

# Administrative Approval Action

Case File / Name: ASR-0024-2024  
DSLCL - FLETCHER ACADEMY EXPANSION

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** This 4.14 acre site zoned R-4 is located at the end of Cedarview Ct west of the intersection of Cedarview Court and Sweetbriar Drive at 400 Cedarview Ct.
- REQUEST:** A 5300 square foot single story expansion of an existing civic (school) use, and proposed parking.
- DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 19, 2024 by Pabst Design Group.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Site Permitting Review plans:**

### General

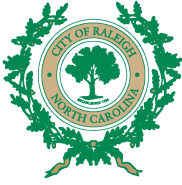
1. A Type A1 or A2 transitional protective yard (see Sec. 7.2.4 E6, and 7.2.4.A.) must be established along any side of the property abutting any residential use, in the area of the addition and a Type C2 street protective yard (see Sec. 7.2.4 E6, and 7.2.4.B.) must be established along all property lines abutting a public right-of-way as well in the area of the addition

### Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

### Urban Forestry

5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a demolition or grading permit, whichever comes first.
6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).



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**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## **Stormwater**

1. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
2. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## **Urban Forestry**

3. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1), including a landscape easement for the portion of the critical root zone of the 33" DBH pine that is located on part of the adjoining parcel with PIN 1706972077 (UDO 9.1.4.B.3). This development proposes 0.119 acres of tree conservation area.

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## **General**

1. A recombination map shall be recorded, recombining the existing lots as shown on plan.
2. A demolition permit shall be obtained.

## **Stormwater**

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

## **Urban Forestry**

4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1), including a landscape easement for the portion of the critical root zone of the 33" DBH pine that is located on part of the adjoining parcel with PIN 1706972077 (UDO 9.1.4.B.3).



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**The following are required prior to issuance of building occupancy permit:**

## General

1. Final inspection of all tree conservation areas by Urban Forestry Staff.

## Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** August 6, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: \_\_\_\_\_ Date: 08/06/2024  
Development Services Director/Designee

Staff Coordinator: Michael Walters

# TIER 2 ADMINISTRATIVE SITE REVIEW PLAN FOR: FLETCHER ACADEMY EXPANSION RALEIGH, NORTH CAROLINA 27609 CITY OF RALEIGH CASE #: ASR-0024-2024

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_  
 Developer Contact: PAUL ATKINSON  
 Company: THE FLETCHER ACADEMY SCHOOL OF ACHIEVEMENT, INC.  
 Address: 400 CEDARVIEW CT, RALEIGH, NC 27609  
 Phone #: 919.782.5092 Email: patkinson@fletcherdesign.com

Applicant Name: PAUL ATKINSON  
 Company: THE FLETCHER ACADEMY SCHOOL OF ACHIEVEMENT, INC.  
 Address: 400 CEDARVIEW CT, RALEIGH, NC 27609  
 Phone #: 919.782.5092 Email: patkinson@fletcherdesign.com

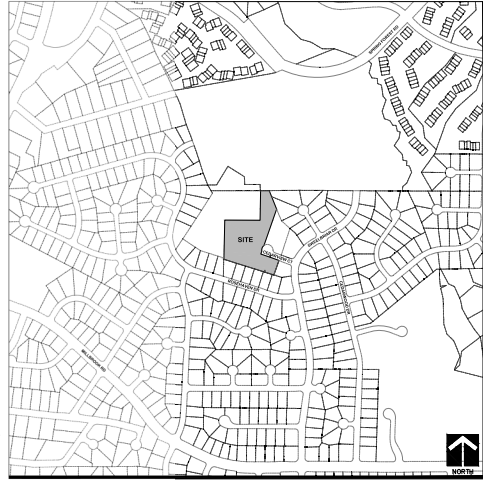
DEVELOPMENT TYPE & SITE DATA TABLE	
APPLICABLE TO ALL DEVELOPMENTS	
<b>SITE DATA</b>	<b>BUILDING DATA</b>
Zoning district: (Please provide the acreage of each): RESIDENTIAL (R-4): 4.14 AC	Existing gross floor area (not to be demolished): 27,840
Closest site acreage: N/A	Existing gross floor area to be demolished: 1,560
# of parking spaces proposed: 30	New gross floor area: 5,300
Max # of parking permitted: 120 (N/A)	Total # of gross floor area (to remain and new): 33,240
Owner/Class of application: NONE	Proposed # of buildings: 1
Existing use (UDO 6.1.4): School, public or private	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): School, public or private	Proposed # of basement levels (UDO 1.6.7.4.6) NONE

**STORMWATER INFORMATION**

Impervious Area on Parcel(s):	
Existing (sq. ft.): _____	Proposed total (sq. ft.): _____
Existing (sq. ft.): _____	Proposed total (sq. ft.): _____

**RECREATION & OPEN SPACE REQUIREMENTS - N/A**

Continue to Applicant Signature Block on Page 4.



SITE DATA TABLE	
<b>SITE ADDRESS:</b>	400 CEDARVIEW CT, 412 CEDARVIEW CT, RALEIGH, NC 27609
<b>OWNER:</b>	THE FLETCHER ACADEMY SCHOOL OF ACHIEVEMENT, INC. 400 CEDARVIEW CT RALEIGH, NC 27609
<b>PHONE:</b>	1706-91-0015, 1706-96-2759
<b>EXISTING ZONING:</b>	R-4 (RESIDENTIAL-4)
<b>EXISTING LAND USE:</b>	SCHOOL, PUBLIC OR PRIVATE (K-12) SINGLE-UNIT LIVING
<b>PROPOSED LAND USE:</b>	SCHOOL, PUBLIC OR PRIVATE (K-12)
<b>BUILDING TYPE:</b>	CIVIC
<b>PARCEL AREA:</b>	169,804.37 SF (3.90 AC) & 10,584.51 (0.24 AC)
<b>DEED TOTAL:</b>	180,388.88 (4.14 AC)
<b>WATERSHED:</b>	CRABTREE CREEK
<b>RIVERBASIN:</b>	NEUSE
<b>FLOODPLAIN DATA:</b>	NO PORTION OF THE PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER INSURANCE RATE MAP (RATE MAP 37201 T0000B DATED JULY 19, 2022) EXISTING IMP. AREA ON PARCELS: 88,485 SF (2,031 AC) EXISTING IMP. AREA WITH RW: 454 SF (0.010 AC) TOTAL EXISTING IMP. AREA: 88,939 SF (2,042 AC) PROPOSED IMP. AREA ON PARCELS: 21,171 SF (0.486 AC) PROPOSED IMP. AREA WITH RW: 827 SF (0.019 AC) TOTAL PROPOSED IMP. AREA: 21,997 SF (0.505 AC)
<b>IMPERVIOUS SURFACE (PROJECT AREA):</b>	TOTAL PROPOSED IMP. AREA: 21,997 SF (0.505 AC) EXISTING IMP. AREA TO BE REMOVED: 25,978 SF (0.596 AC) NET IMP. AREA AFTER IMP. REMOVAL: -3,980 SF (0.091 AC) EXISTING OPEN SPACE AREA: 91,450 SF (2,099 AC) BUILT UPON AREA %: -3,980 SF / 91,450 SF = -0.0435 (-4.35%)
<b>AMENITY SPACE:</b>	EXEMPT PER UDO TABLE 10.2.8.B.4. REQUIRED PER UDO SEC 9.1.3.A.1: 10% PROVIDED: CALCULATIONS PER UDO SEC 9.1.4.B.5, 8.8.1.4.C.1.8 TOTAL AREA OF CRITICAL ROOT ZONES FOR ALL HEALTHY TREES w/ 10" AND GREATER DBH = 5,197 SF (0.119 AC) 0.119 AC / 4.14 AC TOTAL PARCEL AREA = 2.87% TCA
<b>TREE CONSERVATION AREA:</b>	
<b>PRINCIPAL BUILDING SETBACKS:</b>	PRIMARY STREET (MIN.): 20' SIDE STREET (MIN.): 10' SIDE LOT LINE (MIN.): 10' REAR LOT LINE (MIN.): 30'
<b>PARKING SETBACKS:</b>	EXISTING: 29,504 GSFA TO BE REMOVED: 1,964 SF EXISTING TO REMAIN: 27,540 GSFA PROPOSED BLDG + 5,300 GSFA TOTAL EXISTING REMAINING + PROPOSED: 33,240 GSFA ALLOWED: 3 STORIES / 40' MAX. PROPOSED BLDG: 1 STORY / 24'-4"
<b>BUILDING FLOOR AREA:</b>	MAX. ALLOWABLE: NONE TOTAL PROPOSED: 30 SPACES (INCLUDING 1 ADA VAN SPACE) PUBLIC & INSTITUTIONAL SHORT TERM (MIN.): 1 SPACE / CLASSROOM 1 SPACE x 10 CLASSROOMS = 10 SPACES LONG TERM (MIN.): 3 SPACES / CLASSROOM 3 SPACES x 10 CLASSROOMS = 30 SPACES SHORT TERM (MIN.): 5 RACKS = 10 SPACES
<b>BUILDING HEIGHT:</b>	MAX. ALLOWABLE: NONE TOTAL: 30 BICYCLE PARKING SPACES
<b>MAXIMUM PARKING:</b>	LONG TERM (MIN.): 10 RACKS = 20 SPACES TOTAL: 30 BICYCLE PARKING SPACES
<b>REQUIRED BICYCLE PARKING:</b>	LONG TERM (MIN.): 10 RACKS = 20 SPACES TOTAL: 30 BICYCLE PARKING SPACES
<b>PROVIDED BICYCLE PARKING:</b>	LONG TERM (MIN.): 10 RACKS = 20 SPACES TOTAL: 30 BICYCLE PARKING SPACES

**INDEX TO PLANS**

C-0.0	COVER SHEET
C-0.1	BOUNDARY & TOPOGRAPHIC SURVEY
C-0.2	LEGENDS & NOTES SHEET
C-1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C-2.0	SITE LAYOUT PLAN
C-2.1	FIRE APPARATUS ACCESS PLAN
C-3.0	UTILITY PLAN
C-4.0	GRADING & STORM DRAINAGE PLAN
D-1.0	SITE DETAIL SHEET
D-1.1	SITE DETAIL SHEET
D-2.0	UTILITY DETAIL SHEET
D-2.1	UTILITY DETAIL SHEET
D-3.0	STORM DRAINAGE DETAIL SHEET
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAIL SHEET
LP-1.0	LIGHTING PLAN
T-1.0	TREE CONSERVATION AREA PLAN
A1.0	ARCHITECTURAL FLOOR PLAN
A6.0	ARCHITECTURAL ELEVATIONS

- DEVELOPER:**  
THE FLETCHER ACADEMY SCHOOL OF ACHIEVEMENT  
400 CEDARVIEW COURT  
RALEIGH, NC 27609  
TEL: 919.782.5092  
E-MAIL: patkinson@fletcherdesign.com
- CIVIL ENGINEER:**  
PABST DESIGN GROUP, PA  
107 FAYETTEVILLE STREET, SUITE 200  
RALEIGH, NC 27601  
TEL: 919.848.4399  
E-MAIL: dpabst@pabstdesign.com
- ARCHITECT:**  
REDLINE DESIGN GROUP  
6601 SIX FORKS ROAD, SUITE 130  
RALEIGH, NC 27615  
TEL: 919.878.1660  
E-MAIL: bballej@redlinedg.com
- SURVEYOR:**  
NEWCOMB LAND SURVEYORS, LLC  
7008 HARPS MILL ROAD, SUITE 105  
RALEIGH, NC 27615  
TEL: 919.847.1800  
E-MAIL: justin@nls-nc.com

**APPLICANT SIGNATURE BLOCK**

Patkinson: \_\_\_\_\_ Date: 06/28/24  
 Project Name: FLETCHER ACADEMY EXPANSION  
 Project Number: \_\_\_\_\_  
 Project Location: \_\_\_\_\_

Mr. Joshua Leahy  
 We have reviewed the plan for the Fletcher Academy Expansion and will be able to service the new expansion with the equipment currently on site. The equipment that we show on site is as follows:  
 (X) Recycle carts, serviced once a week.  
 ( ) Recycle carts, serviced once a week.  
 If additional recycle carts are needed for the new classrooms, we can place them there. If additional waste is generated, we can increase the service frequency from once per week to twice per week.  
 Any questions feel free to contact me directly at information provided below.

