

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>		
Building Type		Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: _____
		Administrative Alternate #: _____
GENERAL INFORMATION		
Development name: 6224 Angus Drive		
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Property address(es): 6224 Angus Dr. Raleigh, NC 27617		
Site P.I.N.(s): 0778221231		
Please describe the scope of work. Include any additions, expansions, and change of use. Commercial building with associated site parking and landscaping.		
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.		
Company: Diablo Holding, LLC		Title: _____
Address: 6307 Angus Drive Ste B Raleigh, NC 27617		
Phone #: _____		Email: _____
Applicant Name: Brian Richards, PLA		
Company: Urban Design Partners		Address: 555 Fayetteville St. 3rd Floor Raleigh, NC 27601
Phone #: 919-275-5002		Email: brichards@urbandesignpartners.com

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3-PK	Existing gross floor area (not to be demolished): n/a
	Existing gross floor area to be demolished: n/a
Gross site acreage: ± 1.33 ac	New gross floor area: 10,080 sf
# of parking spaces required: 19	Total sf gross (to remain and new): 10,080 sf
# of parking spaces proposed: 40	Proposed # of buildings: 1
Overlay District (if applicable): Airport Overlay District	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Flex Space	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 0.89 Square Feet: 38,603
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS

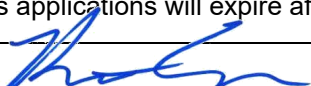
Total # of dwelling units: n/a	Total # of hotel units: n/a
# of bedroom units: 1br 2br 3br 4br or more	
# of lots: n/a	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Brian Richards, PLA; Urban Design Partners will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 

Date: 04/06/22

Printed Name: Brian Richards, PLA

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: Planner (print):

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input checked="" type="checkbox"/>
Building Type	Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: _____
		Administrative Alternate #: _____
GENERAL INFORMATION		
Development name: 6224 Angus Drive		
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		
Property address(es): 6224 Angus Dr. Raleigh, NC 27617		
Site P.I.N.(s): 0778221231		
Please describe the scope of work. Include any additions, expansions, and change of use.		
Industrial building with associated site parking and landscaping. While the tenants are unknown at this time, it is assumed that several units will be used as office space with warehouse space in the rest of the building. Its primary use will be 'warehouse & distribution'.		
Current Property Owner/Developer Contact Name:		
NOTE: please attach purchase agreement when submitting this form.		
Company: Diablo Holdings, LLC Title: _____		
Address: 6307 Angus Drive Ste B Raleigh, NC 27617		
Phone #: _____ Email: _____		
Applicant Name: Brian Richards, PLA		
Company: Urban Design Partners Address: 555 Fayetteville St. 3rd Floor Raleigh, NC 27601		
Phone #: 919-275-5002 Email: brichards@urbandesignpartners.com		

Page 1 of 2

REVISION 02.19.21

raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3-PK	Existing gross floor area (not to be demolished): n/a
	Existing gross floor area to be demolished: n/a
Gross site acreage: ± 1.33 ac	New gross floor area: 10,080 sf
# of parking spaces required: no maximum	Total sf gross (to remain and new): 10,080 sf
# of parking spaces proposed: 30	Proposed # of buildings: 1
Overlay District (if applicable): Airport Overlay District	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Warehouse & Distribution	

STORMWATER INFORMATION			
Existing Impervious Surface: Acres: 0.02	Square Feet: 895	Proposed Impervious Surface: Acres: 0.91	Square Feet: 39,556
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
If yes, please provide: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____			
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		

RESIDENTIAL DEVELOPMENTS			
Total # of dwelling units: n/a		Total # of hotel units: n/a	
# of bedroom units: 1br 2br 3br		4br or more	
# of lots: n/a		Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, <u>Brian Richards, PLA; Urban Design Partners</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>[Signature]</u>	Date: 04/06/22
Printed Name: Brian Richards, PLA	

