Administrative Site Review Application

Office Use Only: Case #: ___



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Planner (print): __

assistance detern	nining a Site P	lan Tier is nee	ded a Site Pla	nge case <u>TC-14-19</u> to determine the site plan tier. If n Tier Verification request can be submitted online via the s verification service.)		
Site Plan Tier:	Site Plan Tier: Tier Two Site Plan Tier Three Site Plan					
	Building	Туре		Site Transaction History		
	Detached Attached Apartment Townhouse		General Mixed use Open lot Civic	Subdivision case #: Scoping/sketch plan case #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #:		
				Administrative Alternate #:		
			GENERAL IN	FORMATION		
Development na	me:					
Inside City limits	? Yes	No				
Property address	s(es):					
Site P.I.N.(s):						
Please describe	the scope of v	vork. Include a	ny additions, e	expansions, and change of use.		
Current Property		•				
NOTE: please a	ttach purcha	se agreement	when submi	tting this form.		
Company:				Title:		
Address:						
Phone #:			Email:			
Applicant Name:						
Company:			Address:			
Phone #: Email:						

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DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)					
SITE DATA	BUILDING DATA				
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished): 0 sf				
RX-4-PL-CU	Existing gross floor area to be demolished: 0 sf				
Gross site acreage: 41.42 ac	New gross floor area: 359,660 sf				
# of parking spaces required: 421 spaces	Total sf gross (to remain and new): 359,660 sf				
# of parking spaces proposed: 460 spaces	Proposed # of buildings: 9 Apt Buildings, 1 Clubhouse, 1 Maintenance Building				
Overlay District (if applicable): N/A	Proposed # of stories for each: 4 Max. (1story, 3 story, and 3/4 split)				
Existing use (UDO 6.1.4): Vacant					
Proposed use (UDO 6.1.4): Apartments					

Existing use (UDO 6.1.4): Vacant				
Proposed use (UDO 6.1.4): Apartments				
STORMWATER	NFORMATION			
Existing Impervious Surface:	Proposed Impervious Surface:			
Acres: 0.07 Square Feet: 3,080	Acres: 7.88 Square Feet: 343,250			
Is this a flood hazard area? Yes ✓ No				
If yes, please provide: Property located within Zone X and portions w	ithin Zone AE Floodplain and Floodway			
Alluvial soils: RkA, Riverview fine sandy loam (Group B)				
Flood study: N/A				
FEMA Map Panel #: 3720173700J				
Neuse River Buffer Yes ✓ No ☐	Wetlands Yes ✓ No ☐			
	·			
RESIDENTIAL DE				
Total # of dwelling units: 331	Total # of hotel units: 0			
# of bedroom units: 1br 169 2br 144 3br 18	4br or more 0			
# of lots:1 (2 existing to be combined)	Is your project a cottage court? Yes No ✓			
SIGNATURE	BLOCK			
The undersigned indicates that the property owner(s) is award described in this application will be maintained in all respects herewith, and in accordance with the provisions and regulation	in accordance with the plans and specifications submitted			
I, Kimley-Horn & Associates will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.				
I/we have read, acknowledge, and affirm that this project is coproposed development use. I acknowledge that this application which states applications will expire after 180 days of inactivity	on is subject to the filing calendar and submittal policy,			
Signature: Date: 4/8/2022				
Printed Name: Melissa Brand				

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PROJECT LOCATION MAP

SCALE: NOT TO SCALE

- IE CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED. THEY MUST BE

- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO FNGINFER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NO ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.

- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL
- 23. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE
- PRIOR APPROVAL BY THE CITY OF RALEIGH. PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE
- RIGHTOFWAYSERVICES@RALFIGHNC GOV THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF HTE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED. ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED
 - -- MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD) -- PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINÉS (PROWAG) -- AMERICAN DISABILITY ACT (ADA) REQUIREMENTS

-- RALEIGH STREET DESIGN MANUAL (RSDM)

- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.
- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) OR 250 FEET (NFPA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCFC 503.1.1). FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1). ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2012 NCEC. SECTION 507.3.

REQUIREMENT: EXCEPT WHERE A STREET CONNECTION TRAVERSING THE SUBJECT PROPERTY IS SHOWN ON THE RALEIGH STREET PLAN

- OR AN ADOPTED AREA PLAN, COMPLIANCE WITH THE MAXIMUM BLOCK PERIMETER STANDARDS, INCLUDING MAXIMUM DEAD-END STREET LENGTH, SHALL NOT BE REQUIRED WHEN ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET: THE PROPERTY TO BE DEVELOPED. OR THE ADJACENT PROPERTY TO WHICH ANY NEW STREET OR STUB STREET WOULD BE CONTINUED CONTAINS ONE OR MORE OF THE FOLLOWING LAND USES: HISTORIC LANDMARK, CEMETERY, LANDFILL, HOSPITAL, SCHOOL (PUBLIC OR PRIVATE (K-12)), COLLEGE COMMUNITY COLLEGE, UNIVERSITY, PLACES OF WORSHIP, POLICE STATION, FIRE STATION, EMS STATION, PRISON OR ANY RESIDENTIAL USE IN AN ATTACHED OR DETACHED BUILDING TYPE ON LOTS NO LARGER THAN 2 ACRES.
- EXEMPTION: PROPERTY IS EXEMPT FROM THIS REQUIREMENT AS THE ONLY ADJACENT PROPERTY IS A 1.86 ACRE LOT WITH A RESIDENTIAL USE.
- REQUIREMENT: CROSS-ACCESS REQUIREMENTS DESCRIBED IN SEC. 8.3.5.D. SHALL NOT APPLY WHEN ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET: THE ABUTTING PROPERTY (TO WHICH A DRIVEWAY IS TO BE STUBBED) IS IN A RESIDENTIAL ZONING DISTRICT (EXCEPT FOR R-10) OR OCCUPIED BY AN ATTACHED, DETACHED OR TOWNHOUSE BUILDING TYPE EXEMPTION: PROPERTY IS EXEMPT FROM THIS REQUIREMENT AS THE ADJACENT PROPERTY IS ZONED AS R-4 AND IS A SINGLE-FAMILY

MEANS OF COMPLIANCE WITH REZONING CONDITIONS ASSOCIATED WITH Z-40-21 (EFFECTIVE DECEMBER 12, 2021): 1. CONDITION: THE FOLLOWING PRINCIPAL USE AS LISTED IN THE UDO SECTION 6.1.4 THAT ARE PERMITTED, LIMITED, OR SPECIAL USES IN THE RX- DISTRICT SHALL BE PROHIBITED: (i) CEMETERY; (ii) SCHOOL, PUBLIC OR PRIVATE (K-12); AND (iii) OUTDOOR SPORTS OR