Thank you,  
 David Moore  
 Account Executive Manager  
 dmoore@republicservices.com  
 919.354.3228 - OPTION 2  
 www.RepublicServices.com

**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE: ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



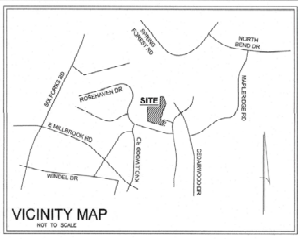
PREPARED FOR: THE FLETCHER ACADEMY SCHOOL OF ACHIEVEMENT, INC.  
 DATE: 06/28/24  
 DRAWN BY: JOSHUA LEAHY  
 CHECKED BY: DAVID MOORE  
 PROJECT CHARGED DESIGNER: DAVID MOORE  
 PROJECT SUPERVISOR: JOSHUA LEAHY

**FLETCHER ACADEMY EXPANSION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
 TIER 2 ADMINISTRATIVE SITE REVIEW  
 COVER SHEET

NO.	REVISION	DATE

NO.	REVISION	DATE

**DRAWING SHEET**  
**C-0.0**  
 PROJECT NUMBER  
**679-24**

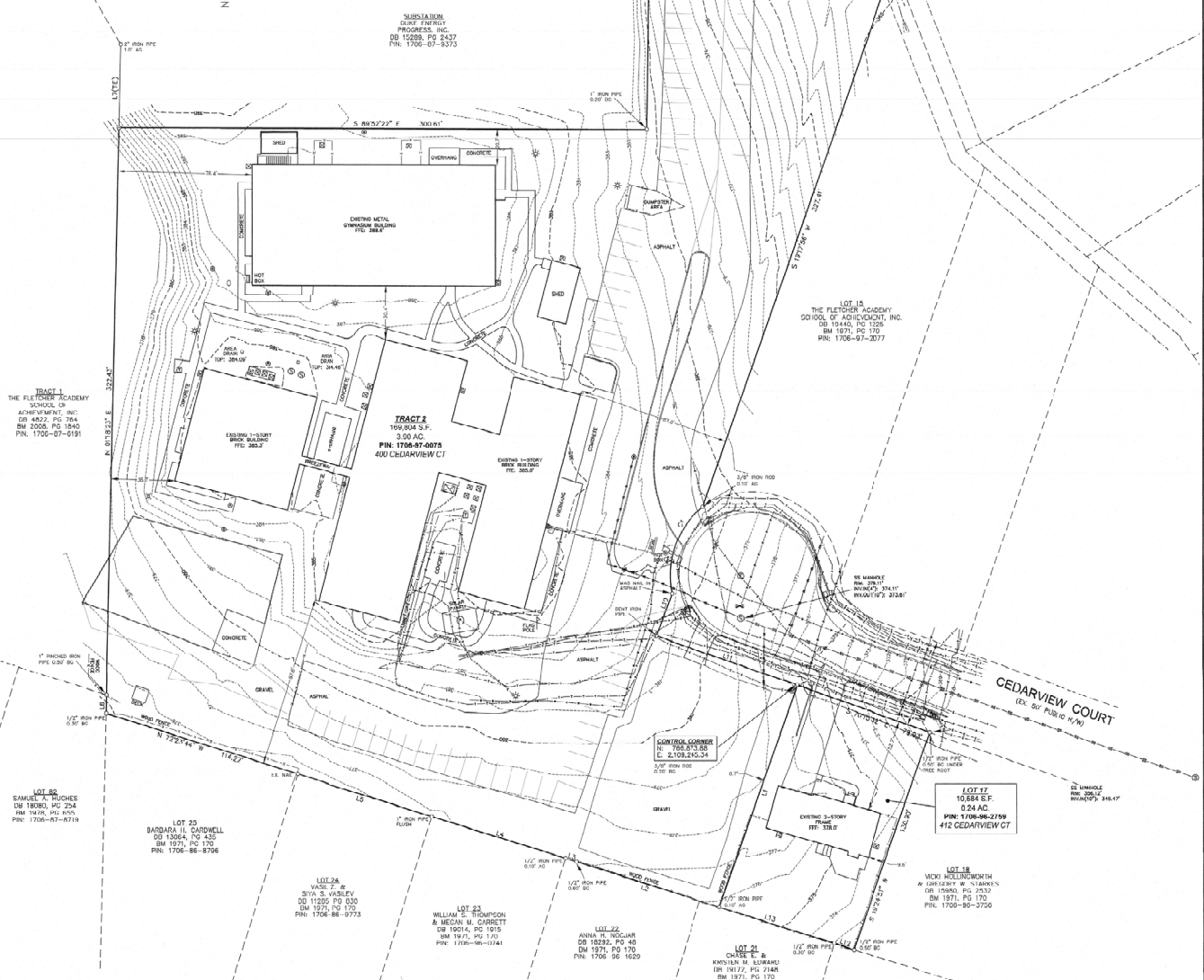


TRACT 1  
GULF ENERGY  
PROGRESS, INC.  
DB 1528, PG 2437  
PIN: 1706-87-2654

CITY OF RALEIGH  
DB 2327, PG 242  
PIN: 1706-88-3220

LEGEND and NOMENCLATURE

SYMBOL	DESCRIPTION
CL	CL 6.0" DIAMETER PIPE
EX	EXISTING STRUCTURE
NEW	NEW STRUCTURE
CON	CONCRETE
ASPH	ASPHALT
GR	GRAVEL
CE	CEMENT
ST	STEEL
BR	BRICK
BL	BLASTED
SI	SILICA
GL	GLASS
FR	FIBER
ST	STEEL
BR	BRICK
BL	BLASTED
SI	SILICA
GL	GLASS
FR	FIBER



**SURVEY NOTES:**

- All distances are horizontal ground distances in U.S. survey feet unless otherwise noted. Areas computed by coordinate geometry.
- This survey does not include nor report any environmental investigations by this office. Existing stream shown herein is determined and established from a wetland delineation by Sage Environmental dated 11/1/24. No wetland flags shown in the preparation of this survey.
- Field surveys performed February 21 thru March 7, 2024 & April 1, 2024.
- Surveyor has made no investigation or independent search for easements of record, rights of way, encroachments, restrictive covenants, easements or other facts that an accurate and current title search may disclose and may or may not be depicted hereon.
- The locations of underground utility lines shown herein (if any) are based on underground structure, underground utility easements and open manholes by location only. Locations of underground utility lines are not shown on this survey. Additional utility easements and any easements associated therewith may not be shown on this survey. Additional utility easements may exist but are not shown on this survey. The locations shown herein do not constitute an independent search for utility lines. Utility lines shown herein are not shown on this survey.
- Subdivided property is not located within a special flood hazard zone per FEMA Flood Insurance Rate Map (FIRM) #230719800C, effective date July 16, 2022.
- The state plane coordinates for this project were obtained with NAD 83 UTM coordinates and processed using the North Carolina State Plane. The resulting coordinates are in NAD 83.

**REFERENCES:**

DEED BOOK 13032, PAGE 1435  
BOOK OF MAPS 2008, PAGE 1840  
\*OTHER SHOWN HEREON

LINE NO.	LENGTH	B-Bearing
1	10.884	S 89°24'00" W
2	69.84	N 72°45'00" E
3	20.98	N 75°53'15" W
4	10.831	N 89°24'00" E
5	24.90	S 17°52'15" E
6	74.30	N 89°24'00" E
7	10.831	S 89°24'00" W
8	69.84	S 72°45'00" E
9	20.98	S 75°53'15" W
10	10.831	S 89°24'00" W
11	24.90	S 17°52'15" E

START POINT	LENGTH	BEARING	END POINT
1	10.884	S 89°24'00" W	2
2	69.84	N 72°45'00" E	3
3	20.98	N 75°53'15" W	4
4	10.831	N 89°24'00" E	5
5	24.90	S 17°52'15" E	6
6	74.30	N 89°24'00" E	7
7	10.831	S 89°24'00" W	8
8	69.84	S 72°45'00" E	9
9	20.98	S 75°53'15" W	10
10	10.831	S 89°24'00" W	11
11	24.90	S 17°52'15" E	12

**HORIZONTAL DATUM = NAD 83 2011**  
**VERTICAL DATUM = NAVD 83**

THIS SURVEY IS OF AN EXISTING PUBLIC OR PRIVATE ROAD OR LAND OR FOR THE MORE EXISTING EASEMENTS AND DOES NOT CONSTITUTE A HIGH STREET OR OPEN EXISTING STREET.

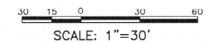
I, Jeffrey L. Lutter, certify that this plot was drawn under my supervision from an actual survey made under my supervision and to the best of my knowledge and belief that the boundaries and measurements are correctly indicated as shown from information as indicated under reference that the total of perimeter or additional accuracy as indicated is not less than 1:50,000, that this plot was prepared in accordance with NCEES 47-93 set of standards.

Witness my right hand, at my office, this \_\_\_\_\_ day of \_\_\_\_\_, 2024.

Professional Land Surveyor (L-1017)

**BOUNDARY & TOPOGRAPHIC SURVEY**  
**THE FLETCHER ACADEMY SCHOOL OF ACHIEVEMENT, INC.**

HOUSE CREEK TOWNSHIP WAKE COUNTY NORTH CAROLINA



**NEWCOMB land surveyors, Llc, 7006 Harps Mill Road, Ste. 105, Raleigh, NC 27615, (919) 847-1800**

2024-03-26 10:07  
 FILE NAME: 071  
 PLOT DATE: 5/9/24  
 revised 4/4/24, revised 5/22/24

LEGEND

Table with 2 columns: Symbol/Line Style and Description. Includes categories like Limits of Construction, Limits of Disturbance, Existing Utilities, Existing Structures, Existing Materials, Proposed Materials, and Grading/Flow.

DEMOLITION NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
2. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FOR ANY AND ALL INJURIES AND DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
3. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL, AND MISCELLANEOUS UTILITIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO DIGGING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.

SITE LAYOUT NOTES:

- 1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS.
2. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, FACE OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. ALL RADII DIMENSIONS TO BAC OF CURB.
3. ALL PAVE STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS REQUIRED IN SPECIFICATIONS.

GENERAL UTILITY NOTES:

- 1. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PARIST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-58), FEDERAL REGISTER, CHAPTER XVII, PART 1006 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.

- 7. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE ASPHALT PLANT.
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
9. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER BEFORE THE COMPLETION OF THE PROJECT OR BEFORE THE CONTRACTOR DEPARTS THE SITE.

CITY OF RALEIGH UTILITY NOTES:

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
a. A DISTANCE OF 18" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25" FROM A PRIVATE WELL OR 36" FROM A PUBLIC WELL.

GRADING NOTES:

- 1. ALL SITE WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PARIST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. ALL EXISTING TREES, VEGETATION, PAVEMENTS, CONCRETE FOUNDATIONS, STRUCTURES AND ORGANIC TOPSOIL SHALL BE STRIPPED AND REMOVED FROM NEW CONSTRUCTION AREAS UNLESS OTHERWISE NOTED.
3. ALL AREAS NOT PAVED SHALL BE TOPSOILED, SEEDED, MULCHED OR LANDSCAPED UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DRAWINGS, SPECIFICATIONS OR INSTRUCTED BY THE OWNER.

- 17. CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE ASPHALT PLANT.
18. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.

TOTAL DISTURBED AREA = ± 38,092 SF, 0.87 AC

GENERAL PLANTING NOTES:

- 1. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK.
2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWINGS SHALL TAKE PRECEDENCE.
3. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE DESIGNER.

PAST DESIGN GROUP, PA Engineering & Consulting 507 Regency Road, Suite 300, Raleigh, NC 27608-2907 Phone: 919.949.1499 Fax: 919.949.2081

FLETCHER ACADEMY EXPANSION RALEIGH, WAKE COUNTY, NORTH CAROLINA TIER 2 ADMINISTRATIVE SITE REVIEW LEGENDS & NOTES SHEET

FOR REVIEW ONLY NOT FOR CONSTRUCTION

NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

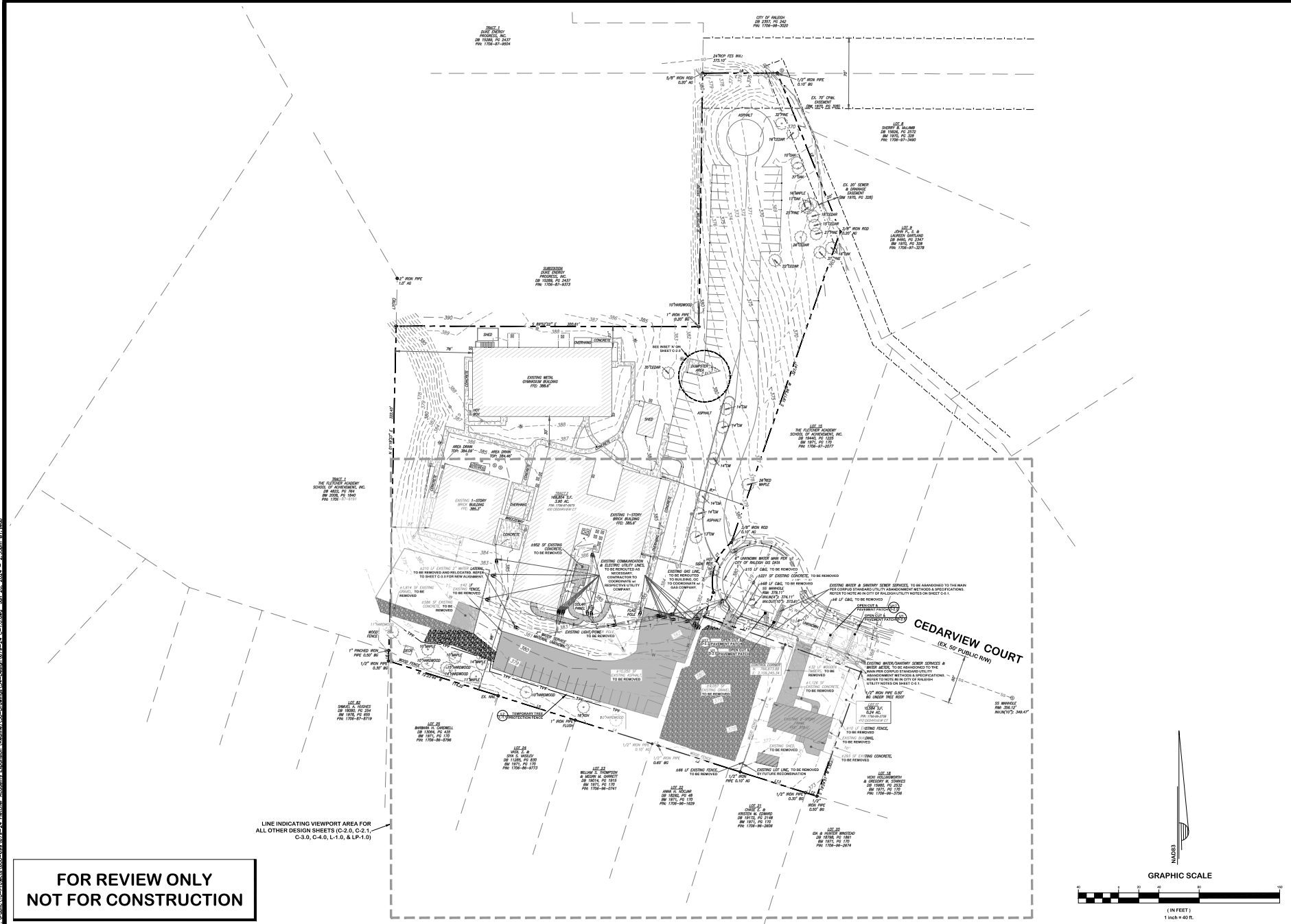
NO. REVISION DATE BY COMMENTS DRAWING SHEET C-0.1 PROJECT NUMBER 679.24

