Administrative Approval Action

Case File / Name: ASR-0024-2023
DSLC - PLEASANT VALLEY PROMENADE MULTIFAMILY

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the east side of Glenwood Avenue, south of Pleasant Valley Road at 3917 & 4001 Pleasant Valley Rd and 6204 & 6250 Glenwood Avenue.

REQUEST: Development of an existing Tract 4, 4.56 ac site (Lot 4), and a recombined area of 81,345 sf totaling 6.43 acres of lot area from existing lots 1-3. An area of 0.1ac of right-of-way will be dedicated, leaving a new net area of 6.33 acre for new Tract 4 for construction.

Tract 4 is zoned CX-5-PL CU and is being developed into a proposed 5-story multi-unit apartment, multiple-module building, and a proposed, 166,200 GFA, 5-story parking deck. The proposed overall building gross floor area totals 443,594 sf, with 3 building modules for an average grade for each module. Proposed Module #1 is 199,243 sf; Module #2 is 149,639 sf, and Module #3 is 94,712 sf. A total of 351 multi-unit apartment units (205 1-bedrooms; 133 2-bedrooms and 13 3-bedrooms) are proposed in the building. The overall redevelopment includes recombined land area or land area portions from the Pleasant Valley Shopping Center tracts 1, 2 & 3, in addition to Tract 4, as part of the site development and recombination. Tract 3 will remain vacant, while Tracts 1 & 2 will contain the shopping center.

Z=20-22 - Rezoning to CX-5-PL CU. Prohibited uses and TIA peak hours trip generations. Effective May 10, 2022.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 22, 2023 by Kimley-Horn.**

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

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1. Demonstrate & show building foundation wall landscaping and screening design compliance, per UDO Sec.7.2.8.E.4.a, by revising the shrub installation information & planting schedule for the proposed min. shrub heights as shown on sheet L2 to meet min. 36" standard requirements as listed.

2. The transparency data calculation table for the non-residential portion(s) of building module #3, as shown on sheet A201, are revised as shown and demonstrate compliance with UDO Sec.1.5.9.B.

3. The building data information as shown on the preliminary ASR coversheet and that listed on sheet C3, site data information table, is revised and re-calculated per the existing, new gross floor and demolishing information listed on the application form.

4. A set of proposed design elevation grade sheets are inserted into the Site Permit Review plans for all new retaining walls.

5. All proposed lighting fixtures comply with UDO chapter Sec.7.4 & Sec.7.4.11., including any wall packs. A light-level illumination count for the parking structure, level 6, and vehicular parking surface areas is inserted and provided with the Site Permit Review plans.

6. ADA accessibility paths to proposed amenity areas are noted on the civil Site Permit Review plans set site plan sheet.

7. Update and revise subtitle blocks for the floor plan sheets (G003-G004, A101-A108), or provide the floor & story labels for the proposed garage, as shown with the building floor plan stories as showr

8. Update sheets G003-G004 and A106-A108, by providing clarity with a legend for the hatched areas being shown on all sheets, and identifying the structure being shown on sheet A107. Lastly, amend the labeling on sheet A108 for the garage deck level per the rooftop plan shown.

9. Identify the parking level and or remove sheet A001, for the parking deck outline shown.

Engineering

10. Detailed review of the pedestrian connections to the rights of way to and from the main entrance and through the site for overall pedestrian connectivity.

11. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Public Utilities

12. A deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

Stormwater

13. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

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14. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

15. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

16. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit or demolition permit, whichever comes first.

17. Submit a final tree conservation plan that includes metes and bounds descriptions of the tree conservation area and tree protection fencing as required (UDO 9.1.5).

☑ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☑	Cross Access Agreements Required
☑	Right of Way Deed of Easement Required
☑	Sidewalk Deed of Easement Required

☑	Utility Placement Deed of Easement Required
☑	Slope Easement Deed of Easement Required

☑ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

2. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

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3. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

4. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

5. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

6. A cross access agreement shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

Public Utilities

7. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Urban Forestry

8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.389 acres of tree conservation area.

☑ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

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The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing tracts into the proposed site and land configurations, per the development plan, for Lots 1-4.

2. Comply with all conditions of Z-20-22.

3. A demolition permit shall be obtained.

4. An offsite and onsite retaining wall easement is recorded for those retaining walls and easements proposed and being shown between Lots 1 & 4.

Engineering

5. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

7. Initiation of the easement exchange process is required (via dedication of new easement on record plat, ending with abandonment of old easement on subsequent deed).

8. Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building).

Stormwater

9. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

10. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

11. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 39 street trees along Pleasant Valley Road.

12. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

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13. A public infrastructure surety for 39 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Stafl

3. All street lights and street signs required as part of the development approval are installed.

4. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

5. All proposed lighting fixtures, including the parking deck fixtures, demonstrate and show design compliance with UDO Sec.7.4.10 & UDO Sec.7.4.11.

Stormwater

6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

7. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: October 4, 2026
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

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Case File / Name: ASR-0024-2023
DSLC - PLEASANT VALLEY PROMENADE MULTIFAMILY

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I hereby certify this administrative decision.

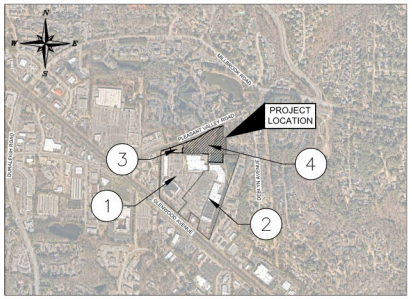
Signed: Daniel L. Stegall Date: 10/04/2023
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy

ADMINISTRATIVE SITE REVIEW FOR:

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1

ASR-0024-2023

6250 GLENWOOD AVENUE (PIN#:0786779662);
6204 GLENWOOD AVENUE (PIN#:0786874371);
4001 PLEASANT VALLEY ROAD (PIN#:0786881039);
3917 PLEASANT VALLEY ROAD (PIN#:0786885116);
RALEIGH, NORTH CAROLINA 27612



VICINITY MAP SCALE: 1" = 1000'

CROSS ACCESS EXEMPTION

CROSS ACCESS REQUIREMENT SHALL NOT APPLY WHEN THE ABUTTING PROPERTY IS IN A RESIDENTIAL ZONING DISTRICT.

BLOCK PERIMETER EXEMPTION

NEW STREET RIGHT-OF-WAY WOULD CONSUME MORE THAN 15% OF THE PROPERTY TO BE DEVELOPED AND THEREFORE THIS PROPERTY IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.

THE CREATION OF ANY NEW STREET WOULD BE OBSTRUCTED BY EXISTING IMPROVEMENTS WHERE THE VALUE OF SUCH IMPROVEMENTS IS MORE THAN THE LAND VALUE OF THE PARCEL ON WHICH THE IMPROVEMENTS ARE LOCATED AND THEREFORE THIS PROPERTY IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.

RECOMBINATION NOTE:
A RECOMBINATION PLAT WILL BE REQUIRED AS A CONDITION OF THIS DEVELOPMENT APPROVAL.

STORMWATER MAINTENANCE NOTE:
STORMWATER CONTROL MEASURE, INCLUDING SAND FILTER AD INLET PIPE, TO BE MAINTAINED PER CITY OF RALEIGH STORMWATER SPECIFICATIONS.

WASTE DISPOSAL NOTE:
WASTE DISPOSAL SERVICES WILL BE PROVIDED BY PRIVATE HAULER. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:
- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
  - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
  - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
  - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
  - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

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Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

Raleigh

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan ☐ Tier Three Site Plan ☒

Building and Development Type (Check all that apply)		Site Transaction History
☐ Detached	☐ General	Subdivision case #: _____
☐ Attached	☐ Mixed use	Scoping/sketch plan case #: SCOPE-0187-2022
☐ Townhouse	☐ Civic	Certificate of Appropriateness #: _____
☒ Apartment	☐ Cottage Court	Board of Adjustment #: _____
☐ Tiny house	☐ Frequent Transit Development Option	Zoning Case #: Z-20-22
☐ Open lot		Design Alternate #: _____

GENERAL INFORMATION

Development name: Pleasant Valley Promenade Multifamily

Inside City limits? Yes ☒ No ☐

Property address(es): 4001 Pleasant Valley Road, 3917 Pleasant Valley Road, 6204 Glenwood Avenue, 6250 Glenwood Avenue

Site P.I.N.(s): 0786881039, 0786885116, 0786874371, 0786779662

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

Demolition of existing Van Gogh Exhibition building (formerly Fitness Connection) in north east corner of subject property to allow for construction of a new apartment building.

Current Property Owner(s): Kimco Raleigh LP (OWNS PARCELS 0786881039, 0786885116, 0786874371, 0786779662)

Company: Kimco Raleigh LP Title:

Address: 3333 New Hyde Park Road, New Hyde Park, NY 11042

Phone #: (704) 362-6149 Email: lbjohnson@kimcorealty.com

Applicant Name (If different from owner. See "who can apply" in instructions):

Relationship to owner: ☐ Lessee or contract purchaser ☒ Owner's authorized agent ☐ Easement holder

Company: Kimley-Horn Address: 421 Fayetteville Street, Raleigh, NC 27601

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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 351	Total # of hotel bedrooms:
# of bedroom units: 1br 205 2br 133 3br 13	4br or more ____
# of lots: 1	Is your project a cottage court? ○ Yes ◉ No
	A frequent transit development? ○ Yes ◉ No

Continue to Applicant Signature Block on Page Three.

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Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C0.2	APPROVAL LETTERS
C1.0	PLAT
C1.1	TOPOGRAPHIC SURVEY
C1.2	TOPOGRAPHIC SURVEY
C2.0	DEMOLITION PLAN
C2.1	PROPERTY LINE ADJUSTMENT PLAN
C3.0	SITE PLAN
C3.1	BUILD-TO PLAN
C3.2	FIRE APPARATUS AND HOSE LAY PLAN
C3.3	SIGHT DISTANCE PLAN
C3.4	SIGHT DISTANCE PLAN
C4.0	GRADING AND DRAINAGE PLAN
C5.0	UTILITY PLAN
C6.0	UNDERGROUND DETENTION & SAND FILTER DETAILS
C7.0	SITE DETAILS
C7.1	SITE DETAILS
LT1.0	LIGHTING PLAN
TC1.0	TREE CONSERVATION PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
G003	FIRE AREA PLANS & CODE SUMMARY
G004	FIRE AREA PLANS & CODE SUMMARY
A001	ARCHITECTURAL SITE PLAN
A101	GROUND LEVEL FLOOR PLAN
A102	LOWER LEVEL FLOOR PLAN
A103	LEVEL 1 FLOOR PLAN
A104	LEVEL 2 FLOOR PLAN
A105	LEVEL 3 FLOOR PLAN
A106	LEVEL 4 FLOOR PLAN
A107	LEVEL 5 FLOOR PLAN
A108	ROOF PLAN
A201	EXTERIOR ELEVATIONS – N-S
A202	EXTERIOR ELEVATIONS – E-W

REZONING CONDITIONS

Z-20-22 - 6204 (PARTIAL), 6250 (PARTIAL) GLENWOOD AVENUE; 3917, 4001 PLEASANT VALLEY ROAD, LOCATED APPROXIMATELY 800 FEET EAST OF THE INTERSECTION OF GLENWOOD AVENUE AND PLEASANT VALLEY ROAD. BEING WAKE COUNTY PINS 0786874371, 0786779662, 0786885116, 0786881039. APPROXIMATELY 18.59 ACRES REZONED TO COMMERCIAL MIXED USE-5 STORIES-PARKING LIMITED-CONDITIONAL USE (CX-5-PL-CU).

CONDITIONS DATED MAY 10, 2022 Z-20-20

1. THE FOLLOWING PRINCIPAL USES AS LISTED IN UDO SECTION 6.1.4. THAT ARE PERMITTED, LIMITED OR SPECIAL USES IN THE CX- DISTRICT SHALL BE PROHIBITED: (i) ADULT ESTABLISHMENT; AND (ii) DETENTION CENTER, JAIL, PRISON.
2. FOR THE PURPOSE OF OBTAINING BUILDING PERMITS, THE TOTAL AM PEAK HOUR AND TOTAL PM PEAK HOUR TRIPS GENERATED ON THE PROPERTY SHALL BE NO MORE AS FOLLOWS, AS DETERMINED BY THE ITE TRIP GENERATION MANUAL, 11TH EDITION:
   AM PEAK HOUR: 740 TOTAL TRIPS
   PM PEAK HOUR: 916 TOTAL TRIPS

OWNER
KIMCO RALEIGH LP
8430 PARK ROAD
CHARLOTTE, NC 28210
CONTACT: LEE JOHNSON
PHONE: (704) 362-6149
EMAIL: LBJOHNSON@KIMCOREALTY.COM

DEVELOPER
KIMCO RALEIGH LP
8430 PARK ROAD
CHARLOTTE, NC 28210
CONTACT: LEE JOHNSON
PHONE: (704) 362-6149
EMAIL: LBJOHNSON@KIMCOREALTY.COM

CIVIL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE ST, STE 600
RALEIGH, NC 27601
CONTACT: CORY HOWELL, P.E.
PHONE: (919) 678-4190
EMAIL: CORY.HOWELL@KIMLEY-HORN.COM

ARCHITECT
CI DESIGN, INC.
530 HILLSBOROUGH STREET
RALEIGH, NC 27603
CONTACT: JASON GABLE
PHONE: (919) 696-6591
EMAIL: JGABLE@CI-DESIGNINC.COM

SURVEYOR
GSC SURVEYING, INC.
4072 BARRETT DRIVE
RALEIGH, NC 27609
CONTACT: CHUCK SMITH
PHONE: (804) 240-1558
EMAIL: CHUCK.SMITH@GSCSURVEYING.COM

LANDSCAPE ARCHITECT
KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600
RALEIGH, NC 27601
CONTACT: AUSTIN ROLAND
PHONE: (984) 884-5847
EMAIL: AUSTIN.ROLAND@KIMLEY-HORN.COM

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Digitally signed by Jermont.Purifoy@raleighnc.gov
Date: 2023.09.28 10:20:37 -04'00'
Jermont Purifoy Raleigh

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF RALEIGH, WAKE COUNTY, AND NCDOT TANDARDS AND SPECIFICATIONS; MORE STRINGENT ALL GOVERN.

811 Know what's below. Call before you dig.

SURVEY NOTE:
ALL EXISTING TOPOGRAPHICAL, BOUNDARY, SUBSURFACE UTILITY INFORMATION WAS PROVIDED WITHIN A TOPOGRAPHIC SURVEY OF PLEASANT VALLEY SHOPPING CENTER PREPARED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NC 27609, (919) 787-5805, DATED 10/10/2018 AND REVISED 03/10/2023.

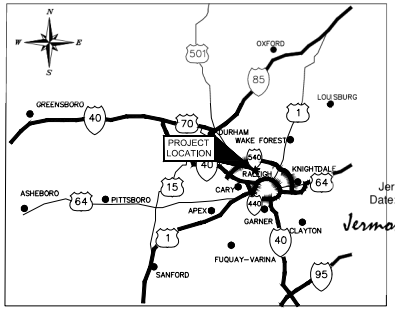
PARCEL AREA TABLE

SHOPPING CENTER PARCELS	PIN	PARCEL ID/REID	EXISTING AREA	AREA LOST	AREA GAINED	RIGHT-OF-WAY DEDICATION	NET AREA
(1) 6250 GLENWOOD AVENUE	#0786779662	#0453609	14.15 AC / 616,166 SF	0.10 AC / 4,399 SF (TO LOT 4) 0.62 AC / 26,881 SF (TO LOT 3)	N/A	0.02 AC / 961 SF	13.40 AC / 583,924 SF
(2) 6204 GLENWOOD AVENUE	#0786874371	#0453610	16.27 AC / 708,546 SF	0.79 AC / 34,370 SF (TO LOT 4)	N/A	0 AC / 0 SF	15.48 AC / 674,176 SF
MULTIFAMILY PARCELS	PIN	PARCEL ID/REID	EXISTING AREA	AREA LOST	AREA GAINED	RIGHT-OF-WAY DEDICATION	NET AREA
(3) 4001 PLEASANT VALLEY ROAD	#0786881039	#0023667	.98 AC / 42,576 SF	0.98 AC / 42,576 SF (TO LOT 4)	0.62 AC / 26,881 SF (FROM LOT 1)	0.04 AC / 1,545 SF	0.58 AC / 25,336 SF
(4) 3917 PLEASANT VALLEY ROAD	#0786885116	#0453611	4.56 AC / 198,741 SF	N/A	0.10 AC / 4,399 SF (FROM LOT 1) 0.79 AC / 34,370 SF (FROM LOT 2) 0.98 AC / 42,576 SF (FROM LOT 3)	0.10 AC / 4,549 SF	6.33 AC / 275,538 SF

BUILD-TO TABLE

STREET TYPE	FRONTAGE (LF)	% REQUIRED WITH BUILDING	LF REQUIRED WITH BUILDING	% PROVIDED WITH BUILDING	LF PROVIDED WITH BUILDING
PRIMARY STREET (PLEASANT VALLEY ROAD)	758.40	50%	379.20	66.57%	504.90
SIDE STREET (N/A)	N/A	25%	N/A	N/A	N/A

PUBLIC IMPROVEMENTS	
PHASE NUMBER	1
NUMBER OF LOTS	1
LOT NUMBERS BY PHASE	N/A
NUMBER OF UNITS	351
LIVABLE BUILDINGS	1
AMENITY SPACE	0.638 AC
PUBLIC WATER (LF)	91 LF
PUBLIC SEWER (LF)	761 LF
PUBLIC STREET (LF) – FULL	0
PUBLIC STREET (LF) – PARTIAL	0
PUBLIC SIDEWALK (LF)	0 LF
STREET SIGNS	0
WATER SERVICE STUBS	2
SEWER SERVICE STUBS	2



PROJECT LOCATION

Plotted By:Tyndall, Sarah (Raleigh) Sheet Set:PLEASANT VALLEY PROMENADE MULTIFAMILY – PHASE 1 Layout:C0.0 COVER SHEET September 22, 2023 11:08:27am K:\RAL_LDEV\017377022_pleasant valley – phase 1 mf\05_cad files\02_plan\sheets\C0.0 COVER SHEET.dwg
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No.	REVISIONS	DATE	BY
4	REVISED PER CITY ASR COMMENTS	9/22/2023	CDL
3	REVISED PER CITY ASR COMMENTS	9/1/2023	CDL
2	REVISED PER CITY ASR COMMENTS	7/26/2023	CDL
1	REVISED PER CITY ASR COMMENTS	6/7/2023	CDL

Kimley»Horn
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#F-0102

KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JAJ
DRAWN BY SET
CHECKED BY CJH

COVER SHEET

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C0.0

Plotted By: Tyndall, Sarah (Raleigh) Sheet Set: PLEASANT VALLEY PROMENADE MULTIFAMILY – PHASE 1 Layout: C0.1 GENERAL NOTES September 22, 2023 08:35:39am K:\RAL_LDEV\017377022_pleasant valley – phase 1 mf\05_cad files\02_plansheets\C0.1 GENERAL NOTES.dwg

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GENERAL NOTES:

1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, DOWNSPOUTS, GRAVEL AREAS ADJACENT TO BUILDING WALLS, UTILITY ENTRANCE LOCATIONS, AND BOLLARDS IN BUILDING SIDEWALKS. ANY DISCREPANCIES FOUND BETWEEN THE BUILDING AND CIVIL PLANS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
2. ACCESSIBLE PARKING SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL SIGN MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY; REFER TO CONSTRUCTION DETAIL SHEETS.
3. REFER TO SITE DETAIL SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.
4. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY, AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
5. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED.
6. SURVEY PROVIDED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NC 27609, PHONE: 919-787-5806.
7. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY NCDOT AND THE CITY OF RALEIGH INSPECTIONS.
8. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
9. THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SIDEWALK, PAVING, AND GUTTER AS INDICATED ON PLANS AND AS NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE, INCLUDING ANY DAMAGE CAUSED BY THE CONTRACTOR.
10. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND TEMPORARY CONSTRUCTION EASEMENTS MAY BE REQUIRED.
11. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO PRIVATE PROPERTY AND THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE NCDOT AND THE CITY OF RALEIGH.
12. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH CITY AND/OR NCDOT INSPECTORS.
13. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
14. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
15. THE CONTRACTOR SHALL CONSTRUCT ACCESSIBLE RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS MANUAL (LATEST REVISIONS FOR ACCESSIBLE RAMP DETAILS).
16. SIGHT TRIANGLES SHOWN ARE THE MINIMUM REQUIRED.
17. ALL OFF-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT NCDOT STANDARD SPECIFICATIONS AND DETAILS. ALL ON-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
18. ALL WORK MUST COMPLY WITH NORTH CAROLINA STATE BUILDING CODE AND NORTH CAROLINA ACCESSIBILITY CODE CHAPTER 11 AS WELL AS FEDERAL, STATE, AND LOCAL ACCESSIBILITY REQUIREMENTS.
19. ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.
20. CONTRACTOR MUST INSTALL CONSTRUCTION FENCE AROUND THE PERIMETER OF THE PROPERTY UNTIL THE BUILDING IS SECURE WITH TEMPORARY DOORS AND LOCKS.

TRAFFIC CONTROL NOTES:

1. REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.
2. ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.

CITY OF RALEIGH PUBLIC UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS, & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:

   a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL

   b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.

   c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.

   d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.

   e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).

   f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE. CONTRACTOR TO HAVE INSPECTOR ON-SITE TO WITNESS REMOVAL OR ABANDONMENT AT MAIN.
7. INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

ABBREVIATIONS:

AC	ACRE	FL	FLOW LINE	TYP	TYPICAL
BW	BOTTOM OF WALL	HP	HIGH POINT		
CI	CURB INLET	JB	JUNCTION BOX		
CO	CLEANOUT	LF	LINEAR FEET		
COR	CITY OF RALEIGH	LOD	LIMITS OF DISTURBANCE		
CS	CONTROL STRUCTURE	LP	LOW POINT		
DI	DROP INLET	PVC	POLYVINYL CHLORIDE PIPE		
DIP	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE		
EG	EXISTING GRADE	SCM	STORMWATER CONTROL MEASURE		
EX	EXISTING	SSCO	SANITARY SEWER CLEANOUT		
FDC	FIRE DEPARTMENT CONNECTION	SSMH	SANITARY SEWER MANHOLE		
FES	FLARED END SECTION	SF	SQUARE FEET		
FFE	FINISHED FLOOR ELEVATION	TCA	TREE CONSERVATION AREA		
FG	FINISHED GRADE	TW	TOP OF WALL		

UTILITY NOTES:

1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH UTILITY INSPECTORS 72-HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:

   8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP
   8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP
   6" PVC SCHEDULE 40
   4" PVC SCHEDULE 40
   DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151
4. WATER LINES SHALL BE AS FOLLOWS :

   3"-10" DUCTILE IRON PIPE PER AWWA C150
   ¾" TO 2" TYPE K SOFT COPPER
5. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
6. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT ON UTILITY DETAILS.
7. WATER AND SEWER MAINS SHALL BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
8. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.0' COVER ON ALL WATERLINES.
9. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES, AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA C-151) (CLASS 50).
10. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
11. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
12. THE CITY OF RALEIGH HAS THE RIGHT TO INSPECT ALL PRIVATE WATER AND WASTEWATER SYSTEMS.
13. DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES.
14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
15. REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN LOCATION AND ELEVATION OF ALL UTILITIES AT THE BUILDING.
16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND SEWER LINES. IF MUNICIPALITY DOES NOT REQUIRE TESTING, CONTACT ENGINEER FOR APPROPRIATE UTILITY TESTING CRITERIA.
17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTED OR UNCHARTED WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
19. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
20. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
21. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE.
22. ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUND.
23. ALL SANITARY SEWER AND WATER DISTRIBUTION SYSTEM WORK TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.
24. THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH UTILITY PROVIDERS FOR INSTALLATION OF PRIMARY ELECTRIC SERVICE AND TELEPHONE SERVICE TO THE PROPOSED BUILDINGS.
25. WHEN A WATER MAIN CROSSES OVER A SEWER MAIN, THERE MUST BE EIGHTEEN INCHES OF VERTICAL SEPARATION. IF THE WATER MAIN MUST GO UNDER THE SEWER MAIN, BOTH LINES MUST BE OF DUCTILE IRON FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING WITH A TWELVE INCH VERTICAL SEPARATION. THE CROSSING OF OTHER UNDERGROUND PIPE REQUIRES A MINIMUM OF TWELVE INCHES OF VERTICAL SEPARATION. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
26. WHEN A WATER LINE PASSES OVER OR UNDER A STORM SEWER, VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED UNLESS WATER LINES ARE OF DUCTILE IRON OR ENCASED IN CONCRETE. A MINIMUM 6" CONCRETE CRADLE SHALL BE POURED BETWEEN THE TWO. DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
27. A FIRE INSPECTOR SHALL INSPECT THE UNDERGROUND FIRE LINE PIPING FROM THE PIV TO THE BUILDING. FOR YARD FIRE DEPARTMENT CONNECTIONS (FDCS), THE UNDERGROUND FDC PIPING MUST BE INSPECTED BEFORE IT IS COVERED UP.

DRAINAGE:

1. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

   15" DIAMETER AND LARGER: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.

   LESS THAN 15" DIAMETER: PVC SCHEDULE 40 OR HDPE – AASHTO DESIGNATION M252 TYPE S, M294 TYPE S AND MP7-97 TYPE S, SMOOTH INTERIOR/AMMULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES OR NCDOT SPECIFICATION, WHICHEVER IS MORE STRINGENT. PIPE JOINTS AND FITTINGS SHALL CONFORM TO AASHTO M252 AND M294.

   ALL STORM DRAINAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CLASS III REINFORCED CONCRETE PIPE UNLESS OTHERWISE SPECIFIED AS CLASS IV.
2. ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
3. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.
4. ADDITIONAL SUBSURFACE DRAINAGE MAY RE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.
5. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:

   5.1. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.

   5.2. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.

   5.3. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.

   5.4. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS.

   5.5. DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL REGULATIONS.

   5.6. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
7. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
8. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
9. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DETAILS AND SPECIFICATIONS.
10. THIS PLAN DETAILS PIPES UP TO 5FT FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.
11. ALL STORM SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".
12. STRUCTURE RIM ELEVATIONS SHOWN HERE IN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.
13. RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES. RIM ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR CURB INLETS, UNLESS OTHERWISE NOTED.

GRADING:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF RALEIGH AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND GUTTER LOCATIONS ARE TO THE GUTTER FLOW LINE, UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
6. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
7. ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA.
8. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
9. THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.
10. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
11. ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
12. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
13. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND ALL TERMS AND CONDITIONS IN THE STATE OR MUNICIPAL GRADING AND EROSION CONTROL PERMIT ISSUED FOR THIS PROJECT.
14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 6 INCHES OF TOPSOIL AND GROUNDCOVER AS APPROPRIATE. REFER TO EROSION CONTROL NOTE 12 FOR ADDITIONAL DETAIL.
15. CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
17. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS AS AN ALTERNATE ALLOWANCE.
18. CONTRACTOR TO BE RESPONSIBLE FOR DEWATERING AS NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
19. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS, AND EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.
20. ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL, AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
21. ALL FOUNDATION AND UTILITY EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNDESIRABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED WITH SUITABLE MATERIAL AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE AT CONTRACTOR'S EXPENSE.
22. GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE GUTTER FLOW LINE FOR CURB INLETS.
23. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
24. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
25. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY OR ABANDONED AT MAIN AS REFERENCED IN THE PLANS.
26. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
27. ALL AREAS WITH 2:1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR APPROVED EQUAL INSTALL PER MANUFACTURER'S INSTRUCTIONS.
28. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
29. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.

FINE GRADING NOTES (PRIVATE PROPERTY):

1. SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
2. PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
3. ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
4. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.

RETAINING WALL NOTES:

1. STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY KIMLEY-HORN AND ASSOCIATES, REFER TO RETAINING WALL SHEETS IN THIS PLAN SET.
2. BOTTOM OF WALL ("BW") GRADES SHOWN ON THESE PLANS REPRESENT FINISHED GROUND ADJACENT TO LOW SIDE OF WALL. TOP OF WALL ("TW") ELEVATIONS ASSUME FINISHED GROUND ADJACENT TO HIGH SIDE OF WALL. REFER TO GRADING PLANS IN THIS PLAN SET FOR ALL TW AND BW ELEVATIONS.
3. RETAINING WALLS WITH ELEVATION DROP EXCEEDING 2'-6" IN HEIGHT SHALL HAVE GUARDRAILS OR FENCING FOR FALL PROTECTION.

BACKFLOW PREVENTION NOTES:

1. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT REQUIRED BACKFLOW PREVENTER.
2. ALL REQUIRED BACKFLOW PREVENTER ASSEMBLIES ARE REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
3. THE DOMESTIC BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.
4. THE FIRE BACKFLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.
5. THE IRRIGATION BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the *Public Works Department* at (919) 996-2409, and the *Public Utilities Department* at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE.
2. CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE CONSTRUCTION PROJECT ALL EROSION CONTROL COUNTER MEASURES SHOWN ON THIS SHEET IN ACCORDANCE WITH APPLICABLE STANDARDS FROM THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY SEDIMENT CONTROL REGULATIONS.
3. GROUND COVER SHALL BE ESTABLISHED PER "SEEDBED PREPARATION NOTES" PROVIDED IN THE EROSION CONTROL DETAILS.
4. THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 3:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. CONTRACTOR SHALL PROVIDE GROUND COVER IN 14 DAYS ON ALL OTHER AREAS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION.
5. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
6. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS, AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
7. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED AND APPROVAL HAS BEEN OBTAINED FROM THE CITY OF RALEIGH INSPECTIONS DEPARTMENT. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
9. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY SEDIMENT CONTROL REGULATIONS, U.S. DEPT. OF AGRICULTURE, U.S. SOIL CONSERVATION SERVICE, AND CITY OF RALEIGH REQUIREMENTS.
10. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
11. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
12. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED, TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE CITY OF RALEIGH SEDIMENT CONTROL REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
13. CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE REMOVED.
14. WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
15. ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
16. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
17. STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

DEMOLITION NOTES:

1. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING BUILDINGS TO REMAIN, AND EROSION CONTROL.
2. ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK.
4. WHERE PAVEMENT REMOVAL AREAS ABUT OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.
5. ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY MARKED FOR REMOVAL.
6. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE CONSTRUCTION SITE.

