

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: _____	
Attached	Mixed use	Scoping/sketch plan case #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name:			
Inside City limits? Yes No			
Property address(es):			
Site P.I.N.(s):			
Please describe the scope of work. Include any additions, expansions, and change of use.			
Current Property Owner/Developer Contact Name:			
NOTE: please attach purchase agreement when submitting this form.			
Company:		Title:	
Address:			
Phone #:		Email:	
Applicant Name:			
Company:		Address:	
Phone #:		Email:	

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): RX-4-PL-CU	Existing gross floor area (not to be demolished): 0 sf
	Existing gross floor area to be demolished: 0 sf
Gross site acreage: 41.42 ac	New gross floor area: 359,660 sf
# of parking spaces required: 421 spaces	Total sf gross (to remain and new): 359,660 sf
# of parking spaces proposed: 460 spaces	Proposed # of buildings: 9 Apt Buildings, 1 Clubhouse, 1 Maintenance Building
Overlay District (if applicable): N/A	Proposed # of stories for each: 4 Max. (1story, 3 story, and 3/4 split)
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Apartments	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.07 Square Feet: 3,080	Proposed Impervious Surface: Acres: 7.88 Square Feet: 343,250
Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, please provide: Property located within Zone X and portions within Zone AE Floodplain and Floodway	
Alluvial soils: RkA, Riverview fine sandy loam (Group B)	
Flood study: N/A	
FEMA Map Panel #: 3720173700J	
Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

RESIDENTIAL DEVELOPMENTS


Total # of dwelling units: 331	Total # of hotel units: 0
# of bedroom units: 1br 169 2br 144 3br 18 4br or more 0	
# of lots: 1 (2 existing to be combined)	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

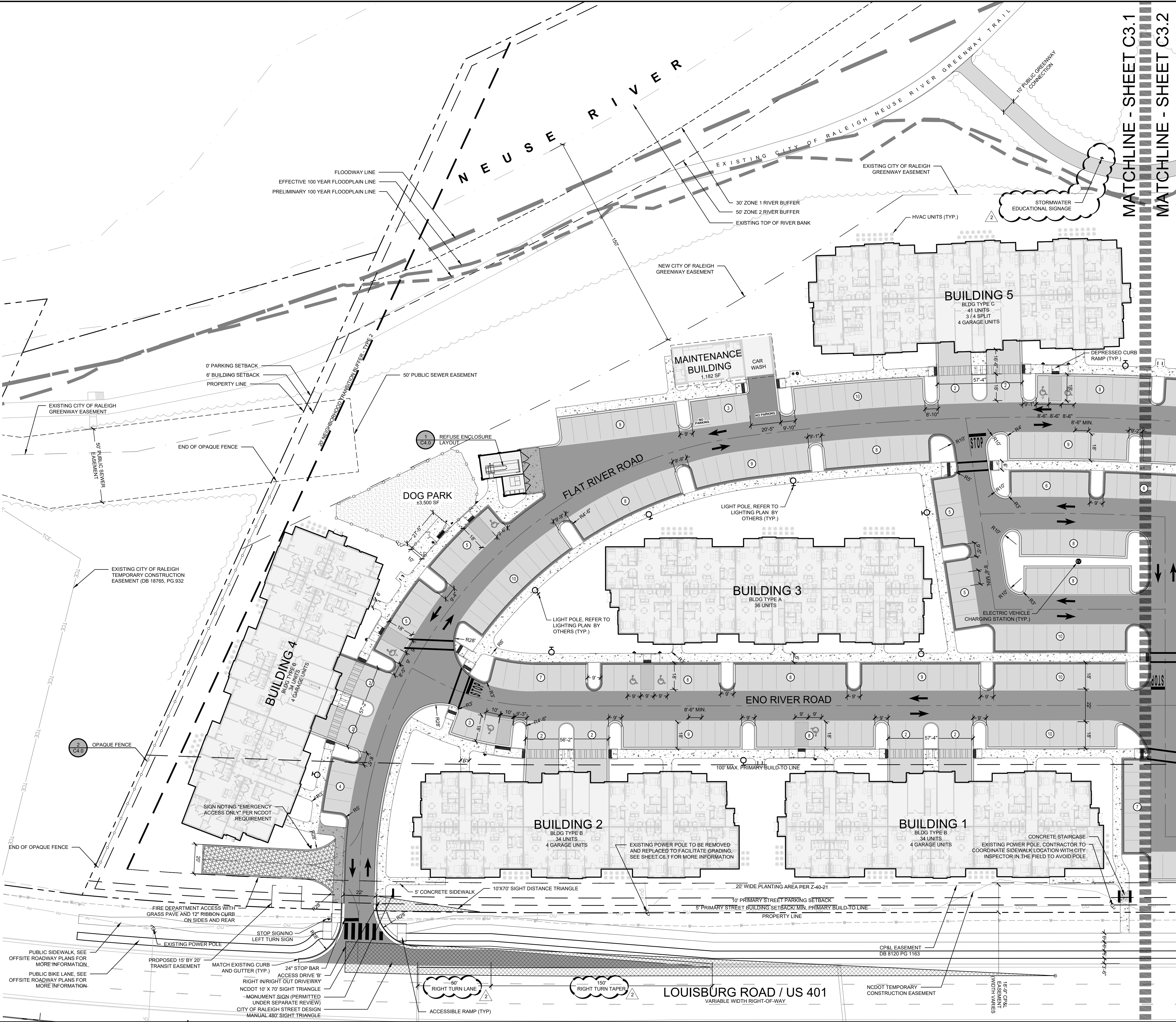
SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Kimley-Horn & Associates will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: 4/8/2022
Printed Name: Melissa Brand	



LEGEND	
	PROPERTY LINE
	CENTERLINE
	SETBACK LINE
	PRELIMINARY 100 YEAR FLOODPLAIN LINE
	EFFECTIVE 100 YEAR FLOODPLAIN LINE
	FLOODWAY LINE
	NEUSE RIVER ZONE 1 BUFFER
	NEUSE RIVER ZONE 2 BUFFER
	TOP OF RIVER BANK
	GREENWAY EASEMENT
	LANDSCAPE BUFFER
	LIMITS OF DISTURBANCE
	WATER LINE
	OVERHEAD UTILITY
	UNDERGROUND FIBER OPTICS
	ADA ROUTE
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	DECORATIVE FENCE
	OPAQUE FENCE
	PEDESTRIAN-RATED CONCRETE
	VEHICULAR-RATED CONCRETE
	DECORATIVE CONCRETE
	LIGHT-DUTY ASPHALT
	HEAVY-DUTY ASPHALT
	GRASS-PAVE
	CRUSHED GRANITE
	WETLANDS
	TREE CONSERVATION AREA
	DEPRESSED ACCESSIBLE CURB RAMP
	ACCESSIBLE CURB RAMP
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE PARKING SPACE (V INDICATES VAN ACCESSIBLE)
	ACCESSIBLE PARKING SIGN
	PARKING COUNT
	BENCH
	WASTE RECEPTACLE
	RECYCLING RECEPTACLE
	DOG WASTE RECEPTACLE
	BICYCLE RACK
	BICYCLE PUMP AND REPAIR KIT
	LEVEL II ELECTRIC VEHICLE CHARGING STATION
	MONUMENT SIGN
	LIGHT POLE
	POWER POLE
	WHEEL STOP

