Office Use Only: Case #:

Administrative Site Review Application



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Planner (print):

		n tier. If assistance determining a Site Plan Tier is needed via the Permit and Development Portal. (Note: There is a
Site Plan Tier: Tier Two Site Plan	Tier Three	Site Plan X
Building and Development Ty (Check all that apply)	pe	Site Transaction History
Detached Attached Townhouse X Apartment Tiny house Open lot General Mixed use Civic Cottage Cou Frequent Tra Development	ansit	Subdivision case #: Scoping/sketch plan case #: SCOPE-0187-2022 Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Z-20-22 Design Alternate #:
		IFORMATION
Development name: Pleasant Valley Pron	nenade Multi	family
Inside City limits? Yes X No		
Property address(es): 4001 Pleasant Va Avenue, 6250 Gle	•	917 Pleasant Valley Road, 6204 Glenwood nue
Site P.I.N.(s): 0786881039, 0786885116,	078687437	1, 0786779662
Please describe the scope of work. Include a	ny additions, e	expansions, and uses (UDO 6.1.4).
Demolition of existing Van Gogh Exhi corner of subject property to allow for		ng (formerly Fitness Connection) in north east no of a new apartment building.
Current Property Owner(s): Kimco Raleig	gh LP	
Company: Kimco Raleigh LP		Title:
Address: 3333 New Hyde Park Road, No	ew Hyde Par	k, NY 11042
Phone #: (704) 362-6149	Email: Ibjohr	nson@kimcorealty.com
Applicant Name (If different from owner. S	See "who can	apply" in instructions):
Relationship to owner: Lessee or contract	purchaser X	Owner's authorized agent
Company: Kimley-Horn	Address: 421	Fayetteville Street, Raleigh, NC 27601

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Phone #:	Email:	
NOTE: please attach purchase agreemen	t or contract,	lease or easement when submitting this form.
Developer Contact:		
Company:		Title:
Address:		
Phone #:	Email:	
Applicant Name:		
Company:	Address:	
Phone #:	Email:	
	•	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)		
SITE DATA	BUILDING DATA	
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):	
Gross site acreage:	Existing gross floor area to be demolished:	
# of parking spaces proposed:	New gross floor area:	
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):	
Overlay District (if applicable):	Proposed # of buildings:	
Existing use (UDO 6.1.4):	Proposed # of stories for each:	
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)	

STORMWATER	INFORMATION
Imperious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):
Existing (sf) Proposed total (sf)	Existing (sf) Proposed total (sf)

RESIDENTIAL & OVERNIG	1T	LODGING DEVELOPMENTS			
Total # of dwelling units:		Total # of hotel bedrooms:			
# of bedroom units: 1br 214 2br 143 3br 1	5_	4br or more			
# of lots:		Is your project a cottage court?	Yes	No	
		A frequent transit development?	Yes	No	

Continue to Applicant Signature Block on Page Three.

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APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Date: 3/31/2023
Printed Name: Corv Howell

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SITE	E DATA
PROJECT INFORMATION	
PROJECT NAME:	PLEASANT VALLEY PROMENADE - PHASE 1
CURRENT OWNER:	KIMCO RALEIGH LP
JURISDICTION:	CITY OF RALEIGH
PIN #S:	0786881039, 0786885116, 0786874371, 0786779662
STREET ADDRESS:	4001 PLEASANT VALLEY ROAD; 3917 PLEASANT VALLEY ROAD; 6204 GLENWOOD AVENUE; 6250 GLENWOOD AVENUE; RALEIGH, NC 27612
SITE SIZE & COVERAGES	
GROSS BUILDING SQUARE FOOTAGE (PROJECT LIMITS):	374,062 SF
MAXIMUM BUILDING HEIGHT:	5 STORIES / 80' MAX
REQUIRED TREE CONSERVATION AREA (MINIMUM 10% OF SITE AREA):	0.630 AC (±27,443 SF)
PROVIDED TREE CONSERVATION AREA:	±0.389 AC (±16,949 SF)
REQUIRED AMENITY SPACE (MINIMUM 10% OF SITE AREA):	±0.630 AC (±27,443 SF)
PROVIDED AMENITY SPACE:	± 1.46 AC (± 63,750 SF)
ZONING	
EXISTING ZONING:	COMMERCIAL MIXED USE (CX-5-PL-CU)
PROPOSED ZONING:	COMMERCIAL MIXED USE (CX-5-PL-CU)
EXISTING USE (WITHIN PROJECT LIMITS):	COMMERCIAL
PROPOSED USE (WITHIN PROJECT LIMITS):	MULTI-FAMILY RESIDENTIAL
FRONTAGE REQUIREMENTS:	PARKING LIMITED
BUILDING / STRUCTURE SETBACK REQUIREM	
PRIMARY STREET (PLEASANT VALLEY ROAD)	5' MINIMUM
SIDE STREET (NONE)	5' MINIMUM
SIDE / REAR PROPERTY LINE	0' OR 6' MINIMUM
PARKING SETBACK REQUIREMENTS (GENERA	AL BUILDING)
PRIMARY STREET (PLEASANT VALLEY ROAD)	10' MINIMUM
SIDE STREET (NONE)	10' MINIMUM
SIDE / REAR PROPERTY LINE	0' MINIMUM
BUILDING USE BREAKDOWN	<u>'</u>
MULTI-FAMILY APARTMENT	372 UNITS
OFF-STREET PARKING	•
PARKING MAXIMUM (CX-5-PL-CU):	583 SPACES
PROVIDED PARKING:	17 SURFACE SPACES 521 GARAGE SPACES 538 SPACES TOTAL
REQUIRED HANDICAP PARKING:	2% OF TOTAL PROVIDED PARKING = 11 SPACES TOTAL 2 VAN SPACES REQUIRED
PROVIDED HANDICAP PARKING:	11 SPACES (2 VAN SPACES)
REQUIRED BICYCLE PARKING:	SHORT TERM = 19 SPACES LONG TERM = 78 SPACES
PROVIDED BICYCLE PARKING:	20 SHORT TERM SPACES

	ADDRE	ESS TABL	E		
ADDRESS	PIN	PARCEL ID/REID	EXISTING AREA	PROPOSED AREA	RIGHT-OF-WAY DEDICATION
(1) 4001 PLEASANT VALLEY ROAD	#0786881039	#0023667	0.98 AC	0.58 AC	1,547 SF
(2) 3917 PLEASANT VALLEY ROAD	#0786885116	#0453611	4.56 AC	6.30 AC	4,564 SF
(3) 6204 GLENWOOD AVENUE	#0786874371	#0453610	16.27 AC	15.48 AC	0 SF
(4) 6250 GLENWOOD AVENUE	#0786779662	#0453609	14.15 AC	13.43 AC	959 SF

STORMWATER MAINTENANCE NOTE: STORMWATER CONTROL MEASURE, INCLUDING SAND FILTER AD INLET PIPE, TO BE MAINTAINED PER CITY OF RALEIGH STORMWATER SPECIFICATIONS. WASTE DISPOSAL NOTE:
WASTE DISPOSAL SERVICES WILL BE PROVIDED BY PRIVATE HAULER.

BLOCK PERIMETER EXEMPTION

NEW STREET RIGHT-OF-WAY WOULD CONSUME MORE THAN 15% OF THE PROPERTY TO BE DEVELOPED AND THEREFORE THIS PROPERTY IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.

THE CREATION OF ANY NEW STREET WOULD BE OBSTRUCTED BY EXISTING IMPROVEMENTS WHERE THE VALUE OF

SUCH IMPROVEMENTS IS MORE THAN THE LAND VALUE OF THE PARCEL ON WHICH THE IMPROVEMENTS ARE LOCATED AND THEREFORE THIS PROPERTY IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.

ADMINISTRATIVE SITE REVIEW FOR:

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE

ASR-XXXX-2023

4001 PLEASANT VALLEY ROAD (PIN#:0786881039); 3917 PLEASANT VALLEY ROAD (PIN#:0786885116); 6204 GLENWOOD AVENUE (PIN#:0786874371); 6250 GLENWOOD AVENUE (PIN#0786779662); RALEIGH, NORTH CAROLINA 27612

Administrative Site F lanning and Development Customer Service Center	-	•		I. Raleigh
his form is required when submitting site 0.2.8. Please check the appropriate build				
Office Use Only: Case #:		Planner (pri	nt):	
lease review UDO Section 10.2.8. to det Site Plan Tier Verification request can b ee for this verification service.)				
Site Plan Tier: Tier Two Site Plan	Tier Three	Site Plan X		
Building and Development	Туре		Site Transaction History	
(Check all that apply)				
Detached Attached Townhouse X Apartment Tiny house Open lot General Mixed us Civic Cottage Frequen Develope	Court	Scoping/ske Certificate of Board of Adj Zoning Case	case #:tch plan case #: <u>SCOPE-01</u> Appropriateness #: ustment #: #: <u>Z-20-22</u> nate #:	
	GENERAL IN	 FORMATION		
Development name: Pleasant Valley F	romenade Mult	family		
Inside City limits? Yes X No				
	t Valley Road, 3 Glenwood Aver		it Valley Road, 6204 Glen	wood
Site P.I.N.(s): 0786881039, 07868851	16, 078687437	1, 07867796	62	
Please describe the scope of work. Inclu	de any additions, e	expansions, ar	nd uses (UDO 6.1.4).	
Demolition of existing Van Gogh Ecorner of subject property to allow		•	,	th east
Current Property Owner(s): Kimco Ra	leigh LP			
Company: Kimco Raleigh LP		Title:		
Address: 3333 New Hyde Park Road	, New Hyde Par	k, NY 11042	2	
Phone #: (704) 362-6149	Email: Ibjohr	nson@kimco	realty.com	
Applicant Name (If different from own				
Relationship to owner:	ract purchaser X	Owner's author	orized agent	older
reductionism to owner. Ecosoco or conte				

Phone #: (984) 833-4424	Email: conn	Email: connor.linton@kimley-horn.com		
NOTE: please attach purchase agre	ement or contract,	lease or easement when submitting this form.		
Developer Contact: Lee Johnson				
Company: Kimco Raleigh LP		Title: Vice President		
Address: 8430 Park Road, Charlo	tte, NC 28210			
Phone #: 919-678-4190	Email: Ibjoh	Email: lbjohnson@kimcorealty.com		
Applicant Name: Cory Howell	·			
Company: Kimley-Horn	Address: 42	Address: 421 Fayetteville Street, Suite 600 Raleigh, NC 27606		
Phone #: 919-678-4190	Email: cory.	Email: cory.howell@kimley-horn.com		

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)		
SITE DATA BUILDING DATA		
Zoning district(s) (please provide the acreage of each): CX-5-PL-CU	Existing gross floor area (not to be demolished): 332,460	
Gross site acreage: 6.30 acres (274,334 sf)	Existing gross floor area to be demolished: 27,540	
# of parking spaces proposed: 538	New gross floor area: 374,062	
Max # parking permitted (7.1.2.C): 687	Total sf gross (to remain and new): 706,522	
Overlay District (if applicable): PL	Proposed # of buildings: 1	
Existing use (UDO 6.1.4): Retail Sales	Proposed # of stories for each: 5	
Proposed use (UDO 6.1.4): Multi-unit Residential	Proposed # of basement levels (UDO 1.5.7.A.6) 1	

Imperious Area on Parcel(s): Existing (sf) 129,228 Proposed total (sf) 183,666	Impervious Area for Compliance (includes ROW): Existing (sf) 133,416 Proposed total (sf) 189,288	
	Existing (si) 100,110 Proposed total (si) 100,200	
RESIDENTIAL & OVERNIGHT	LODGING DEVELOPMENTS	
Total # of dwelling units: 372	Total # of hotel bedrooms:	
# of bedroom units: 1br <u>214</u> 2br <u>143</u> 3br <u>15</u>	4br or more	
# of lots: 1	Is your project a cottage court? Yes No	
	A frequent transit development? Yes No	

STORMWATER INFORMATION

Continue to Applicant Signature Block on Page Three.

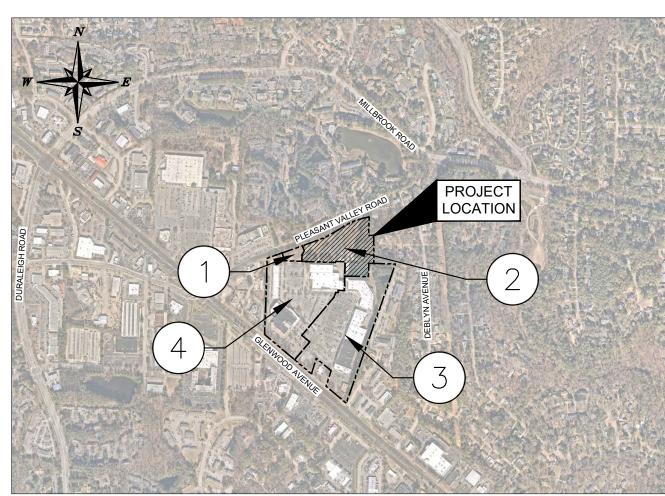
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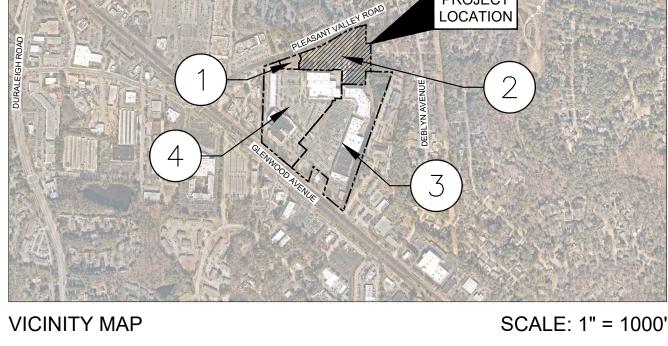
TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

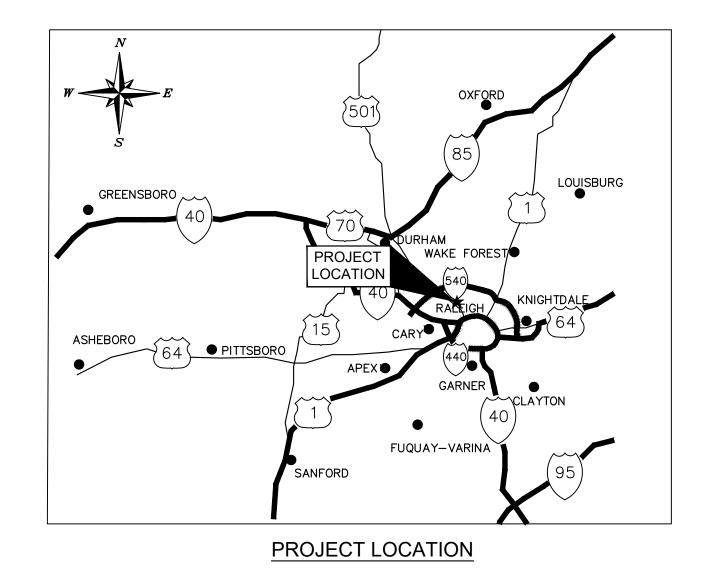
- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED. ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL
- REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO: MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
- PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG); AMERICAN DISABILITY ACT (ADA) REQUIREMENTS; • RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE

DEVICES (MUTCD).