- ENTERTAINMENT FACILITY (>250 SEATS). MEANS OF COMPLIANCE: THE PROPOSED USE IS MULTI-UNIT LIVING. A CEMETERY, SCHOOL (PUBLIC OR PRIVATE), AND/OR OUTDOOR SPORTS OR ENTERTAINMENT FACILITY (>250 SEATS) HAS NOT BEEN PROPOSED.
- CONDITION: THE MAXIMUM NUMBER OF DWELLING UNITS PERMITTED ON THE PROPERTY IS 375 DWELLING UNITS. MEANS OF COMPLIANCE: THE PROPOSED NUMBER OF DWELLING UNITS IS 331.
- <u>CONDITION:</u> ANY SITE PLAN SUBMITTED TO THE CITY PRIOR TO THE EFFECTIVE DATE OF TC-16-20 SHALL COMPLY WITH ALL APPLICABLE STANDARDS CONTAINED IN SEC. 9.3.6 OF TC-16-20 (ORDINANCE 2021 - 231 TC 447). MEANS OF COMPLIANCE: THE PROPOSED DEVELOPMENT HAS BEEN DESIGNED TO COMPLY WITH SECTION 9.3.6 OF TC-16-20. MINOR DISTURBANCE WITHIN THE 100 YEAR FLOODPLAIN IS LIMITED TO THE PROPOSED PUBLIC GREENWAY CONNECTION REQUESTED BY THE
- CONDITION: EXCEPT AS STATED BELOW, WHERE TREE REMOVAL OCCURS ALONG HWY 401/LOUISBURG ROAD, PLANTINGS SHALL BE ISTALLED AT A RATE OF 4 SHADE TREES AND 15 SHRUBS PER 100 LINEAR FEET WITHIN THE AREA BETWEEN THE RIGHT-OF-WAY IF THERE IS AN APPROVED ENCROACHMENT AGREEMENT. WHERE OVERHEAD UTILITIES EXIST: (i) SUCH PLANTINGS SHALL BE INSTALLED OUTSIDE THE UTILITY EASEMENT AREA. UNLESS THERE IS AN APPROVED UTILITY ENCROACHMENT AGREEMENT: AND (ii) UNDERSTORY TREES MAY BE SUBSTITUTED AT A RATE OF 2 UNDERSTORY TREES PER 1 SHADE TREE IF PLANTINGS ARE ALLOWED WITHIN SAID UTILITY EASEMENT
- AREA. ALL PLANTINGS CONTEMPLATED BY THIS CONDITION SHALL BE COUNTED TOWARD ANY STREETSCAPE PLANTING REQUIREMENT, AND ANY STREETSCAPE PLANTINGS SHALL BE COUNTED TOWARD COMPLIANCE WITH THIS CONDITION. MEANS OF COMPLIANCE: PLANTINGS HAVE BEEN PROVIDED AT THE REQUIRED RATE IN ALL LOCATIONS WHERE TREE REMOVAL OCCURS ALONG THE FRONTAGE OF HWY 401/LOUISBURG ROAD. IN FRONTAGE AREAS WHERE TREE REMOVAL DOES NOT OCCUR. STANDARD CITY OF RALEIGH STREETSCAPE PLANTINGS HAVE BEEN PROVIDED PER UDO SECTION 8.4 AND 8.5. UNDERSTORY TREES HAVE BEEN UTILIZED IN FRONTAGE AREAS WHERE OVERHEAD POWER LINES ARE PRESENT. LOCATIONS HAVE BEEN COORDINATED WITH DUKE ENERGY.
- CONDITION: SUBJECT TO APPROVAL BY THE CITY PLANNING AND DEVELOPMENT DEPARTMENT, AND THE CONSENT OF ANY EASEMENT HOLDER, DEVELOPER WILL CONSTRUCT A 10 FOOT (10') MULTI-USE PATH CONNECTING LOUISBURG ROAD/HWY 401 TO THE CITY OF RALEIGH NEUSE RIVER GREENWAY TRAIL, AS LONG AS SUCH PATH IS NOT REQUIRED BY THE CITY OF RALEIGH OR BY FEDERAL LAW TO BE ADA-ACCESSIBLE. THE POINTS AT WHICH THIS MULTI-USE PATH WILL CONNECT TO LOUISBURG ROAD AND TO THE GREENWAY TRAIL SHALL BE LOCATED WITHIN ONE THOUSAND THREE HUNDRED FEET (1,300') FROM THE PROPERTY LINE ADJACENT TO 8025 LOUISBURG ROAD (DB 9048 / PG 150).
- MEANS OF COMPLIANCE: A TEN FOOT (10') WIDE MULTI-USE PATH HAS BEEN PROVIDED 1,285 LINEAR FEET FROM THE PROPERTY LINE ADJACENT TO 8025 LOUISBURG ROAD (DB9048 / PG150). THIS IS DIMENSIONED ON SHEET C3.0. AN EASEMENT HAS BEEN PROVIDED ALONG
- CONDITION: DEVELOPER SHALL PROVIDE LEVEL II ELECTRIC VEHICLE CHARGING STATIONS SERVING FOUR (4) PARKING SPACES WITHIN THE DEVELOPMENT. THE CHARGING STATIONS SHALL BE INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE

MEANS OF COMPLIANCE: FOUR LEVEL II ELECTRIC VEHICLE CHARGING STATIONS HAVE BEEN PROVIDED AS REQUIRED. LOCATIONS AS

REFERENCE: Z-40-21 SKETCH TRANS. #: SCOPE 0087-2021

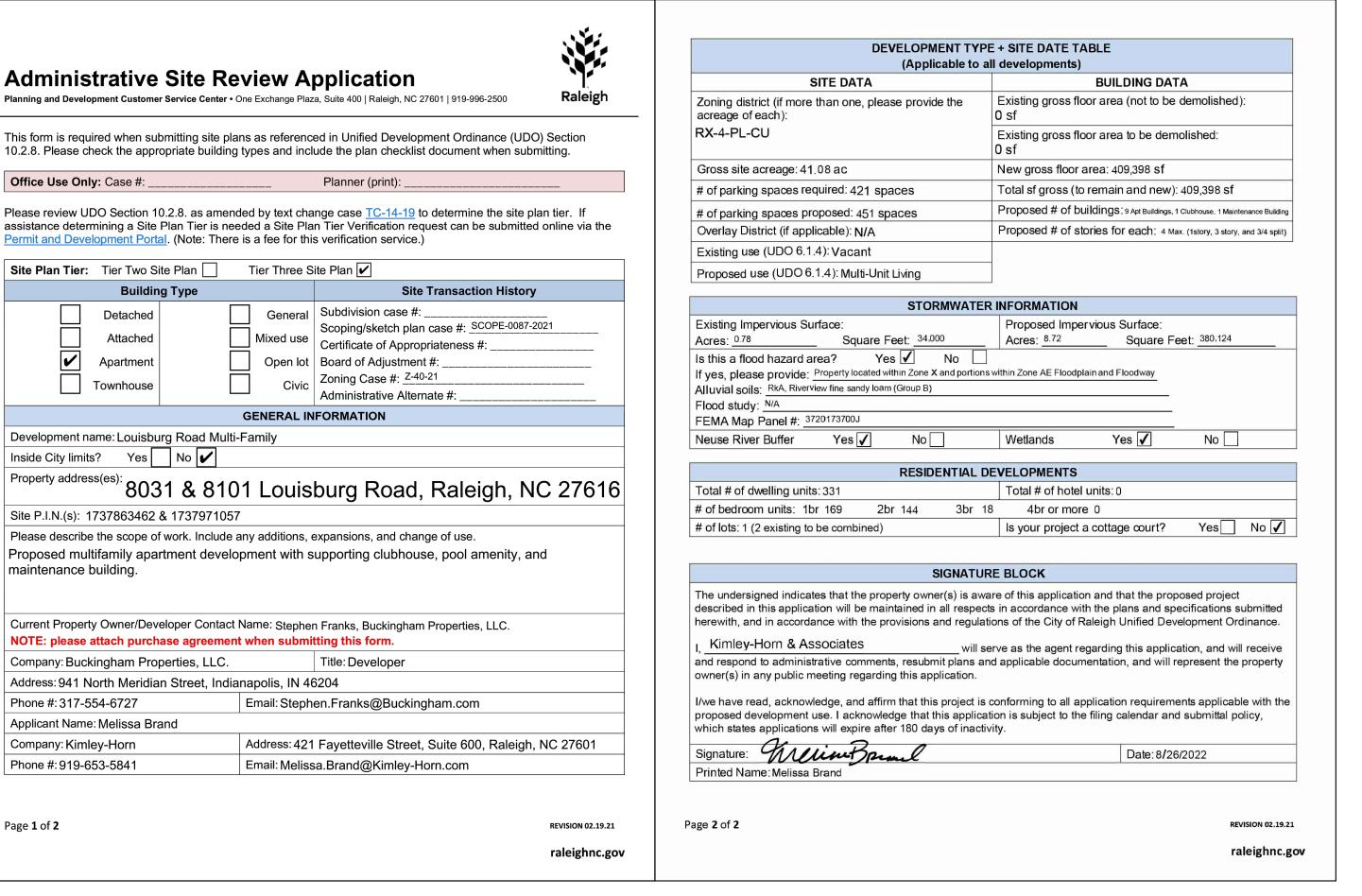
ASR-0026-2022

ADMINISTRATIVE SITE REVIEW LOUISBURG ROAD MULTI-FAMILY

8031 & 8101 LOUISBURG ROAD RALEIGH, NORTH CAROLINA 27616

A DEVELOPMENT BY:

BUCKINGHAM PROPERTIES, LLC.