DESIGNED FOR:	THE FLETCHER ACADEMY
DATE:	10/25/2024
PROJECT NUMBER:	24-001
PROJECT CHAIR/OWNER:	THE FLETCHER ACADEMY
PROJECT ARCHITECT:	THE FLETCHER ACADEMY

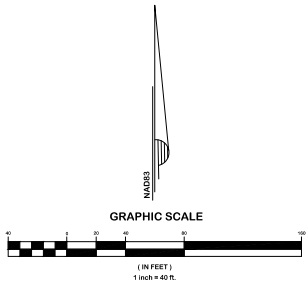
**FLETCHER ACADEMY EXPANSION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 2 ADMINISTRATIVE SITE REVIEW**  
**EXISTING CONDITIONS & DEMOLITION PLAN**

NO.	REVISION
1	REVISED PER CLIENT COMMENTS

DRAWING SHEET
<b>C-1.0</b>
PROJECT NUMBER
<b>679-24</b>

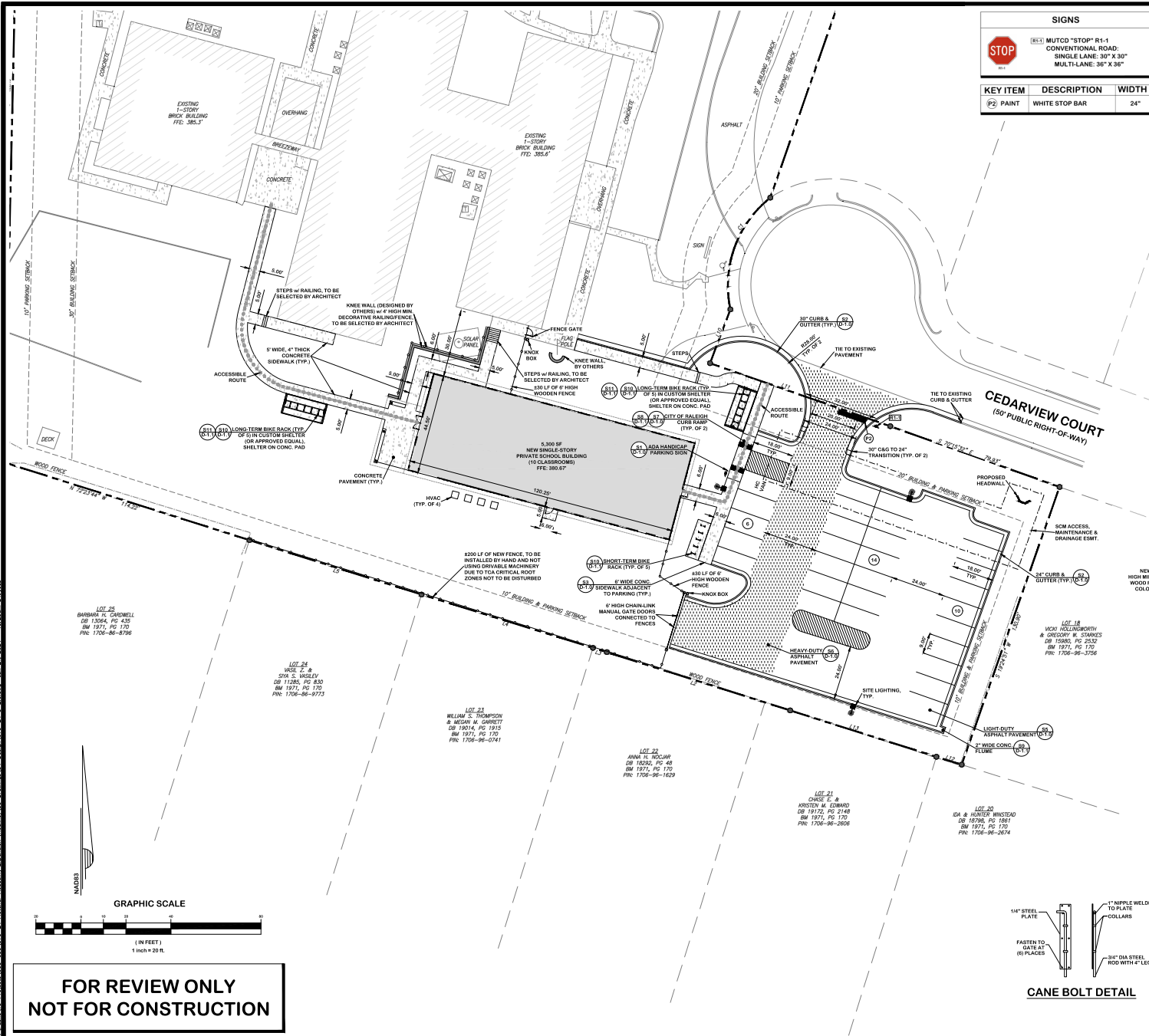


**FOR REVIEW ONLY**  
**NOT FOR CONSTRUCTION**



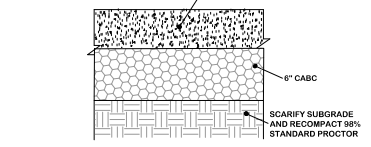
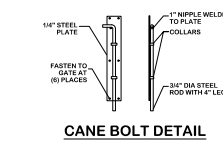
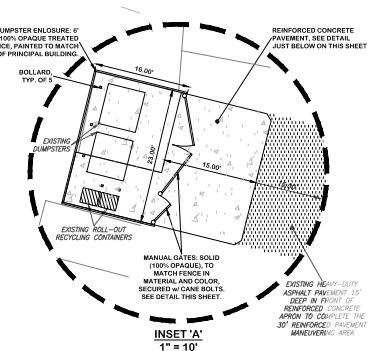
LINE INDICATING VIEWPORT AREA FOR ALL OTHER DESIGN SHEETS (C-2.0, C-2.1, C-3.0, C-4.0, L-1.0, & LP-1.0)

P:\Projects\679-24 Fletcher\_Academy\_Expansion\679-24\_Fletcher\_Academy\_Expansion\679-24\_Tier2AdminSiteReview\679-24\_C-1.0.dwg - 10/25/2024 10:25 AM - 21/02/2024 10:25 AM



SIGNS		
	(R1) MUTCD "STOP" R1-1 CONVENTIONAL ROAD: SINGLE LANE: 30" X 30" MULTI-LANE: 36" X 36"	
KEY ITEM	DESCRIPTION	WIDTH
(P2) PAINT	WHITE STOP BAR	24"

SITE DATA TABLE	
SITE ADDRESS:	400 CEDARVIEW CT, 412 CEDARVIEW CT, RALEIGH, NC 27609
OWNER:	THE FLETCHER ACADEMY, SCHOOL OF ACHIEVEMENT, INC., 400 CEDARVIEW CT, RALEIGH, NC 27609
EXISTING ZONING:	R-4 (RESIDENTIAL-4)
EXISTING LAND USE:	SCHOOL, PUBLIC OR PRIVATE (K-12) & SINGLE-UNIT LIVING
PROPOSED LAND USE:	SCHOOL, PUBLIC OR PRIVATE (K-12)
BUILDING TYPE:	CHWC
PARCEL AREA:	169,804.37 SF (3.90 AC) & 10,584.51 (0.24 AC); DEED TOTAL: 180,388.88 (4.14 AC)
WATERSHED:	CRABTREE CREEK
NEEDS:	NEEDS
FLOODPLAIN DATA:	NO PORTION OF THE PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER INSURANCE RATE MAP (RATE MAP 3702709000 DATED JULY 19, 2023). EXISTING IMP. AREA ON PARCELS (D): 85,485 SF (2,031 AC) EXISTING IMP. AREA WITH RW: 454 SF (0.010 AC) TOTAL EXISTING IMP. AREA: 86,939 SF (2,042 AC) PROPOSED IMP. AREA ON PARCELS (D): 10,486 SF (0.24 AC) PROPOSED IMP. AREA WITH RW: 827 SF (0.019 AC) TOTAL PROPOSED IMP. AREA: 11,313 SF (0.259 AC)
IMPERVIOUS SURFACE (PROJECT AREA):	TOTAL PROPOSED IMP. AREA: 21,987 SF (0.505 AC) EXISTING IMP. AREA TO BE REMOVED: 25,878 SF (0.596 AC) NET IMP. AREA AFTER IMP. REMOVAL: -3,890 SF (0.091 AC) EXISTING OPEN SPACE AREA: 91,450 SF (2,099 AC) BUILT UPON AREA %: -3,980 SF / 91,450 SF = -0.0435 (4.35%)
AMENITY SPACE:	EXEMPT PER UDO TABLE 10.2.B.8.4. REQUIRED PER UDO SEC 9.1.3.A.1.J: 10%. PROVIDED: CALCULATIONS PER UDO SEC. 9.1.4.B.5. & 9.1.4.C.1-9. TOTAL AREA OF CRITICAL ROOT ZONES FOR ALL HEALTHY TREES W/ 10" AND GREATER DBH = 5,117 SF (0.119 AC). 0.119 AC / 4.14 AC (TOTAL PARCEL AREA) = 2.87% TCA
TREE CONSERVATION AREA:	PRIMARY STREET (MIN.): 20' SIDE STREET (MIN.): 10' REAR LOT LINE (MIN.): 30'
PRINCIPAL BUILDING SETBACKS:	PRIMARY STREET (MIN.): 20' SIDE STREET (MIN.): 10' SIDE LOT LINE (MIN.): 10' REAR LOT LINE (MIN.): 10'
PARKING SETBACKS:	EXISTING: 28.54' GRASS TO BE REMOVED; 1,564 SF EXISTING TO REMAIN; 27,840 GSFA PROPOSED BLDG + 5,300 GSFA TOTAL EXISTING REMAINING + PROPOSED: 33,240 GSFA ALLOWED: 3-STORY MAX. PROPOSED BLDG: 1 STORY / 24'-4"
BUILDING FLOOR AREA:	MAX. ALLOWABLE: NONE TOTAL PROVIDED: 30 SPACES (INCLUDING 1 ADA VAN SPACE) PUBLIC & INSTITUTIONAL SHORT TERM MIN.: 1 SPACE / CLASSROOM 1 SPACE x 10 CLASSROOMS = 10 SPACES LONG TERM (MIN.): 3 SPACES / CLASSROOM 3 SPACES x 10 CLASSROOMS = 30 SPACES SHORT TERM (MIN.): 3 SPACES = 10 SPACES LONG TERM (MIN.): 10 SPACES = 30 SPACES TOTAL: 30 BICYCLE PARKING SPACES
BUILDING HEIGHT:	UDO SEC. 7.1.7.J. IN NO CASE IS A SINGLE USE OR SINGLE LOT REQUIRED TO PROVIDE MORE THAN 30 BICYCLE PARKING SPACES.
REQUIRED BICYCLE PARKING:	
PROVIDED BICYCLE PARKING:	



**PAST DESIGN GROUP, PA**  
Engineering | Consulting  
507 Reynolds Road, Suite 300, Raleigh, NC 27606  
Phone: 919.946.4499 | Fax: 919.946.2981 | Lic. Contract No. 00117