PUBLIC IMPROVEME	
PHASE NUMBER	1
NUMBER OF LOTS	1
LOT NUMBERS BY PHASE	N/A
NUMBER OF UNITS	372
LIVABLE BUILDINGS	1
AMENITY SPACE	1.46 AC
PUBLIC WATER (LF)	91 LF
PUBLIC SEWER (LF)	761 LF
PUBLIC STREET (LF) - FULL	0
PUBLIC STREET (LF) - PARTIAL	0
PUBLIC SIDEWALK (LF)	0 LF
STREET SIGNS	0
WATER SERVICE STUBS	2
SEWER SERVICE STUBS	2







- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, DOWNSPOUTS, GRAVEL AREAS ADJACENT TO BUILDING WALLS, UTILITY ENTRANCE LOCATIONS, AND BOLLARDS IN BUILDING SIDEWALKS. ANY DISCREPANCIES FOUND BETWEEN THE BUILDING AND CIVIL PLANS SHALL BE IMMEDIATELY REPORTED TO THE
- 2. ACCESSIBLE PARKING SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL SIGN MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY; REFER TO CONSTRUCTION DETAIL SHEETS.
- 3. REFER TO SITE DETAIL SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.
- 4. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY, AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- 5. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED.
- 6. SURVEY PROVIDED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NC 27609, PHONE: 919-787-5806.
- 7. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY NCDOT AND THE CITY OF
- 8. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
- 9. THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SIDEWALK, PAVING, AND GUTTER AS INDICATED ON PLANS AND AS NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE, INCLUDING ANY DAMAGE CAUSED BY THE
- 10. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND TEMPORARY CONSTRUCTION EASEMENTS MAY BE REQUIRED
- 11. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO PRIVATE PROPERTY AND THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE NCDOT AND THE CITY OF RALEIGH.
- 12. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH CITY AND/OR NCDOT INSPECTORS.
- 13. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- 14. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- 15. THE CONTRACTOR SHALL CONSTRUCT ACCESSIBLE RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS MANUAL (LATEST REVISIONS FOR ACCESSIBLE RAMP
- 16. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
- 17. ALL OFF-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT NCDOT STANDARD SPECIFICATIONS AND DETAILS. ALL ON-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
- 18. ALL WORK MUST COMPLY WITH NORTH CAROLINA STATE BUILDING CODE AND NORTH CAROLINA ACCESSIBILITY CODE CHAPTER 11 AS WELL AS FEDERAL, STATE, AND LOCAL ACCESSIBILITY REQUIREMENTS.
- 19. ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.
- 20. CONTRACTOR MUST INSTALL CONSTRUCTION FENCE AROUND THE PERIMETER OF THE PROPERTY UNTIL THE BUILDING IS SECURE WITH TEMPORARY DOORS AND LOCKS.

TRAFFIC CONTROL NOTES

- REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR DETAILS OF STANDARD TRAFFIC
- 2. ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- CITY OF RALEIGH PUBLIC UTILITY NOTES:
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS, & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- 2. UTILITY SEPARATION REQUIREMENTS: a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE
- WELL OR 50' FROM A PUBLIC WELL b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS. THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER
- FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER. e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MÍN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED. SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE
- (PER CORPUD DETAILS W-41 & S-49). f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL
- SEPARATION REQUIRED. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY
- THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. . CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24
- HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED
- ON ALL REUSE MAINS. 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE. CONTRACTOR TO HAVE INSPECTOR ON-SITE TO WITNESS REMOVAL OR ABANDONMENT AT MAIN.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- 8. INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- 9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI: BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIME BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

<u>ABBREVIATIONS</u>

)					
)	AC	ACRE	FL	FLOW LINE	TYP
_	BW	BOTTOM OF WALL	HP	HIGH POINT	
,	CI	CURB INLET	JB	JUNCTION BOX	
5	CO	CLEANOUT	LF	LINEAR FEET	
	COR	CITY OF RALEIGH	LOD	LIMITS OF DISTURBANCE	
5	CS	CONTROL STRUCTURE	LP	LOW POINT	
5	DI	DROP INLET	PVC	POLYVINYL CHLORIDE PIPE	
))	DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE	
2	EG	EXISTING GRADE	SCM	STORMWATER CONTROL MEASURE	
ĵ	EX	EXISTING	SSCO	SANITARY SEWER CLEANOUT	
5	FDC	FIRE DEPARTMENT CONNECTION	SSMH	SANITARY SEWER MANHOLE	
	FES	FLARED END SECTION	SF	SQUARE FEET	
2	FFE	FINISHED FLOOR ELEVATION	TCA	TREE CONSERVATION AREA	
5	FG	FINISHED GRADE	TW	TOP OF WALL	

- 1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- 2. CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH UTILITY INSPECTORS 72-HOURS BEFORE CONNECTING TO ANY
- 3. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 - 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
 - 6" PVC SCHEDULE 40 4" PVC SCHEDULE 40
- DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151
- 4. WATER LINES SHALL BE AS FOLLOWS :
 - 3"-10" DUCTILE IRON PIPE PER AWWA C150
- 34" TO 2" TYPE K SOFT COPPER 5. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- 6. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT ON UTILITY DETAILS.
- 7. WATER AND SEWER MAINS SHALL BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- 8. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.0' COVER ON ALL WATERLINES.
- 9. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES, AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
- 10. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- 11. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- 12. THE CITY OF RALEIGH HAS THE RIGHT TO INSPECT ALL PRIVATE WATER AND WASTEWATER SYSTEMS
- 13. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
- 14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- 15. REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN LOCATION AND ELEVATION OF ALL UTILITIES AT THE BUILDING. 16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES. IF
- MUNICIPALITY DOES NOT REQUIRE TESTING, CONTACT ENGINEER FOR APPROPRIATE UTILITY TESTING CRITERIA. 17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- 18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTED OR
- UNCHARTED WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. 19. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL
- 20. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND
- 21. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE.
- 22. ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUND.
- 23. ALL SANITARY SEWER AND WATER DISTRIBUTION SYSTEM WORK TO BE INSTALLED BY A LICENSED UTILITY
- 24. THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH UTILITY PROVIDERS FOR INSTALLATION OF PRIMARY ELECTRIC SERVICE AND TELEPHONE SERVICE TO THE PROPOSED BUILDINGS.
- 25. WHEN A WATER MAIN CROSSES OVER A SEWER MAIN, THERE MUST BE EIGHTEEN INCHES OF VERTICAL SEPARATION. IF THE WATER MAIN MUST GO UNDER THE SEWER MAIN, BOTH LINES MUST BE OF DUCTILE IRON FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING WITH A TWELVE INCH VERTICAL SEPARATION. THE CROSSING OF OTHER UNDERGROUND PIPE REQUIRES A MINIMUM OF TWELVE INCHES OF VERTICAL SEPARATION. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- 26. WHEN A WATER LINE PASSES OVER OR UNDER A STORM SEWER, VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED UNLESS WATER LINES ARE OF DUCTILE IRON OR ENCASED IN CONCRETE. A MINIMUM 6" CONCRETE CRADLE SHALL BE POURED BETWEEN THE TWO. DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE
- 27. A FIRE INSPECTOR SHALL INSPECT THE UNDERGROUND FIRE LINE PIPING FROM THE PIV TO THE BUILDING. FOR YARD FIRE DEPARTMENT CONNECTIONS (FDCS), THE UNDERGROUND FDC PIPING MUST BE INSPECTED BEFORE IT IS COVERED UP.
- DRAINAGE: 1. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - 15" DIAMETER AND LARGER: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 - LESS THAN 15" DIAMETER: PVC SCHEDULE 40 OR HDPE AASHTO DESIGNATION M252 TYPE S. M294 TYPE S AND MP7-97 TYPE S, SMOOTH INTERIOR/AMMULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES OR NCDOT SPECIFICATION. WHICHEVER IS MORE STRINGENT. PIPE JOINTS AND FITTINGS SHALL CONFORM TO AASHTO M252 AND M294.
 - ALL STORM DRAINAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE SPECIFIED AS CLASS IV.
- 2. ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
- 3. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER
- 4. ADDITIONAL SUBSURFACE DRAINAGE MAY RE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
- 5. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
- 5.1. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
- 5.2. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
- 5.3. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
- 5.4. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS.
- 5.5. DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL
- 5.6. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- 6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING
- 7. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT
- 8. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT

PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC.

- SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS AND SPECIFICATIONS.
- 10. THIS PLAN DETAILS PIPES UP TO 5FT FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY. 11. ALL STORM SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL
- HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
- 12. STRUCTURE RIM ELEVATIONS SHOWN HERE IN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY. 13. RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES. RIM ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR CURB INLETS, UNLESS OTHERWISE NOTED.

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF RALEIGH AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND GUTTER
- LOCATIONS ARE TO THE GUTTER FLOW LINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR PRIOR TO GROUND BREAKING.
- 4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD

3. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL

- CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER LICENSED IN THE STATE
- 8. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
- THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
- 10. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
- 11. ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
- 12. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
- 13. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND ALL TERMS AND CONDITIONS IN THE STATE OR MUNICIPAL GRADING AND EROSION CONTROL PERMIT ISSUED FOR THIS PROJECT.
- 14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 6 INCHES OF TOPSOIL AND GROUNDCOVER AS APPROPRIATE. REFER TO EROSION CONTROL NOTE 12 FOR ADDITIONAL DETAIL.

AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS

PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS

- 15. CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. 16. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING,
- NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS AS AN ALTERNATE ALLOWANCE.
- CONTRACTOR TO BE RESPONSIBLE FOR DEWATERING AS NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
- 19. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS, AND EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.
- 20. ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE
- ALL FOUNDATION AND UTILITY EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNDESIRABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED WITH SUITABLE MATERIAL AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE AT CONTRACTOR'S EXPENSE.
- 22. GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE GUTTER FLOW LINE FOR
- 23. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- 24. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- 25. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY OR ABANDONED AT MAIN AS REFERENCED IN THE PLANS.
- 26. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- 27. ALL AREAS WITH 2:1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR APPROVED EQUAL INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 28. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- 29. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.

FINE GRADING NOTES (PRIVATE PROPERTY):

TO GRADING PLANS IN THIS PLAN SET FOR ALL TW AND BW ELEVATIONS.

EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

1. SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE. 2. PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN

THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY

- STRIPED AREA. 3. ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- 4. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- RETAINING WALL NOTES

BACKFLOW PREVENTION NOTES:

- 1. STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY KIMLEY-HORN AND ASSOCIATES, REFER TO RETAINING WALL SHEETS IN THIS PLAN SET.
- 2. BOTTOM OF WALL ("BW") GRADES SHOWN ON THESE PLANS REPRESENT FINISHED GROUND ADJACENT TO LOW SIDE OF WALL. TOP OF WALL ("TW") ELEVATIONS ASSUME FINISHED GROUND ADJACENT TO HIGH SIDE OF WALL. REFER
- 3. RETAINING WALLS WITH ELEVATION DROP EXCEEDING 2'-6" IN HEIGHT SHALL HAVE GUARDRAILS OR FENCING FOR FALL PROTECTION
- THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT REQUIRED BACKFLOW PREVENTER.
- ALL REQUIRED BACKFLOW PREVENTER ASSEMBLIES ARE REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
- THE DOMESTIC BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.
- 4. THE FIRE BACKFLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.
- THE IRRIGATION BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

ATTENTION CONTRACTORS

twenty four hours prior to beginning any of their construction.

Failure to call for Inspection, Install a Downstream Plug, have

Raleigh Standards will result in a Fine and Possible Exclusion

Permitted Plans on the Jobsite, or any other Violation of City of

Failure to notify both City Departments in advance of beginning

construction, will result in the issuance of monetary fines, and

require reinstallation of any water or sewer facilities not inspected

Public Utilities Department at (919) 996-4540 at least

as a result of this notification failure.

from future work in the City of Raleigh.

The Construction Contractor responsible for the extension of water,

contacting the *Public Works Department* at (919) 996-2409, and the

sewer, and/or reuse, as approved in these plans, is responsible for

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE.
- CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE CONSTRUCTION PROJECT ALL EROSION CONTROL COUNTER MEASURES SHOWN ON THIS SHEET IN ACCORDANCE WITH APPLICABLE STANDARDS FROM THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY SEDIMENT CONTROL REGULATIONS.
- GROUND COVER SHALL BE ESTABLISHED PER "SEEDBED PREPARATION NOTES" PROVIDED IN THE EROSION CONTROL DETAILS.
- THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 3:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. CONTRACTOR SHALL PROVIDE GROUND COVER IN 14 DAYS ON ALL OTHER AREAS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION.
- DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE
- SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS, AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
- 8. ALL TEMPORARY FROSION AND SEDIMENT CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED AND APPROVAL HAS BEEN OBTAINED FROM THE <u>CITY OF RALEIGH INSPECTIONS DEPARTMENT</u>. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY SEDIMENT CONTROL REGULATIONS, U.S. DEPT. OF AGRICULTURE, U.S. SOIL CONSERVATION SERVICE, AND CITY OF RALEIGH REQUIREMENTS.
- 10. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF
- 11. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED, TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE CITY OF RALEIGH SEDIMENT CONTROL REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
- 13. CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREA\$. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE
- WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
- ALL DRAINAGE INJETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF
- 16. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.

17. STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS

SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR

ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY

IMMEDIATELY AFTER INSTALLATION.

DEMOLITION NOTES:

- THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING BUILDINGS TO REMAIN, AND EROSION CONTROL.
- ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
- REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK.
- WHERE PAVEMENT REMOVAL AREAS ABUT OTHER PAVEMENT AREAS TO REMAIN. THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.
- 6. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE

CONSTRUCTION SITE

MARKED FOR REMOVAL

- TREE PROTECTION NOTES 1. THE CONTRACTOR \$HALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE
- ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE. WHEN ROOT PRUNING IS NECESSARY, USE A TRENCHER TO CUT AREA WHERE APPROPRIATE ROOT PRUNING SHOULD BE PERFORMED. TO PRUNE ROOTS LARGER THAN THE CAPABILITY OF A TRENCHER, USE HAND TOOLS TO OBTAIN A CLEAN CUT. DRESS WOUNDS LARGER THAN TWO INCHES AND USE PLYWOOD FORMS
- WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB AND GUTTER. 3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING, OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL
- NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
- 5. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING, OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

FOR REVIEW ONLY NOT FOR CONSTRUCTION

STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT

Know what's below. Call before you dig.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH

ALL EXISTING TOPOGRAPHICAL, BOUNDARY, SUBSURFACE UTILITY INFORMATION WAS PROVIDED WITHIN A TOPOGRAPHIC SURVEY OF PLEASANT VALLEY SHOPPING CENTER PREPARED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NO 27609, (919) 787-5805, DATED 10/10/2018 AND REVISED 03/10/2023.

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City of Raleigh Public Utilities **Cross Connection Program Certificate of Compliance Application New Construction**

Office Use Only Date Application Received:

/20	
Certificate Granted: Yes □	No □
Date:/20	

03/27/2023 Date:	Joanie S. Hartley
0786881039, 0786885116, 0786874371, 0786779662 PIN*:*PIN: Property Identification Number can be found on Wake Gov. Real Estate	Cross Connection Coordinator

4001 Pleasant Valley Rd, 3917 Pleasant Valley Rd, 6204 Glenwood Avenue, 6250 Glenwood Avenue, Raleigh, NC 27612

Street Address (Site of new construction) 704-362-6149 lbjohnson@kimcorealty.com

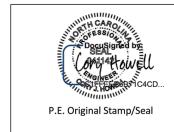
Containment Assembly: A backflow assembly, installed at the point of separation between the public water supply and a private service or private distribution system or at the point of metering.

Minimum requirements: Containment assemblies must be installed within 50' linear feet of piping from the most downstream edge of the meter box or ROW and be on the ASSE and USC approval list. Please see Appendix A: Guidelines and Requirements for the Cross Connection Program for further installation guidelines.