SITE DEVELOPER AND DESIGN CONSULTANTS

SITE DEVELOPER: BUCKINGHAM PROPERTIES, LLC. 941 NORTH MERIDIAN ST. INDIANAPOLIS, INDIANA 46204 CONTACT: STEPHEN J. FRANKS PHONE: (317) 554-6727 EMAIL: STEPHEN.FRANKS@BUCKINGHAM.COM

> LANDSCAPE ARCHITECT: KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE ST., SUITE 600 RALEIGH, NORTH CAROLINA 27601 PHONE: (919) 653-5841 ATTN.: MELISSA BRAND, PLA

MELISSA.BRAND@KIMLEY-HORN.COM

PHONE: (919) 677-2000

CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE ST., SUITE 600 RALEIGH, NORTH CAROLINA 27601 PHONE: (919) 653-2990 ATTN.: JOHN KUZENSKI, P.E. JOHN.KUZENSKI@KIMLEY-HORN.COM

SURVEYOR: RILEY SURVEYING, P.A. 3326 DURHAM CHAPEL HILL BLVD., SUITE B-100 DURHAM, NORTH CAROLINA 27707 PHONE: (919) 667-0742 ATTN.: PHILLIP W. RILEY, PLS PHILR@RILEYSURVEYINGPA.COM

ARCHITECT STUDIO M 2 WEST MAIN ST CARMEL, INDIANA 46032 PHONE: (317) 810-1502 ATTN.: NICK ALEXANDER NALEXANDER@STUDIOMARCHITECTURE.NET

KBSO CONSULTING 1344 SOUTH RANGELINE RD., SUITE 202 CARMEL, INDIANA 46032 PHONE: (317) 344-8045 ATTN .: SEUN ODUKOMAIYA SODUKOMAIYA@KBSOCONSULTING.COM

550 VIRGINIA AVENUE INDIANAPOLIS, INDIANA 46203

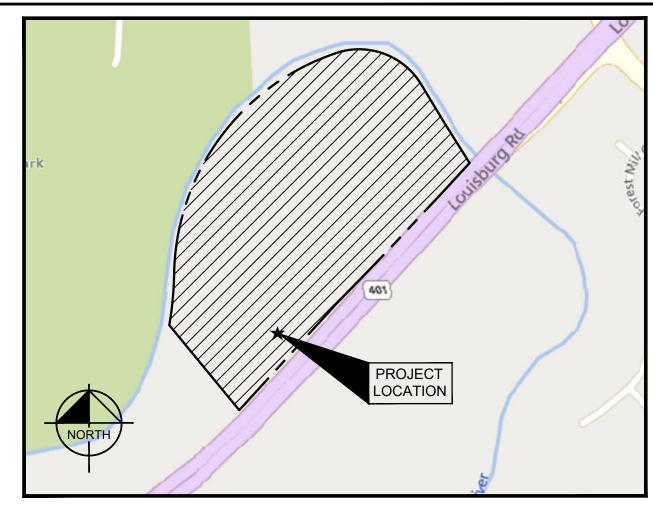
STRUCTURAL

PHONE: (317) 423-1550

ATTN.: PATRICK LOCK

PLOCK@LBH-ENG.COM

GEOTECH: **ECS SOUTHEAST** 5260 GREENS DAIRY ROAD RALEIGH, NORTH CAROLINA 27616 PHONE: (919) 861-9910 ATTN.: THOMAS SCHIPPOREIT TSCHIPPOREIT@ECSLIMITED.COM



VICINITY MAP

SHEE	T LIST TABLE
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C1.0	OVERALL SURVEY
C1.1	ENLARGED SURVEY
C1.2	OFF-SITE SURVEY
C2.0	DEMOLITION PLAN
C3.0	OVERALL SITE PLAN
C3.1	ENLARGED SITE PLAN
C3.2	ENLARGED SITE PLAN
C4.0	SITE DETAILS
C4.1	SITE DETAILS
C4.2	SITE DETAILS
C5.0	OVERALL UTILITY PLAN
C5.1	ENLARGED UTILITY PLAN
C5.2	ENLARGED UTILITY PLAN
C5.3	FIRE ACCESS AND HOSE LAY PLAN
C5.4	ALTERNATE MATERIAL REQUEST
C5.5	ALTERNATE MATERIAL REQUEST
C6.0	OVERALL GRADING AND DRAINAGE PLAN
C6.1	ENLARGED GRADING AND DRAINAGE PLAN
C6.2	ENLARGED GRADING AND DRAINAGE PLAN
L1.0	OVERALL LANDSCAPE PLAN
L1.1	ENLARGED LANDSCAPE PLAN
L1.2	ENLARGED LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
L2.1	LANDSCAPE NOTES
L3.0	TREE CONSERVATION AREA PLAN
L4.0	AMENITY PLAN
ES101	ELECTRICAL SITE PLAN
ES103	ELECTRICAL SITE PLAN ELECTRICAL SITE PHOTOMETRIC PLAN
A1.1	EXTERIOR ELEVATIONS - BUILDING 1
A1.2	EXTERIOR ELEVATIONS - BUILDING 2
A1.3	EXTERIOR ELEVATIONS - BUILDING 3
A1.4	EXTERIOR ELEVATIONS - BUILDING 4
A1.5	EXTERIOR ELEVATIONS - BUILDING 5
A1.6	EXTERIOR ELEVATIONS - BUILDING 6
A1.7	EXTERIOR ELEVATIONS - BUILDING 7
A1.8	EXTERIOR ELEVATIONS - BUILDING 8
A1.9	EXTERIOR ELEVATIONS - BUILDING 9
A1.10	EXTERIOR ELEVATIONS - CLUBHOUSE
A1.11	EXTERIOR ELEVATIONS - ACCESSORY
A1.12	EXTERIOR ELEVATIONS - PERSPECTIVES
A2.1	TRASH ENCLOSURE DETAILS
R0.00	OFFSITE IMPROVEMENTS - TITLE SHEET
R0.01	OFFSITE IMPROVEMENTS - PROJECT NOTES
R0.02	OFFSITE IMPROVEMENTS - CONVENTIONAL SYMBOLS
R1.0	OFFSITE IMPROVEMENTS - TYPICAL SECTIONS
R2.0	OFFSITE IMPROVEMENTS - PLAN VIEW

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN,

CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS

DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND

ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.

PRELIMINAR

PREPARED IN THE OFFICE OF: Kimley» Horn 421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601

ALL CONSTRUCTION TO BE IN ACCORDANCE AS AN INSTRUMENT OF SERVICES, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SURVEY NOTE:

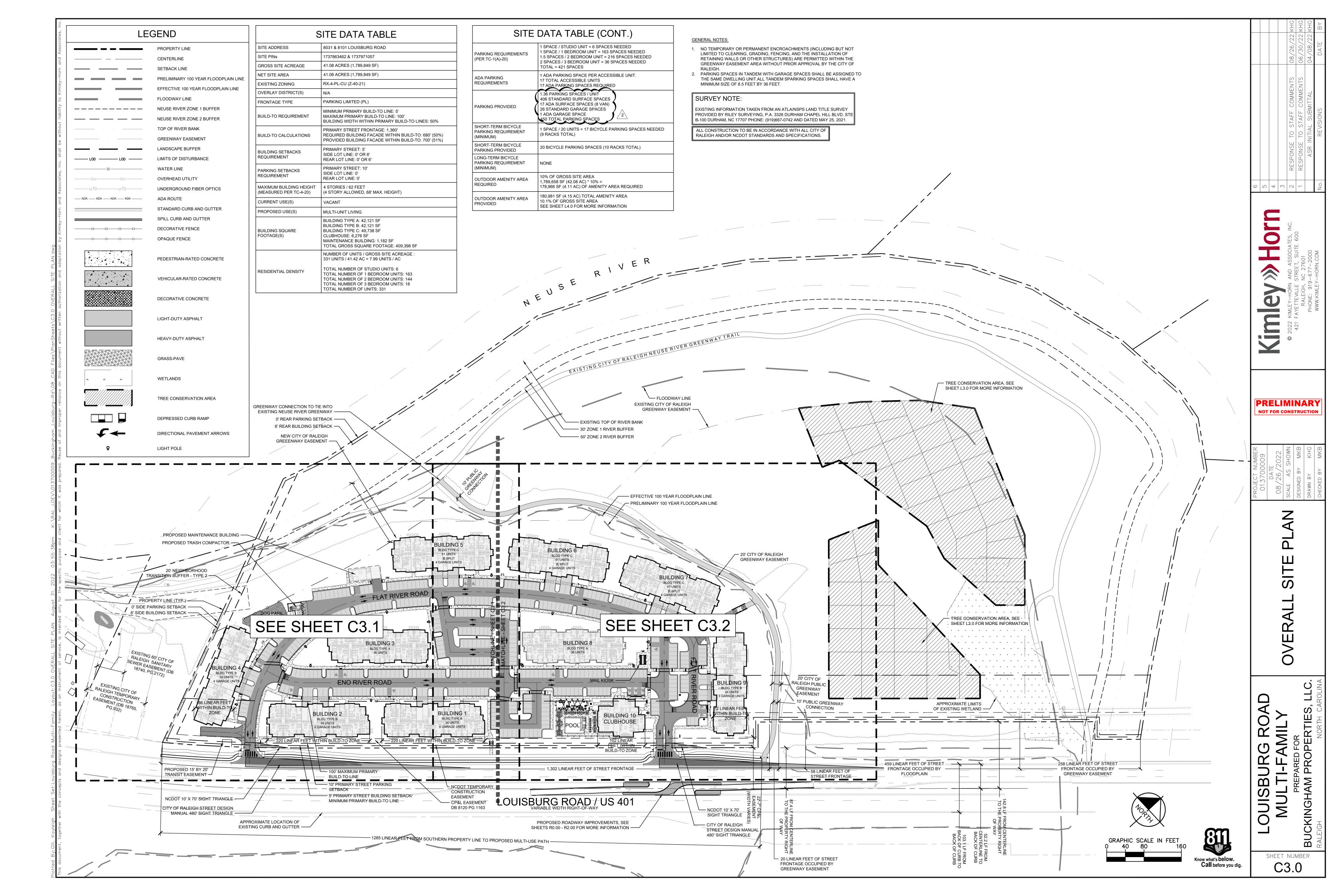
EXISTING INFORMATION TAKEN FROM AN ATLA/NSPS LAND TITLE SURVEY PROVIDED BY RILEY SURVEYING, P.A. 3326 DURHAM CHAPEL HILL BLVD. STE B-100 DURHAM, NC 17707 PHONE: (919)667-0742 AND DATED MAY 25,2021