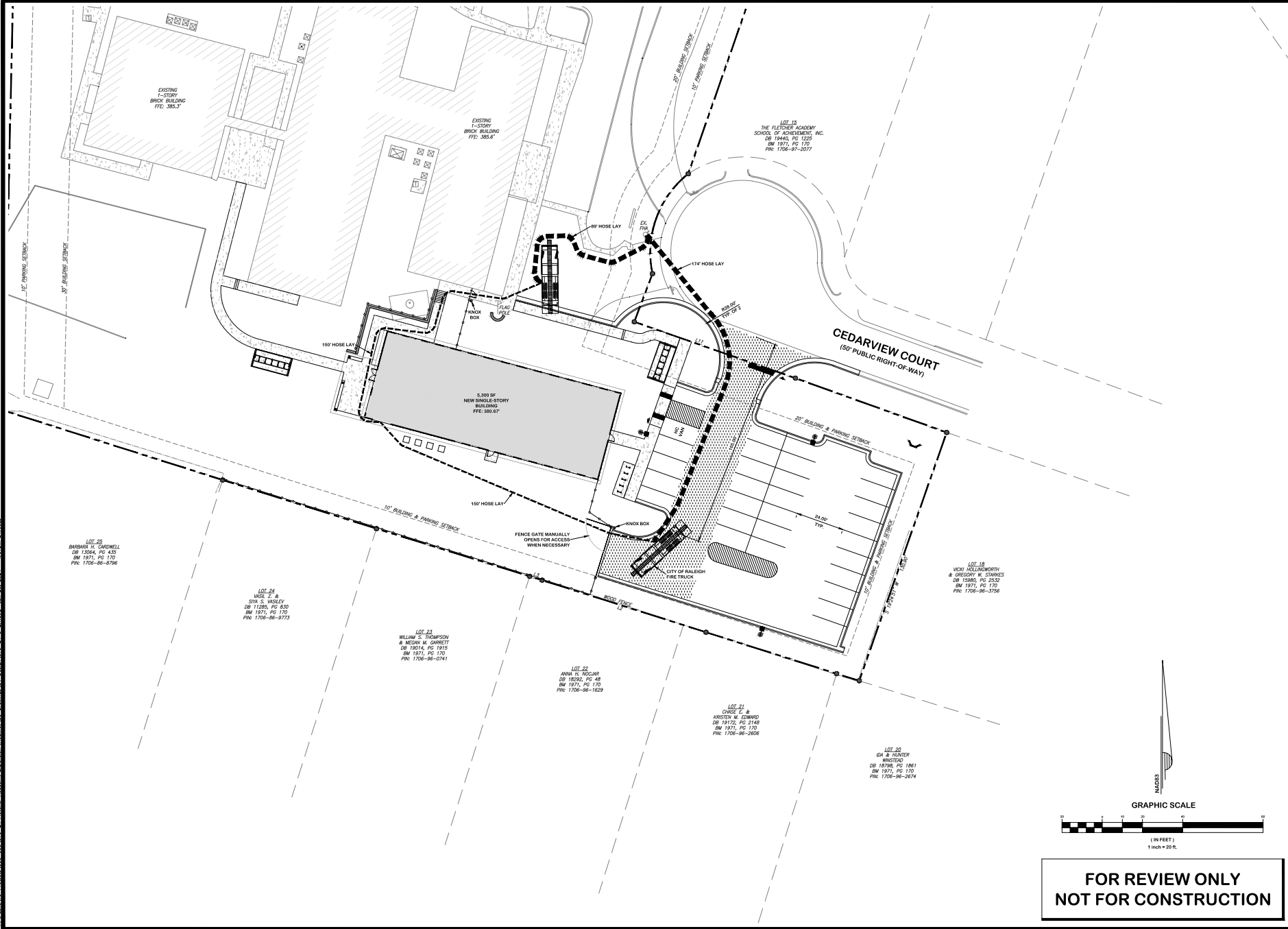
**FLETCHER ACADEMY EXPANSION**  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
TIER 2 ADMINISTRATIVE SITE REVIEW  
SITE LAYOUT PLAN

NO. \_\_\_\_\_ REVISION: \_\_\_\_\_ DATE: \_\_\_\_\_

**DRAWING SHEET**  
**C-2.0**  
PROJECT NUMBER  
**679-24**

**FOR REVIEW ONLY**  
**NOT FOR CONSTRUCTION**





**PASST DESIGN GROUP, PA**  
 Engineering | Construction  
 927 Poplarwood Lane, Suite 100, Raleigh, NC 27604  
 Phone: 919.944.4499 | Fax: 919.944.4498 | Email: info@passtdesign.com

PREPARED FOR:	THE FLETCHER ACADEMY, INC.
DATE:	10/15/2024
PROJECT NUMBER:	1706-96-2874
PROJECT CHARGED DESIGNER:	DAVID B. HUNTER
PROJECT CHARGED ENGINEER:	DAVID B. HUNTER

**FLETCHER ACADEMY EXPANSION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 2 ADMINISTRATIVE SITE REVIEW**  
**FIRE TRUCK INGRESS/EGRESS PLAN**

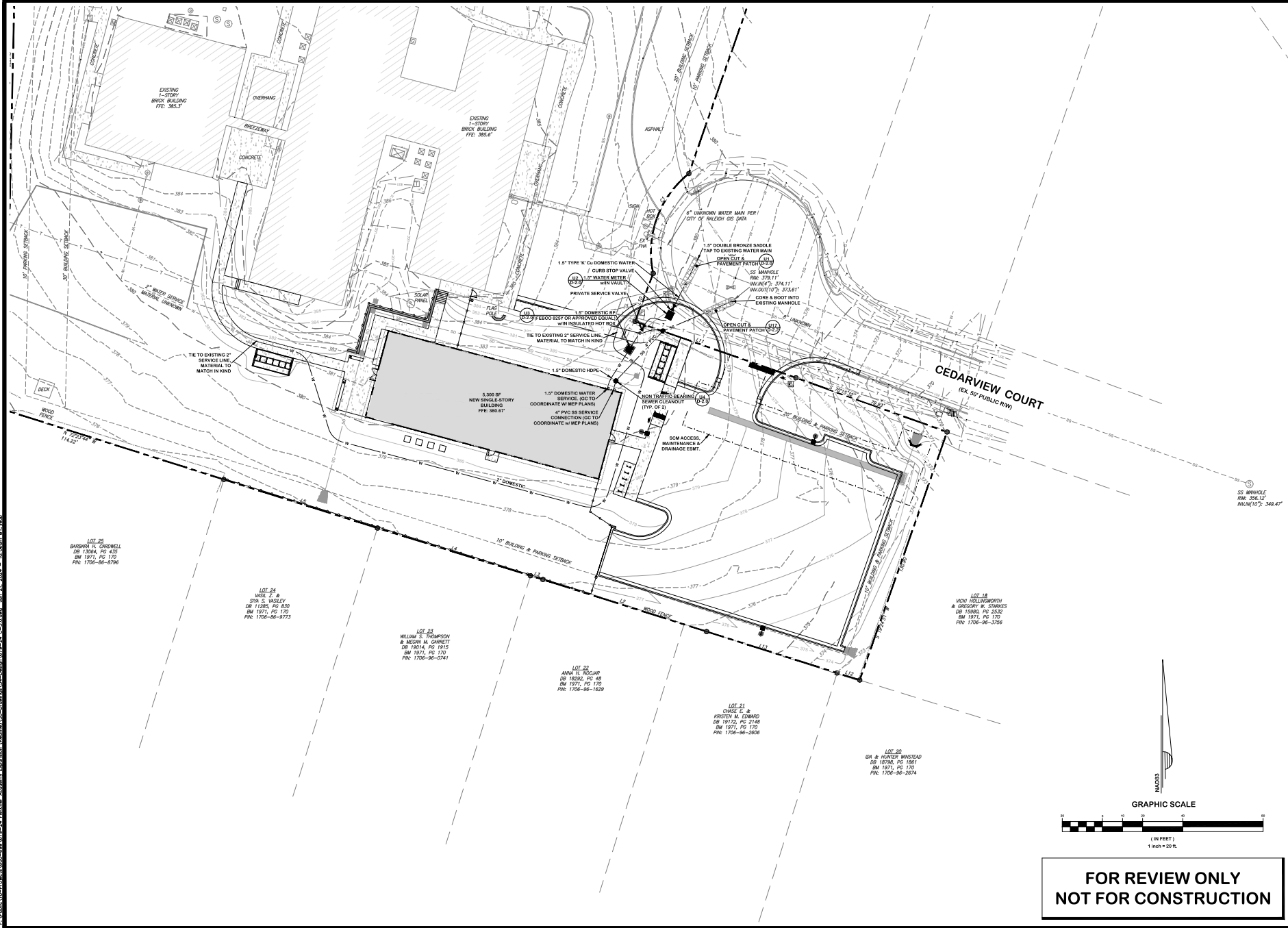
NO.	REVISION
1	REVISED PER CITY COMMENTS
DATE:	10/15/24

**DRAWING SHEET**  
**C-2.1**  
 PROJECT NUMBER  
**679-24**

**FOR REVIEW ONLY**  
**NOT FOR CONSTRUCTION**

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NO.	REVISION	DATE
1	REVISED PER CLIENT COMMENTS	10/15/24



LOT 25  
 BARBARA T. GARDWELL  
 DB 1504, PG 425  
 BM 1971, PG 170  
 PNC 1706-86-8796

LOT 24  
 WISE S. &  
 SHY S. WISELY  
 DB 11285, PG 830  
 BM 1971, PG 170  
 PNC 1706-86-9773

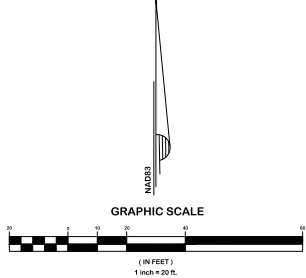
LOT 23  
 WILLIAM S. THOMPSON  
 & MEGAN M. GARRETT  
 DB 19174, PG 1915  
 BM 1971, PG 170  
 PNC 1706-86-0241

LOT 22  
 ANNA W. TOSCANO  
 DB 18292, PG 48  
 BM 1971, PG 170  
 PNC 1706-86-1629

LOT 21  
 CHRIS E. &  
 KRISTEN M. EDWARDS  
 DB 19172, PG 2148  
 BM 1971, PG 170  
 PNC 1706-86-2806

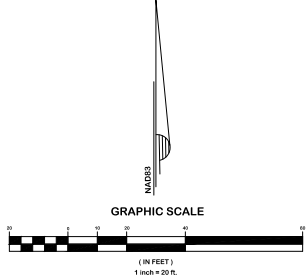
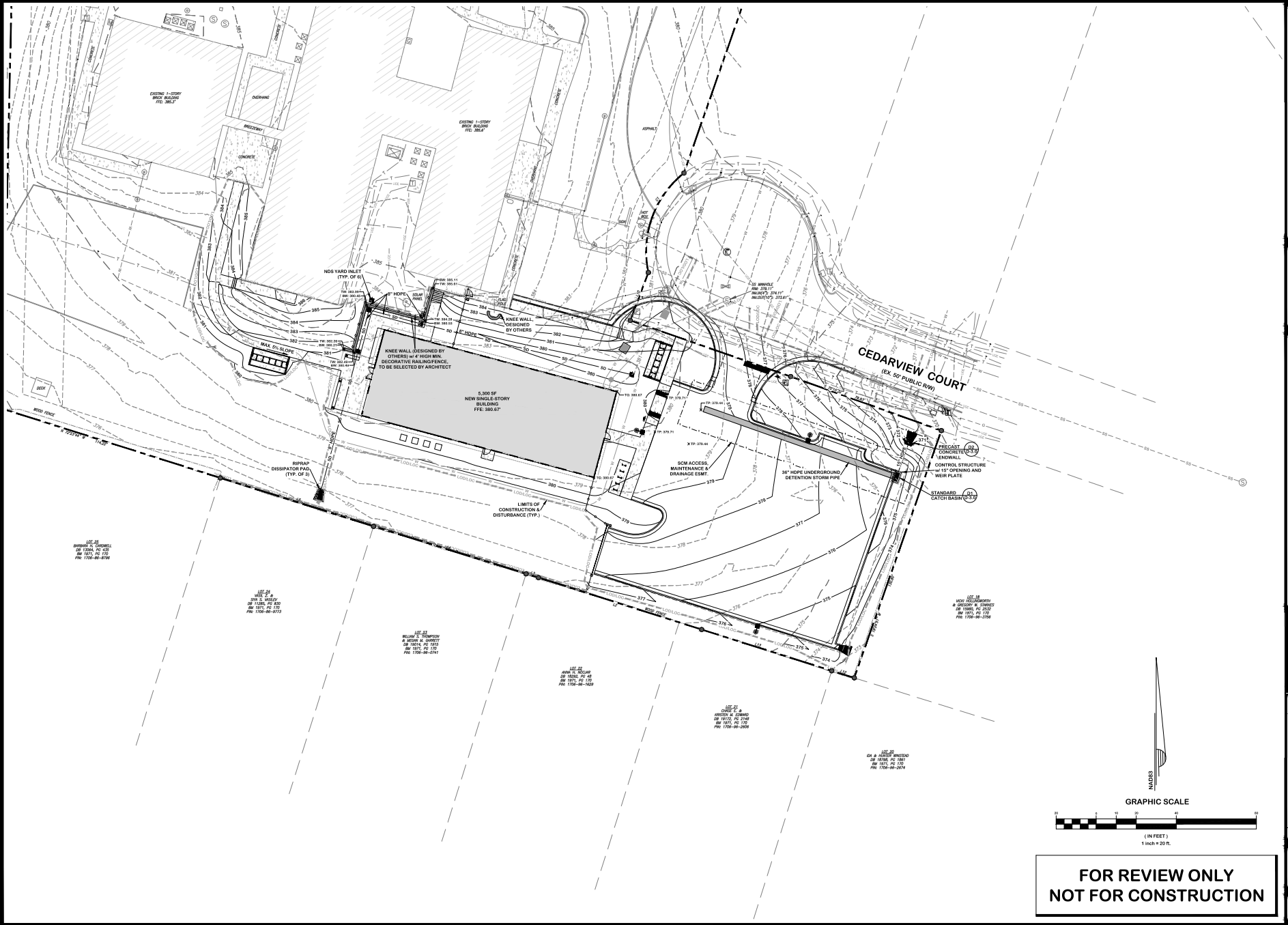
LOT 20  
 DA & HUNTER WINSTEAD  
 DB 18796, PG 1861  
 BM 1971, PG 170  
 PNC 1706-86-3674