Water Service (Domestic, Irrigation, Fire, or Private Distribution System)	Type of Backflow: Reduced Pressure Zone (RPZ), Reduced Pressure Detector Assembly (RPDA), Double Check (DC), or Double Check Detector Assembly (DCDA)	Model of Containment Backflow	Size of Service	Office Use Only Approval of Location, Type, and Model
IRRIGATION	RPZ	WATTS SERIES 909 HWQT	1"	
DOMESTIC	RPZ	WATTS SERIES 909 M1QT	6"	
FIRE	RPDA	WATTS SERIES 909 RPDA	6"	

I understand that all containment backflow assemblies must be installed in accordance with Raleigh City Code: Article D: Water Quality Protection and Appendix A: Guidelines and Requirements of the Cross-Connection Program. Any changes made to the type of containment backflow or location must be resubmitted to the City of Raleigh's Cross Connection Program for approval.

Cory Howell 919 678 4190 Name of Professional 421 Fayetteville St Ste 600 NC 27601 State Zip Code Cory Howell 3/31/2023 C1FFEEB6B71C4CD.... Date



Office: 919-996-2747 Fax: 919-996-1868 cross.connection@raleighnc.gov Go To www.raleighnc.gov and Search "Cross Connection" Dominion Energy North Carolina 3516 Spring Forest Road, MCN26, Raleigh, NC 27616 DominionEnergyNC.com



March 13, 2023

Attn: Connor Linton Kimley-Horn 421 Fayetteville Street, Suite 600 Raleigh, N.C. 27601

RE: Natural Gas Availability to serve address of 3911 Pleasant Valley Rd. located in Raleigh, N.C.

Dear Connor,

This letter is to advise that natural gas service is available to the address referenced above.

It is the policy of Dominion Energy to extend service based upon feasibility. Once we are provided with an acceptable site plan and specific gas load information we can determine if gas service can be extended without aid in construction charges to the customer/owner.

Feel free to contact me with any questions, I look forward to working with you.

Sincerely, Matthew Koehl Matthew Koehl Dominion Energy Retail Commercial Sales Representative matthew.koehl@dominionenergy.com (919) 819-0485

Kim

TERS **APPROVAL**

EASANT VALLEY PROMENADE
MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED
PARTNERSHIP

FOR REVIEW ONLY NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

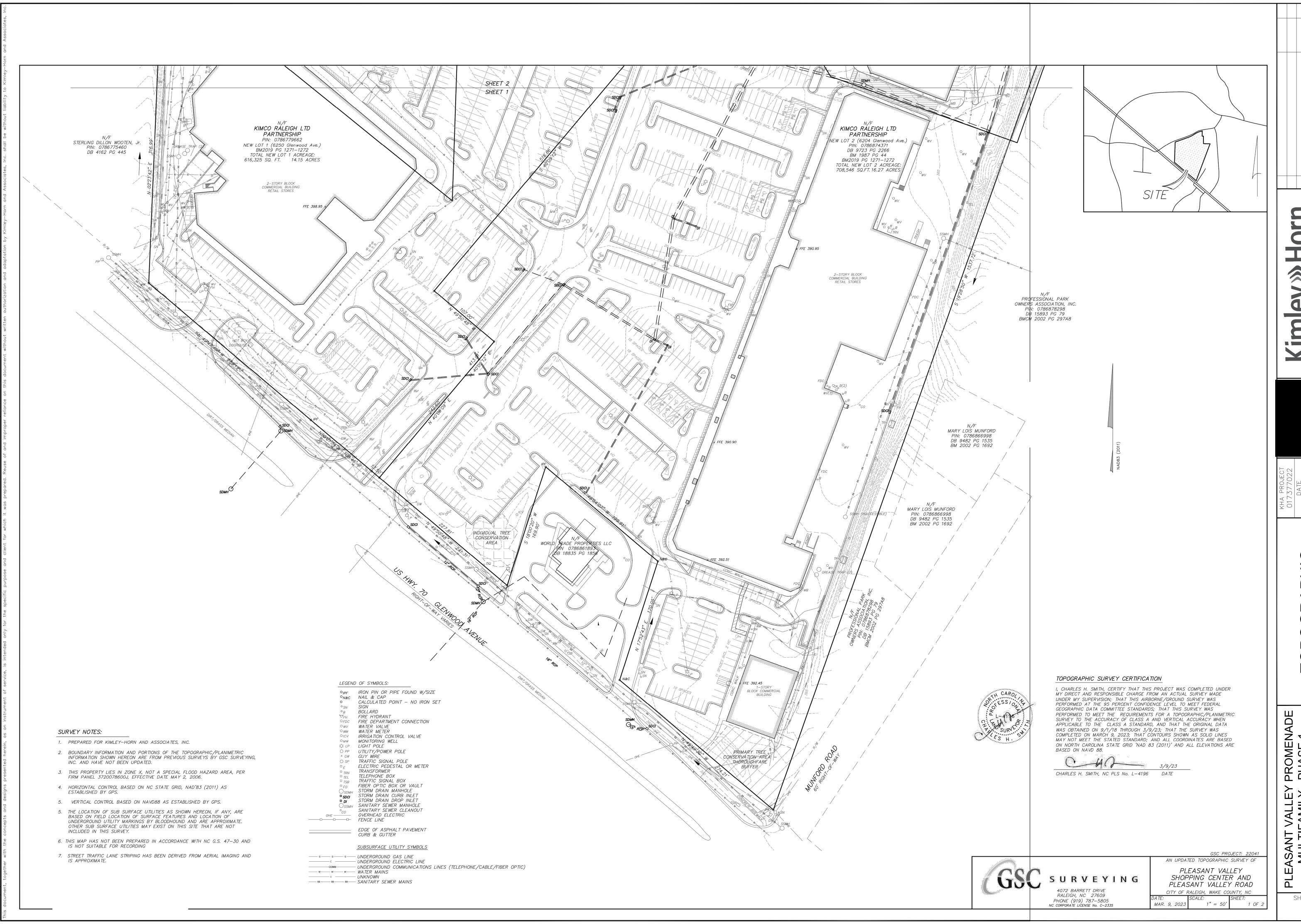


SURVEY NOTE:
ALL EXISTING TOPOGRAPHICAL, BOUNDARY,
SUBSURFACE UTILITY INFORMATION WAS PROVIDED
WITHIN A TOPOGRAPHIC SURVEY OF PLEASANT
VALLEY SHOPPING CENTER PREPARED BY GSC
SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NC 27609, (919) 787-5805, DATED 10/10/2018 AND REVISED 03/10/2023.

SHEET NUMBER C0.2

EASANT VALLEY PROMENADE
MULTIFAMILY - PHASE 1
PREPARED FOR
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PARTNERSHIP

SHEET NUMBER C1.0

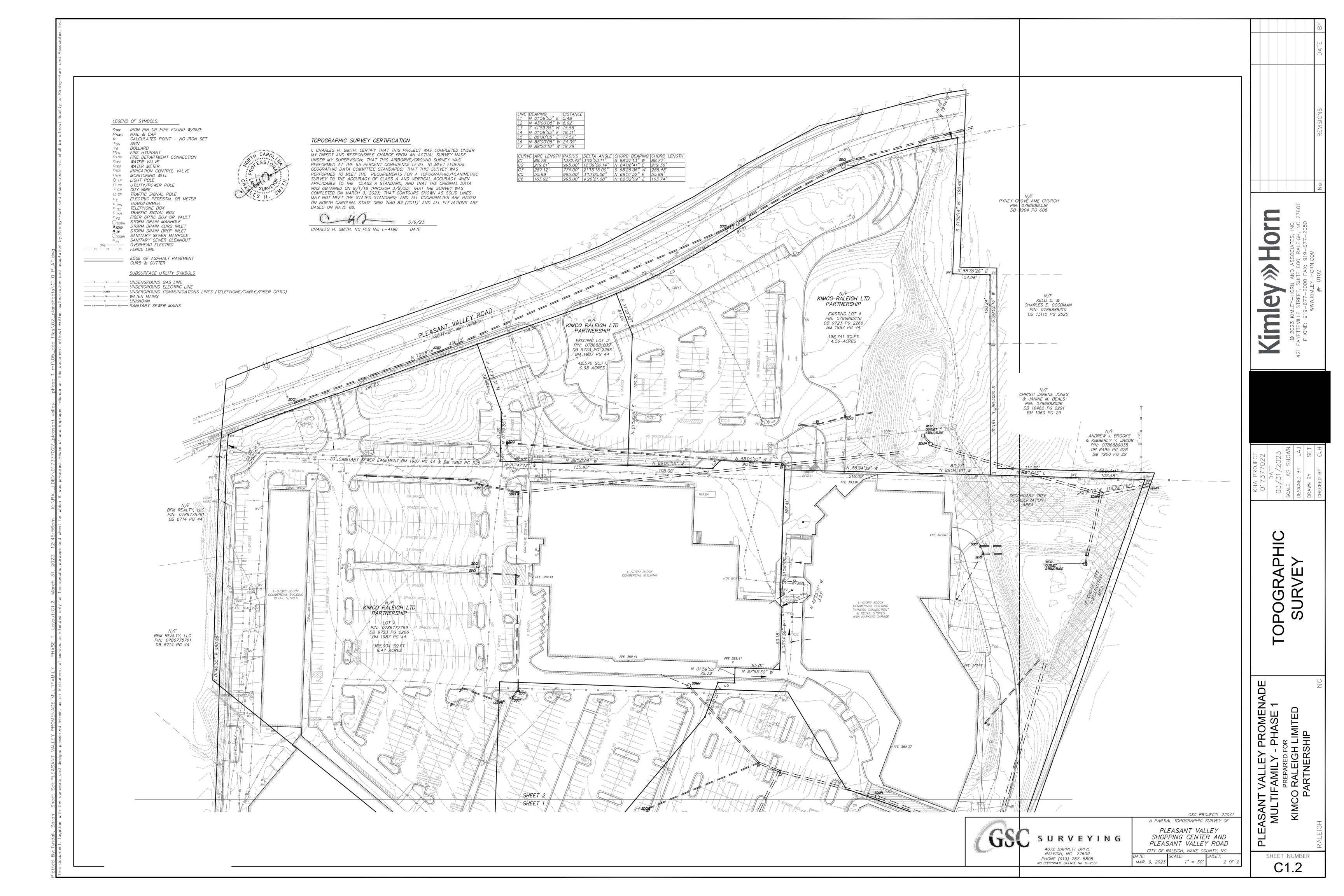


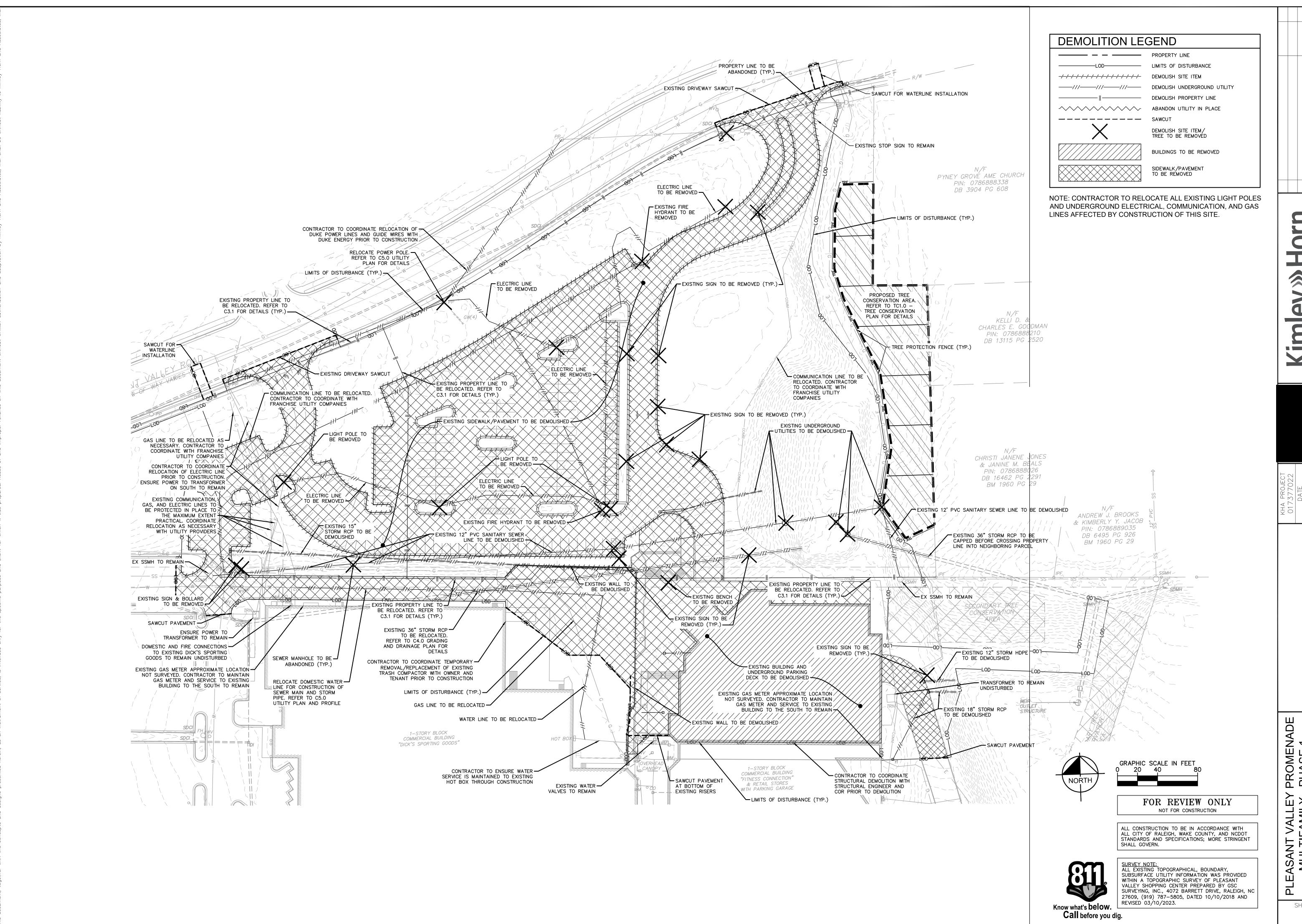
Kim

Δ,

PROMENADE - PHASE 1

SHEET NUMBER





C. 27601 No. REVISIONS

© 2023 KIMLEY—HORN AND ASSOCIATES, INC. PHONE: 919—677—2000 FAX: 919—677—2050 www.Kimley—Horn.com