TREE PROTECTION NOTES:

1. THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.
2. WHEN ROOT PRUNING IS NECESSARY, USE A TRENCHER TO CUT AREA WHERE APPROPRIATE ROOT PRUNING SHOULD BE PERFORMED. TO PRUNE ROOTS LARGER THAN THE CAPABILITY OF A TRENCHER, USE HAND TOOLS TO OBTAIN A CLEAN CUT. DRESS WOUNDS LARGER THAN TWO INCHES AND USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB AND GUTTER.
3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING, OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
4. NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
5. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING, OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

Know what's below. Call before you dig.

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

SURVEY NOTE:
ALL EXISTING TOPOGRAPHICAL, BOUNDARY, SUBSURFACE UTILITY INFORMATION WAS PROVIDED WITHIN A TOPOGRAPHIC SURVEY OF PLEASANT VALLEY SHOPPING CENTER PREPARED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NC 27609, (919) 787-5805, DATED 10/10/2018 AND REVISED 03/10/2023.

No.	REVISIONS	DATE	BY
4	REVISED PER CITY ASR COMMENTS	9/22/2023	CDL
3	REVISED PER CITY ASR COMMENTS	9/1/2023	CDL
2	REVISED PER CITY ASR COMMENTS	7/28/2023	CDL
1	REVISED PER CITY ASR COMMENTS	6/7/2023	CDL

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000 FAX: 919-677-2050
WWW.KIMLEY-HORN.COM
#F-0102

[redacted]

KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JAJ
DRAWN BY SET
CHECKED BY CJF

GENERAL NOTES

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C0.1

DocuSign Envelope ID: F84388EE-4DA7-4985-8BD8-B8877888FB6

City of Raleigh Public Utilities
Cross Connection Program
Certificate of Compliance Application
New Construction

Office Use Only
Date Application Received: ____/____/20____
Certificate Granted: Yes ☐ No ☐
Date: ____/____/20____
Joanie S. Hartley Cross Connection Coordinator

Date: 04/12/2023

PIN*: 0786881039, 0786886116, 0786874371, 0786779662 *PIN: Property Identification Number can be found on Wake Gov. Real Estate

Address: 4001 Pleasant Valley Rd, 3917 Pleasant Valley Rd, 6204 Glenwood Avenue, 6250 Glenwood Avenue, Raleigh, NC 27612
Street Address (Site of new construction) City State Zip Code

Daytime Phone Number 704-362-6146 Email: lbjohnson@kimcorealty.com

Containment Assembly: A backflow assembly, installed at the point of separation between the public water supply and a private service or private distribution system or at the point of metering.

Minimum requirements: Containment assemblies must be installed within 50' linear feet of piping from the most downstream edge of the meter box or ROW and be on the ASSE and USC approval list. Please see Appendix A: Guidelines and Requirements for the Cross Connection Program for further installation guidelines.

Water Service (Domestic, Irrigation, Fire, or Private Distribution System)	Type of Backflow: Reduced Pressure Zone (RPZ), Reduced Pressure Detector Assembly (RPDA), Double Check (DC), or Double Check Detector Assembly (DCDA)	Model of Containment Backflow	Size of Service	Office Use Only Approval of Location, Type, and Model
IRRIGATION	RPZ	WATTS SERIES 909 HWQT	1"	
IRRIGATION	RPZ	WATTS SERIES 909 HWQT	1"	
DOMESTIC	RPZ	WATTS SERIES 909 M1QT	4"	
FIRE	RPDA	WATTS SERIES 909 RPDA	6"	
FIRE	RPDA	WATTS SERIES 909 RPDA	6"	

Professional Engineer
I understand that all containment backflow assemblies must be installed in accordance with Raleigh City Code: Article D: Water Quality Protection and Appendix A: Guidelines and Requirements of the Cross-Connection Program. Any changes made to the type of containment backflow or location must be resubmitted to the City of Raleigh's Cross Connection Program for approval.

Cory Howell (919) 678-4190
Name of Professional Phone
421 Fayetteville St Ste 600 Raleigh NC 27601
Address City State Zip Code
DocuSigned by: Cory Howell
Signature Date

P.E. Original Stamp/Seal

Office: 919-996-2747 Fax: 919-996-1868
cross.connection@raleighnc.gov
Go To www.raleighnc.gov and Search "Cross Connection"

Dominion Energy North Carolina
3516 Spring Forest Road, MCN26, Raleigh, NC 27616
DominionEnergyNC.com

Dominion Energy

March 13, 2023

Attn: Connor Linton
Kimley-Horn
421 Fayetteville Street, Suite 600
Raleigh, N.C. 27601

RE: Natural Gas Availability to serve address of 3911 Pleasant Valley Rd. located in Raleigh, N.C.

Dear Connor,

This letter is to advise that natural gas service is available to the address referenced above.

It is the policy of Dominion Energy to extend service based upon feasibility. Once we are provided with an acceptable site plan and specific gas load information we can determine if gas service can be extended without aid in construction charges to the customer/owner.

Feel free to contact me with any questions, I look forward to working with you.

Sincerely,
Matthew Koehl
Matthew Koehl
Dominion Energy
Retail Commercial Sales Representative
matthew.koehl@dominionenergy.com
(919) 519-0466

Kimley»Horn

3/29/2023

Kimley-Horn & Associates, Inc.
421 Fayetteville Street, Suite 600
Raleigh, NC 27601

Dear Neighbor:

We have submitted an Administrative Site Review application to the Land Development Division of the City of Raleigh Planning and Development department. You are receiving this notice according to the requirement for public notice for site plans in Unified Development Ordinance Section 10.1.8 and 10.2.1.C.1 for properties within 100 feet of the subject site. The subject property is identified by the following address and property identification number: 3917 Pleasant Valley Road (Wake), Raleigh, NC 27612; PIN: 0786881039.

Attached is a preliminary plan showing our proposal. This project is zoned for CX-5-PL-CU and will consist of the construction of a 372 unit multi-family apartment building, parking deck, wet utilities, stormwater conveyance and treatment, and associated site infrastructure.

The application, plans, and status can be viewed on the city's website at www.raleighnc.gov, by searching for 'current development activity' in the search box and scrolling to 'Administrative Site Review Cases'.

More information can also be found by accessing the development plans layer in iMaps, the online mapping and property information system located at http://maps.raleighnc.gov.

The Development Services Department can be reached at 919-996-2492 or currentplanning@raleighnc.gov.

We welcome any questions or comments on the plan. If you wish to contact us, please call (919) 678-4190 and ask for Cory Howell. You may also email me at the following address: Cory.Howell@kimley-horn.com.

Sincerely,

Cory J. Howell

Cory Howell, P.E.
Vice President

kimley-horn.com 421 Fayetteville Street, Suite 600, Raleigh, NC 27601 919 677 2000

Kimley»Horn

KIMLEY-HORN AND ASSOCIATES, INC
NC License #F-0102

NORTH CAROLINA PROFESSIONAL ENGINEER 034394 TRAVIS FLUITT
DocuSigned by:
7/17/2023

MEMORANDUM

To: Monique Gyant, City of Raleigh
From: Travis Fluitt, P.E., Kimley-Horn
Date: July 17, 2023 (Revised)
Subject: Pleasant Valley Promenade – Phase 1 Trip Generation Comparison

Kimley-Horn has performed an analysis of the trip generation potential of Phase 1 of the proposed redevelopment of the Pleasant Valley Promenade shopping located on the northeast quadrant of the intersection of Glenwood Avenue at Pleasant Valley Road in Raleigh, NC. Phase 1 of the project involves the redevelopment of approximately 30,000 square feet (SF) of the existing shopping center and some surface parking to 371 multifamily units.

NOTE: The original memo dated January 16, 2023 included trip generation for the entire Pleasant Valley Promenade development. The analysis has been revised to only reflect the portion of the development that was rezoned with Z-20-22.

Trip Generation
The trip generation analysis was performed using 2 different methodologies.

Methodology 1
The first compares the trip generation potential of the rezoned portion of the development with the existing land uses to that with the proposed land uses. The trip generation potential of the existing land uses was first calculated using data published in the 11th Edition of the *ITE Trip Generation Manual* and is summarized in Table 1 below.

Table 1
ITE Trip Generation – Methodology 1: Existing Land Uses

Land Use Code	Land Use	Intensity		Daily	AM Peak Hour		PM Peak Hour	
					In	Out	In	Out
820	Shopping Center	170,682	s.f.	10,318	145	89	398	431
Pass-By Capture				*1,960*	*0*	*0*	*76*	*82*
Total Net New External Trips				**8,358**	**145**	**89**	**322**	**349**

The trip generation potential of the remaining shopping center and proposed apartment complex was then calculated using data published in the 11th Edition of the *ITE Trip Generation Manual*. As shown in Table 2 below, the proposed development is expected to generate 398 fewer daily trips, 130 more trips in the AM peak hour, and 123 fewer trips in the PM peak hour than the existing development.

kimley-horn.com 421 Fayetteville Street, Suite 600, Raleigh, NC 27701 (919) 677 2000

Kimley»Horn

Table 2
ITE Traffic Generation – Methodology 1: Proposed Land Uses

Land Use Code	Land Use	Intensity		Daily	AM Peak Hour		PM Peak Hour	
					In	Out	In	Out
221	Multifamily Housing (Mid-Rise)	371	d.u.	1,724	35	117	68	57
820	Shopping Center	140,405	s.f.	9,530	134	82	346	375
Internal Capture				*784*	*2*	*2*	*64*	*64*
Pass-By Capture				*2,510*	*0*	*0*	*93*	*97*
Total Net New External Trips – Proposed Land Uses				**7,960**	**167**	**197**	**277**	**271**
Total Net New External Trips – Existing Land Uses				8,358	145	89	322	349
Difference in Net New External Trips				**-398**	**22**	**108**	**-45**	**-78**

Per zoning conditions in Z-20-22, the development shall not exceed 740 total AM peak hour trips and 916 total PM peak hour trips. As shown in Table 2, the proposed land uses are expected to generate 364 total AM peak hour trips and 548 total PM peak hour trips, which is well below these thresholds.

Methodology 2
The second methodology compares the trip generation of the existing land use to be replaced to that of the proposed apartments. As shown on Table 3 below, using this methodology the proposed development is expected to generate 220 more daily trips, 92 more trips in the AM peak hour, and 26 fewer trips in the PM peak hour than the existing development.

Table 3
ITE Traffic Generation – Methodology 2: Existing vs. Proposed Land Uses

Land Use Code	Land Use	Intensity		Daily	AM Peak Hour		PM Peak Hour	
					In	Out	In	Out
221	Multifamily Housing (Mid-Rise) - *Proposed*	371	d.u.	1,724	35	117	68	57
822	Strip Retail Plaza - *Existing*	30,177	s.f.	1,504	36	24	66	85
Difference (Proposed vs. Existing)				**220**	**-1**	**93**	**2**	**-28**

Detailed trip generation calculations for both methodologies are attached to this memorandum.

Conclusions
While the increase in AM peak hour trips in Methodology 1 does exceed the thresholds for requiring a TIA, it is more than offset by the reductions in daily and PM peak hour trips. Furthermore, the total development trips do not exceed the trip thresholds established in Z-20-22. Methodology 2 indicates that the additional trips generated by the proposed redevelopment would not exceed the trip thresholds

kimley-horn.com 421 Fayetteville Street, Suite 600, Raleigh, NC 27701 (919) 677 2000

GFL GREEN FOR LIFE environmental

June 9, 2023

Connor Linton
Kimley Horn
412 Fayetteville St
Suite 600
Raleigh, NC 27601

Attn: Connor

This is a letter of support for trash and recycling services for your project being planned for Pleasant Valley Promenade Multifamily located in Raleigh.

We have reviewed the plans and have found that GFL Environmental can safely perform all needed services.

Current design plans call for two trash rooms each accommodating (7) 2 yard mini mac containers for both trash and recycling. At this time, we expect service to be 3 days a week for each service.

If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service and that design specs have not changed.

We look forward to providing waste and recycling services at your new property once it has been completed.

Should you have any questions or need more information, please contact me at tara.zents@gflenv.com.

Sincerely,
Tara Zents
Account Manager
GFL Environmental – Raleigh
3741 Conquest Drive
Garner NC 27529
(M) 919-427-2399

No.	REVISIONS	DATE	BY
4	REVISED PER CITY ASR COMMENTS	9/22/2023	CDL
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2	REVISED PER CITY ASR COMMENTS	7/28/2023	CDL
1	REVISED PER CITY ASR COMMENTS	6/7/2023	CDL

Kimley»Horn

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421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601
PHONE: 919-677-2000 FAX: 919-677-2050
WWW.KIMLEY-HORN.COM
#F-0102

[redacted]

KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JAJ
DRAWN BY SET
CHECKED BY CJH

APPROVAL LETTERS

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C0.2

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

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811 Know what's below. Call before you dig.

Plotted By: Tyndall, Sarah (Raleigh) Sheet Set: PLEASANT VALLEY PROMENADE MULTIFAMILY – PHASE 1 Layout: C0.2 APPROVAL LETTERS September 22, 2023 08:35:49am K:\RAL_LDEV\017377022_pleasant valley – phase 1 mf\05_cad files\02_plansheets\C0.2 APPROVAL LETTERS.dwg
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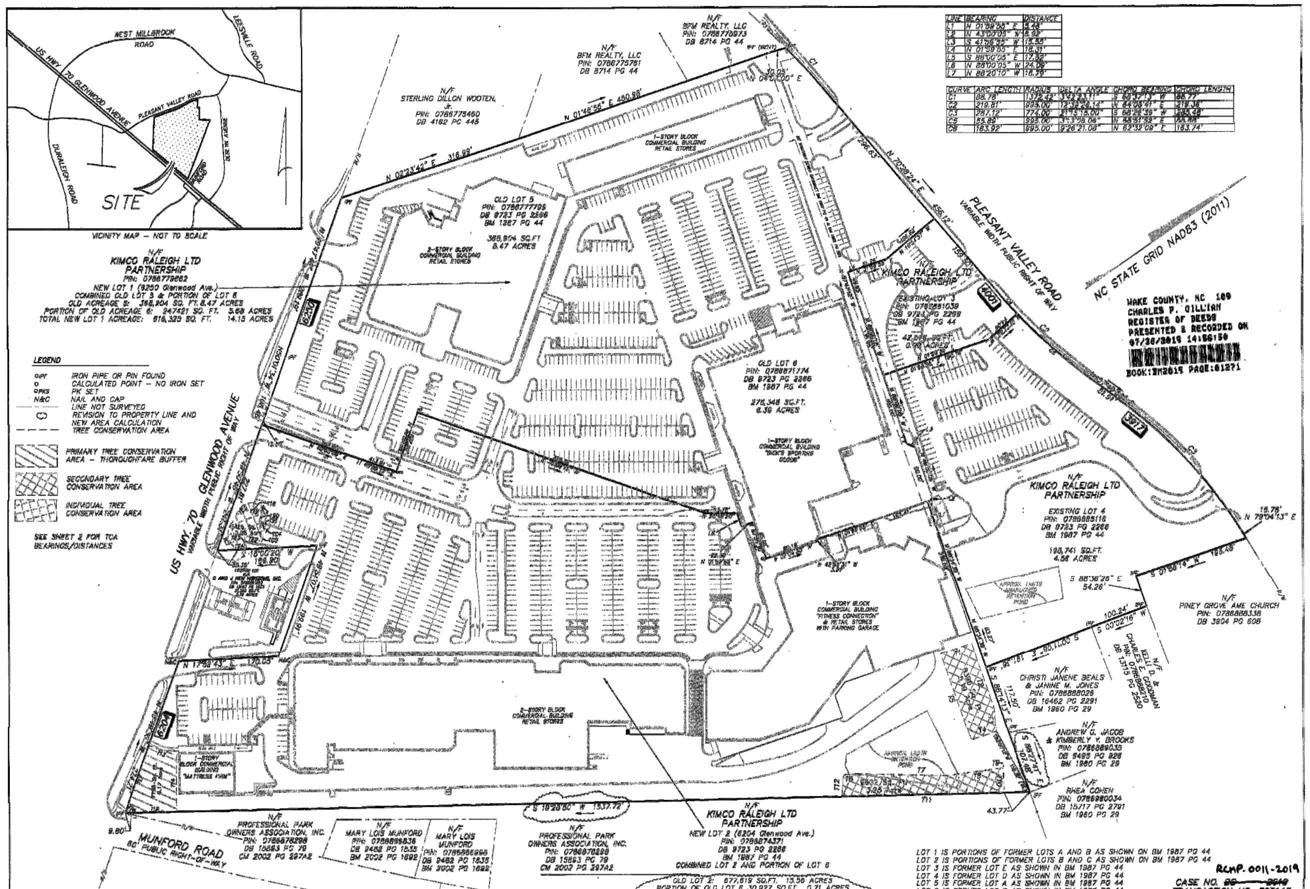
BKBM2019PG01271



LINE	BEARING	DISTANCE
L1	N 01°59'55" E	5.46'
L2	N 43°00'05" W	8.92'
L3	S 41°59'55" W	15.55'
L4	N 01°59'55" E	18.31'
L5	S 88°00'05" E	17.52'
L6	N 88°00'05" W	24.09'
L7	N 88°20'10" W	16.79'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	88.78'	1372.42'	3°42'23.11"	S 69°37'13" W	88.77'
C2	219.81'	995.00'	12°39'28.14"	N 64°08'41" E	219.36'
C3	287.12'	774.00'	21°15'15.00"	S 68°22'35" W	285.48'
C5	55.89'	995.00'	3°13'05.08"	N 55°51'52" E	55.88'
C6	163.92'	995.00'	9°26'21.08"	N 62°32'09" E	163.74'

OLD LOT 2: 677,619 SQ.FT. 15.56 ACRES
PORTION OF OLD LOT 6 30,927 SQ.FT. 0.71 ACRES
TOTAL NEW LOT 2 ACREAGE: 708,546 SQ.FT. 16.27 ACRES

LOT 1 IS PORTIONS OF FORMER LOTS A AND B AS SHOWN ON BM 1987 PG 44
LOT 2 IS PORTIONS OF FORMER LOTS B AND C AS SHOWN ON BM 1987 PG 44
LOT 3 IS FORMER LOT E AS SHOWN IN BM 1987 PG 44
LOT 4 IS FORMER LOT D AS SHOWN IN BM 1987 PG 44
LOT 5 IS FORMER LOT A AS SHOWN IN BM 1987 PG 44
LOT 6 IS FORMER LOT B AS SHOWN IN BM 1987 PG 44

RCMP. 0011-2019
CASE NO. ~~SS – 2019~~
TRANSACTION NO. 595143

RECORDED IN BM 2019 PG 1271

GSC PROJECT: 18014

SURVEYOR'S CERTIFICATE

I, CHARLES H. SMITH, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (MAPS AND DEEDS OF RECORD AS SHOWN HEREON); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN THE MAPS AND DEEDS OF RECORD AS SHOWN HEREON; THAT THE RATIO OF PRECISION IS GREATER THAN 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED.

THIS SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECOMBINATION OF EXISTING PARCELS, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

6-12-19
CHARLES H. SMITH, PLS NO. L-4196 DATE

NORTH CAROLINA PROFESSIONAL LAND SURVEYOR L-4196 CHARLES H. SMITH
6-12-19

GSC SURVEYING
4072 BARRETT DRIVE
RALEIGH, NC 27609
PHONE (919) 787-5805 * FAX (919) 787-5806
NC CORPORATE LICENSE No. C-2335

A PLAT OF CORRECTION AND TREE CONSERVATION AREA PLAT OF PROPERTIES OF
KIMCO RALEIGH LIMITED PARTNERSHIP
MAILING ADDRESS: 3333 NEW HYDE PARK RD NEW HYDE PARK, NY 11042-1204
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

DATE:	SCALE:	SHEET:
MAR 22, 2019	1"=100'	1 OF 2

REV MAY 30, 2019 PER CITY COMMENTS
REV JUN 12, 2019 PER CITY COMMENTS

No.	REVISIONS	DATE	BY
4	REVISED PER CITY ASR COMMENTS	9/22/2023	CDL
3	REVISED PER CITY ASR COMMENTS	9/1/2023	CDL
2	REVISED PER CITY ASR COMMENTS	7/28/2023	CDL
1	REVISED PER CITY ASR COMMENTS	6/7/2023	CDL

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PHONE: 919-677-2000 FAX: 919-677-2050
WWW.KIMLEY-HORN.COM
#F-0102

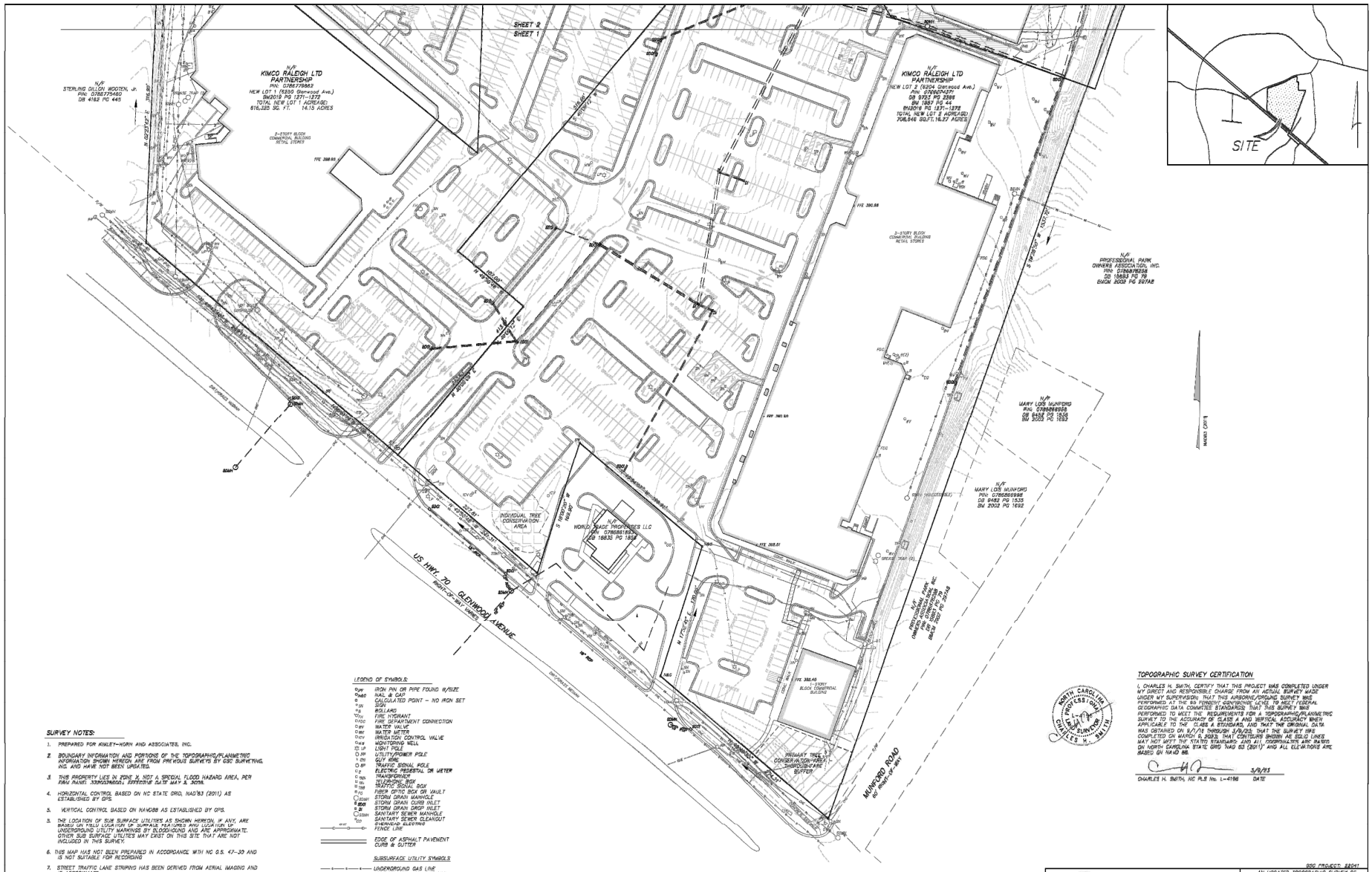
[redacted]

KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JAJ
DRAWN BY SET
CHECKED BY CJF

PLAT

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C1.0



No.	REVISIONS	DATE	BY
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3	REVISED PER CITY ASR COMMENTS	9/1/2023	CDL
2	REVISED PER CITY ASR COMMENTS	7/26/2023	CDL
1	REVISED PER CITY ASR COMMENTS	6/7/2023	CDL

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#F-0102

KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JA
DRAWN BY SET
CHECKED BY CJP

TOPOGRAPHIC SURVEY

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C1.1

Plotted By:Tindall, Sarah (Raleigh) Sheet Set:PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1 Layout:C1.1 September 22, 2023 08:36:13am K:\RAL_LDEV\017377022_pleasant valley - phase 1 mf\05_cad files\02_plansheets\C1.0_PLAT.dwg
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LEGEND OF SYMBOLS:

- IPF IRON PIN OR PIPE FOUND W/SIZE
- N&C NAIL & CAP
- CALCULATED POINT – NO IRON SET
- SN SIGN
- B BOLLARD
- FH FIRE HYDRANT
- FDC FIRE DEPARTMENT CONNECTION
- WV WATER VALVE
- WM WATER METER
- ICV IRRIGATION CONTROL VALVE
- MW MONITORING WELL
- LP LIGHT POLE
- PP UTILITY/POWER POLE
- GW GUY WIRE
- SP TRAFFIC SIGNAL POLE
- E ELECTRIC PEDESTAL OR METER
- TRN TRANSFORMER
- TEL TELEPHONE BOX
- TSB TRAFFIC SIGNAL BOX
- FO FIBER OPTIC BOX OR VAULT
- SDMH STORM DRAIN MANHOLE
- SDCI STORM DRAIN CURB INLET
- DI STORM DRAIN DROP INLET
- SSMH SANITARY SEWER MANHOLE
- CO SANITARY SEWER CLEANOUT
- OHE OVERHEAD ELECTRIC
- FENCE LINE
- EDGE OF ASPHALT PAVEMENT
- CURB & GUTTER

SUBSURFACE UTILITY SYMBOLS

- G UNDERGROUND GAS LINE
- E UNDERGROUND ELECTRIC LINE
- COMM UNDERGROUND COMMUNICATIONS LINES (TELEPHONE/CABLE/FIBER OPTIC)
- W WATER MAINS
- U UNKNOWN
- SS SANITARY SEWER MAINS

NORTH CAROLINA PROFESSIONAL LAND SURVEYOR L-4196 CHARLES H. SMITH

TOPOGRAPHIC SURVEY CERTIFICATION

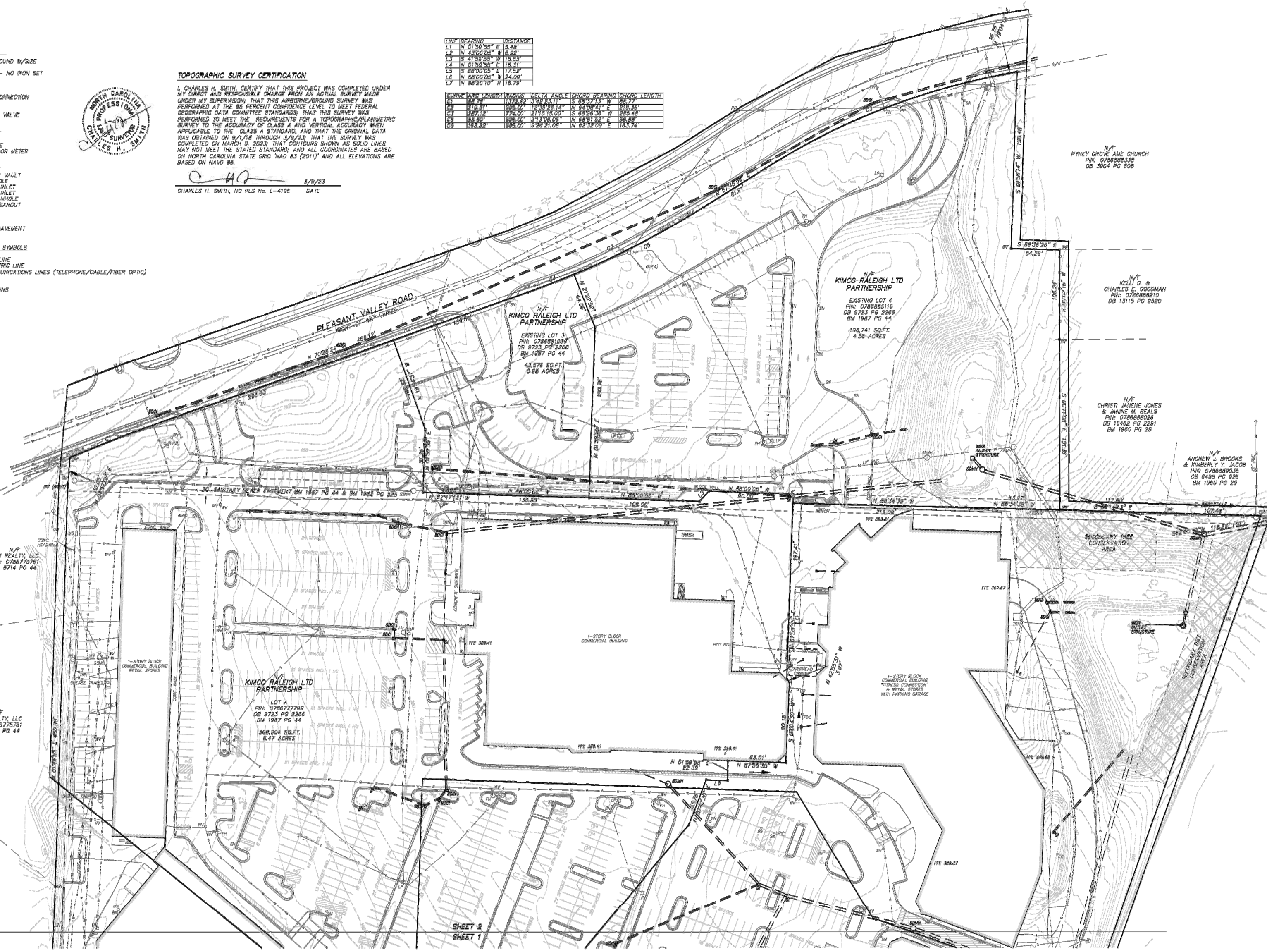
I, CHARLES H. SMITH, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS AIRBORNE/GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS A AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS A STANDARD, AND THAT THE ORIGINAL DATA WAS OBTAINED ON 9/1/18 THROUGH 3/9/23; THAT THE SURVEY WAS COMPLETED ON MARCH 9, 2023; THAT CONTOURS SHOWN AS SOLID LINES MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NORTH CAROLINA STATE GRID 'NAD 83 (2011)' AND ALL ELEVATIONS ARE BASED ON NAVD 88.

