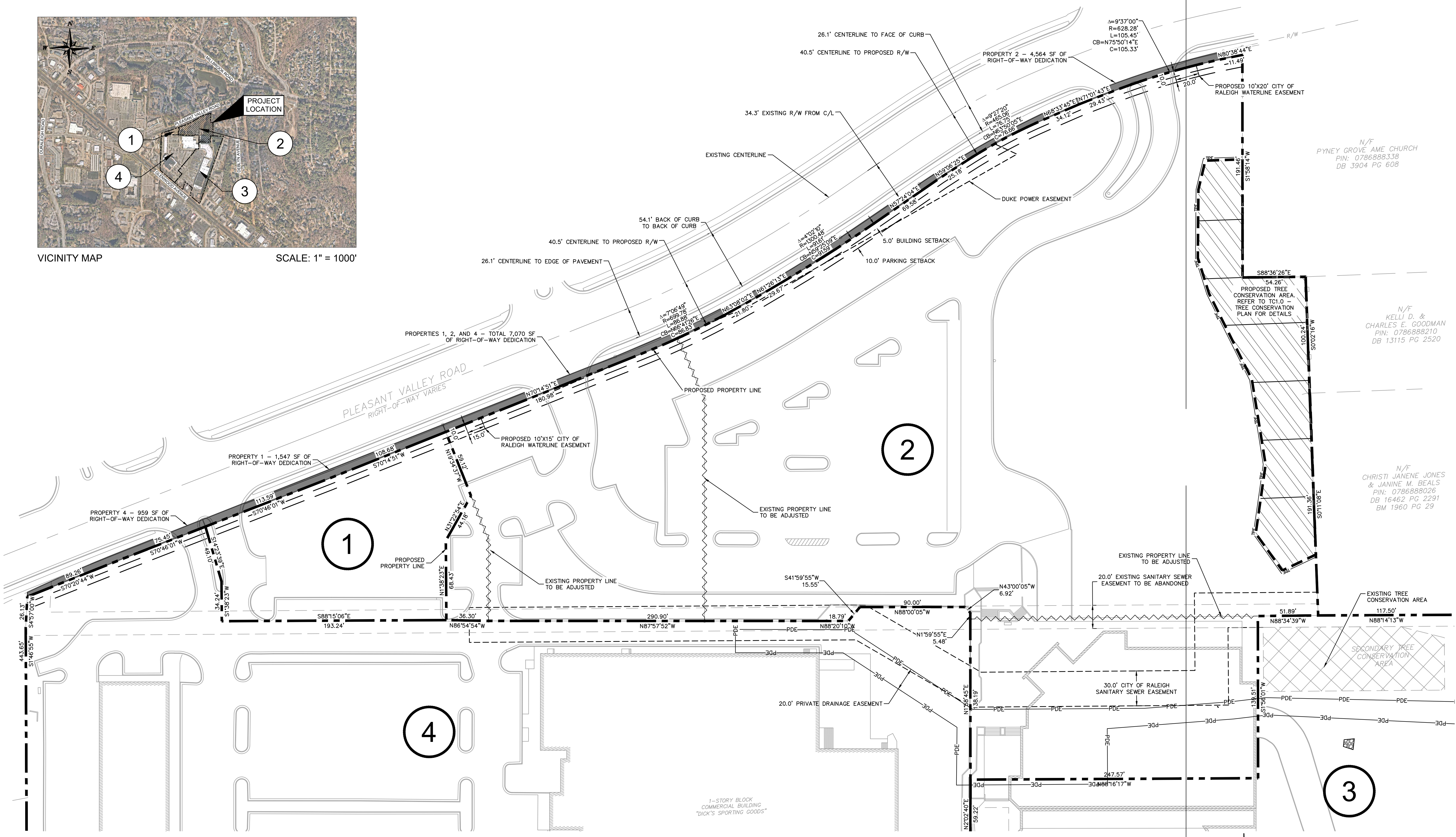
RALEIGH, NC

SHEET NUMBER  
**C3.0**

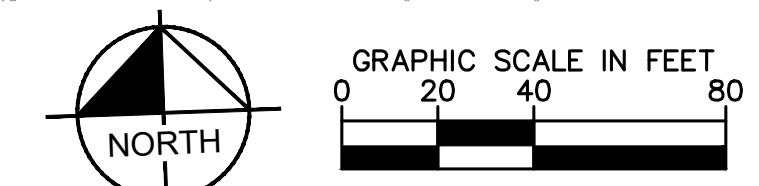
Plotted By: Tindall, Aaron. Sheet: SPT-PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1. Layout: C3.1. PROPERTY LINE ADJUSTMENT PLAN. March 31, 2023. 12:46:57pm. K:\REAL\LEAD\017377022-pleasant\_valley - phase 1.mxd. User: atd. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



VICINITY MAP SCALE: 1" = 1000'



ADDRESS TABLE					
ADDRESS	PIN	PARCEL ID/REID	EXISTING AREA	PROPOSED AREA	RIGHT-OF-WAY DEDICATION
(1) 4001 PLEASANT VALLEY ROAD	#0786881039	#0023667	0.98 AC	0.58 AC	1,547 SF
(2) 3917 PLEASANT VALLEY ROAD	#0786885116	#0453611	4.56 AC	6.30 AC	4,564 SF
(3) 6204 GLENWOOD AVENUE	#0786874371	#0453610	16.27 AC	15.48 AC	0 SF
(4) 6250 GLENWOOD AVENUE	#0786779662	#0453609	14.15 AC	13.43 AC	959 SF



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NO. \_\_\_\_\_

REVISIONS \_\_\_\_\_

DATE \_\_\_\_\_

BY \_\_\_\_\_

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**PROPERTY LINE ADJUSTMENT PLAN**

KHA PROJECT 017377022

DATE 03/31/2023

SCALE AS SHOWN

DESIGNED BY JAU

DRAWN BY SET

CHECKED BY CUJT

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**PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1**

PREPARED FOR **KIMCO RALEIGH LIMITED PARTNERSHIP**

NC

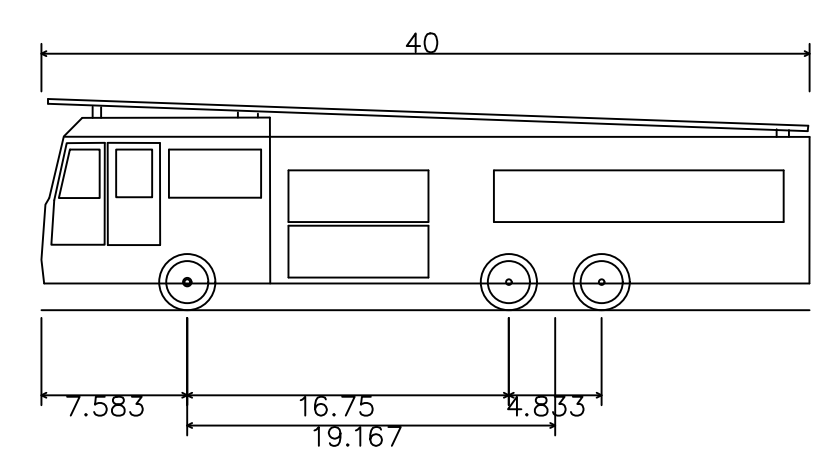
RALEIGH

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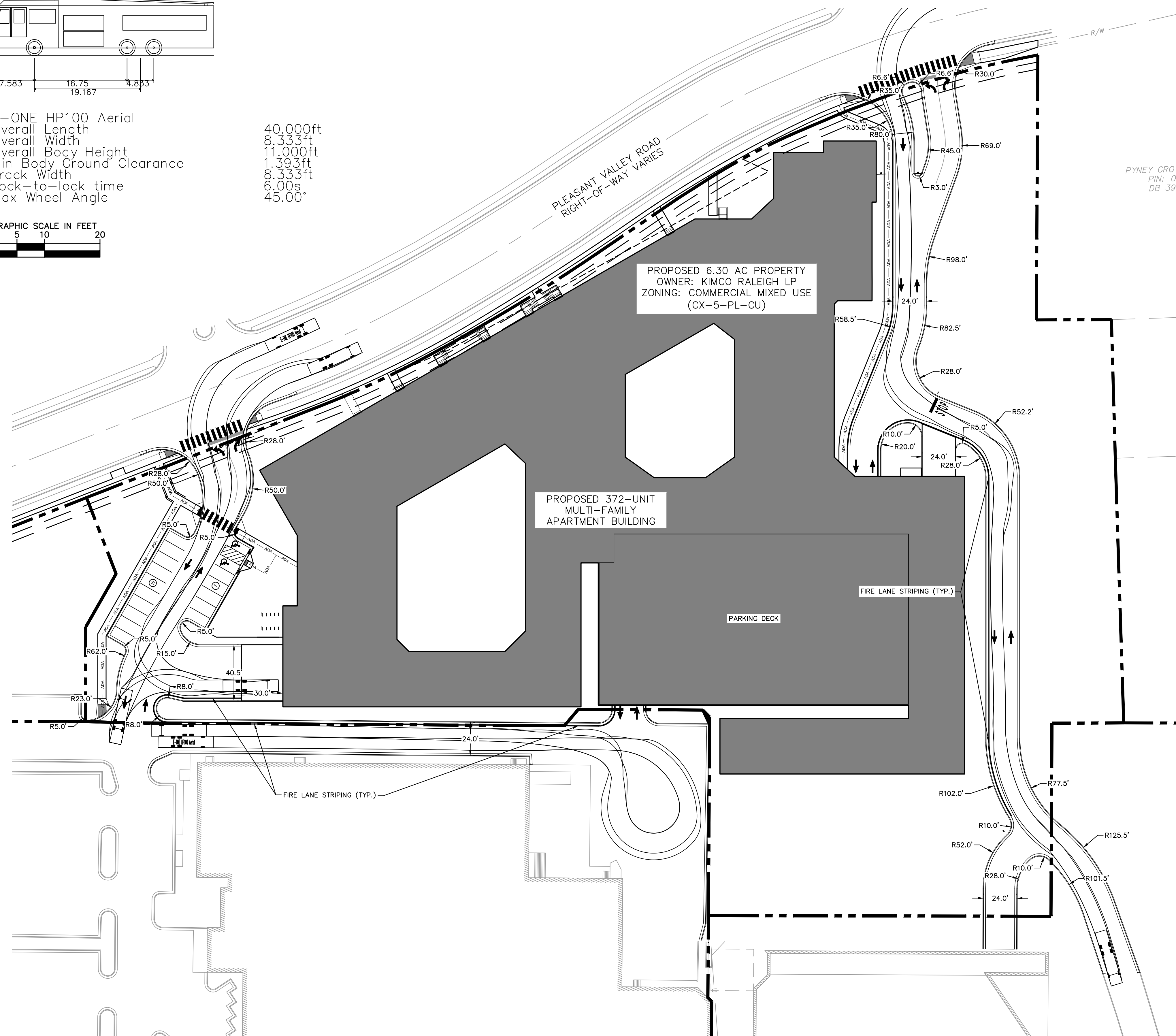
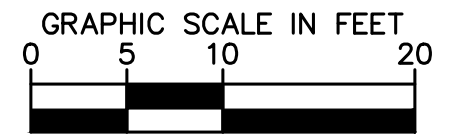
SHEET NUMBER **C3.1**

RALEIGH

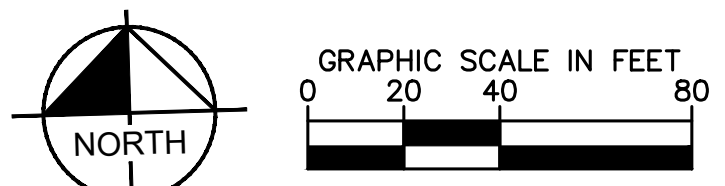
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**E-ONE HP100 Aerial**  
 Overall Length 40.000ft  
 Overall Width 8.333ft  
 Overall Body Height 11.000ft  
 Min Body Ground Clearance 1.393ft  
 Track Width 8.333ft  
 Lock-to-lock time 6.00s  
 Max Wheel Angle 45.00°



SITE LEGEND	
	PROPERTY LINE
	FIRE LANE STRIPING
	BUILDING SETBACK
	FENCE
	RETAINING WALL
	STANDARD CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	BUILDING



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KHA PROJECT	017377022
DATE	03/31/2023
SCALE	AS SHOWN
DESIGNED BY	JAU
DRAWN BY	SET
CHECKED BY	CJH