DATE

03/31/2023

SCALE AS SHOWN

DESIGNED BY JAJ

DRAWN BY SET

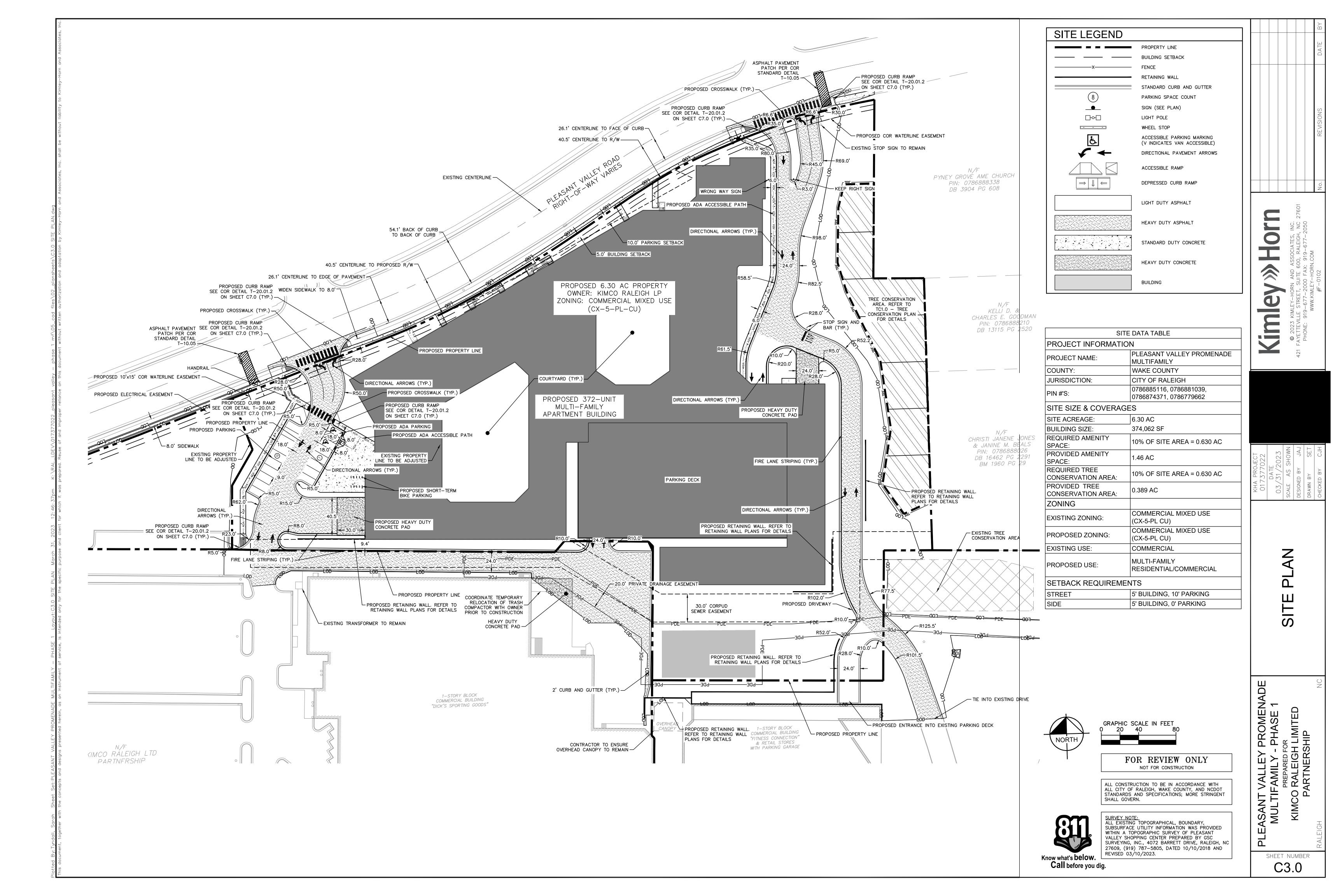
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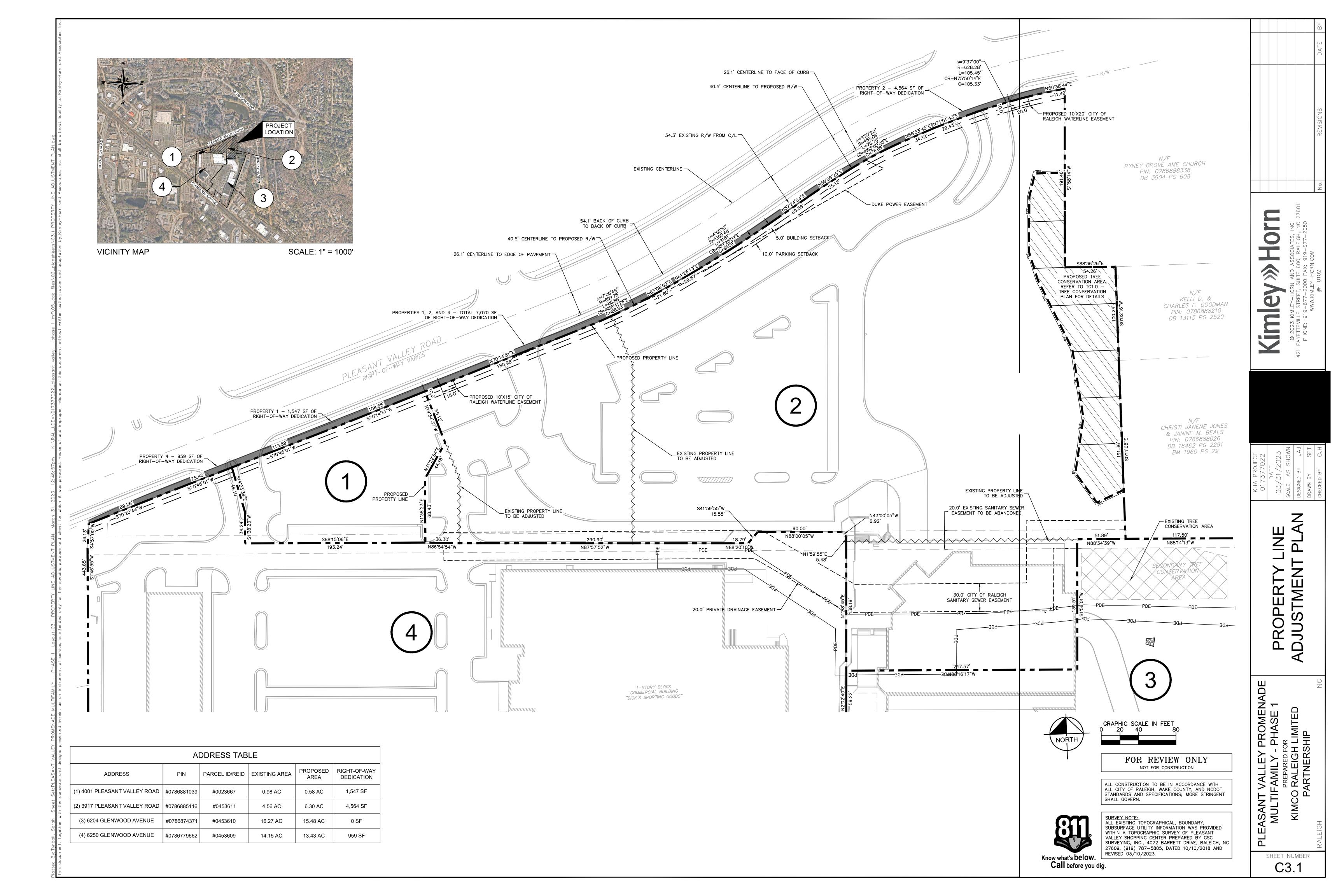
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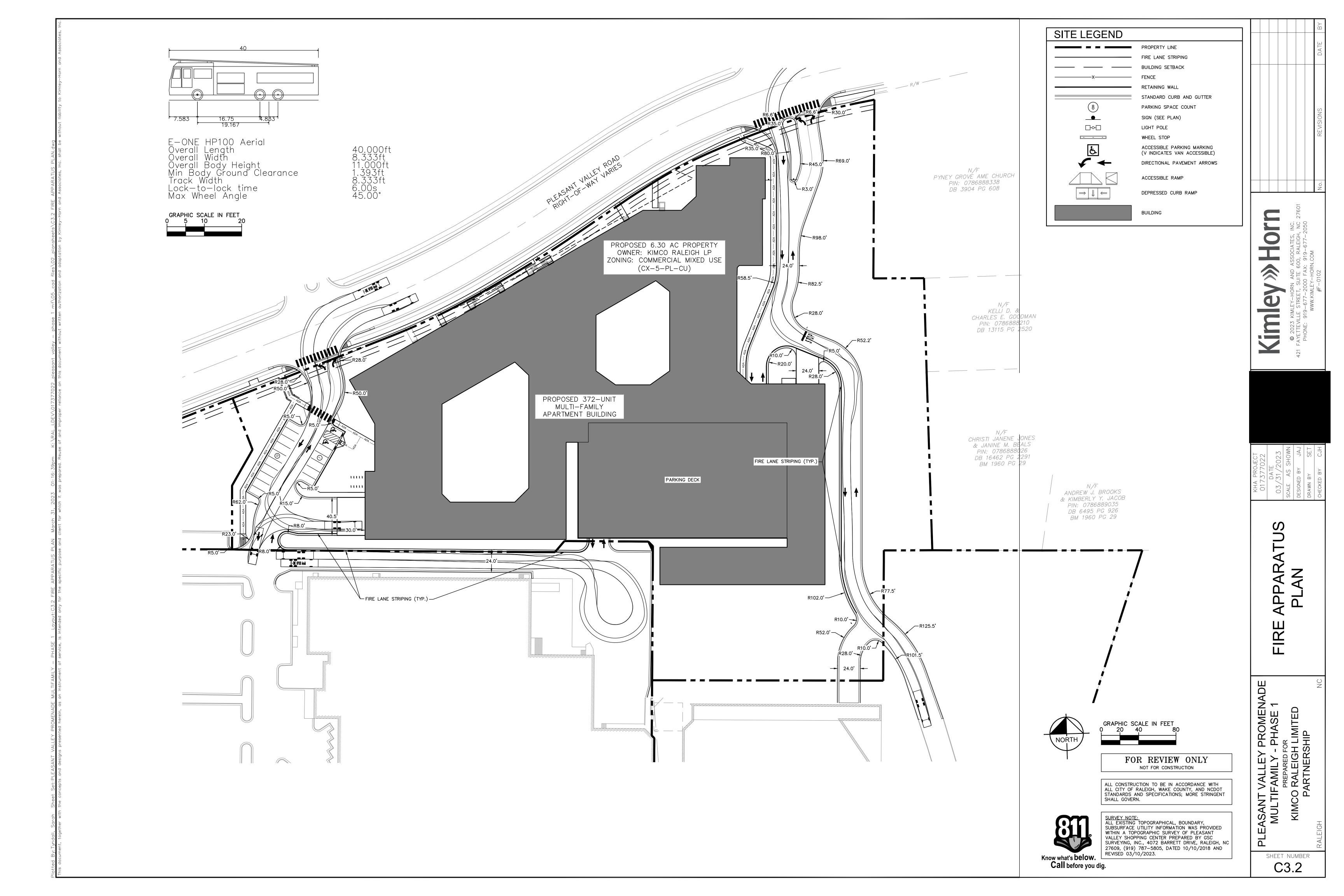
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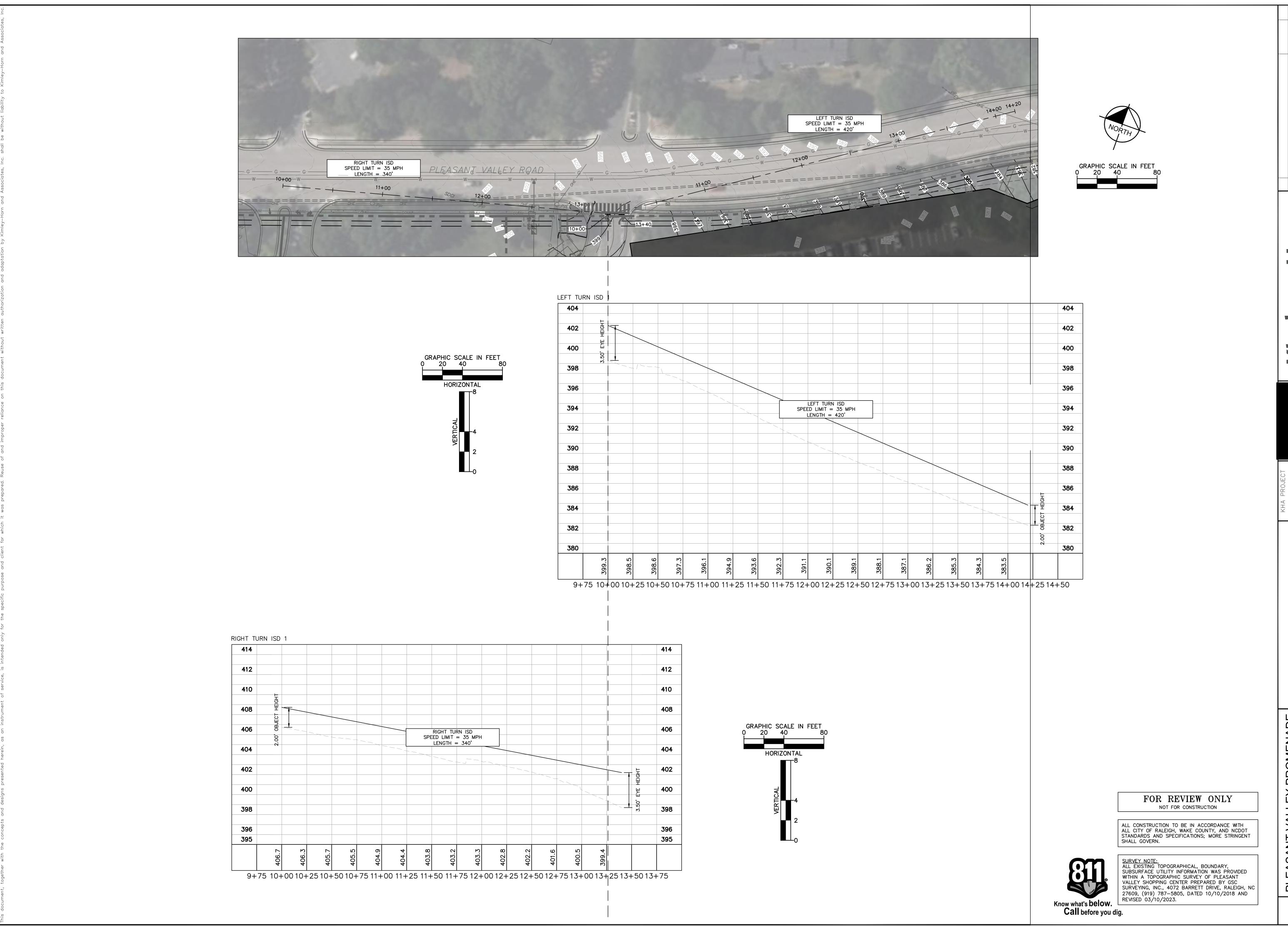
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C2.0