3/9/23

CHARLES H. SMITH, NC PLS No. L-4196 DATE

LINE	BEARING	DISTANCE
L1	N 01°59'55" E	5.48'
L2	N 43°00'05" W	6.92'
L3	S 41°59'55" W	15.55'
L4	N 01°59'55" E	18.31'
L5	S 88°00'05" E	17.52'
L6	N 88°00'05" W	24.09'
L7	N 88°20'10" W	18.79'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	88.78'	1372.42'	3°42'23.11"	S 68°37'13" W	88.77'
C2	219.81'	995.00'	12°39'26.14"	N 64°08'41" E	219.38'
C3	287.12'	774.00'	21°15'15.00"	S 68°26'38" W	285.48'
C5	55.89'	995.00'	3°13'05.06"	N 68°51'52" E	55.88'
C6	183.82'	995.00'	9°28'21.08"	N 62°32'09" E	183.74'



GSC PROJECT: 22041

GSC SURVEYING
4072 BARRETT DRIVE
RALEIGH, NC 27609
PHONE (919) 787-8803
NC CORPORATE LICENSE No. C-0336

A PARTIAL TOPOGRAPHIC SURVEY OF
PLEASANT VALLEY SHOPPING CENTER AND PLEASANT VALLEY ROAD
CITY OF RALEIGH, WAKE COUNTY, NC

DATE:	SCALE:	SHEET:
MAR. 9, 2023	1" = 50'	2 OF 2

No.	REVISIONS	DATE	BY
4	REVISED PER CITY ASR COMMENTS	9/22/2023	CDL
3	REVISED PER CITY ASR COMMENTS	9/1/2023	CDL
2	REVISED PER CITY ASR COMMENTS	7/28/2023	CDL
1	REVISED PER CITY ASR COMMENTS	6/7/2023	CDL

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WWW.KIMLEY-HORN.COM
#F-0102

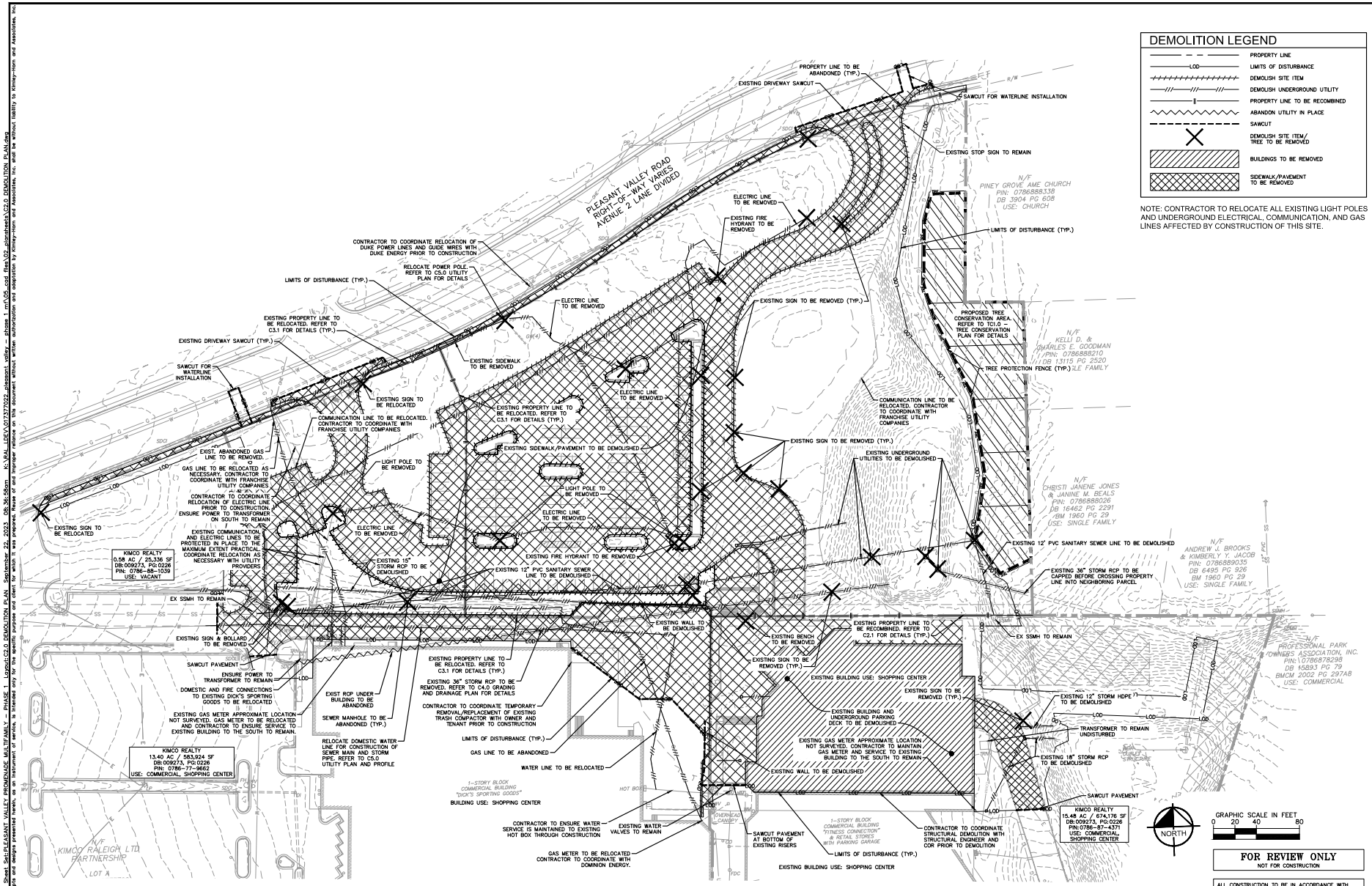
[redacted]

KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JA
DRAWN BY SE
CHECKED BY CJI

TOPOGRAPHIC SURVEY

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C1.2



DEMOLITION LEGEND

- PROPERTY LINE
- LIMITS OF DISTURBANCE
- DEMOLISH SITE ITEM
- DEMOLISH UNDERGROUND UTILITY
- PROPERTY LINE TO BE RECOMBINED
- ABANDON UTILITY IN PLACE
- SAWCUT
- DEMOLISH SITE ITEM / TREE TO BE REMOVED
- BUILDINGS TO BE REMOVED
- SIDEWALK/PAVEMENT TO BE REMOVED

NOTE: CONTRACTOR TO RELOCATE ALL EXISTING LIGHT POLES AND UNDERGROUND ELECTRICAL, COMMUNICATION, AND GAS LINES AFFECTED BY CONSTRUCTION OF THIS SITE.

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NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

SURVEY NOTE:
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811 Know what's below. Call before you dig.

No.	REVISIONS	DATE	BY
4	REVISED PER CITY ASR COMMENTS	8/22/2023	CDL
3	REVISED PER CITY ASR COMMENTS	9/1/2023	CDL
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1	REVISED PER CITY ASR COMMENTS	6/7/2023	CDL

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[redacted]

KHA PROJECT 013377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JAJ
DRAWN BY SET
CHECKED BY CJH

DEMOLITION PLAN

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C2.0

Plotted By:Tandoli, Sarah (Raleigh) Sheet Set:PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1 Layout:C2.0 DEMOLITION PLAN September 22, 2023 08:36:58am K:\RAL_LDEV\013377022_pleasant_valley - phase 1_mf\05_cad files\02_plansheets\C2.0 DEMOLITION PLAN.dwg
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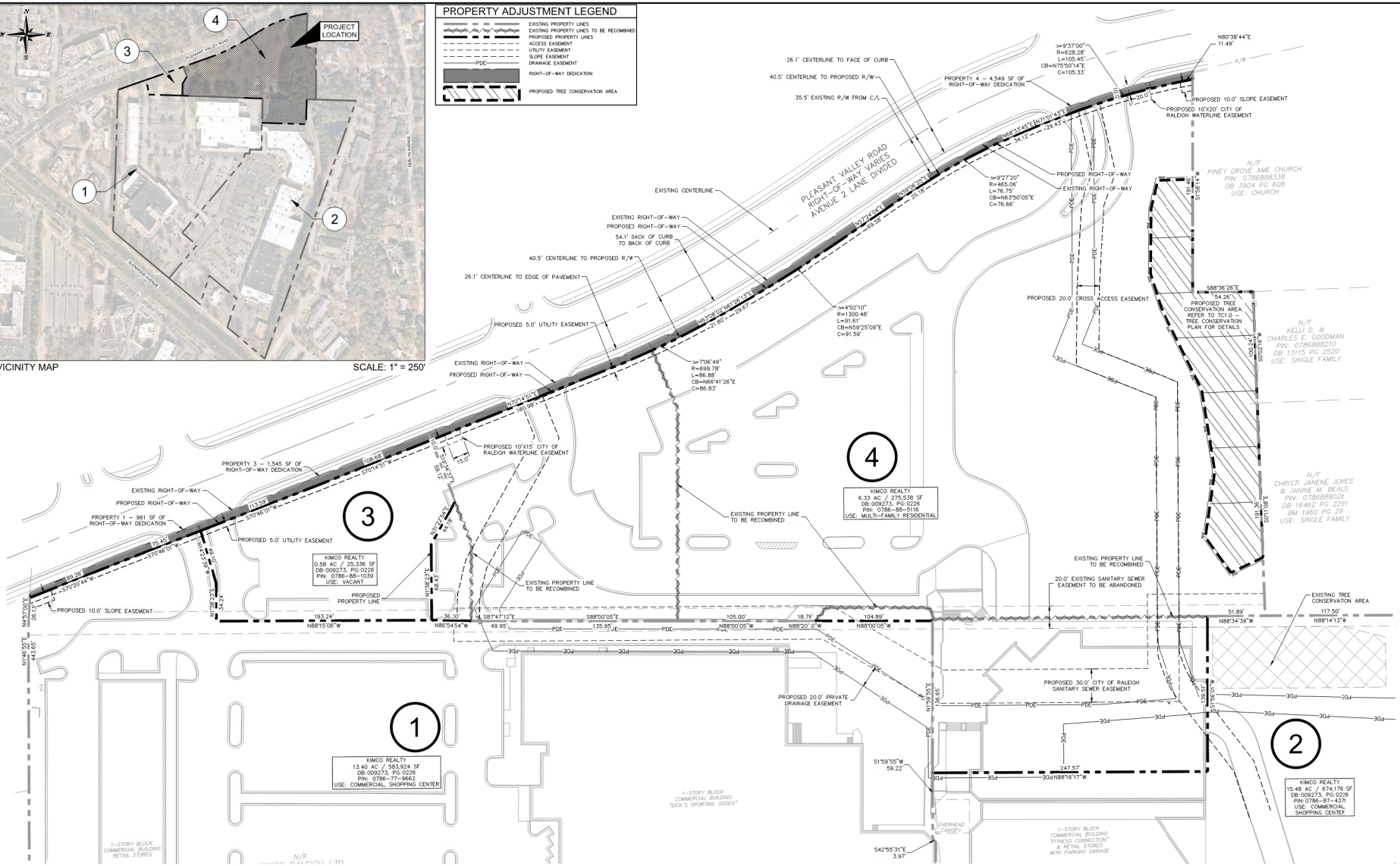
VICINITY MAP

SCALE: 1" = 50'

PROPERTY ADJUSTMENT LEGEND

- EXISTING PROPERTY LINES
- EXISTING PROPERTY LINES TO BE RECOMBINED
- PROPOSED PROPERTY LINES
- ACCESS EASEMENT
- UTILITY EASEMENT
- SLOPE EASEMENT
- PDE — DRAINAGE EASEMENT
- RIGHT-OF-WAY DEDICATION
- PROPOSED TREE CONSERVATION AREA



PARCEL AREA TABLE

SHOPPING CENTER PARCELS	PIN	PARCEL ID/REID	EXISTING AREA	AREA LOST	AREA GAINED	RIGHT-OF-WAY DEDICATION	NET AREA
(1) 6250 GLENWOOD AVENUE	#0786779662	#0453609	14.15 AC / 616,166 SF	0.10 AC / 4,399 SF (TO LOT 4) 0.62 AC / 26,881 SF (TO LOT 3)	N/A	0.02 AC / 961 SF	13.40 AC / 583,924 SF
(2) 6204 GLENWOOD AVENUE	#0786874371	#0453610	16.27 AC / 708,546 SF	0.79 AC / 34,370 SF (TO LOT 4)	N/A	0 AC / 0 SF	15.48 AC / 674,176 SF
MULTIFAMILY PARCELS	PIN	PARCEL ID/REID	EXISTING AREA	AREA LOST	AREA GAINED	RIGHT-OF-WAY DEDICATION	NET AREA
(3) 4001 PLEASANT VALLEY ROAD	#0786881039	#0023667	.98 AC / 42,576 SF	0.98 AC / 42,576 SF (TO LOT 4)	0.62 AC / 26,881 SF (FROM LOT 1)	0.04 AC / 1,545 SF	0.58 AC / 25,336 SF
(4) 3917 PLEASANT VALLEY ROAD	#0786885116	#0453611	4.56 AC / 198,741 SF	N/A	0.10 AC / 4,399 SF (FROM LOT 1) 0.79 AC / 34,370 SF (FROM LOT 2) 0.98 AC / 42,576 SF (FROM LOT 3)	0.10 AC / 4,549 SF	6.33 AC / 275,538 SF

NORTH

GRAPHIC SCALE IN FEET
0 20 40 80

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No.	REVISIONS	DATE	BY
4	REVISED PER CITY ASR COMMENTS	9/22/2023	CDL
3	REVISED PER CITY ASR COMMENTS	9/7/2023	CDL
2	REVISED PER CITY ASR COMMENTS	7/28/2023	CDL
1	REVISED PER CITY ASR COMMENTS	6/7/2023	CDL

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WWW.KIMLEY-HORN.COM
#F-0102

[redacted]

KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JAJ
DRAWN BY SET
CHECKED BY CJH

PROPERTY LINE ADJUSTMENT PLAN

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C2.1

Plotted By:Tindall, Sarah (Raleigh) Sheet Set:PLEASANT VALLEY PROMENADE MULTIFAMILY – PHASE 1 Layout:C2.1 PROPERTY LINE ADJUSTMENT PLAN September 22, 2023 08:37:22am K:\RAL_LDEV\017377022-pleasant valley - phase 1 mf\05-cad files\02-sitesheets\C2.1 PROPERTY LINE ADJUSTMENT PLAN.dwg
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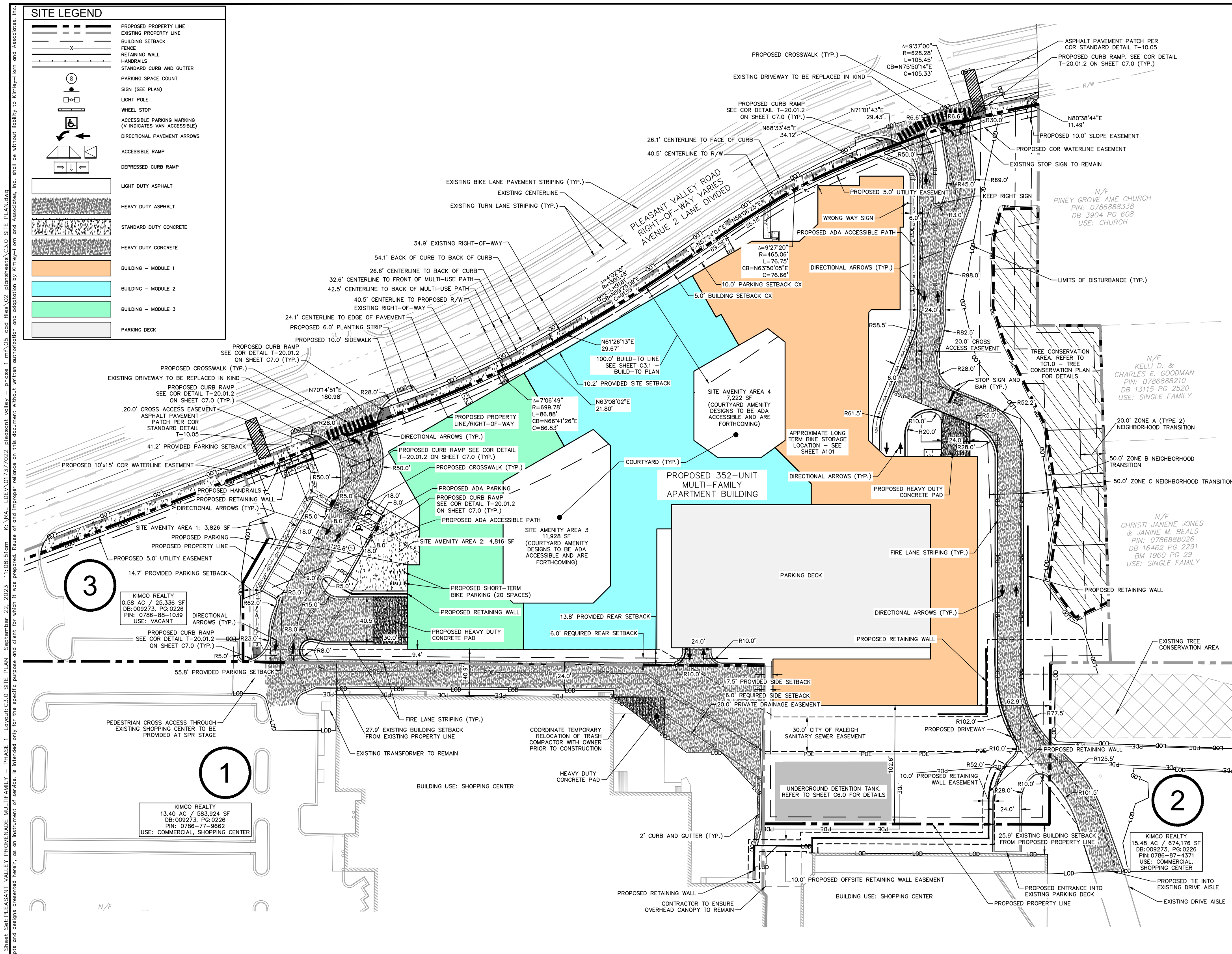

NORTH

GRAPHIC SCALE IN FEET
0 20 40 80

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SITE DATA	
PROJECT INFORMATION	
PROJECT NAME:	PLEASANT VALLEY PROMENADE - PHASE 1
COUNTY:	WAKE COUNTY
JURISDICTION:	CITY OF RALEIGH
PIN #'S:	0786881039, 0786885116, 0786874371, 0786779662
SITE SIZE & COVERAGES	
SITE ACREAGE:	6.33 AC / 275,538 SF
PROPOSED BUILDING GFA:	MODULE 1: 4.57 AC / 199,243 SF MODULE 2: 3.44 AC / 149,639 SF MODULE 3: 2.17 AC / 94,712 SF TOTAL: 10.18 AC / 443,594 SF
PROPOSED PARKING DECK GFA:	3.82 AC / 166,200 SF
REQUIRED AMENITY SPACE:	10% OF SITE AREA = .633 AC / 27,554 SF
PROVIDED AMENITY SPACE:	0.638 AC / 27,792 SF
REQUIRED TREE CONSERVATION AREA:	MIN. 10% OF NET SITE AREA = .633 AC / 27,554 SF
PROVIDED TREE CONSERVATION AREA:	.389 AC / 16,945 SF
PARCEL AREA INFORMATION	
SHOPPING CENTER PARCELS	
(1) 6250 GLENWOOD AVENUE PIN: #0786779662	EXISTING AREA: 14.15 AC / 616,166 SF AREA LOST: 0.10 AC / 4,399 SF (TO LOT 4), 0.62 AC / 26,881 SF (TO LOT 4) AREA GAINED: N/A ROW DEDICATION: 0.02 AC / 961 SF NET AREA: 13.41 AC / 583,925 SF
(2) 6204 GLENWOOD AVENUE PIN: #0786874371	EXISTING AREA: 16.27 AC / 708,546 SF AREA LOST: 0.79 AC / 34,370 SF (TO LOT 4) AREA GAINED: N/A ROW DEDICATION: 0 AC / 0 SF NET AREA: 15.48 AC / 674,176 SF
MULTIFAMILY PARCELS	
(3) 4001 PLEASANT VALLEY ROAD PIN: #0786881039	EXISTING AREA: 0.98 AC / 42,576 SF AREA LOST: 0.98 AC / 42,576 SF (TO LOT 4) AREA GAINED: 0.62 AC / 26,881 SF (FROM LOT 1) ROW DEDICATION: 0.04 AC / 1,545 SF NET AREA: 0.58 AC / 25,336 SF
(4) 3917 PLEASANT VALLEY ROAD PIN: #0786885116	EXISTING AREA: 4.56 AC / 198,741 SF AREA LOST: N/A AREA GAINED: 0.10 AC / 4,399 SF (FROM LOT 1), 0.79 AC / 34,370 SF (FROM LOT 2), 0.98 AC / 42,576 SF (FROM LOT 3) ROW DEDICATION: 0.10 AC / 4,549 SF NET AREA: 6.33 AC / 275,537 SF
ZONING	
EXISTING ZONING:	COMMERCIAL MIXED USE (CX-5-PL-CU)
PROPOSED ZONING:	COMMERCIAL MIXED USE (CX-5-PL-CU)
EXISTING USE:	VACANT (PARKING LOT) AND COMMERCIAL BUILDING (INDOOR RECREATION)
PROPOSED USE:	5 STORY MULTI-UNIT (APARTMENTS)
PROPOSED 1 BEDROOM UNITS:	205
PROPOSED 2 BEDROOM UNITS:	133
PROPOSED 3 BEDROOM UNITS:	13
TOTAL UNITS:	351
TOTAL BEDROOMS:	510
OFF-STREET PARKING	
PARKING MAXIMUM (CX-5-PL-CU)	MUTLTI-UNIT LIVING 0-1 BEDROOM = 1.5 SPACES * 205 UNITS = 308 SPACES 2 BEDROOMS = 2.25 SPACES * 133 UNITS = 300 SPACES 3 BEDROOMS = 3 SPACES * 13 UNITS = 39 SPACES TOTAL PARKING MAXIMUM = 647 SPACES
REQUIRED HANDICAP PARKING	2% OF TOTAL PROVIDED PARKING = 11 SPACES TOTAL 2 VAN SPACES REQUIRED
PROVIDED HANDICAP PARKING	12 SPACES (2 VAN SPACES)
PROVIDED DECK PARKING (3.82 AC / 166,200 SF)	
LEVEL 1 (0.59 AC / 25,625 SF)	64 SPACES (58 STANDARD, 3 HANDICAP, 2 VAN, 1 EV)
LEVEL 2 (0.65 AC / 28,115 SF)	86 SPACES (84 STANDARD, 1 HANDICAP, 1 EV)
LEVEL 3 (0.65 AC / 28,115 SF)	86 SPACES (84 STANDARD, 1 HANDICAP, 1 EV)
LEVEL 4 (0.65 AC / 28,115 SF)	86 SPACES (84 STANDARD, 1 HANDICAP, 1 EV)
LEVEL 5 (0.65 AC / 28,115 SF)	86 SPACES (84 STANDARD, 1 HANDICAP, 1 EV)
LEVEL 6 (0.65 AC / 28,115 SF)	86 SPACES (84 STANDARD, 1 HANDICAP, 1 EV)
PROVIDED SURFACE PARKING	17 SPACES (2 HANDICAP SPACES)
TOTAL PROVIDED PARKING	511 SPACES (12 HANDICAP, 6 EV)
REQUIRED BICYCLE PARKING	SHORT TERM = 1 SPACE PER 20 UNITS 351 UNITS / 20 UNITS * 1 SPACE = 18 SPACES LONG TERM = 1 SPACE PER 7 BEDROOMS 510 BEDROOMS / 7 BEDROOMS * 1 SPACE = 73 SPACES
PROVIDED BICYCLE PARKING	SHORT TERM = 20 SPACES LONG TERM = 74 SPACES
CX-5 REQUIREMENTS	
LOT DIMENSIONS	
AREA (MIN)	7,500 SF / 0.17 AC
AREA (MAX)	N/A
WIDTH (MIN)	N/A
OUTDOOR AMENITY AREA (MIN)	10% OF SITE AREA
BUILDING/STRUCTURE SETBACKS	
REQUIRED FROM PRIMARY STREET (MIN)	5'
PROVIDED FROM PRIMARY STREET	10.2'
REQUIRED FROM SIDE STREET (MIN)	5'
PROVIDED FROM SIDE STREET	N/A
REQUIRED FROM SIDE LOT LINE (MIN)	0' OR 6'
PROVIDED FROM SIDE LOT LINE	7.5'
REQUIRED FROM REAR LOT LINE (MIN)	0' OR 6'
PROVIDED FROM REAR LOT LINE	13.8'
REQUIRED FROM ALLEY (MIN)	4' OR 20'
PROVIDED FROM ALLEY	N/A
PARKING SETBACKS	
REQUIRED FROM PRIMARY STREET (MIN)	10'
PROVIDED PRIMARY STREET	41.2'
REQUIRED FROM SIDE STREET (MIN)	10'
PROVIDED SIDE STREET	N/A
REQUIRED FROM SIDE LOT LINE (MIN)	0'
PROVIDED SIDE LOT LINE	14.7'
REQUIRED FROM REAR LOT LINE (MIN)	0'
PROVIDED REAR LOT LINE	55.8'
REQUIRED FROM ALLEY, GARAGE ONLY (MIN)	4'
PROVIDED ALLEY GARAGE ONLY	N/A
HEIGHT	
PRINCIPAL BUILDING (MAX)	5 STORIES
PROVIDED BUILDING HEIGHT	5 STORIES
ACCESSORY STRUCTURE (MAX)	26'
PROVIDED ACCESS STRUCTURE HEIGHT	N/A
TRANSPARENCY	
REQUIRED GROUND STORY (MIN)	20% / 1,090 SF / 0.03 AC
PROVIDED GROUND STORY	36% / 2,007 SF / 0.04 AC
REQUIRED UPPER STORY (MIN)	15% / 3,232 SF / 0.07 AC
PROVIDED UPPER STORY	33% / 7,283 SF / 0.17 AC
BLANK WALL (MAX)	35'
PROVIDED BLANK WALL	N/A
PARKING LIMITED FRONTAGE REQUIREMENTS	
-PL BUILD-TO	PRIMARY STREET BUILD-TO: 5'/100' BUILDING WIDTH IN PRIMARY BUILD-TO: 50% SIDE STREET BUILD-TO: 0'/100' BUILDING WIDTH IN SIDE BUILD-TO: 25% PRIMARY STREET (PLEASANT VALLEY ROAD) PLEASANT VALLEY ROAD FRONTAGE = 758.40 LF REQUIRED BUILDING IN BUILD-TO = (758.40 LF * 50%) = 379.20 LF PROVIDED BUILDING IN BUILD-TO = 504.90 LF OR 66.57%
HEIGHT LIMIT FOR FRONTAGE (MAX)	7 STORIES/90'
E1 - A MAXIMUM OF 2 BAYS OF ON-SITE PARKING WITH A SINGLE DRIVE AISLE IS PERMITTED BETWEEN THE BUILDING AND THE STREET	
F1 - PRIMARY STREET-FACING ENTRANCE REQUIRED (MIN OF 1 PER BUILDING)	
F2 - DIRECT PEDESTRIAN ACCESS IS REQUIRED FROM THE PUBLIC SIDEWALK TO THE PRIMARY STREET-FACING ENTRANCE OF THE BUILDING	

No.	REVISIONS	DATE	BY
4	REVISED PER CITY ASR COMMENTS	9/22/2023	CDL
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[redacted]

KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JAJ
DRAWN BY SET
CHECKED BY CJH