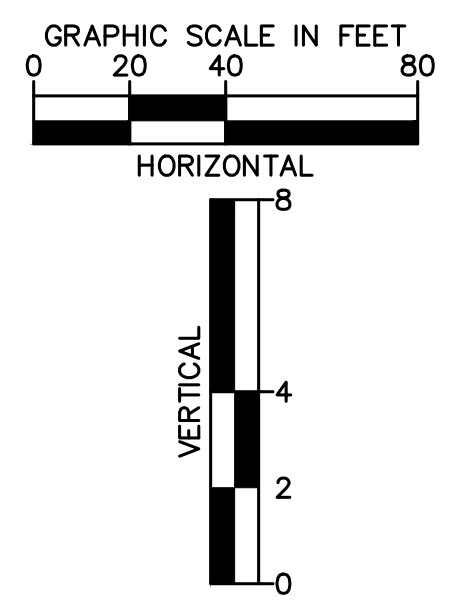
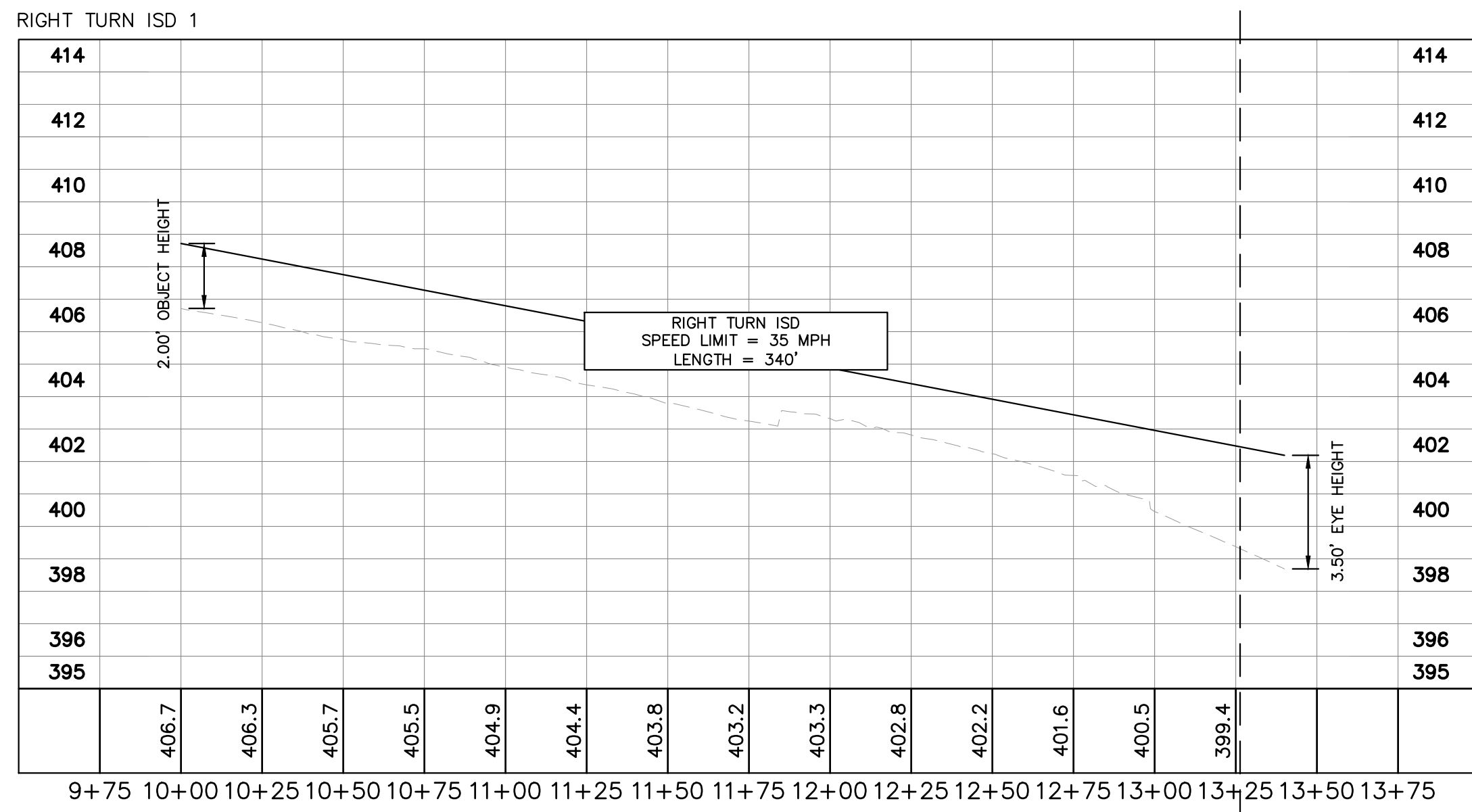
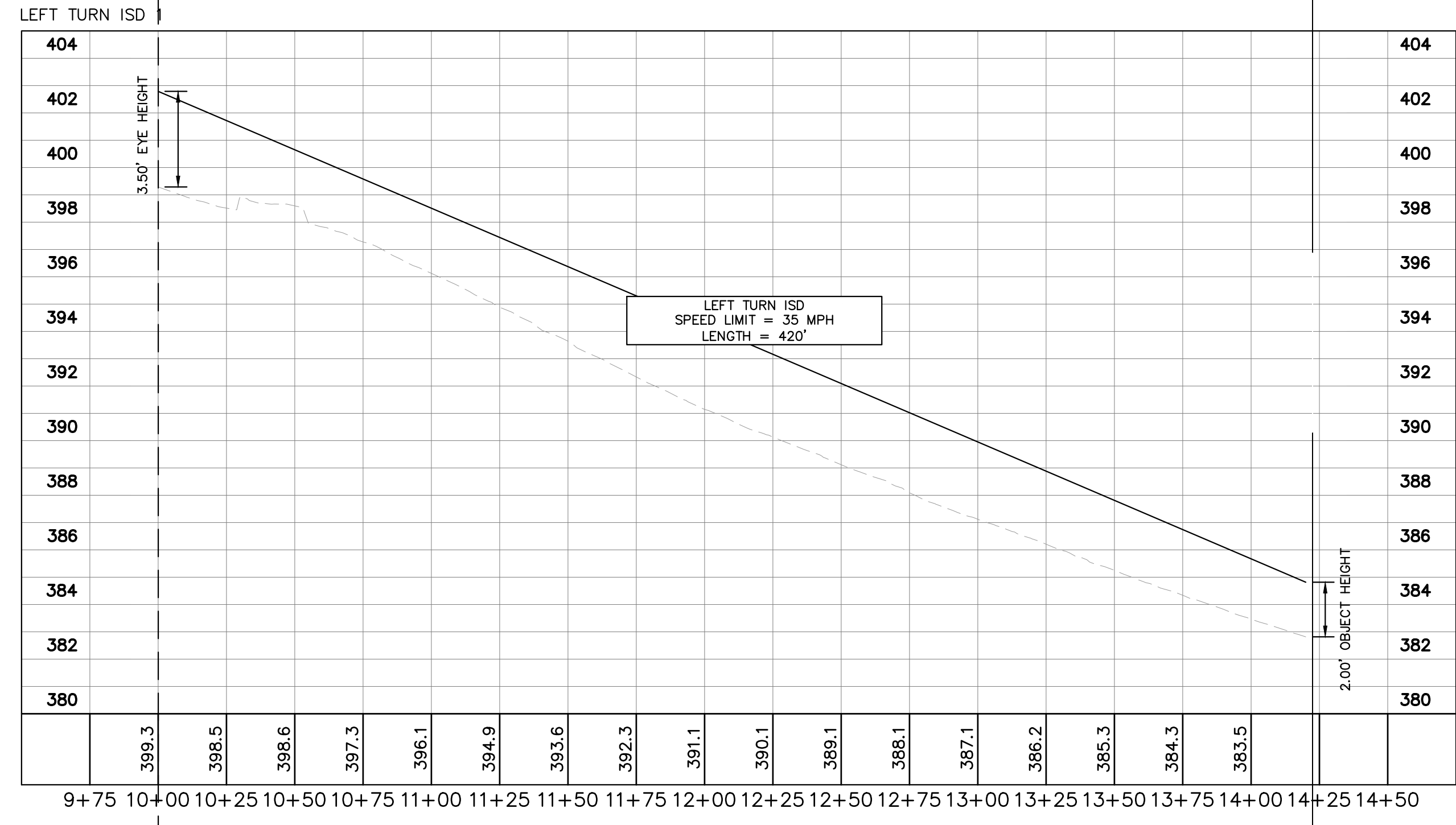
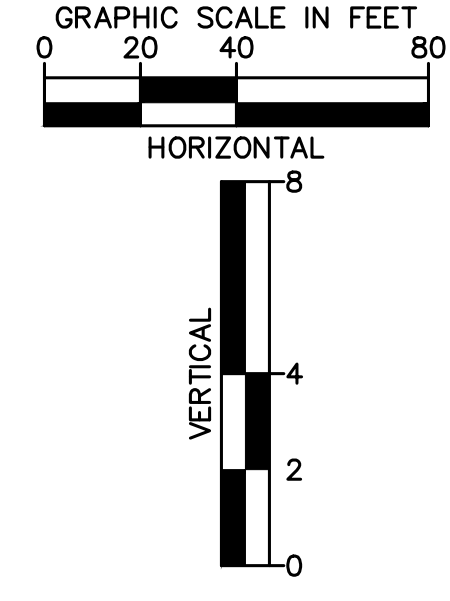
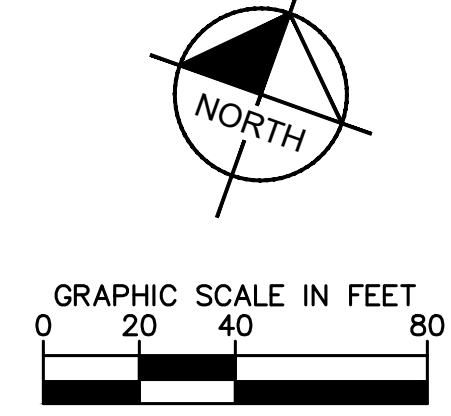
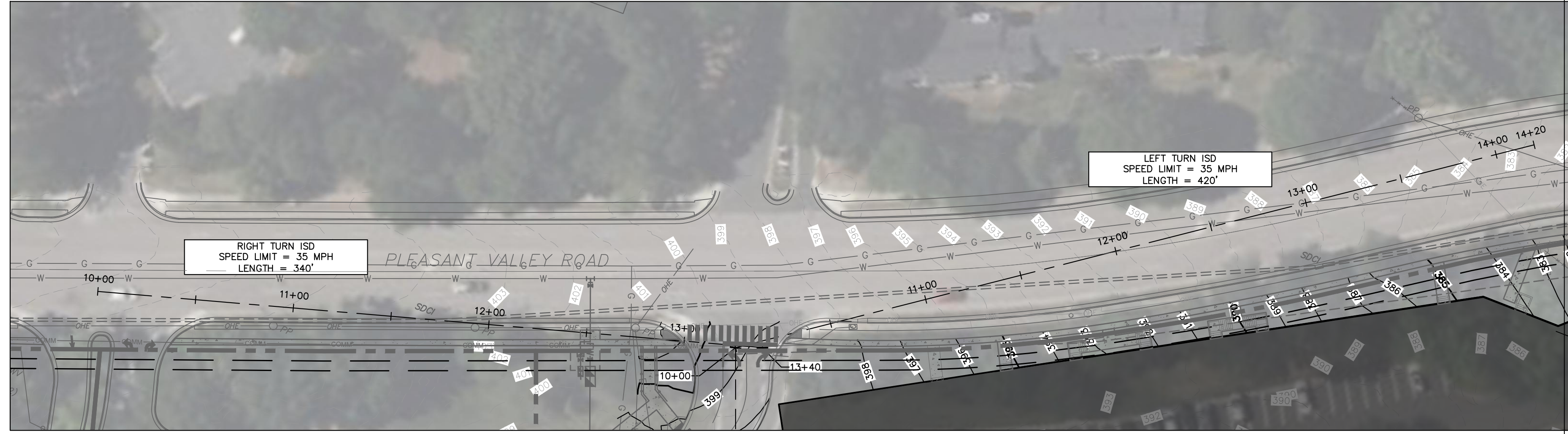
**FIRE APPARATUS PLAN**

PLEASANT VALLEY PROMENADE  
 MULTIFAMILY - PHASE 1  
 PREPARED FOR  
 KIMCO RALEIGH LIMITED  
 PARTNERSHIP

RALEIGH NC

SHEET NUMBER  
**C3.2**

Plotted By: Dondale, Sarah. Sheet: PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1. Layout: C3.3 SIGHT DISTANCE PLAN. March 31, 2023. 12:47:59pm. K:\V\AL\DEVA\017377022\_Pleasant\_valley - phase 1.mxd. Code files: 02-plantree\c3.3\_SIGHT DISTANCE PLAN.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



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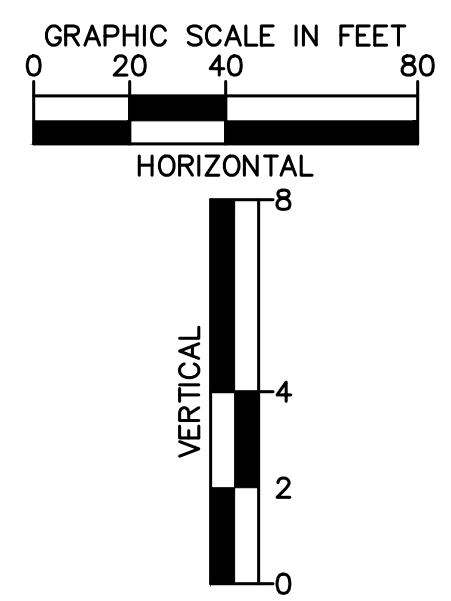
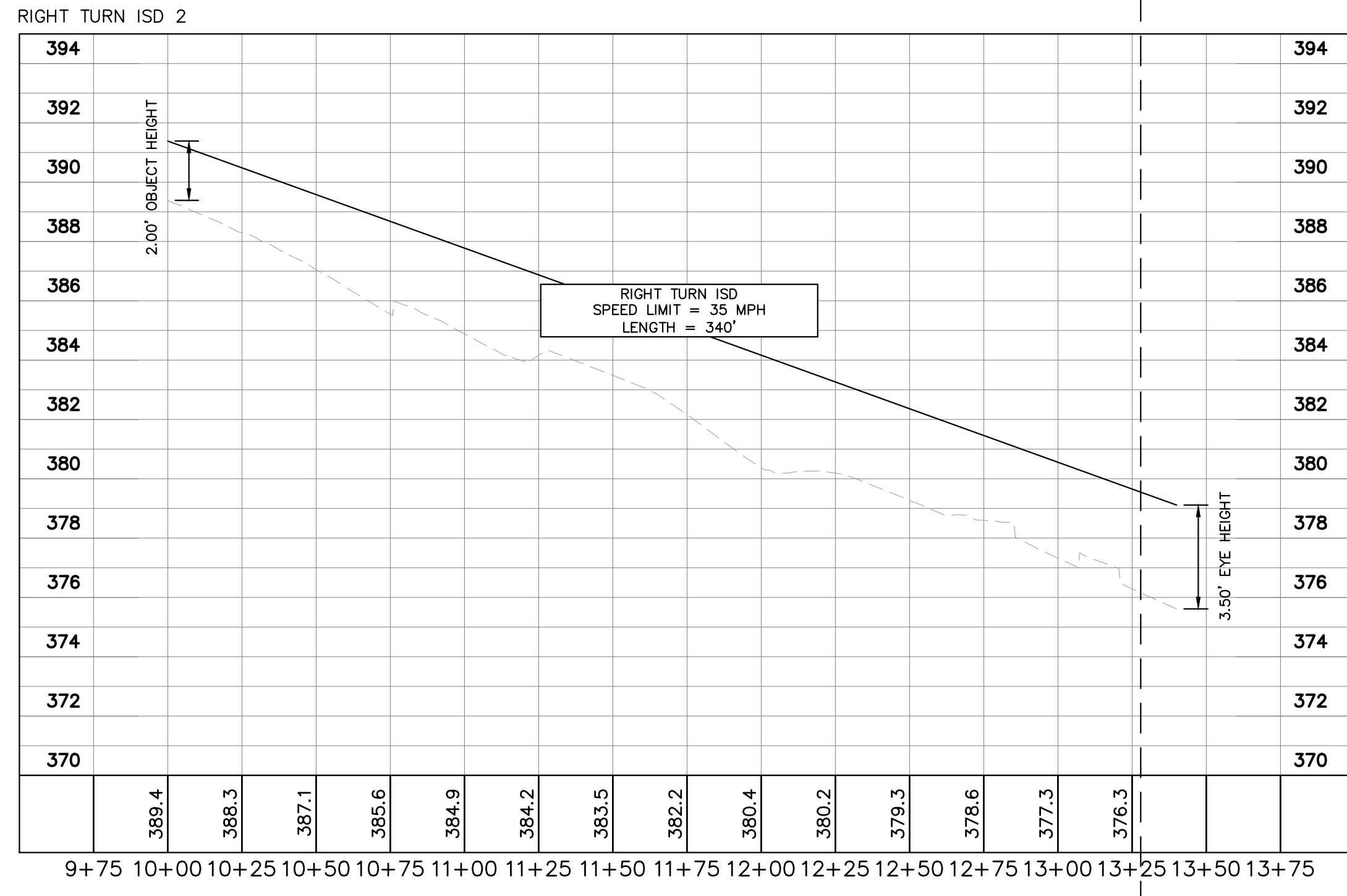
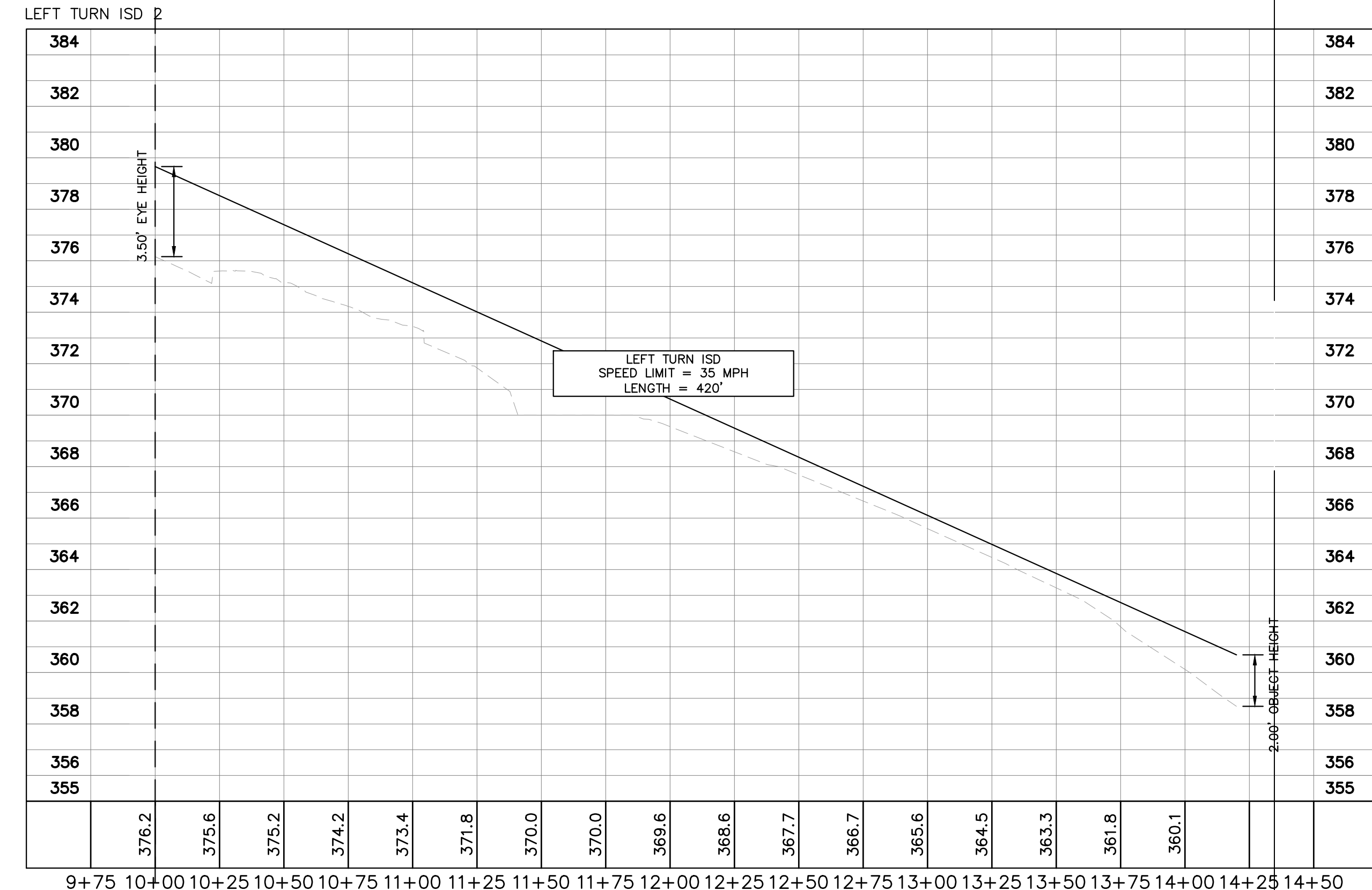
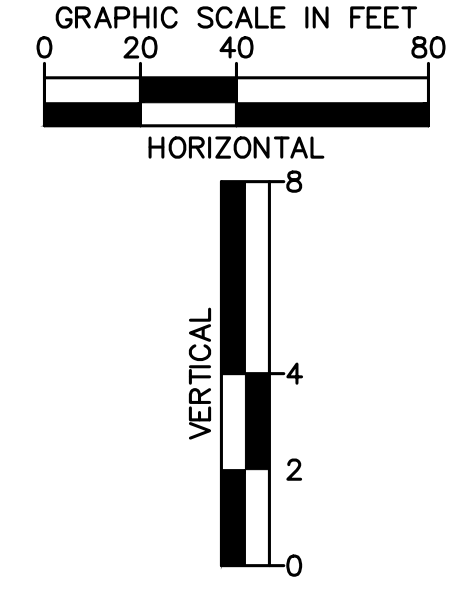
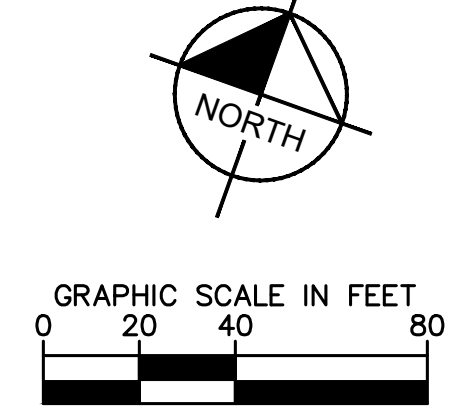
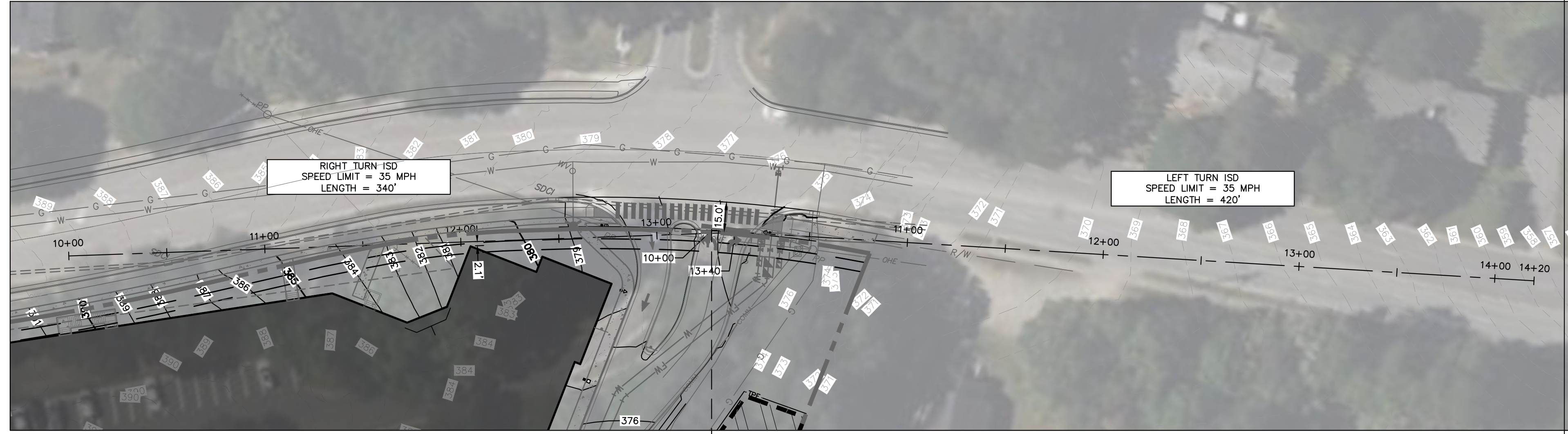
KHA PROJECT	017377022
DATE	03/31/2023
SCALE	AS SHOWN
DESIGNED BY	JAU
DRAWN BY	SET
CHECKED BY	CJH