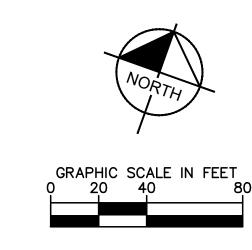
T DISTANCE PLAN

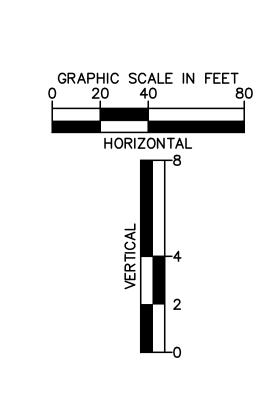
SIGHT

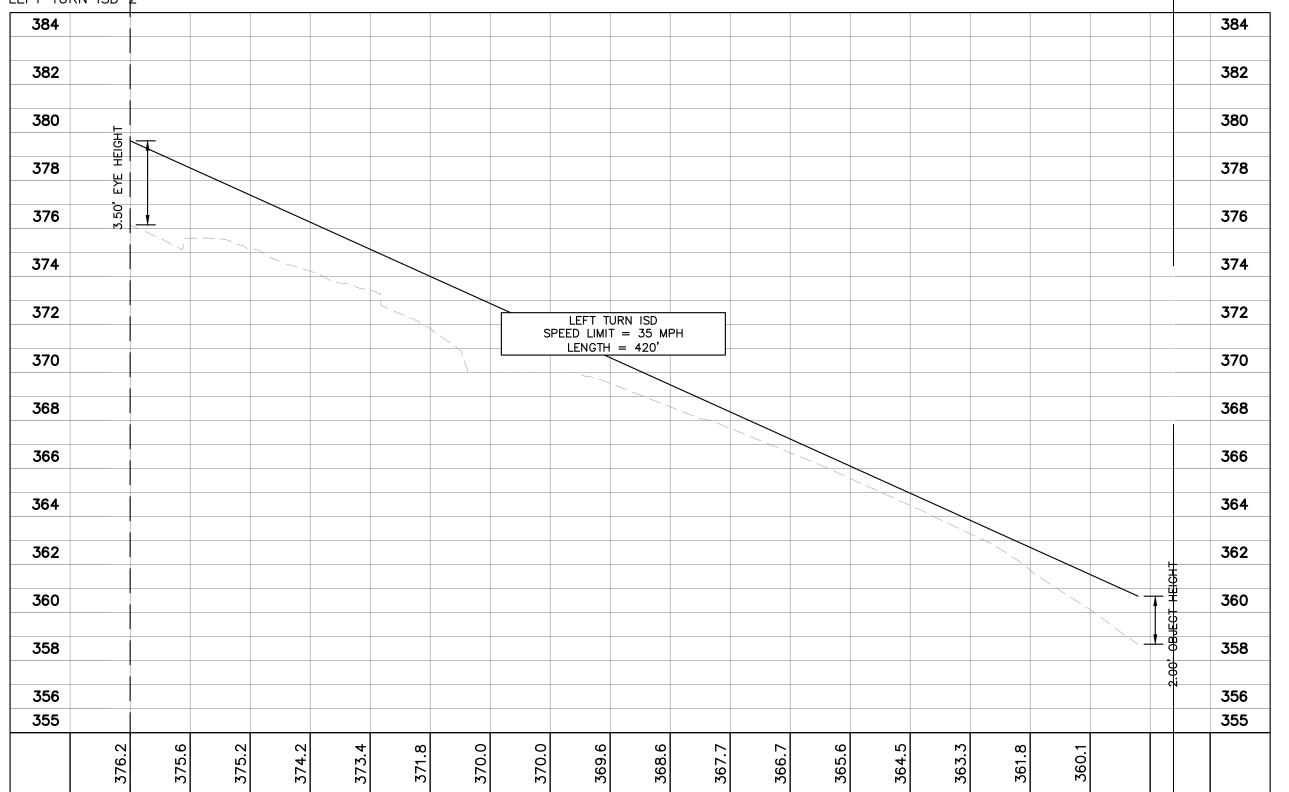
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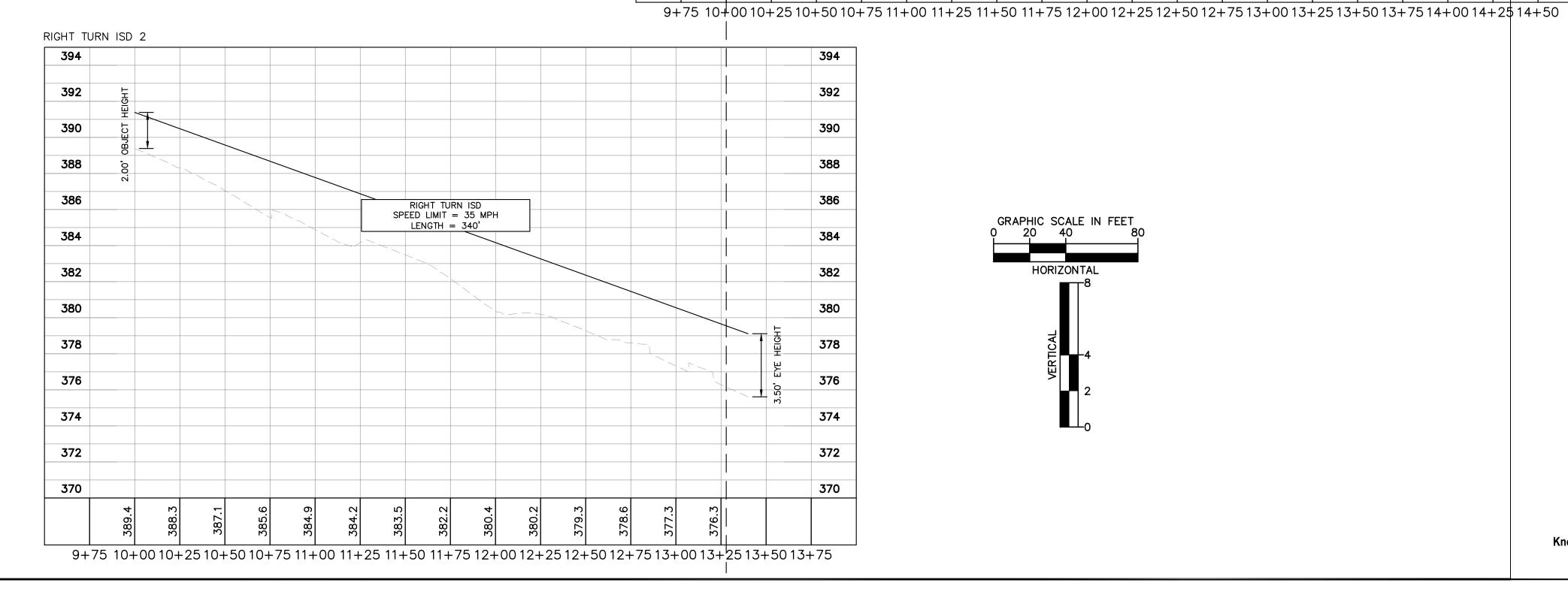
SHEET NUMBER C3.3

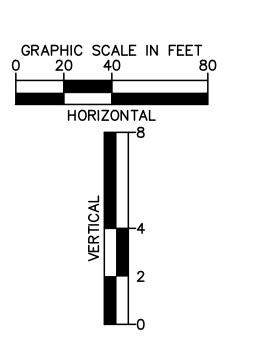












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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

Know what's below.

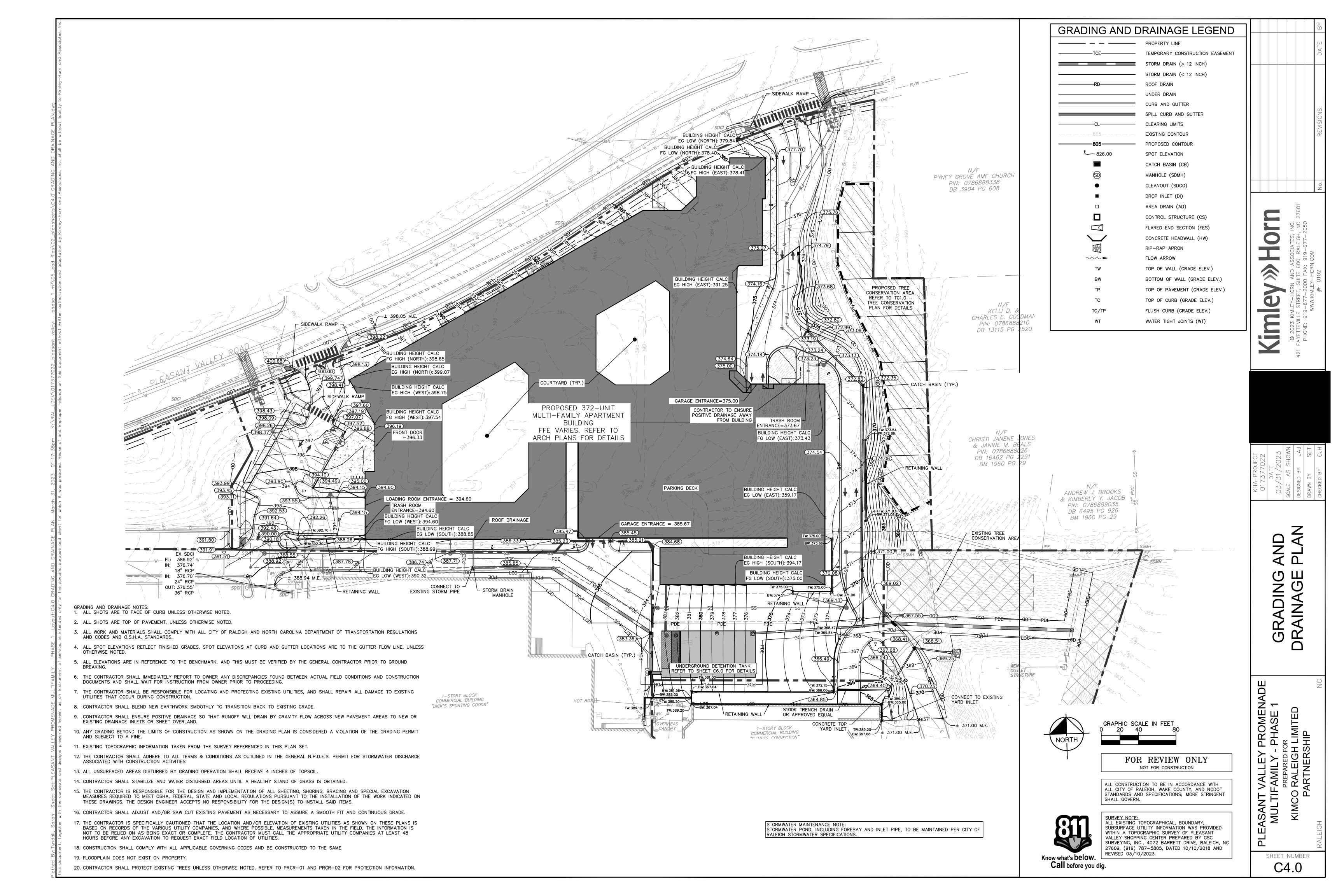
) w.	SURVEY NOTE: ALL EXISTING TOPOGRAPHICAL, BOUNDARY, SUBSURFACE UTILITY INFORMATION WAS PROVIDED WITHIN A TOPOGRAPHIC SURVEY OF PLEASANT VALLEY SHOPPING CENTER PREPARED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NC 27609, (919) 787—5805, DATED 10/10/2018 AND REVISED 03/10/2023.