SITE PLAN

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1

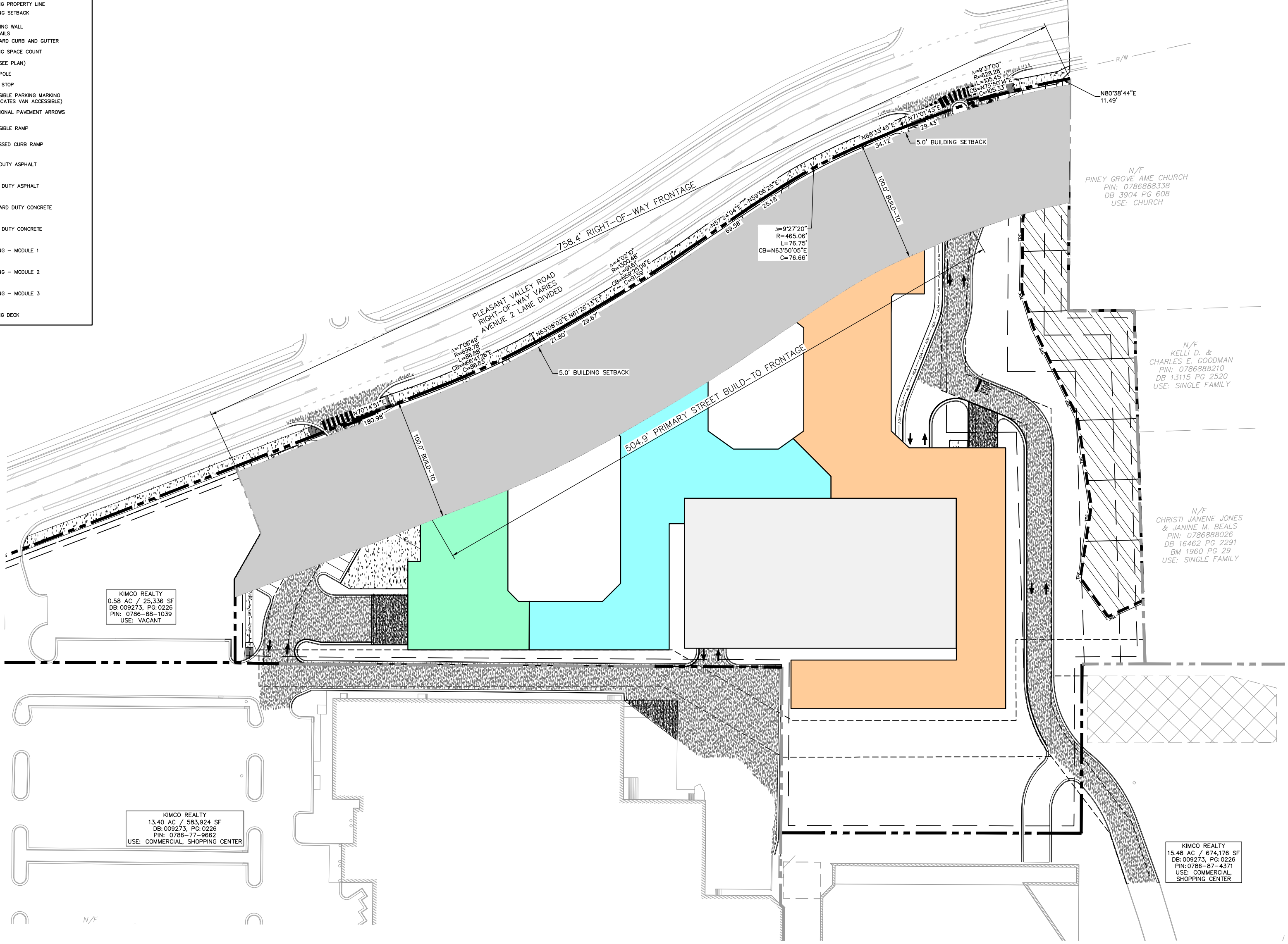
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP

RALEIGH NC

SHEET NUMBER
C3.0

SITE LEGEND

- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- BUILDING SETBACK
- FENCE
- RETAINING WALL
- HANDRAILS
- STANDARD CURB AND GUTTER
- PARKING SPACE COUNT
- SIGN (SEE PLAN)
- LIGHT POLE
- WHEEL STOP
- ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
- DIRECTIONAL PAVEMENT ARROWS
- ACCESSIBLE RAMP
- DEPRESSED CURB RAMP
- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT
- STANDARD DUTY CONCRETE
- HEAVY DUTY CONCRETE
- BUILDING - MODULE 1
- BUILDING - MODULE 2
- BUILDING - MODULE 3
- PARKING DECK



BUILD-TO TABLE

STREET TYPE	FRONTAGE (LF)	% REQUIRED WITH BUILDING	LF REQUIRED WITH BUILDING	% PROVIDED WITH BUILDING	LF PROVIDED WITH BUILDING
PRIMARY STREET (PLEASANT VALLEY ROAD)	758.40	50%	379.20	66.57%	504.90
SIDE STREET (N/A)	N/A	25%	N/A	N/A	N/A

SURVEY NOTE:
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NORTH

GRAPHIC SCALE IN FEET
0 20 40 80

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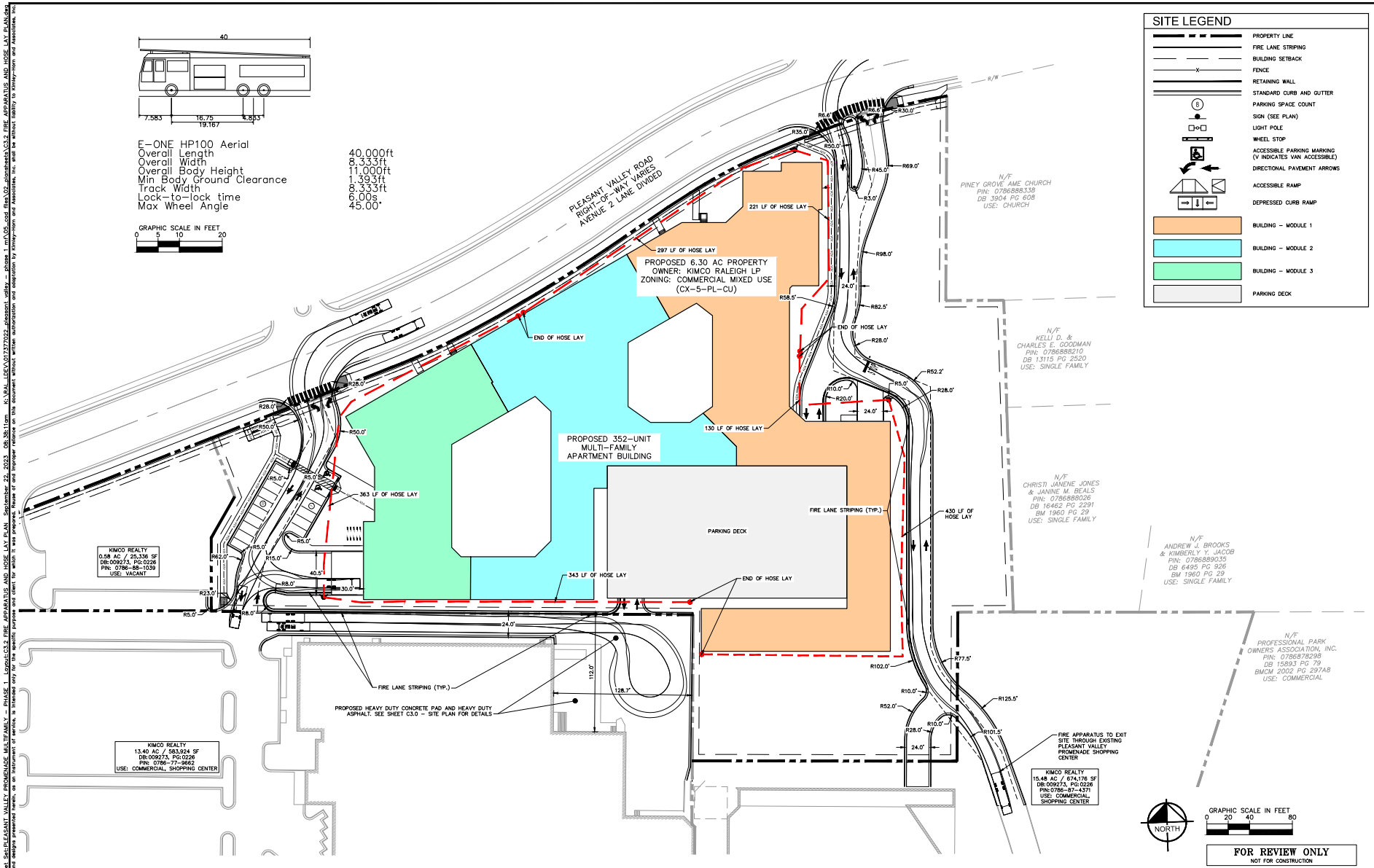
BUILD-TO PLAN

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C3.1



SITE LEGEND

- PROPERTY LINE
- FIRE LANE STRIPING
- BUILDING SETBACK
- FENCE
- RETAINING WALL
- STANDARD CURB AND GUTTER
- PARKING SPACE COUNT
- SIGN (SEE PLAN)
- LIGHT POLE
- WHEEL STOP
- ACCESSIBLE PARKING MARKING (V INDICATES VAN ACCESSIBLE)
- DIRECTIONAL PAVEMENT ARROWS
- ACCESSIBLE RAMP
- DEPRESSED CURB RAMP
- BUILDING – MODULE 1
- BUILDING – MODULE 2
- BUILDING – MODULE 3
- PARKING DECK

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FIRE APPARATUS AND HOSE LAY PLAN

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C3.2

Plotted By:Tandoli, Sarah (Raleigh) Sheet Set:PLEASANT VALLEY PROMENADE MULTIFAMILY – PHASE 1 Layout:C3.2 FIRE APPARATUS AND HOSE LAY PLAN September 22, 2023 08:38:11am K:\RAL_LDEV\017337022_pleasant valley – phase 1 mf\05_cad files\02_plansheets\C3.2 FIRE APPARATUS AND HOSE LAY PLAN.dwg
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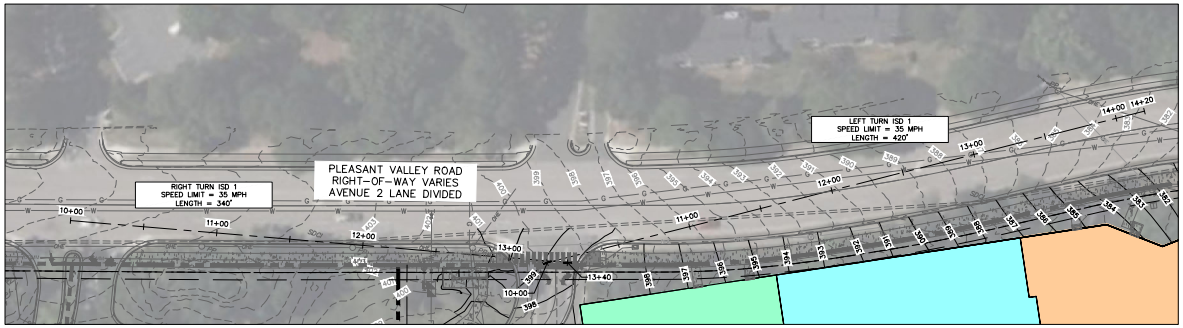

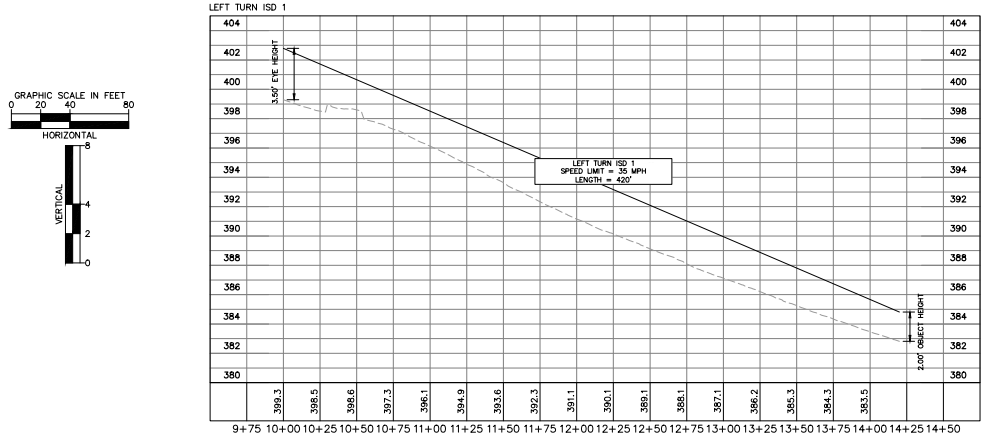

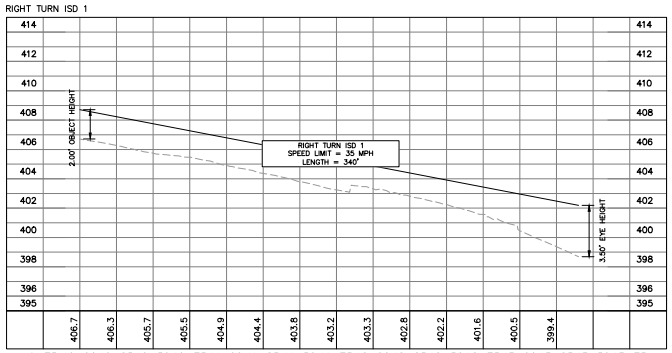

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SIGHT DISTANCE PLAN

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C3.3

Plotted By:Tandil, Sarah (Raleigh) Sheet Set:PLEASANT VALLEY PROMENADE MULTIFAMILY – PHASE 1 Layout:C3.3 SIGHT DISTANCE PLAN September 22, 2023 08:39:05am K:\RAL_LDEV\017377022 pleasant valley – phase 1 mf\05_cad files\02 plansheets\C3.3 SIGHT DISTANCE PLAN.dwg
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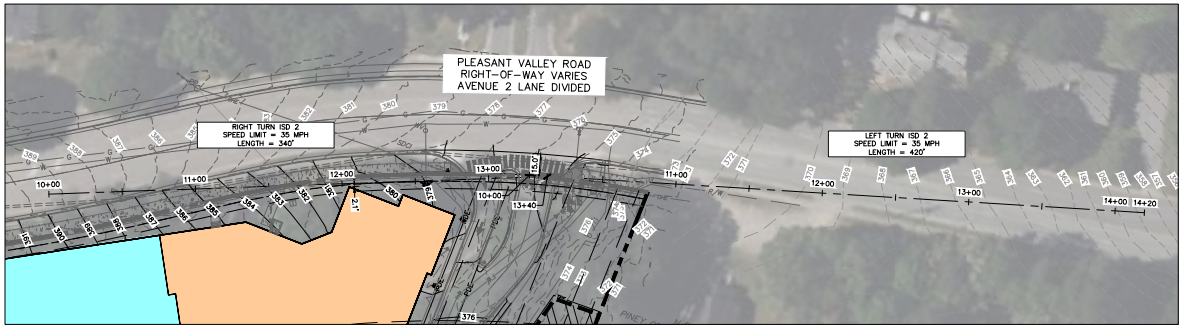

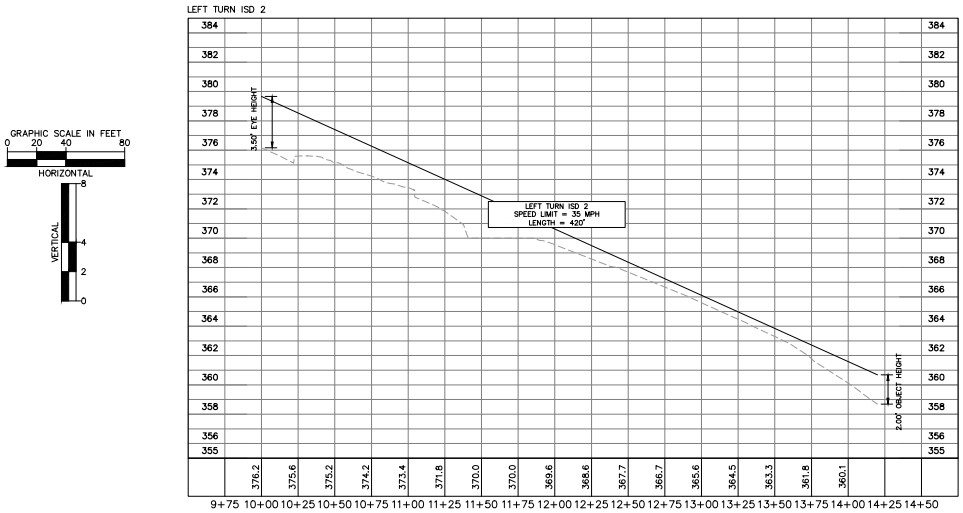

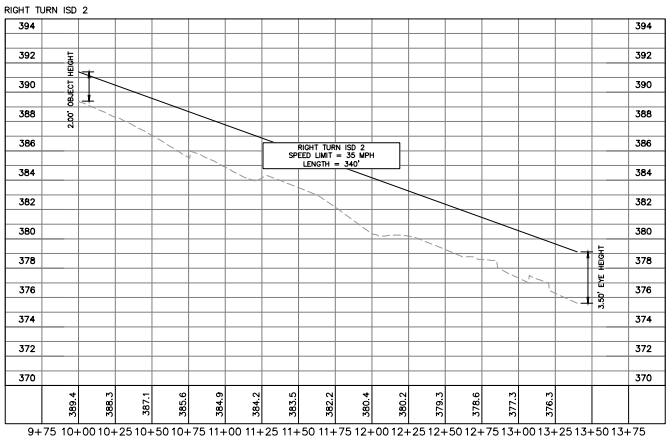

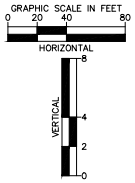

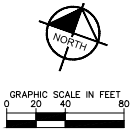

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DATE 03/31/2023
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DESIGNED BY JAJ
DRAWN BY SET
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SIGHT DISTANCE PLAN

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C3.4

Plotted By:Tyndall, Sarah (Raleigh) Sheet Set:PLEASANT VALLEY PROMENADE MULTIFAMILY – PHASE 1 Layout:C3.4 SIGHT DISTANCE PLAN September 22, 2023 08:39:08am K:\RAL_LDEV\017377022 pleasant valley – phase 1 m\05_cad files\02 plansheets\C3.3 SIGHT DISTANCE PLAN.dwg
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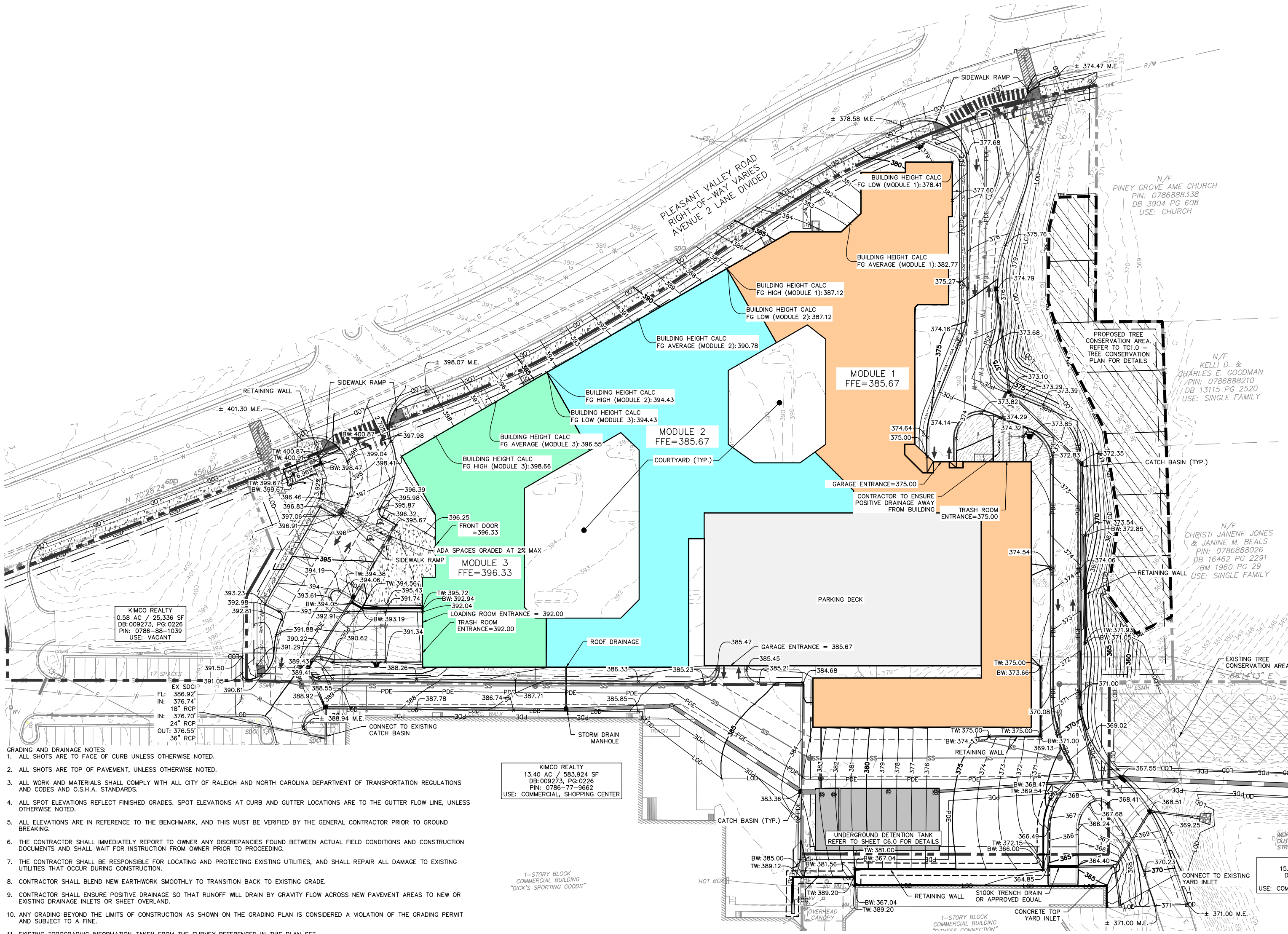

GRADING AND DRAINAGE NOTES:

1. ALL SHOTS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL SHOTS ARE TOP OF PAVEMENT, UNLESS OTHERWISE NOTED.
3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF RALEIGH AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
4. ALL SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND GUTTER LOCATIONS ARE TO THE GUTTER FLOW LINE, UNLESS OTHERWISE NOTED.
5. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
6. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION FROM OWNER PRIOR TO PROCEEDING.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
8. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
10. ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
11. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
12. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES
13. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL.
14. CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
16. CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
18. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
19. FLOODPLAIN DOES NOT EXIST ON PROPERTY.
20. CONTRACTOR SHALL PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. REFER TO PRCR-01 AND PRCR-02 FOR PROTECTION INFORMATION.
21. ALL PIPES TO BE O-RING GASKETED

POST DEVELOPMENT GRADES (PLEASANT VALLEY ROAD)

	PROPOSED LOW	PROPOSED HIGH	PROPOSED AVERAGE
MODULE 1	378.41	387.12	382.77
MODULE 2	387.12	394.43	390.78
MODULE 3	394.43	398.66	396.55

STORMWATER MAINTENANCE NOTE:
STORMWATER CONTROL MEASURE, INCLUDING SAND FILTER AND INLET PIPE, TO BE MAINTAINED PER CITY OF RALEIGH STORMWATER SPECIFICATIONS.

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GRADING AND DRAINAGE LEGEND

—— — — ——	PROPERTY LINE
—TCE—	TEMPORARY CONSTRUCTION EASEMENT
	STORM DRAIN (≥ 12 INCH)
	STORM DRAIN (< 12 INCH)
—RD—	ROOF DRAIN
	UNDER DRAIN
	CURB AND GUTTER
	SPILL CURB AND GUTTER
—CL—	CLEARING LIMITS
— —805— —	EXISTING CONTOUR
—805—	PROPOSED CONTOUR
826.00	SPOT ELEVATION
	CATCH BASIN (CB)
SD	MANHOLE (SDMH)
	CLEANOUT (SDCO)
	DROP INLET (DI)
	AREA DRAIN (AD)
	CONTROL STRUCTURE (CS)
	FLARED END SECTION (FES)
	CONCRETE HEADWALL (HW)
	RIP-RAP APRON
	FLOW ARROW
TW	TOP OF WALL (GRADE ELEV.)
BW	BOTTOM OF WALL (GRADE ELEV.)
TP	TOP OF PAVEMENT (GRADE ELEV.)
TC	TOP OF CURB (GRADE ELEV.)
TC/TP	FLUSH CURB (GRADE ELEV.)
WT	WATER TIGHT JOINTS (WT)
	BUILDING – MODULE 1
	BUILDING – MODULE 2
	BUILDING – MODULE 3
	PARKING DECK

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DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JAJ
DRAWN BY SET
CHECKED BY CJF

GRADING AND DRAINAGE PLAN

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C4.0

Plotted By: Tyndall, Sarah (Raleigh) Sheet Set: PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1 Layout: C4.0 GRADING AND DRAINAGE PLAN September 22, 2023 08:39:41am
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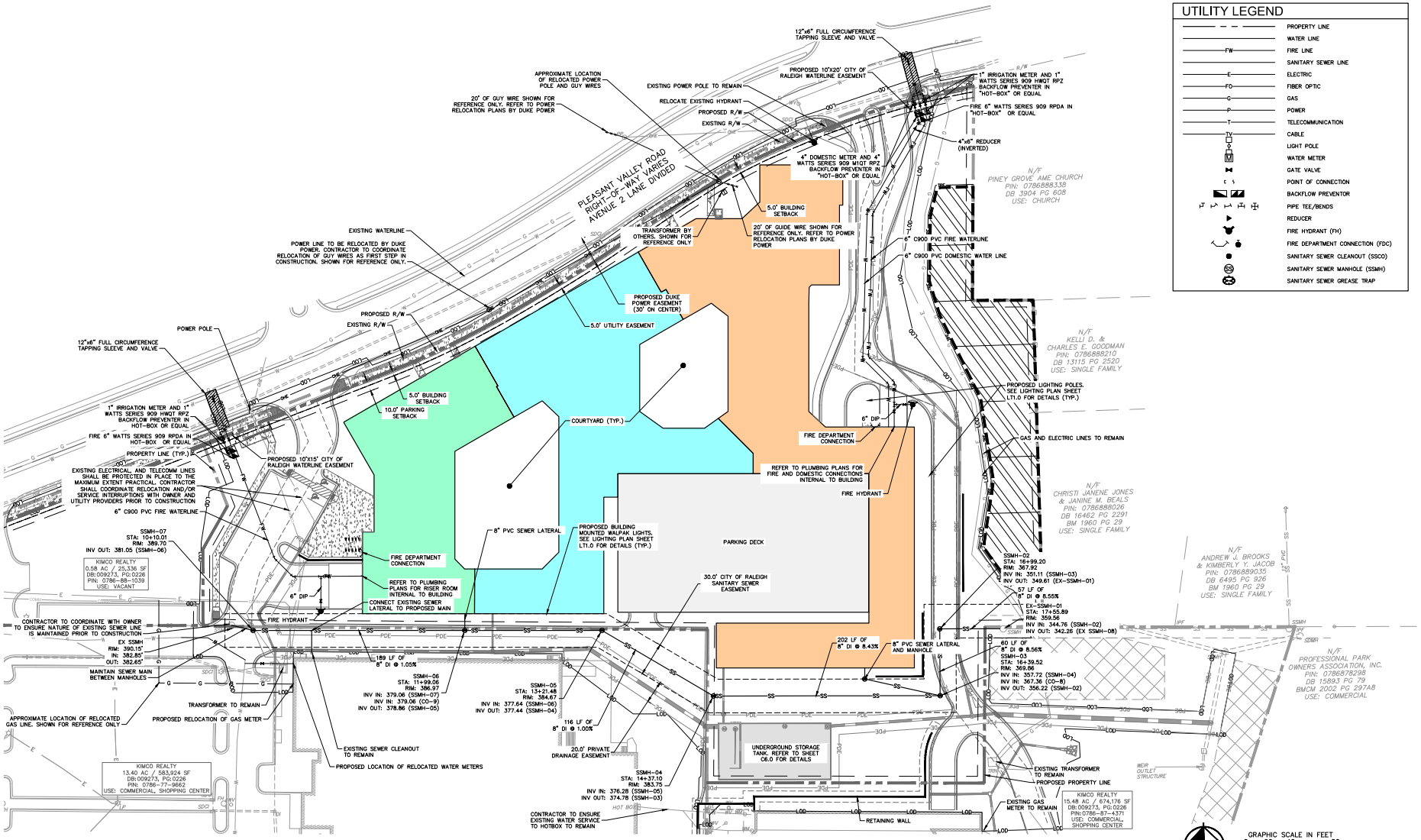

UTILITY LEGEND

- PROPERTY LINE
- WATER LINE
- FW — FIRE LINE
- SANITARY SEWER LINE
- E — ELECTRIC
- FO — FIBER OPTIC
- G — GAS
- P — POWER
- T — TELECOMMUNICATION
- TV — CABLE
- LIGHT POLE
- WATER METER
- GATE VALVE
- POINT OF CONNECTION
- BACKFLOW PREVENTOR
- PIPE TEE/BENDS
- REDUCER
- FIRE HYDRANT (FH)
- FIRE DEPARTMENT CONNECTION (FDC)
- SANITARY SEWER CLEANOUT (SSCO)
- SANITARY SEWER MANHOLE (SSMH)
- SANITARY SEWER GREASE TRAP

STANDARD UTILITY NOTES:

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
   A) A DISTANCE OF 100 SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25 FROM A PRIVATE WELL OR 50 FROM A PUBLIC WELL.
   B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18' ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
   C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10'ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
   D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
   E) MAINTAIN 18' MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24' MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6' MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
   F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18' MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.