**SIGHT DISTANCE PLAN**

PLEASANT VALLEY PROMENADE  
MULTIFAMILY - PHASE 1  
PREPARED FOR  
KIMCO RALEIGH LIMITED  
PARTNERSHIP  
RALEIGH, NC

SHEET NUMBER  
**C3.3**

Plotted By: Yondali\_Sorch\_Sheet\_Site/PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1 - Layout: C3.4 SIGHT DISTANCE PLAN - March 31, 2023 12:48:04pm - K:\REAL\DEV\17377022\_Pleasant\_Valley - phase 1.mxd - cad files\02-plant\sheet\C3.4 SIGHT DISTANCE PLAN.dwg  
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No.	REVISIONS	DATE	BY

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KHA PROJECT	017377022
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SCALE	AS SHOWN
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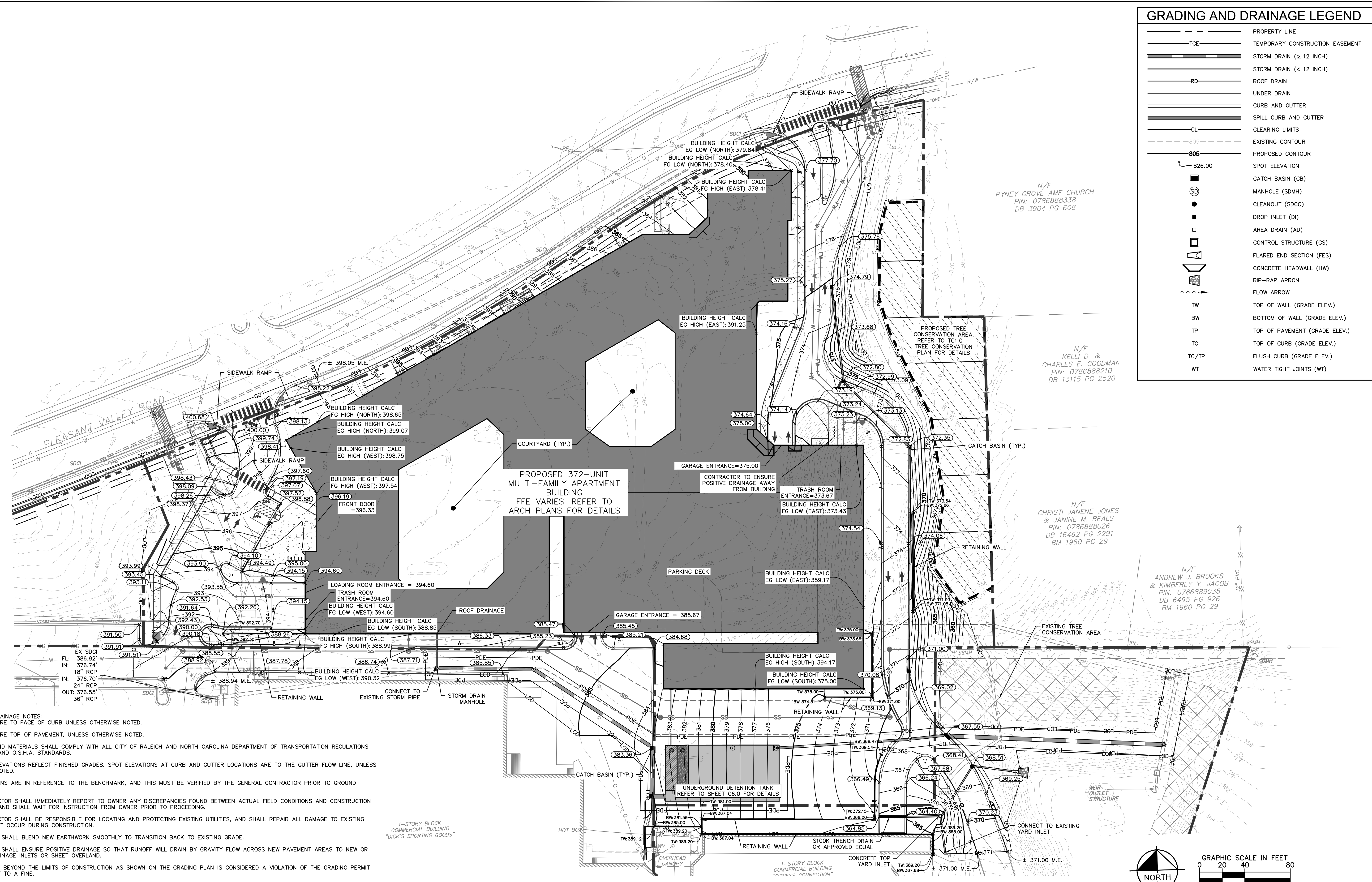
**SIGHT DISTANCE PLAN**

PLEASANT VALLEY PROMENADE  
MULTIFAMILY - PHASE 1  
PREPARED FOR  
KIMCO RALEIGH LIMITED  
PARTNERSHIP  
RALEIGH NC

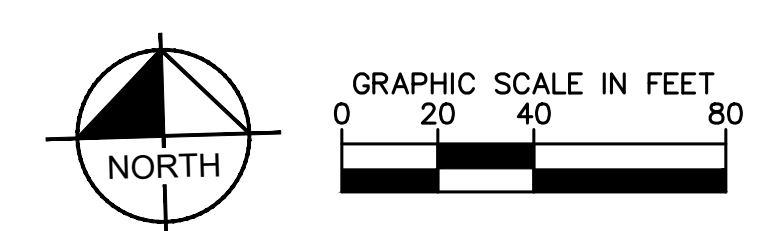
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PLOTTED BY: JORDAN, SARCH. SHEET: SHEET-PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1. Location: C4.0 GRADING AND DRAINAGE PLAN. March 31, 2023. 01:17:35pm. K:\REAL\DEV\012377022-pleasant\_valley - phase 1.mxd. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

- GRADING AND DRAINAGE NOTES:**
1. ALL SHOTS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. ALL SHOTS ARE TOP OF PAVEMENT, UNLESS OTHERWISE NOTED.
  3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF RALEIGH AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  4. ALL SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND GUTTER LOCATIONS ARE TO THE GUTTER FLOW LINE, UNLESS OTHERWISE NOTED.
  5. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
  6. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION FROM OWNER PRIOR TO PROCEEDING.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
  8. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
  9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
  10. ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
  11. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
  12. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  13. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL.
  14. CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
  15. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
  16. CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
  18. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
  19. FLOODPLAIN DOES NOT EXIST ON PROPERTY.
  20. CONTRACTOR SHALL PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. REFER TO PRCR-01 AND PRCR-02 FOR PROTECTION INFORMATION.



GRADING AND DRAINAGE LEGEND	
	PROPERTY LINE
	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (≥ 12 INCH)
	STORM DRAIN (< 12 INCH)
	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
	CLEARING LIMITS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SPOT ELEVATION
	CATCH BASIN (CB)
	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	CONCRETE HEADWALL (HW)
	RIP-RAP APRON
	FLOW ARROW
	TOP OF WALL (GRADE ELEV.)
	BOTTOM OF WALL (GRADE ELEV.)
	TOP OF PAVEMENT (GRADE ELEV.)
	TOP OF CURB (GRADE ELEV.)
	FLUSH CURB (GRADE ELEV.)
	WATER TIGHT JOINTS (WT)



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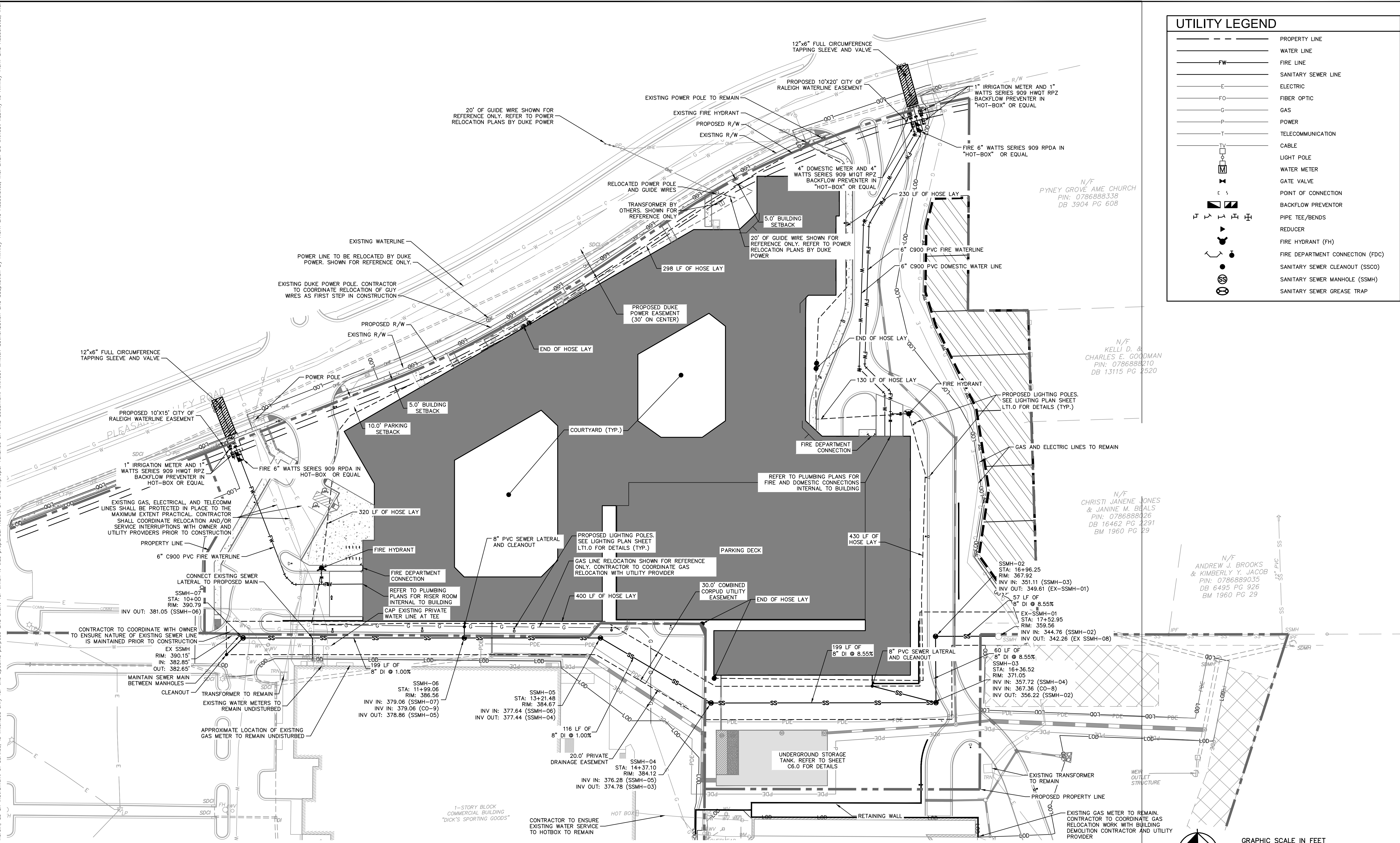
KHA PROJECT	017377022
DATE	03/31/2023
SCALE	AS SHOWN
DESIGNED BY	JAU
DRAWN BY	SET
CHECKED BY	CJH

**GRADING AND DRAINAGE PLAN**

**PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1**  
 PREPARED FOR  
**KIMCO RALEIGH LIMITED PARTNERSHIP**  
 RALEIGH, NC  
 SHEET NUMBER  
**C4.0**



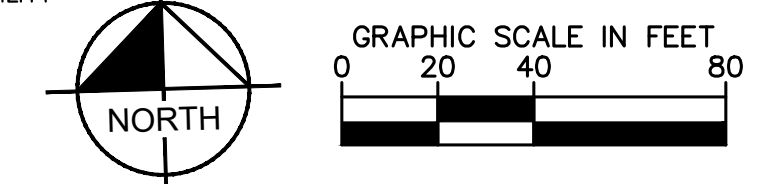
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UTILITY LEGEND	
	PROPERTY LINE
	WATER LINE
	FIRE LINE
	SANITARY SEWER LINE
	ELECTRIC
	FIBER OPTIC
	GAS
	POWER
	TELECOMMUNICATION
	CABLE
	LIGHT POLE
	WATER METER
	GATE VALVE
	POINT OF CONNECTION
	BACKFLOW PREVENTOR
	PIPE TEE/BENDS
	REDUCER
	FIRE HYDRANT (FH)
	FIRE DEPARTMENT CONNECTION (FDC)
	SANITARY SEWER CLEANOUT (SSCO)
	SANITARY SEWER MANHOLE (SSMH)
	SANITARY SEWER GREASE TRAP

- STANDARD UTILITY NOTES:**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
  - UTILITY SEPARATION REQUIREMENTS:
    - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
    - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
    - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
    - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
    - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.

