



Administrative Approval Action

Case File / Name: ASR-0026-2020
Clairmont at Crabtree

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Glenwood Avenue, south of Marriott Drive at 4315 Lead Mine Rd.

REQUEST: Development of a 10.93 acre tract zoned CX-7-PL CU into a proposed approximately 300,000 sf 253 unit apartment complex consisting of six apartment buildings and one clubhouse building.

On October 12, 2020, per BOA-0032-2020, this site received variance approval for relief for ground floor elevation design, direct pedestrian access frontage requirements along Lead Mine & Glenwood Avenue including primary and side street build-to requirements (along Glenwood Ave & Lead Mine Rd) and driveway spacing placement along Marriott Drive.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 23, 2020 by JOHN A EDWARDS AND CO.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Stormwater

2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



Administrative Approval Action

Case File / Name: ASR-0026-2020
Clairmont at Crabtree

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

Urban Forestry

5. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
7. A tree impact permit must be obtained for the approved removal of 13 trees in the rights of way prior to the issuance of a grading permit.

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
2. A Pedestrian and Bicycle Access deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
4. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry, and a copy of the recorded easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

Urban Forestry

5. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 0.86 acres of tree conservation area.



Administrative Approval Action

Case File / Name: ASR-0026-2020
Clairmont at Crabtree

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.
2. Comply with all conditions of BOA-0032-2020

Engineering

3. A fee-in-lieu for substandard sidewalk width shall be paid to the City of Raleigh (UDO 8.1.10).
4. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
5. A public infrastructure surety for 5 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for COR water line easement dedication.

Stormwater

7. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
8. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

9. A tree impact permit must be obtained for the approved streetscape tree installation in the rights of way. This development proposes 3 street trees along Glenwood Avenue and 2 street trees along Marriott Drive for a total of 5 street trees.
10. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:



Administrative Approval Action

Case File / Name: ASR-0026-2020
Clairmont at Crabtree

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 24, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alycia Bailey Taylor Date: 01/25/2021
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**



Revisions		
Number	Description	Date
1	PER COR COMMENTS	08/25
2	PER COR COMMENTS	08/15
3	PER COR COMMENTS	11/03
4	PER COR COMMENTS	12/03

JACO # 830-98

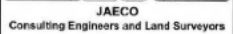
DRAWING SCALE: AS SHOWN

DRAWN BY: CS

CHECKED BY: JC

DATE ISSUED: 04/18/2006

C0.00



PRELIMINARY

CLAIRMONT
AT CRABTREE
ASR-0026-2020
4315 LEAD MINE ROAD
RALEIGH, NC 27612

[illegible]

ED TRANSPORTATION

LEGEND

Diagram illustrating a utility line layout with the following components:

- EX PROPERTY LINE
- EX ADJACENT PROPERTY LINE
- EX BASEMENT
- EX MAJOR CONTOUR
- EX MINOR CONTOUR
- EX FENCE
- EX WATER LINE
- EX SEWER LINE
- EX OVERHEAD LINE

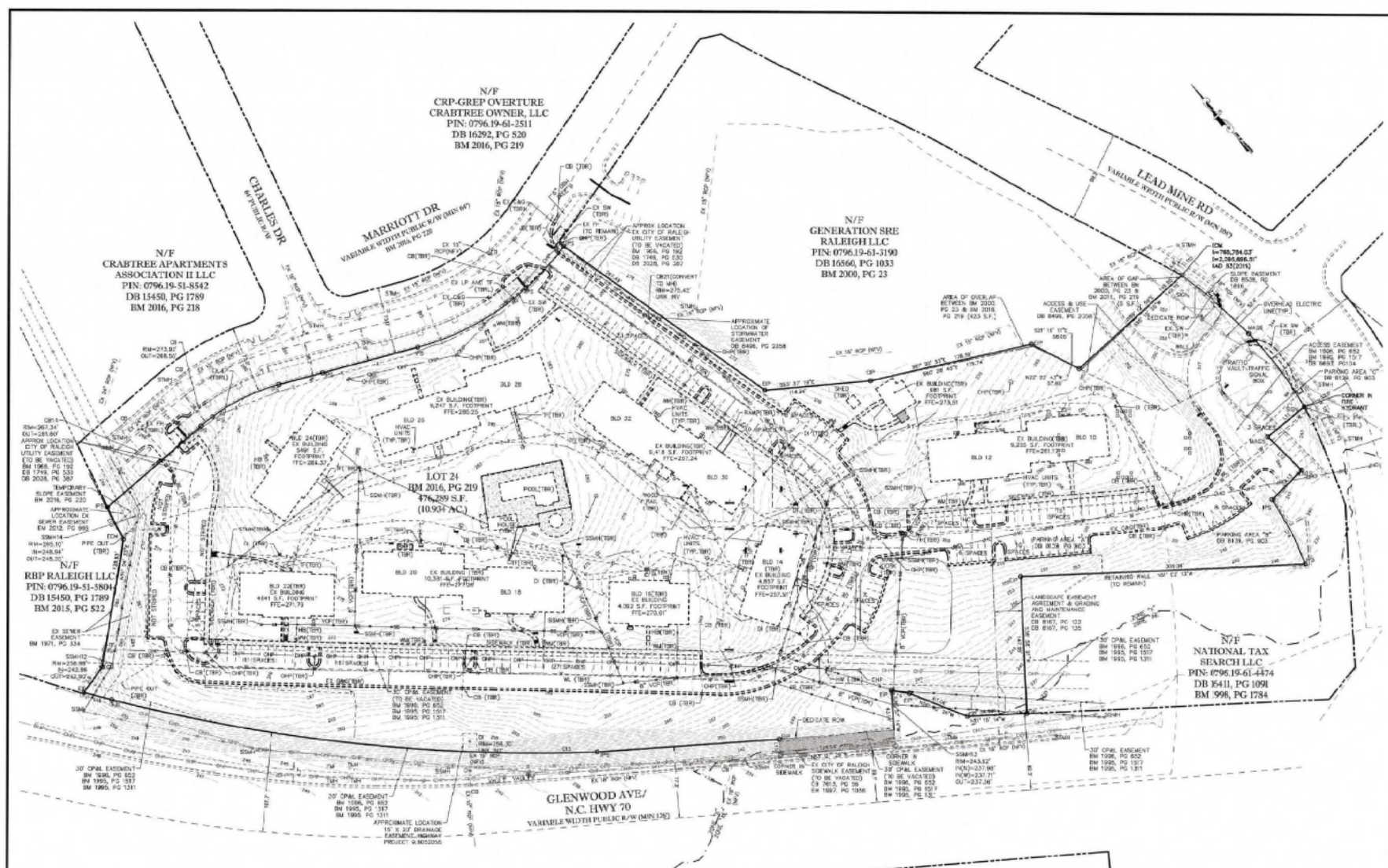
EXISTING CONDITIONS/
DEMOLITION PLAN

Remarks		
Number	Description	Date
1	PER OOR COMMENTS	06/25/20
2	PER OOR COMMENTS	09/10/20
3	PER OOR COMMENTS	11/24/20