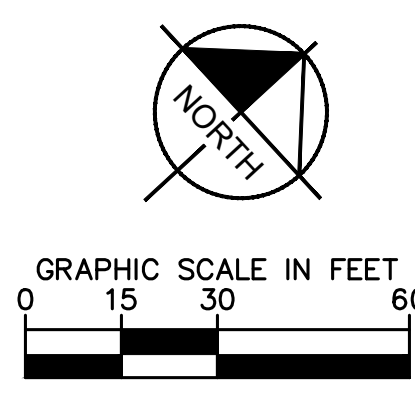
GENERAL NOTE:

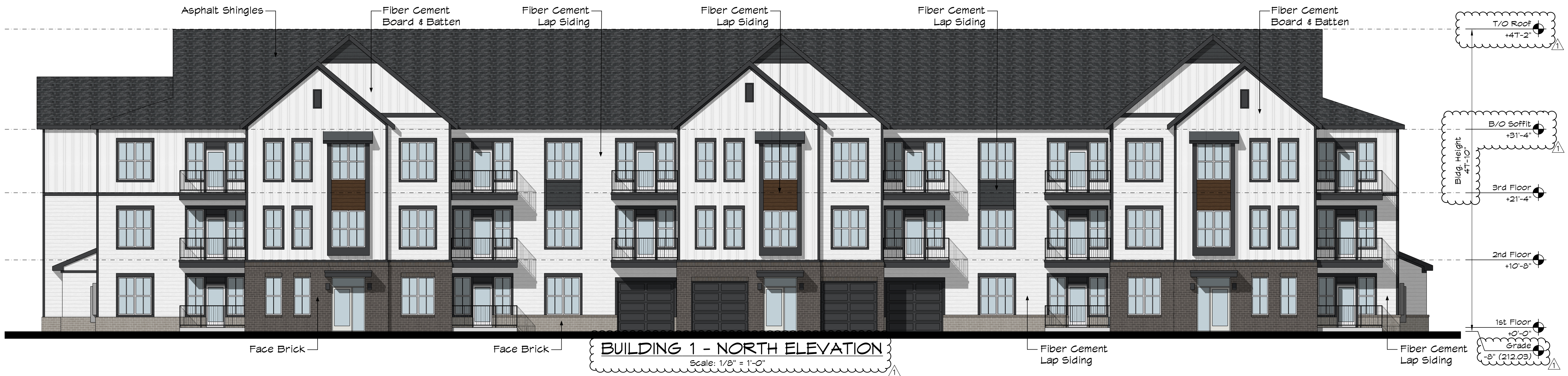
1. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
2. PARKING SPACES IN TANDEM WITH GARAGE SPACES SHALL BE ASSIGNED TO THE SAME DWELLING UNIT. ALL TANDEM PARKING SPACES SHALL HAVE A MINIMUM SIZE OF 8.5 FEET BY 36 FEET.

SURVEY NOTE:

EXISTING INFORMATION TAKEN FROM AN ATLA/NSPS LAND TITLE SURVEY PROVIDED BY RILEY SURVEYING, P.A. 3326 DURHAM CHAPEL HILL BLVD. STE B-100 DURHAM, NC 27707 PHONE: (919)667-0742 AND DATED MAY 25, 2021.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.





PROJECT NUMBER 013700009		DATE 06/30/2022	DESIGNED BY SCALE AS SHOWN	DRAWN BY	CHECKED BY
REVISIONS		DATE			
6	5	4	3	2	1
RESPONSE TO STAFF COMMENTS		INITIAL ASR SUBMITTAL			
06/30/22		04/08/22			
BY		DATE			

STUDIO M

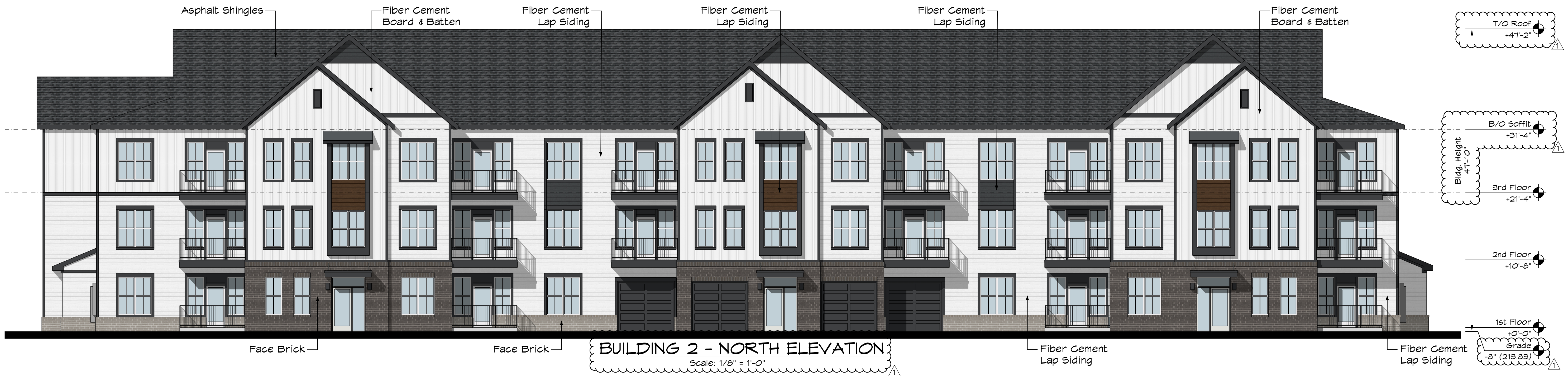
ARCHITECTURE & PLANNING

PRELIMINARY
NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS -
BUILDING 1

LOUISBURG ROAD
MULTI-FAMILY
PREPARED FOR
BUCKINGHAM PROPERTIES, LLC.
RALEIGH NORTH CAROLINA

SHEET NUMBER
A1.1



PROJECT NUMBER 013700009		DATE 06/30/2022	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	CHECKED BY
RESPONSE TO STAFF COMMENTS		06/30/22	04/08/22	REVISIONS		
INITIAL ASR SUBMITTAL				DATE		
BY				No.		

STUDIO M

ARCHITECTURE & PLANNING

PRELIMINARY
NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS -
BUILDING 2

LOUISBURG ROAD
MULTI-FAMILY
PREPARED FOR
BUCKINGHAM PROPERTIES, LLC.
RALEIGH NORTH CAROLINA

SHEET NUMBER
A1.2



PROJECT NUMBER 013700009		DATE 06/30/2022	SCALE AS SHOWN	DESIGNED BY [Signature]	DRAWN BY [Signature]	CHECKED BY [Signature]
RESPONSE TO STAFF COMMENTS		INITIAL ASR SUBMITTAL		REVISIONS		
06/30/22		04/08/22		DATE		
BY		BY		BY		