- STANDARD UTILITY NOTES:**
- INSTALL 8" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 50 LINEAR FEET MAXIMUM.
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
  - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



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PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1

PREPARED FOR  
KIMCO RALEIGH LIMITED PARTNERSHIP

RALEIGH NC

SHEET NUMBER  
**C5.0**

DATE  
03/31/2023

SCALE  
AS SHOWN

DESIGNED BY  
JAU

SET  
SET

CHECKED BY  
CJH

NO. \_\_\_\_\_

REVISIONS \_\_\_\_\_

DATE \_\_\_\_\_

DATE  
03/31/2023

SCALE  
AS SHOWN

DESIGNED BY  
JAU

SET  
SET

CHECKED BY  
CJH

NO. \_\_\_\_\_

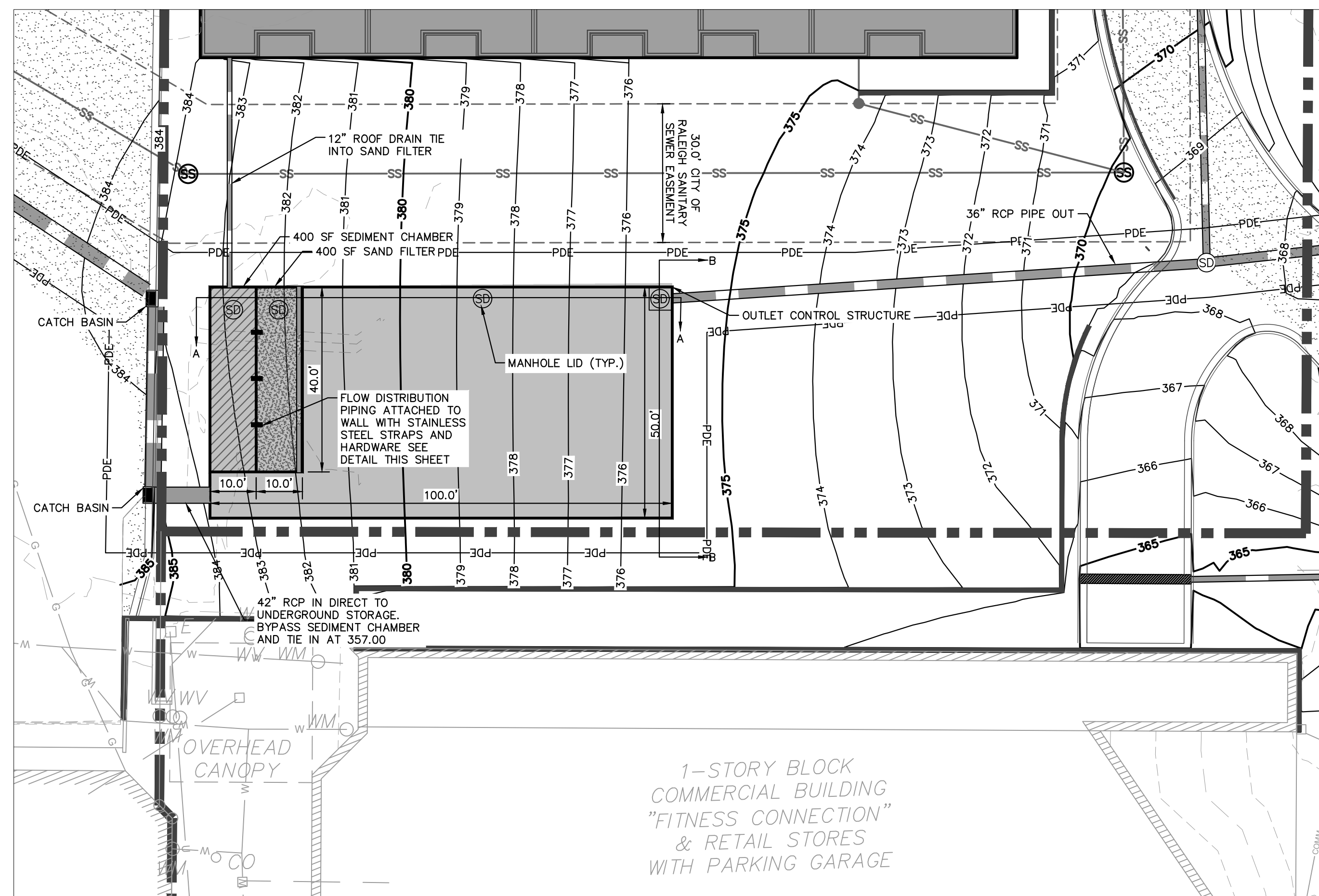
REVISIONS \_\_\_\_\_

DATE \_\_\_\_\_

**Kimley»Horn**

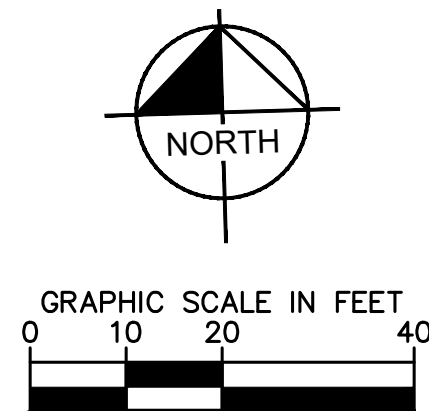
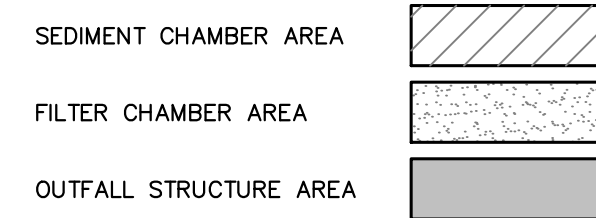
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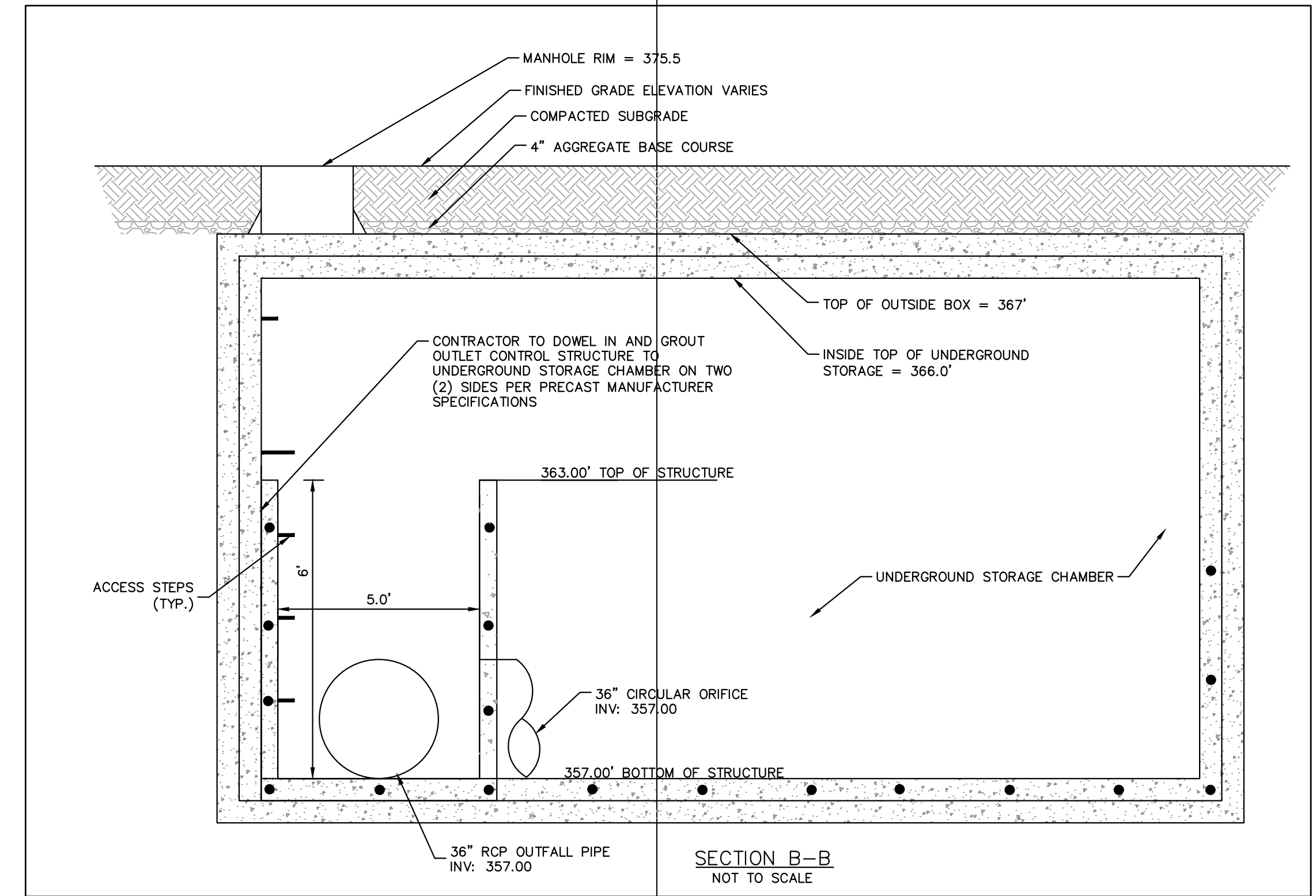