Page 2 of 2

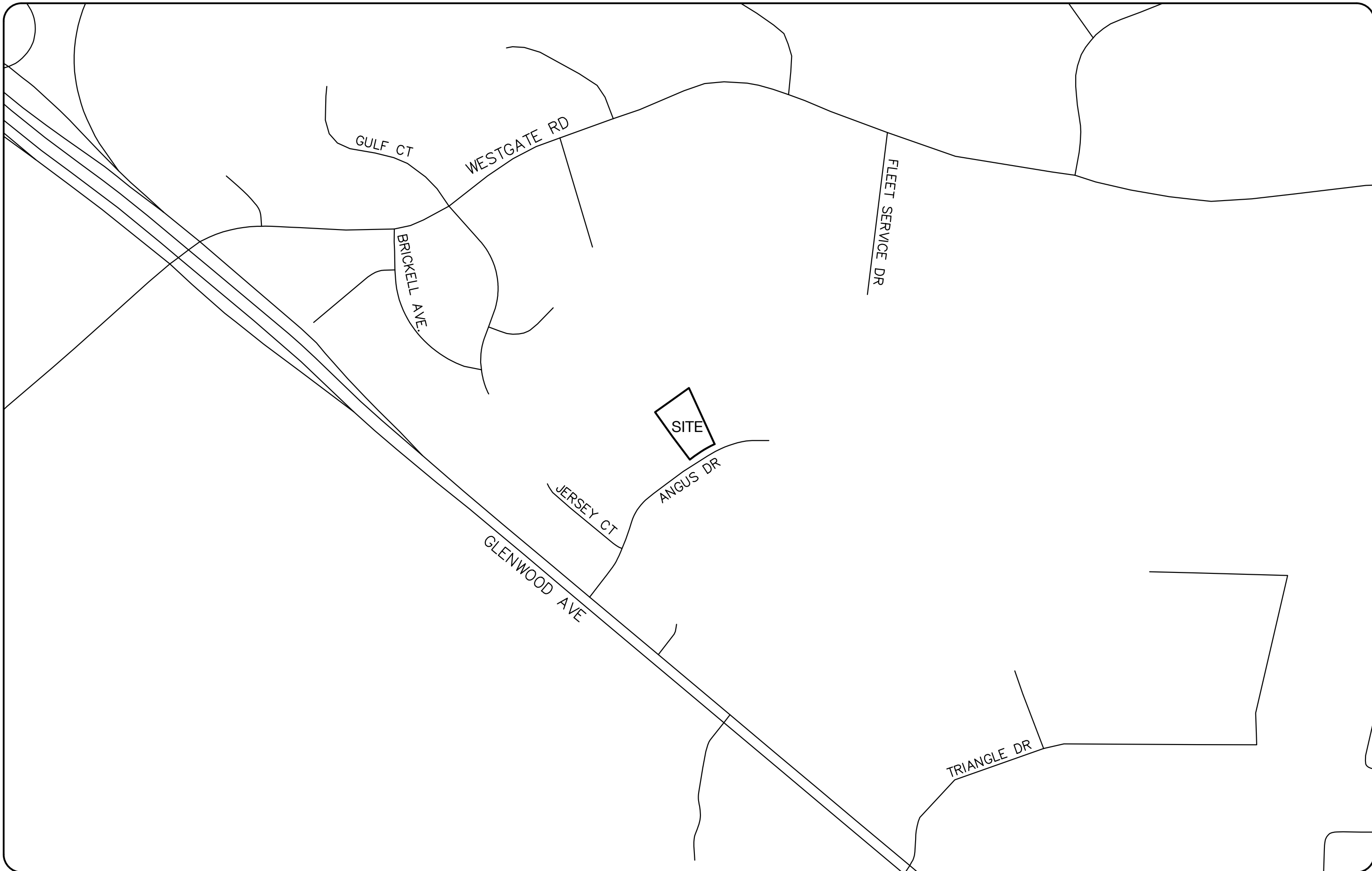
REVISION 02.19.21

raleighnc.gov

6224 Angus Drive

6224 Angus Drive Raleigh, NC 27617

City of Raleigh Administrative Site Review Case #: ASR-0025-2022 Second Submittal: 09-16-2022



VICINITY MAP



SCALE: 1" = 500'

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NO ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE, NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR RESIDENTIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROMAD STANDARDS AND ADAAG SPECIFICATIONS.
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED TO A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON [WWW.RALEIGHNC.GOV](#), COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO [RIGHTOFWAYSERVICES@RALEIGHNC.GOV](#).
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE DEVELOPER WILL PAY A FEE-IN- LIEU OF BUILDING A SIDEWALK NORTH OF ANGUS DR.