STUDIO M

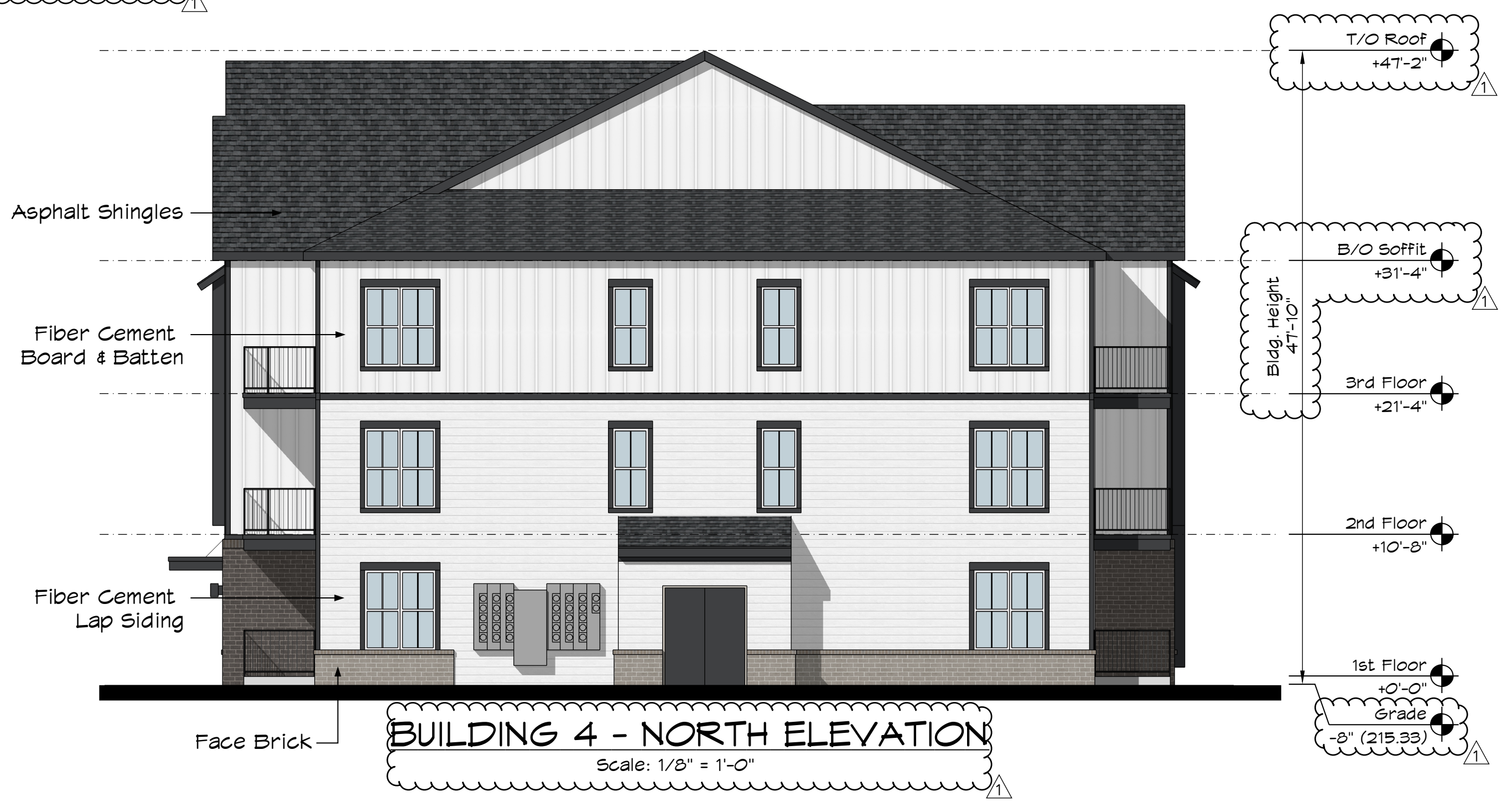
ARCHITECTURE & PLANNING

PRELIMINARY
NOT FOR CONSTRUCTION

EXTERIOR ELEVATIONS -
BUILDING 3

LOUISBURG ROAD
MULTI-FAMILY
PREPARED FOR
BUCKINGHAM PROPERTIES, LLC.
RALEIGH NORTH CAROLINA

SHEET NUMBER
A1.3



PROJECT NUMBER 013700009		DATE 06/30/2022	DESIGNED BY SCALE AS SHOWN	DRAWN BY	CHECKED BY
LOUISBURG ROAD		MULTI-FAMILY		PREPARED FOR BUCKINGHAM PROPERTIES, LLC.	
A1.4		SHEET NUMBER		RALEIGH NORTH CAROLINA	
PRELIMINARY NOT FOR CONSTRUCTION		STUDIO M ARCHITECTURE & PLANNING		REVISIONS	
1		INITIAL ASR SUBMITTAL		DATE	
2		RESPONSE TO STAFF COMMENTS		06/30/22	
3					
4					
5					
6					



BUILDING 5 - SOUTH ELEVATION

Scale: 1/8" = 1'-0"



BUILDING 5 - NORTH ELEVATION



BUILDING 5 - WEST ELEVATION

Scale: 1/8" = 1'-0"



BUILDING 5 - EAST ELEVATION

Scale: 1/8" = 1'-0"

PROJECT NUMBER 013700009		DATE 06/30/2022		SCALE AS SHOWN		DESIGNED BY		DRAWN BY		CHECKED BY	
RESPONSE TO STAFF COMMENTS		INITIAL ASR SUBMITTAL		REVISIONS		No.		DATE		BY	
6		5		4		3		2		1	
06/30/22		04/08/22									

STUDIO M
ARCHITECTURE & PLANNING

PRELIMINARY
NOT FOR CONSTRUCTION

**EXTERIOR ELEVATIONS -
BUILDING 5**

LOUISBURG ROAD
MULTI-FAMILY
PREPARED FOR
BUCKINGHAM PROPERTIES, LLC.
NORTH CAROLINA
RALEIGH

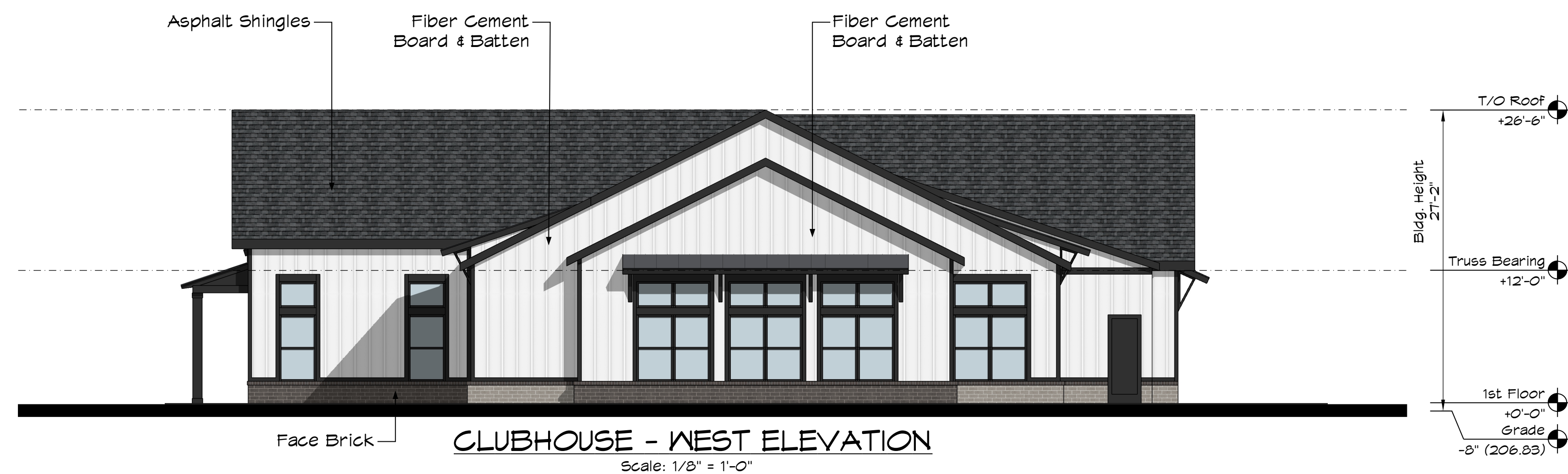
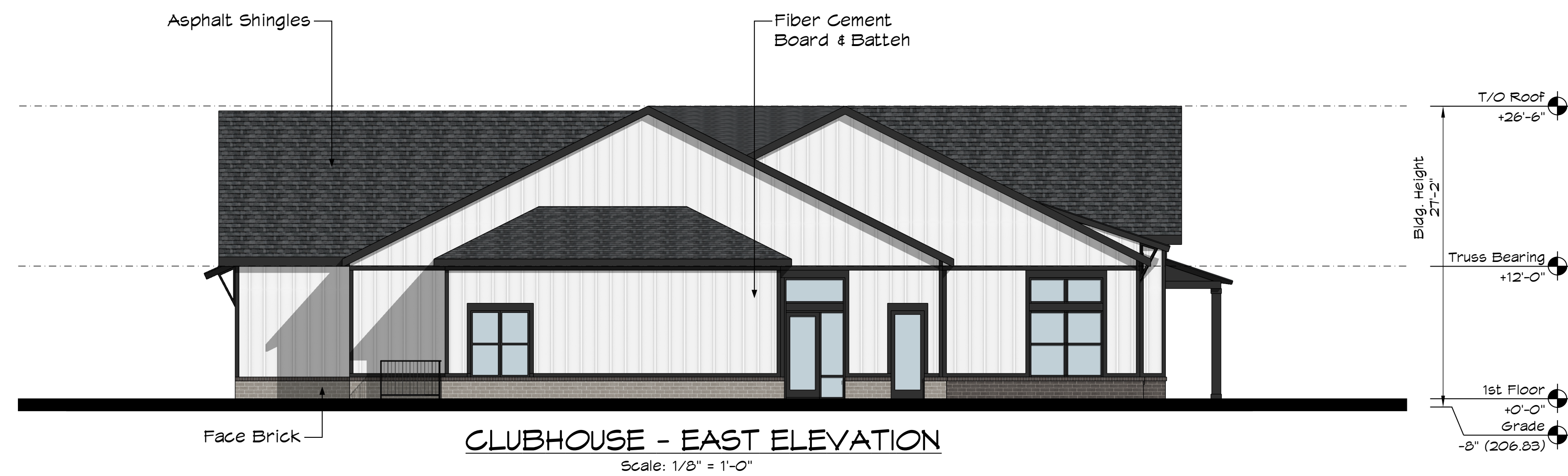
SHEET NUMBER
A1.5