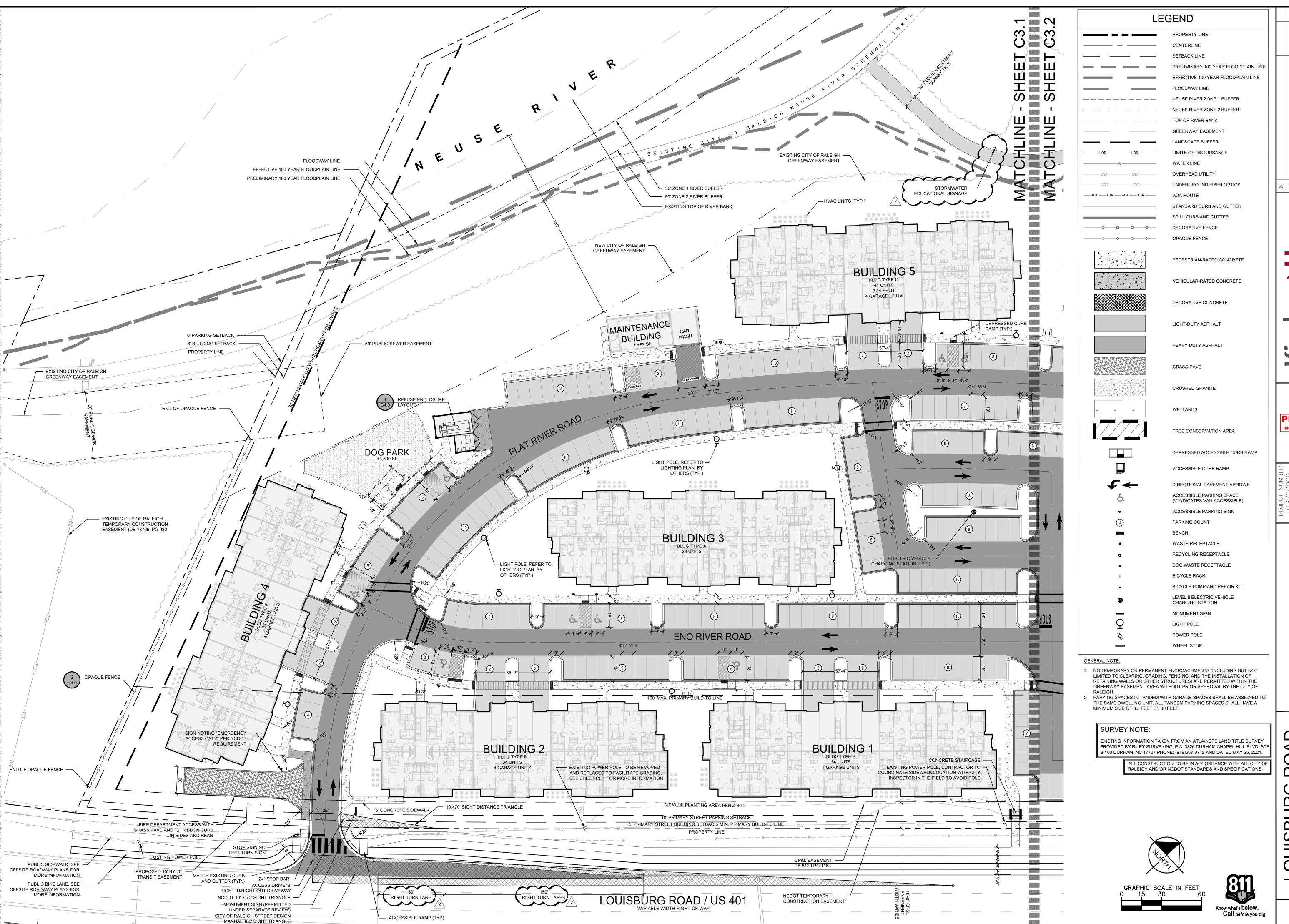
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AUGUST 26, 2022 NC CERTIFICATE OF AUTHORIZATION: F-0102

JOB NUMBER

SHEET NUMBER



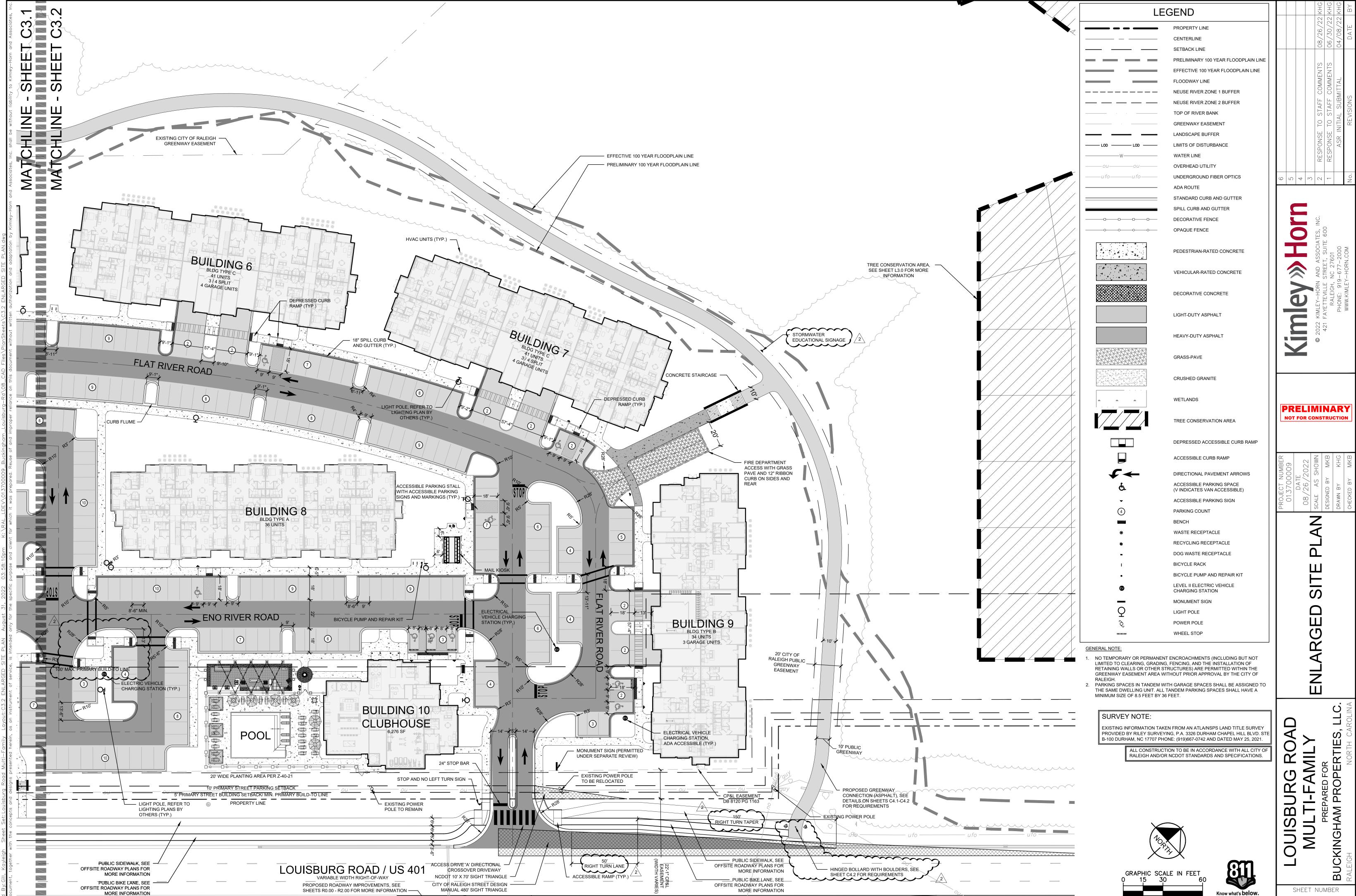


PRELIMINARY

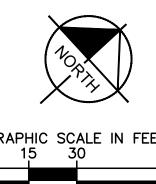
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SHEET NUMBER C3.1