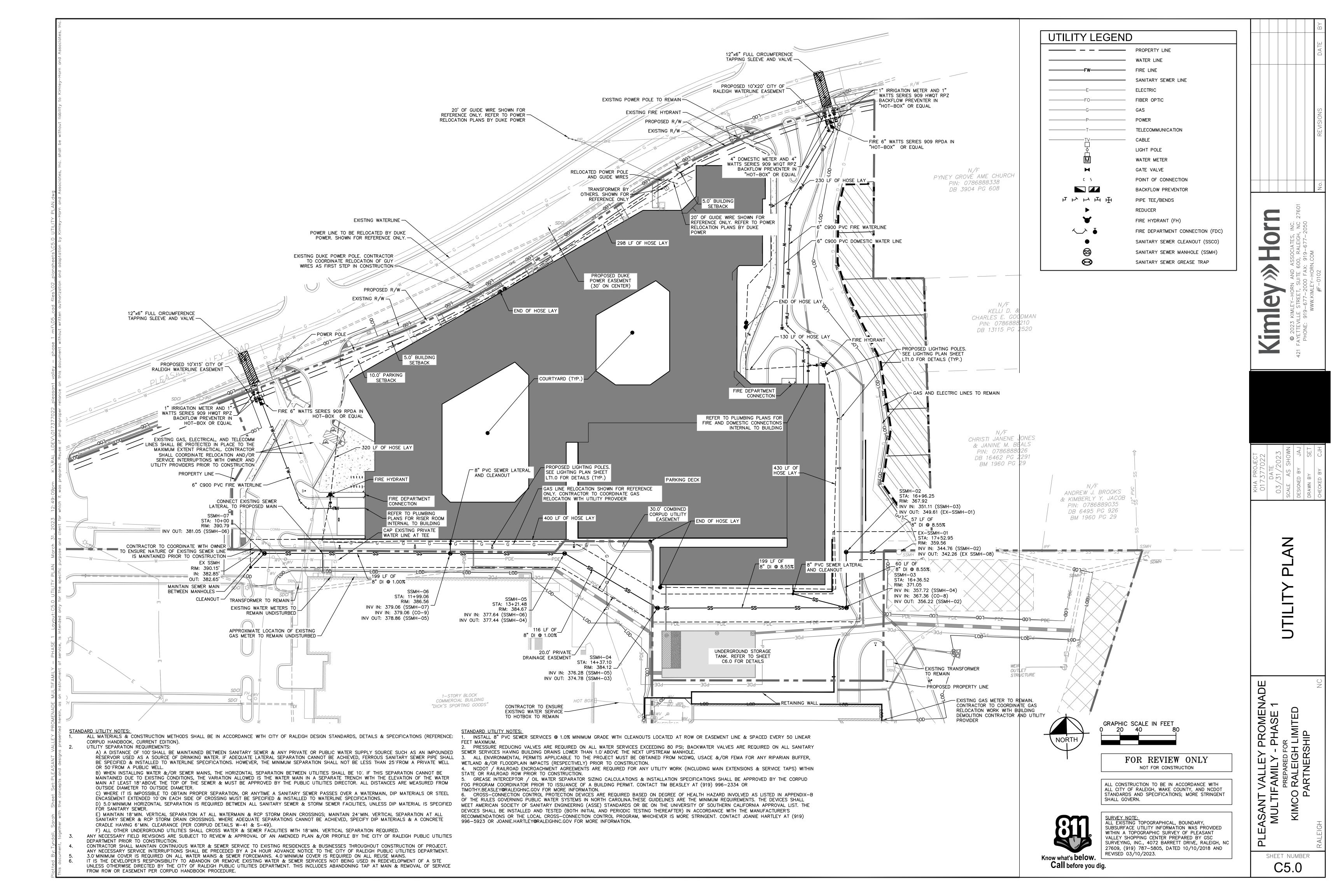
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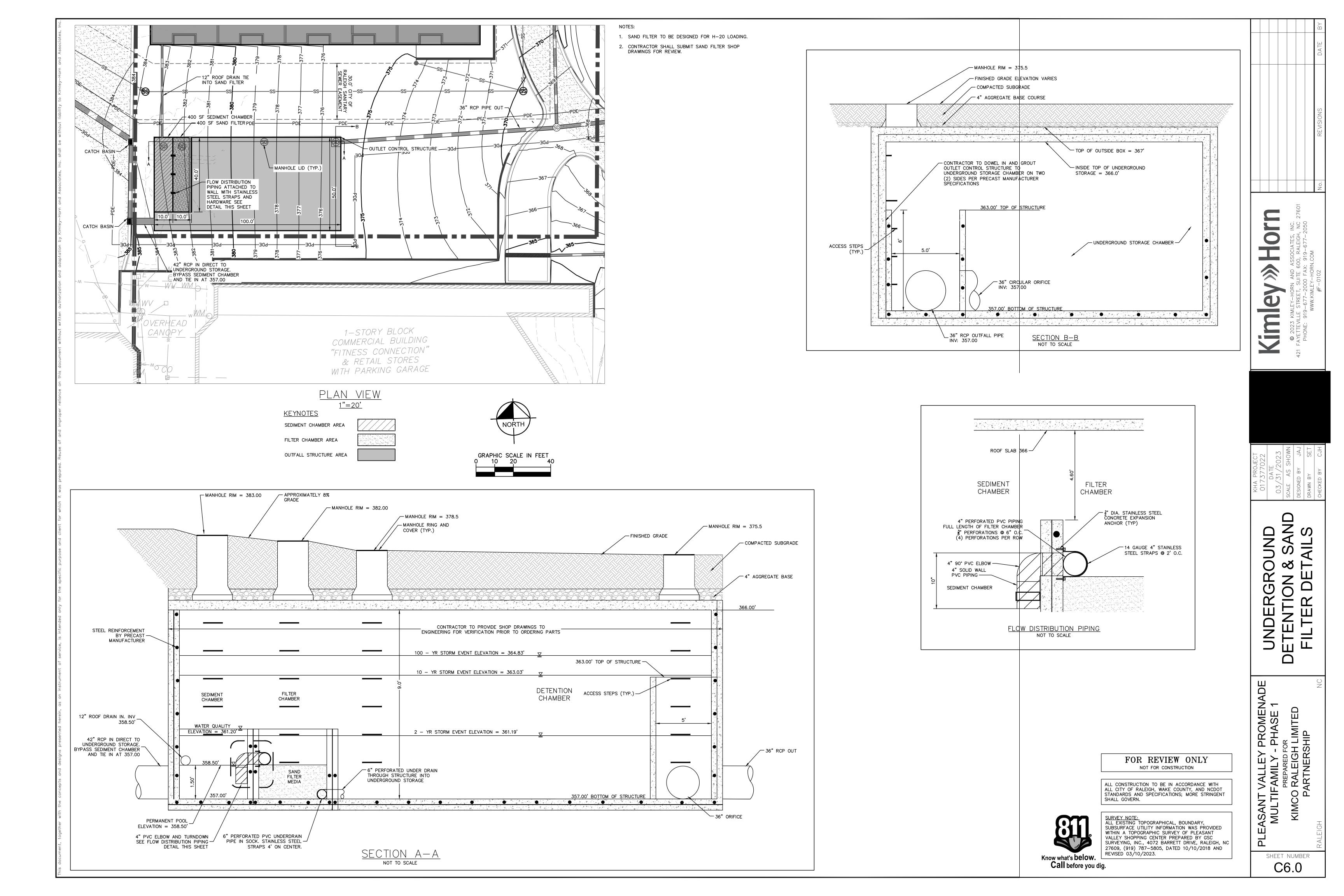
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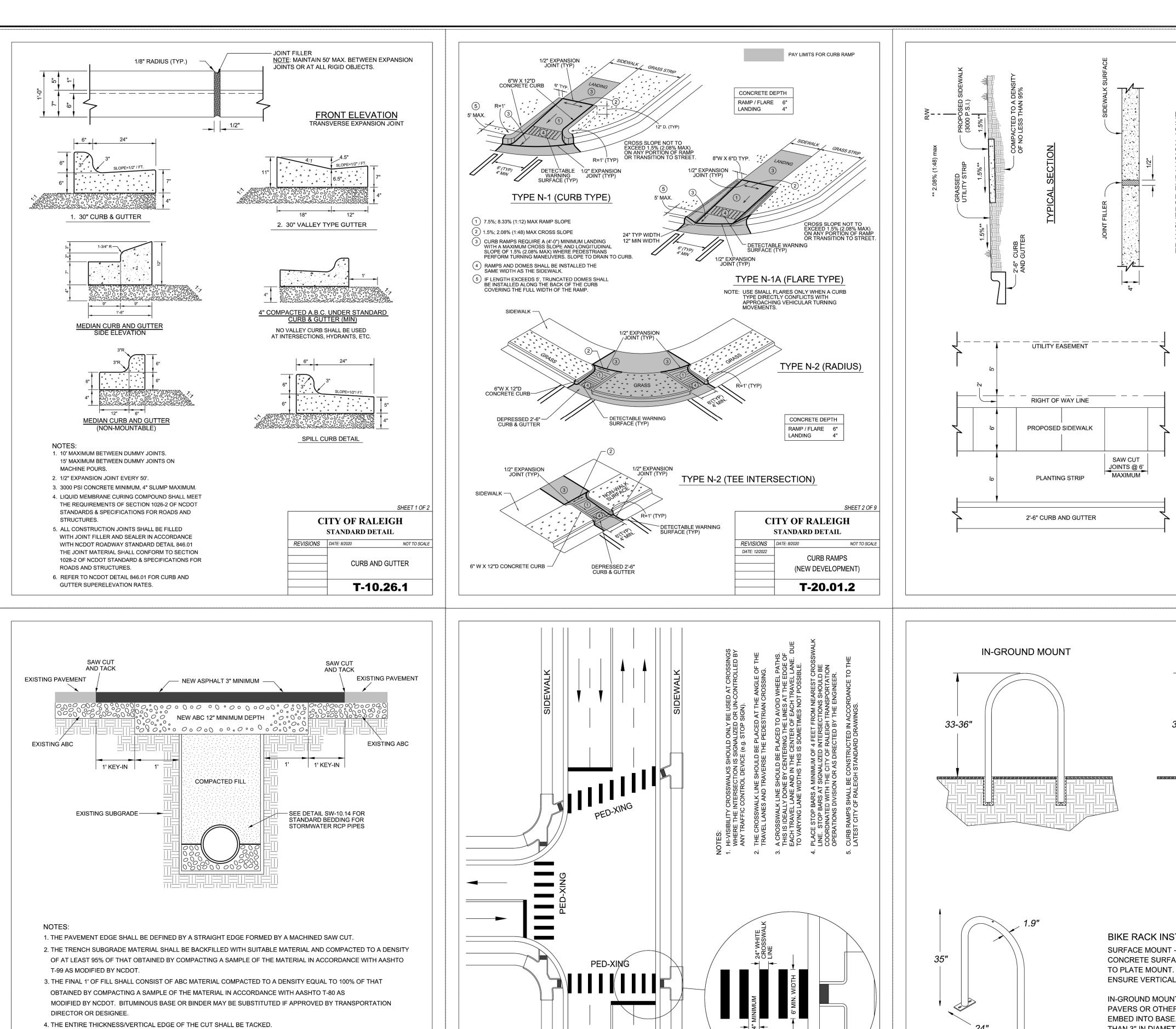
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SHEET NUMBER C3.4









CITY OF RALEIGH

STANDARD DETAIL

PAVEMENT MARKINGS

HI-VISIBILITY PEDESTRIAN CROSSWALK

T-20.05

5. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL

6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY AND ROLLED WITH A SMOOTH

CITY OF RALEIGH

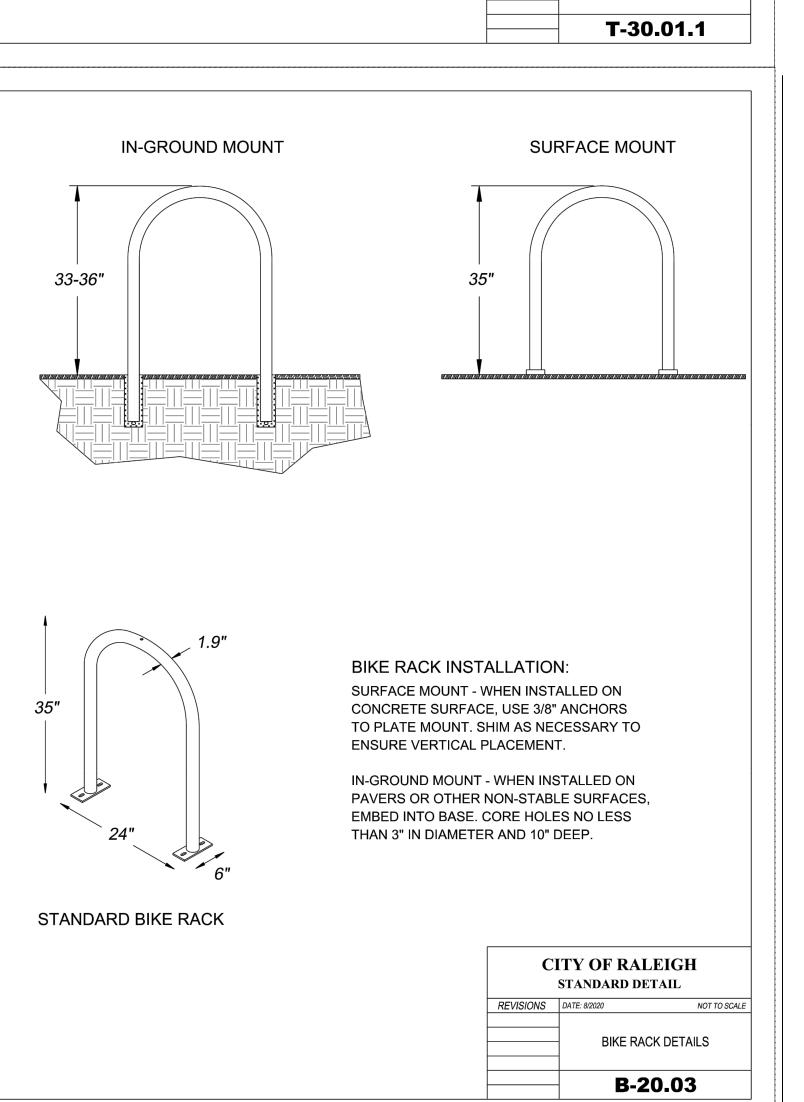
STANDARD DETAIL

ASPHALT PAVEMENT PATCH AND RCP PIPE BACKFILL

T-10.05

THE ASPHALT BE LESS THAN 3" THICK.

DRUM ROLLER TO ACHIEVE A SMOOTH, LEVEL PATCH.

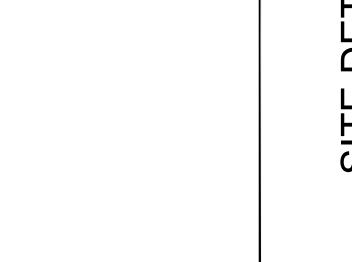


CITY OF RALEIGH

STANDARD DETAIL

CONCRETE SIDEWALK

REVISIONS



FOR REVIEW ONLY

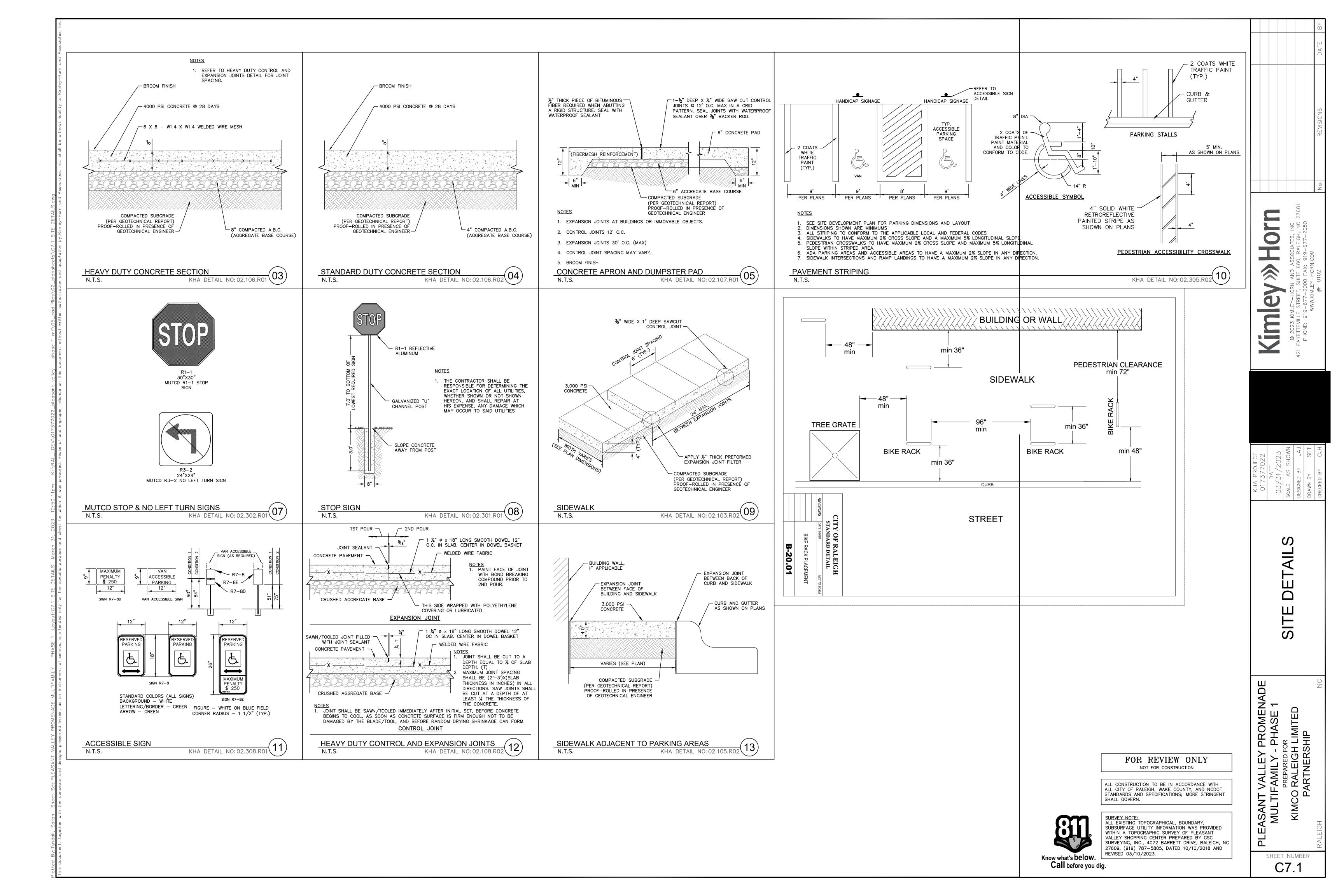
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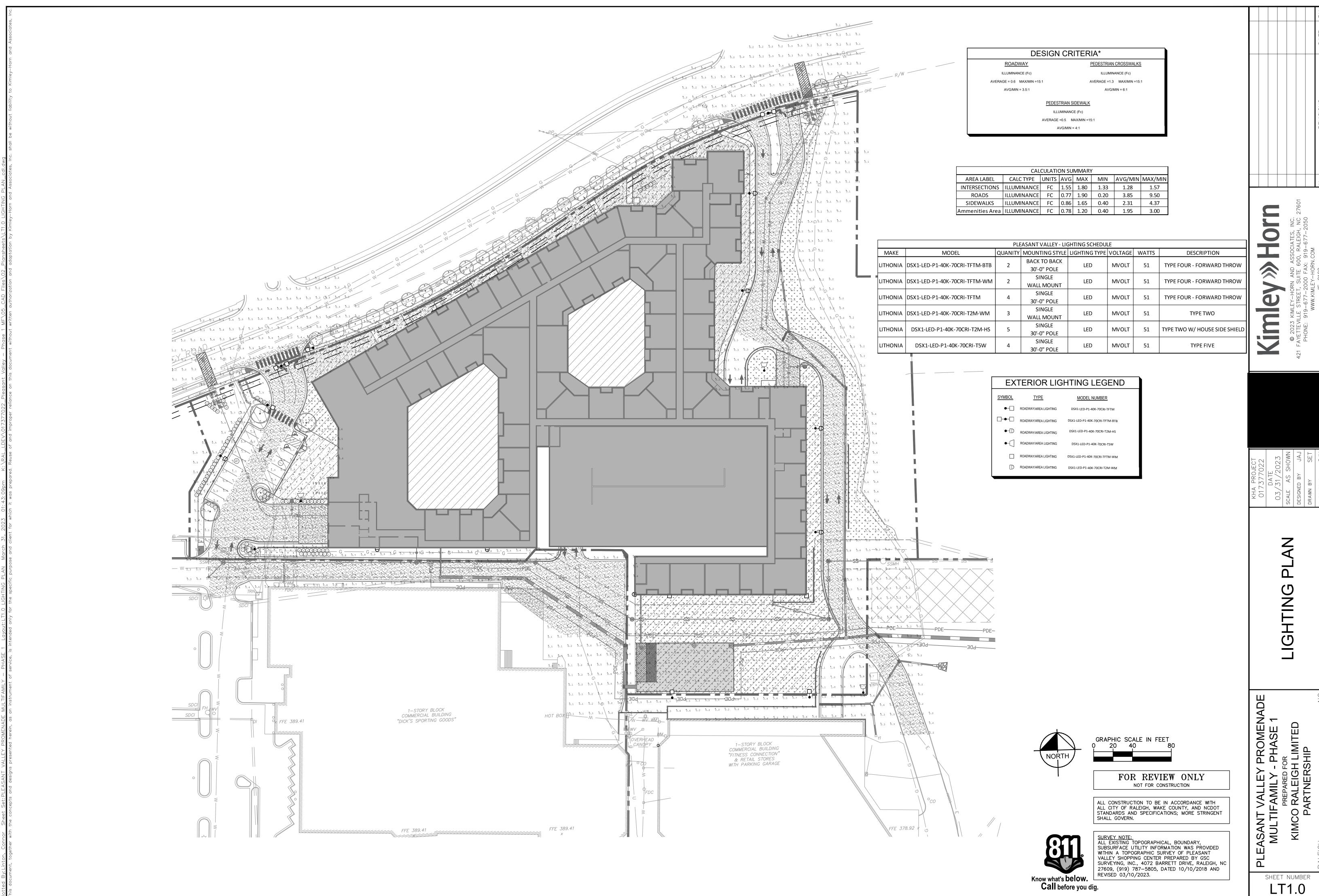