DRAWING SCALE: 1" = 50' C1 00

PAID BY: CS
CHECKED BY: JC
DATE PAID: 03/03/2008

C1.00



SURVEYOR'S NOTES

- [illegible]

GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREIN WERE OBTAINED AS PER (SEE UTILITY'S) MAPS/ROD & SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
2. UTILITY POLE, OVERHEAD LINE AND UNDERGROUND LINE TO BE RELOCATED BY UTILITY PRIOR TO STARTING CONSTRUCTION. FINAL DESIGN LOCATIONS AND IMPLICATIONS TO BE DETERMINED BY UTILITY PROVIDER.
3. EXISTING ERE UTILITIES SHOWN WITHIN LIMITS OF DISTURBANCE TO BE REMOVED. CONTRACTOR RESPONSIBLE FOR COORDINATION WITH ERE UTILITY PROVIDERS DURING REMOVAL.

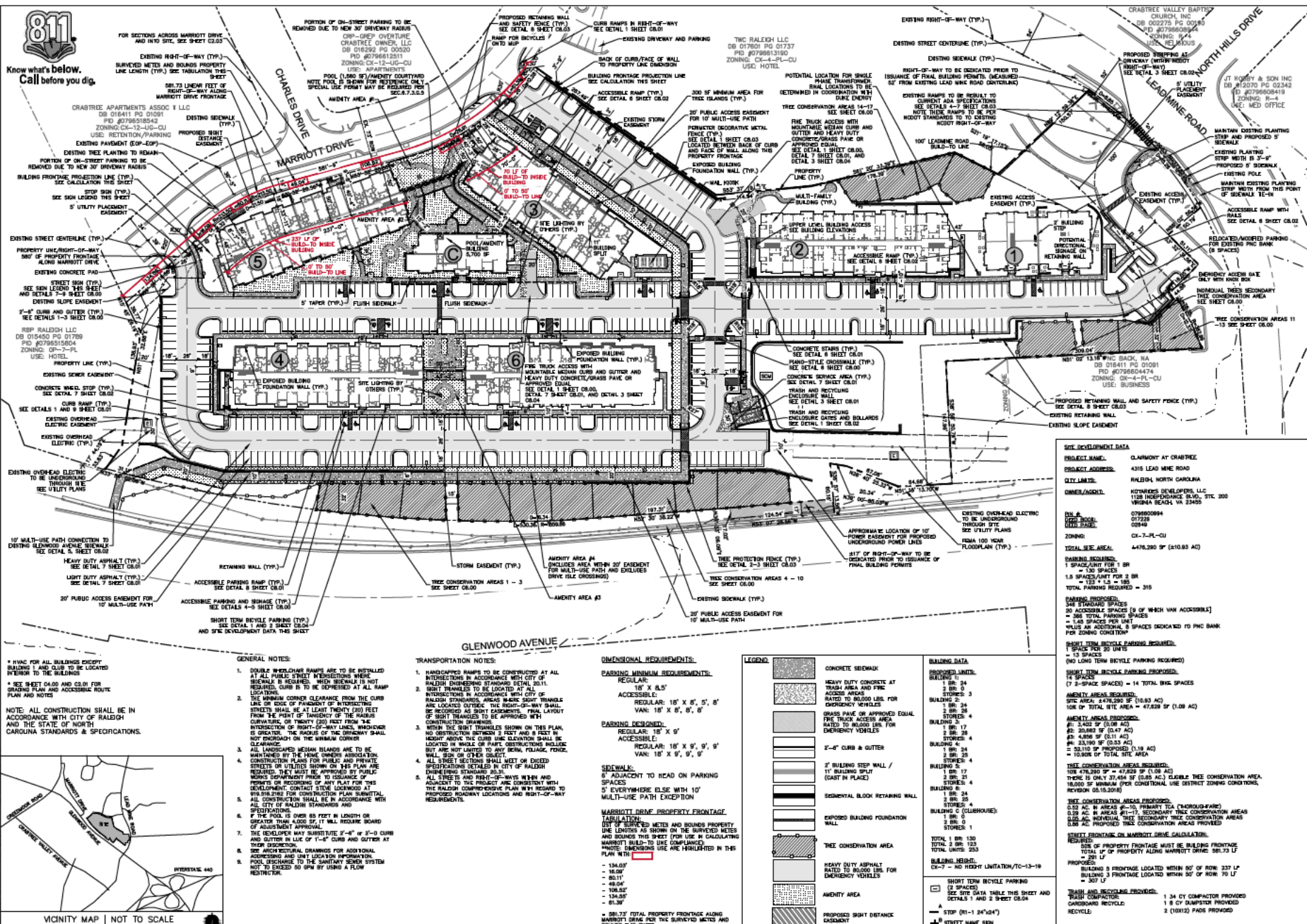
ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (202) 228-2659 or the PUBLIC UTILITIES DEPARTMENT at (202) 898-5599 at least 10 days in advance prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and/or equal redistribution of any water or sewer facilities not inspected as a result of the notification failure.

FAILURE to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion to future work in the CITY OF RALEIGH.