LOT 18  
 WICKY HOLLINGSWORTH  
 & GREGORY W. SHARRKS  
 DB 15980, PG 2532  
 BM 1971, PG 170  
 PNC 1706-86-3756



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**FLETCHER ACADEMY EXPANSION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 2 ADMINISTRATIVE SITE REVIEW**  
**GRADING & STORM DRAINAGE PLAN**

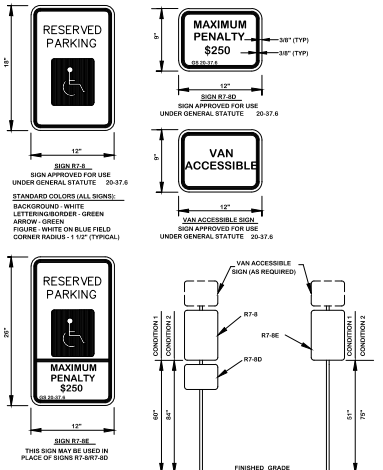


**FOR REVIEW ONLY**  
**NOT FOR CONSTRUCTION**

NO.	REVISION	DATE

**DRAWING SHEET**  
**C-4.0**  
 PROJECT NUMBER  
**679-24**

C:\Users\jacob\OneDrive\Documents\679-24-Fletcher\_Academy\_Expansion\679-24-Administrative\_Review\679-24-C-4.0.dwg - 03/25/2024 - 10:16am - 819 149

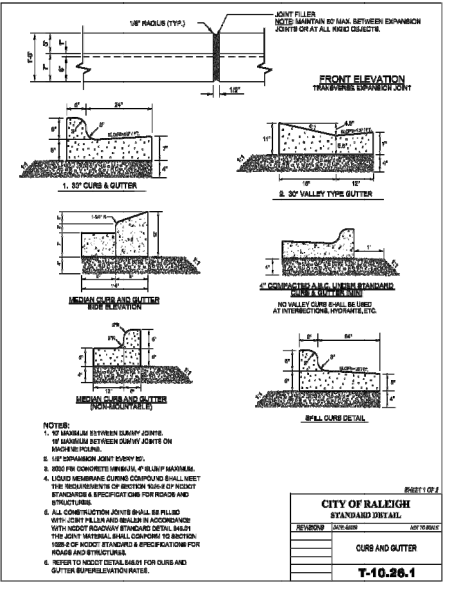


**GENERAL NOTES:**

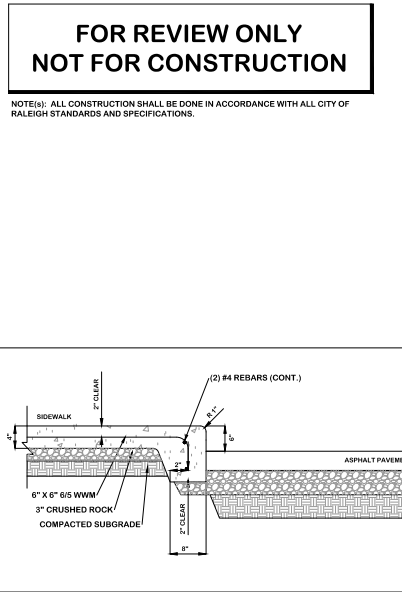
- REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY. (SEE N.C.G.S.)
- NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
- ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY. BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
- STRIPING IS WHITE ON DARK PAVEMENT, BLACK ON LIGHT PAVEMENT. (N.C.D. 1.)

CONDITION 1: PEDESTRIAN PATH DOES NOT PASS UNDER OR AROUND SIGN.  
 CONDITION 2: PEDESTRIAN PATH DOES BY UNDER, OR AROUND SIGN.

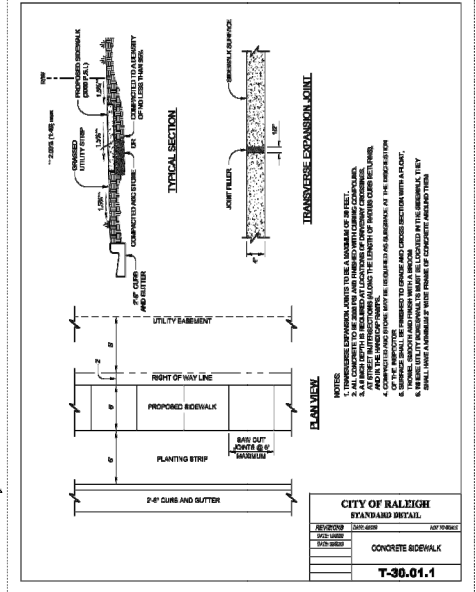
**S1 ADA HANDICAP PARKING SIGN**



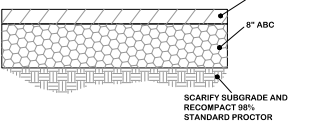
**S2 24\"/>**



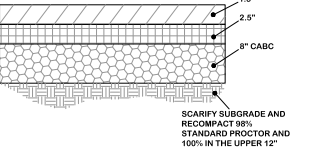
**S3 SIDEWALK ADJACENT TO PARKING**



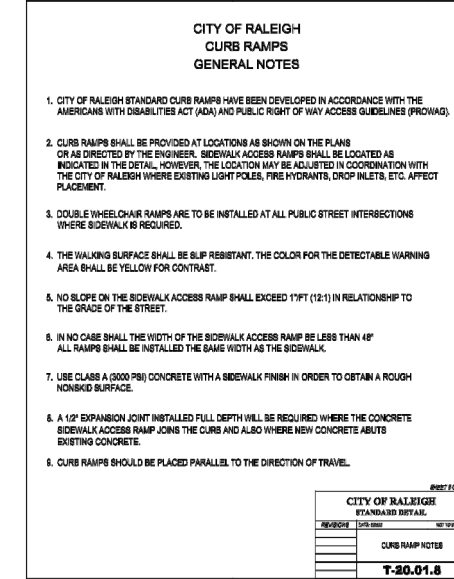
**S4 CONCRETE SIDEWALK**



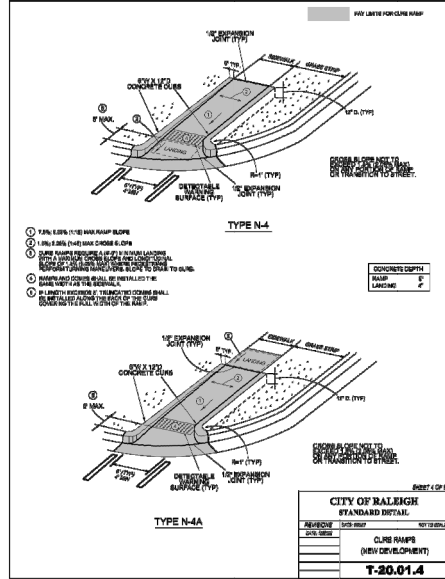
**S5 LIGHT DUTY - ASPHALT PAVEMENT SECTION**



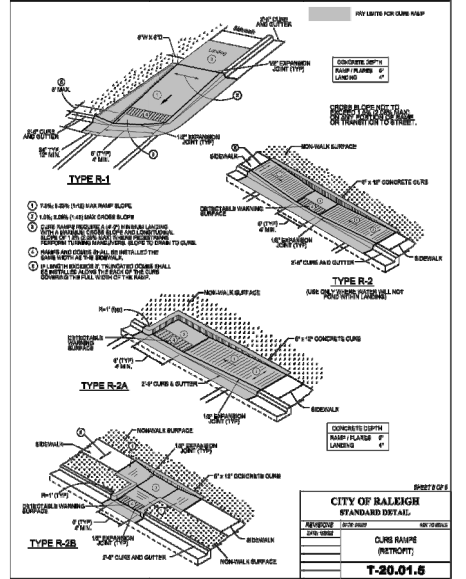
**S6 HEAVY DUTY - ASPHALT PAVEMENT SECTION**



**CITY OF RALEIGH STANDARD DETAIL**  
**T-20.01.8**



**CITY OF RALEIGH STANDARD DETAIL**  
**T-20.01.4**



**CITY OF RALEIGH STANDARD DETAIL**  
**T-20.01.5**

**S7 CURB RAMP DETAILS & NOTES**

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 NOT FOR CONSTRUCTION**

NOTES: ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**PAST DESIGN GROUP, PA**  
 Engineering | Consulting  
 10000 South Carolina Drive  
 Suite 200  
 Charlotte, NC 28226  
 Phone: 704.488.1444  
 Fax: 704.488.1445  
 Website: www.pastdesign.com

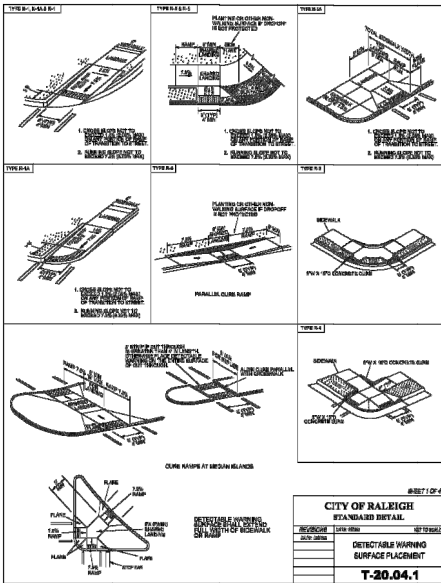
**FLETCHER ACADEMY EXPANSION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
 TIER 2 ADMINISTRATIVE SITE REVIEW  
 SITE DETAIL SHEET

PROJECT NUMBER: 19-001  
 PROJECT CHAIR: JAMES W. PASTOR  
 PROJECT ENGINEER: JAMES W. PASTOR  
 PROJECT DESIGNER: JAMES W. PASTOR  
 PROJECT CHECKER: JAMES W. PASTOR  
 PROJECT DATE: 10/20/2019

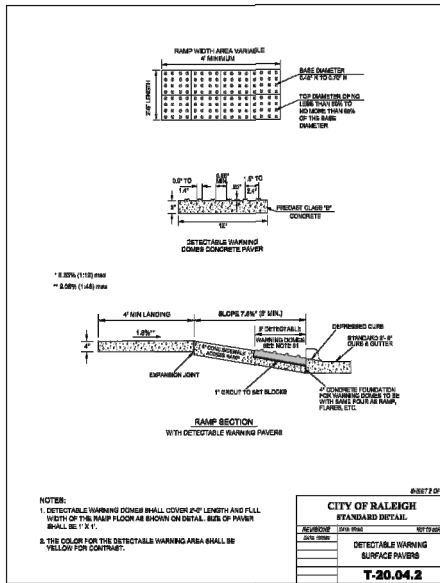
DATE: 10/20/2019  
 SCALE: AS SHOWN  
 SHEET: T-20.01.4  
 OF: T-20.01

NO. \_\_\_\_\_ DATE \_\_\_\_\_ REVISION \_\_\_\_\_

DRAWING SHEET  
**D-1.0**  
 PROJECT NUMBER  
**679-24**



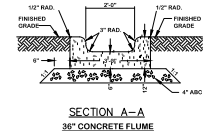
S8 DETECTABLE WARNING SURFACE PLACEMENT



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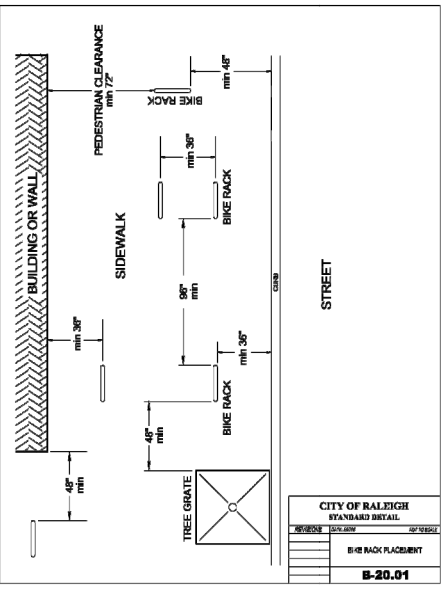
NOTE(S): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:  
1. FINISH ALL CONCRETE WITH CURING COMPOUND.  
2. CONCRETE SHALL BE 3000 PSI.