**PLAN VIEW**  
1" = 20'

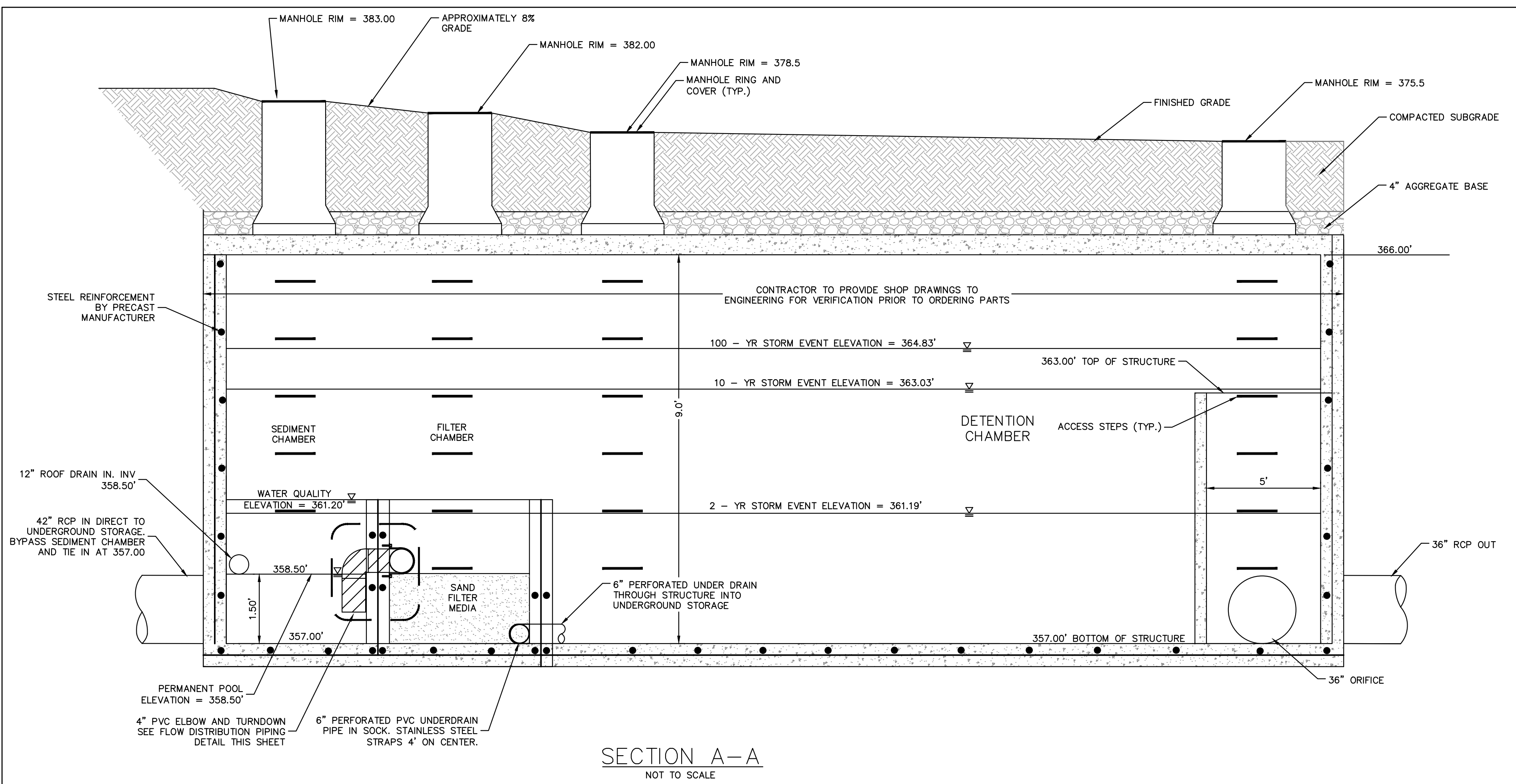
**KEYNOTES**



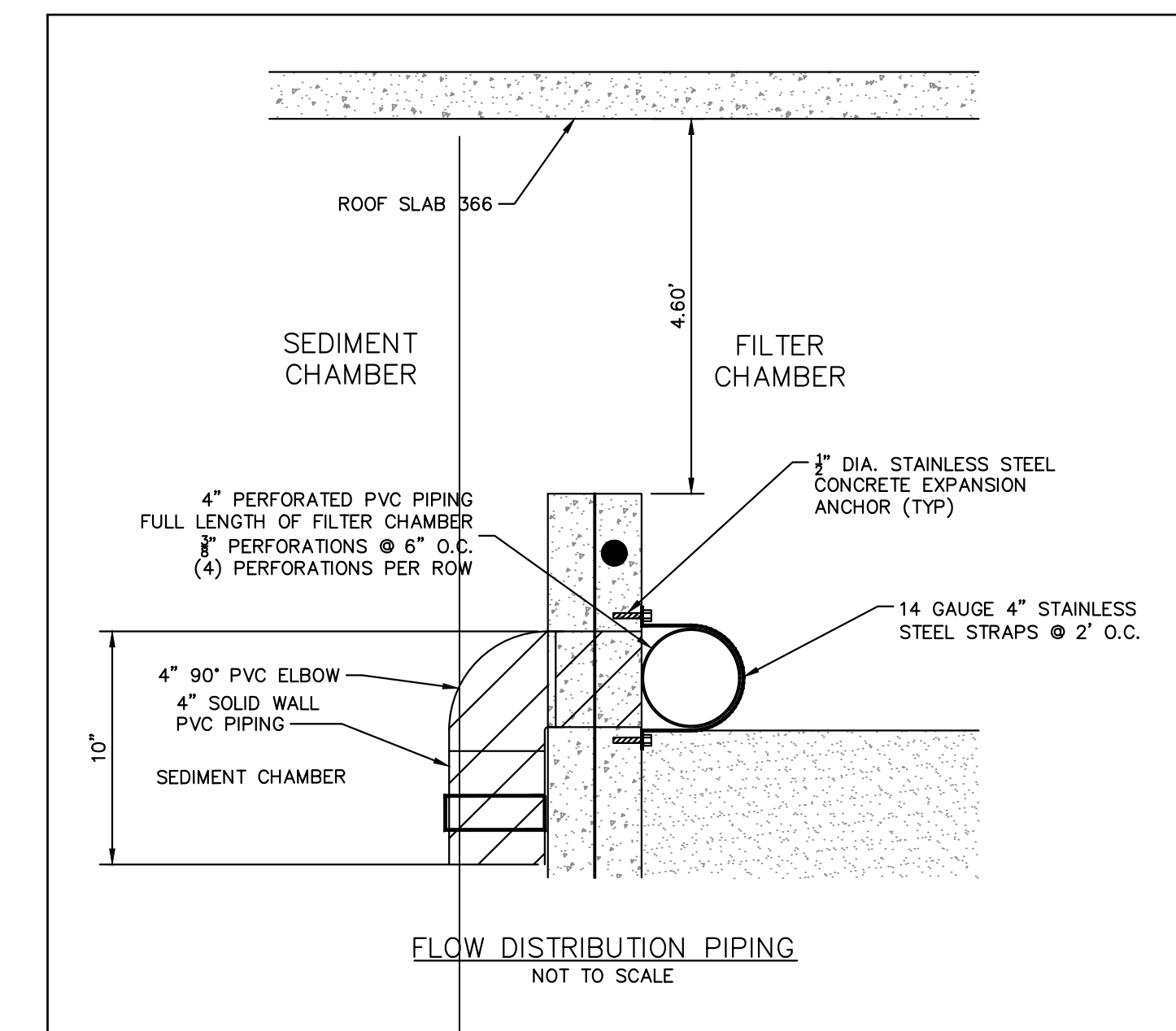
- NOTES:**
- SAND FILTER TO BE DESIGNED FOR H-20 LOADING.
  - CONTRACTOR SHALL SUBMIT SAND FILTER SHOP DRAWINGS FOR REVIEW.



**SECTION B-B**  
NOT TO SCALE



**SECTION A-A**  
NOT TO SCALE



**FLOW DISTRIBUTION PIPING**  
NOT TO SCALE

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NO.	REVISIONS	DATE	BY

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KHA PROJECT	017377022
DATE	03/31/2023
SCALE	AS SHOWN
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CHECKED BY	CJH

**UNDERGROUND  
DETENTION & SAND  
FILTER DETAILS**

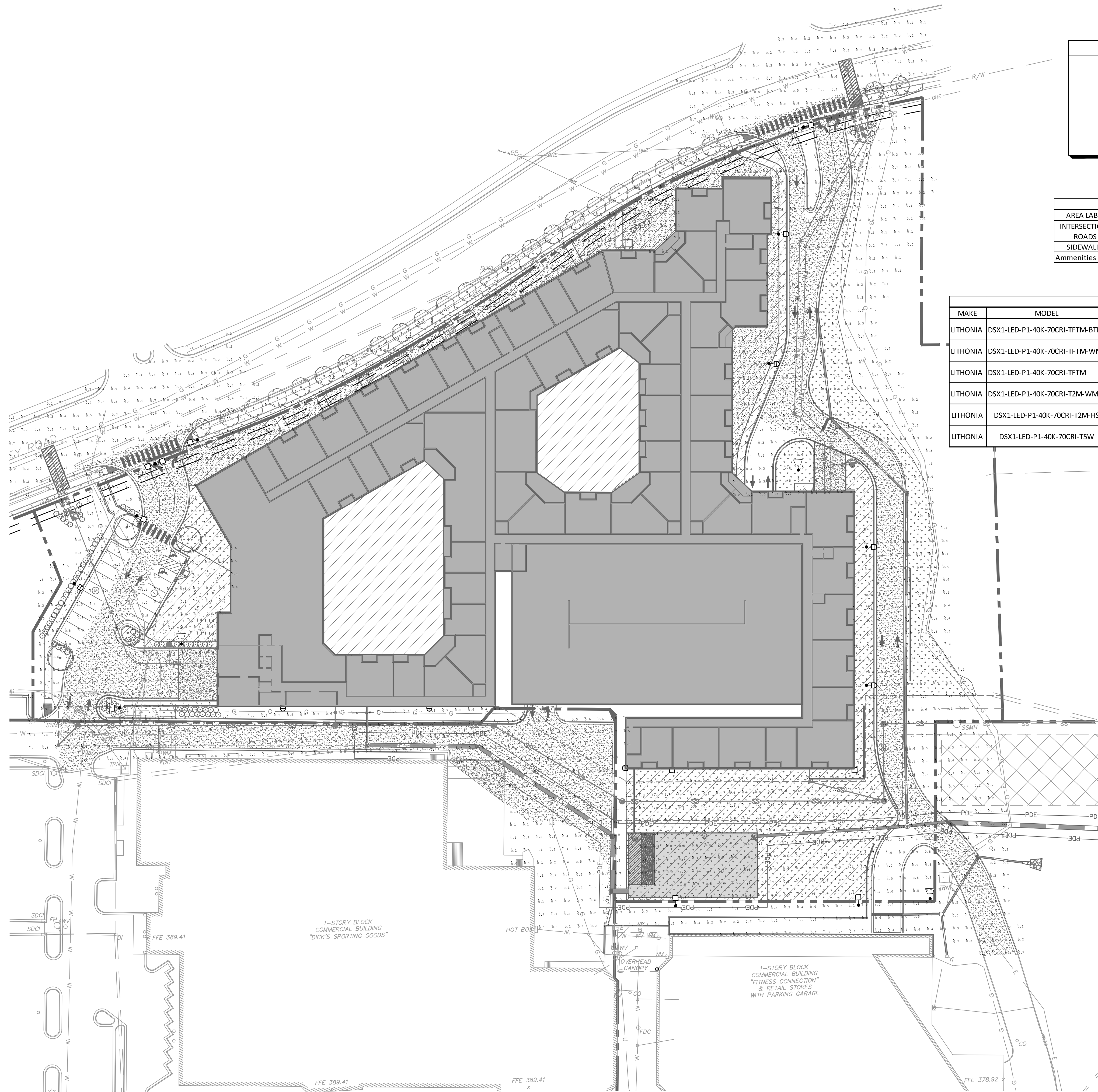
PLEASANT VALLEY PROMENADE  
MULTIFAMILY - PHASE 1  
PREPARED FOR  
KIMCO RALEIGH LIMITED  
PARTNERSHIP  
NC

SHEET NUMBER  
**C6.0**





Plotted By: Linton, Connor. Sheet Set: PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1. Layout: LT1.0 LIGHTING PLAN. March 31, 2023. 01:43:08pm. K:\REAL\DEV\012377022-Pleasant Valley - Phase 1\_MF\_05-CAD\_Files\02\_Plansheets\LT1.0\_LIGHTING\_PLAN\_cad.dwg  
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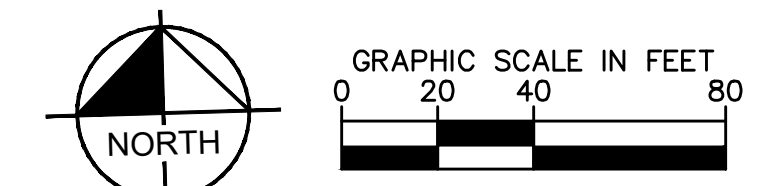


DESIGN CRITERIA*	
<b>ROADWAY</b>	<b>PEDESTRIAN CROSSWALKS</b>
ILLUMINANCE (Fc)	ILLUMINANCE (Fc)
AVERAGE = 0.6 MAX/MIN = 15:1	AVERAGE = 1.3 MAX/MIN = 15:1
AVG/MIN = 3.5:1	AVG/MIN = 6:1
<b>PEDESTRIAN SIDEWALK</b>	
ILLUMINANCE (Fc)	
AVERAGE = 0.5 MAX/MIN = 15:1	
AVG/MIN = 4:1	

CALCULATION SUMMARY						
AREA LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN
INTERSECTIONS	ILLUMINANCE	FC	1.55	1.80	1.33	1.28
ROADS	ILLUMINANCE	FC	0.77	1.90	0.20	3.85
SIDEWALKS	ILLUMINANCE	FC	0.86	1.65	0.40	2.31
Ammenities Area	ILLUMINANCE	FC	0.78	1.20	0.40	1.95

PLEASANT VALLEY - LIGHTING SCHEDULE							
MAKE	MODEL	QUANTITY	MOUNTING STYLE	LIGHTING TYPE	VOLTAGE	WATTS	DESCRIPTION
LITHONIA	DSX1-LED-P1-40K-70CRI-TFTM-BTB	2	BACK TO BACK 30'-0" POLE	LED	MVOLT	51	TYPE FOUR - FORWARD THROW
LITHONIA	DSX1-LED-P1-40K-70CRI-TFTM-WM	2	SINGLE WALL MOUNT	LED	MVOLT	51	TYPE FOUR - FORWARD THROW
LITHONIA	DSX1-LED-P1-40K-70CRI-TFTM	4	SINGLE 30'-0" POLE	LED	MVOLT	51	TYPE FOUR - FORWARD THROW
LITHONIA	DSX1-LED-P1-40K-70CRI-T2M-WM	3	SINGLE WALL MOUNT	LED	MVOLT	51	TYPE TWO
LITHONIA	DSX1-LED-P1-40K-70CRI-T2M-HS	5	SINGLE 30'-0" POLE	LED	MVOLT	51	TYPE TWO W/ HOUSE SIDE SHIELD
LITHONIA	DSX1-LED-P1-40K-70CRI-T5W	4	SINGLE 30'-0" POLE	LED	MVOLT	51	TYPE FIVE

EXTERIOR LIGHTING LEGEND		
SYMBOL	TYPE	MODEL NUMBER
□	ROADWAY AREA LIGHTING	DSX1-LED-P1-40K-70CRI-TFTM
□	ROADWAY AREA LIGHTING	DSX1-LED-P1-40K-70CRI-TFTM-BTB
•	ROADWAY AREA LIGHTING	DSX1-LED-P1-40K-70CRI-T2M-HS
•	ROADWAY AREA LIGHTING	DSX1-LED-P1-40K-70CRI-T5W
□	ROADWAY AREA LIGHTING	DSX1-LED-P1-40K-70CRI-T2M-WM
□	ROADWAY AREA LIGHTING	DSX1-LED-P1-40K-70CRI-T2M-WM



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No.	REVISIONS	DATE	BY

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KHA PROJECT	017377022
DATE	03/31/2023
SCALE	AS SHOWN
DESIGNED BY	JAU
DRAWN BY	SET
CHECKED BY	CJH

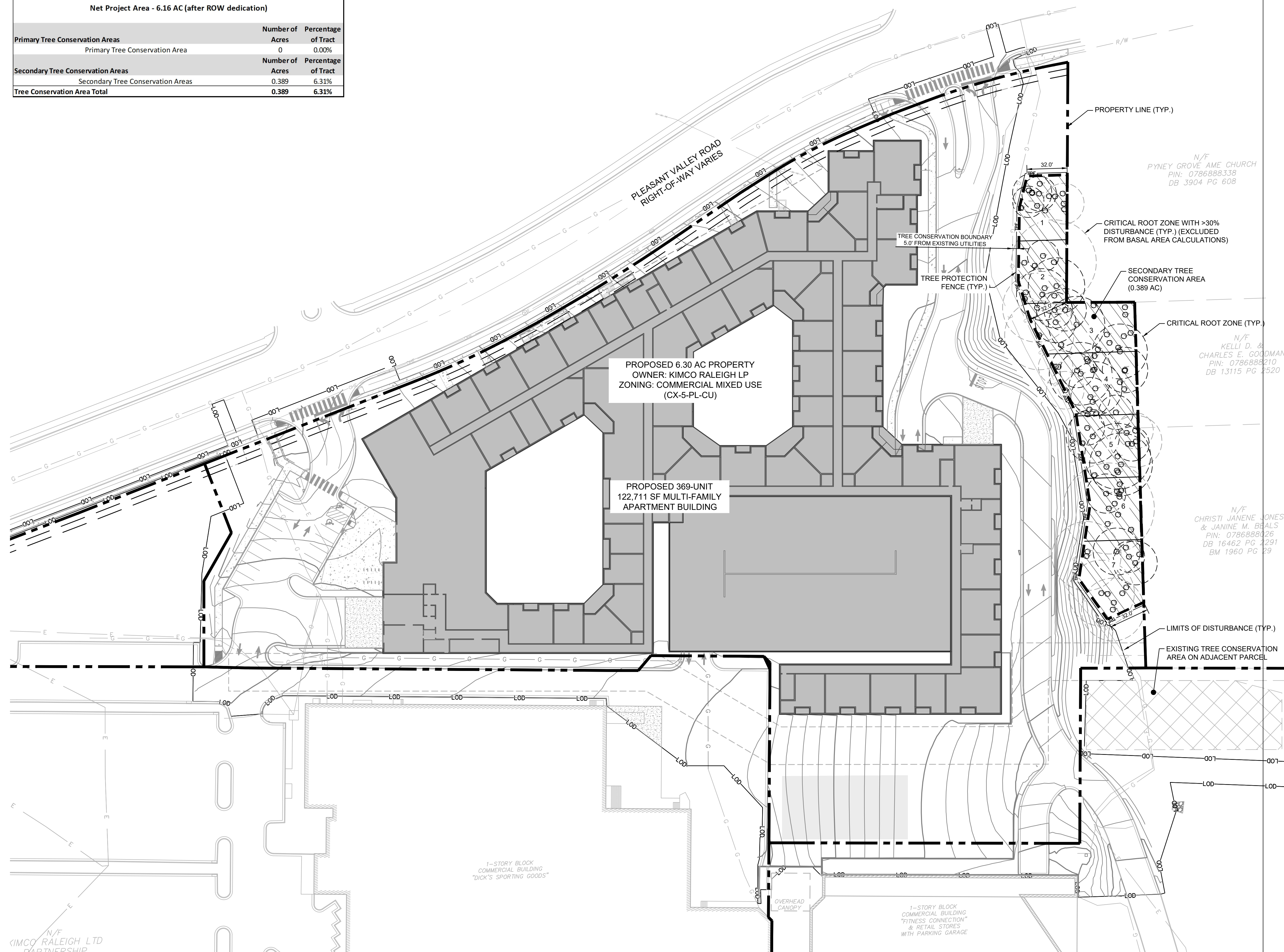
**LIGHTING PLAN**

PLEASANT VALLEY PROMENADE  
 MULTIFAMILY - PHASE 1  
 PREPARED FOR  
 KIMCO RALEIGH LIMITED  
 PARTNERSHIP  
 RALEIGH, NC