MORE INFORMATION





SHEET NUMBER C3.2









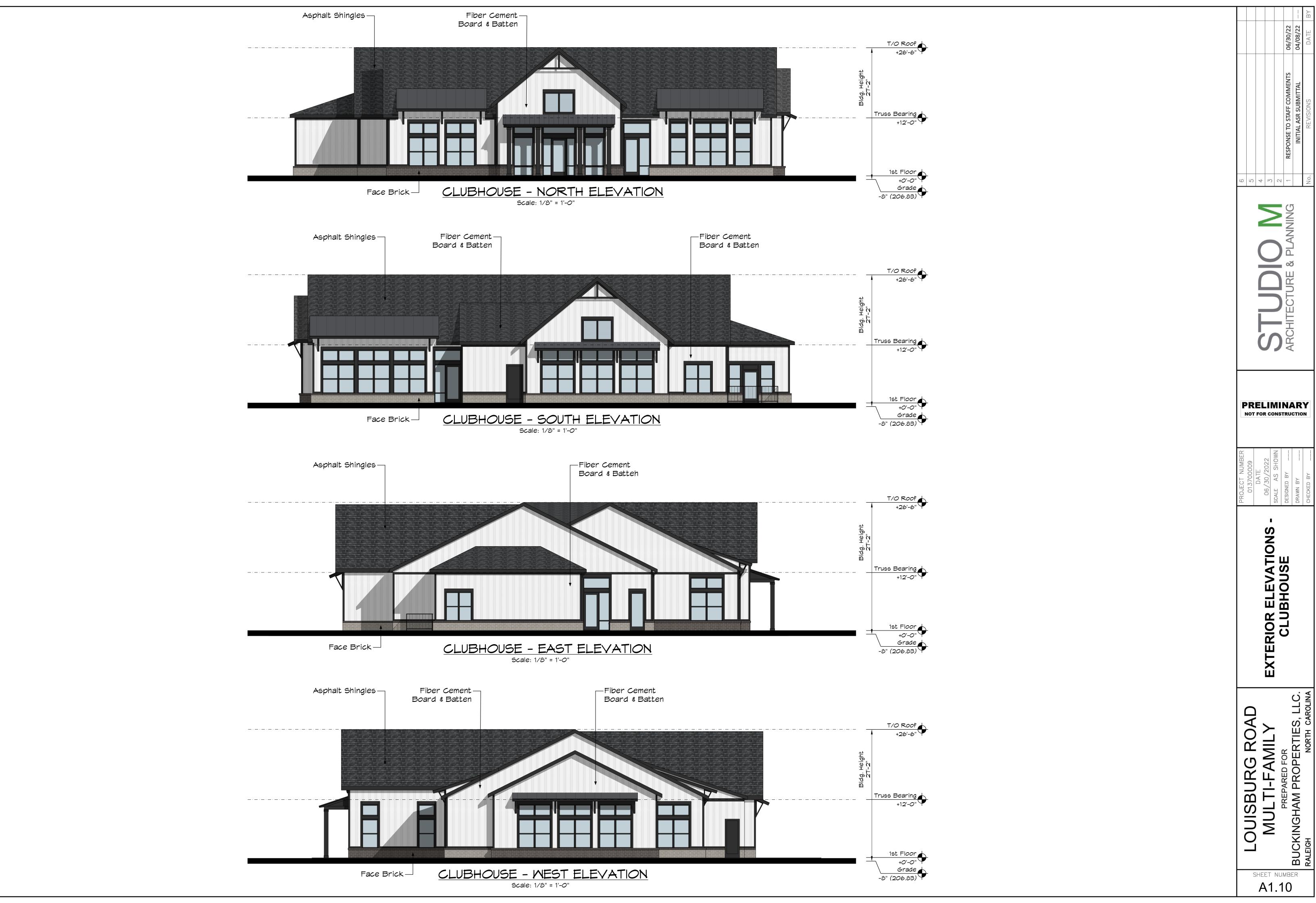






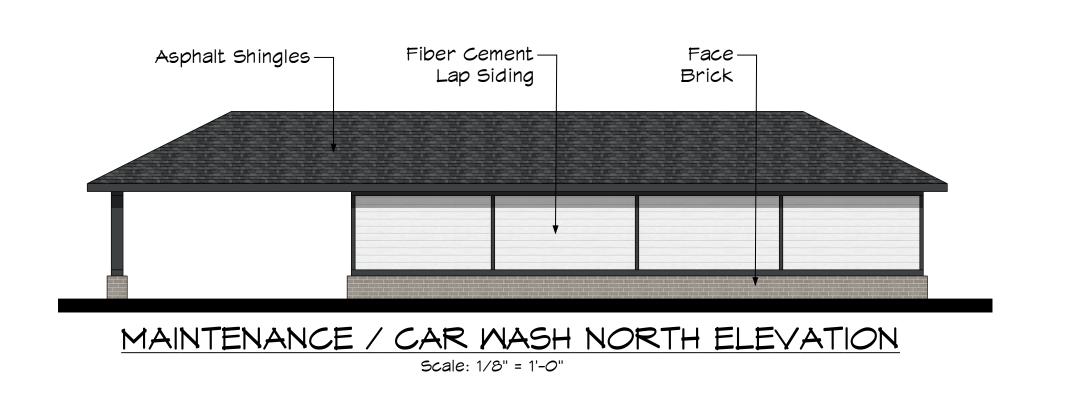




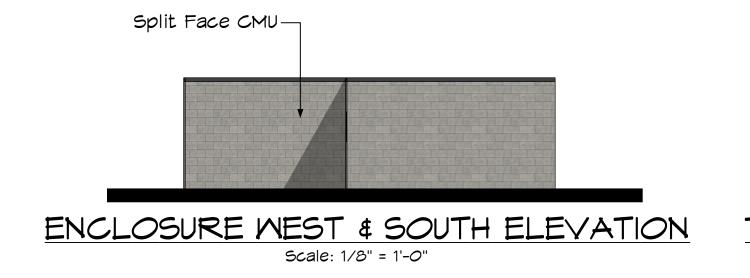


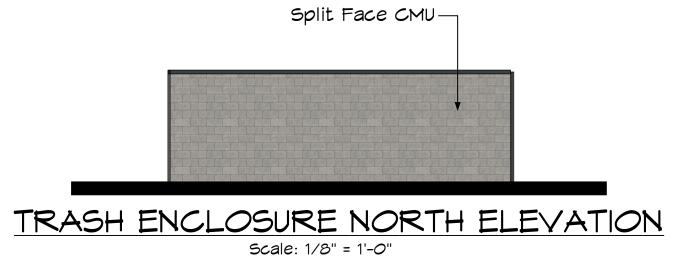
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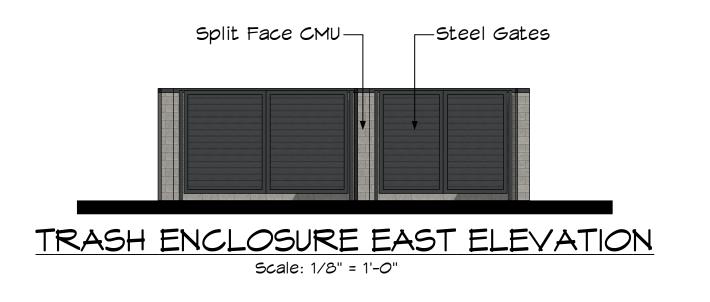
SHEET NUMBER











PRELIMINARY NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS ACCESSORY

PREPA BUCKINGHAM P RALEIGH

SHEET NUMBER A1.11

END — PROJECT BEGIN — PROJECT VICINITY MAP NOT TO SCALE

WAKE COUNTY

TO PERRY CREEK RD

LOUISBURG ROAD MULTI-FAMILY OFFSITE IMPROVEMENTS

RALEIGH, NC

LOCATION: LOUISBURG ROAD APPROX 1620' SOUTH OF MITCHELL MILL ROAD TO APPROX. 2575' NORTH OF PERRY CREEK ROAD

-L-LOUISBURG ROAD (US-401)

R2.00



\		ZEF	P D.	WHI		
0		22	NTS	TDW	CAV	WCT
600001010	DATE	8/26/2022	CALE	ESIGNED BY:	RAWN BY:	HECKED BY.