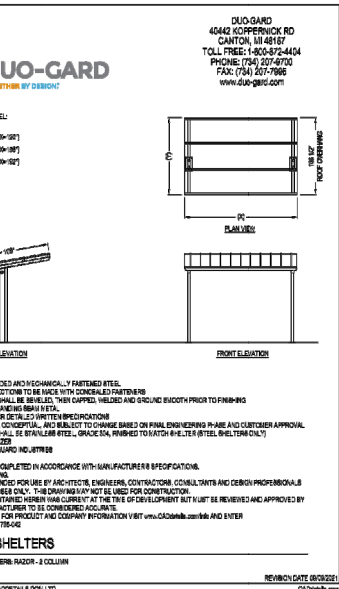
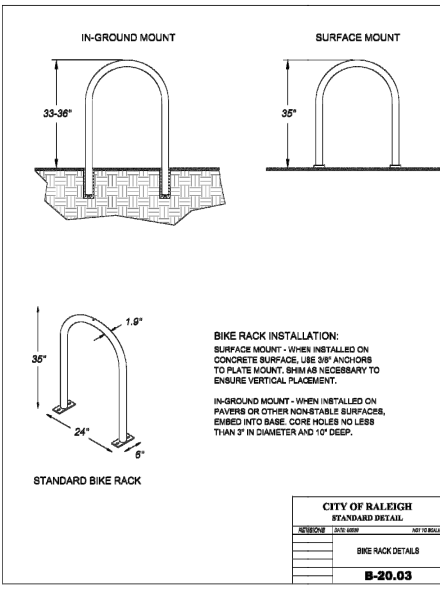


SECTION A-A  
3\"/>

S9 CONCRETE FLUME



S10 BIKE RACK DETAILS & PLACEMENT



S11 BIKE RACK DETAILS & PLACEMENT

**PAST DESIGN GROUP, PA**  
Engineering | Consulting  
10000 Park Road, Suite 100  
Raleigh, NC 27617  
Phone: 919.877.1111

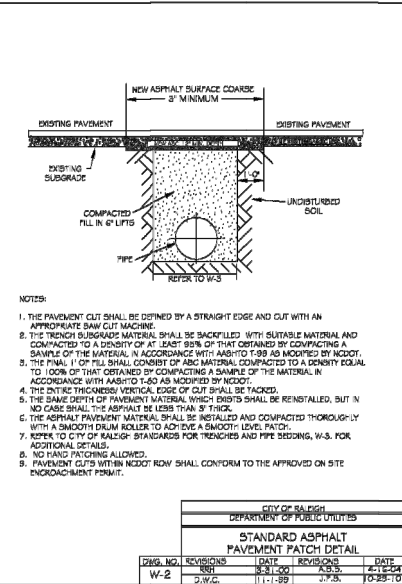
PROJECT NO. 4  
DATE: 10/2024  
PROJECT CHAIR: [Name]  
PROJECT DESIGNER: [Name]  
PROJECT MANAGER: [Name]

**FLETCHER ACADEMY EXPANSION**  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
TIER 2 ADMINISTRATIVE SITE REVIEW  
SITE DETAIL SHEET

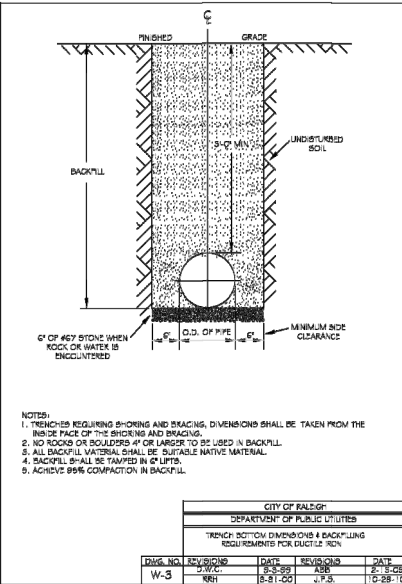
NO.	REVISION	DATE
1	REVISED PER COMMENTS	10/23/24

DRAWING SHEET  
**D-1.1**  
PROJECT NUMBER  
**679-24**

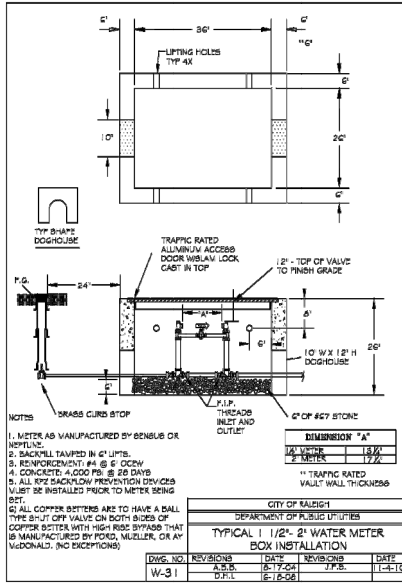
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**U1** OPEN CUT & PAVEMENT PATCH FOR WATER SERVICE CONNECTION



**U2** TYPICAL WATER METER BOX INSTALLATION



**U3** 1.5" DOMESTIC RPZ ASSEMBLY

**Engineering Specification** EN-F-630Y

Job Name: \_\_\_\_\_ Contractor: \_\_\_\_\_  
 Job Location: \_\_\_\_\_ Approval: \_\_\_\_\_  
 Engineer: \_\_\_\_\_ Contractor's P.O. No.: \_\_\_\_\_  
 Approver: \_\_\_\_\_ Responsible: \_\_\_\_\_

**Series 825Y**  
**Reduced Pressure Zone Assemblies**  
 1/2" - 2"

**WARNING:**  
 It is never to use this device in the starting position providing relief for future construction, such as setting or dismantling, in the lateral plane. Failure to follow these instructions could result in a total meter assembly failure and possible flooding.

**OPERATION:**  
 In a flow condition the check valve will open with the pressure between the check valve and the control valve maintained or made to fall lower than the inlet pressure and the relief valve is maintained closed.  
 Should abnormal conditions arise under no flow or reverse or flow, the differential relief valve opens and discharges to maintain the zone at least 2 psi lower than the backflow.  
 When normal flow resumes, the differential pressure in the zone returns and the relief valve closes.

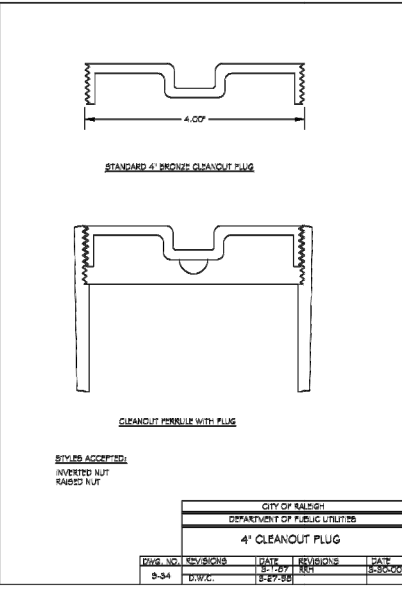
**NOTICE:**  
 Use of the flood service does not relieve the need to comply with all required restrictions, codes, and regulations related to installation, operation, and maintenance of the product. Backflow preventer is not intended to replace the full product installation and safety information available for the experience of a trained product specialist. You are required to thoroughly read all installation instructions and product safety information before beginning the installation of this product. Inquire with governing authorities or local installation equipment.

**FEATURES:**

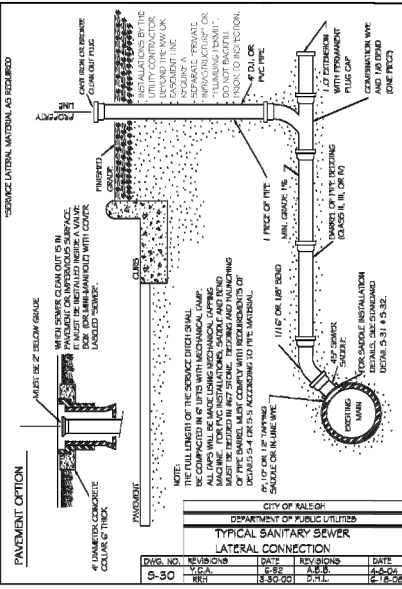
- Ultra-quiet mechanical protection of potable water, against backflow of cross-connection contaminants.
- Meets all specifications of AWWA, AISE, and CBA.
- Approved by the Foundation for Cross-Connection Control and Hydraulic Research at the University of Southern California.
- Modular relief valve for ease of maintenance.
- Simple service procedure.
- All internal parts serviceable in line.
- Low head loss.
- Spring loaded 1" zone check valve.
- Internal relief valve pressure setting adjustable.
- Replaceable seal ring on all sizes.
- End connection - NPT (M) / AISE (S).
- Selector on the relief valve for flood detection.
- Floor plate feature actuated with end-on sensor connection kit, compatible with BMS and other communication equipment.

**WARRANTY:**  
 FENNELS warrants this assembly with all its accessories and components to be free from defects in material and workmanship for a period of 5 years from the date of manufacture. FENNELS does not warrant the assembly for use in applications not intended by the manufacturer.

**FENNELS**



**U4** SANITARY SEWER LATERAL CONNECTION & CLEANOUT



**FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION**

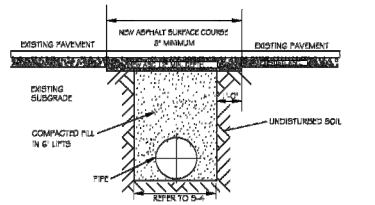
NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**PAST DESIGN GROUP, PA**  
 Engineering | Consulting  
 10000 W. HARRIS BLVD. SUITE 1000  
 WASHINGTON, DC 20037

**FLETCHER ACADEMY EXPANSION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
 TIER 2 ADMINISTRATIVE SITE REVIEW  
 UTILITY DETAIL SHEET

NO.	REVISION	DATE
1	REVISED PER CAP COMMENTS	11-21-24

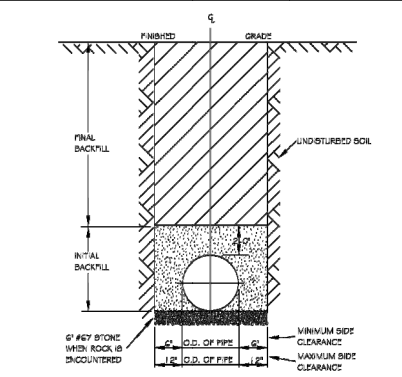
DRAWING SHEET  
**D-2.0**  
 PROJECT NUMBER  
**679-24**



NOTES:

1. IN NC DOT MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 98% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH ASDOT 399 AS MODIFIED BY NC DOT.
4. THE FINAL 1" OF FILL SHALL CONSIST OF ASB MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH ASDOT 399 AS MODIFIED BY NC DOT.
5. THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.
6. THE SAME COFFIN OF PAVEMENT MATERIAL WHICH BERTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 2" THICK.
7. THE ASPHALT PAVEMENT MATERIAL SHALL BE REINSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
8. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING (S-4 & S-5) FOR ADDITIONAL DETAILS.
9. NO HAND PATCHING ALLOWED.
10. PAVEMENT CUTS WITHIN NC DOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-3			



NOTES:

1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
2. NO ROCKS OR SOULDERES 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.
5. ACTIVE SOIL COMPACTION IN NON-TRAFFIC AREAS, AND 98% COMPACTION IN TRAFFIC AREAS.
6. IF IN EXISTENCE OF TRENCH, AND 12" CLEAN SELECT FILL MAY BE REQUIRED.
7. NO BOULDERES 2" IN DIAMETER OR GREATER ALLOWED IN FINAL BACKFILL.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES TRENCH BOTTOM DIMENSIONS & BACKFILL REQUIREMENTS FOR DUCTILE IRON			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-4			

**U5 OPEN CUT & PAVEMENT PATCH FOR PVC SEWER SERVICE CONNECTION**

**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

NOTE (A): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**PAST DESIGN GROUP, PA**  
Engineering | Construction  
1700 4th Ave SE, Suite 300, Marietta, GA 30067  
(770) 412-0600

PREPARED FOR: **FLETCHER ACADEMY EXPANSION**  
BY: **U5**

DATE: 10/15/2024

PROJECT NUMBER: **679-24**

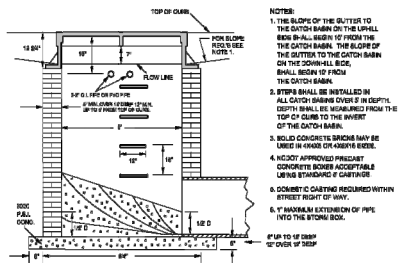
PROJECT CHAIR/DESIGNER: **J.P.S.**

PROJECT MANAGER/SUPERVISOR: **J.P.S.**

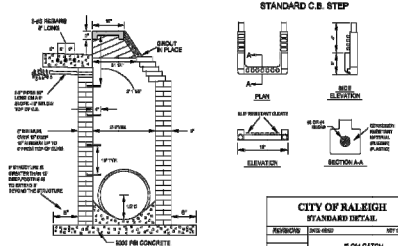
**FLETCHER ACADEMY EXPANSION**  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 2 ADMINISTRATIVE SITE REVIEW  
UTILITY DETAIL SHEET**

NO.	REVISION	DATE

**DRAWING SHEET**  
**D-2.1**  
PROJECT NUMBER  
**679-24**



NOTES:  
 1. THE SLOPE OF THE GUTTER TO THE CATCH BASIN ON THE LEVILL SIDE SHALL BE 1/4" PER FOOT FROM THE TOP OF CURB TO THE CATCH BASIN. THE SLOPE OF THE GUTTER TO THE CATCH BASIN ON THE DOWNHILL SIDE SHALL BE 1/4" PER FOOT FROM THE TOP OF CURB TO THE CENTER OF THE CATCH BASIN.  
 2. STEPS SHALL BE INSTALLED IN ALL CATCH BASIN COVERS. THE DEPTH SHALL BE 2 INCHES FROM THE TOP OF CURB TO THE SURFACE OF THE CATCH BASIN.  
 3. BOLD CONCRETE WORK MAY BE USED IN HAND OR UNDER SIDE.  
 4. NCDOT APPROVED PRECAST CONCRETE BODIES ACCEPTABLE USING STANDARD 2' GARTAGE.  
 5. CONCRETE CASTING REQUIRED WITHIN STREET RIGHT OF WAY.  
 6. 1" MINIMUM EXTENSION OF PIPE INTO THE STORM BOSS.  
 7. 1/4" TO 1/2" DEEP OR OVER 1/2" DEEP