SHEET NUMBER  
**LT1.0**

Plotted By: Dordick, Sarah. Sheet: SHELPLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1. Layout: TC1.0. March 31, 2023. 12:50:45pm. K:\REAL\DEVA\07272022\pleasant\_valley - phase 1.mxd. cad files\02\_plansheets\TC1.0\_TREE\_CONSERVATION\_PLAN.dwg  
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Tree Conservation Plan Data		
Net Project Area - 6.16 AC (after ROW dedication)		
<b>Primary Tree Conservation Areas</b>	<b>Number of Acres</b>	<b>Percentage of Tract</b>
Primary Tree Conservation Area	0	0.00%
<b>Secondary Tree Conservation Areas</b>	<b>Number of Acres</b>	<b>Percentage of Tract</b>
Secondary Tree Conservation Areas	0.389	6.31%
<b>Tree Conservation Area Total</b>	<b>0.389</b>	<b>6.31%</b>



**LEGEND**

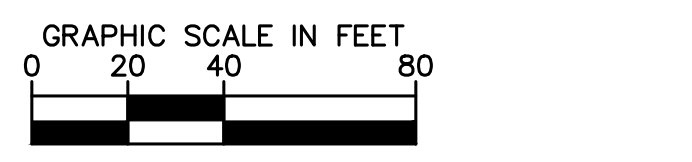
- SECONDARY TREE CONSERVATION AREA
- EXISTING TREE CONSERVATION AREA ON ADJACENT PARCEL
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE WITH >30% DISTURBANCE (NOT INCLUDED IN BASAL AREA CALCULATION)
- EXISTING TREE

- TREE CONSERVATION NOTES:**
- A TREE CONSERVATION PERMIT IS REQUIRED TO ESTABLISH TREE CONSERVATION AREAS IN THE FIELD.
  - A TREE CONSERVATION PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.
  - PRIOR TO OBTAINING A BUILDING PERMIT, THE FOLLOWING WILL BE RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS:
    - A.) TREE CONSERVATION AREA MUST BE RECORDED PRIOR TO OBTAINING A BUILDING PERMIT PER UDO 9.1.5.A.2.
  - NEW PLANTINGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOTZONE OF ANY EXISTING TREE LOCATED WITHIN A TREE CONSERVATION AREA.
  - TREE PROTECTION FENCE IS SHOWN OFFSET FOR CLARITY. FENCE SHALL BE INSTALLED ON TCA BOUNDARY.
  - CRZ = CRITICAL ROOT ZONE
  - TREES OVER 10 INCHES DBH WITH 30% OR MORE OF THEIR CRZ IMPACTED BY DEVELOPMENT OR LOCATED OUTSIDE TREE CONSERVATION AREAS WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
  - TREES LISTED ON THE CITY OF RALEIGH INVASIVE SPECIES LIST WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
  - SEE TREE COVER REPORT FOR BASAL AREA CALCULATIONS.
  - TREE LOCATIONS ON THIS PLAN HAVE BEEN TAKEN FROM A TREE SURVEY PERFORMED BY KIMLEY-HORN & ASSOCIATES DATED DECEMBER 21, 2022.
  - ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE STATED.
  - ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE SYSTEM (NAD 1983/2011).

**TREE SURVEY LEGEND**

Tree Label	Tree Name
T1	American beech
T2	American holly
T3	Black cherry
T4	Chinaberry*
T5	Crape myrtle
T6	Eastern redcedar
T7	Loblolly pine
T8	Persimmon
T9	Post oak
T10	Red maple
T11	Scarlet oak
T12	Shortleaf pine
T13	Southern red oak
T14	Sweetgum
T15	Tulippoplar
T16	Water oak
T17	White oak
T18	Willow oak

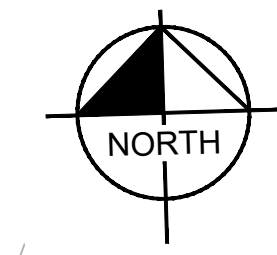
\*Chinaberry is considered an invasive species and shall not be counted towards basal area calculations.



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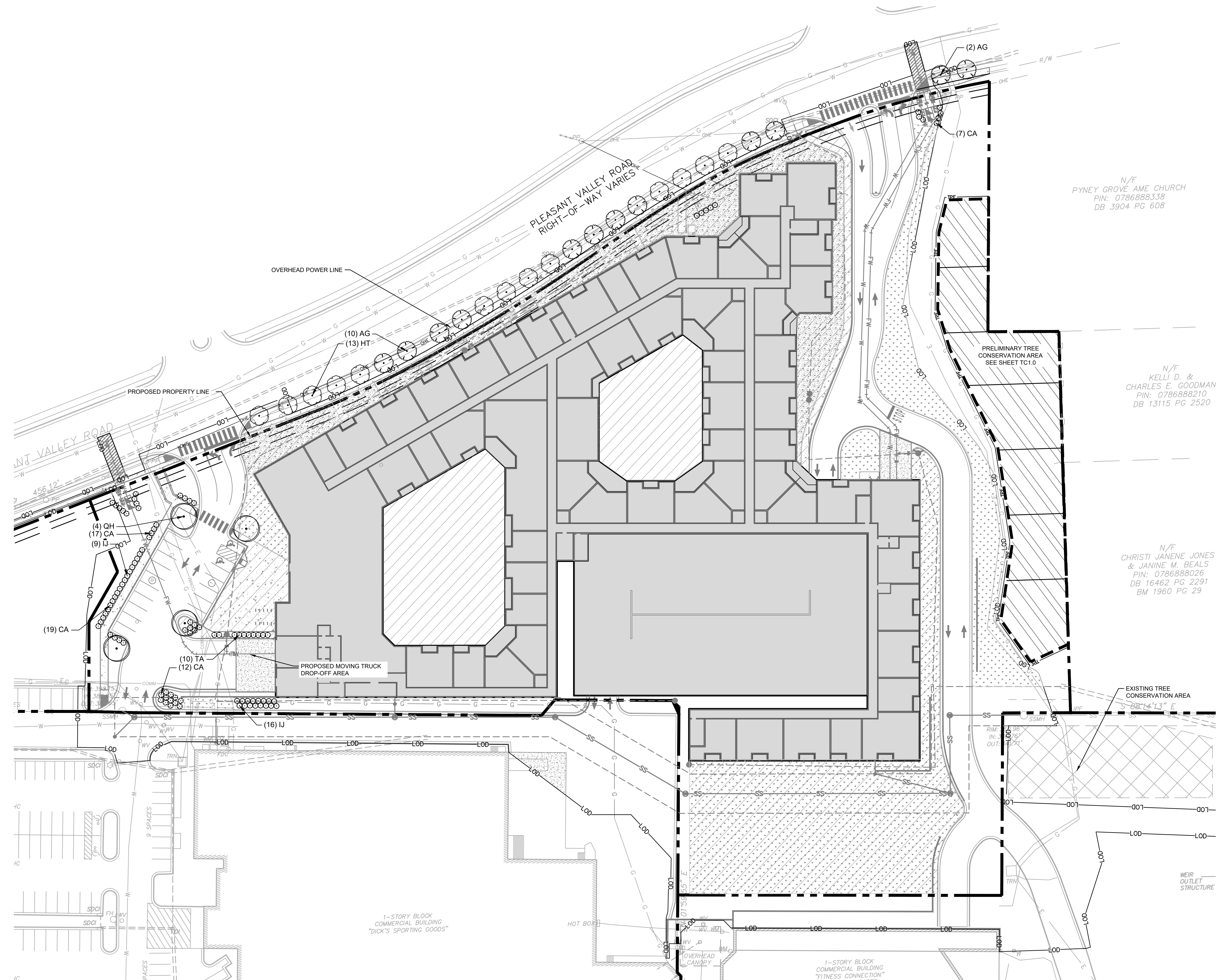
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KHA PROJECT	017377022
DATE	03/31/2023
SCALE	AS SHOWN
DESIGNED BY	AWF
DRAWN BY	AWF
CHECKED BY	AWF

**TREE CONSERVATION PLAN**

PLEASANT VALLEY PROMENADE  
 MULTIFAMILY - PHASE 1  
 PREPARED FOR  
 KIMCO RALEIGH LIMITED  
 PARTNERSHIP

Plotted By: Dondell Sarah, Sheet: SHEET PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1, Lovell L.L.O. LANDSCAPE PLAN - March 31, 2023, 12:51:07pm, K:\REAL\DEV\017377022\_pleasant\_valley - phase 1.mxd, User: dsarah, Date: 3/31/2023, 12:51:07pm. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

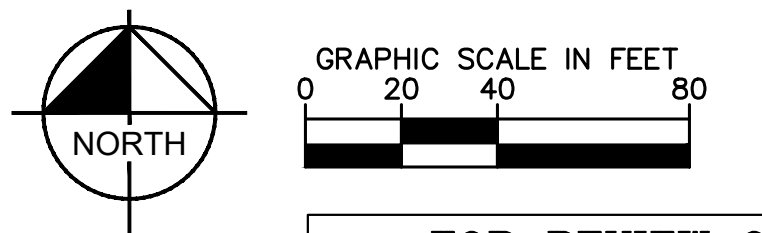


SITE LEGEND	
	TREE CONSERVATION AREA
	AMENITY AREA

PLANT SCHEDULE			
TREES	CODE	QTY	COMMON / BOTANICAL NAME
	AG	12	AUTUMN BRILLIANCE APPLE SERVICEBERRY AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'
	HT	13	CAROLINA SILVERBELL HALESIA TETRAPTERA
	QH	4	HIGHBEAM® OVERCUP OAK QUERCUS LYRATA 'QLFTB'
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME
	CA	57	AUTUMN SPIRIT CAMELLIA CAMELLIA X 'AUTUMN SPIRIT'
	TA	10	EMRALS GREEN ARBORVITAE THUJA OCCIDENTALIS 'EMERALD GREEN'
	IJ	30	JERSEY PRINCESS AMERICAN HOLLY ILEX OPACA 'JERSEY PRINCESS'
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME
	CD	35,471 SF	BERMUDAGRASS CYNODON DACTYLON
	CU	11,698 SF	SOD AREA CYNODON DACTYLON BERMUDA GRASS

**NOTES:**  
 1. SEE SHEET L2.0 LANDSCAPE DETAILS FOR LANDSCAPE INSTALLATIONS DETAILS, NOTES, AND FULL PLANT SCHEDULE.

LANDSCAPE REQUIREMENTS & CALCULATIONS						
City of Raleigh UDO						
AREA TO BE LANDSCAPED	CODE REQUIREMENT	SITE LOCATION	MEASUREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
OUTDOOR AMENITY AREA	10% OF NET SITE AREA	SEE PLANS	274,443 SF	268,536 x 0.1 = 26,853 SF	63,750 SF	1.5.3.B & 2.3.4.A
STREET TREES	1 UNDERSTORY TREE PER 20 LF	PLEASANT VALLEY ROAD	500 LF	500/20 = 25 TREES	25 UNDERSTORY TREES	8.5.4.B 8.4.1.D.2
PERIMETER ISLAND VEHICLE PARKING LOT LANDSCAPING	30 SHRUBS PER 100 LF	SEE PLANS	90 LF	90/100 = 0.9 * 30 = 27 SHRUBS	34 SHRUBS	7.1.7.C
PARKING LOT TREE COVERAGE	1 SHADE TREE FOR EVERY 2,000 SF OF PARKING AREA	SEE PLANS	7,000 SF	7,000/2,000 = 4 SHADE TREES	4 SHADE TREES	7.1.7.F



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PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1

PREPARED FOR  
KIMCO RALEIGH LIMITED PARTNERSHIP

RALEIGH, NC

LANDSCAPE PLAN

DATE: 03/31/2023

SCALE: AS SHOWN

DESIGNED BY: MAH

DRAWN BY: MAH

CHECKED BY: AMR

PROJECT NO: 017377022

SHEET NUMBER  
**L1.0**

DATE: \_\_\_\_\_

REVISIONS

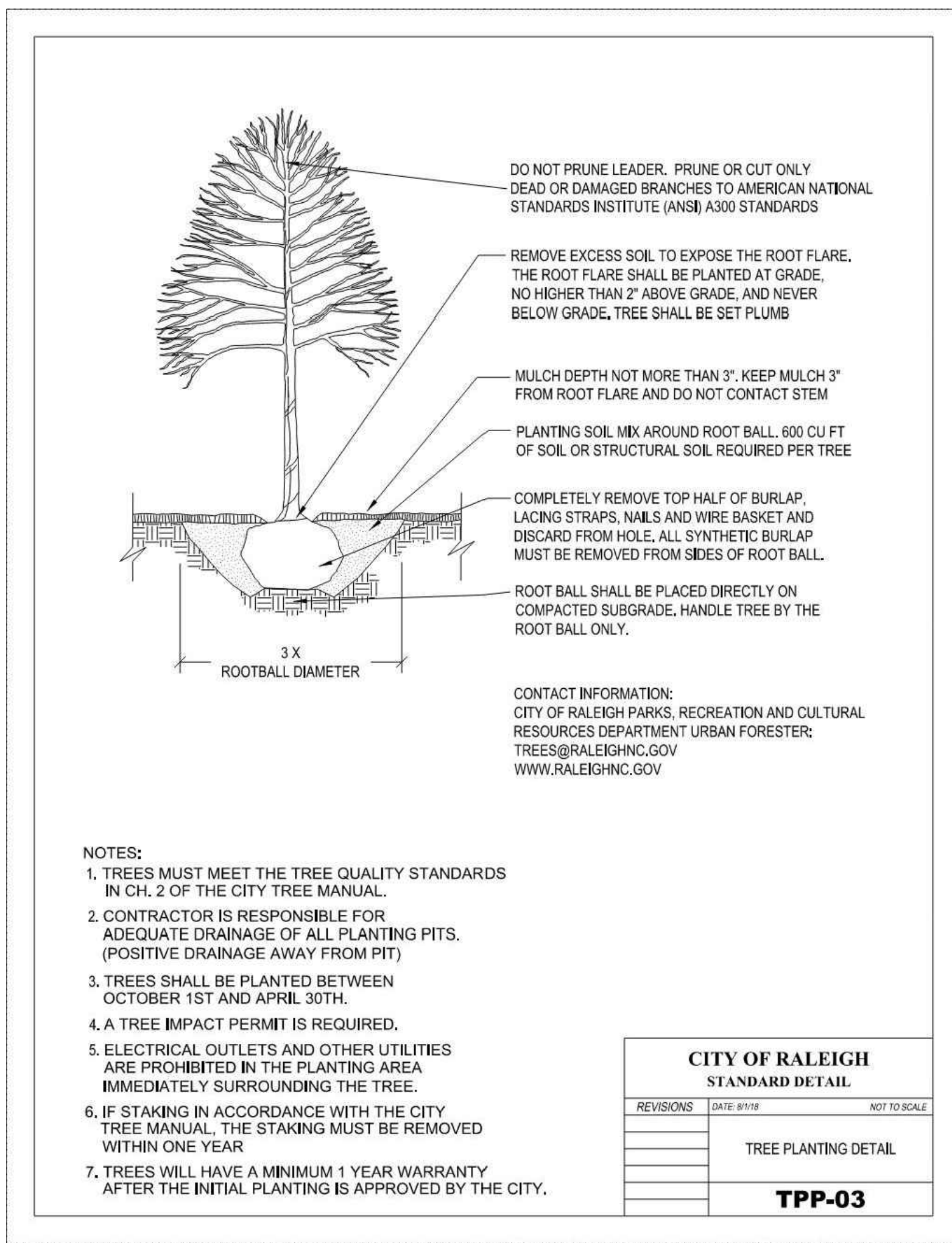
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DATE \_\_\_\_\_