PROJECT NUMBER 013700009		DATE 06/30/2022	SCALE AS SHOWN	DESIGNED BY DRAWN BY CHECKED BY
LOUISBURG ROAD MULTI-FAMILY PREPARED FOR BUCKINGHAM PROPERTIES, LLC. RALEIGH		EXTERIOR ELEVATIONS - BUILDING 8		
A1.8		SHEET NUMBER		
PRELIMINARY NOT FOR CONSTRUCTION		STUDIO M ARCHITECTURE & PLANNING		
REVISIONS		DATE		
1		INITIAL ASR SUBMITTAL		
2		RESPONSE TO STAFF COMMENTS		
3		06/30/22		
4		04/08/22		
5				
6				



PROJECT NUMBER 013700009		DATE 06/30/2022	SCALE AS SHOWN	DESIGNED BY DRAWN BY CHECKED BY
LOUISBURG ROAD MULTI-FAMILY PREPARED FOR BUCKINGHAM PROPERTIES, LLC. RALEIGH		EXTERIOR ELEVATIONS - BUILDING 9		
SHEET NUMBER A1.9		PRELIMINARY NOT FOR CONSTRUCTION		
STUDIO M ARCHITECTURE & PLANNING		REVISIONS 1 INITIAL ASR SUBMITTAL 2 RESPONSE TO STAFF COMMENTS 3 4 5 6		
DATE 04/08/22		BY		