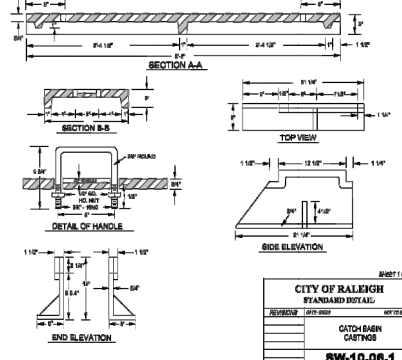
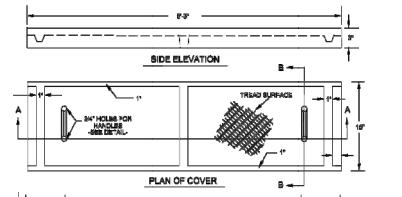
**STANDARD C.B. STEP**

CITY OF RALEIGH  
 STANDARD DETAIL

REVISION DATE BY  
 \_\_\_\_\_

CATCH BASIN  
 GARTAGE

SW-10.01

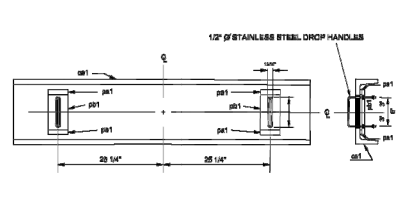


**CITY OF RALEIGH**  
 STANDARD DETAIL

REVISION DATE BY  
 \_\_\_\_\_

CATCH BASIN  
 GARTAGE

SW-10.06.1



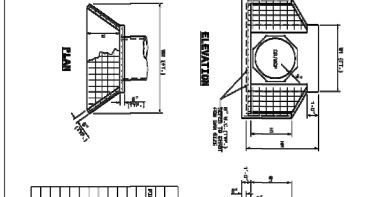
**CITY OF RALEIGH**  
 STANDARD DETAIL

REVISION DATE BY  
 \_\_\_\_\_

CATCH BASIN  
 GARTAGE

SW-10.07

D1 STANDARD CATCH BASIN DETAILS



**CITY OF RALEIGH**  
 STANDARD DETAIL

REVISION DATE BY  
 \_\_\_\_\_

CATCH BASIN  
 GARTAGE

SW-10.07

D2 NCDOT PRECAST CONCRETE ENDWALL

**FOR REVIEW ONLY  
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NOTE: ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



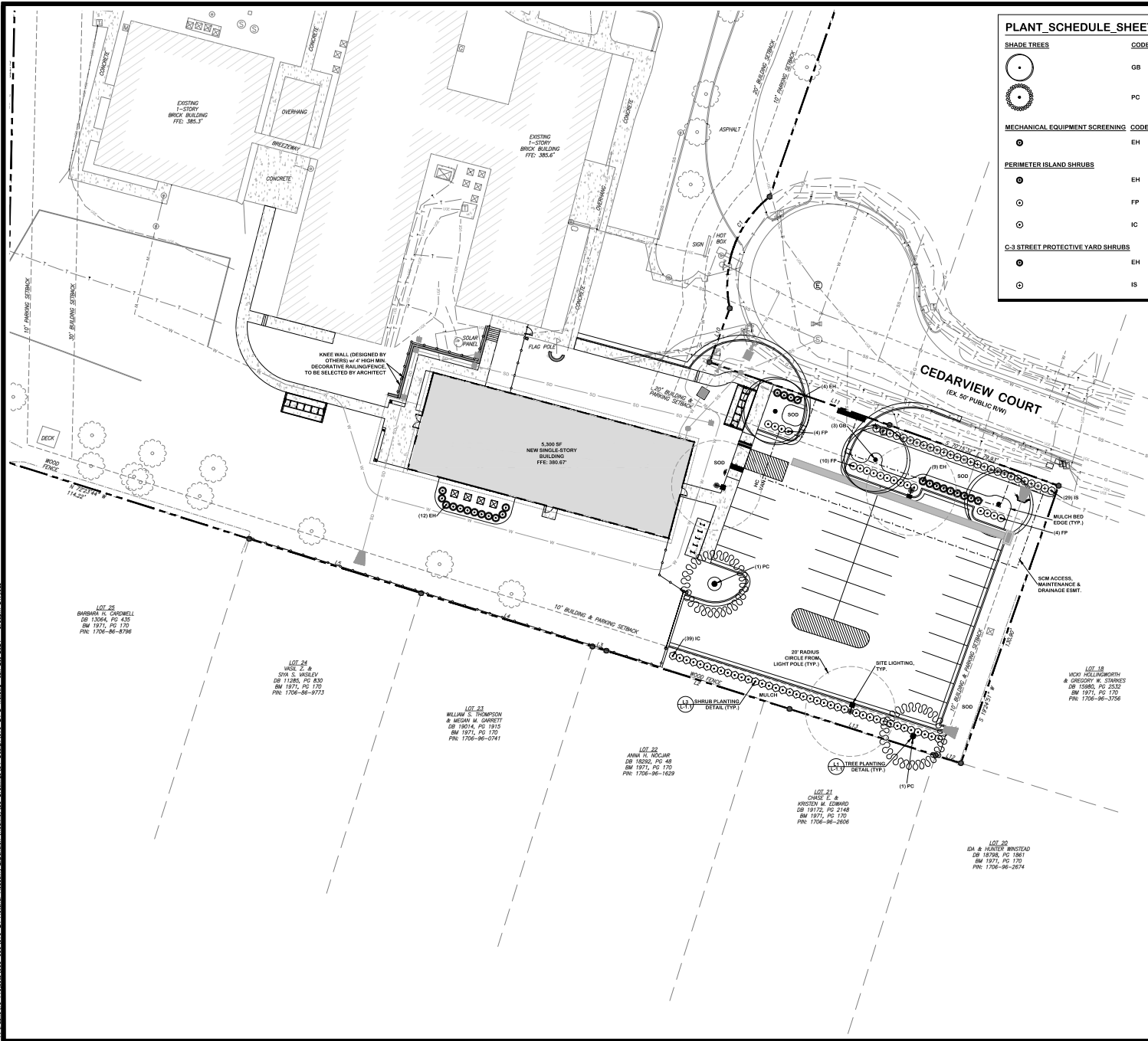
FORWARD FOR: JEFFREY W. HARRIS, P.E.  
 400 CHARLOTTE ST.  
 RALEIGH, NORTH CAROLINA 27601  
 DATE: 10/15/2018  
 PROJECT NUMBER: 1707  
 PROJECT CHAIR/DESIGNER: \_\_\_\_\_  
 PROJECT SUPERVISOR: \_\_\_\_\_  
 PROJECT JACO: SEAN/DAVID, P.E.

**FLETCHER ACADEMY EXPANSION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
 TIER 2 ADMINISTRATIVE SITE REVIEW  
 STORM DRAINAGE DETAIL SHEET

NO.	REVISION	DATE

DRAWING SHEET  
**D-3.0**  
 PROJECT NUMBER  
**679-24**





### PLANT SCHEDULE SHEET L-1.0

SHADE TREES	CODE	QTY	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	CONTAINER
	GB	3	Ginkgo biloba 'Autumn Gold' Autumn Gold Maidenhair Tree	3" MIN.	10' MIN.	B&B
	PC	2	Pistacia chinensis Chinese Pistache	3" MIN.	10' MIN.	B&B

MECHANICAL EQUIPMENT SCREENING	CODE	QTY	BOTANICAL / COMMON NAME	INSTALL	MATURE HT.	MATURE WIDTH
	EH	12	Distylium 'Emerald Heights' Emerald Heights Distylium	36" MIN.	4-5'	4-5'

PERIMETER ISLAND SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	INSTALL	MATURE HT.	MATURE WIDTH
	EH	9	Distylium 'Emerald Heights' Emerald Heights Distylium	18" MIN.	3-4'	3-4'
	FP	18	Gardenia jasminoides 'Frostproof' Frostproof Gardenia	18" MIN.	4-5'	4-5'
	IC	39	Ilex vomitoria 'Condeaux' Bordeaux Yaupon Holly	18" MIN.	3-4'	3-4'

C-3 STREET PROTECTIVE YARD SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	INSTALL	MATURE HT.	MATURE WIDTH
	EH	4	Distylium 'Emerald Heights' Emerald Heights Distylium	18" MIN.	4-5'	6-8'
	IS	29	Ilex glabra 'Shamrock' Shamrock Inkberry Holly	18" MIN.	4-5'	4-5'

#### LANDSCAPE CALCULATIONS:

**TREE COVERAGE (UDO 7.1.7.2.3)**  
 REQUIRED: 1 TREE PER EVERY 2,000 SF OF PARKING AREA  
 REQUIRED: 5,022 / 2,000 = 2.51 = 3 TREES  
 PROVIDED: 5

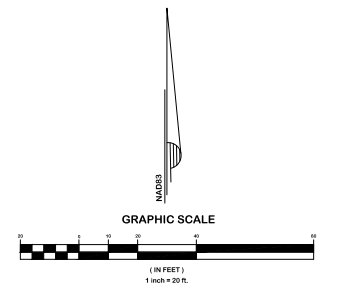
**PERIMETER ISLAND LF (UDO 7.1.7.6)**  
 REQUIRED: 30 SHRUBS PER 100 LF OF PERIMETER ISLAND THAT IS ALONG PRIMARY INTERNAL ACCESS DRIVES  
 REQUIRED: (221 LF / 100) x 30 = 66.3 = 66 SHRUBS  
 PROVIDED: 66 SHRUBS

**EACH INTERIOR ISLAND (AND TERMINAL INTERIOR ISLAND)**  
 MUST INCLUDE AT LEAST 1 SHADE TREE (UDO 7.1.7.1.1)  
 REQUIRED: 5 SHADE TREES  
 PROVIDED: 5 SHADE TREES

**TYPE C3 STREET PROTECTIVE (UDO 7.2.4.1)**  
 MUST INCLUDE 30 SHRUBS PER 100 LF (3" MIN. HEIGHT AT PLANTING)  
 REQUIRED: (109 LF / 100) x 30 = 32.7 = 33 SHRUBS  
 PROVIDED: 33 SHRUBS

**SCREENING (UDO 7.2.5)**  
 MECHANICAL EQUIPMENT SCREENING REQUIRED: CONTINUOUS FOR GROUND MOUNTED EQUIPMENT, SCREENING SHOULD BE AS HIGH AS THE TALLEST POINT OF EQUIPMENT BEING SCREENED  
 PROVIDED: 12 EVERGREEN SHRUBS AT 36" MIN. (CODE MET)

**STREET TREES**  
 REQUIRED: N/A PER TIER 2 ASR CLASSIFICATION



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**NOT FOR CONSTRUCTION**

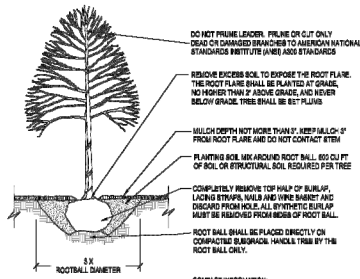
**PASST DESIGN GROUP, PA**  
 Engineering | Consulting  
 927 Poplarwood Road, Suite 300, Raleigh, North Carolina 27601  
 Phone: 919.944.4499 | Fax: 919.944.2981 | E: CONTACT@PASST.COM

**FLETCHER ACADEMY EXPANSION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 2 ADMINISTRATIVE SITE REVIEW**  
**LANDSCAPE PLAN**

DATE: 10/13/2024  
 PROJECT NUMBER: 1706-96-8796  
 PROJECT CHAIR: BARBARA T. CARDWELL  
 PROJECT DESIGNER: WISELEY SIVS

NO. \_\_\_\_\_  
 REVISION \_\_\_\_\_  
 DATE \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_

**DRAWING SHEET**  
**L-1.0**  
 PROJECT NUMBER  
**679-24**

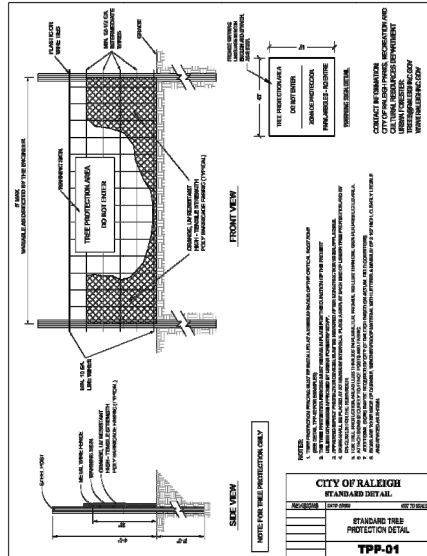


CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL  
RESOURCES DEPARTMENT URBAN FORESTER  
TREES@RAL.ECH2.GOV  
WWW.RALEIGH.GOV