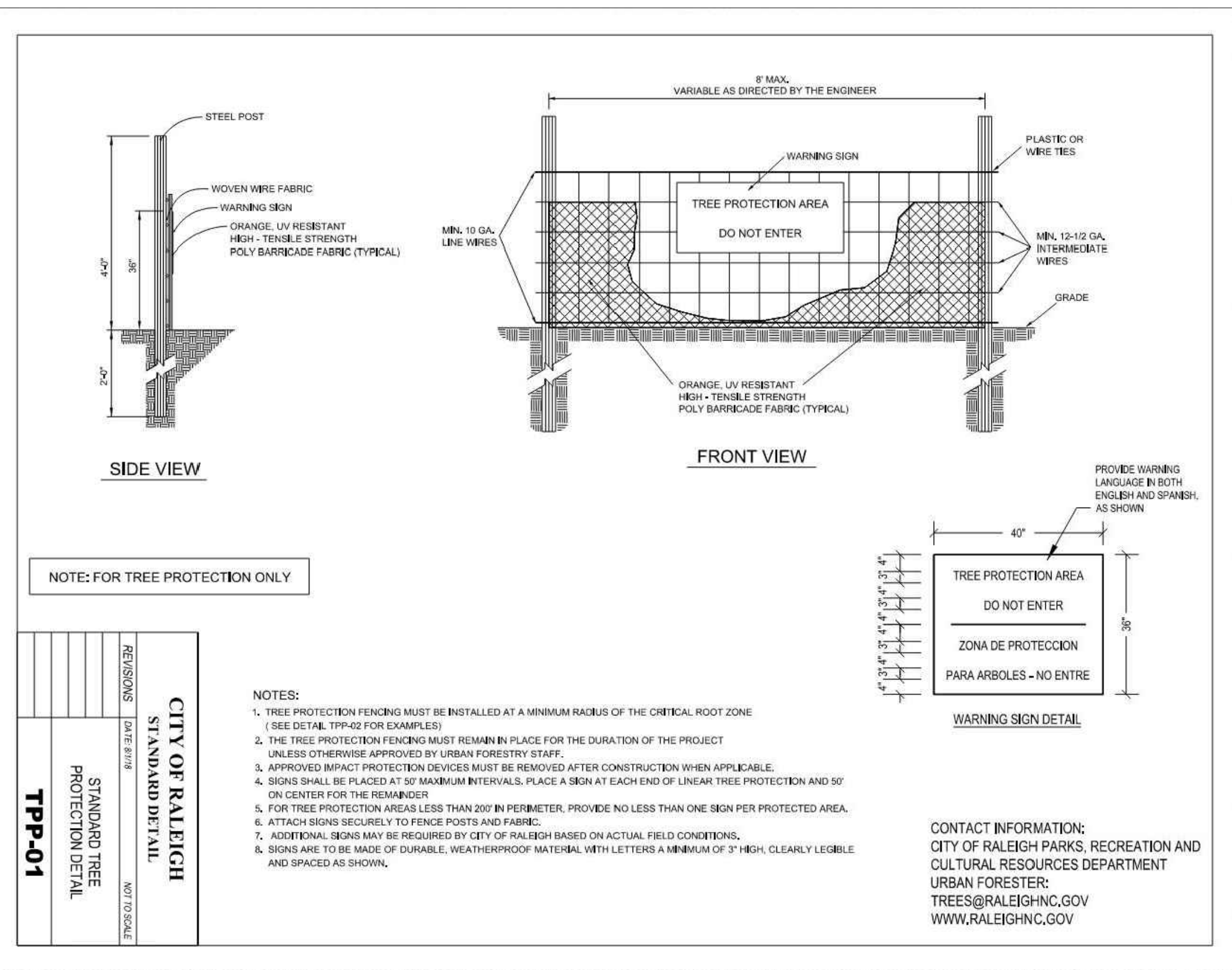
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Plotted By: Dondell, Sarah, Sheet: SHEL-PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1, Lovelace L2.0 LANDSCAPE DETAILS - March 31, 2023, 12:51:15pm, K:\RAL-LEVA\017377022-pleasant\_valley - phase 1.mxd, c:\msdedit\files\02-plantings\l2.0 LANDSCAPE DETAILS.dwg  
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**1** TYPICAL TREE PLANTING  
L2.0 SCALE: N.T.S. DETAIL



**2** TYPICAL TREE PROTECTION FENCE  
L2.0 SCALE: N.T.S. DETAIL

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CAL	
	AG	12	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE APPLE SERVICEBERRY	3" CAL	
	HT	13	HALESIA TETRAPTERA	CAROLINA SILVERBELL	3" CAL	
	QH	4	QUERCUS LYRATA 'QLFTB'	HIGHBEAM® OVERCUP OAK	3" CAL	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT
	CA	57	CAMELLIA X 'AUTUMN SPIRIT'	AUTUMN SPIRIT CAMELLIA	5 GAL	24" MIN
	TA	10	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMRALS GREEN ARBORVITAE	5 GAL	24" MIN
	IJ	30	ILEX OPACA 'JERSEY PRINCESS'	JERSEY PRINCESS AMERICAN HOLLY	5 GAL	24" MIN.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	
	CD	35,471 SF	CYNODON DACTYLON	BERMUDAGRASS	SEED	
	CU	11,698 SF	CYNODON DACTYLON BERMUDA GRASS	SOD AREA	SOD	

**GENERAL LANDSCAPE NOTES:**

- THE CONTRACT INCLUDES ALL DEMOLITION REQUIRED TO COMPLETE JOB, AND TO REMOVE AND TO DISPOSE OF ITEMS FROM SITE COMPLETELY IN ACCORDANCE WITH LOCAL LAWS. DO NOT BURN OR BURY ANY DEMOLITION ITEMS ON SITE. CONTRACTOR IS RESPONSIBLE FOR MAKING SITE VISIT TO DETERMINE AND VERIFY ALL DEMOLITION REQUIREMENTS PRIOR TO BIDDING. CONTRACTOR SHALL RECYCLE OR DISPOSE OF WASTE PRODUCTS AND PLANT CONTAINERS OFF-SITE IN A RESPONSIBLE MANNER.
- PERMITS AND FEES REQUIRED FOR WORK MUST BE OBTAINED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING ADJACENT PLANTS, FACILITIES & STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER. ADJACENT STREETS & SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD & DUST-FREE.
- EXISTING UTILITIES SHOWN ON LANDSCAPE DRAWINGS ARE FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR MUST LOCATE & VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY & INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY LINES & STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER & THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER & THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY THE OWNER IMMEDIATELY FOR CLARIFICATION.
- UTILITY MANHOLE COVERS AND ACCESS BOX COVERS ARE TO BE LOCATED ENTIRELY WITHIN A PLANTED AREA OR A PAVED AREA, AND CLEAR OF ALL FENCE LINES. IF ANY CONDITION ARISES WHERE A UTILITY COVER IS TO CROSS A BOUNDARY OR FENCE LINE, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- ALL EXISTING SIGNAGE TO REMAIN TO BE PROTECTED IN PLACE OR STOCKPILED AND REINSTALLED UPON COMPLETION OF WORK UNLESS OTHERWISE NOTED OR SPECIFIED.
- PLANT SPECIES ARE SELECTED FOR HARDINESS IN LOCAL CLIMATE. PERMANENT IRRIGATION IS NOT PART OF THIS CONTRACT. PLANTS ARE TO BE WATERED BY CONTRACTOR DURING ESTABLISHMENT PERIOD.
- FOR LANDSCAPE REQUIREMENTS AND CALCULATIONS SEE TABLE ON SHEET L1.0.
- IF CONTRACTOR IS UNABLE TO LOCATE/PURCHASE ANY OF THE SPECIFIED PLANT MATERIAL LISTED ON SHEET L1.0, THE CONTRACTOR SHALL SUBMIT ANY SPECIES ALTERNATIVES TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.

**PLANTING NOTES:**

(SEE PLANTING PLAN)

- ALL PLANTS PROVIDED BY CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
- ALL PLANTS ARE TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.
- ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 3 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.
- THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH OWNER PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE PLANT SCHEDULE) AT THE NURSERY FOR APPROVAL BY THE OWNER PRIOR TO PURCHASING PLANTS.
- OWNER SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE OWNER.
- ALL PLANTS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
- A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE BEFORE PLANTING.
- ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.
- ALL SHRUB, GROUND COVER & ANNUAL PLANTING BEDS SHALL BE FILLED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN, DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
- FINISH OFF 2' - 4' CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND ROOT FLARE.
- CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL COMPLETION OF WORK.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO COMPLETION OF WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET PLANT SPECIFICATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING.
- EXISTING PLANT MATERIAL MAY BE USED TO SATISFY PERIMETER PARKING ISLAND REQUIREMENTS. EXISTING MATERIAL MUST BE IN ADEQUATE HEALTH AND MEET SIZE AND SPECIES REQUIREMENTS AS LISTED IN THE CITY OF RALEIGH UDO TO BE COUNTED. PLANT MATERIAL SHOWN ON SHEET C7.0 AS PERIMETER ISLAND PLANTINGS REPRESENT THE CORRECT NUMBER OF PLANTS TO SATISFY PERIMETER ISLAND REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE TO FLAG ADEQUATE PLANT MATERIAL TO PRESERVE, PRIOR TO LANDSCAPE INSTALLATION.

**FOR REVIEW ONLY**  
NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.



**SURVEY NOTE:**  
ALL EXISTING TOPOGRAPHICAL BOUNDARY, SUBSURFACE UTILITY INFORMATION WAS PROVIDED WITHIN A TOPOGRAPHIC SURVEY OF PLEASANT VALLEY SHOPPING CENTER PREPARED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NC 27609, (919) 787-5805, DATED 10/10/2018 AND REVISED 03/10/2023.

NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.  
 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM  
 #F-0102

KHA PROJECT	017377022
DATE	03/31/2023
SCALE	AS SHOWN
DESIGNED BY	MAH
DRAWN BY	MAH
CHECKED BY	AMR

**LANDSCAPE DETAILS**

PLEASANT VALLEY PROMENADE  
 MULTIFAMILY - PHASE 1  
 PREPARED FOR  
 KIMCO RALEIGH LIMITED  
 PARTNERSHIP  
 RALEIGH, NC

SHEET NUMBER  
**L2.0**



UNIT TYPE	DESCRIPTION	RSF/UNIT	BALCONY AREA	# UNITS	TOTAL # OF BED TYPE	% OF TOT UNITS	% UNIT MIX PER TYPE	AVG. RSF/UNIT TYPE	TOTAL RSF	TOTAL GBA	GSF/UNIT	EFFICIENCY
S1	STUDIO 1 BATH	640		23	23	6%	6%	640	14,720			
<b>TOTAL</b>									14,720			
A1	1 BEDROOM 1 BATH	708	60	72	191	51%	19%	820	50,976			
A1.1	1 BEDROOM 1 BATH DEN	829	60	18			5%		14,922			
A2	1 BEDROOM 1 BATH	869	88	63			17%		54,747			
A2.1	1 BEDROOM 1 BATH	985	57	12			3%		11,820			
A2.2	1 BEDROOM 1 BATH	868	98	6			2%		5,208			
A2.3	1 BEDROOM 1 BATH DEN	1,145	115	6			2%		6,870			
A2.4	1 BEDROOM 1 BATH	1,043	48	4			1%		4,172			
A2.5	1 BEDROOM 1 BATH	847	60	4			1%		3,388			
A3	1 BEDROOM 1 BATH DEN	740	60	6			2%		4,440			
<b>TOTAL</b>									156,543			
B1	2 BEDROOM 2 BATH	1,092	60	77	143	38%	21%	1,101	84,084			
B1.1	2 BEDROOM 2 BATH	1,012	60	5			1%		5,060			
B1.2	2 BEDROOM 2 BATH	1,083	60	16			4%		17,328			
B2	2 BEDROOM 2 BATH	1,050	60	5			1%		5,250			
B3	2 BEDROOM 2 BATH	1,153	60	5			1%		5,765			
B3.1	2 BEDROOM 2 BATH	1,147	60	5			1%		5,735			
B4	2 BEDROOM 2 BATH	1,083	60	10			3%		10,830			
B5	2 BEDROOM 2 BATH	1,061	60	5			1%		5,305			
B6	2 BEDROOM 2 BATH	1,135	60	6			2%		6,810			
B7	2 BEDROOM 2 BATH	1,200	88	4			1%		4,800			
B8	2 BEDROOM 2 BATH	1,315	60	4	1%	5,260						
B9	2 BEDROOM 2 BATH	1,252	60	1	0%	1,252						
<b>TOTAL</b>									157,479			
C1	3 BEDROOM 2 BATH	1,481	60	10	15	4%	3%	1,469	14,810			
C1.1	3 BEDROOM 2 BATH	1,444	60	5			1%		7,220			
<b>TOTAL</b>									22,030			
<b>TOTAL</b>		5 STORIES	<b>23,290</b>	<b>372</b>	<b>372</b>	<b>100%</b>	<b>100%</b>	<b>943</b>	<b>350,772</b>	<b>446,798</b>	<b>1,201</b>	<b>79%</b>

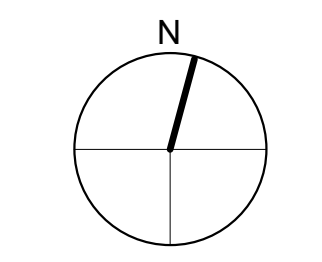
WITH BALCONIES  
374,062

AMENITY SPACES	AREA (SF)
BASEMENT AMENITY	2,145
LEVEL 1 AMENITY	1,536
LEVEL 2 AMENITY	15,655
<b>TOTAL</b>	<b>19,336</b>

BACK OF HOUSE	AREA (SF)
UTILITY	14,748
TRASH / LOADING	2,546
STORAGE	4,696
<b>TOTAL</b>	<b>21,990</b>

**Notes:**  
**GBA does** include corridors and stairs  
**GBA does not** include retail  
**Efficiency & GBA does not** include balcony area  
**Efficiency does** include Amenity Space  
**Efficiency does not** include bridges  
 Handicap spaces required 2% for 501-600 parking spaces (11 HC for 512 total)

PARKING GARAGE							
PARKING LEVEL	STANDARD	HC	VAN	EV	TOTAL	SPACES/UNIT	AREA
BASEMENT	45	3	2	1	51		
LVL 1	81	1	0	1	83		
LVL 2	84	1	0	1	86		
LVL 3	84	1	0	1	86		
LVL 4	84	1	0	1	86		
LVL 5	84	1	0	1	86		
LVL 6	32	1	0	1	34		
<b>TOTAL</b>	<b>494</b>	<b>9</b>	<b>2</b>	<b>7</b>	<b>512</b>	<b>1.38</b>	<b>195,580</b>



PLEASANT VALLEY PROMENADE

3917 PLEASANT VALLEY ROAD  
RALEIGH, NC 27612  
CLIENT: KIMCO RALEIGH L.P.

REV.	DATE	DESCRIPTION
DESIGN		PARTIAL SCHEMATIC
DELIVERABLE:		DESIGN
ISSUE DATE:	03.20.2023	
Copyright (c) by CI Design, Inc. All Rights Reserved.		
DRAWN BY:	MCD	
CHECKED BY:	MAN, JG	
PROJECT NUMBER:	300.10.22230.000-200	
SHEET TITLE: <b>LEVEL 2 FLOOR PLAN</b>		



LEVEL 2 FLOOR PLAN  
1" = 20'-0"

Autodesk Docs/Pleasant Valley Phase 1/Pleasant Valley Pn1\_1222.dwg  
3/20/2023 10:52:22 AM

**ELEVATION GENERAL NOTES**

- SEE SPECIFICATIONS FOR DETAILED INFORMATION.
- SEE A201-2017 FOR GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
- SEE SHEET 1001 FOR TYPICAL NOTES, SYMBOLS, ACCESSIBILITY MOUNTING STANDARDS, AND ABBREVIATIONS. SEE SHEET 1002 FOR CODE SUMMARY INFORMATION.
- CONTRACTOR TO COORDINATE CONSTRUCTION WITH ALL TRADES PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, PATCHING, AND REPLACING ANY DAMAGE DUE TO CONSTRUCTION OR INSTALLATION OF TRADES. REPAIR, PATCH, AND FINISH OF EXISTING CONDITIONS DAMAGED BY NEW WORK SHALL MATCH ADJACENT WORK.
- EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING OR MASONRY U.N.O. SEE WALLS SECTIONS AND DETAILS FOR MORE INFORMATION.
- CONTRACTOR TO FIELD VERIFY DIMENSIONS AND CONNECTION POINTS PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. IN CASE OF CONFLICT THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
- ALL ITEMS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS SPECIFICALLY LISTED AS "N.I.C." OR "BY OTHERS".
- COORDINATE SEQUENCE OF WORK TO PROTECT ADJACENT SPACES FROM CONSTRUCTION ZONE. PROVIDE BARRIER SEPARATION AS REQUIRED AND DIRECTED BY GENERAL CONTRACTOR AND OWNER.
- MAINTAIN FIRE RATING OF CONSTRUCTION WHERE ANY ITEMS ARE BUILT INTO CONSTRUCTION. ALL PENETRATIONS SHALL BE FIRE STOPPED AND SEALED IN ACCORDANCE TO APPLICABLE U.L. ASSEMBLY RATINGS.
- REFER TO STRUCTURAL AND MEPFP DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION.