Age Group	No (%)	Yes (%)	Don't know (%)	Refuse to answer (%)
50	~15	~45	~25	~15
25	~10	~55	~20	~15
12.5	~10	~50	~25	~15
0	~10	~50	~25	~15



drg
DESIGN
RESOURCE
GROUP

LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
TRANSPORTATION PLANNING

2458 Wilshire Blvd, Ste 200 Charlotte, NC 28203
TEL: 704.333.8888
www.drgnc.com

CONSTRUCTION
DOCUMENTS

CLAIRMONT AT CRABTREE
RALEIGH, NC

2552 LLC
1128 INDEPENDENCE BOULEVARD, SUITE 200
VIRGINIA BEACH, VIRGINIA 23455
910.262.2719

SITE PLAN

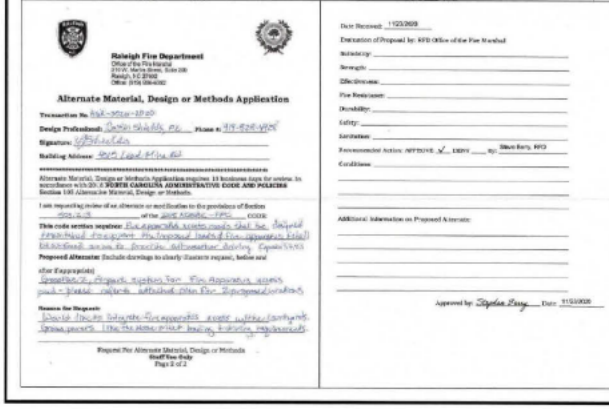
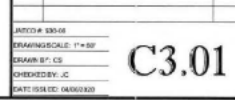
SCALE: 1" = 50'

PROJECT #: 378-012
DRAWN BY: [Signature]
CHECKED BY: [Signature]

DATE: 06/05/2020

REVISIONS:

- FOR COR CORRECTIONS TO 06/05/2020
- FOR COR CORRECTIONS TO 06/05/2020
- FOR COR CORRECTIONS TO 06/05/2020

[illegible]

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the installation of water, sewer, and/or gas, as approved by these units, is subject to fines for contacting the PUBLIC WORKS DEPARTMENT at (312) 996-2322, or the PUBLIC UTILITIES DEPARTMENT at (312) 999-4540 at least 10 business days prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require installation of any meter or sewer facilities not requested as a result of this notification failure.

FAILURE to call for inspection, install a Downstream Pipe, Manhole Permitted Pans on the jobsite, or any other violation of CITY OF MALESH STANDARDS will result in a Fine and Possible CLOSURE of the project.

JATCO # 530-08
DRAWING SCALE: 1" = 50'
DRAWN BY: CS
CHECKED BY: JC
DATE ISSUED: 04/02/20

C3.01

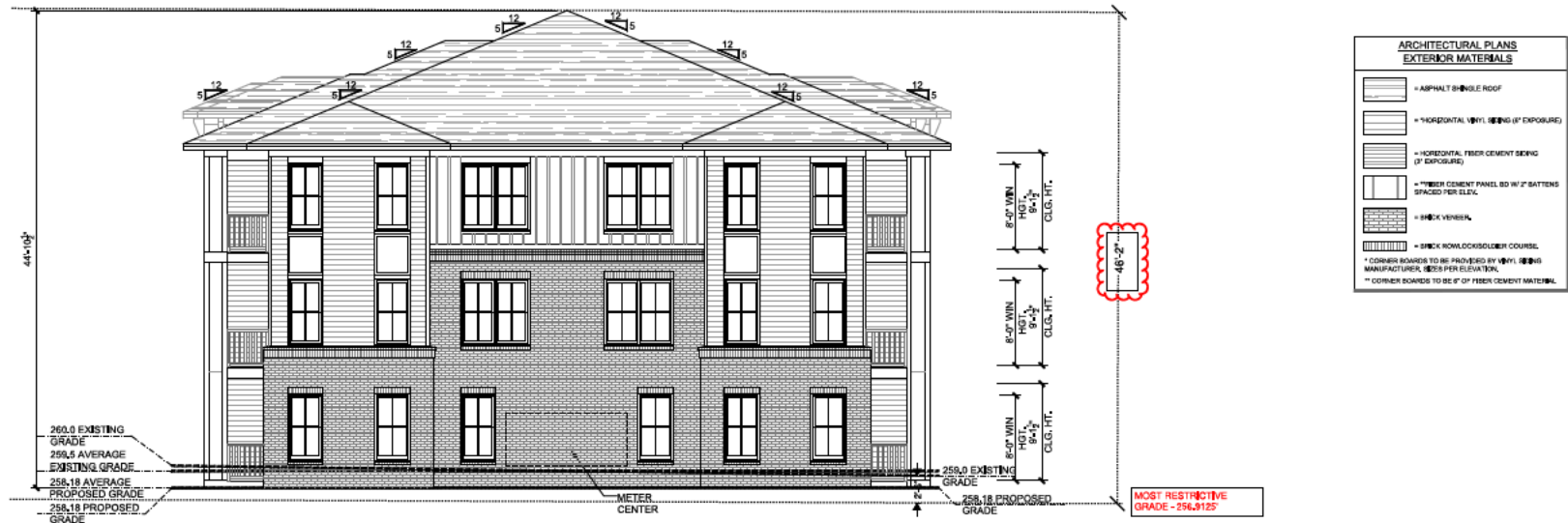
Clairmont at Crabtree Apartments

Raleigh, NC



1 SITE BUILDING #1 - TYPE 1 - FRONT ELEVATION (SOUTH)

Scale: 3/16" = 1'-0"



2 SITE BUILDING #1 - TYPE 1 - LEFT ELEVATION (WEST)

Scale: 3/16" = 1'-0"

ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	+ ASPHALT SHINGLE ROOF
	+ HORIZONTAL VINYL SIDING (2" EXPOSURE)
	+ HORIZONTAL FIBER CEMENT SIDING (2" EXPOSURE)
	+ FIBER CEMENT PANEL 80 W/ 2" BATTENS SPACED PER ELEV.
	+ BRICK VENEER
	+ BRICK ROWLOCK SOLDIER COURSE
* CORNER BOARDS TO BE PROVIDED BY VINYL SIDING MANUFACTURER, 125'S PER ELEVATION.	
** CORNER BOARDS TO BE 2" OF FIBER CEMENT MATERIAL.	

DATE: 10/27/20 (REVISION 6)

SHEET TITLE:

Building Type 1 -
Exterior Elevations

SHEET NUMBER:

A1.03

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. Planworx Architecture, P.A., is not responsible for construction violations from the information depicted.