- NOTES:
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 4 OF THE CITY TREE MANUAL.
  2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  4. A TREE IMPACT PERMIT IS REQUIRED.
  5. ELECTRICAL, OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

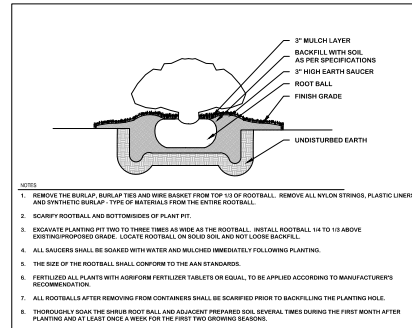
CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY / DESIGNED
		TREE PLANTING DETAIL
<b>TPP-03</b>		

L1 TREE PLANTING DETAIL



CITY OF RALEIGH STANDARD DETAIL		
REVISION	DATE	BY / DESIGNED
		STANDARD TREE PROTECTION DETAIL
<b>TPP-01</b>		

L2 TREE PROTECTION DETAIL



- NOTES:
1. REMOVE THE BURLAP, BURLAP TIES AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS AND SYNTHETIC BURLAP - TYPE OF MATERIALS FROM THE ENTIRE ROOTBALL.
  2. SCARIFY ROOTBALL AND BOTTOMSIDES OF PLANT PIT.
  3. EXCAVATE PLANTING PIT TWO TO THREE TIMES AS WIDE AS THE ROOTBALL. INSTALL ROOTBALL 1/4 TO 1/3 ABOVE EXISTING PROPOSED GRADE. LOCATE ROOTBALL ON SOFT SOIL AND NOT LOOSE BACKFILL.
  4. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
  5. THE SIZE OF THE ROOTBALL SHALL CONFORM TO THE A&N STANDARDS.
  6. FERTILIZED PLANTS WITH AGRIFORM FERTILIZER TABLETS OR EQUAL, TO BE APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATION.
  7. ALL ROOTBALLS AFTER REMOVING FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANTING HOLE.
  8. THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADEQUATELY PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND AT LEAST ONCE A WEEK FOR THE FIRST TWO GROWING SEASONS.

L3 SHRUB PLANTING DETAIL

FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

NOTE(s): ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

NO.	REVISION	DATE

DRAWING SHEET  
L-1.1

PROJECT NUMBER  
679-24



### Outdoor Lighting

**LED 50w Roadway - Type III - 3000K**

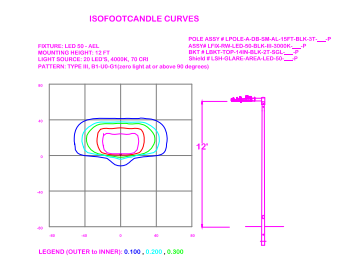
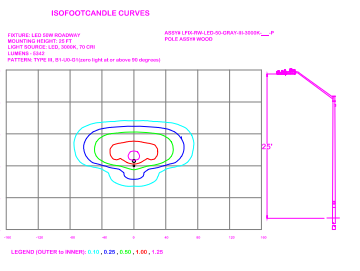
LED 50w Roadway - Type III - 3000K  
 Max. Hgt. 12' 0" (3.66m)  
 Pole Dia. 2.0" (50.8mm)  
 Pole Spacing 30' (9.14m)  
 Pole Material Galvalume Steel  
 Pole Finish Powder Coat  
 Pole Mounting Arm 12' (3.66m)  
 Pole Mounting Arm Material 6061-T6 Aluminum  
 Pole Mounting Arm Finish Anodized Aluminum  
 Pole Mounting Arm Dia. 1.5" (38.1mm)  
 Pole Mounting Arm Length 12' (3.66m)  
 Pole Mounting Arm Spacing 12' (3.66m)  
 Pole Mounting Arm Support 12' (3.66m)  
 Pole Mounting Arm Material 6061-T6 Aluminum  
 Pole Mounting Arm Finish Anodized Aluminum  
 Pole Mounting Arm Dia. 1.5" (38.1mm)  
 Pole Mounting Arm Length 12' (3.66m)  
 Pole Mounting Arm Spacing 12' (3.66m)  
 Pole Mounting Arm Support 12' (3.66m)

**Light Fixture Data**

Light Fixture Type LED  
 Light Fixture Power 50W  
 Light Fixture Voltage 120V  
 Light Fixture Lumens 4,442  
 Light Fixture Beam Spread 120°  
 Light Fixture Mounting Height 12' (3.66m)  
 Light Fixture Mounting Arm Length 12' (3.66m)  
 Light Fixture Mounting Arm Spacing 12' (3.66m)  
 Light Fixture Mounting Arm Support 12' (3.66m)

**Footcandle Curves**

Color Temperature: 3000K  
 Color Rendering Index: 90  
 Beam Spread: 120°  
 Mounting Height: 12' (3.66m)  
 Pole Dia.: 2.0" (50.8mm)  
 Pole Spacing: 30' (9.14m)  
 Pole Material: Galvalume Steel  
 Pole Finish: Powder Coat  
 Pole Mounting Arm: 12' (3.66m)  
 Pole Mounting Arm Material: 6061-T6 Aluminum  
 Pole Mounting Arm Finish: Anodized Aluminum  
 Pole Mounting Arm Dia.: 1.5" (38.1mm)  
 Pole Mounting Arm Length: 12' (3.66m)  
 Pole Mounting Arm Spacing: 12' (3.66m)  
 Pole Mounting Arm Support: 12' (3.66m)



Statistics					
Description	Symbol	Avg	Max	Min	Avg/Min
Parking	✳	0.7 fc	4.6 fc	0.1 fc	46.0:1

Schedule					
Symbol	Label	QTY	Description	Number Lamps	Lamp Output
✳	A	2	LED 50w Roadway - Type III - 3000K	1	5312
✳	B	1	LED 50w Roadway - Type III - 3000K - House Side Shield - 12' Mounting Height	1	4442

REV	DATE	DESCRIPTION	BY
06/04/24		CUSTOMER REQUESTED LIGHTING IN SW CORNER	NJ

NO.	DATE	REVISION	BY

**LIGHTING DESIGN TOLERANCE**

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, light fixture quality, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



**PROPRIETARY & CONFIDENTIAL**

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FLETCHER ACADEMY	
Raleigh, NC	
SITE LIGHTING ARRANGEMENT	
Designed by	DUKE ENERGY PROGRESS LIGHTING SOLUTIONS
Reviewed by	N. Johnson Scale: 1" = 20'
Date	06/04/2024 Size: Drawing size D"
Description	LED Roadway
Drawing No.	24-0186B
Sheet	1 OF 1

**TREE CONSERVATION AREA CALCULATIONS:**

REQUIRED: 10% (UDO SEC. 9.1.3.A.1.)  
PROVIDED: CALCULATIONS PER UDO SEC. 9.1.4.B.5. & 9.1.4.C.1-9. TOTAL AREA OF CRITICAL ROOT ZONES (CRZ) FOR ALL HEALTHY TREES WITH 10" AND GREATER DBH = 5,197 SF (0.119 AC)  
0.119 AC / 4.14 AC (TOTAL PARCEL AREA) = 2.87% TCA

**TREE CONSERVATION AREA LEGEND:**

- CRZ - CRITICAL ROOT ZONE
- CRZ APPLICABLE FOR TCA PER UDO SEC. 9.1.4.B.5. & 9.1.4.C.1-9.
- CRZ NOT APPLICABLE FOR TCA PER UDO SEC. 9.1.4.B.5. & 9.1.4.C.1-9.



**Tree Conservation Plan Data Sheet**  
UDO Article 9.1 Tree Conservation  
(Include applicable information on the plan sheet)

Project Name: FLETCHER ACADEMY EXPANSION (ASR-0024-2024)

Gross Site Acres:	4.141 ac
Right of way to be dedicated with this project:	2.500 ac
Net Site Acres:	4.141 ac

Number	Percent
1,2,3,4,5,6,7,8	2.87%

**UDO 9.1.4.A. Primary Tree Conservation Areas**

1. Primary Tree Conservation Area - SHCD 1	0.000 ac
2. Primary Tree Conservation Area - SHCD 2	0.000 ac
3. Primary Tree Conservation Area - Parked Footage	0.000 ac
4. Primary Tree Conservation Area - DM	0.000 ac
5. Primary Tree Conservation Area - MPOD	0.000 ac
6. Primary Tree Conservation Area - Change in Tree XC-Rib species	0.000 ac
7. Primary Tree Conservation Area - Noise Buffer Zone 2	0.000 ac
8. Primary Tree Conservation Area - 40% Slope	0.000 ac
9. Primary Tree Conservation Area - Throughfare	0.000 ac

Subtotal of Primary Tree Conservation Areas: 0.000 ac

**UDO 9.1.4.C.2 Tree Conservation Area - Greenway**

0.000 ac

**UDO 9.1.4.C.1.a & b. Secondary Tree Conservation Areas**  
(Include perimeter buffers and their alternate compliance areas)

0.000 ac

**UDO 9.1.4.C.1.c & d. Individual Tree Secondary Tree Conservation Areas**  
(Include individual trees and their alternate compliance areas)

5,197 SF	0.119 ac	2.87 %
----------	----------	--------

Subtotal of Secondary Tree Conservation Areas: 0.119 ac

**TOTAL ALL TREE CONSERVATION AREA PROVIDED: 0.119 ac 2.87 %**

**UDO 9.1.6 Watershed Protection Overlay Districts**

WMPD - Wooded Area (preserved)	0.000 ac
WMPD - Wooded Area (restored)	0.000 ac
WMPD - Wooded Area (preserved)	0.000 ac
WMPD - Wooded Area (restored)	0.000 ac
WMPD - Wooded Area (preserved)	0.000 ac
WMPD - Wooded Area (restored)	0.000 ac

**FOR REVIEW ONLY  
NOT FOR CONSTRUCTION**

**PAST DESIGN GROUP, PA**  
Engineering | Consulting  
507 Reynolds Road, Suite 300, Raleigh, North Carolina 27601  
Phone: 919.944.4499 | Fax: 919.944.2999 | Lic. License Number: C-2011

PROJECT NUMBER: 2024-01  
DATE: 10/17/2024  
PROJECT ENGINEER: [Name]  
PROJECT CAD DESIGNER: [Name]  
PROJECT SURVEYOR: [Name]

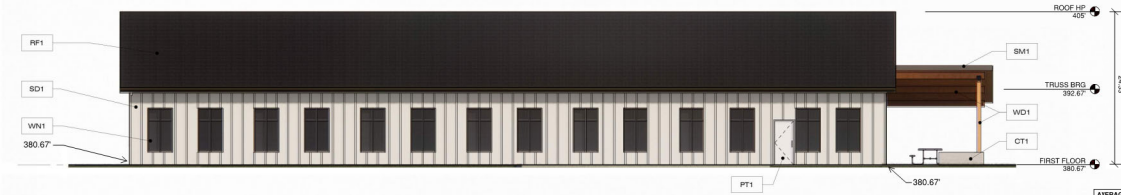
**FLETCHER ACADEMY EXPANSION**  
RALEIGH-WAKE COUNTY, NORTH CAROLINA  
**TIER 2 ADMINISTRATIVE SITE REVIEW**  
**TREE CONSERVATION AREA PLAN**

NO.	REVISION
1	REVISED PER CIP COMMENTS
2	
3	
4	
5	
6	
7	
8	
9	
10	

**DRAWING SHEET**  
**T-1.0**  
PROJECT NUMBER  
**679-24**

P:\Projects\2024\ASR-0024-2024\Fletcher\_Academy\_Expansion\_Tier2\_Administrative\_Site\_Review\_Tree\_Conservation\_Area\_Plan.dwg, 10/17/2024, 2:35:00pm, [User]





**1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

AVERAGE BUILDING CALCULATIONS		
	PROPOSED	
	HIGHEST	LOWEST
NORTH FACE	380.67'	380.67'
AVG. ELEVATION	380.67'	

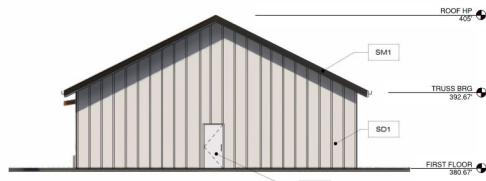
EXT. ELEVATIONS LEGEND	
RF1	ROOFING: DIMENSIONAL ASPHALT SHINGLE
SD1	WALL SIDING: FIBER CEMENT PANELS WITH VERTICAL BATTENS
WD1	WOOD: GLUE-LAM POST/BEAM
SM1	SHEET METAL: DARK BRONZE
GL1	GLAZING SYSTEM: ALUMINUM STORFRONT FRAMING WITH CLEAR INSULATING GLAZING
WN1	WINDOW: FIBERGLASS FRAMED INSULATED GLAZING UNIT
PT1	PAINT: DARK BRONZE



**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



REDLINE

925 Tuckaseegee Rd.  
Suite 110  
Charlotte, NC 28208  
704.377.2990  
www.redlinedg.com

**PRELIMINARY NOT FOR CONSTRUCTION**

XX.XX.XXXX

**FLETCHER ACADEMY UPPER SCHOOL PHASE II**

400 Cedarview Ct,  
Raleigh, NC 27609

#	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
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ARCH. PROJECT # **XX-XXX**

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

SHEET #

**A6.0**