STANDARD UTILITY NOTES:

1. INSTALL 8" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 50 LINEAR FEET MAXIMUM.
2. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
3. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
4. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
5. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
6. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

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#F-0102

KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JA
DRAWN BY SET
CHECKED BY CJP

UTILITY PLAN

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C5.0

Plotted By:Tindall, Sarah (Raleigh) Sheet Set:PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1 Layout:C5.0 UTILITY PLAN September 23, 2023 08:40:14am K:\RAL_LDEV\017377022_pleasant valley - phase 1 mf\05_cad files\02_plansheets\C5.0 UTILITY PLAN.dwg
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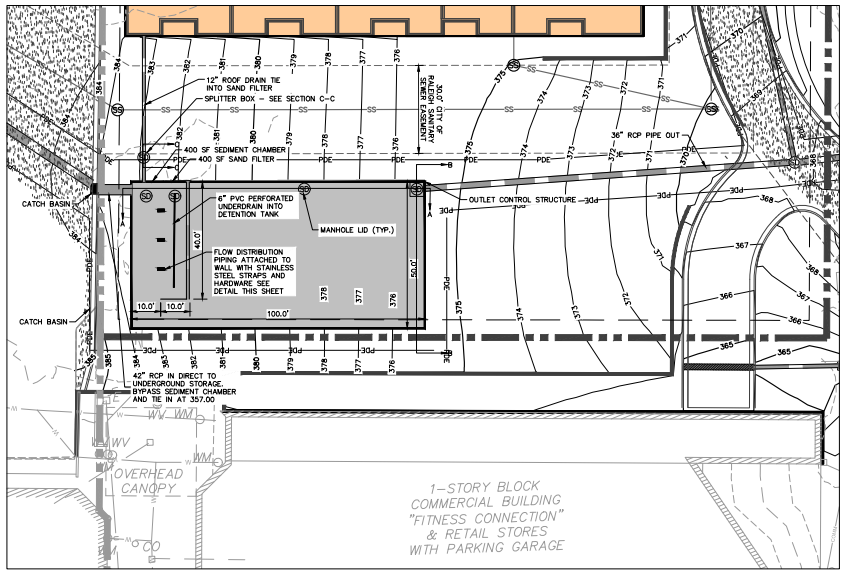


PLAN VIEW
1"=20'

NOTES:

1. SAND FILTER TO BE DESIGNED FOR H-20 LOADING.
2. CONTRACTOR SHALL SUBMIT SAND FILTER SHOP DRAWINGS FOR REVIEW.
3. SAND FILTER AND UNDERGROUND STORAGE CHAMBER TO BE WRAPPED IN 30 MM WATERPROOF LINING.
4. ALL JOINTS TO BE WATERTIGHT.

KEYNOTES

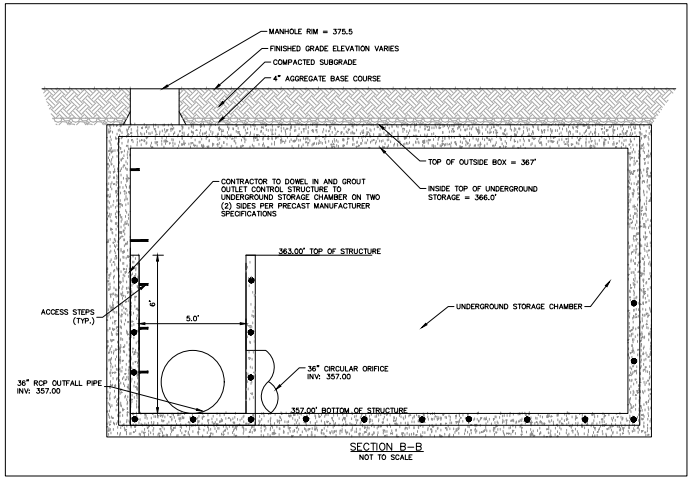
SEDIMENT CHAMBER AREA

FILTER CHAMBER AREA

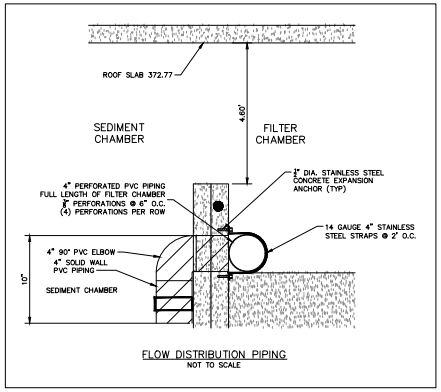
OUTFALL STRUCTURE AREA

NORTH

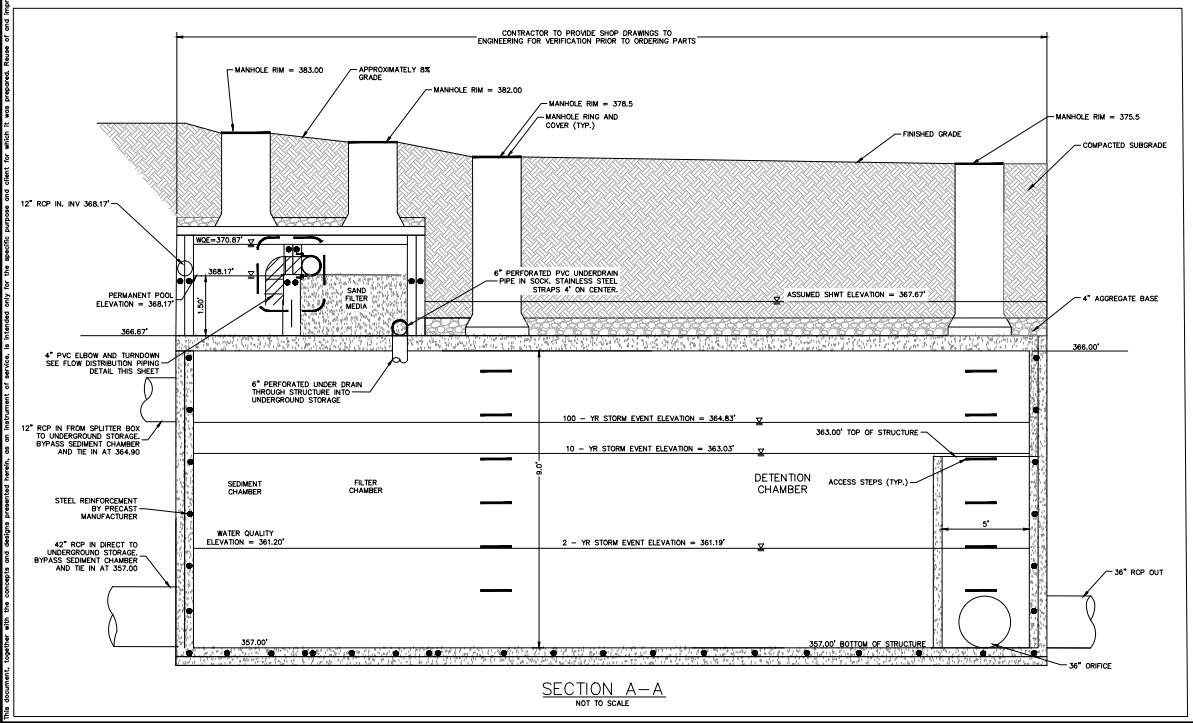
GRAPHIC SCALE IN FEET
0 10 20 40



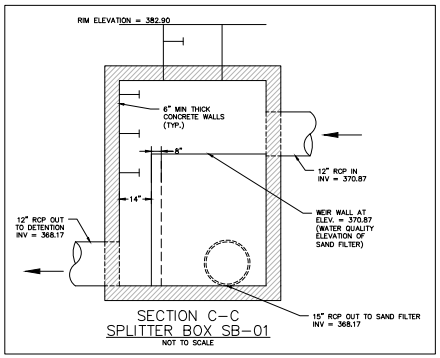
SECTION B–B
NOT TO SCALE



FLOW DISTRIBUTION PIPING
NOT TO SCALE



SECTION A–A
NOT TO SCALE



SECTION C–C
SPLITTER BOX SB–01
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DATE 03/31/2023
SCALE AS SHOWN
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DRAWN BY SET
CHECKED BY CJP

UNDERGROUND DETENTION & SAND FILTER DETAILS

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
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RALEIGH NC

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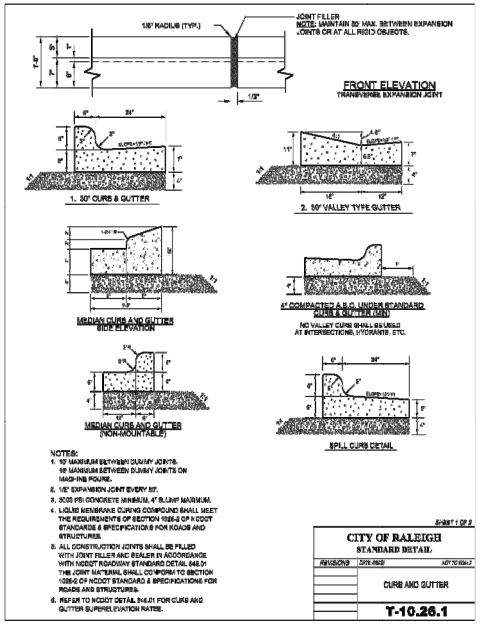

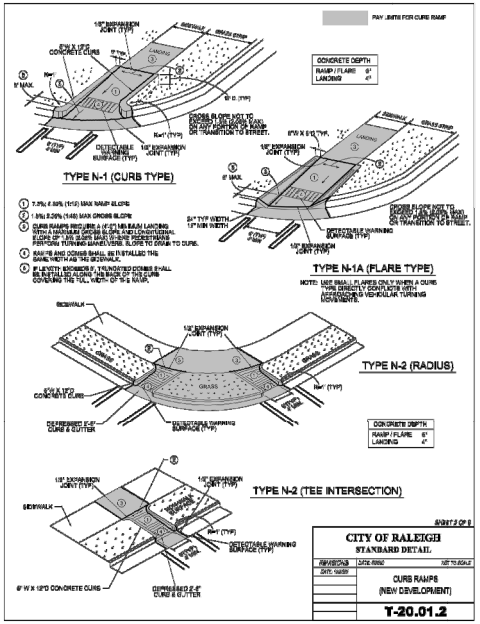

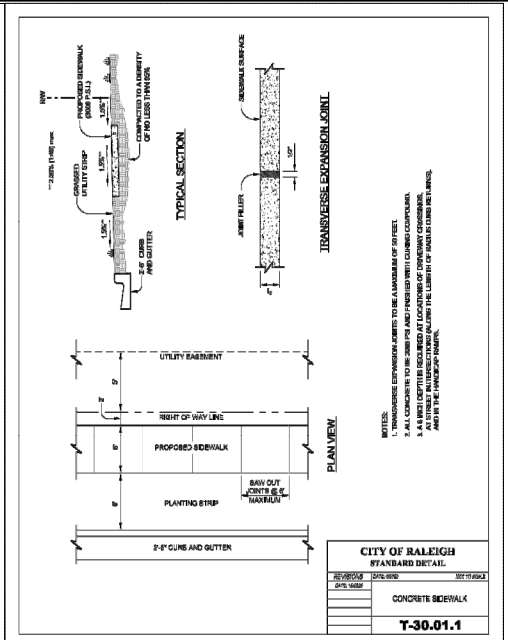

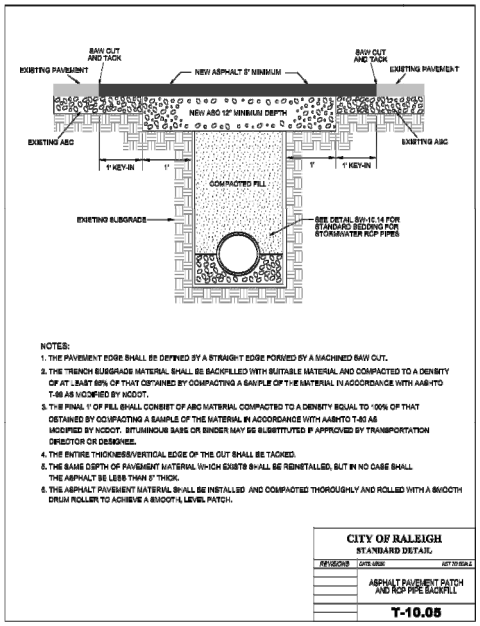

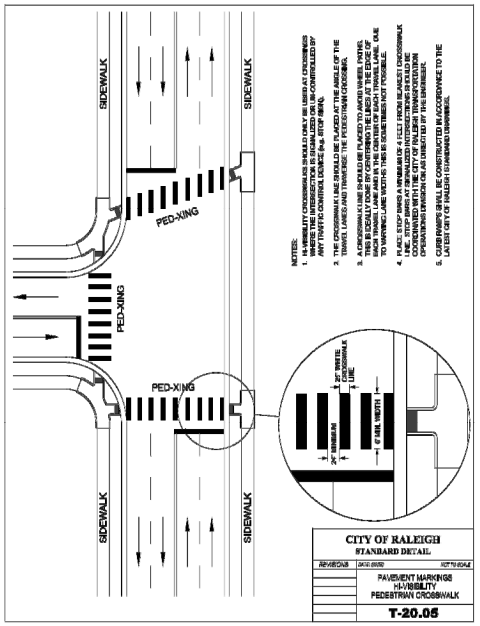

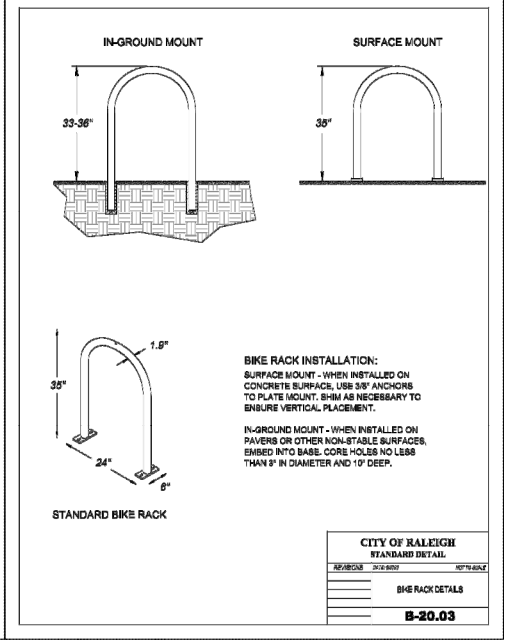

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DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JAJ
DRAWN BY SET
CHECKED BY CJP

SITE DETAILS

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
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RALEIGH NC

SHEET NUMBER
C7.0

Plotted By:Tyndall, Sarah (Raleigh) Sheet Set:PLEASANT VALLEY PROMENADE MULTIFAMILY – PHASE 1 Layout:C7.0 SITE DETAILS September 22, 2023 08:41:03am K:\RAL_LDEV\017337022-pleasant valley – phase 1 m\05-cad files\02-sheetsets\C7.0 SITE DETAILS.dwg
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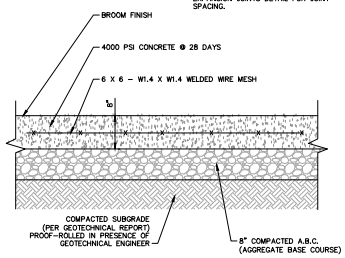
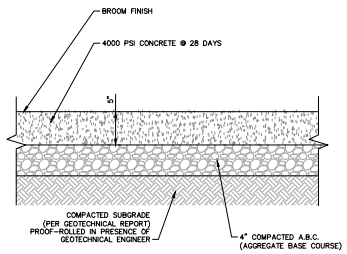


HEAVY DUTY CONCRETE SECTION (03)
N.T.S. KHA DETAIL NO: 02.106.R01



STANDARD DUTY CONCRETE SECTION (04)
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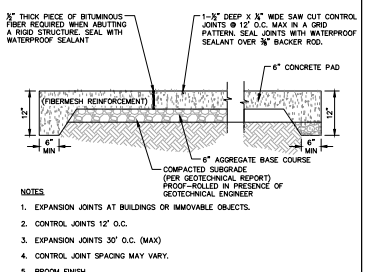

CONCRETE APRON AND DUMPSTER PAD (05)
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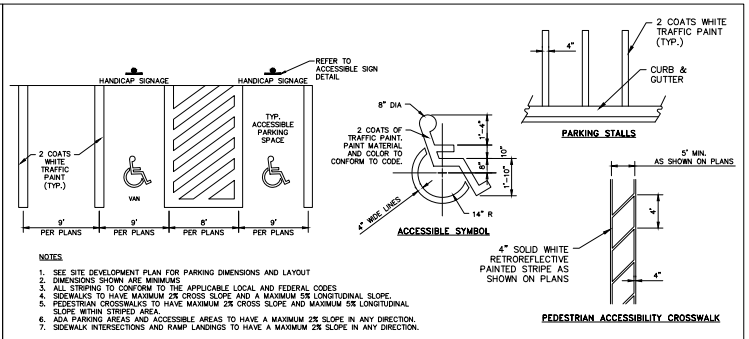

PAVEMENT STRIPING (10)
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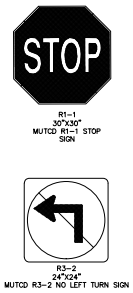

MUTCD STOP & NO LEFT TURN SIGNS (07)
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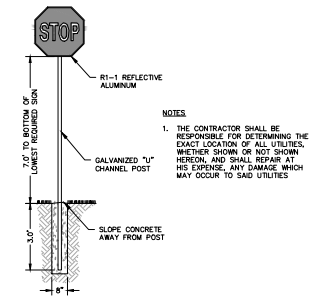

STOP SIGN (08)
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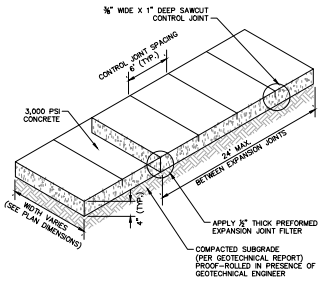
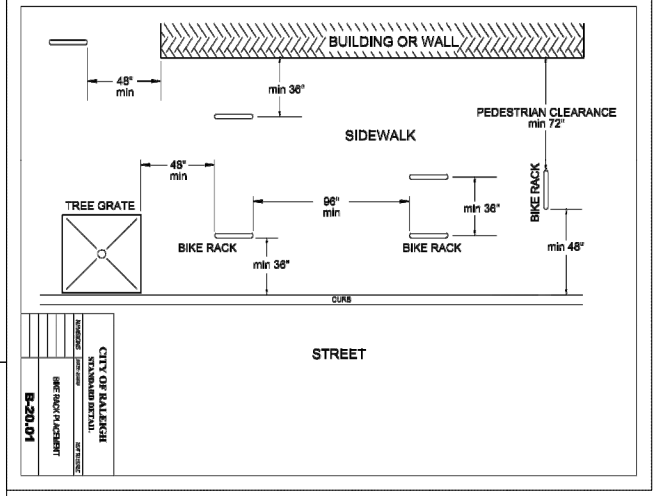
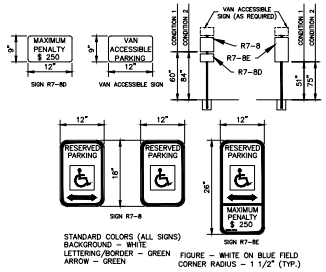


SIDEWALK (09)
N.T.S. KHA DETAIL NO: 02.103.R02





ACCESSIBLE SIGN (11)
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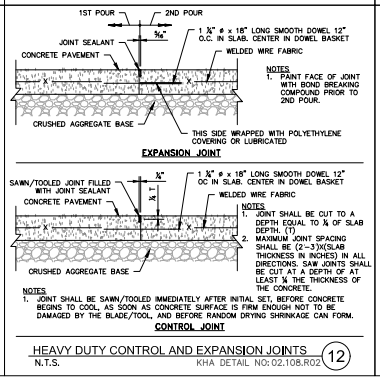

HEAVY DUTY CONTROL AND EXPANSION JOINTS (12)
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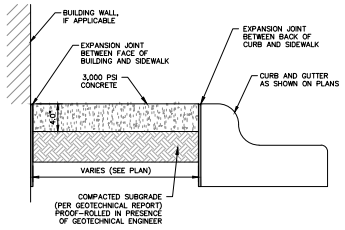

SIDEWALK ADJACENT TO PARKING AREAS (13)
N.T.S. KHA DETAIL NO: 02.105.R02

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CHECKED BY CJP

SITE DETAILS

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
C7.1

Plotted By:Tandoli, Sarah (Raleigh) Sheet Set:PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1 Layout:C7.1 SITE DETAILS September 22, 2023 08:41:15am K:\RAL_LDEV\017377022 pleasant valley - phase 1 mf\05-cad files\02-plans\sheets\C7.1 SITE DETAILS.dwg
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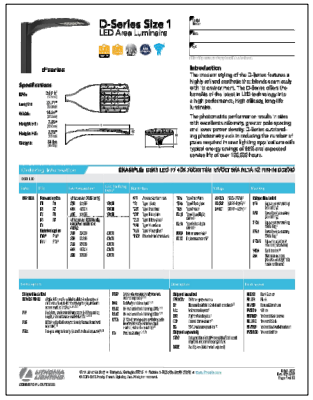
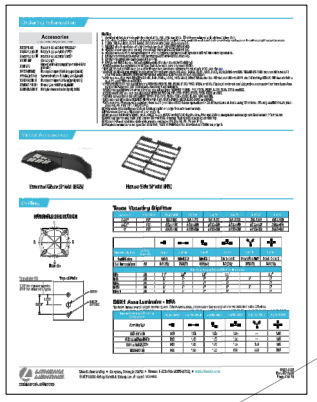
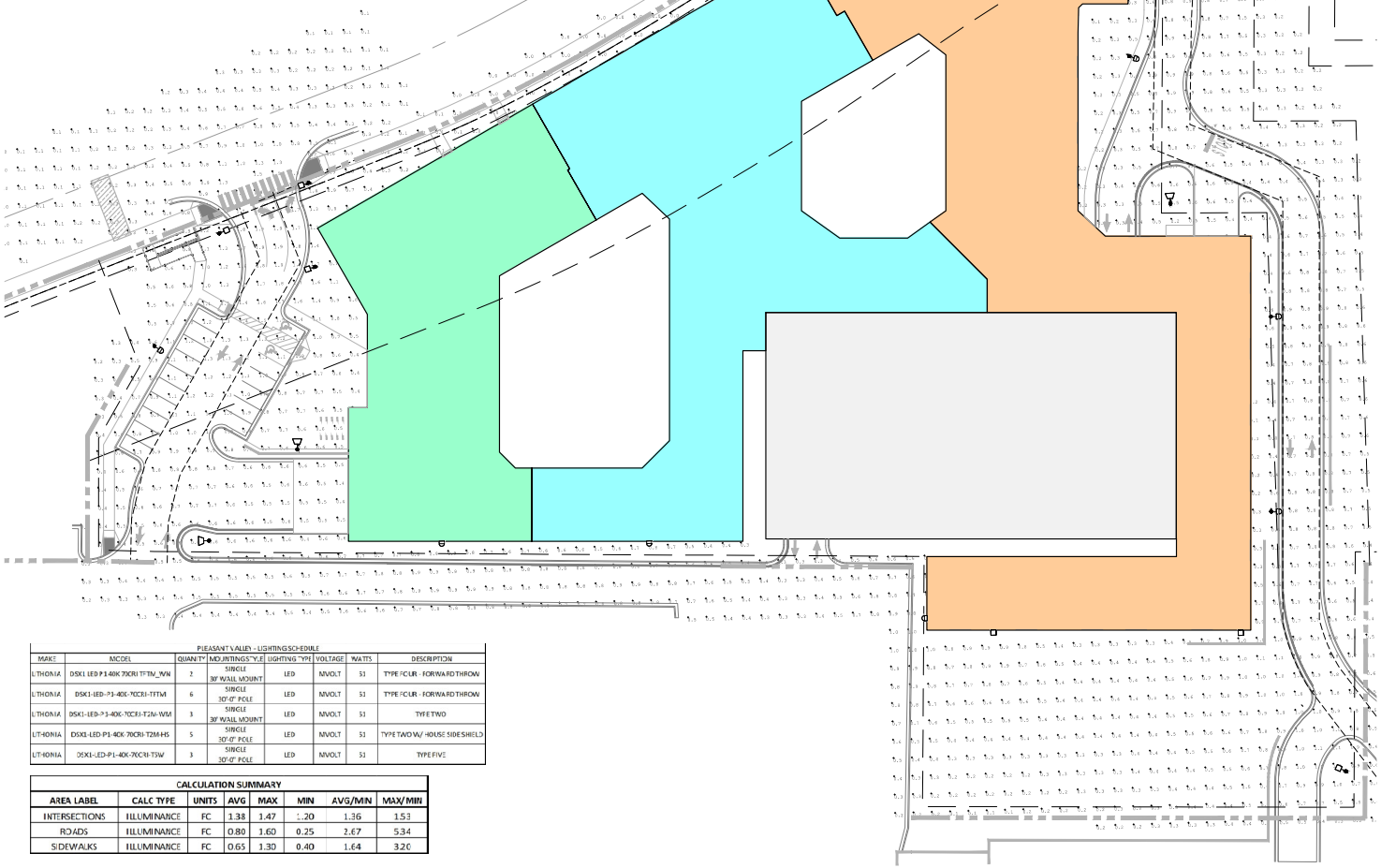






DESIGN CRITERIA*

ROADWAY	PEDESTRIAN CROSSWALKS
ILLUMINANCE (Fc)	ILLUMINANCE (Fc)
AVERAGE = 0.8 MAX/MIN = 15:1	AVERAGE = 1.3 MAX/MIN = 15:1
AVG/MIN = 3.5:1	AVG/MIN = 6:1

PEDESTRIAN SIDEWALK

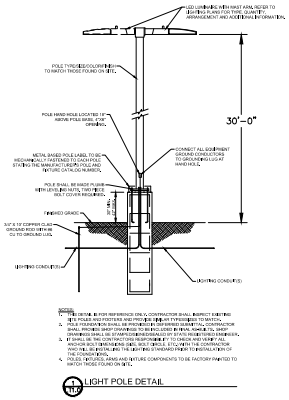
ILLUMINANCE (Fc)

AVERAGE = 0.5 MAX/MIN = 15:1

AVG/MIN = 4:1

EXTERIOR LIGHTING LEGEND

SYMBOL	TYPE	MODEL NUMBER
	ROADWAY/AREA LIGHTING	DSX1-LED-P1-40K-70CRI-TFTM
	ROADWAY/AREA LIGHTING	DSX1-LED-P1-40K-70CRI-T2M-HS
	ROADWAY/AREA LIGHTING	DSX1-LED-P1-40K-70CRI-TSW
	ROADWAY/AREA LIGHTING	DSX1-LED-P1-40K-70CRI-TFTM-WM
	ROADWAY/AREA LIGHTING	DSX1-LED-P1-40K-70CRI-T2M-WM



1 LIGHT POLE DETAIL
NTS

PLEASANT VALLEY - LIGHTING SCHEDULE							
MAKE	MODEL	QUANTITY	MOUNTING TYPE	LIGHTING TYPE	VOLTAGE	WATTS	DESCRIPTION
LITHONIA	DSX1-LED-P1-40K-70CRI-TFTM_WM	2	SINGLE 30' WALL MOUNT	LED	MVOLT	51	TYPE FOUR - FORWARD THROW
LITHONIA	DSX1-LED-P1-40K-70CRI-TFTM	6	SINGLE 30'-0" POLE	LED	MVOLT	51	TYPE FOUR - FORWARD THROW
LITHONIA	DSX1-LED-P1-40K-70CRI-T2M-WM	3	SINGLE 30' WALL MOUNT	LED	MVOLT	51	TYPE TWO
LITHONIA	DSX1-LED-P1-40K-70CRI-T2M-HS	5	SINGLE 30'-0" POLE	LED	MVOLT	51	TYPE TWO W/ HOUSE SIDESHIELD
LITHONIA	DSX1-LED-P1-40K-70CRI-TSW	3	SINGLE 30'-0" POLE	LED	MVOLT	51	TYPE FIVE

CALCULATION SUMMARY							
AREA LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
INTERSECTIONS	ILLUMINANCE	FC	1.38	1.47	1.20	1.36	1.53
ROADS	ILLUMINANCE	FC	0.80	1.60	0.25	2.67	5.34
SIDEWALKS	ILLUMINANCE	FC	0.65	1.30	0.40	1.64	3.20

NORTH

GRAPHIC SCALE IN FEET
0 15 30 60

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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

SURVEY NOTE:
ALL EXISTING TOPOGRAPHICAL, BOUNDARY, SUBSURFACE UTILITY INFORMATION WAS PROVIDED WITHIN A TOPOGRAPHIC SURVEY OF PLEASANT VALLEY SHOPPING CENTER PREPARED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NC 27609, (919) 787-5805, DATED 10/10/2018 AND REVISED 03/10/2023.