SHEE TITLE

TO MITCHELL MILL RD ---

GRAPHIC SCALE

PLANS

PROFILE (HORIZONTAL)

PROFILE (VERTICAL)

END PROJECT
-L- Sta. 33+25.00

LOUISBURG ROAD MULTI-FAMILY OFFSITE IMPROVEMENTS

SHEET NUMBER

R0.00

DEVELOPER:

BUCKINGHAM PROPERTIES, LLC. 941 NORTH MERIDIAN ST. INDIANAPOLIS, INDIANA 46204 STEPHEN J. FRANKS 317.554.6727 stephen.franks@buckingham.com

ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC. 300 MORRIS ST. SUITE 200 DURHAM, NC 27701 TYLER WHITE, P.E. 919.677.2074 tyler.white@kimley-horn.com

SURVEYOR:

RILEY SURVEYING, P.A. 3326 DURHAM CHAPEL HILL BLVD., DURHAM, NC 27707 PHILLIP W. RILEY, PLS PHILR@RILEYSURVEYINGPA.COM

SUITE B-100

919.667.0742

INDEX OF SHEETS

	SHEET NO.	DESCRIPTION
	R0.00	TITLE SHEET
2	R0.01	PROJECT NOTES
202	R0.02	CONVENTIONAL SYMBOLS
24/	R1.00	TYPICAL SECTIONS
8/,	R2.00	PLAN VIEW



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2

BEGIN PROJECT

-L- Sta.19+20.00

2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY, INCLUDING BUT NOT LIMITED TO TRENCH SAFETY, DURING ALL PHASES OF CONSTRUCTION.

3. THE LOCATION AND SIZE OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE NORTH CAROLINA ONE-CALL UTILITIES LOCATION SERVICE (ULOCO) AT I-800-632-4949 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE SITE.

4. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.

5. TRAFFIC MANAGEMENT ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THE TRAFFIC CONTROL PLAN, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," AND AS FURTHER DIRECTED BY THE TOWN AND STATE INSPECTORS.

6. ALL MANUFACTURERS' PRODUCTS SPECIFIED IN THESE PLANS OR USED AS APPROVED ALTERNATES SHALL BE INSTALLED PER THE MANUFACTURERS' SPECIFICATIONS.

7. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.

8. CONSTRUCTION STAKEOUT FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR.

9. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE THE MEETING WITH NCDOT AND THE CITY OF RALEIGH.

IO. CONTRACTOR IS RESPONSIBLE FOR VERIFYING OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION. NCDOT ENCROACHMENTS SHALL BE OBTAINED BY THE ENGINEER.

II. THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS, AND WIRE UTILITY STRUCTURES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES.

12. ROADWAYS MUST BE CAPABLE OF SUPPORTING FIRE APPARATUS DURING CONSTRUCTION.

I3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT NCDOT STANDARDS, SPECIFICATIONS, DETAILS AND ENCROACHMENT AGREEMENTS.

14. NO CHANGES TO ANY ASPECT OF THIS ROADWAY PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF NCDOT.

15. ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).

16. CONTRACTOR TO ENSURE THAT ALL STREETS WITHIN THE LIMITS OF THE PROJECT AND IN FRONT OF THE PROJECT ARE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

I7. ALL STORM DRAIN FRAMES & GRATES SHALL BE STAMPED WITH "DRAINS TO RIVER" PER CITY OF RALEIGH STANDARDS.

18. LIMITS OF OFFSITE IMPROVEMENTS NOT WITHIN FLOODPLAIN.

UTILITY NOTES

I. WATER VALVE BOXES THAT ARE ENCOUNTERED WITHIN THE PROJECT LIMITS ARE TO BE RAISED OR LOWERED TO MATCH THE ADJACENT FINISHED WORK.

2. WATER METER BOXES THAT ARE ENCOUNTERED WITHIN THE PROJECT LIMITS OUTSIDE THE PROPOSED PAVEMENT SECTION ARE TO BE RAISED OR LOWERED TO MATCH THE ADJACENT FINISHED WORK.

3. WATER METER BOXES THAT ARE ENCOUNTERED WITHIN THE PROPOSED PAVEMENT SECTION ARE TO BE RELOCATED OUT OF THE PROPOSED PAVEMENT.

GRADING

I. THE GRADE LINES SHOWN DENOTE THE FINISHED ELEVATION OF THE PROPOSED SURFACING AT GRADE POINTS SHOWN ON THE TYPICAL SECTIONS. GRADE LINES MAY BE ADJUSTED AT THEIR BEGINNING AND ENDING AND AT STRUCTURES AND EXISTING PAVEMENT AS DIRECTED BY THE ENGINEER IN ORDER TO SECURE A PROPER TIE-IN.

2. REFER TO EROSION CONTROL SHEETS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION.

3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN AND AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDED AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RESEEDED, AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF GRASS.

4. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL USE INTERIM SILT FENCES, DIVERSION DITCHES, BERMS, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS, TO BEST UTILIZE THE EROSION CONTROL DEVICES IN PLACE, AND TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.

5. GRADING CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.

6. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE OF WOOD, ROOTS, ROCKS, BOULDERS, OR ANY OTHER NON-COMPATIBLE SOIL TYPE MATERIAL. UNSATISFACTORY MATERIALS ALSO INCLUDE MAN-MADE FILLS AND REFUSE DEBRIS DERIVED FROM ANY SOURCE.

7. ALL GRADING / SOIL COMPACTION OPERATIONS WITHIN THE LIMITS OF STATE RIGHT OF WAYS SHALL ADHERE TO NCDOT REQUIREMENTS, IN ACCORDANCE WITH AASHTO T99 AS MODIFIED BY THE DEPARTMENT. COPIES OF THESE MODIFIED TESTING PROCEDURES ARE AVAILABLE UPON REQUEST FROM THE DEPARTMENT'S MATERIALS AND TESTS UNIT.

8. ALL DEMOLITION DEBRIS AND OTHER EXCESS MATERIAL SHALL BE HAULED OFF-SITE AS DIRECTED BY THE OWNER AND PROPERLY DISPOSED OF.

9. PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED ROADWAY PROFILES/SUPERELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.

IO. REFER TO ROADWAY PLAN FOR HORIZONTAL DIMENSIONS.

II. WHERE FILL IS TO BE PLACED ON EXISTING SLOPES STEEPER THAN 4:1, CONTRACTOR SHALL EXCAVATE BENCHES WITH A MAXIMUM DEPTH OF 3'.

12. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLAST ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS.

13. TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED BEFORE THE GRADING PERMIT IS ISSUED.

14. CROSS SLOPES AND ELEVATIONS SHOWN ON CROSS SECTIONS ARE APPROXIMATE.PROPOSED PAVEMENT CROSS SLOPES ARE TO BE BASED ON EXISTING CROSS SLOPE DETERMINED IN FIELD. IF FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLANS, NOTIFY ENGINEER IMMEDIATELY.

PAVING/CURBING

I. WHERE PROPOSED CURB AND GUTTER TIES TO EXISTING CURB OR CURB AND GUTTER, A TRANSITION OF 10'SHALL BE MADE TO CONFORM TO THE EXISTING HEIGHTS AND SHAPES.

2. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.

3. ALL PAVEMENT SUB GRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM D-1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHICAL ENGINEER. FILL SHALL BE PLACED AND COMPACTED IN MAXIMUM 8" LIFTS. IN AREAS WHERE ROCK IS ENCOUNTERED AT FINAL SUB GRADE ELEVATION, THE EXPOSED ROCK SHALL BE TOPPED WITH A LEVELING COURSE OF SANDY CLAY OR CLAYEY SAND (P.I. BETWEEN 4 AND 15) AS NEEDED TO PROVIDE A SMOOTH SURFACE FOR PAVING.

4. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.

5. ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5 FEET. ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.

6. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE NCDOT SPECIFICATIONS.

7. ALL REINFORCING STEEL SHALL BE NEW DOMESTIC BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60, AND SHALL BE SUPPORTED BY BAR CHAIRS.

8. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON PUBLIC STREETS SHALL CONFORM TO MUTCD, AND NCDOT STANDARDS.

9. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA REQUIREMENTS AND THE "NORTH CAROLINA STATE BUILDING CODE, VOL I-C ACCESSIBILITY CODE." ALL RAMPS SHALL COMPLY WITH THE LATEST NCDOT STANDARDS. WHEELCHAIR RAMPS ARE SHOWN ON THE PLANS AT APPROXIMATE LOCATIONS.

IO. CONTRACTOR SHALL SAWCUT & REMOVE ANY THE EXISTING PAVEMENT WHEN THE EXISTING PAVEMENT IS BEING WIDENED OR WHERE NEW CURB AND GUTTER IS PROPOSED.

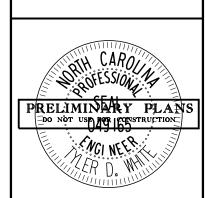
II. ALL CURVES ON THIS PROJECT SHALL BE SUPERELEVATED IN ACCORDANCE WITH STD. 225.04 & 225.05 USING THE RATE OF SUPERELEVATION AND RUNOFF SHOWN ON THE PLANS. SUPERELEVATION IS TO BE REVOLVED ABOUT THE GRADE POINTS SHOWN ON THE TYPICAL SECTIONS.

2. RESPONSE TO STAFF COMMENTS 08/26
1. RESPONSE TO STAFF COMMENTS 06/3C
ASR INITIAL SUBMITTAL 04/08
No. REVISIONS DAT

© 2022

REET, DURHAM, NC 27701, SUITE 20
PHONE: 919-682-3583

WWW.KIMLEY-HORN.COM



013700009
DATE
8/26/2022
SCALE NTS
DESIGNED BY: TDW
DRAWN BY: CAV

PROJECT NOTES

AENTS

LOUISBURG ROAD
MULTI-FAMILY OFFSI
IMPROVEMENTS

SHEET NUMBER RO.01

8/24/2022

*S.U.E. = Subsurface Utility Engineering

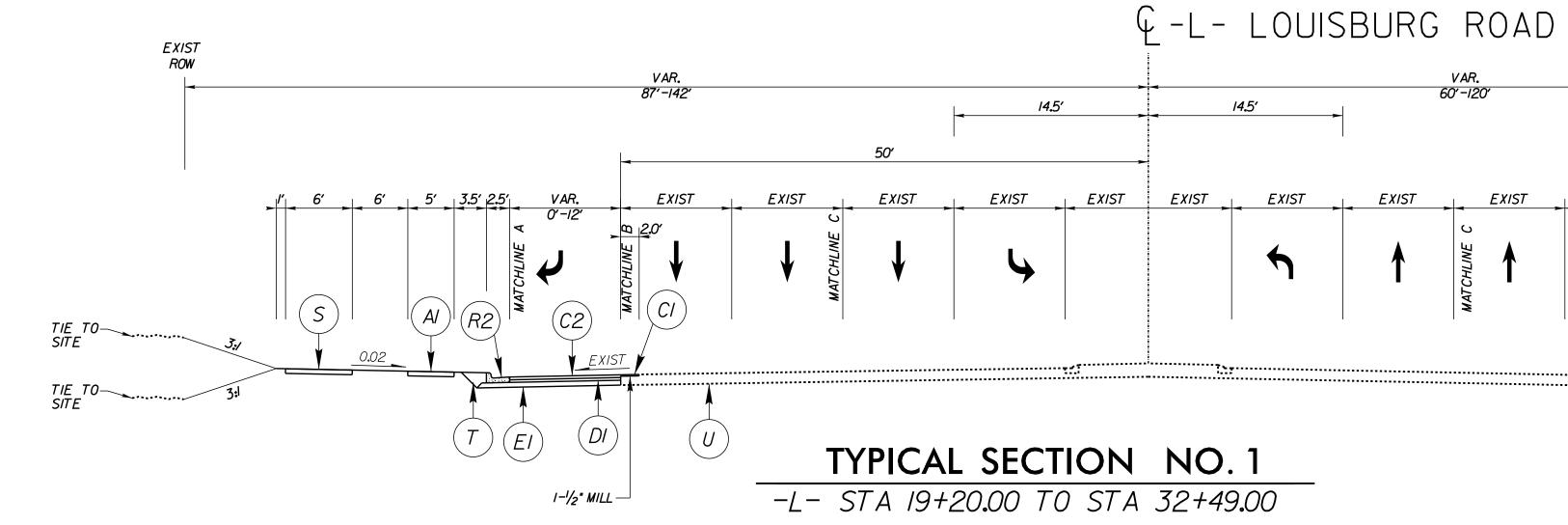
STATE OF NORTH CAROLINA DIVISION OF HIGHWAYS