2. Contractor is to verify architect's accuracy of conditions or items varying from depicted information. 4. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by verified construction savings as a result of Planworx Architecture, P.A. Design.

3. Copyright 2020 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used only by client, unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION WITHOUT APPROPRIATE PROFESSIONAL SEALS.

5. Planworx Architecture, P.A. retains ownership of all designs depicted and marked herein.

6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.

Clairmont at Crabtree Apartments

Raleigh, NC



1 SITE BUILDING #1 - TYPE 1 - REAR ELEVATION (NORTH)
Scale: 3/16" = 1'-0"



2 SITE BUILDING #1 - TYPE 1 - RIGHT ELEVATION (EAST)
Scale: 3/16" = 1'-0"

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. Planworx Architecture, P.A., is not responsible for construction variations from the information depicted.
2. Contractor is to verify architect's information of conditions or items varying from depicted information.
3. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by verified construction drawings as a result of Planworx Architecture, P.A. Design.
4. Copyright 2020 PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used only by client, unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION WITHOUT APPROPRIATE PROFESSIONAL SEALS.
5. Planworx Architecture, P.A., retains ownership of all designs depicted and marked herein.
6. Planworx Architecture, P.A., is not responsible for estimating, maintaining, or managing construction costs associated with these plans.

DATE: 10/27/20 (REVISION 6)
SHEET TITLE:
Building Type 1 -
Exterior Elevations
ASSET NUMBER:
A1.04

Clairmont at Crabtree Apartments

Raleigh, NC



1 SITE BUILDING #2 - TYPE 2 - FRONT ELEVATION (SOUTH)
Scale: 1/8" = 1'-0"



ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	= ASPHALT SHINGLE ROOF
	= HORIZONTAL VINYL SIDING (if EXPOSED)
	= HORIZONTAL FIBER CEMENT SIDING (if EXPOSED)
	= FIBER CEMENT PANEL SIDING (if EXPOSED)
	= BRICK VENEER
	= BRICK ROWLOCK/CORNER COURSE
* CORNER ROWLOCKS TO BE PROVIDED BY VINYL SIDING MANUFACTURER, SEE PER ELEVATION.	
** CORNER BOARDS TO BE 1" OF FIBER CEMENT MATERIAL.	

2 SITE BUILDING #2 - TYPE 2 - LEFT ELEVATION (WEST)
Scale: 1/8" = 1'-0"

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. Planworx Architecture, P.A., is not responsible for construction variations from the information depicted.
2. Contractor is to verify accuracy of conditions or items varying from depicted information. 4. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by written construction contract as a result of Planworx Architecture, P.A. Design.
3. Copyright 2020 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used only by client, unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION AND APPROPRIATE PROFESSIONAL SEALS.
5. Planworx Architecture, P.A. retains ownership of all of designs depicted and marked herein.
6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.

DATE: 10/27/20 (REVISION 6)
SHEET TITLE: Building Type 2- Exterior Elevations
ASSET NUMBER: A1.14

Clairmont at Crabtree Apartments

Raleigh, NC



1 SITE BUILDING #2 - TYPE 2 - REAR ELEVATION (NORTH)

Scale: 1/8" = 1'-0"



2 SITE BUILDING #2 - TYPE 2 - RIGHT ELEVATION (EAST)

Scale: 1/8" = 1'-0"

ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	ASPHALT SHINGLE ROOF
	HORIZONTAL VINYL SIDING (P EXPOSURE)
	HORIZONTAL FIBER CEMENT SIDING (P EXPOSURE)
	FIBER CEMENT PANEL SO W/ 2" BATTENS SPACED PER ELEV.
	BRICK VENEER
	BRICK ROWLOCK/CORNER COURSE
* CORNER BOARDS TO BE PROVIDED BY VINYL SIDING MANUFACTURER, SEE PER ELEVATION.	
** CORNER BOARDS TO BE 1" OF FIBER CEMENT MATERIAL	

1. All drawings are to be coordinated with all information by owner and contractor, and applicable codes. Planworx Architecture, P.A., is not responsible for construction variations from the information depicted.
2. Contractor is to notify architect immediately of conditions or items varying from depicted information.
3. Copyright 2020 PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used only by client, unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION AND APPROPRIATE PROFESSIONAL SEALS.
4. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by verified construction drawings as a result of Planworx Architecture, P.A. Design.
5. Planworx Architecture, P.A. retains ownership of all designs depicted and marked herein.
6. Planworx Architecture, P.A. is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.

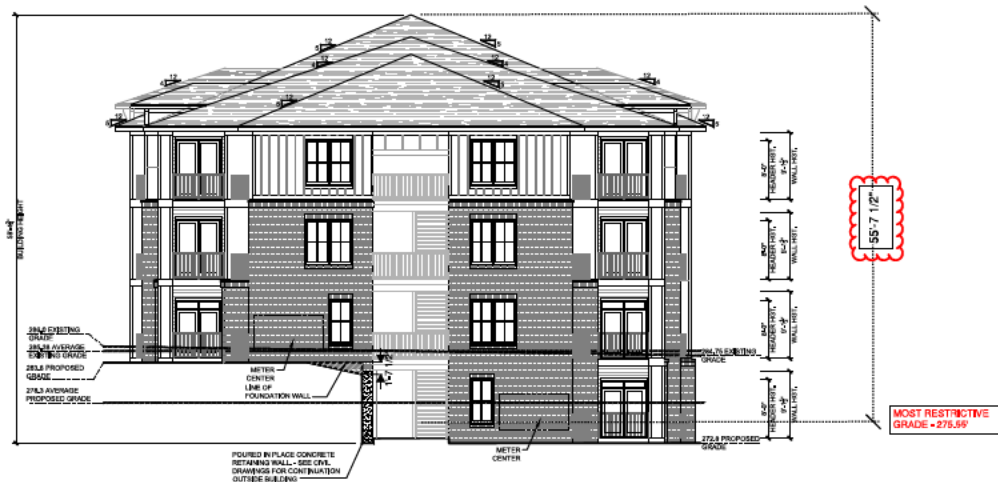
DATE: 10/27/20 (REVISION 6)
SHEET TITLE: Building Type 2- Exterior Elevations
SHEET NUMBER: A1.15