5				
4				
3				
2				
1	RESPONSE TO STAFF COMMENTS	06/30/22		
	INITIAL ASR SUBMITTAL	04/08/22		
No.	REVISIONS	DATE	BY	

STUDIO M
ARCHITECTURE & PLANNING

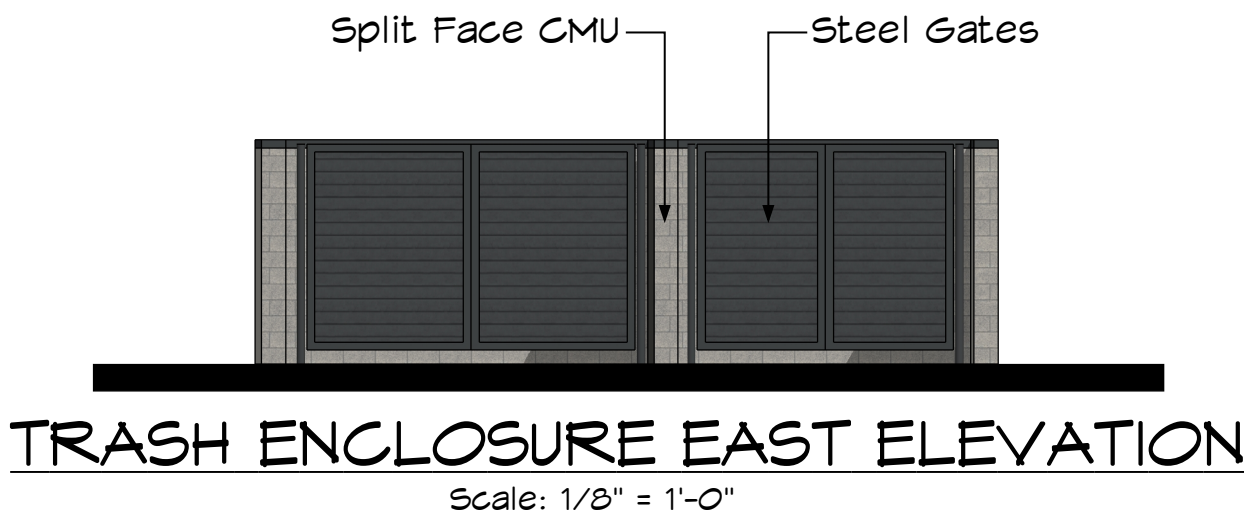
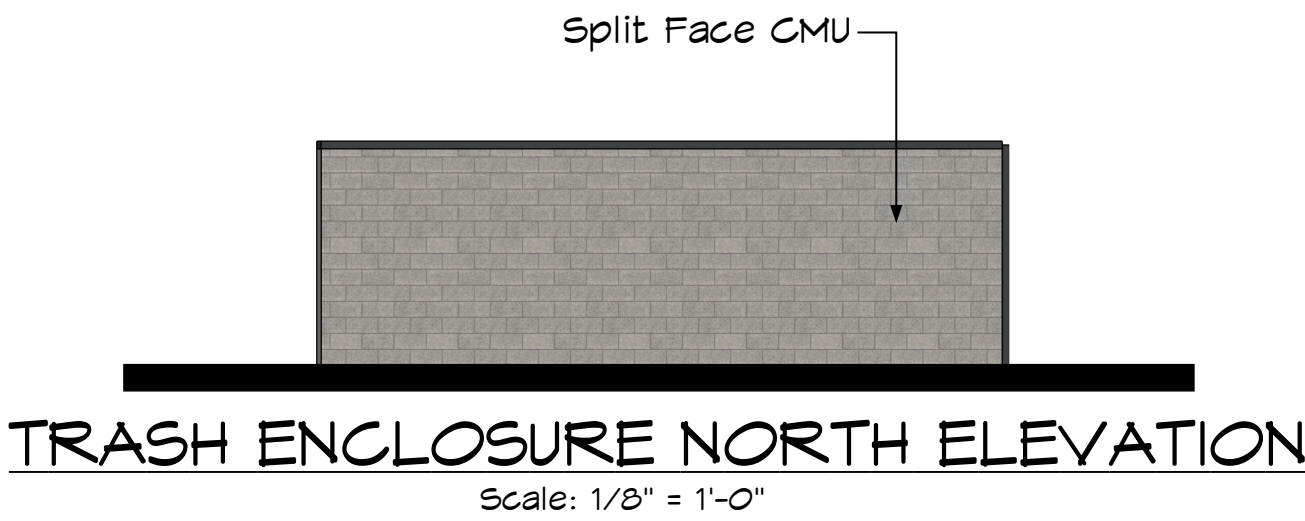
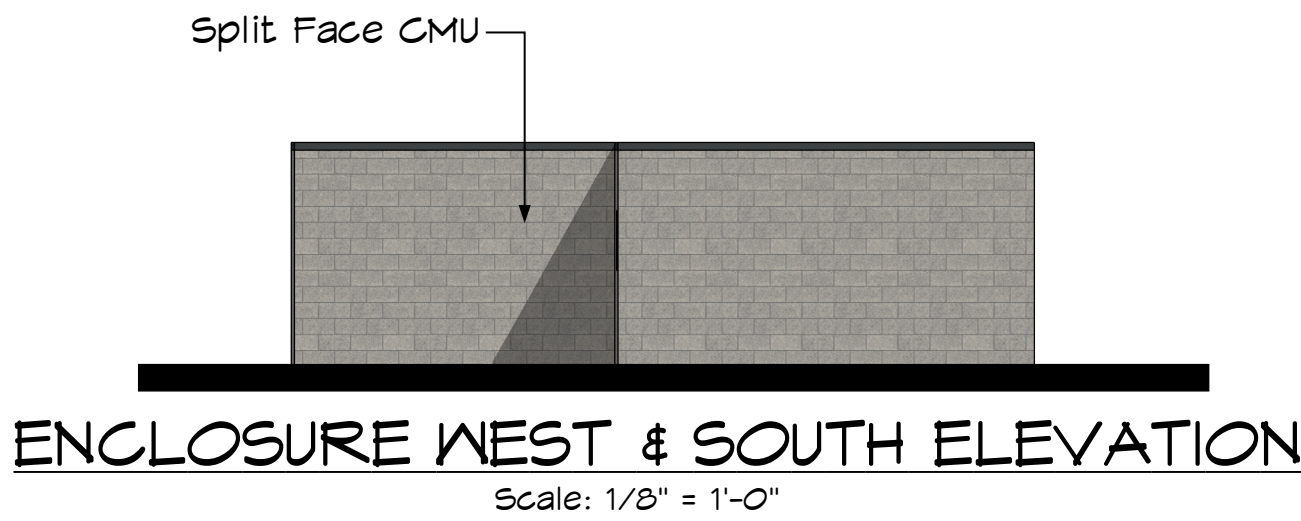
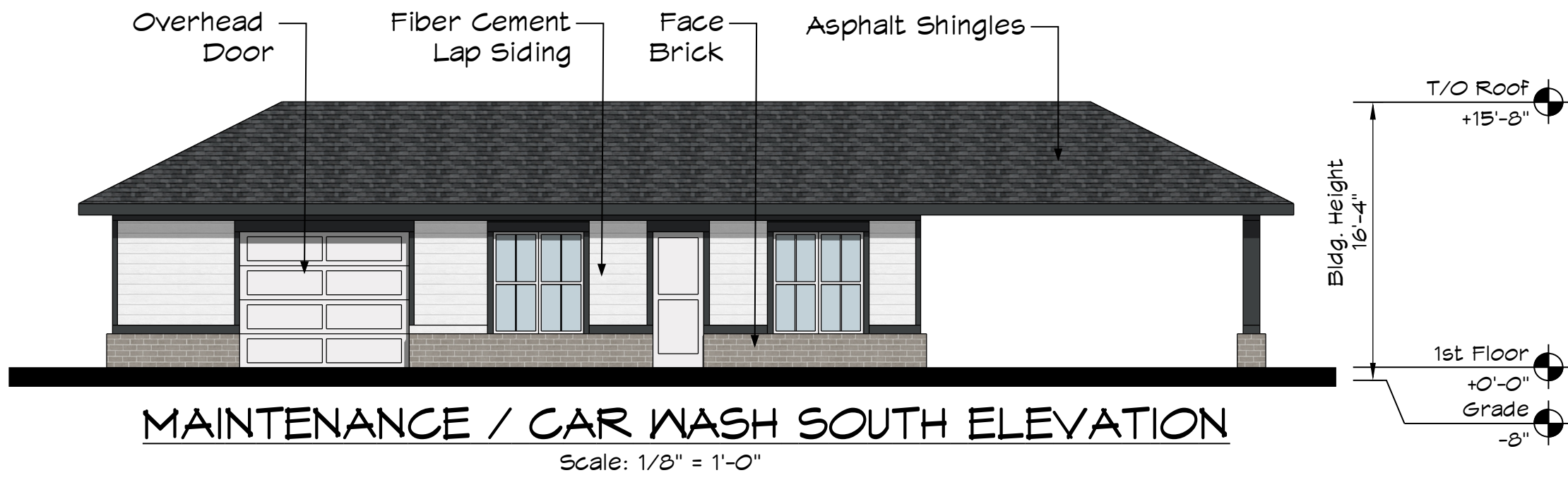
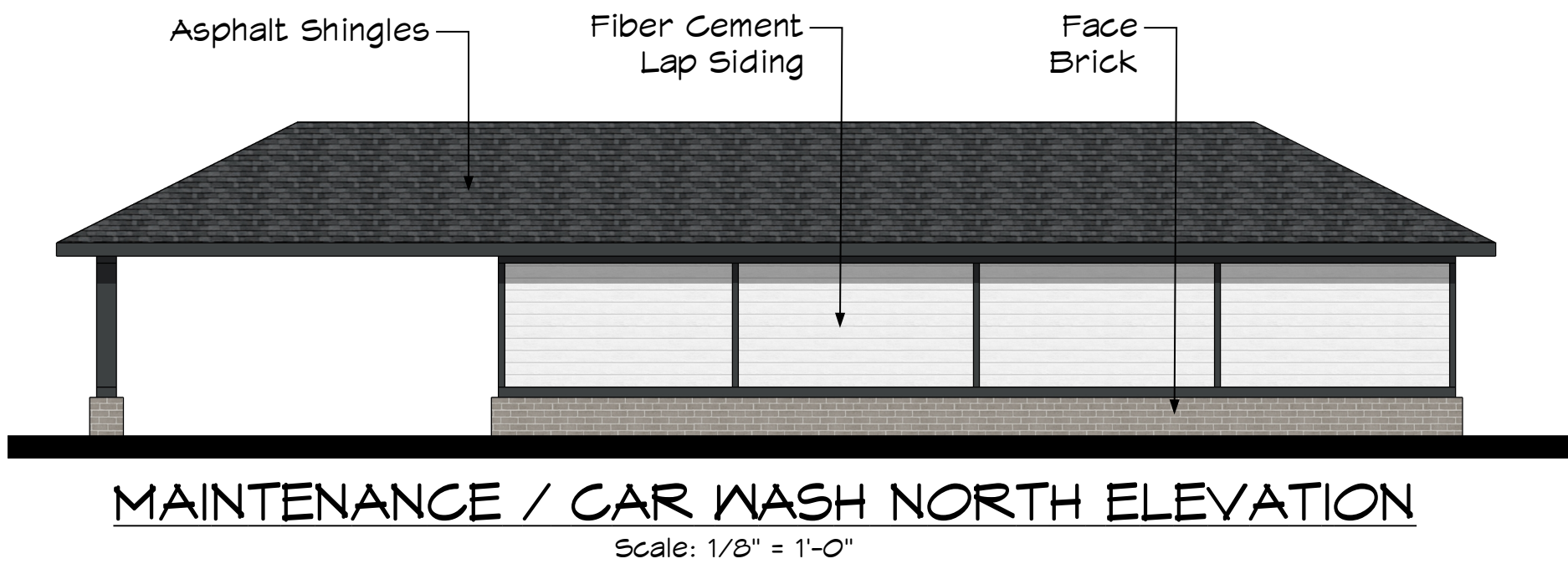
PRELIMINARY
NOT FOR CONSTRUCTION