CONVENTIONAL PLAN SHEET SYMBOLS

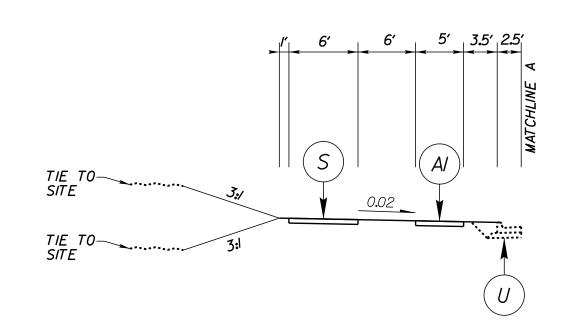
BOUNDARIES AND PROPERTY	Y:					WATER:	
State Line ————————————————————————————————————		RAILROADS:				Water Manhole	W
County Line —		Standard Gauge ————————————————————————————————————	CSX TRANSPORTATION	EVICTING CTDIICTIDES.		Water Meter	
Township Line		RR Signal Milepost	 MILEPOST 35	EXISTING STRUCTURES:		Water Valve	\otimes
City Line		Switch —	SWITCH	MAJOR:		Water Hydrant —	. ф
Reservation Line ————————————————————————————————————	· ·	RR Abandoned		Bridge, Tunnel or Box Culvert	CONC	Recorded U/G Water Line	w
Property Line ————————————————————————————————————		RR Dismantled		Bridge Wing Wall, Head Wall and End Wall —) conc ww (Designated U/G Water Line (S.U.E.*)	w
Existing Iron Pin ——————————————————————————————————	<u></u>	RIGHT OF WAY:		MINOR:		Above Ground Water Line	A/G Water
Property Corner ———————————————————————————————————	×	Baseline Control Point	_	Head and End Wall	CONC HW	TV:	
Property Monument ————————————————————————————————————	:	Existing Right of Way Marker	_	Pipe Culvert		TV Satellite Dish	\bigvee
Parcel/Sequence Number ————		Existing Right of Way Line		i ooibiidge /		TV Pedestal ————————————————————————————————————	
Existing Fence Line ————————————————————————————————————	×××_	Proposed Right of Way Line	- R	Drainage Box: Catch Basin, DI or JB	СВ	TV Tower —	\bigotimes
Proposed Woven Wire Fence		Proposed Right of Way Line with		Paved Ditch Gutter			₩
roposed Chain Link Fence		Iron Pin and Cap Marker	$-\frac{R}{W}$	Storm Sewer Manhole —————	<u>(S)</u>	U/G TV Cable Hand Hole	["H]
Proposed Barbed Wire Fence		Proposed Right of Way Line with		Storm Sewer —————	s	Recorded U/G TV Cable (S.U.E.*)	TV
Existing Wetland Boundary		Concrete or Granite Marker	O W			Designated U/G TV Cable (S.U.E.*)	
Proposed Wetland Boundary	WLB	Existing Control of Access	(<u>Ĉ</u>)	UTILITIES:		Recorded U/G Fiber Optic Cable ————————————————————————————————————	
Existing Endangered Animal Boundary	EAB	Proposed Control of Access		POWER:	ı	Designated U/G Fiber Optic Cable (S.U.E.*)	IV FO
Existing Endangered Plant Boundary ——	EPB	Existing Easement Line ————————————————————————————————————		Existing Power Pole ————————————————————————————————————	•	GAS:	
BUILDINGS AND OTHER CUI	TTIDE.	Proposed Temporary Construction Easement		Proposed Power Pole ————————————————————————————————————	o	Gas Valve	♦
	AT UKE:	Proposed Temporary Drainage Easement —		Existing Joint Use Pole	-	Gas Meter ———————————————————————————————————	\Diamond
Gas Pump Vent or U/G Tank Cap ———	O	Proposed Permanent Drainage Easement ——		Proposed Joint Use Pole —————	-0-	Recorded U/G Gas Line	G
Sign —		Proposed Permanent Utility Easement ———		Power Manhole ————————————————————————————————————	P	Designated U/G Gas Line (S.U.E.*)————	
Well	W	Proposed Public Access Easement ————	PAE	Power Line Tower ————————————————————————————————————		Above Ground Gas Line	A/G Gas
Small Mine ————————————————————————————————————	X	ROADS AND RELATED FEATUR	RES:	Power Transformer ———————————————————————————————————	\square		
Foundation ————————————————————————————————————		Existing Edge of Pavement		U/G Power Cable Hand Hole	H _H	SANITARY SEWER:	
Area Outline ————————————————————————————————————		Existing Curb		H-Frame Pole	•	Sanitary Sewer Manhole	
Cemetery		Proposed Slope Stakes Cut	<u>C</u>	Recorded U/G Power Line ————	P	Sanitary Sewer Cleanout ——————	\bigoplus
Building ————————————————————————————————————		Proposed Slope Stakes Fill —————	_ F	Designated U/G Power Line (S.U.E.*)	P	U/G Sanitary Sewer Line —————	ss
School ———————————————————————————————————	_ 📥	Proposed Wheel Chair Ramp	- WCR			Above Ground Sanitary Sewer ————	A/G Sanitary Sewer
Church ————————————————————————————————————		Curb Cut for Future Wheel Chair Ramp		TELEPHONE:		Recorded SS Forced Main Line————	FSS
Dam —		•	_	Existing Telephone Pole	-•-	Designated SS Forced Main Line (S.U.E.*) —	— — — FSS — — — —
HYDROLOGY:		Existing Metal Guardrail		Proposed Telephone Pole —————	-0-		
Stream or Body of Water ——————		Proposed Guardrail		Telephone Manhole	\bigcirc	MISCELLANEOUS:	
Hydro, Pool or Reservoir ——————		Existing Cable Guiderail		Telephone Booth ————	3	Utility Pole ————————	•
Iurisdictional Stream		Proposed Cable Guiderail		Telephone Pedestal —————		Utility Pole with Base —————	
Buffer Zone 1 ———————————————————————————————————	BZ 1	Equality Symbol	- O	Telephone Cell Tower	√ •	Utility Located Object —————	\odot
Buffer Zone 2	BZ 2	Pavement Removal		U/G Telephone Cable Hand Hole	H _H	Utility Traffic Signal Box ———————————————————————————————————	S
Flow Arrow ———————————————————————————————————	— ~ —…—	VEGETATION:		Recorded U/G Telephone Cable ————	т	Utility Unknown U/G Line —	
Disappearing Stream ————————————————————————————————————	<u> </u>	Single Tree	—	Designated U/G Telephone Cable (S.U.E.*)—		U/G Tank; Water, Gas, Oil —————	
Spring ————————————————————————————————————		Single Shrub	<u> </u>		тс	A/G Tank; Water, Gas, Oil —————	
Swamp Marsh ————————————————————————————————————		Hedge ———————————————————————————————————		Designated U/G Telephone Conduit (S.U.E.*)-	tc	U/G Test Hole (S.U.E.*)	<u> </u>
Proposed Lateral, Tail, Head Ditch ————	SION SION	Woods Line	الىسىنىسىنىسىنىسى	Recorded U/G Fiber Optics Cable —		Abandoned According to Utility Records ——	AATUR
False Sump ————————————————————————————————————		Orchard —	—	Designated U/G Fiber Optics Cable (S.U.E.*)	— — — T F0— — ·	End of Information ————————————————————————————————————	E.O.I.
				_ , , , , , , , , , , , , , , , , , , ,			

SHEET NUMBER R0.02

	PAVEMENT SCHEDULE
AI	4" PORTLAND CEMENT CONCRETE PAVEMENT (BIKE PATH)
CI	PROPOSED APPROX. 1.5" ASPHALT CONCRETE SURFACE COURSE TYPE S9.5C, AT AN AVERAGE RATE OF 168 LBS. PER SQ. YD.
C2	PROPOSED APPROX. 3" ASPHALT CONCRETE SURFACE COURSE TYPE S9.5C, AT AN AVERAGE RATE OF 168 LBS. PER SO. YD.IN EACH OF TWO LAYERS.
DI	PROPOSED APPROX.4" ASPHALT CONCRETE INTERMEDIATE COURSE.TYPE 119.0C, AT AN AVERAGE RATE OF 456 LBS.PER SQ.YD.
ΕI	PROPOSED APPROX.5" ASPHALT CONCRETE BASE COURSE, TYPE B25.0C, AT AN AVERAGE RATE OF 456 LBS.PER SQ YARD.
RI	PROPOSED I-6" CONCRETE CURB AND GUTTER
R2	PROPOSED 2'-6" CONCRETE CURB AND GUTTER
R3	PROPOSED MONOLITHIC 5" ISLAND (KEYED-IN)
S	PROPOSED 4" CONCRETE SIDEWALK
T	EARTH MATERIAL
U	EXISTING ASPHALT PAVEMENT

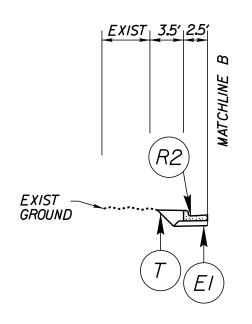


I.PAVEMENT EDGE SLOPES ARE I: UNLESS OTHERWISE INDICATED
2.REFER TO PLAN SHEETS FOR VARIABLE WIDTHS



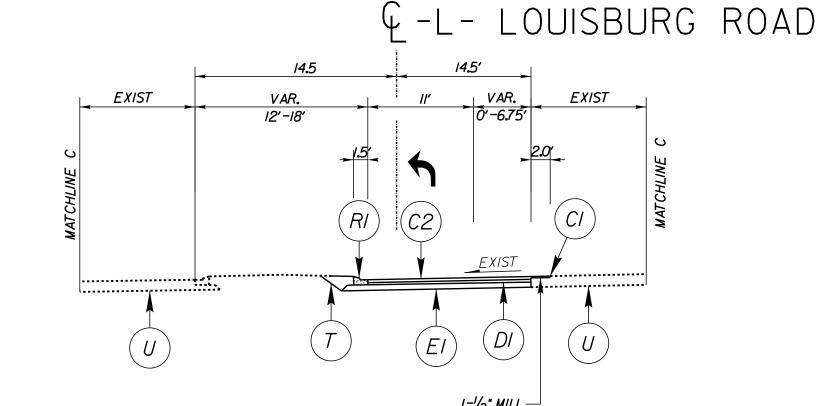
TYPICAL SECTION NO. 1A

-L- STA 19+20.00 TO STA 20+73.36 -L- STA 23+55.00 TO STA 29+59.92



TYPICAL SECTION NO. 1B

-L- STA 32+13.09 TO STA 32+49.00

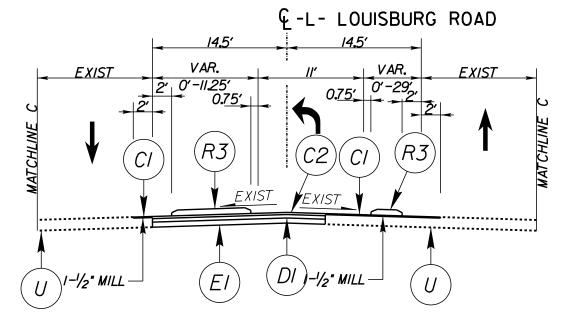


TYPICAL SECTION NO. 1C

-L- STA 27+17.00 TO STA 29+17.00 (RT) -L- STA 31+25.00 TO STA 33+25.00 (LT)

VAR.

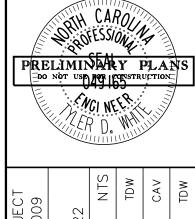
(DI)



-L- STA 29+17.00 TO STA 30+21.03 (RT) -L- STA 30+21.03 TO STA 31+25.00 (LT)

TYPICAL SECTION NO. 1D

EXIST ROW



SECTIONS **TYPICAL**

SHEET NUMBER R1.00