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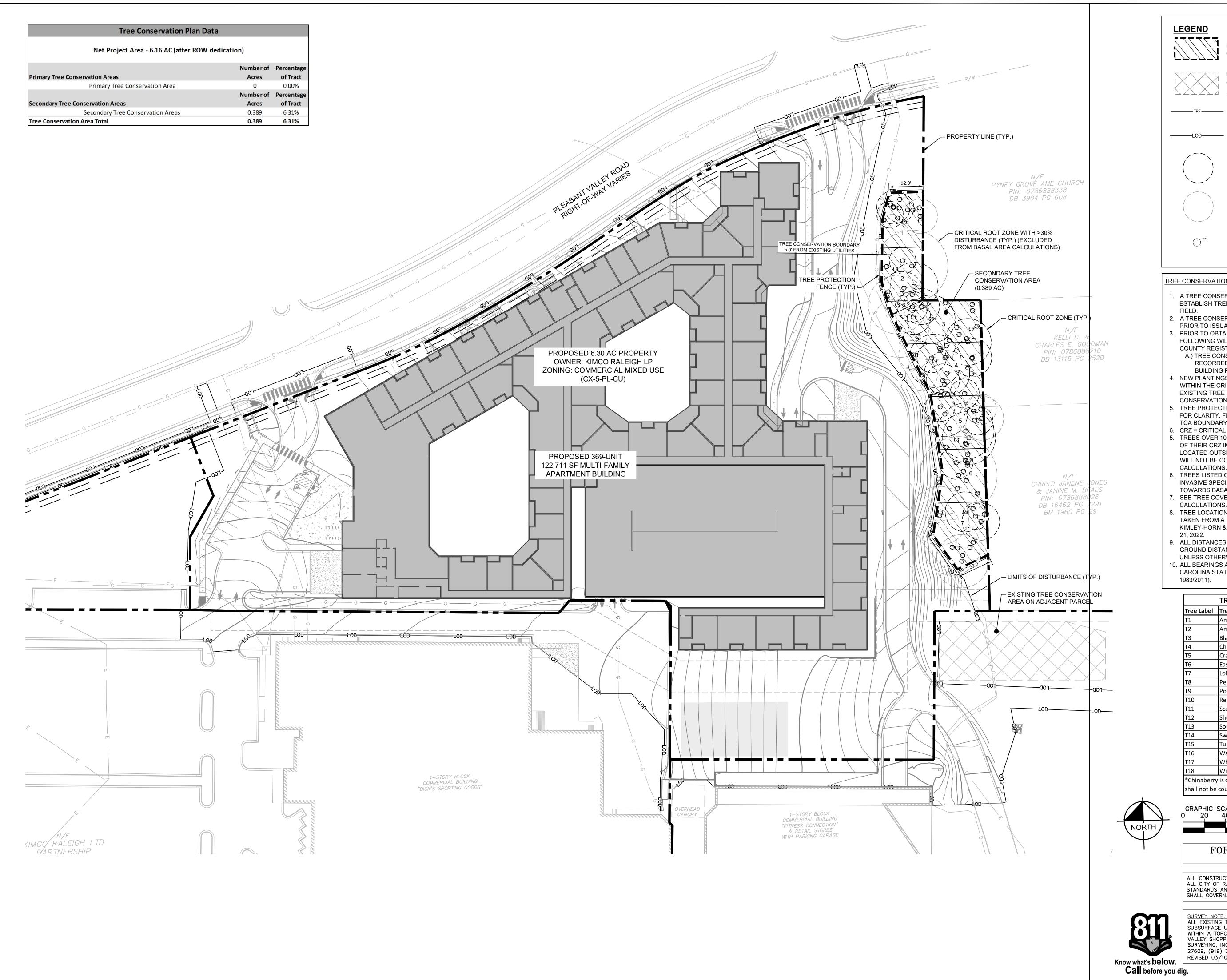
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LEGEND

SECONDARY TREE CONSERVATION AREA

EXISTING TREE CONSERVATION AREA ON ADJACENT PARCEL

TPF TREE PROTECTION FENCE

——LOD—— LIMITS OF DISTURBANCE

CRITICAL ROOT ZONE

CRITICAL ROOT ZONE WITH >30% DISTURBANCE (NOT INCLUDED IN BASAL AREA CALCULATION)

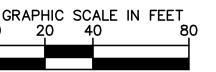
EXISTING TREE

TREE CONSERVATION NOTES:

- 1. A TREE CONSERVATION PERMIT IS REQUIRED TO ESTABLISH TREE CONSERVATION AREAS IN THE
- 2. A TREE CONSERVATION PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.
- 3. PRIOR TO OBTAINING A BUILDING PERMIT, THE FOLLOWING WILL BE RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS: A.) TREE CONSERVATION AREA MUST BE RECORDED PRIOR TO OBTAINING A
- BUILDING PERMIT PER UDO 9.1.5.A.2. 4. NEW PLANTINGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOTZONE OF ANY EXISTING TREE LOCATED WITHIN A TREE
- CONSERVATION AREA. 5. TREE PROTECTION FENCE IS SHOWN OFFSET FOR CLARITY. FENCE SHALL BE INSTALLED ON TCA BOUNDARY.
- 6. CRZ = CRITICAL ROOT ZONE 5. TREES OVER 10 INCHES DBH WITH 30% OR MORE OF THEIR CRZ IMPACTED BY DEVELOPMENT OR LOCATED OUTSIDE TREE CONSERVATION AREAS WILL NOT BE COUNTED TOWARDS BASAL AREA
- 6. TREES LISTED ON THE CITY OF RALEIGH INVASIVE SPECIES LIST WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
- 7. SEE TREE COVER REPORT FOR BASAL AREA CALCULATIONS.
- 8. TREE LOCATIONS ON THIS PLAN HAVE BEEN TAKEN FROM A TREE SURVEY PERFORMED BY KIMLEY-HORN & ASSOCIATES DATED DECEMBER 21, 2022.
- 9. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE STATED.
- 10. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE SYSTEM (NAD

TREE SURVEY LEGEND				
Tree Name				
American beech				
American holly				
Black cherry				
Chinaberry*				
Crape myrtle				
Eastern redcedar				
Loblolly pine				
Persimmon				
T9 Post oak				
T10 Red maple				
T11 Scarlet oak				
Shortleaf pine				
Southern red oak				
Sweetgum				
Tulippoplar				
T16 Water oak				
T17 White oak				
T18 Willow oak				

*Chinaberry is considered an invasive species and shall not be counted towards basal area calculations.



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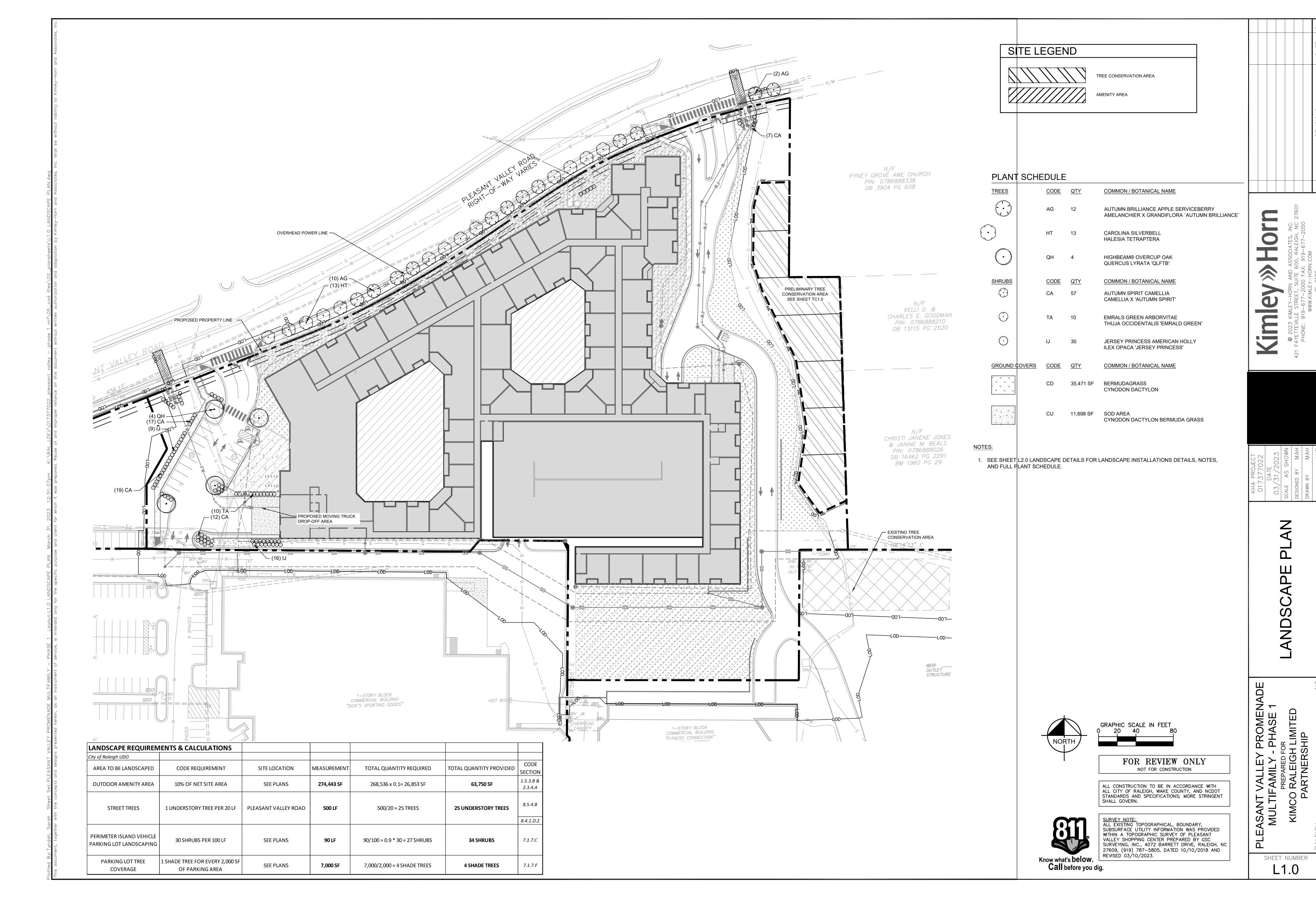
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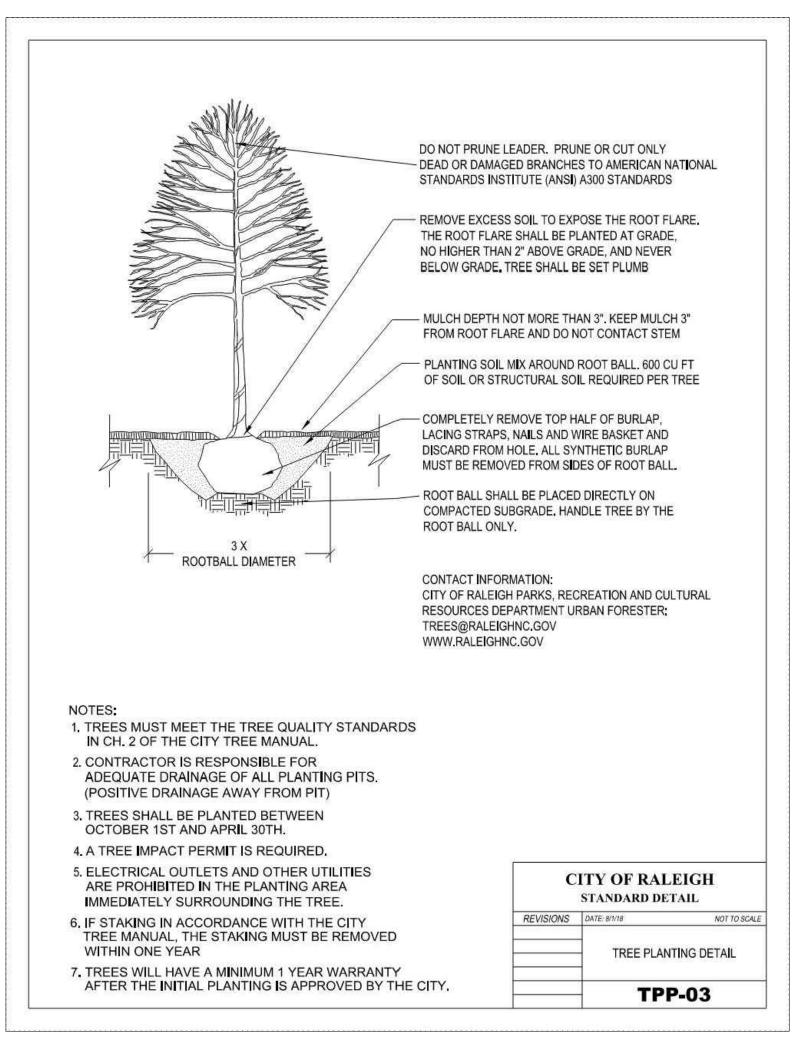
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EASANT VALLEY PROMENADE
MULTIFAMILY - PHASE 1
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KIMCO RALEIGH LIMITED
PARTNERSHIP





PLAINT SUR	EDULE	-				
TREES	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CAL	
	AG	12	AMELANCHIER X GRANDIFLORA `AUTUMN BRILLIANCE`	AUTUMN BRILLIANCE APPLE SERVICEBERRY	3" CAL	
	нт	13	HALESIA TETRAPTERA	CAROLINA SILVERBELL	3" CAL	
	QH	4	QUERCUS LYRATA 'QLFTB'	HIGHBEAM® OVERCUP OAK	3" CAL	
SHRUBS	CODE	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT.	<u>HEIGHT</u>
\odot	CA	57	CAMELLIA X 'AUTUMN SPIRIT'	AUTUMN SPIRIT CAMELLIA	5 GAL	24" MIN
	TA	10	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMRALS GREEN ARBORVITAE	5 GAL	24" MIN
\odot	IJ	30	ILEX OPACA 'JERSEY PRINCESS'	JERSEY PRINCESS AMERICAN HOLLY	5 GAL	24" MIN.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	
*	CD	35,471 SF	CYNODON DACTYLON	BERMUDAGRASS	SEED	
0 0 0	CU	11,698 SF	CYNODON DACTYLON BERMUDA GRASS	SOD AREA	SOD	

GENERAL LANDSCAPE NOTES

CONTRACTOR AT CONTRACTOR'S EXPENSE.