013700009
DATE
06/30/2022
SCALE AS SHOWN
DESIGNED BY
DRAWN BY
CHECKED BY

EXTERIOR ELEVATIONS - CLUBHOUSE

LOUISBURG ROAD
MULTI-FAMILY
PREPARED FOR
BUCKINGHAM PROPERTIES, LLC.
RALEIGH NORTH CAROLINA

HEET NUMBER
A1.10



SHEET NUMBER		A1.11		LOUISBURG ROAD MULTI-FAMILY PREPARED FOR BUCKINGHAM PROPERTIES, LLC. RALEIGH		NORTH CAROLINA		EXTERIOR ELEVATIONS ACCESSORY		PROJECT NUMBER 013700009		DATE 06/30/2022		SCALE AS SHOWN		DESIGNED BY		DRAWN BY		CHECKED BY		PRELIMINARY NOT FOR CONSTRUCTION		STUDIO M ARCHITECTURE & PLANNING		6																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
--------------	--	-------	--	--	--	----------------	--	----------------------------------	--	-----------------------------	--	--------------------	--	----------------	--	-------------	--	----------	--	------------	--	-------------------------------------	--	-------------------------------------	--	---	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

- WORK IN THIS PROJECT SHALL CONFORM TO THESE PLANS, THE LATEST EDITIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) ROAD AND BRIDGE SPECIFICATIONS, THE NCDOT ROAD AND BRIDGE STANDARDS, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL HANDBOOK, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL REGULATIONS, CITY OF RALEIGH SPECIFICATIONS, AND GENERAL DESIGN STANDARDS. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS, OR PLANS, THE MOST STRINGENT SHALL GOVERN UNLESS OTHERWISE NOTED IN THESE PLANS.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY, INCLUDING BUT NOT LIMITED TO TRENCH SAFETY, DURING ALL PHASES OF CONSTRUCTION.
3. THE LOCATION AND SIZE OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING AND PROTECTING ALL PUBLIC OR PRIVATE UTILITIES (SHOWN OR NOT SHOWN) WHICH LIE IN OR ADJACENT TO THE CONSTRUCTION SITE. AT LEAST 48 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE NORTH CAROLINA ONE-CALL UTILITIES LOCATION SERVICE (ULOCO) AT 1-800-632-4949 FOR PROPER IDENTIFICATION OF EXISTING UTILITIES WITHIN THE SITE.
4. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
5. TRAFFIC MANAGEMENT ON PUBLIC STREETS IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN CONFORMANCE WITH THE TRAFFIC CONTROL PLAN, THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES," AND AS FURTHER DIRECTED BY THE TOWN AND STATE INSPECTORS.
6. ALL MANUFACTURERS' PRODUCTS SPECIFIED IN THESE PLANS OR USED AS APPROVED ALTERNATES SHALL BE INSTALLED PER THE MANUFACTURERS' SPECIFICATIONS.
7. ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND SPECIFICATIONS AND SITE CONDITIONS OR ANY INCONSISTENCIES OR AMBIGUITIES IN DRAWINGS OR SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER, IN WRITING, WHO SHALL PROMPTLY ADDRESS SUCH INCONSISTENCIES OR AMBIGUITIES. WORK DONE BY THE CONTRACTOR AFTER HIS DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES SHALL BE DONE AT THE CONTRACTOR'S RISK.
8. CONSTRUCTION STAKEOUT FOR THIS PROJECT SHALL BE PROVIDED BY THE CONTRACTOR.
9. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ARRANGE THE MEETING WITH NCDOT AND THE CITY OF RALEIGH.
10. CONTRACTOR IS RESPONSIBLE FOR VERIFYING OR OBTAINING ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCING CONSTRUCTION. NCDOT ENCROACHMENTS SHALL BE OBTAINED BY THE ENGINEER.
11. THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS, AND WIRE UTILITY STRUCTURES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES.
12. ROADWAYS MUST BE CAPABLE OF SUPPORTING FIRE APPARATUS DURING CONSTRUCTION.
13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT NCDOT STANDARDS, SPECIFICATIONS, DETAILS AND ENCROACHMENT AGREEMENTS.
14. NO CHANGES TO ANY ASPECT OF THIS ROADWAY PLAN, INCLUDING BUT NOT LIMITED TO, LANDSCAPING, GRADING, BUILDING ELEVATIONS, LIGHTING, OR UTILITIES WILL BE MADE WITHOUT THE APPROVAL OF NCDOT.
15. ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
16. CONTRACTOR TO ENSURE THAT ALL STREETS WITHIN THE LIMITS OF THE PROJECT AND IN FRONT OF THE PROJECT ARE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
17. ALL STORM DRAIN FRAMES & GRATES SHALL BE STAMPED WITH "DRAINS TO RIVER" PER CITY OF RALEIGH STANDARDS.
18. LIMITS OF OFFSITE IMPROVEMENTS NOT WITHIN FLOODPLAIN.

1. WATER VALVE BOXES THAT ARE ENCOUNTERED WITHIN THE PROJECT LIMITS ARE TO BE RAISED OR LOWERED TO MATCH THE ADJACENT FINISHED WORK.
2. WATER METER BOXES THAT ARE ENCOUNTERED WITHIN THE PROJECT LIMITS OUTSIDE THE PROPOSED PAVEMENT SECTION ARE TO BE RAISED OR LOWERED TO MATCH THE ADJACENT FINISHED WORK.
3. WATER METER BOXES THAT ARE ENCOUNTERED WITHIN THE PROPOSED PAVEMENT SECTION ARE TO BE RELOCATED OUT OF THE PROPOSED PAVEMENT.