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4	REVISED PER CITY ASR COMMENTS	8/22/2023	CDL
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#F-0102

KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY JA
DRAWN BY SE
CHECKED BY CJ

LIGHTING PLAN

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
LT1.0

Plotted By:Tandell, Sarah (Raleigh) Sheet Set:PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1 Layout:LT1.0 LIGHTING PLAN September 22, 2023 08:41:30am K:\RAL_LDEV\017377022_pleasant valley - phase 1_mf\05_cad files\02_plansheet\LT1.0 LIGHTING PLAN.dwg
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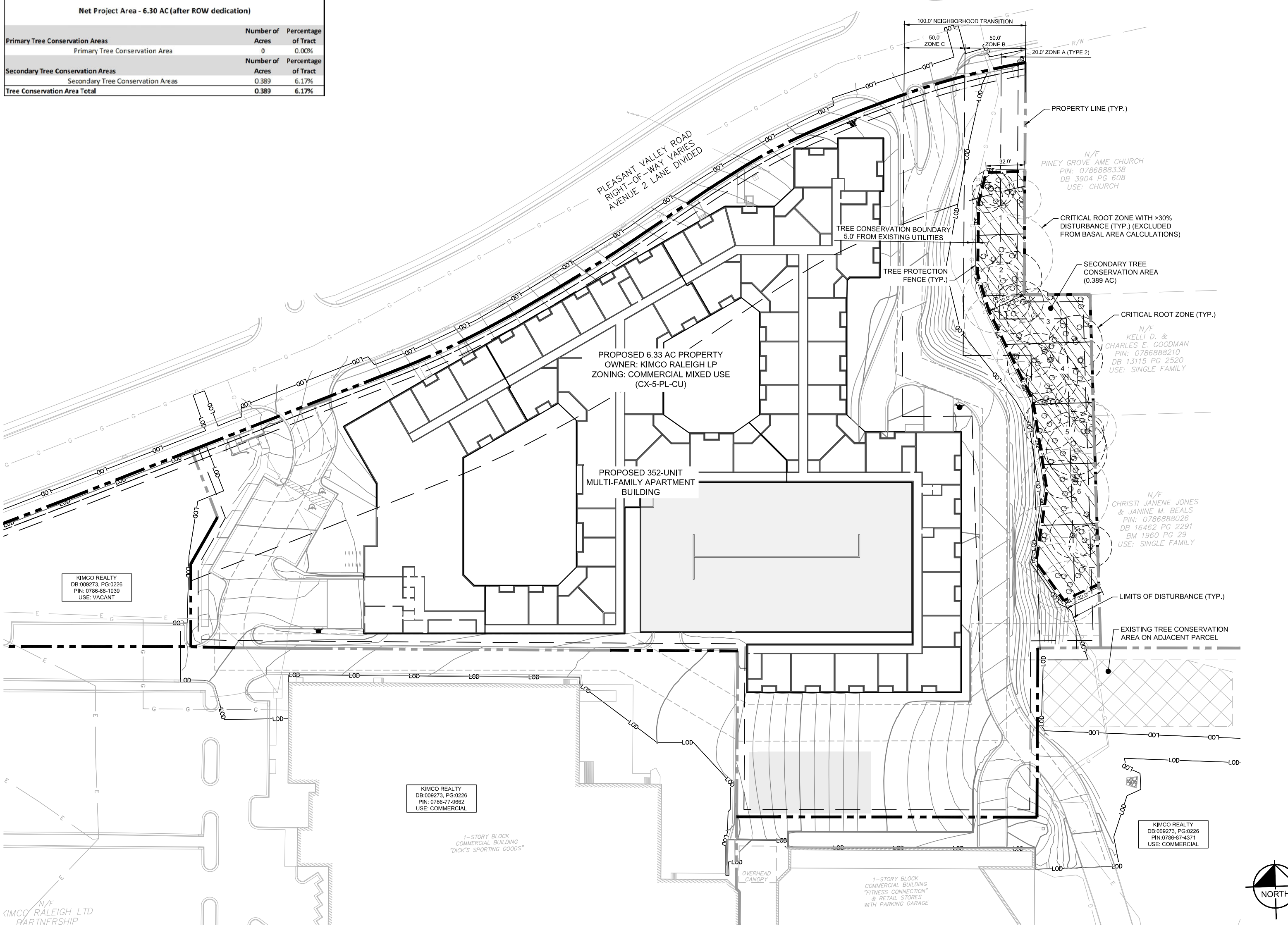
Tree Conservation Plan Data		
Net Project Area - 6.30 AC (after ROW dedication)		
Primary Tree Conservation Areas	**Number of Acres**	**Percentage of Tract**
Primary Tree Conservation Area	0	0.00%
Secondary Tree Conservation Areas	**Number of Acres**	**Percentage of Tract**
Secondary Tree Conservation Areas	0.389	6.17%
Tree Conservation Area Total	**0.389**	**6.17%**



LEGEND

- SECONDARY TREE CONSERVATION AREA
- EXISTING TREE CONSERVATION AREA ON ADJACENT PARCEL
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE WITH >30% DISTURBANCE (NOT INCLUDED IN BASAL AREA CALCULATION)
- EXISTING TREE

TREE CONSERVATION NOTES:

1. A TREE CONSERVATION PERMIT IS REQUIRED TO ESTABLISH TREE CONSERVATION AREAS IN THE FIELD.
2. A TREE CONSERVATION PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT.
3. PRIOR TO OBTAINING A BUILDING PERMIT, THE FOLLOWING WILL BE RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS:
   A.) TREE CONSERVATION AREA MUST BE RECORDED PRIOR TO OBTAINING A BUILDING PERMIT PER UDO 9.1.5.A.2.
4. NEW PLANTINGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOTZONE OF ANY EXISTING TREE LOCATED WITHIN A TREE CONSERVATION AREA.
5. TREE PROTECTION FENCE IS SHOWN OFFSET FOR CLARITY. FENCE SHALL BE INSTALLED ON TCA BOUNDARY.
6. CRZ = CRITICAL ROOT ZONE
5. TREES OVER 10 INCHES DBH WITH 30% OR MORE OF THEIR CRZ IMPACTED BY DEVELOPMENT OR LOCATED OUTSIDE TREE CONSERVATION AREAS WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
6. TREES LISTED ON THE CITY OF RALEIGH INVASIVE SPECIES LIST WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
7. SEE TREE COVER REPORT FOR BASAL AREA CALCULATIONS.
8. TREE LOCATIONS ON THIS PLAN HAVE BEEN TAKEN FROM A TREE SURVEY PERFORMED BY KIMLEY-HORN & ASSOCIATES DATED DECEMBER 21, 2022.
9. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE STATED.
10. ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE SYSTEM (NAD 1983/2011).

TREE SURVEY LEGEND

Tree Label	Tree Name
T1	American beech
T2	American holly
T3	Black cherry
T4	Chinaberry*
T5	Crape myrtle
T6	Eastern redcedar
T7	Loblolly pine
T8	Persimmon
T9	Post oak
T10	Red maple
T11	Scarlet oak
T12	Shortleaf pine
T13	Southern red oak
T14	Sweetgum
T15	Tulippoplar
T16	Water oak
T17	White oak
T18	Willow oak

*Chinaberry is considered an invasive species and shall not be counted towards basal area calculations.

GRAPHIC SCALE IN FEET
0 20 40 80

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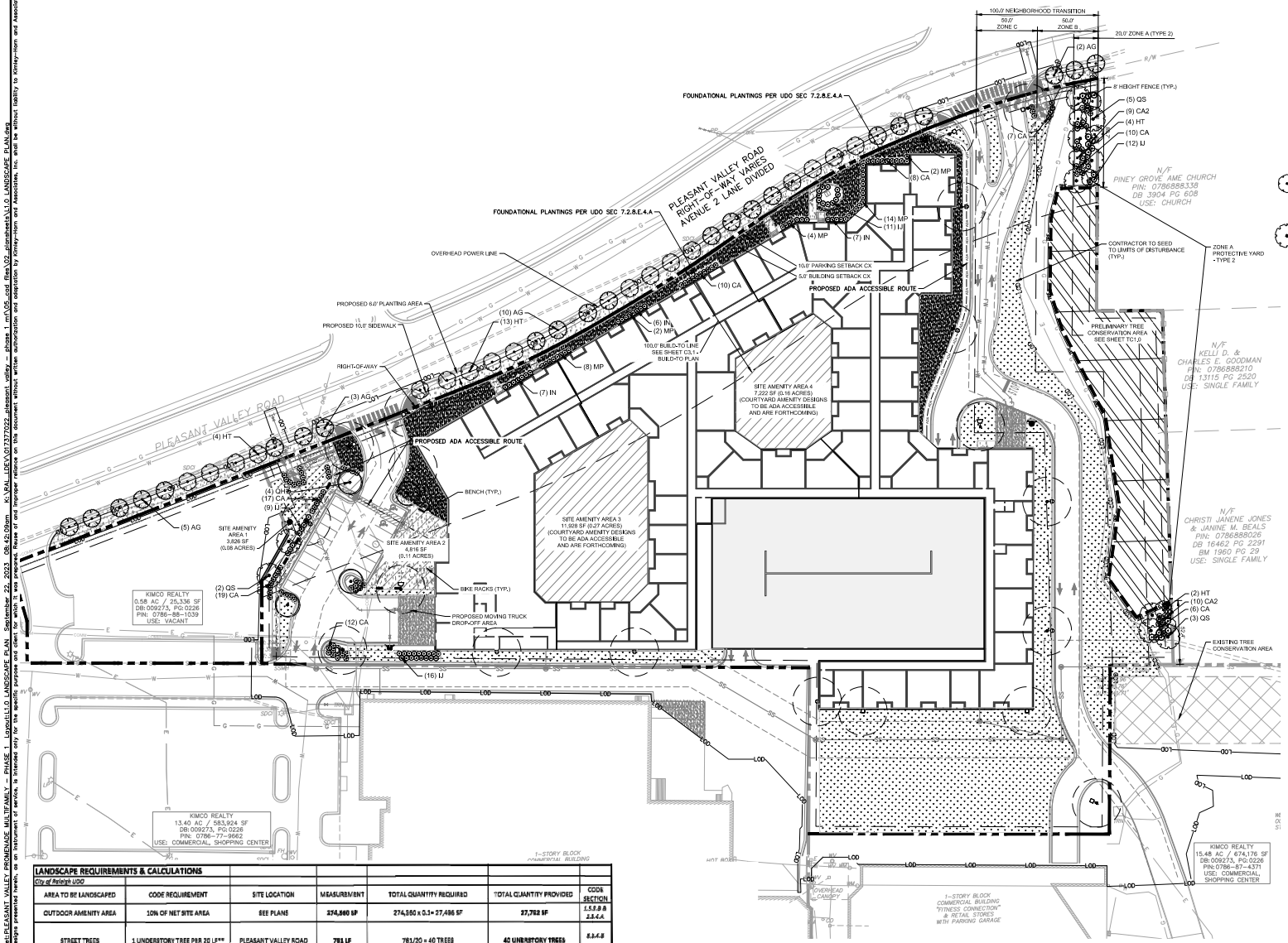
[redacted]

KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY AWF
DRAWN BY AWF
CHECKED BY AWF

TREE CONSERVATION PLAN

PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
TC1.0



SITE LEGEND

- TREE CONSERVATION AREA
- AMENITY AREA

PLANT SCHEDULE

TREES	CODE	QTY	COMMON / BOTANICAL NAME
	AG	22	AUTUMN BRILLIANCE APPLE SERVICEBERRY AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'
	HT	24	CAROLINA SILVERBELL HALESIA TETRAPTERA
	QH	4	HIGHBEAM® OVERCUP OAK QUERCUS LYRATA 'QLFTB'
	QS	10	POST OAK QUERCUS STELLATA
SHRUBS	**CODE**	**QTY**	**COMMON / BOTANICAL NAME**
	CA	94	AUTUMN SPIRIT CAMELLIA CAMELLIA X 'AUTUMN SPIRIT'
	CA2	19	AMERICAN BEAUTYBERRY CALLICARPA AMERICANA
	IJ	53	JERSEY PRINCESS AMERICAN HOLLY ILEX OPACA 'JERSEY PRINCESS'
	IN	20	DWARF YAUPON HOLLY ILEX VOMITORIA 'NANA'
	MP	30	DWARF WAX MYRTLE MYRICA CERIFERA 'PUMILA'
GROUND COVERS	**CODE**	**QTY**	**COMMON / BOTANICAL NAME**
	CD	42,374 SF	BERMUDAGRASS CYNODON DACTYLON
	CU	10,540 SF	SOD AREA CYNODON DACTYLON BERMUDA GRASS

NOTES:

1. SEE SHEET L2.0 LANDSCAPE DETAILS FOR LANDSCAPE INSTALLATIONS DETAILS, NOTES, AND FULL PLANT SCHEDULE.
2. PROPOSED SITE AMENITY AREA SHALL BE OR PROVIDE 50% ADA ACCESSIBILITY.

LANDSCAPE REQUIREMENTS & CALCULATIONS						
City of Raleigh UDO						
AREA TO BE LANDSCAPED	CODE REQUIREMENT	SITE LOCATION	MEASUREMENT	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
OUTDOOR AMENITY AREA	10% OF NET SITE AREA	SEE PLANS	274,960 SF	274,960 x 0.1= 27,496 SF	27,752 SF	1.5.5.B.6 2.5.4.A
STREET TREES	1 UNDERSTORY TREE PER 20 LF**	PLEASANT VALLEY ROAD	781 LF	781/20 = 40 TREES	40 UNDERSTORY TREES	5.3.4.B
						8.4.1.D.2
PERIMETER ISLAND VEHICLE PARKING LOT LANDSCAPING	20 SHRUBS PER 100 LF	SEE PLANS	90 LF	90/100 = 0.9*30 = 27 SHRUBS	34 SHRUBS	7.1.1.C
NEIGHBORHOOD TRANSITION TYPE 2 - 20' PROTECTIVE YARD	5 SHADE TREES, 4 UNDERSTORY TREES, 30 SHRUBS PER 100 LF	NORTHEAST PROPERTY BOUNDARY	89.7 LF	89.7/100 = 0.897 0.897*5 = 5 SHADE TREES 0.897*4 = 4 UNDERSTORY TREES 0.897*30 = 27 SHRUBS	5 SHADE TREES 5 UNDERSTORY TREES 28 SHRUBS	5.5.2.E
NEIGHBORHOOD TRANSITION TYPE 2 - 20' PROTECTIVE YARD	5 SHADE TREES, 4 UNDERSTORY TREES, 30 SHRUBS PER 100 LF	SOUTHEAST PROPERTY BOUNDARY	52.4 LF	52.4/100 = 0.524 0.524*5 = 3 SHADE TREES 0.524*4 = 2 UNDERSTORY TREES 0.524*30 = 16 SHRUBS	5 SHADE TREES 3 UNDERSTORY TREES 16 SHRUBS	5.5.2.E

*TREE CONSERVATION AREA TO MEET THE REQUIREMENTS OF *ARTICLE 9.1 TREE CONSERVATION* IN ORDER TO FUFILL PROTECTIVE YARD REQUIREMENT

NORTH

GRAPHIC SCALE IN FEET
0 20 40 80

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DESIGNED BY MAH
DRAWN BY MAH
CHECKED BY AMR

LANDSCAPE PLAN

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PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
L1.0

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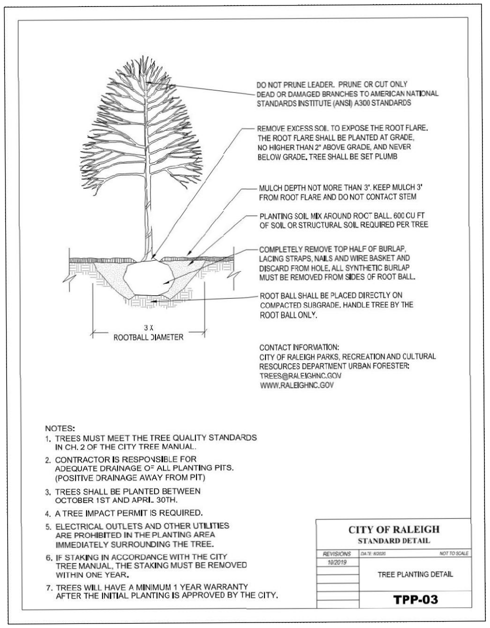
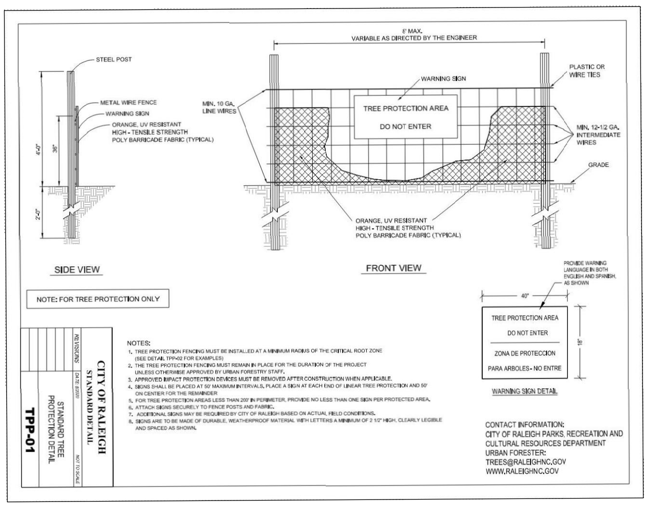


1 / L2.0 TYPICAL TREE PLANTING
SCALE: N.T.S. DETAIL



2 / L2.0 TYPICAL TREE PROTECTION FENCE
SCALE: N.T.S. DETAIL

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL	HEIGHT
	AG	22	AMELANCHIER X GRANDIFLORA `AUTUMN BRILLIANCE`	AUTUMN BRILLIANCE APPLE SERVICEBERRY	B&B	2" MIN.	8` MIN.
	HT	24	HALESIA TETRAPTERA	CAROLINA SILVERBELL	B&B	2" MIN.	8` MIN.
	QH	4	QUERCUS LYRATA 'QLFTB'	HIGHBEAM® OVERCUP OAK	B&B	2.5" MIN.	10`-12` HT.
	QS	10	QUERCUS STELLATA	POST OAK	B&B	2.5" MIN.	10`-12` HT.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HEIGHT	
	CA	94	CAMELLIA X 'AUTUMN SPIRIT'	AUTUMN SPIRIT CAMELLIA	3 GAL	18" MIN.	
	CA2	19	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	3 GAL	18" MIN.	
	IJ	53	ILEX OPACA 'JERSEY PRINCESS'	JERSEY PRINCESS AMERICAN HOLLY	3 GAL	24" MIN.	
	IN	20	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	3 GAL	12" MIN.	
	MP	30	MYRICA CERIFERA 'PUMILA'	DWARF WAX MYRTLE	3 GAL	12" MIN.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE		
	CD	42,374 SF	CYNODON DACTYLON	BERMUDAGRASS	SEED		
	CU	10,540 SF	CYNODON DACTYLON BERMUDA GRASS	SOD AREA	SOD		

GRASS SEED NOTES:

1. BERMUDA GRASS SEED MIX SHALL BE PENNINGTON BERMUDA TRIANGLE BLENDED BERMUDA SEED BY PENNINGTON SEED INC.
2. COMPLETE GRADING BEFORE PREPARING SEEDBEDS.
3. IF SOILS BECOME COMPACTED DURING GRADING, LOOSEN THEM TO A DEPTH OF 6-8 INCHES USING A RIPPER, HARROW, OR CHISEL PLOW.
4. SEED MIX SHALL BE APPLIED AT A MINIMUM RATE OF 88LBS PER ACRE.
5. CONTRACTOR SHALL ADD 25LBS PER ACRE OF ANNUAL RYE GRASS AS NURSE CROP UNTIL PERMANENT ESTABLISHMENT OF BERMUDA GRASS.
6. CONTRACTOR SHALL FOLLOW ALL PRODUCT, EXECUTION, AND MAINTENANCE SPECIFICATIONS PROVIDED BY THE MANUFACTURER.
7. GRASS SEED SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT THE WARRANTY PERIOD.
   - 7.1. LATER WINTER THROUGH SUMMER: REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.
   - 7.2. FALL: REPAIR AND REFERTILIZE DAMAGE AREAS IMMEDIATELY. TOPDRESS WITH 50LB PER ACRE OF NITROGEN IN MARCH.
8. SEEDBED PREP:
   - 8.1. TILL OR DISK THE PREPARED AREAS TO BE SEEDED TO A MINIMUM DEPTH OF FOUR INCHES.
   - 8.2. REMOVE STONES LARGER THAN THREE INCHES ON ANY SIDE, STICKS, ROOTS, AND OTHER EXTRANEOUS MATERIALS THAT SURFACE.
   - 8.3 IF NOT INCORPORATED DURING THE SOIL PREPERATION PROCESS, ADD PH MODIFIER AND FERTILIZERS AT THE RATE SPECIFIED IN THE SOIL TEST REPORT.
   - 8.4. RE-COMPACT THE AREA UTILIZING A CULTIPACKER ROLLER. THE FINISHED GRADE SHALL BE A SMOOTH EVEN SOIL SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE.
   - 8.5. EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. SMALL GRAINS SHOULD BE PLANTED NO MORE THAN 1 INCH DEEP, AND GRASSES AND LEGUMES NO MORE THAN $\frac{1}{2}$ INCH. BROADCAST SEED MUST BE COVERED BY RAKING OR CHAIN DRAGGING, AND THEN LIGHTLY FIRMED WITH A ROLLER OR CULTIPACKER. HYDROSEEDED MIXTURES SHOULD INCLUDE A WOOD FIBER MULCH.

GENERAL LANDSCAPE NOTES:

1. THE CONTRACT INCLUDES ALL DEMOLITION REQUIRED TO COMPLETE JOB, AND TO REMOVE AND TO DISPOSE OF ITEMS FROM SITE COMPLETELY IN ACCORDANCE WITH LOCAL LAWS. DO NOT BURN OR BURY ANY DEMOLITION ITEMS ON SITE. CONTRACTOR IS RESPONSIBLE FOR MAKING SITE VISIT TO DETERMINE AND VERIFY ALL DEMOLITION REQUIREMENTS PRIOR TO BIDDING. CONTRACTOR SHALL RECYCLE OR DISPOSE OF WASTE PRODUCTS AND PLANT CONTAINERS OFF-SITE IN A RESPONSIBLE MANNER.

2. PERMITS AND FEES REQUIRED FOR WORK MUST BE OBTAINED BY THE CONTRACTOR AT CONTRACTOR'S EXPENSE.

3. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING ADJACENT PLANTS, FACILITIES & STRUCTURES THAT ARE TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER. ADJACENT STREETS & SIDEWALKS SHALL BE MAINTAINED IN A CLEAN CONDITION, MUD & DUST-FREE.

4. EXISTING UTILITIES SHOWN ON LANDSCAPE DRAWINGS ARE FOR CONTRACTOR'S CONVENIENCE ONLY. THE CONTRACTOR MUST LOCATE & VERIFY ALL SUCH INFORMATION, INCLUDING INFORMATION NOT SHOWN ON PLANS, BY CONTACTING THE INDIVIDUAL UTILITY COMPANY & INVESTIGATING THE SITE TO DETERMINE THE EXACT LOCATION OF UTILITY LINES & STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS OWN EXPENSE, AND TO THE SATISFACTION OF THE PROJECT OWNER & THE UTILITY OWNER, DAMAGE TO ANY UTILITY CAUSED BY HIS WORK. HE SHALL IMMEDIATELY NOTIFY THE OWNER & THE UTILITY OWNER OF ANY DAMAGE TO ANY UTILITY BY HIS OPERATION.

5. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY THE OWNER IMMEDIATELY FOR CLARIFICATION.

6. UTILITY MANHOLE COVERS AND ACCESS BOX COVERS ARE TO BE LOCATED ENTIRELY WITHIN A PLANTED AREA OR A PAVED AREA, AND CLEAR OF ALL FENCE LINES. IF ANY CONDITION ARISES WHERE A UTILITY COVER IS TO CROSS A BOUNDARY OR FENCE LINE, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

9. ALL EXISTING SIGNAGE TO REMAIN TO BE PROTECTED IN PLACE OR STOCKPILED AND REINSTALLED UPON COMPLETION OF WORK UNLESS OTHERWISE NOTED OR SPECIFIED.

10. PLANT SPECIES ARE SELECTED FOR HARDINESS IN LOCAL CLIMATE. PERMANENT IRRIGATION IS NOT PART OF THIS CONTRACT. PLANTS ARE TO BE WATERED BY CONTRACTOR DURING ESTABLISHMENT PERIOD.

11. FOR LANDSCAPE REQUIREMENTS AND CALCULATIONS SEE TABLE ON SHEET L1.0.

12. IF CONTRACTOR IS UNABLE TO LOCATE/PURCHASE ANY OF THE SPECIFIED PLANT MATERIAL LISTED ON SHEET L1.0, THE CONTRACTOR SHALL SUBMIT ANY SPECIES ALTERNATIVES TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.

PLANTING NOTES:

(SEE PLANTING PLAN)

1. ALL PLANTS PROVIDED BY CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z601-1973 IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY, AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.

2. ALL PLANTS ARE TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.

3. ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 3 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.

4. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH OWNER PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE PLANT SCHEDULE) AT THE NURSERY FOR APPROVAL BY THE OWNER PRIOR TO PURCHASING PLANTS.

5. OWNER SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE OWNER.

6. ALL PLANTS AND PLANTING BEDS SHALL BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED. LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. THE CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.

7. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE BEFORE PLANTING.

8. ALL LANDSCAPE AREAS TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN AND DRAINAGE PLANS FOR SPECIFIC GRADING INFORMATION AND PIPE INVERTS.

9. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR INSTALLATION OF MULCH.

10. ALL SHRUB, GROUND COVER & ANNUAL PLANTING BEDS SHALL BE FILLED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. MULCH SHALL BE DARK BROWN, DESIGNER-GRADE, DOUBLE-SHREDDED HARDWOOD. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.

11. FINISH OFF 2' - 4' CLEAR ZONE AROUND TREES WITH A 3" LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND AROUND ROOT FLARE.

12. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL COMPLETION OF WORK.

13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO COMPLETION OF WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY AND SIZE TO MEET PLANT SPECIFICATIONS.

14. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING.

15. EXISTING PLANT MATERIAL MAY BE USED TO SATISFY PERIMETER PARKING ISLAND REQUIREMENTS. EXISTING MATERIAL MUST BE IN ADEQUATE HEALTH AND MEET SIZE AND SPECIES REQUIREMENTS AS LISTED IN THE CITY OF RALEIGH UDO TO BE COUNTED. PLANT MATERIAL SHOWN ON SHEET C7.0 AS PERIMETER ISLAND PLANTINGS REPRESENT THE CORRECT NUMBER OF PLANTS TO SATISFY PERIMETER ISLAND REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE TO FLAG ADEQUATE PLANT MATERIAL TO PRESERVE, PRIOR TO LANDSCAPE INSTALLATION.

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS; MORE STRINGENT SHALL GOVERN.

SURVEY NOTE:
ALL EXISTING TOPOGRAPHICAL, BOUNDARY, SUBSURFACE UTILITY INFORMATION WAS PROVIDED WITHIN A TOPOGRAPHIC SURVEY OF PLEASANT VALLEY SHOPPING CENTER PREPARED BY GSC SURVEYING, INC., 4072 BARRETT DRIVE, RALEIGH, NC 27609, (919) 787-5805, DATED 10/10/2018 AND REVISED 03/10/2023.