**ELEVATION KEY NOTES**

TAG	DESCRIPTION
◇	
◇	
◇	

**GENERAL BUILDING INFORMATION**

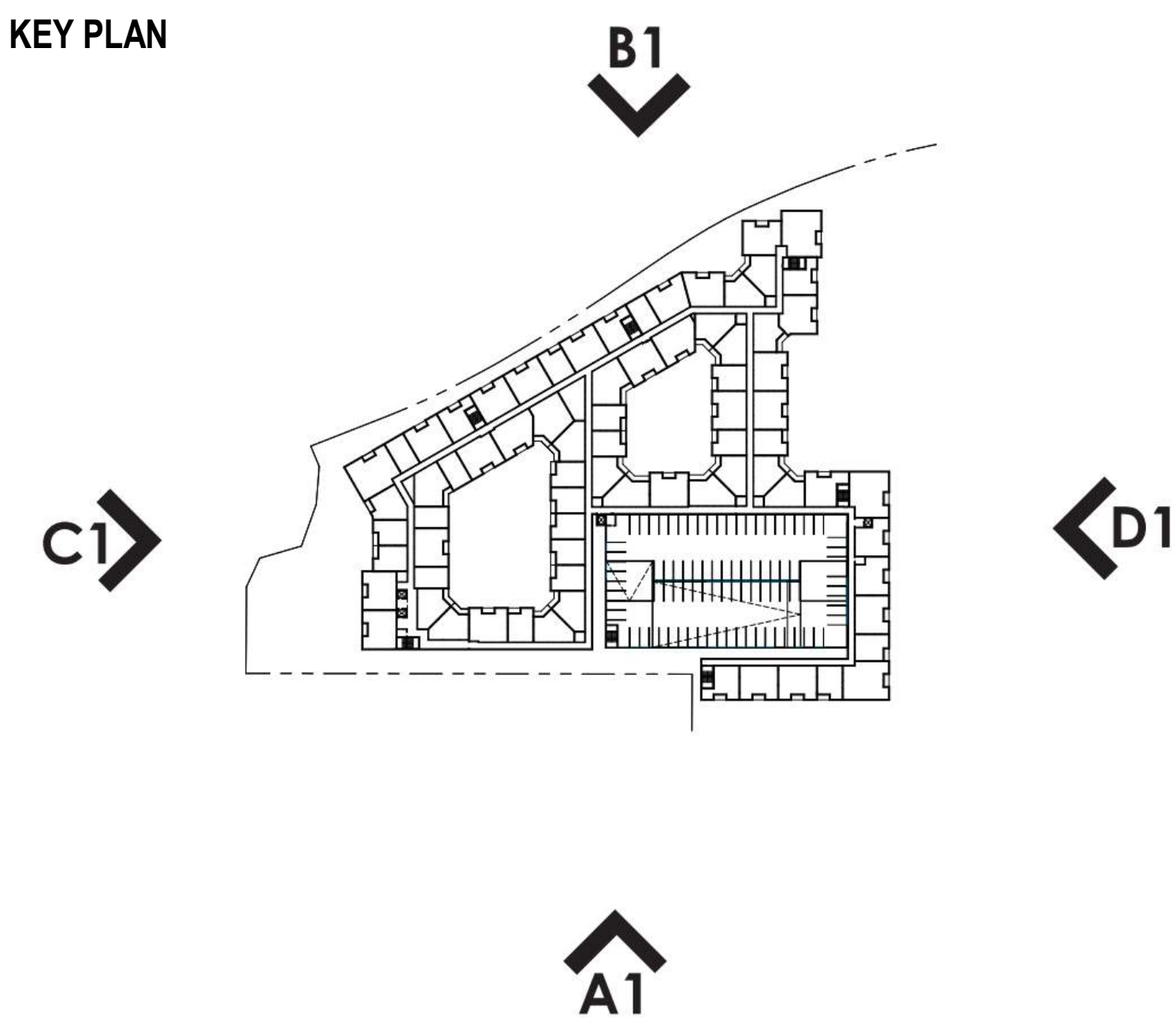
THE PROPOSED PROJECT CONSISTS OF 372 UNITS, AND A PARKING STRUCTURE FOR UP TO 521 CARS.  
 THE MULTIFAMILY BUILDING WILL BE FULLY SPRINKLERED PER NFPA 13. THERE ARE 5 LEVELS + BASEMENT OF WOOD FRAME TYPE 3-A CONSTRUCTION. AMENITY SPACES SERVICING THE RESIDENTS WILL BE LOCATED ON THE BASEMENT, FIRST AND SECOND FLOOR LEVELS.  
 THE PARKING STRUCTURE WILL BE 5.5-TIERS OF TYPE I-A CONSTRUCTION FINISHED WITH LIKE MATERIAL OF THE MULTIFAMILY BUILDING.

LEVEL	FLOOR AREAS	
	MULTIFAMILY BUILDING	PARKING STRUCTURE
BASEMENT	30,134 SF	26,625 SF
1	51,309 SF	28,115 SF
2	89,818 SF	28,115 SF
3	89,818 SF	28,115 SF
4	89,818 SF	28,115 SF
5	89,818 SF	28,115 SF
6	49,360 SF	12,596 SF

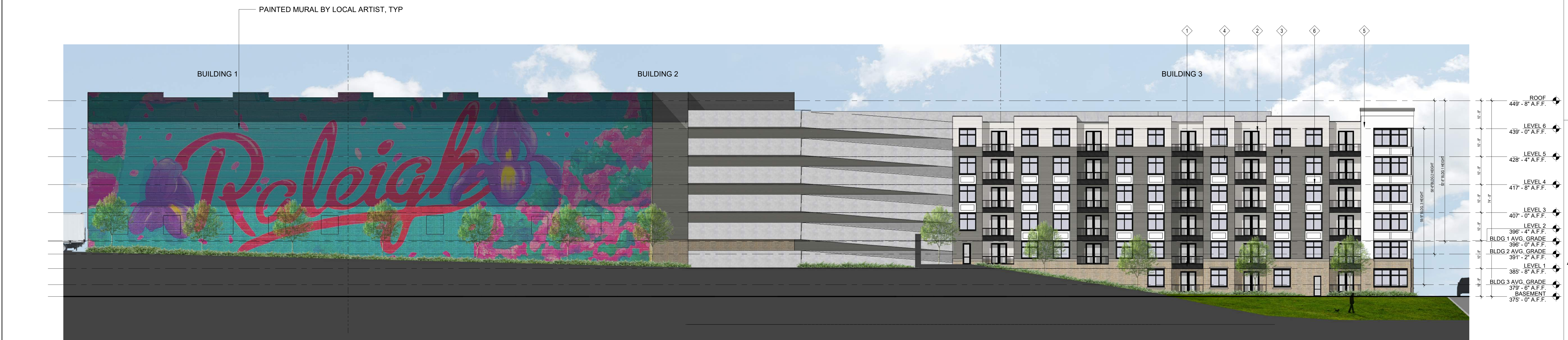
**MATERIAL LEGEND**

- 1 MASONRY  
MANUFACTURER: BELDEN BRICK
- 2 MANUFACTURER: CERTAINEED  
COLOR: SLATE
- 3 MANUFACTURER: CERTAINEED  
COLOR: CASTLE STONE SIDING
- 4 MANUFACTURER: CERTAINEED  
COLOR: HERRINGBONE SIDING
- 5 MANUFACTURER: AMERICAN FIBER  
CEMENT  
COLOR: EREBUS
- 6 MANUFACTURER: AMERICAN FIBER  
CEMENT  
COLOR: LUNA
- 7 FIBER CEMENT - WOOD LOOK  
MANUFACTURER: NICHHA  
COLOR: SPRUCE

**KEY PLAN**



**NORTH ELEVATION**  
1/16" = 1'-0" B1



**SOUTH ELEVATION**  
1/16" = 1'-0" A1



OWNER:  
KIMCO RALEIGH L.P.  
KIMCO REALTY

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**PLEASANT VALLEY PROMENADE**  
3917 PLEASANT VALLEY ROAD  
RALEIGH, NC 27612  
CLIENT: KIMCO RALEIGH L.P.

REV.	DATE	DESCRIPTION
DESIGN		PARTIAL SCHEMATIC DELIVERABLE: DESIGN
	03.20.2023	ISSUE DATE
DRAWN BY: AF, JS CHECKED BY: MN, JG PROJECT NUMBER: 300.10.22230.000-200		
SHEET TITLE: <b>EXTERIOR ELEVATIONS - N-S</b>		
SHEET NUMBER: <b>A201</b>		

**ELEVATION GENERAL NOTES**

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- REFER TO STRUCTURAL AND MEPFP DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION.

**ELEVATION KEY NOTES**

TAG	DESCRIPTION
◇	
◇	
◇	

**GENERAL BUILDING INFORMATION**

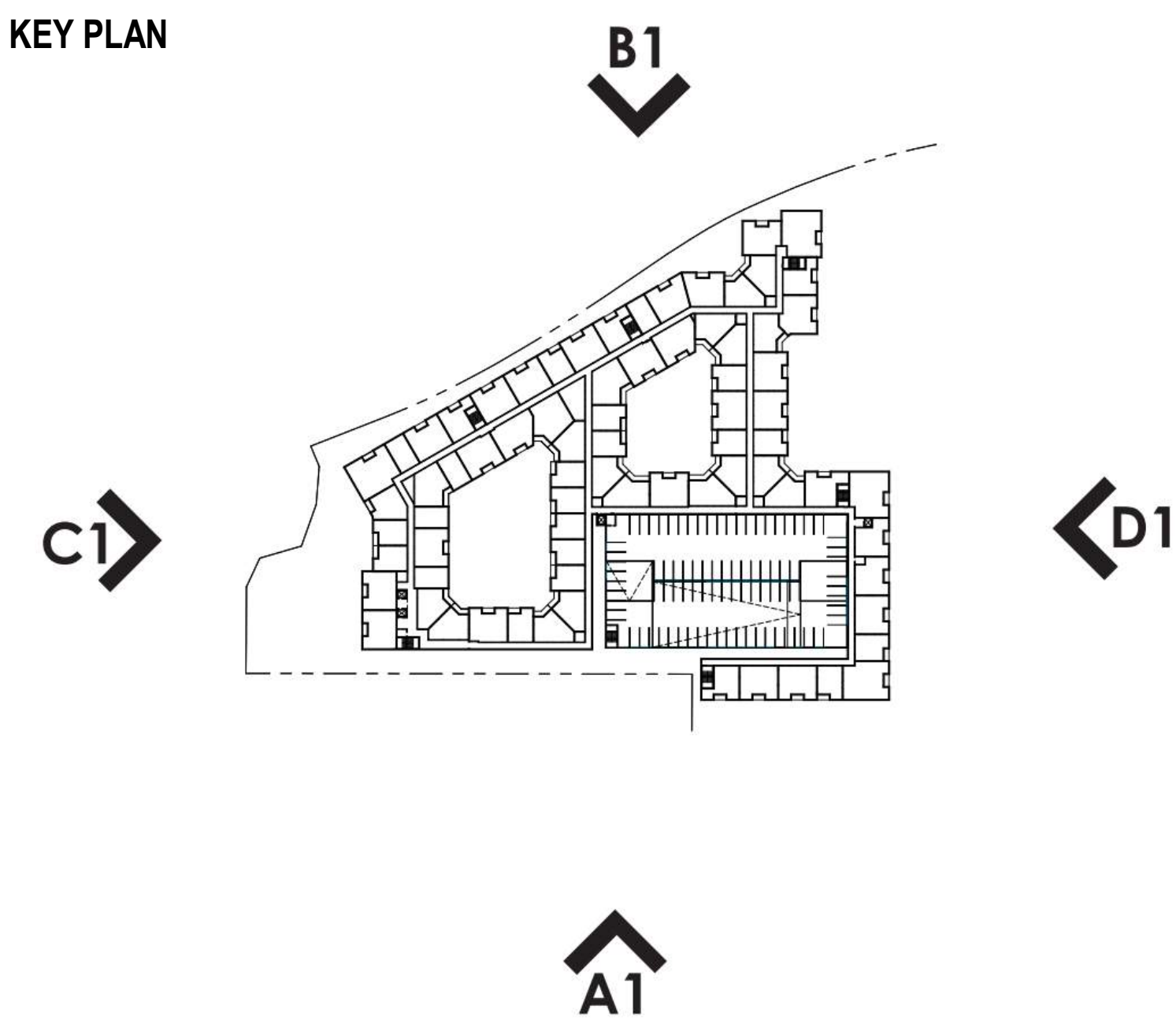
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4	89,818 SF	28,115 SF
5	89,818 SF	28,115 SF
6	49,360 SF	12,596 SF

**MATERIAL LEGEND**

- 1 MASONRY  
MANUFACTURER: BELDEN BRICK
- 2 MANUFACTURER: CERTAINEED  
COLOR: SLATE
- 3 MANUFACTURER: CERTAINEED  
COLOR: CASTLE STONE SIDING
- 4 MANUFACTURER: CERTAINEED  
COLOR: HERRINGBONE SIDING
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CEMENT  
COLOR: EREBUS
- 6 MANUFACTURER: AMERICAN FIBER  
CEMENT  
COLOR: LUNA
- 7 FIBER CEMENT - WOOD LOOK  
MANUFACTURER: NICHHA  
COLOR: SPRUCE

**KEY PLAN**



T 919.890.8809  
 RALEIGH, NC  
 530 HILLSBOROUGH STREET  
 ci-designinc.com

OWNER:  
 KIMCO RALEIGH L.P.



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 SUPERVISION OF  
 CI DESIGN.



- LEVEL 6  
439' - 0" A.F.F.
- LEVEL 5  
428' - 4" A.F.F.
- LEVEL 4  
417' - 8" A.F.F.
- LEVEL 3  
407' - 0" A.F.F.
- LEVEL 2  
396' - 4" A.F.F.
- LEVEL 1  
385' - 8" A.F.F.
- BLDG 3 AVG. GRADE  
379' - 6" A.F.F.
- BASEMENT  
375' - 0" A.F.F.

EAST ELEVATION  
 1/16" = 1'-0" D1



- ROOF  
449' - 8" A.F.F.
- LEVEL 6  
439' - 0" A.F.F.
- LEVEL 5  
428' - 4" A.F.F.
- LEVEL 4  
417' - 8" A.F.F.
- LEVEL 3  
407' - 0" A.F.F.
- LEVEL 2  
396' - 4" A.F.F.
- BLDG 1 AVG. GRADE  
396' - 0" A.F.F.
- BLDG 2 AVG. GRADE  
391' - 2" A.F.F.
- LEVEL 1  
385' - 8" A.F.F.
- BLDG 3 AVG. GRADE  
379' - 6" A.F.F.

WEST ELEVATION  
 1/16" = 1'-0" C1

PLEASANT VALLEY PROMENADE

3917 PLEASANT VALLEY ROAD  
 RALEIGH, NC 27612  
 CLIENT: KIMCO RALEIGH L.P.

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DELIVERABLE:		DESIGN
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DRAWN BY:	AF, JS, MCD	
CHECKED BY:	MN, JG	
PROJECT NUMBER:	300.10.22230.000-200	

SHEET TITLE:  
**EXTERIOR ELEVATIONS - E-W**

SHEET NUMBER:  
**A202**