- THE GRADE LINES SHOWN DENOTE THE FINISHED ELEVATION OF THE PROPOSED SURFACING AT GRADE POINTS SHOWN ON THE TYPICAL SECTIONS. GRADE LINES MAY BE ADJUSTED AT THEIR BEGINNING AND ENDING AND AT STRUCTURES AND EXISTING PAVEMENT AS DIRECTED BY THE ENGINEER IN ORDER TO SECURE A PROPER TIE-IN.
2. REFER TO EROSION CONTROL SHEETS FOR CLEARING LIMITS AND TEMPORARY EROSION CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED CONTINUOUSLY, RELOCATED WHEN AND AS NECESSARY, AND SHALL BE CHECKED AFTER EVERY RAINFALL. SEEDING AREAS SHALL BE CHECKED REGULARLY AND SHALL BE WATERED, FERTILIZED, RESEEDING, AND MULCHED AS NECESSARY TO OBTAIN A DENSE STAND OF GRASS.
4. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS, THE CONTRACTOR SHALL USE INTERIM SILT FENCES, DIVERSION DITCHES, BERMS, OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS. TO BEST UTILIZE THE EROSION CONTROL DEVICES IN PLACE, AND TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
5. GRADING CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
6. ALL MATERIALS USED FOR BACKFILL SHALL BE FREE OF WOOD, ROOTS, ROCKS, BOULDERS, OR ANY OTHER NON-COMPATIBLE SOIL TYPE MATERIAL. UNSATISFACTORY MATERIALS ALSO INCLUDE MAN-MADE FILLS AND REFUSE DEBRIS DERIVED FROM ANY SOURCE.
7. ALL GRADING / SOIL COMPACTION OPERATIONS WITHIN THE LIMITS OF STATE RIGHT OF WAYS SHALL ADHERE TO NCDOT REQUIREMENTS, IN ACCORDANCE WITH AASHTO T99 AS MODIFIED BY THE DEPARTMENT. COPIES OF THESE MODIFIED TESTING PROCEDURES ARE AVAILABLE UPON REQUEST FROM THE DEPARTMENT'S MATERIALS AND TESTS UNIT.
8. ALL DEMOLITION DEBRIS AND OTHER EXCESS MATERIAL SHALL BE HAULED OFF-SITE AS DIRECTED BY THE OWNER AND PROPERLY DISPOSED OF.
9. PROPOSED CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. PROPOSED ROADWAY PROFILES/SUPERELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
10. REFER TO ROADWAY PLAN FOR HORIZONTAL DIMENSIONS.
11. WHERE FILL IS TO BE PLACED ON EXISTING SLOPES STEEPER THAN 4:1, CONTRACTOR SHALL EXCAVATE BENCHES WITH A MAXIMUM DEPTH OF 3'.
12. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR BLASTING ROCK IF BLAST ROCK IS ENCOUNTERED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL BLASTING AND SAFETY REQUIREMENTS.
13. TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED BEFORE THE GRADING PERMIT IS ISSUED.
14. CROSS SLOPES AND ELEVATIONS SHOWN ON CROSS SECTIONS ARE APPROXIMATE. PROPOSED PAVEMENT CROSS SLOPES ARE TO BE BASED ON EXISTING CROSS SLOPE DETERMINED IN FIELD, IF FIELD CONDITIONS VARY FROM THOSE SHOWN ON PLANS, NOTIFY ENGINEER IMMEDIATELY.

- WHERE PROPOSED CURB AND GUTTER TIES TO EXISTING CURB OR GUTTER AND GUTTER, A TRANSITION OF 10' SHALL BE MADE TO CONFORM TO THE EXISTING HEIGHTS AND SHAPES.
2. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
3. ALL PAVEMENT SUB GRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM D-1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER. FILL SHALL BE PLACED AND COMPACTED IN MAXIMUM 8" LIFTS. IN AREAS WHERE ROCK IS ENCOUNTERED AT FINAL SUB GRADE ELEVATION, THE EXPOSED ROCK SHALL BE TOPPED WITH A LEVELING COURSE OF SANDY CLAY OR CLAYEY SAND (P.I. BETWEEN 4 AND 15) AS NEEDED TO PROVIDE A SMOOTH SURFACE FOR PAVING.
4. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEER'S SPECIFICATIONS. THE FILL MATERIAL TO BE USED SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
5. ALL CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5 FEET. ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.
6. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN APPROVED AGENCY FOR TESTING MATERIALS. THE NOMINATION OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SHOW BY STANDARD TESTING PROCEDURES THAT THE WORK CONSTRUCTED DOES MEET THE REQUIREMENTS OF THE NCDOT SPECIFICATIONS.
7. ALL REINFORCING STEEL SHALL BE NEW DOMESTIC BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60, AND SHALL BE SUPPORTED BY BAR CHAIRS.
8. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES ON PUBLIC STREETS SHALL CONFORM TO MUTCD, AND NCDOT STANDARDS.
9. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA REQUIREMENTS AND THE "NORTH CAROLINA STATE BUILDING CODE, VOL. I-C ACCESSIBILITY CODE." ALL RAMPS SHALL COMPLY WITH THE LATEST NCDOT STANDARDS. WHEELCHAIR RAMPS ARE SHOWN ON THE PLANS AT APPROXIMATE LOCATIONS.
10. CONTRACTOR SHALL SAWCUT & REMOVE ANY THE EXISTING PAVEMENT WHEN THE EXISTING PAVEMENT IS BEING WIDENED OR WHERE NEW CURB AND GUTTER IS PROPOSED.
11. ALL CURVES ON THIS PROJECT SHALL BE SUPERELEVATED IN ACCORDANCE WITH STD. 225.04 & 225.05 USING THE RATE OF SUPERELEVATION AND RUNOFF SHOWN ON THE PLANS. SUPERELEVATION IS TO BE REVOLVED ABOUT THE GRADE POINTS SHOWN ON THE TYPICAL SECTIONS.

SHEET NUMBER R0.01		LOUISBURG ROAD MULTI-FAMILY OFFSITE IMPROVEMENTS		NORTH CAROLINA RALEIGH		PROJECT NOTES		KHA PROJECT 013700009 DATE 8/26/2022 SCALE N.T.S. DESIGNED BY: TDW DRAWN BY: CAV CHECKED BY: TDW				Kimley»»Horn © 2022 300 MORRIS STREET, DURHAM, NC 27701, SUITE 200 PHONE: 919-682-3583 WWW.KIMLEY-HORN.COM		2. RESPONSE TO STAFF COMMENTS 08/26/22 TDW 1. RESPONSE TO STAFF COMMENTS 06/30/22 TDW ASR INITIAL SUBMITTAL 04/08/22 TDW No. REVISIONS BY DATE	
------------------------------	--	--	--	---------------------------	--	---------------	--	--	--	--	--	---	--	--	--

Note: Not to Scale

**S.U.E. = Subsurface Utility Engineering*

STATE OF NORTH CAROLINA
DIVISION OF HIGHWAYS

CONVENTIONAL PLAN SHEET SYMBOLS

BOUNDARIES AND PROPERTY:

State Line	-----
County Line	-----
Township Line	-----
City Line	-----
Reservation Line	-----
Property Line	-----
Existing Iron Pin	⊙
Property Corner	→
Property Monument	⊞
Parcel/Sequence Number	②3
Existing Fence Line	-x-x-x-
Proposed Woven Wire Fence	⊙
Proposed Chain Link Fence	⊞
Proposed Barbed Wire Fence	◇
Existing Wetland Boundary	-WLB-
Proposed Wetland Boundary	-WLB-
Existing Endangered Animal Boundary	-EAB-
Existing Endangered Plant Boundary	-EPB-

BUILDINGS AND OTHER CULTURE:

Gas Pump Vent or U/G Tank Cap	○
Sign	⊙
Well	⊙
Small Mine	⊗
Foundation	▭
Area Outline	▭
Cemetery	⊕
Building	▭
School	⊕
Church	⊕
Dam	▭

HYDROLOGY:

Stream or Body of Water	-----
Hydro, Pool or Reservoir	▭
Jurisdictional Stream	-JS-
Buffer Zone 1	-BZ 1-
Buffer Zone 2	-BZ 2-
Flow Arrow	←
Disappearing Stream	→
Spring	○
Swamp Marsh	▭
Proposed Lateral, Tail, Head Ditch	▭
False Sump	▭

RAILROADS:

Standard Gauge	-----
RR Signal Milepost	⊙
Switch	⊞
RR Abandoned	-----
RR Dismantled	-----