Clairmont at Crabtree Apartments
Raleigh, NC



1 SITE BUILDING #3 - TYPE 3 - FRONT ELEVATION (WEST)

Scale: 1/8" = 1'-0"



2 SITE BUILDING #3 - TYPE 3 - LEFT ELEVATION (NORTH)

Scale: 1/8" = 1'-0"

ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	= ASPHALT SHINGLE ROOF
	= HORIZONTAL VINYL SIDING (8" EXPOSURE)
	= HORIZONTAL FIBER CEMENT SIDING (8" EXPOSURE)
	= FIBER CEMENT PANEL 80 W/ 2" BATTENS SPACED PER ELEV.
	= BRICK VENEER
	= BRICK ROWLOCK/HEADER COURSE
* CORNER BOARDS TO BE PROVIDED BY VINYL SIDING MANUFACTURER, SEE FOR ELEVATION.	
** CORNER BOARDS TO BE 4" FIBER CEMENT MATERIAL.	

1. All drawings are to be coordinated with all information by owner and contractor and applicable codes. Planworx Architecture, P.A., is not responsible for construction variations from the information depicted.
2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 4. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by verified construction drawings as a result of Planworx Architecture, P.A. Design.
3. Copyright 2023 PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client, unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION AND APPROPRIATE PROFESSIONAL SEALS.
5. Planworx Architecture, P.A., retains ownership of all designs depicted and marked herein.
6. Planworx Architecture, P.A., is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.

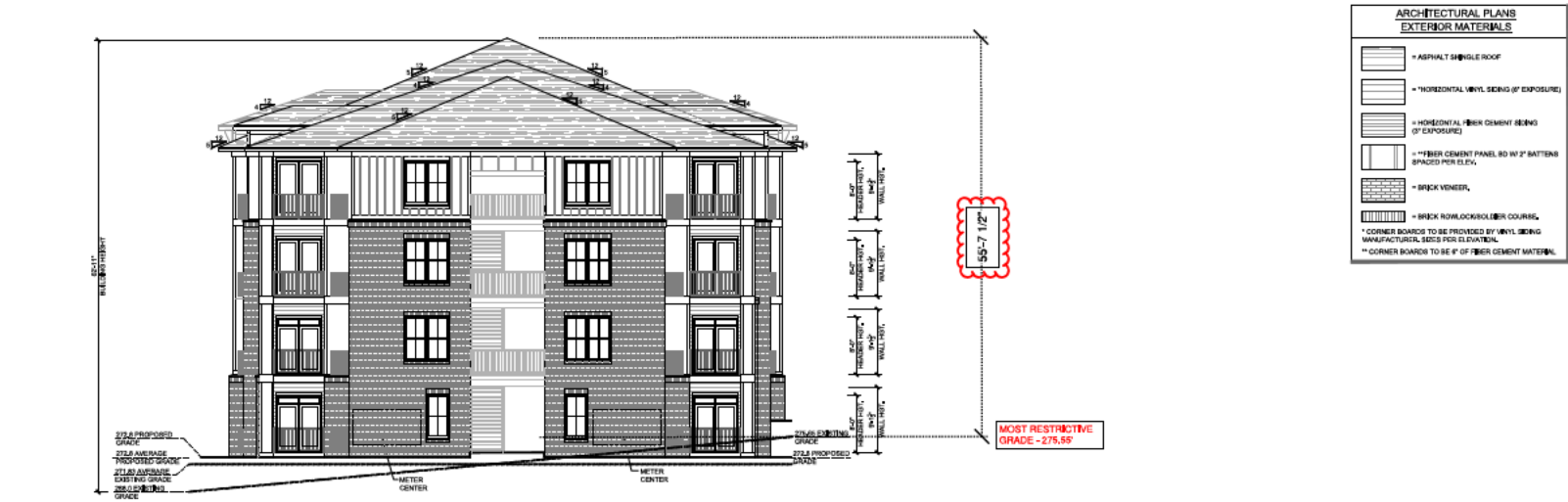
DATE: 10/27/23 (REVISION 6)
SHEET TITLE:
Building Type 3 - Exterior Elevations
SHEET NUMBER:
A1.24

Clairmont at Crabtree Apartments

Raleigh, NC



1 SITE BUILDING #3 - TYPE 3 - REAR ELEVATION (EAST)
Scale: 1/8" = 1'-0"



2 SITE BUILDING #3 - TYPE 3 - RIGHT ELEVATION (SOUTH)
Scale: 1/8" = 1'-0"

1. All drawings are to be coordinated with all site information by owner and contractor and applicable codes. Planworx Architecture, P.A., is not responsible for construction variations from the information depicted.
2. Contractor is to notify architect immediately of conditions or items varying from depicted information.
3. Copyright 2020 PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used only by client, unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION AND APPROPRIATE PROFESSIONAL SEALS.
4. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by verified construction savings as a result of Planworx Architecture, P.A. Design.
5. Planworx Architecture, P.A., retains ownership of all of designs depicted and marked herein.
6. Planworx Architecture, P.A., is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.