CONTACT INFORMATION

OWNER:
DIABLO HOLDING, LLC
CONTACT: CONTACT NAME
ADDRESS: 6307 ANGUS DR STE B
RALEIGH, NC 27617

CIVIL ENGINEER & LANDSCAPE ARCHITECT:
URBAN DESIGN PARTNERS PLLC
CONTACT: BRIAN RICHARDS
ADDRESS: 555 FAYETTEVILLE ST. 3RD FLOOR
RALEIGH, NC 27601
PHONE: 919-275-5002

ARCHITECT:
BOBBITT A&E, PLLC
CONTACT: B. ALLRED
ADDRESS: 600 GERMANTOWN ROAD
RALEIGH, NC 27607
PHONE: 919-851-1980 FAX: 919-851-1982

Sheet List

- C-1.0 Cover Sheet
- C-2.0 Existing Conditions
- C-2.1 Demolition Conditions
- C-3.0 Site Plan
- C-3.1 Accessibility Plan
- C-3.2 Open Space Plan
- C-4.0 Grading Plan
- C-5.0 Storm Drainage Plan
- C-5.1 BMP Plan & Details
- C-5.3 BMP Drainage Area Plan
- C-5.4 Land Use Area Plan
- C-6.0 Utility Plan
- C-8.0 Site Specifications & Details
- C-8.1 Site Specifications & Details
- C-9.0 Turning Movement Exhibit
- LS-1.0 Landscape Plan
- LS-2.0 Landscape Details
- SA1 Architectural Plans

SITE DATA

PROJECT NAME: ANGUS DRIVE
SITE ADDRESS: 6224 ANGUS DRIVE RALEIGH, NC 27617
COUNTY: WAKE
PIN #: 0778221231
SITE ACREAGE: ± 1.33 AC / 57930 SF
CURRENT ZONING: IX-3-PK
PROPOSED ZONING: IX-3-PK
OVERLAY DISTRICT: AOD (AIRPORT OVERLAY DISTRICT)
EXISTING LAND USE: VACANT
PROPOSED LAND USE: WAREHOUSE & DISTRIBUTION
*PROPOSED LAND USE SUBJECT TO CHANGE, AS TENANTS FOR THE SPACES ARE NOT KNOWN AT THIS TIME.

FRONTAGE REQUIREMENTS:
BUILDING SETBACK: 50' (87' PROVIDED)
PARKING SETBACK: 50' (57' PROVIDED)
PEDESTRIAN ACCESS: REQUIRED (PROVIDED AT DRIVEWAY)
PROTECTIVE YARD LANDSCAPING: SEE LS-1.0
*PER RALEIGH UDO SEC. 3.4.3 C.D.E

PARKING DATA

PARKING REQUIREMENTS: NO MAXIMUM
TOTAL PARKING PROVIDED: 30 SPACES

*PER RALEIGH UDO SEC. 7.1.2.C) - NO MAXIMUM NUMBER OF PARKING SPACES FOR WAREHOUSE & DISTRIBUTION

SHORT TERM BICYCLE PARKING

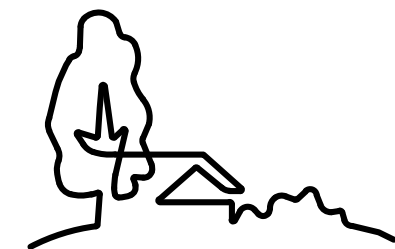
REQUIRED: NONE
PROVIDED: 4 SPACES

*PER RALEIGH UDO SEC. 7.1.2.C) - NONE REQUIRED FOR WAREHOUSE & DISTRIBUTION

LONG TERM BICYCLE PARKING

REQUIRED: NONE
PROVIDED: 4 SPACES

*PER RALEIGH UDO SEC. 7.1.2.C) - NONE REQUIRED FOR WAREHOUSE & DISTRIBUTION



URBAN
DESIGN
PARTNERS

555 Fayetteville st., 3rd floor
raleigh, nc 27601
P 919.275.5002
urbandesignpartners.com
nc firm no: P-0418 sc coa no: C-03044

Diablo Holdings, LLC

6224 Angus Drive
Administrative Site Review

Cover Sheet

6224 Angus Drive Raleigh, NC 27617

NO. DATE: BY: REVISIONS:

Project No: 22-RDU-017

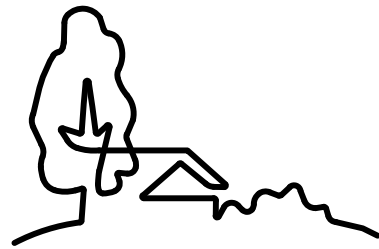
Date: 04.06.2022

Designed By: UDP

Checked By: UDP

Sheet No:

C-1.0



URBAN
DESIGN
PARTNERS

555 fayetteville st. 3rd floor
raleigh, nc 27601
p 919.275.5002
urbandesignpartners.com
nc firm no: P-0418 sc coa no: C-03044

Diablo Holdings, LLC

6307 Angus Dr Ste B
Raleigh, NC 27617

6224 Angus Drive Administrative Site Review

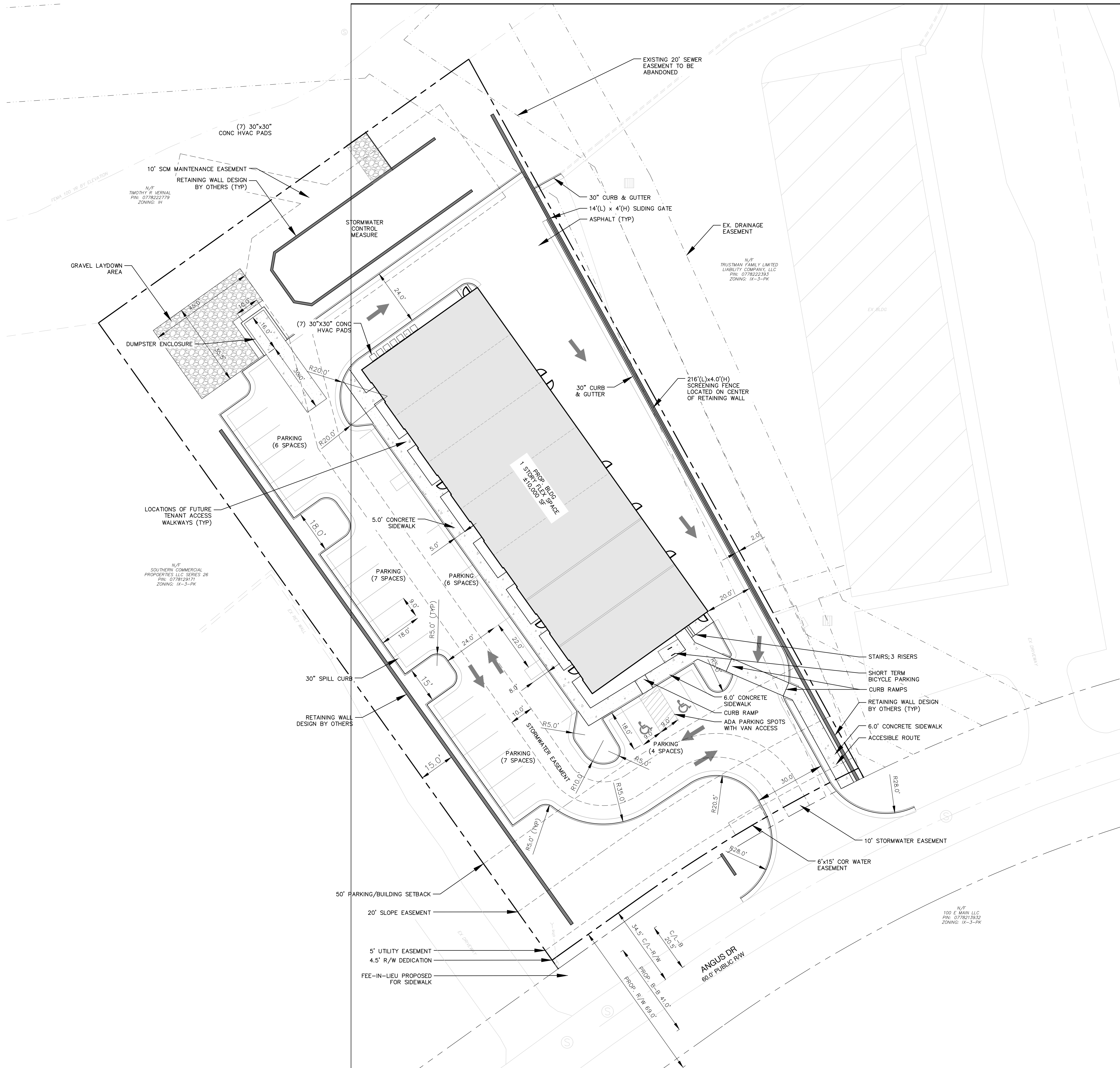
Site Plan

6224 Angus Drive Raleigh, NC 27617

NO. DATE: BY: REVISIONS:

Project No: 22-RDU-017
Date: 04.06.2022
Designed By: UDP
Checked By: UDP
Sheet No:

C-3.0



DEVELOPMENT SUMMARY

TAX PARCEL ID #:	0778221231
SITE ACREAGE:	±1.33 AC / 57,935 SF
EXISTING ZONING:	IX-3-PK
BUILDING INFORMATION:	
NUMBER OF UNITS:	3-7 UNITS
AREA PER UNIT:	±1,430-7,150 SF
TOTAL AREA:	±10,000 SF
PROPOSED BUILDING HEIGHT:	22'
BUILDING SETBACKS:	
FRONT:	50'
SIDE:	0' OR 6'
REAR:	0' OR 6'
PARKING SETBACKS:	
FRONT:	50'
SIDE:	0' OR 3'
REAR:	0' OR 3'
TRANSPARENCY:	
GROUND STORY:	20% MIN.
UPPER STORY:	20% MIN.
BLANK WALL:	50' MAX.
PROPOSED USE:	WAREHOUSE & DISTRIBUTION
BUILDING GFA:	±10,000 SF

PARKING DATA

PARKING REQUIREMENTS:	NO MAXIMUM
TOTAL PARKING PROVIDED:	30 SPACES

¹PER RALEIGH UDO SEC. 7.1.2.C) - NO MAXIMUM NUMBER OF PARKING SPACES FOR WAREHOUSE & DISTRIBUTION

SHORT TERM BICYCLE PARKING	
REQUIRED:	NONE
PROVIDED:	4 SPACES

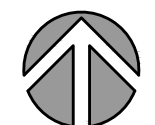
¹PER RALEIGH UDO SEC. 7.1.2.C) - NONE REQUIRED FOR WAREHOUSE & DISTRIBUTION

LONG TERM BICYCLE PARKING	
REQUIRED:	NONE
PROVIDED:	4 SPACES

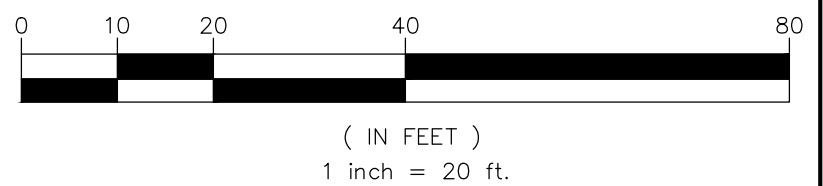
¹PER RALEIGH UDO SEC. 7.1.2.C) - NONE REQUIRED FOR WAREHOUSE & DISTRIBUTION



BEFORE YOU DIG!
CALL 811 OR 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!