RESPONSIBLE MANNER.

CONDITION, MUD & DUST-FREE.

OTHERWISE NOTED OR SPECIFIED.

1. THE CONTRACT INCLUDES ALL DEMOLITION REQUIRED TO COMPLETE

ANY DEMOLITION ITEMS ON SITE. CONTRACTOR IS RESPONSIBLE FOR

REQUIREMENTS PRIOR TO BIDDING. CONTRACTOR SHALL RECYCLE OR

DISPOSE OF WASTE PRODUCTS AND PLANT CONTAINERS OFF-SITE IN A

2. PERMITS AND FEES REQUIRED FOR WORK MUST BE OBTAINED BY THE

DAMAGE EXISTING ADJACENT PLANTS. FACILITIES & STRUCTURES THAT

TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER.

ADJACENT STREETS & SIDEWALKS SHALL BE MAINTAINED IN A CLEAN

4. EXISTING UTILITIES SHOWN ON LANDSCAPE DRAWINGS ARE FOR

ON PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY &

PROJECT OWNER & THE UTILITY OWNER, DAMAGE TO ANY UTILITY

FOUND, NOTIFY THE OWNER IMMEDIATELY FOR CLARIFICATION.

COVER IS TO CROSS A BOUNDARY OR FENCE LINE, NOTIFY THE

LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

6. UTILITY MANHOLE COVERS AND ACCESS BOX COVERS ARE TO BE

LOCATED ENTIRELY WITHIN A PLANTED AREA OR A PAVED AREA, AND

9. ALL EXISTING SIGNAGE TO REMAIN TO BE PROTECTED IN PLACE OR

STOCKPILED AND REINSTALLED UPON COMPLETION OF WORK UNLESS

10. PLANT SPECIES ARE SELECTED FOR HARDINESS IN LOCAL CLIMATE. PERMANENT IRRIGATION IS NOT PART OF THIS CONTRACT. PLANTS ARE TO BE WATERED BY CONTRACTOR DURING ESTABLISHMENT PERIOD.

11. FOR LANDSCAPE REQUIREMENTS AND CALCULATIONS SEE TABLE ON

SPECIFIED PLANT MATERIAL LISTED ON SHEET L1.0, THE CONTRACTOR

ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.

12. IF CONTRACTOR IS UNABLE TO LOCATE/PURCHASE ANY OF THE

SHALL SUBMIT ANY SPECIES ALTERNATIVES TO THE LANDSCAPE

CLEAR OF ALL FENCE LINES. IF ANY CONDITION ARISES WHERE A UTILITY

ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS

CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR MUST LOCATE & VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN

INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY

LINES & STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE

CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER &

THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.

5. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE

JOB SITE PRIOR TO START OF CONSTRUCTION. IF DISCREPANCIES ARE

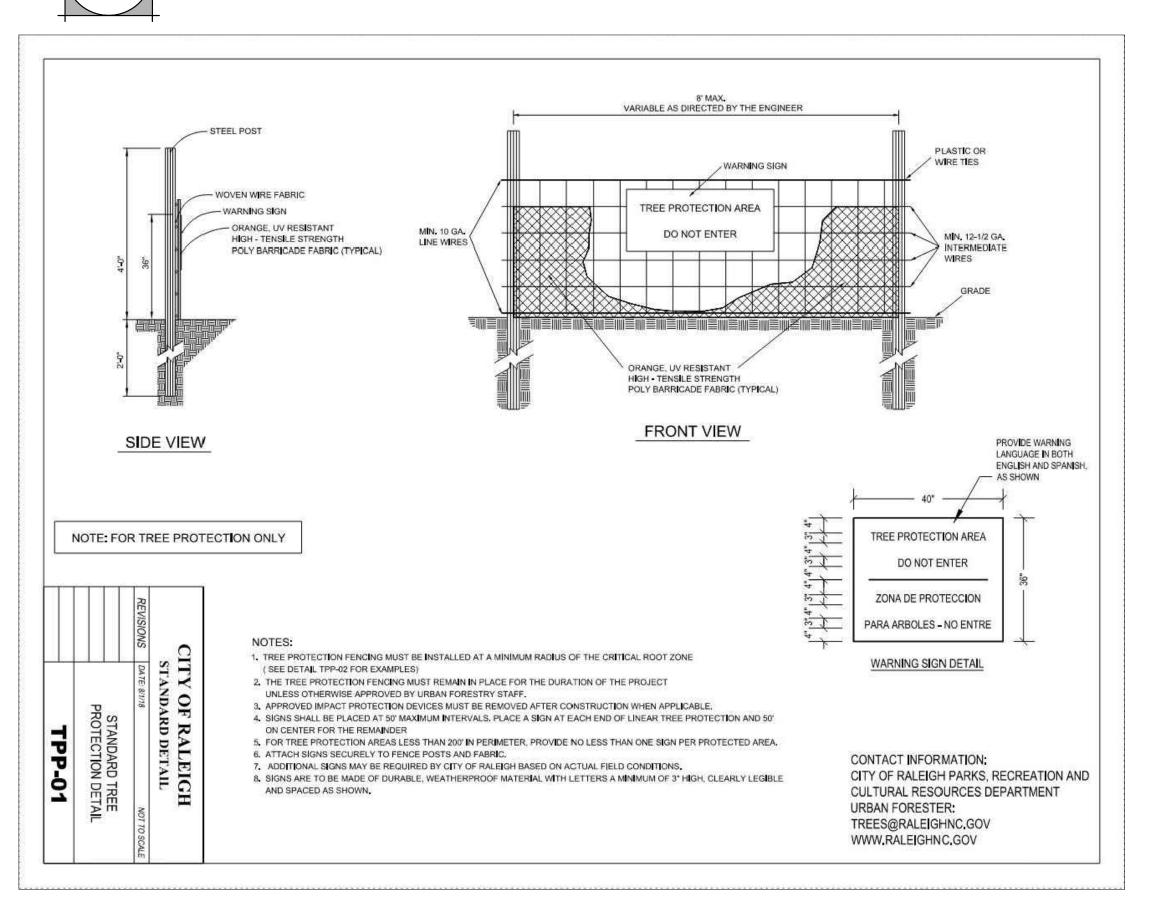
3. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO

COMPLETELY IN ACCORDANCE WITH LOCAL LAWS. DO NOT BURN OR BURY

JOB, AND TO REMOVE AND TO DISPOSE OF ITEMS FROM SITE

MAKING SITE VISIT TO DETERMINE AND VERIFY ALL DEMOLITION

TYPICAL TREE PLANTING SCALE: N.T.S. **DETAIL**



TYPICAL TREE PROTECTION FENCE

SCALE: N.T.S.

PLANTING NOTES:

(SEE PLANTING PLAN)

1. ALL PLANTS PROVIDED BY CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.

2. ALL PLANTS ARE TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.

3. ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 3 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN

4. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH OWNER PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE PLANT SCHEDULE) AT THE NURSERY FOR APPROVAL BY THE OWNER PRIOR TO PURCHASING PLANTS.

5. OWNER SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE OWNER.

6. ALL PLANTS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.

7. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE BEFORE PLANTING.

8. ALL LANDSCAPE AREAS TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN AND DRAINAGE PLANS FOR \$PECIFIC GRADING INFORMATION AND PIPE INVERTS.

9. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.

10. ALL SHRUB, GROUND COVER & ANNUAL PLANTING BEDS SHALL BE FILLED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN, DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.

11. F|NISH OFF 2' - 4' CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND ROOT FLARE.

12. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL COMPLETION OF WORK.

13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO COMPLETION OF WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET PLANT SPECIFICATIONS.

14. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING.

15. EXISTING PLANT MATERIAL MAY BE USED TO SATISFY PERIMETER PARKING ISLAND REQUIREMENTS. EXISTING MATERIAL MUST BE IN ADEQUATE HEALTH AND MEET SIZE AND SPECIES REQUIREMENTS AS LISTED IN THE CITY OF RALEIGH UDO TO BE COUNTED. PLANT MATERIAL SHOWN ON SHEET C7.0 AS PERIMETER ISLAND PLANTINGS REPRESENT THE CORRECT NUMBER OF PLANTS TO SATISFY PERIMETER ISLAND REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE TO FLAG ADEQUATE PLANT MATERIAL TO PRESERVE, PRIOR TO LANDSCAPE INSTALLATION.

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SHEET NUMBER L2.0

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SHEET L1.0.

DETAIL

PLANT SCHEDULE

WITH	BALCONIES	

A A A E A UTA CO A CEC	ADEA (CE)
AMENITY SPACES	AREA (SF)
BASEMENT AMENITY	2,145
LEVEL 1 AMENITY	1,536
LEVEL 2 AMENITY	15,655
TOTAL	19,336

BACK OF HOUSE	AREA (SF)
UTILITY	14748
TRASH / LOADING	2,546
STORAGE	4,696
TOTAL	21,990

Notes:

GBA does include corridors and stairs

GBA does not include retail

Efficiency & GBA does not include balcony area

Efficiency does include Amenity Space

Efficiency does not include bridges

Handicap spaces required 2% for 501-600 parking spaces (11 HC for 512 total)

PARKING GARAGE							
PARKING LEVEL	STANDARD	НС	VAN	EV	TOTAL	SPACES/UNIT	AREA
DACENJENIT	45	l a	1	1	Г1		
BASEMENT	45	3	2	1	51		
LVL 1	81	1	0	1	83		
LVL 2	84	1	0	1	86		
LVL 3	84	1	0	1	86		
LVL 4	84	1	0	1	86		
LVL 4	04	1	U	1	80		
LVL 5	84	1	0	1	86		
LVL 6	32	1	0	1	34		
		-		_			
TOTAL	494	9	2	7	512	1.38	195,580

ARCHITECTURE PLANNING INTERIORS LANDSCAPE ARCHITECTURE GRAPHICS **⊺ 919.890.8809** RALEIGH, NC 530 HILLSBOROUGH STREET ci-designinc.com

KIMCO RALEIGH L.P.

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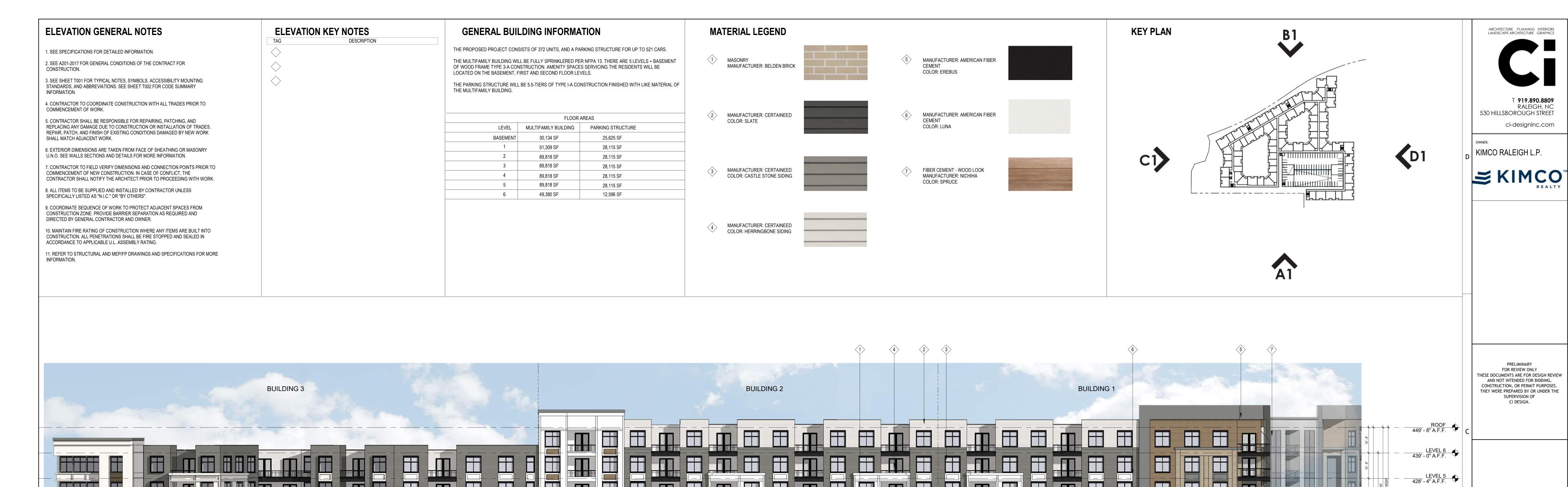
DESIGN PARTIAL SCHEMATIC DELIVERABLE: DESIGN ISSUE DATE: 03.20.2023 Copyright (c) by CI Design,Inc. All Rights Reserved. DRAWN BY: JS, MCD CHECKED BY: MN, JG

A REV DATE DESCRIPTION

PROJECT DATA

G002

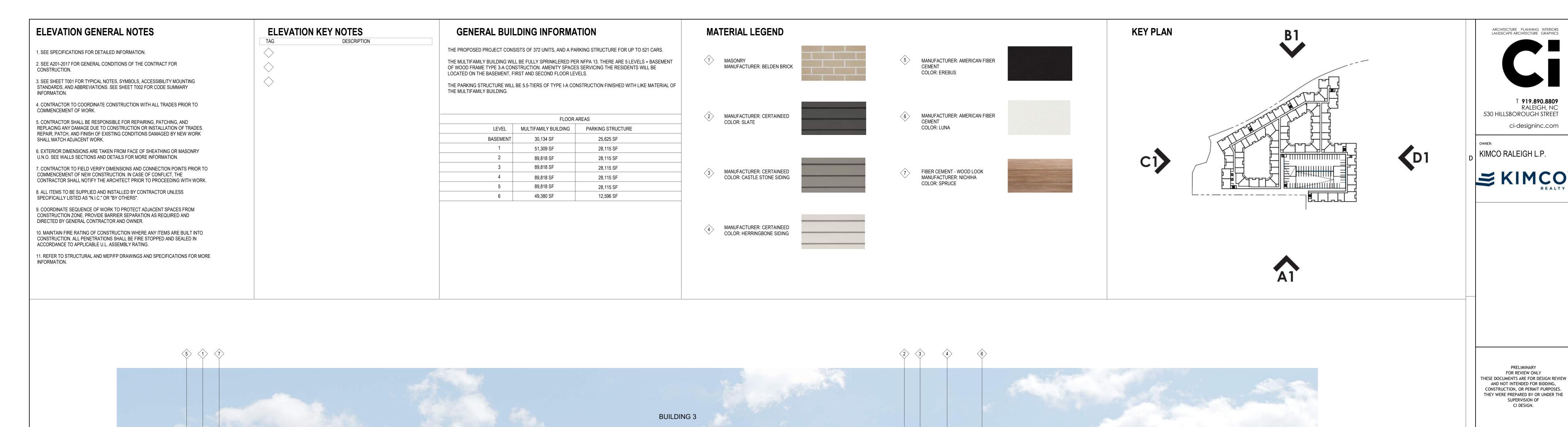






SOUTH ELEVATION A1

A201





BULDINGS

BULDIN

4

WEST ELEVATION C1

A202

REV DATE DESCRIPTION

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CHECKED BY: MN, JG

EXTERIOR

DESIGN PARTIAL SCHEMATIC

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ELEVATIONS - E-W

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