811 Know what's below. Call before you dig.

No.	REVISIONS	DATE	BY
4	REVISED PER CITY ASR COMMENTS	9/22/2023	CDL
3	REVISED PER CITY ASR COMMENTS	9/1/2023	CDL
2	REVISED PER CITY ASR COMMENTS	7/28/2023	CDL
1	REVISED PER CITY ASR COMMENTS	6/7/2023	CDL

Kimley»Horn
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WWW.KIMLEY-HORN.COM
#F-0102

[redacted]

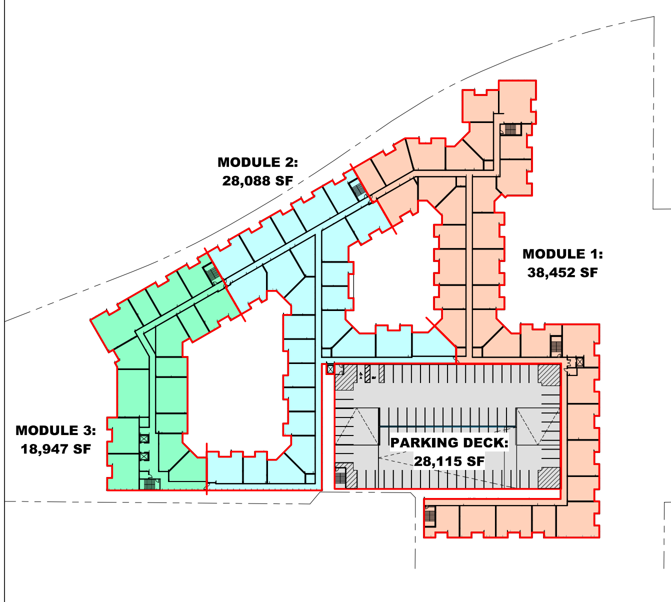
KHA PROJECT 017377022
DATE 03/31/2023
SCALE AS SHOWN
DESIGNED BY MAH
DRAWN BY MAH
CHECKED BY AMR

LANDSCAPE DETAILS

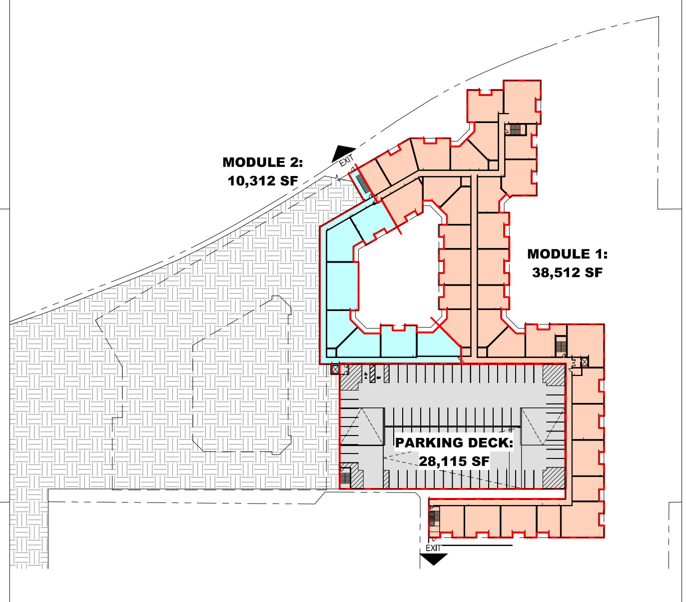
PLEASANT VALLEY PROMENADE
MULTIFAMILY - PHASE 1
PREPARED FOR
KIMCO RALEIGH LIMITED PARTNERSHIP
RALEIGH NC

SHEET NUMBER
L2.0

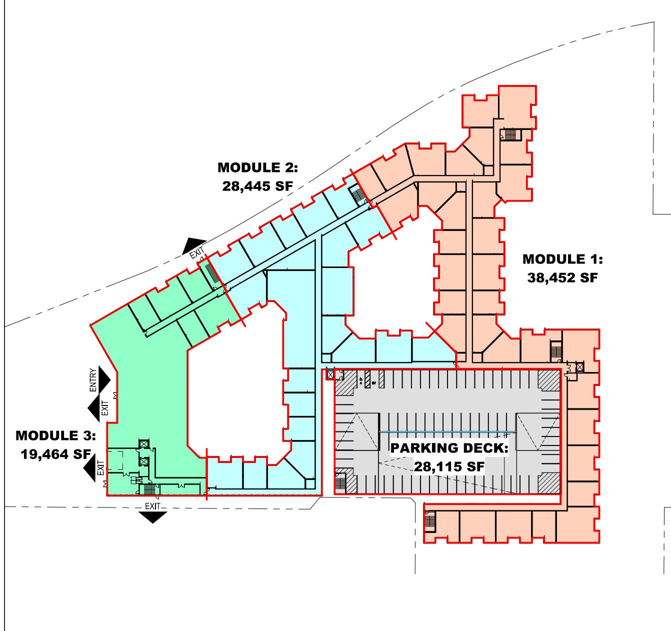
Plotted By: Tyndall, Sarah (Raleigh) Sheet Set: PLEASANT VALLEY PROMENADE MULTIFAMILY - PHASE 1 Layout: L2.0 LANDSCAPE DETAILS September 22, 2023 08:42:19am K:\RAL_LDEV\017377022_pleasant valley - phase 1 mf\05_cad files\02_plansheets\L2.0 LANDSCAPE DETAILS.dwg
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



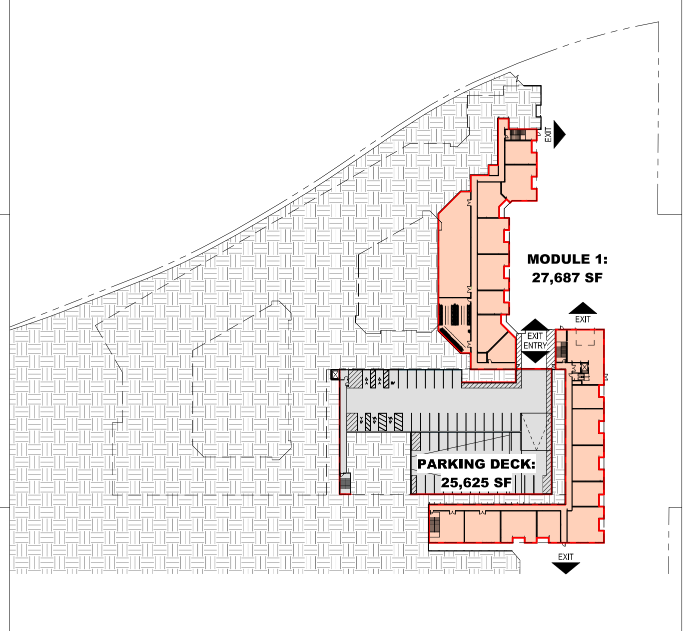
FIRE AREA PLAN - LEVEL 2 C4
1" = 50'-0"



FIRE AREA PLAN - LOWER LEVEL C2
1" = 50'-0"



FIRE AREA PLAN - LEVEL 1 A4
1" = 50'-0"



FIRE AREA PLAN - GROUND LEVEL A2
1" = 50'-0"

PRELIMINARY CODE REVIEW :

PROJECT NAME:	**PLEASANT VALLEY PROMENADE**
PROJECT LOCATION:	xxxxxxxxx , RALEIGH, NORTH CAROLINA
PROJECT SUMMARY	
TYPES OF CONSTRUCTION	FIRE AREAS 1: TYPE 3A FIRE AREAS 2 AND 3: TYPE 3A FIRE AREAS 4: IA
APPLICABLE CODES & STANDARDS	STATE OF NORTH CAROLINA: 2018 NORTH CAROLINA STATE BUILDING CODE

BUILDING: 2018 NORTH CAROLINA STATE BUILDING CODE / 2015 ICC
MECHANICAL: 2018 NORTH CAROLINA STATE MECHANICAL CODE / 2015 IMC
PLUMBING: 2018 NORTH CAROLINA STATE PLUMBING CODE / 2015 IPC
ELECTRICAL: 2017 NORTH CAROLINA STATE ELECTRICAL CODE (BASED ON NEC WITH NC AMENDMENTS)

ENERGY: 2018 NORTH CAROLINA STATE ENERGY CONSERVATION CODE K/ 2015 IECC
FIRE: 2018 NORTH CAROLINA STATE FIRE PREVENTION CODE / 2015 IFC
LIFE SAFETY: 2018 NC STATE BUILDING CODE / 2015 ICC & 2018 NC STATE FIRE PREVENTION CODE / 2015 IFC
ACCESSIBILITY: 2018 NORTH CAROLINA STATE BUILDING CODE / 2015 ICC / 2009 ANSI A117.1
ZONING: ZONING BY LAW OF WILMINGTON, NC

BUILDING HEIGHT AND AREA

ALLOWABLE AREA PER TABLE 506.2
R2= UNLIMITED

AREA

MODULE GROSS AREAS

MODULE 1	
FIRE AREA	**TYPE 3A**
GROUND	27,687 SF
LOWER LEVEL	38,512 SF
LEVEL 1	38,452 SF
LEVEL 2	38,452 SF
LEVEL 3	38,452 SF
LEVEL 4	17,688 SF
LEVEL 5	———
TOTAL SF	199,243 SF

ALLOWABLE =

MODULE 2	
FIRE AREA	**TYPE 3A**
GROUND	———
LOWER LEVEL	10,312 SF
LEVEL 1	28,445 SF
LEVEL 2	28,088 SF
LEVEL 3	28,028 SF
LEVEL 4	28,028 SF
LEVEL 5	26,738 SF
TOTAL SF	149,639 SF

ALLOWABLE =

MODULE 3	
FIRE AREA	**TYPE 3A**
GROUND	———
LOWER LEVEL	———
LEVEL 1	19,464 SF
LEVEL 2	18,947 SF
LEVEL 3	18,767 SF
LEVEL 4	18,767 SF
LEVEL 5	18,767 SF
TOTAL SF	94,712 SF

ALLOWABLE =

PARKING DECK	
FIRE AREA	**TYPE 1A**
GARAGE 1	25,625 SF
GARAGE 2	28,115 SF
GARAGE 3	28,115 SF
GARAGE 4	28,115 SF
GARAGE 5	28,115 SF
GARAGE 6	28,115 SF
TOTAL SF	166,200 SF

ALLOWABLE =

BUILDING USE & OCCUPANCY

- **CHAPTER 3: USE & OCCUPANCY CLASSIFICATION:**
  (MIXED USE OCCUPANCY)

A-3: LOBBY/ POOL DECK/ AMENITY SPACES/ EXTERIOR COURTYARD
R-2: DWELLING UNITS
S-1: TRASH ROOM AT GROUND FLOOR
S-2: PARKING GARAGE / STORAGE / MECH AREAS
B: LEASING OFFICE / CO-WORKING

- FULLY SPRINKLERED PER IBC SECTION 903.3.1.1

HEIGHT

GENERAL HEIGHT LIMITATION (2018 IBC TABLE 504.3)		V-A: 70'-0" (PER BUILDING CODE) / 54'-8" + 5'-0" PARAPET EXTENSION ***(PER PUD REQUIREMENTS)***
HEIGHT MODIFICATIONS (2018 IBC SECTION 504)		IIB: 75'-0" /8 TIERS(PER TBL 406.5.4)/68'-0" + 6'-0" PARAPET EXTENSION ***(PER COW ZONING)***
HEIGHT	TYPE VA (RESIDENTIAL) TYPE IIB (PARKING DECK)	70' - 0" MAX HEIGHT IF NFPA 13 FIRE SUPPRESSION SYSTEM IS PRESENT 75' - 0"/8 TIERS
NUMBER OF STORIES	TYPE VA (RESIDENTIAL) TYPE IIB (PARKING DECK)	4 STORIES ABOVE GRADE PLANE (*4 STORIES MAX FOR BUILDINGS WITH AUTOMATIC SPRINKLER INSTALLED IN ACCORDANCE WITH IBC SECTION 903.3.1.1*) 5 TIERS
ACTUAL HEIGHT OF BUILDING	TYPE VA (RESIDENTIAL) TYPE IIB (PARKING DECK)	54-'8" FT MAX (GRADE IS *MEASURED FROM AVERAGE GRADE TO HIGHEST ROOF* 68 FT MAX.

FIRE-RESISTANCE

FIRE - RESISTANCE RATINGS FOR BUILDING ELEMENTS (2018 IBC TABLES 601 & 602)

	BUILDING A1 - TYPE VA	**BUILDINGS A2 & A3- TYPE VA**	**BUILDING A4 - TYPE IIB**
STRUCTURAL FRAME (2018 IBC TABLE 601)	1-HOUR	1-HOUR	0-HOUR
EXTERIOR BEARING WALLS (2018 IBC TABLE 601)	1-HOUR	1-HOUR	0-HOUR
INTERIOR BEARING WALLS (2018 IBC TABLE 601)	1-HOUR	1-HOUR	0-HOUR
EXTERIOR NON-BEARING WALLS (2018 IBC TABLE 602)	0-HOUR	0-HOUR	0-HOUR
INTERIOR NON-BEARING WALLS (2018 IBC TABLE 601)	0-HOUR	0-HOUR	0-HOUR
FLOOR CONSTRUCTION (2018 IBC TABLE 601)	1-HOUR	1-HOUR	0-HOUR
ROOF CONSTRUCTION (2018 IBC TABLE 601)	1-HOUR	1-HOUR	0-HOUR

STAIRS (2018 IBC 1009.1) & (NFPA 101 TABLE 7.2.2.2.1.1(a)		☐ OPEN ☒ ENCLOSED	
	STAIR WIDTH	MIN. REQUIRED: 44"	MIN. PROVIDED: 44"
	NUMBER OF FLOORS CONNECTED	6 FLOORS	
ELEVATOR LOBBIES REQUIRED (2018 IBC 713.14.)		☒ YES ☐ NO ☐ N/A	
	FLOOR	NO - BECAUSE WE MEET SPRINKLER REQUIREMENT EXCEPTION. WE WILL PROVIDE SMOKEGUARDS AT ELEVATOR DOORS PER NC REQUIREMENT	
FIRE PROTECTION SYSTEM (2018 IBC 903.3.1.1) & (NFPA 101 30.3.5 TABLE 30.3.2.1.1.)			
	SPRINKLER SYSTEM	REQUIRED	☒ YES ☐ NO ☐ N/A
		REQUIRED	☒ NFPA 13 ☐ NFPA 13R ☐ N/A
	STAND PIPES REQUIRED	☒ YES (GREATER THAN 30' ABOVE FIRE DEPARTMENT VEHICLE ACCESS) ☐ NO	
	FIRE EXTINGUISHERS (TYPE 2A-5 LB ONE 4LB CLASS1-10:10 B:C FIRE EXTINGUISHER IN UNITS AND 2A-10 LB FIRE EXTINGUISHER IN PUBLIC SPACES	TYPE	☐ DRY ☒ WET
		MAX. SEPARATION DISTANCE ALLOWED: 75'-0" (TABLE 906.3(1))	
SMOKE SEPARATION / DRAFTSTOPPING			
	FLOOR CAVITY (2018 IBC 718.3.2)	☐ YES ☒ NO (NFPA 13 FIRE SUPPRESSION SYSTEM)	****NOTE: DRAFT CURTAINS REQUIRED****
	ATTIC AREA (2018 IBC 718.4.2)	☐ YES ☒ NO (NFPA 13 FIRE SUPPRESSION SYSTEM)	
EXITS REQUIRED (2018 IBC 1006)			
	BUILDING EXITS	PER FLOOR - 2 MINIMUM WITHIN ALLOWED TRAVEL	
	HORIZONTAL EXITS (2018 IBC 1026)	PER FLOOR - 1 MINIMUM WITHIN ALLOWED TRAVEL	
	TRAVEL DISTANCE (NFPA 101 - UNIT DOOR TO EXIT/EXIT)	MAXIMUM ALLOWED MAXIMUM PROVIDED	250' - SPRINKLERED (R-2) **** SEE LIFE SAFETY PLAN ****
	DEAD END CORRIDOR (NFPA 101)	MAXIMUM DIST. ALLOWED MAXIMUM DIST. PROVIDED	50' (NFPA 101) **** SEE LIFE SAFETY PLAN****
	UNITS OF EGRESS (2018 IBC 1005.3)	REQUIRED: 0.2" PER PERSON (LEVEL) , 0.2 PER EXIT DOOR AND 0.3" PER PERSON (STAIRS) PROVIDED: ***SEE LIFE SAFETY PLAN***	
	TRAVEL DISTANCE WITHIN A DWELLING UNIT	MAXIMUM ALLOWED 125'-0" (*IF UNIT SIZE < 2,000 SF*) 75'-0" OTHERWISE	***NOT APPLICABLE***
		MAXIMUM PROVIDED - SEE CODE DATA PLAN	***NOT APPLICABLE***
ROOF ACCESS (2018 IBC 1011.12)		☐ STAIR ☒ LADDER ☐ N/A	
ATTIC VENTILATION REQUIRED (2018 IBC 1203.2)		☐ YES ☐ NO ☐ N/A	
		☐ PASSIVE ☐ MECH ☐ N/A	

ARCHITECTURE PLANNING INTERIORS
LANDSCAPE ARCHITECTURE GRAPHICS
Ci
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RALEIGH, NC
530 HILLSBOROUGH STREET
ci-designinc.com

OWNER:
KIMCO RALEIGH L.P.

PRELIMINARY
FOR REVIEW ONLY
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PLEASANT VALLEY PROMENADE

3917 PLEASANT VALLEY ROAD
RALEIGH, NC 27612

CLIENT: KIMCO RALEIGH L.P.

REV	DATE	DESCRIPTION

DESIGN DELIVERABLE: ADMINISTRATIVE SITE REVIEW
ISSUE DATE: 09.22.2023
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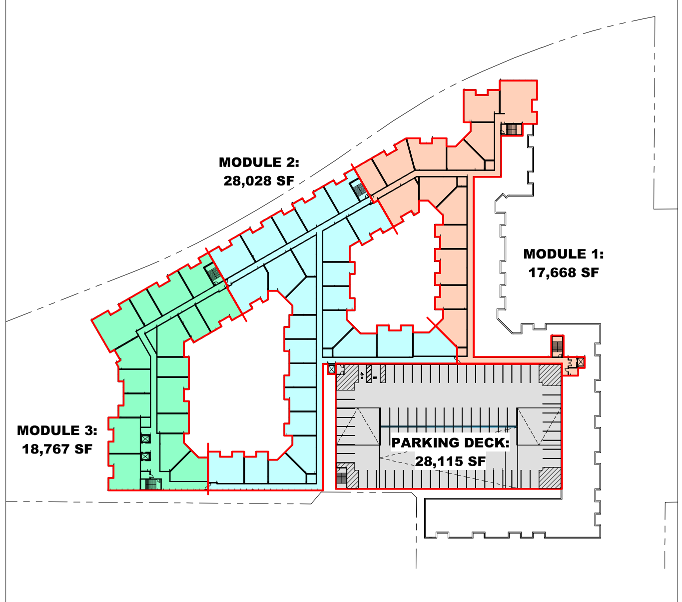
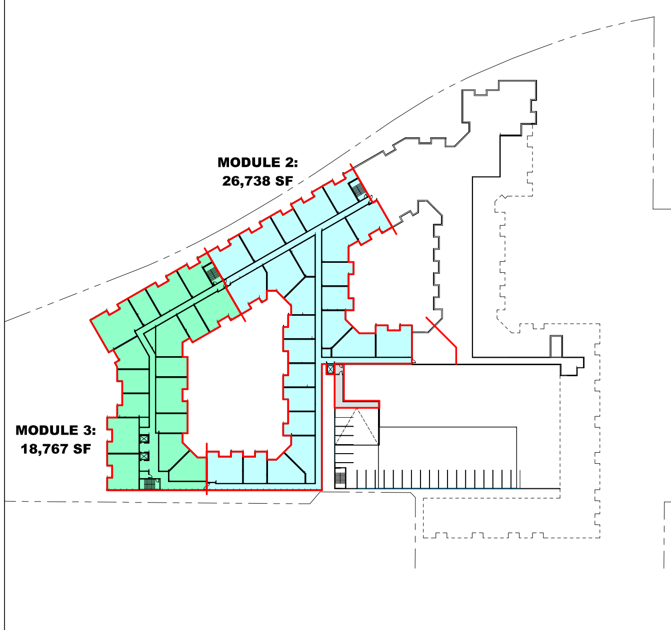
DRAWN BY: AV, JS, MCD
CHECKED BY: MN, JG
PROJECT NUMBER: 300.10.22230.000

SHEET TITLE:
FIRE AREA PLANS & CODE SUMMARY

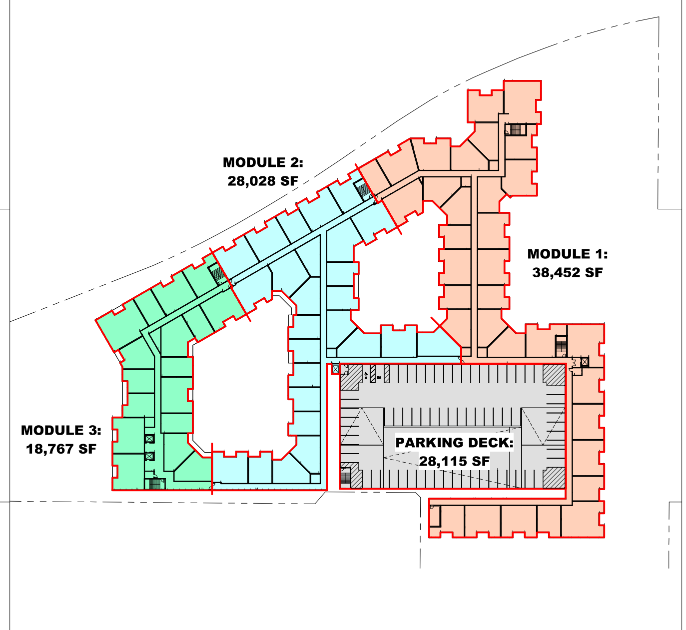
SHEET NUMBER:
G003



FIRE AREA PLAN - LEVEL 4
1" = 50'-0"
C2



FIRE AREA PLAN - LEVEL 5
1" = 50'-0"
A4



FIRE AREA PLAN - LEVEL 3
1" = 50'-0"
A2

PRELIMINARY CODE REVIEW :

PROJECT NAME:	**PLEASANT VALLEY PROMENADE**
PROJECT LOCATION:	xxxxxxxxx , RALEIGH, NORTH CAROLINA
PROJECT SUMMARY	
TYPES OF CONSTRUCTION	FIRE AREAS 1: TYPE 3A; FIRE AREAS 2 AND 3: TYPE 3A; FIRE AREAS 4: IA
APPLICABLE CODES & STANDARDS	STATE OF NORTH CAROLINA: 2018 NORTH CAROLINA STATE BUILDING CODE

BUILDING: 2018 NORTH CAROLINA STATE BUILDING CODE / 2015 ICC
MECHANICAL: 2018 NORTH CAROLINA STATE MECHANICAL CODE / 2015 IMC
PLUMBING: 2018 NORTH CAROLINA STATE PLUMBING CODE / 2015 IPC
ELECTRICAL: 2017 NORTH CAROLINA STATE ELECTRICAL CODE (BASED ON NEC WITH NC AMENDMENTS)

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FIRE: 2018 NORTH CAROLINA STATE FIRE PREVENTION CODE / 2015 IFC
LIFE SAFETY: 2018 NC STATE BUILDING CODE / 2015 ICC & 2018 NC STATE FIRE PREVENTION CODE / 2015 IFC
ACCESSIBILITY: 2018 NORTH CAROLINA STATE BUILDING CODE / 2015 ICC / 2009 ANSI A117.1
ZONING: ZONING BY LAW OF WILMINGTON, NC

BUILDING HEIGHT AND AREA

ALLOWABLE AREA PER TABLE 506.2
R2= UNLIMITED

AREA

MODULE GROSS AREAS

MODULE 1	
FIRE AREA	**TYPE 3A**
GROUND	27,687 SF
LOWER LEVEL	38,512 SF
LEVEL 1	38,452 SF
LEVEL 2	38,452 SF
LEVEL 3	38,452 SF
LEVEL 4	17,688 SF
LEVEL 5	———
TOTAL SF	199,243 SF

ALLOWABLE =

MODULE 2	
FIRE AREA	**TYPE 3A**
GROUND	———
LOWER LEVEL	10,312 SF
LEVEL 1	28,445 SF
LEVEL 2	28,088 SF
LEVEL 3	28,028 SF
LEVEL 4	28,028 SF
LEVEL 5	26,738 SF
TOTAL SF	149,639 SF

ALLOWABLE =

MODULE 3	
FIRE AREA	**TYPE 3A**
GROUND	———
LOWER LEVEL	———
LEVEL 1	19,464 SF
LEVEL 2	18,947 SF
LEVEL 3	18,767 SF
LEVEL 4	18,767 SF
LEVEL 5	18,767 SF
TOTAL SF	94,712 SF

ALLOWABLE =

PARKING DECK	
FIRE AREA	**TYPE 1A**
GARAGE 1	25,625 SF
GARAGE 2	28,115 SF
GARAGE 3	28,115 SF
GARAGE 4	28,115 SF
GARAGE 5	28,115 SF
GARAGE 6	28,115 SF
TOTAL SF	166,200 SF

ALLOWABLE =

BUILDING USE & OCCUPANCY

- **CHAPTER 3: USE & OCCUPANCY CLASSIFICATION:**
  (MIXED USE OCCUPANCY)

A-3: LOBBY/ POOL DECK/ AMENITY SPACES/ EXTERIOR COURTYARD
R-2: DWELLING UNITS
S-1: TRASH ROOM AT GROUND FLOOR
S-2: PARKING GARAGE / STORAGE / MECH AREAS
B: LEASING OFFICE / CO-WORKING

- FULLY SPRINKLERED PER IBC SECTION 903.3.1.1

HEIGHT

GENERAL HEIGHT LIMITATION (2018 IBC TABLE 504.3)		V-A: 70'-0" (PER BUILDING CODE) / 54'-8" + 5'-0" PARAPET EXTENSION ***(PER PUD REQUIREMENTS)***
HEIGHT MODIFICATIONS (2018 IBC SECTION 504)		IIB: 75'-0" /8 TIERS(PER TBL 406.5.4)/68'-0" + 6'-0" PARAPET EXTENSION ***(PER COW ZONING)***
HEIGHT	TYPE VA (RESIDENTIAL) TYPE IIB (PARKING DECK)	70' - 0" MAX HEIGHT IF NFPA 13 FIRE SUPPRESSION SYSTEM IS PRESENT 75' - 0"/8 TIERS
NUMBER OF STORIES	TYPE VA (RESIDENTIAL) TYPE IIB (PARKING DECK)	4 STORIES ABOVE GRADE PLANE (*4 STORIES MAX FOR BUILDINGS WITH AUTOMATIC SPRINKLER INSTALLED IN ACCORDANCE WITH IBC SECTION 903.3.1.1*) 5 TIERS
ACTUAL HEIGHT OF BUILDING	TYPE VA (RESIDENTIAL) TYPE IIB (PARKING DECK)	54-'8" FT MAX (GRADE IS *MEASURED FROM AVERAGE GRADE TO HIGHEST ROOF* 68 FT MAX.

FIRE-RESISTANCE

FIRE - RESISTANCE RATINGS FOR BUILDING ELEMENTS (2018 IBC TABLES 601 & 602)

	BUILDING A1 - TYPE VA	**BUILDINGS A2 & A3- TYPE VA**	**BUILDING A4 - TYPE IIB**
STRUCTURAL FRAME (2018 IBC TABLE 601)	1-HOUR	1-HOUR	0-HOUR
EXTERIOR BEARING WALLS (2018 IBC TABLE 601)	1-HOUR	1-HOUR	0-HOUR
INTERIOR BEARING WALLS (2018 IBC TABLE 601)	1-HOUR	1-HOUR	0-HOUR
EXTERIOR NON-BEARING WALLS (2018 IBC TABLE 602)	0-HOUR	0-HOUR	0-HOUR
INTERIOR NON-BEARING WALLS (2018 IBC TABLE 601)	0-HOUR	0-HOUR	0-HOUR
FLOOR CONSTRUCTION (2018 IBC TABLE 601)	1-HOUR	1-HOUR	0-HOUR
ROOF CONSTRUCTION (2018 IBC TABLE 601)	1-HOUR	1-HOUR	0-HOUR

STAIRS (2018 IBC 1009.1) & (NFPA 101 TABLE 7.2.2.2.1.1(a)		☐ OPEN ☒ ENCLOSED
	STAIR WIDTH	MIN. REQUIRED: 44" MIN. PROVIDED: 44"
	NUMBER OF FLOORS CONNECTED	6 FLOORS
ELEVATOR LOBBIES REQUIRED (2018 IBC 713.14.)		☒ YES ☐ NO ☐ N/A
	FLOOR	NO - BECAUSE WE MEET SPRINKLER REQUIREMENT EXCEPTION. WE WILL PROVIDE SMOKEGUARDS AT ELEVATOR DOORS PER NC REQUIREMENT
FIRE PROTECTION SYSTEM (2018 IBC 903.3.1.1) & (NFPA 101 30.3.5 TABLE 30.3.2.1.1.)		
	SPRINKLER SYSTEM	REQUIRED: ☒ YES ☐ NO ☐ N/A REQUIRED: ☒ NFPA 13 ☐ NFPA 13R ☐ N/A
	STAND PIPES REQUIRED	☒ YES (GREATER THAN 30' ABOVE FIRE DEPARTMENT VEHICLE ACCESS) ☐ NO
	FIRE EXTINGUISHERS (TYPE 2A-5 LB ONE 4LB CLASS1-10:10 B:C FIRE EXTINGUISHER IN UNITS AND 2A-10 LB FIRE EXTINGUISHER IN PUBLIC SPACES	TYPE: ☐ DRY ☒ WET MAX. SEPARATION DISTANCE ALLOWED: 75'-0" (TABLE 906.3(1))
SMOKE SEPARATION / DRAFTSTOPPING		
	FLOOR CAVITY (2018 IBC 718.3.2)	☐ YES ☒ NO (NFPA 13 FIRE SUPPRESSION SYSTEM)
	ATTIC AREA (2018 IBC 718.4.2)	☐ YES ☒ NO (NFPA 13 FIRE SUPPRESSION SYSTEM)
		****NOTE: DRAFT CURTAINS REQUIRED****
EXITS REQUIRED (2018 IBC 1006)		
	BUILDING EXITS	PER FLOOR - 2 MINIMUM WITHIN ALLOWED TRAVEL
	HORIZONTAL EXITS (2018 IBC 1026)	PER FLOOR - 1 MINIMUM WITHIN ALLOWED TRAVEL
	TRAVEL DISTANCE (NFPA 101 - UNIT DOOR TO EXIT/EXIT)	MAXIMUM ALLOWED / MAXIMUM PROVIDED: 250' - SPRINKLERED (R-2) **** SEE LIFE SAFETY PLAN ****
	DEAD END CORRIDOR (NFPA 101)	MAXIMUM DIST. ALLOWED / MAXIMUM DIST. PROVIDED: 50' (NFPA 101) **** SEE LIFE SAFETY PLAN****
	UNITS OF EGRESS (2018 IBC 1005.3)	REQUIRED: 0.2" PER PERSON (LEVEL) , 0.2 PER EXIT DOOR AND 0.3" PER PERSON (STAIRS) PROVIDED: ***SEE LIFE SAFETY PLAN***
	TRAVEL DISTANCE WITHIN A DWELLING UNIT	MAXIMUM ALLOWED 125'-0" (*IF UNIT SIZE < 2,000 SF*) 75'-0" OTHERWISE — ***NOT APPLICABLE*** MAXIMUM PROVIDED - SEE CODE DATA PLAN — ***NOT APPLICABLE***
ROOF ACCESS (2018 IBC 1011.12)		☐ STAIR ☒ LADDER ☐ N/A
ATTIC VENTILATION REQUIRED (2018 IBC 1203.2)		☐ YES ☐ NO ☐ N/A ☐ PASSIVE ☐ MECH ☐ N/A