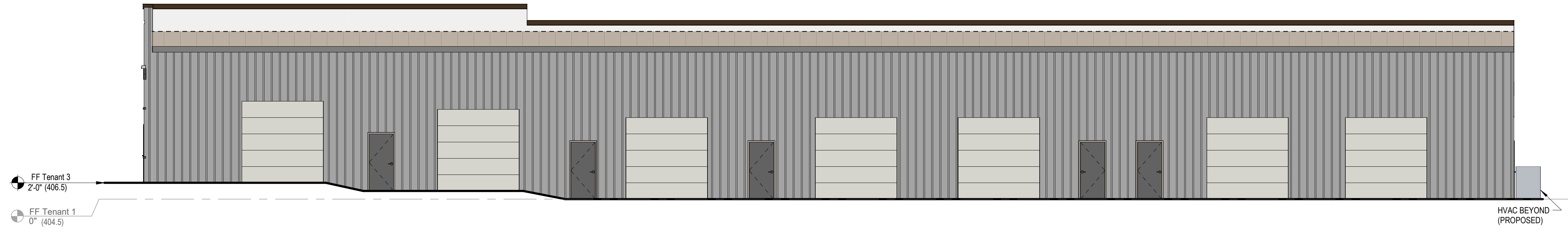


GRAPHIC SCALE

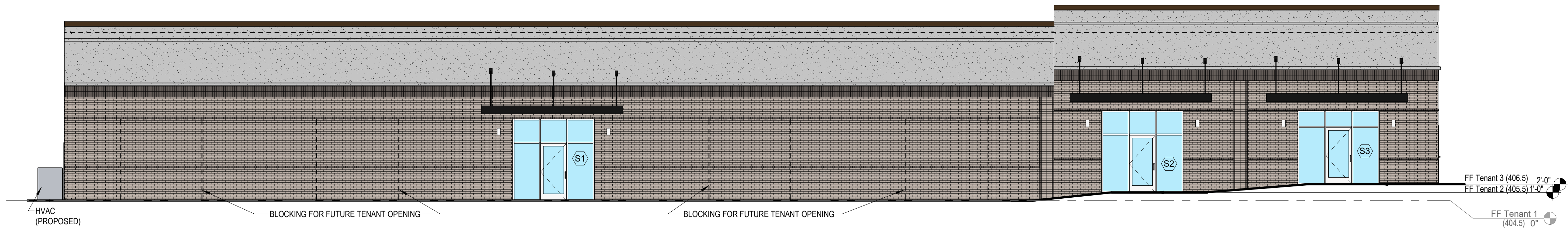


Z:\Shared Design\NC\20612-01 Diablo Holdings 2241153\Drawn - Revise\Diablo Holdings.rvt