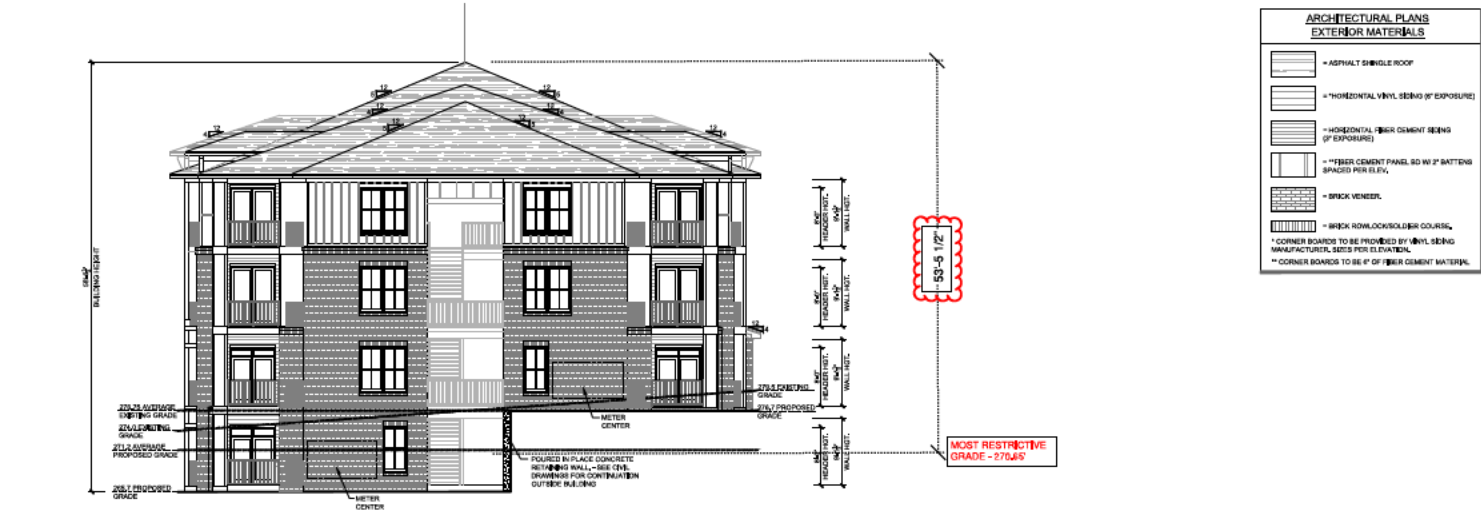
DATE: 10/27/20 (REVISION 6)
SHEET TITLE: Building Type 3- Exterior Elevations
ASSET NUMBER: A1.25

Clairmont at Crabtree Apartments

Raleigh, NC



1 SITE BUILDING #4 - TYPE 4 - FRONT ELEVATION (NORTH)
Scale: 1/8" = 1'-0"



2 SITE BUILDING #4 - TYPE 4 - LEFT ELEVATION (EAST)
Scale: 1/8" = 1'-0"

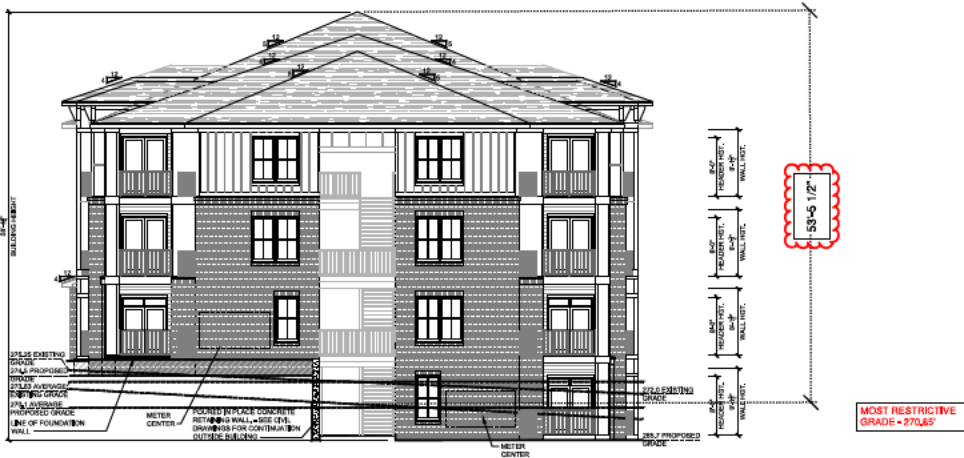
Clairmont at Crabtree Apartments

Raleigh, NC



1 SITE BUILDING #4 - TYPE 4 - REAR ELEVATION (SOUTH)

Scale: 1/8" = 1'-0"



ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	• ASPHALT SHINGLE ROOF
	• HORIZONTAL VINYL SIDING (8" EXPOSURE)
	• HORIZONTAL FIBER CEMENT SIDING (8" EXPOSURE)
	• FIBER CEMENT PANEL SIDING w/ 2" BATTENS SPACED PER S.D.P.
	• BRICK VENEER
	• BRICK ROWLOCK/GUTTER COURSE
* CORNER BOARDS TO BE PROVIDED BY VINYL SIDING MANUFACTURER, BASED PER COLOR/TEXT.	
** CORNER BOARDS TO BE 4" OF FIBER CEMENT MATERIAL.	

2 SITE BUILDING #4 - TYPE 4 - RIGHT ELEVATION (WEST)

Scale: 1/8" = 1'-0"

1. All drawings are to be coordinated with all information by owner and contractor, and applicable codes. Planworx Architecture, P.A., is not responsible for construction variations from the information depicted.
2. Contractor is to notify architect immediately of conditions or items varying from depicted information.
3. Copyright 2022 • PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used only by client, unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION WITHOUT APPROPRIATE PROFESSIONAL SEALS.
4. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by written construction savings as a result of Planworx Architecture, P.A. Design.
5. Planworx Architecture, P.A., retains ownership of all designs depicted and marked herein.
6. Planworx Architecture, P.A., is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.

DATE: 10/27/20 (REVISION 6)
SHEET TITLE: Building Type 4- Exterior Elevations
SHEET NUMBER: A1.35

Clairmont at Crabtree Apartments

Raleigh, NC



1 SITE BUILDING #5 - TYPE 5 - FRONT ELEVATION (SOUTH)

Scale: 1/8" = 1'-0"



2 SITE BUILDING #5 - TYPE 5 - LEFT ELEVATION (WEST)

Scale: 1/8" = 1'-0"

ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	ASPHALT SHINGLE ROOF
	HORIZONTAL VINYL SIDING (8" EXPOSURE)
	HORIZONTAL FIBER CEMENT SIDING (8" EXPOSURE)
	FIBER CEMENT PANEL 80 W/ 2" BATTENS SPACED PER ELEV.
	BRICK VENEER
	BRICK ROWLOCK SOLDIER COURSE
* CORNER BOARDS TO BE PROVIDED BY VINYL SIDING MANUFACTURER, SEES PER ELEVATION.	
** CORNER BOARDS TO BE 6" OF FIBER CEMENT MATERIAL.	

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. Planworx Architecture, P.A., is not responsible for construction variations from the information depicted.
 2. Contractor is to verify and certify the accuracy of all conditions or items varying from depicted information. 4. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by verified construction drawings as a result of Planworx Architecture, P.A. Design.
 3. Copyright 2020 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used only by client, unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION AND APPROPRIATE PROFESSIONAL SEALS.
 5. Planworx Architecture, P.A., retains ownership of all designs depicted and marked herein.
 6. Planworx Architecture, P.A., is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.