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PLEASANT VALLEY PROMENADE

3917 PLEASANT VALLEY ROAD
RALEIGH, NC 27612
CLIENT: KIMCO RALEIGH L.P.

REV	DATE	DESCRIPTION

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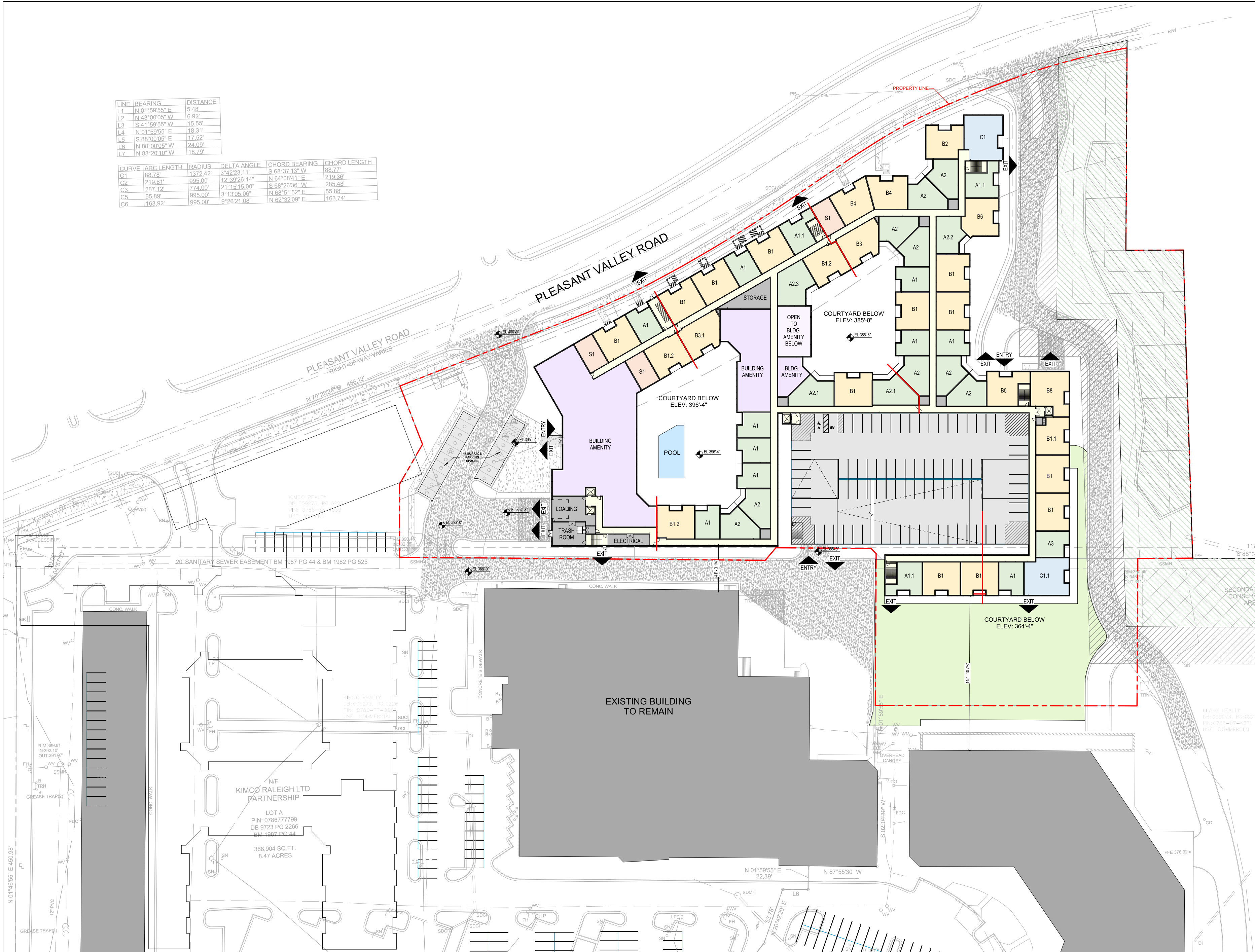
CHECKED BY: MN, JG
PROJECT NUMBER: 300.10.22230.000

SHEET TITLE:
FIRE AREA PLANS & CODE SUMMARY

SHEET NUMBER:
G004

LINE	BEARING	DISTANCE
L1	N 01°59'55" E	5.48'
L2	N 43°00'05" W	6.92'
L3	S 41°59'55" W	15.55'
L4	N 01°59'55" E	18.31'
L5	S 88°00'05" E	17.52'
L6	N 88°00'05" W	24.09'
L7	N 88°20'10" W	18.79'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	88.78'	1372.42'	3°42'23.11"	S 68°37'13" W	88.77'
C2	219.81'	995.00'	12°39'26.14"	N 64°08'41" E	219.36'
C3	287.12'	774.00'	21°15'15.00"	S 68°26'36" W	285.48'
C5	55.89'	995.00'	3°13'05.06"	N 68°51'52" E	55.88'
C6	163.92'	995.00'	9°26'21.08"	N 62°32'09" E	163.74'



ARCHITECTURAL SITE PLAN 1
1/32" = 1'-0"

5 4 3 2 1

D C B A

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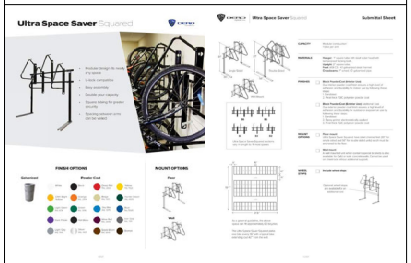
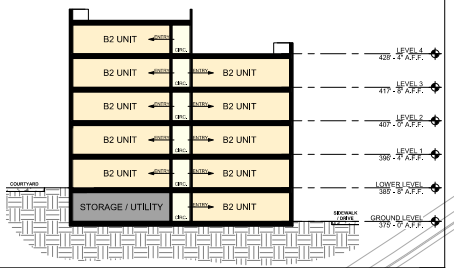
SHEET TITLE:
ARCHITECTURAL SITE PLAN

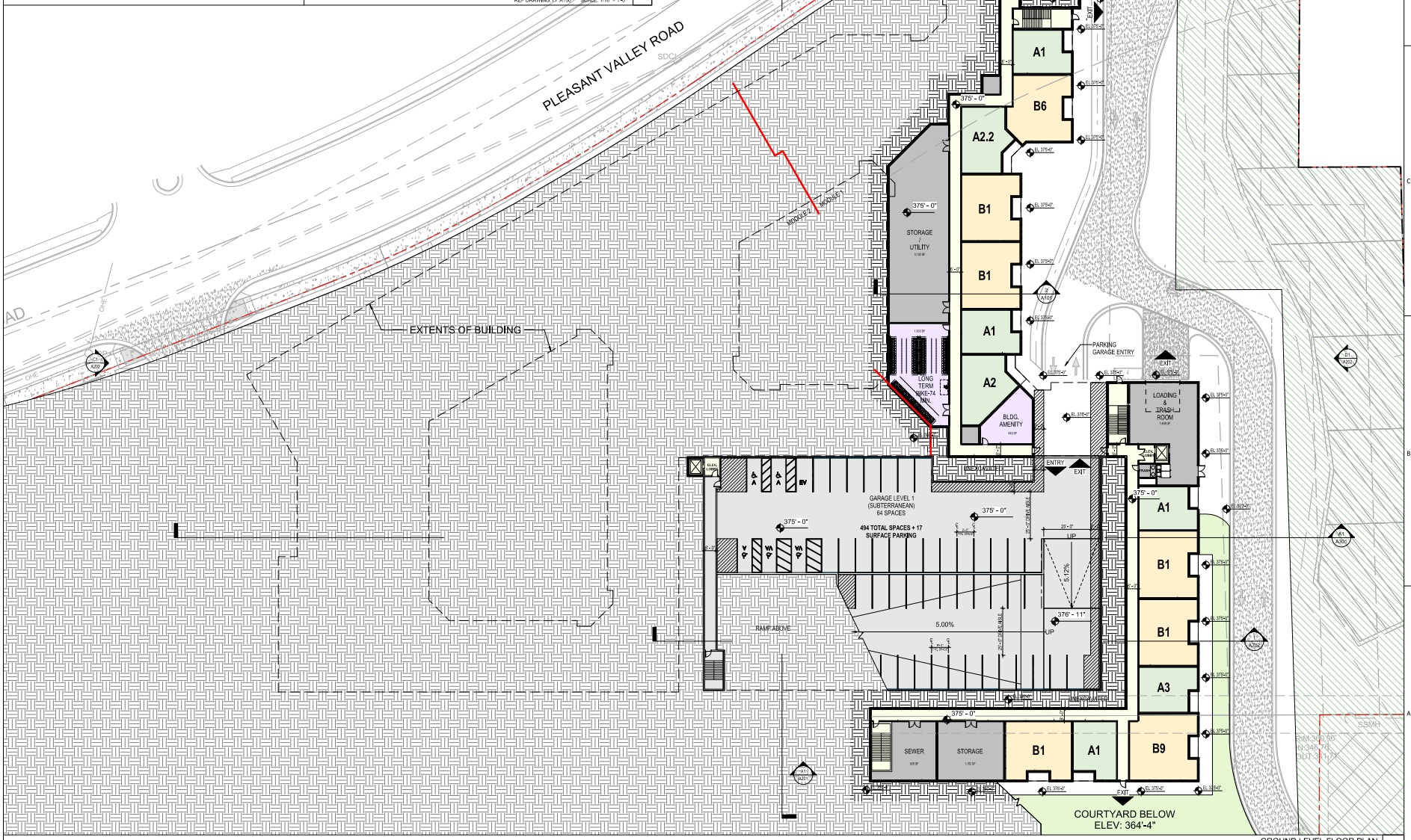
SHEET NUMBER:
A001

BIKE RACK INFO FOR LONG TERM BIKE PARKING ROOM





DIAGRAMATIC BUILDING SECTION 2
REF DRAWING 1/ A100 SCALE: 1/16" = 1'-0"



GROUND LEVEL FLOOR PLAN 1" = 20'-0" A1

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SHEET TITLE:
GROUND LEVEL FLOOR PLAN

SHEET NUMBER:
A101

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SHEET TITLE:
LOWER LEVEL FLOOR PLAN

SHEET NUMBER:
A102

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LEVEL 1 FLOOR PLAN
1" = 20'-0"
A1

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SHEET TITLE:
LEVEL 1 FLOOR PLAN

SHEET NUMBER:
A103

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LEVEL 2 FLOOR PLAN
1" = 20'-0"

A1

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SHEET TITLE:
LEVEL 2 FLOOR PLAN

SHEET NUMBER:
A104

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LEVEL 3 FLOOR PLAN
1" = 20'-0"
A1

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SHEET TITLE:
LEVEL 3 FLOOR PLAN

SHEET NUMBER:
A105

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LEVEL 4 FLOOR PLAN
1" = 20'-0"
A1

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SHEET TITLE:
LEVEL 4 FLOOR PLAN

SHEET NUMBER:
A106

LEVEL 5 FLOOR PLAN
1" = 20'-0"
A1

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SHEET TITLE:
LEVEL 5 FLOOR PLAN

SHEET NUMBER:
A107

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ROOF TOP PARKING GARAGE LIGHTING INFORMATION

GARDCO by Signify

Site & Area

EcoForm

ECF-S small area light

Gardco EcoForm Gen-2 combines economy with performance in an LEDarea luminaire. Capable of delivering up to 27,500lumens or more in a compact, low profile LED Luminaire, EcoFormoffers a new level of customer value. EcoForm features an innovative retrofit smart, simplifyingsite conversions to LED by eliminating the need to drill additional holes in mostexisting poles. Integral control systemsavailable for fartherenergy savings. Includes Service Tag, our innovative way to provide assistance throughout the life of the product.

Project:
Location:
Cat.No.:
Type:
Lamps: Qty:
Notes:

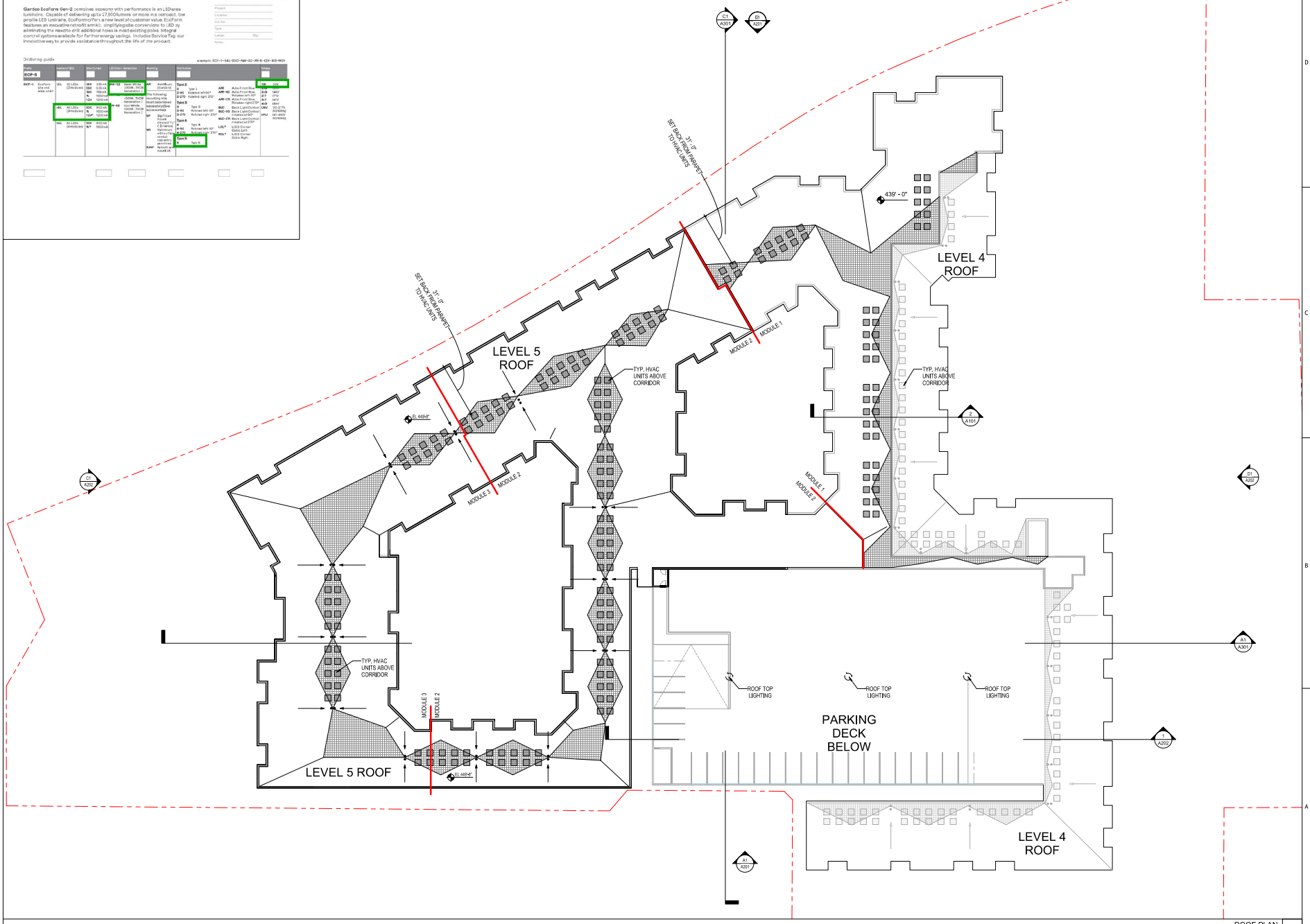
Ordering guide

example: ECF-1-64L-930-NW-G2-AR-G-G3-BS-MG3

Prefix	Nominal IES	Size Output	LED Color+ Generation	Mounting	Distribution	Voltage
ECF-S						
ECF-1 EcoForm site and area small	12L 30 LEDs (2Modules)	16H 3400-4A 0.30-4A 12H 2400-4A 0.20-4A 12LH 1200-4A	NW-G2 Warm White (930K, 70CRI) Generation 2 The following recycling site must be declared separately(See accessories) -G3GK, 70CRI Generation 2 -G3GK, 70CRI Generation 2	AR AreaMount (standard)	Type 2 2-WL Type 2 Rotated left 90° 2-270 Rotated right 270°	AR/R Adobe Front Row Rotated right 270° AR-HO Adobe Front Row Rotated left 90° AR-CR Adobe Front Row Rotated right 270° BLC Back Light Control BLC-90 Back Light Control rotated left 90° BLC-CR Back Light Control rotated at 270°
	24L 49 LEDs (2Modules)	40H 9000-4A 0.90-4A 32H 7600-4A 0.70-4A 24H 5200-4A	N-G2 Neutral White (4000K, 70CRI) Generation 2		Type 3 3-WL Type 3 Rotated left 90° 3-270 Rotated right 270°	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz) HVU 347-480V (50/60Hz)
	16L 31 LEDs (2Modules)	40H 9000-4A 32H 7600-4A		SP Slip Fitter Mounting (Round Tenon 2 7/8" O.D. Tenon)	Type 4 4-WL Type 4 Rotated left 90° 4-270 Rotated right 270°	LCL* Left Corner Cutoff LCR* Right Corner Cutoff
				WS Wall Mount (Mounts to vertical junction box entry plate. Refer to product sheet for round US	Type 5 5 Type 5	

Ordering guide

Accessories	Finish
1SB 1 Single Square Back Box 2SB 2 Single Square Back Box 3SB 3 Single Square Back Box 4SB 4 Single Square Back Box BS Bird Spike HFU Hinged Fuse Unit (50/60Hz) HFU-S Hinged Fuse Unit (347-480V 50/60Hz)	



ROOF PLAN
1" = 20'-0"
A1

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SHEET TITLE:
ROOF PLAN

SHEET NUMBER:
A108

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ELEVATION GENERAL NOTES

1. SEE SPECIFICATIONS FOR DETAILED INFORMATION.
2. SEE A201-207 FOR GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION.
3. SEE SHEET T001 FOR TYPICAL NOTES, SYMBOLS, ACCESSIBILITY MOUNTING STANDARDS, AND ABBREVIATIONS. SEE SHEET T002 FOR CODE SUMMARY INFORMATION.
4. CONTRACTOR TO COORDINATE CONSTRUCTION WITH ALL TRADES PRIOR TO COMMENCEMENT OF WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, PATCHING, AND REPLACING ANY DAMAGE DUE TO CONSTRUCTION OR INSTALLATION OF TRADES, REPAIR, PATCH, AND FINISH OF EXISTING CONDITIONS DAMAGED BY NEW WORK SHALL MATCH ADJACENT WORK.
6. EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING OR MASONRY U.N.O. SEE WALLS SECTIONS AND DETAILS FOR MORE INFORMATION.
7. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND CONNECTION POINTS PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. IN CASE OF CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
8. ALL ITEMS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS SPECIFICALLY LISTED AS "N.I.C." OR "BY OTHERS".
9. COORDINATE SEQUENCE OF WORK TO PROTECT ADJACENT SPACES FROM CONSTRUCTION ZONE. PROVIDE BARRIER SEPARATION AS REQUIRED AND DIRECTED BY GENERAL CONTRACTOR AND OWNER.
10. MAINTAIN FIRE RATING OF CONSTRUCTION WHERE ANY ITEMS ARE BUILT INTO CONSTRUCTION. ALL PENETRATIONS SHALL BE FIRE STOPPED AND SEALED IN ACCORDANCE TO APPLICABLE U.L. ASSEMBLY RATING.
11. REFER TO STRUCTURAL AND MEP/FP DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION.

GENERAL BUILDING INFORMATION

THE PROPOSED PROJECT CONSISTS OF 361 UNITS, AND A PARKING STRUCTURE FOR UP TO 521 CARS.

THE MULTIFAMILY BUILDING WILL BE FULLY SPRINKLERED PER NFPA 13, THERE ARE 7 LEVELS DUE TO THE TOPOGRAPHICAL ELEVATION OF THE SITE BUT NEVER MORE THAN 5 TOTAL LEVELS AT ANY GIVEN POINT OF WOOD FRAME TYPE 5-A CONSTRUCTION. AMENITY SPACES SERVICING THE RESIDENTS WILL BE LOCATED ON THE BASEMENT, FIRST AND SECOND FLOOR LEVELS.

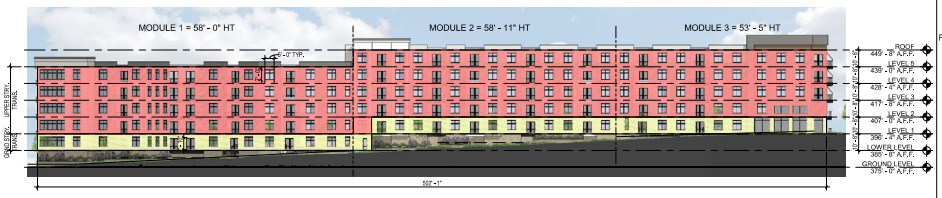
THE PARKING STRUCTURE WILL BE 5.5-TIERS OF TYPE 1-A CONSTRUCTION FINISHED WITH LIKE MATERIAL OF THE MULTI FAMILY BUILDING.

AMENITY TRANSPARENCY CALCS

LOCATION:	WALL SQ/FT	TRANS SQ/FT	% OF 3'-8"	% OF 12'
GROUND	617 SQ/FT	401 SQ/FT	–	65%
GROUND	255 SQ/FT	183 SQ/FT	71%	--

BLDG TRANSPARENCY CALCS

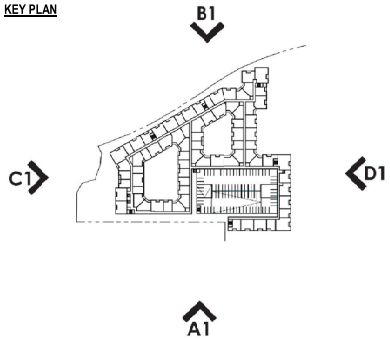
LOCATION:	WALL SQ/FT	TRANS SQ/FT	% OF TRANS	REQ'
GROUND	5,450 SQ/FT	2,007 SQ/FT	36%	20%
UPPER	21,545 SQ/FT	7,283 SQ/FT	33%	15%

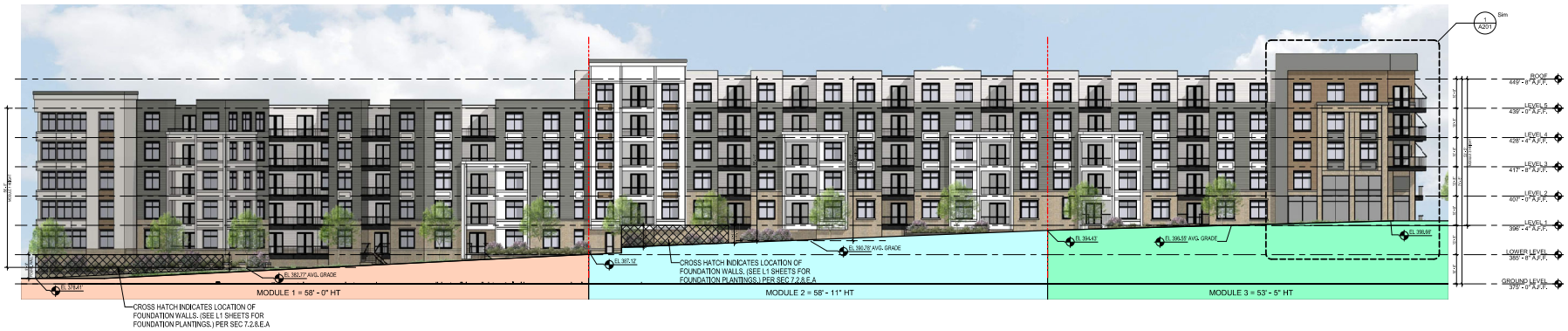


OVERALL BUILDING TRANSPARENCY DIAGRAM 2
REF DRAWING: 1 / A100 SCALE: 1/32" = 1'-0"

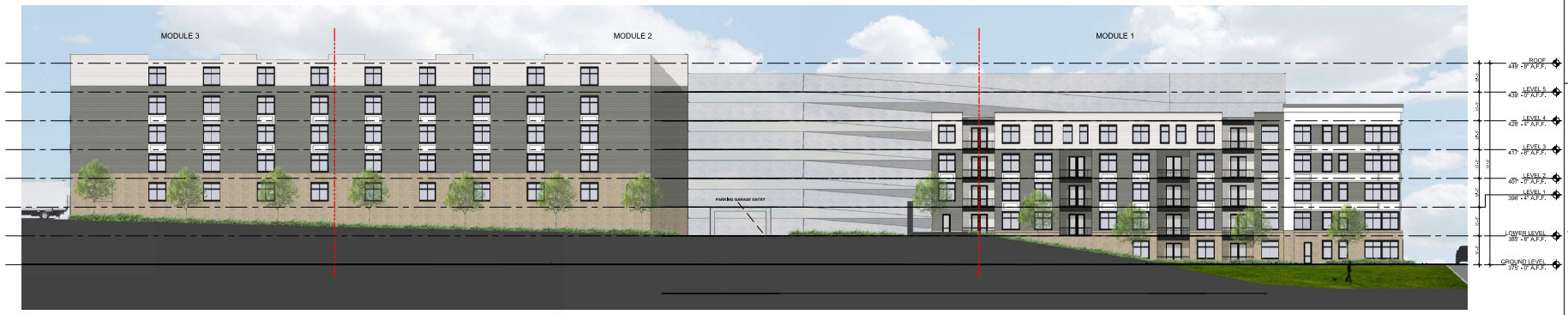
NORTH ELEVATION - TRANSPARENCY DIAGRAM 1
REF DRAWING: A1 / A102 SCALE: 3/32" = 1'-0"

KEY PLAN





NORTH ELEVATION B1
1/16" = 1'-0"



SOUTH ELEVATION A1
1/16" = 1'-0"

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SHEET TITLE:
EXTERIOR ELEVATIONS - N-S

SHEET NUMBER:
A201

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ELEVATION GENERAL NOTES

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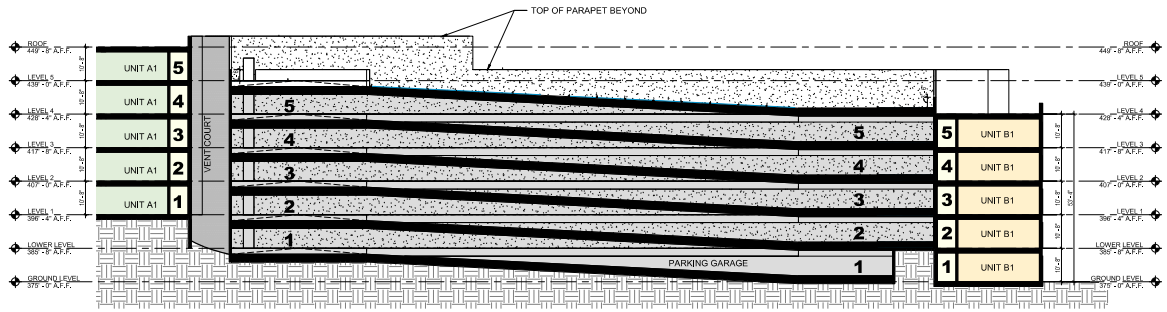
4. CONTRACTOR TO COORDINATE CONSTRUCTION WITH ALL TRADES PRIOR TO COMMENCEMENT OF WORK.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, PATCHING, AND REPLACING ANY DAMAGE DUE TO CONSTRUCTION OR INSTALLATION OF TRADES. REPAIR, PATCH, AND FINISH OF EXISTING CONDITIONS DAMAGED BY NEW WORK SHALL MATCH ADJACENT WORK.
6. EXTERIOR DIMENSIONS ARE TAKEN FROM FACE OF SHEATHING OR MASONRY U.N.O. SEE WALLS SECTIONS AND DETAILS FOR MORE INFORMATION.
7. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND CONNECTION POINTS PRIOR TO COMMENCEMENT OF NEW CONSTRUCTION. IN CASE OF CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
8. ALL ITEMS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS SPECIFICALLY LISTED AS "N.I.C." OR "BY OTHERS".
9. COORDINATE SEQUENCE OF WORK TO PROTECT ADJACENT SPACES FROM CONSTRUCTION ZONE. PROVIDE BARRIER SEPARATION AS REQUIRED AND DIRECTED BY GENERAL CONTRACTOR AND OWNER.
10. MAINTAIN FIRE RATING OF CONSTRUCTION WHERE ANY ITEMS ARE BUILT INTO CONSTRUCTION. ALL PENETRATIONS SHALL BE FIRE STOPPED AND SEALED IN ACCORDANCE TO APPLICABLE U.L. ASSEMBLY RATING.
11. REFER TO STRUCTURAL AND MEP/FP DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION.

GENERAL BUILDING INFORMATION

THE PROPOSED PROJECT CONSISTS OF 361 UNITS, AND A PARKING STRUCTURE FOR UP TO 521 CARS.

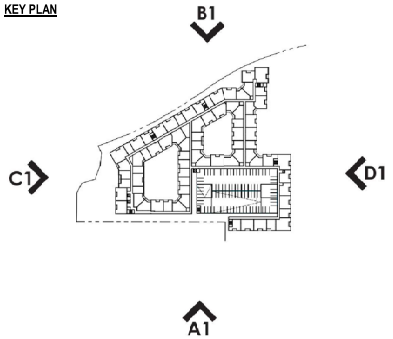
THE MULTIFAMILY BUILDING WILL BE FULLY SPRINKLERED PER NFPA 13. THERE ARE 7 LEVELS DUE TO THE TOPOGRAPHICAL ELEVATION OF THE SITE BUT NEVER MORE THAN 5 TOTAL LEVELS AT ANY GIVEN POINT OF WOOD FRAME TYPE 3-A CONSTRUCTION. AMENITY SPACES SERVICING THE RESIDENTS WILL BE LOCATED ON THE BASEMENT, FIRST AND SECOND FLOOR LEVELS.

THE PARKING STRUCTURE WILL BE 5.5-TIERS OF TYPE 1-A CONSTRUCTION FINISHED WITH LIKE MATERIAL OF THE MULTIFAMILY BUILDING.



GARAGE SECTION 1
REF DRAWING: 1 / A100 SCALE: 1/16" = 1'-0"

KEY PLAN



EAST ELEVATION D1
1/16" = 1'-0"

WEST ELEVATION C1
1/16" = 1'-0"

ARCHITECTURE · PLANNING · INTERIORS
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PLEASANT VALLEY PROMENADE

3917 PLEASANT VALLEY ROAD
RALEIGH, NC 27612

CLIENT: KIMCO RALEIGH L.P.

REV	DATE	DESCRIPTION

DESIGN DELIVERABLE: ADMINISTRATIVE SITE REVIEW
ISSUE DATE: 09.22.2023
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CHECKED BY: MN, JG
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SHEET TITLE:
EXTERIOR ELEVATIONS - E-W

SHEET NUMBER:
A202

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