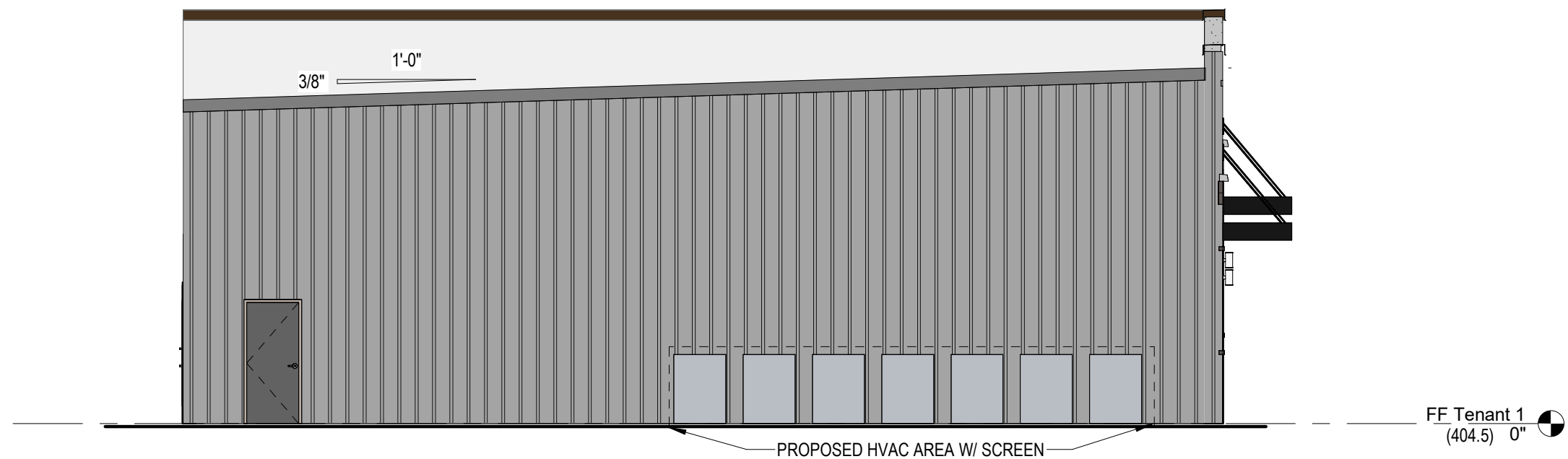
06/27/2022 2:18:58 PM



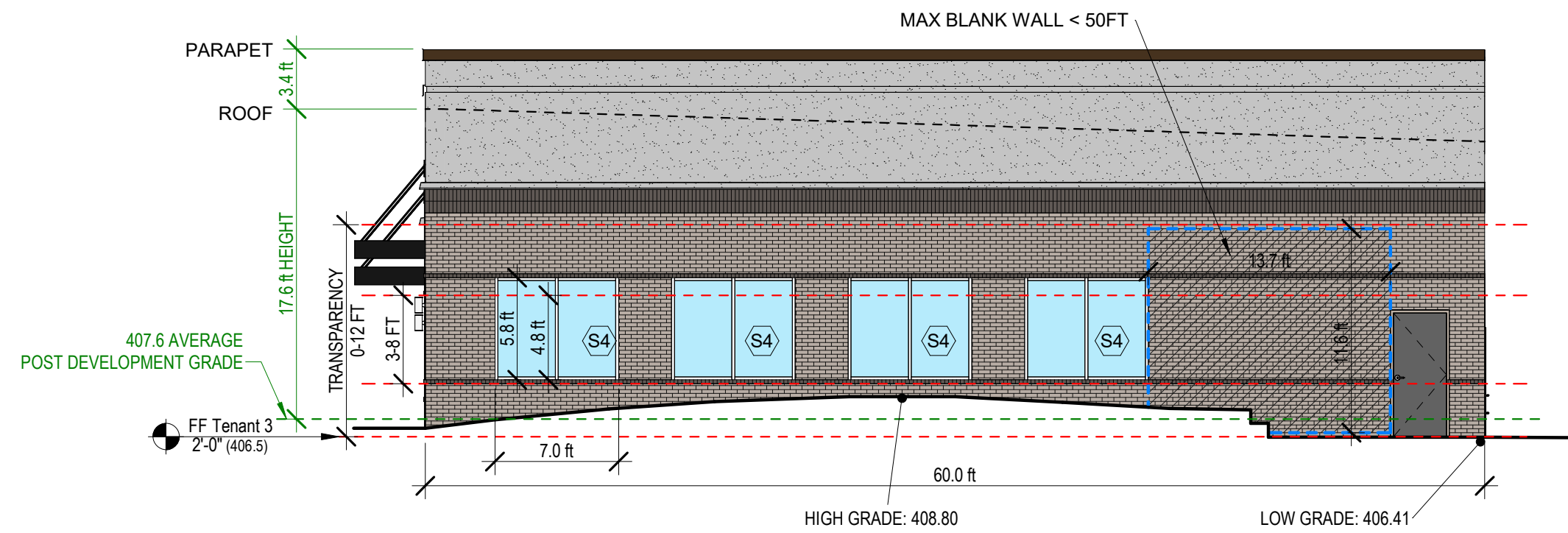
1 UDO EAST ELEVATION
1/8" = 1'-0"



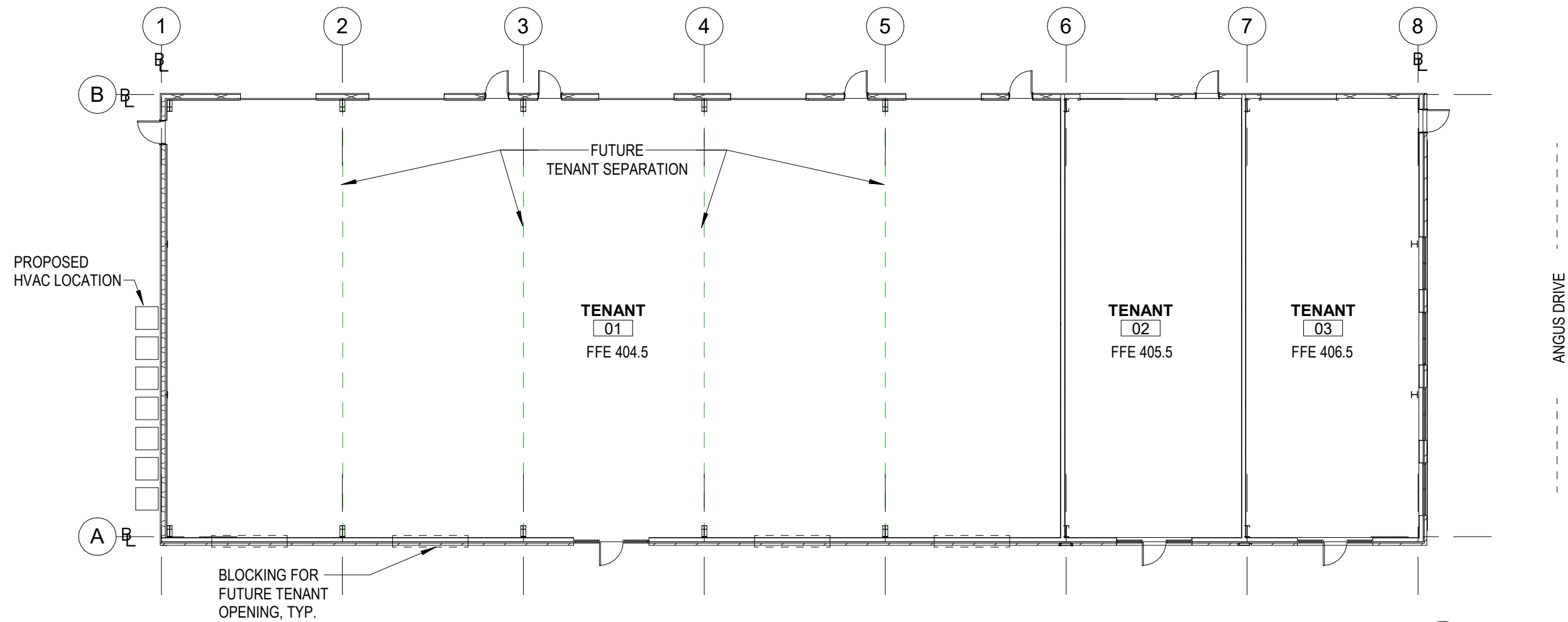
2 UDO WEST ELEVATION
1/8" = 1'-0"