DATE: 10/27/20 (REVISION 6)
SHEET TITLE: Building Type 5 - Exterior Elevations
ASSET NUMBER: A1.43

Clairmont at Crabtree Apartments

Raleigh, NC



1 SITE BUILDING #5 - TYPE 5 - REAR ELEVATION (NORTH)
Scale: 1/8" = 1'-0"



ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	ASPHALT SHINGLE ROOF
	HORIZONTAL VINYL SIDING (IF EXPOSURE)
	HORIZONTAL FIBER CEMENT SIDING (IF EXPOSURE)
	FIBER CEMENT PANEL 80 W/ 2" BATTENS SPACED PER ELEV.
	BRICK VENEER
	BRICK ROWLOCK SOLDIER COURSE
* CORNER BOARDS TO BE PROVIDED BY VINYL SIDING MANUFACTURER, SEE PER ELEVATION.	
** CORNER BOARDS TO BE 6" OF FIBER CEMENT MATERIAL.	

2 SITE BUILDING #5 - TYPE 5 - RIGHT ELEVATION (EAST)
Scale: 1/8" = 1'-0"

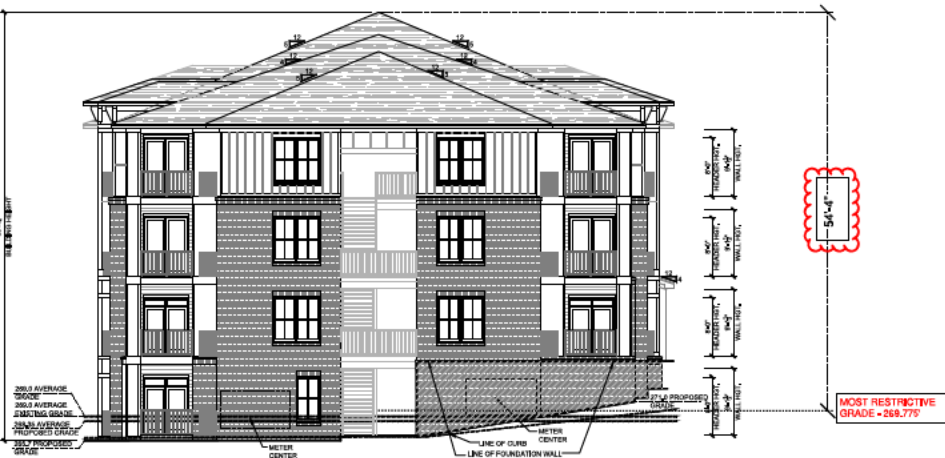
1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. Planworx Architecture, P.A., is not responsible for construction variations from the information depicted.
2. Contractor is to notify architect immediately of conditions or items varying from depicted information.
3. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by verified construction drawings as a result of Planworx Architecture, P.A. Design.
4. Copyright 2020 Planworx Architecture, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used only by client, unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION AND APPROPRIATE PROFESSIONAL SEALS.
5. Planworx Architecture, P.A., retains ownership of all designs depicted and marked herein.
6. Planworx Architecture, P.A., is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.

DATE: 10/27/20 (REVISION 6)
 SHEET TITLE:
 Building Type5-
 Exterior Elevations
 SHEET NUMBER:
A1.44

Clairmont at Crabtree Apartments
Raleigh, NC



2 SITE BUILDING #6 - TYPE 6 - FRONT ELEVATION (NORTH)
Scale: 1/8" = 1'-0"



2 SITE BUILDING #6 - TYPE 6 - LEFT ELEVATION (EAST)
Scale: 1/8" = 1'-0"

Clairmont at Crabtree Apartments

Raleigh, NC



2 SITE BUILDING #6 - TYPE 6 - REAR ELEVATION (SOUTH)

Scale: 1/8" = 1'-0"



2 SITE BUILDING #6 - TYPE 6 - RIGHT ELEVATION (WEST)

Scale: 1/8" = 1'-0"

ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	= ASPHALT SHINGLE ROOF
	= HORIZONTAL VINYL SIDING (IF EXPOSURE)
	= HORIZONTAL FIBER CEMENT SIDING (IF EXPOSURE)
	= FIBER CEMENT PANEL 80 W/2" BATTENS SPACED PER ELEV.
	= BRICK VENEER
	= BRICK MASONRY COURSE
* CORNER BOARDS TO BE PROVIDED BY VINYL SIDING MANUFACTURER, BASED PER ELEVATION.	
** CORNER BOARDS TO BE 4" x 4" FIBER CEMENT MATERIAL	

1. All drawings are to be coordinated with all site information by owner and contractor and applicable codes. Planworx Architecture, P.A., is not responsible for construction variations from the information depicted.
2. Contractor is to notify architect immediately of conditions or items varying from depicted information. 4. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by written construction contract as a result of Planworx Architecture, P.A. Design.
3. Copyright 2022 - PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client, unaltered and only for the project for which they were prepared. PLANS NOT VALID FOR CONSTRUCTION AND APPROPRIATE PROFESSIONAL SEALS.
5. Planworx Architecture, P.A., retains ownership of all designs depicted and marked herein.
6. Planworx Architecture, P.A., is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.

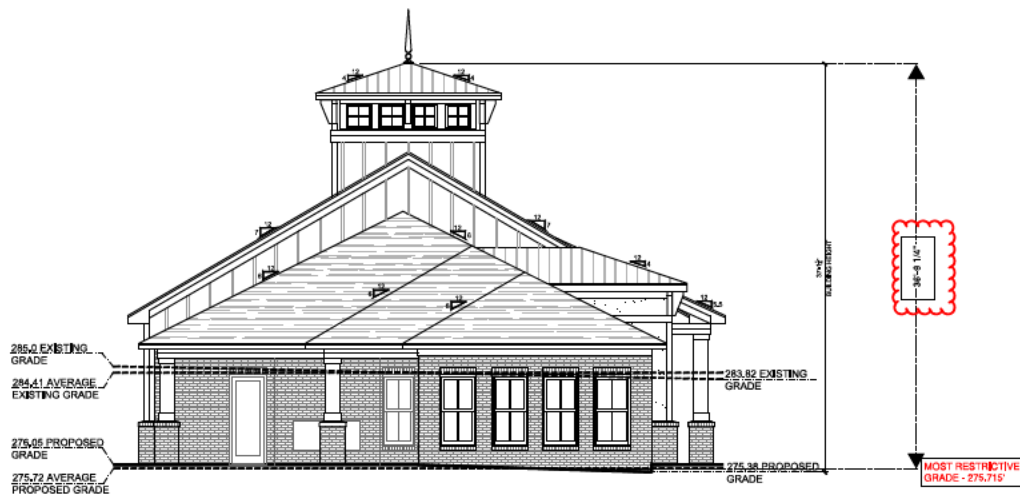
DATE: 10/27/20 (REVISION 6)
SHEET TITLE:
Building Type 6 - Exterior Elevations
SHEET NUMBER:
A1.55