3 UDO NORTH ELEVATION
1/8" = 1'-0"



4 UDO SOUTH ELEVATION - FACING PRIMARY STREET
1/8" = 1'-0"



5 TENANT FINISHED FLOOR ELEVATION KEY PLAN
NOT TO SCALE

RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) Section 1.5.9 Transparency

1.5.9.B.4. Glass shall be considered transparent where it has a transparency higher than 80% and external reflectance of less than 15%. Glass on upper stories may have any level of transparency and external reflectance.

DIMENSIONS ARE DECIMAL FEET

TRANSPARENCY CALCULATIONS - SOUTH ELEVATION (ANGUS DRIVE)

	W	H	AREA	QUANTITY	TOTAL
TRANSPARENCY (0 TO 12 FT) S4	7 FT	5.8 FT	7 FT X 5.8 FT = 40.6 SF	4	40.6 SF X 4 = 162.4 SF
TRANSPARENCY (3-8 FT) S4	7 FT	4.8 FT	7 FT X 4.8 FT = 33.6 SF	4	33.6 SF X 4 = 134.4 SF

TRANSPARENCY - SOUTH ELEVATION

FLOOR LEVEL
WALL AREA 0 TO 12 FT (WXH=60FT X 12FT)

First floor, single story building
720 SF

IX 20% TRANSPARENCY REQUIRED:
ACTUAL TRANSPARENCY:

144 SF MIN.
162.4 SF

BETWEEN 3 AND 8 FT REQUIRED
(50% of 144)

72 SF MIN.
134.4 SF

BETWEEN 3 AND 8 FT ACTUAL:

134.4 SF

ELEVATION FACING PRIMARY STREET: SOUTH
ELEVATIONS NOT REQUIRING UDO COMPLIANCE: NORTH, EAST AND WEST

RALEIGH UDO Section 1.5.7 Height

AVERAGE GRADE CALCULATIONS - SOUTH ELEVATION (ANGUS DRIVE)

DIMENSIONS ARE DECIMAL FEET

POST DEVELOPMENT MAX: GRADE ELEV.(FT)	POST DEVELOPMENT MIN: GRADE ELEV.(FT)	POST DEVELOPMENT AVERAGE GRADE ELEV.(FT)	BUILDING HEIGHT(FT)	MAX. ALLOWABLE BUILDING HEIGHT(FT)
408.80	406.41	407.6	17.6	50

SCHEMATIC DESIGN

DRAWINGS ARE DIAGRAMMATIC ONLY AND HAVE NOT BEEN REVIEWED FOR CODE COMPLIANCE. COPYRIGHT © 2021 BOBBITT DESIGN BUILD, INC. ALL RIGHTS RESERVED.

APPROVAL:
DATE:

BOBBITT A&E, PLLC
600 Germantown Road
Raleigh, North Carolina 27607

BOBBITT
600 Germantown Road | Raleigh, North Carolina 27607
Phone (919) 851-1880 | Fax (919) 851-1882
design@bobbitt.com

COORDINATOR:
B. ALLRED

DRAWN BY:
BEA/LA

CHK BY: -

DIABLO HOLDINGS
6224 ANGUS DR.
RALEIGH, NC 27617

24 X 36
As indicated

06-27-2022

22-0153

ELEVATIONS FOR
RALEIGH UDO

SA1
OF 1