Clairmont at Crabtree Apartments

Raleigh, NC



1 BUILDING C - CLUBHOUSE - FRONT ELEVATION (SOUTH)
Scale: 3/16" = 1'-0"



ARCHITECTURAL PLANS EXTERIOR MATERIALS	
	ASPHALT SINGLE ROOF
	HORIZONTAL VINYL SIDING (8" EXPOSURE)
	HORIZONTAL FIBER CEMENT SIDING (8" EXPOSURE)
	FIBER CEMENT PANEL 30 W/ 2" BATTENS SPACED PER ELEV.
	BRICK VENEER
	8x8x4 ROWLOCK CORNER COURSE
* CORNER BOARDS TO BE PROVIDED BY VINYL SIDING MANUFACTURER, SIZES PER ELEVATION.	
** CORNER BOARDS TO BE 4" OF FIBER CEMENT MATERIAL.	

2 BUILDING C - CLUBHOUSE - LEFT ELEVATION (WEST)
Scale: 3/16" = 1'-0"

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. Planworx Architecture, P.A., is not responsible for construction variations from the information depicted.
2. Contractor is to notify architect immediately of conditions or items varying from depicted information.
3. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by verified construction savings as a result of Planworx Architecture, P.A. Design.
4. Planworx Architecture, P.A., is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.
5. Planworx Architecture, P.A., retains ownership of all of designs depicted and included herein.
6. Planworx Architecture, P.A., is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.
7. Copyright 2020 PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used only by client. Unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION WITHOUT APPROPRIATE PROFESSIONAL SEALS.

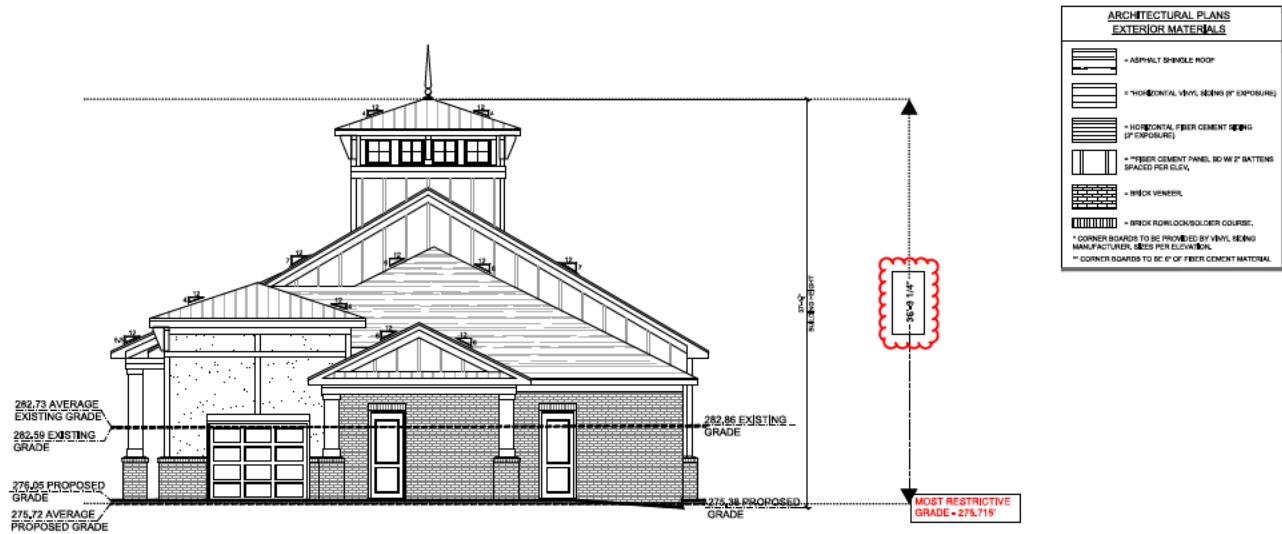
DATE: 10/27/20 (REVISION 6)
SHEET TITLE: Clubhouse - Elevations
SHEET NUMBER: A2.01

Clairmont at Crabtree Apartments

Raleigh, NC



1 BUILDING C - CLUBHOUSE - REAR ELEVATION (NORTH)
Scale: 3/16" = 1'-0"



2 BUILDING C - CLUBHOUSE - RIGHT ELEVATION (EAST)
Scale: 3/16" = 1'-0"

1. All drawings are to be coordinated with all site information by owner and contractor, and applicable codes. Planworx Architecture, P.A., is not responsible for construction variations from the information depicted.
2. Contractor is to notify architect immediately of conditions or items varying from depicted information.
3. Copyright 2020 PLANWORX ARCHITECTURE, P.A. All rights reserved. Reproduction of this sheet, in whole or in part, is strictly prohibited. Plans may be used once by client, unauthorized use strictly prohibited. PLANS NOT VALID FOR CONSTRUCTION WITHOUT APPROPRIATE PROFESSIONAL SEALS.
4. Planworx Architecture, P.A., will not assume any liability for expenses associated with errors and omissions on these drawings unless offered by verified construction sketches as a result of Planworx Architecture, P.A. Design.
5. Planworx Architecture, P.A., retains ownership of all of designs depicted and marked herein.
6. Planworx Architecture, P.A., is not responsible for estimating, maintaining, or modifying construction costs associated with these plans.

DATE: 10/27/20 (REVISION 6)
SHEET TITLE: Clubhouse - Elevations
SHEET NUMBER: A2.02