RIGHT OF WAY:

Baseline Control Point	⊙
Existing Right of Way Marker	△
Existing Right of Way Line	-----
Proposed Right of Way Line	-----
Proposed Right of Way Line with Iron Pin and Cap Marker	-----
Proposed Right of Way Line with Concrete or Granite Marker	-----
Existing Control of Access	⊙
Proposed Control of Access	⊙
Existing Easement Line	-E-
Proposed Temporary Construction Easement	-E-
Proposed Temporary Drainage Easement	-TDE-
Proposed Permanent Drainage Easement	-PDE-
Proposed Permanent Utility Easement	-PUE-
Proposed Public Access Easement	-PAE-

ROADS AND RELATED FEATURES:

Existing Edge of Pavement	-----
Existing Curb	-----
Proposed Slope Stakes Cut	-C-
Proposed Slope Stakes Fill	-F-
Proposed Wheel Chair Ramp	⊙
Curb Cut for Future Wheel Chair Ramp	⊙
Existing Metal Guardrail	-----
Proposed Guardrail	-----
Existing Cable Guiderail	-----
Proposed Cable Guiderail	-----
Equality Symbol	⊙
Pavement Removal	⊙

VEGETATION:

Single Tree	⊙
Single Shrub	⊙
Hedge	-----
Woods Line	-----
Orchard	⊙
Vineyard	⊙

EXISTING STRUCTURES:

MAJOR:	
Bridge, Tunnel or Box Culvert	CONC
Bridge Wing Wall, Head Wall and End Wall	CONC WW
MINOR:	
Head and End Wall	CONC HW
Pipe Culvert	-----
Footbridge	-----
Drainage Box: Catch Basin, DI or JB	CB
Paved Ditch Gutter	-----
Storm Sewer Manhole	⊙
Storm Sewer	-S-

UTILITIES:

POWER:	
Existing Power Pole	⊙
Proposed Power Pole	⊙
Existing Joint Use Pole	⊙
Proposed Joint Use Pole	⊙
Power Manhole	⊙
Power Line Tower	⊙
Power Transformer	⊙
U/G Power Cable Hand Hole	⊙
H-Frame Pole	⊙
Recorded U/G Power Line	-P-
Designated U/G Power Line (S.U.E.*)	-P-

TELEPHONE:

Existing Telephone Pole	⊙
Proposed Telephone Pole	⊙
Telephone Manhole	⊙
Telephone Booth	⊙
Telephone Pedestal	⊙
Telephone Cell Tower	⊙
U/G Telephone Cable Hand Hole	⊙
Recorded U/G Telephone Cable	-T-
Designated U/G Telephone Cable (S.U.E.*)	-T-
Recorded U/G Telephone Conduit	-TC-
Designated U/G Telephone Conduit (S.U.E.*)	-TC-
Recorded U/G Fiber Optics Cable	-TF0-
Designated U/G Fiber Optics Cable (S.U.E.*)	-TF0-

WATER:

Water Manhole	⊙
Water Meter	⊙
Water Valve	⊙
Water Hydrant	⊙
Recorded U/G Water Line	-W-
Designated U/G Water Line (S.U.E.*)	-W-
Above Ground Water Line	-A/G Water-

TV:

TV Satellite Dish	⊙
TV Pedestal	⊙
TV Tower	⊙
U/G TV Cable Hand Hole	⊙
Recorded U/G TV Cable	-TV-
Designated U/G TV Cable (S.U.E.*)	-TV-
Recorded U/G Fiber Optic Cable	-TV FO-
Designated U/G Fiber Optic Cable (S.U.E.*)	-TV FO-

GAS:

Gas Valve	⊙
Gas Meter	⊙
Recorded U/G Gas Line	-G-
Designated U/G Gas Line (S.U.E.*)	-G-
Above Ground Gas Line	-A/G Gas-

SANITARY SEWER:

Sanitary Sewer Manhole	⊙
Sanitary Sewer Cleanout	⊙
U/G Sanitary Sewer Line	-SS-
Above Ground Sanitary Sewer	-A/G Sanitary Sewer-
Recorded SS Forced Main Line	-FSS-
Designated SS Forced Main Line (S.U.E.*)	-FSS-

MISCELLANEOUS:

Utility Pole	⊙
Utility Pole with Base	⊙
Utility Located Object	⊙
Utility Traffic Signal Box	⊙
Utility Unknown U/G Line	-7UTL-
U/G Tank; Water, Gas, Oil	⊙
A/G Tank; Water, Gas, Oil	⊙
U/G Test Hole (S.U.E.*)	⊙
Abandoned According to Utility Records	AATUR
End of Information	E.O.I.

RALEIGH

LOUISBURG ROAD
MULTI-FAMILY OFFSITE
IMPROVEMENTS

SHEET NUMBER
R0.02

CONVENTIONAL
SYMBOLS

© 2022
300 MORRIS STREET, DURHAM, NC 27701, SUITE 200
PHONE: 919-682-3583
WWW.KIMLEY-HORN.COM
NC LICENSE # F-0102

PRELIMINARY PLANS
DO NOT USE FOR CONSTRUCTION
KIMLEY-HORN
PLANNING
ENGINEER
JULY 1, 2022

DESIGNED BY: TDW
DRAWN BY: CAV
CHECKED BY: TDW

SCALE: NTS
DATE: 8/26/2022
PROJECT: 013700009

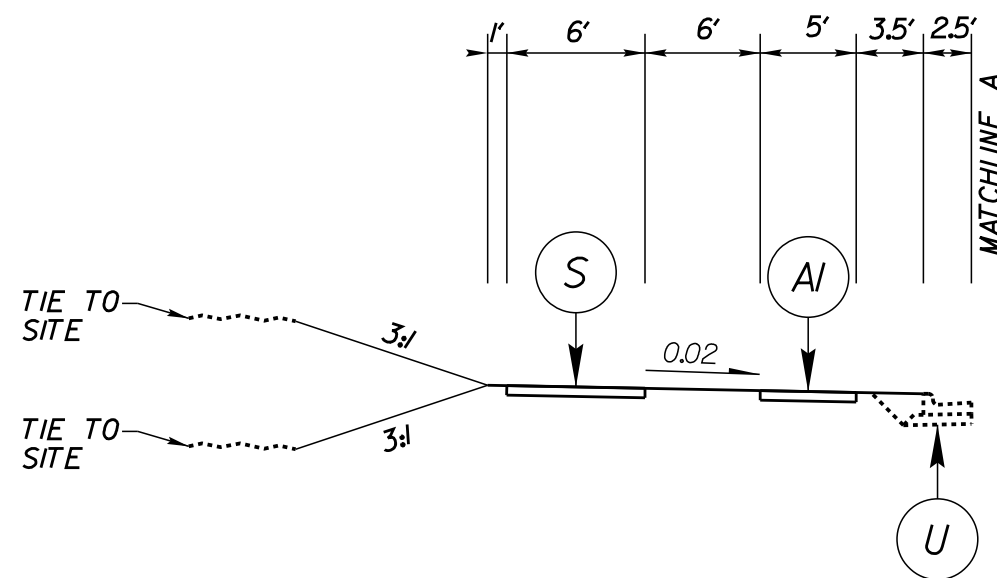
REVISIONS

No.	DATE	BY
2.	08/26/22	TDW
1.	06/30/22	TDW
	04/08/22	TDW

RESPONSE TO STAFF COMMENTS
RESPONSE TO STAFF COMMENTS
ASR INITIAL SUBMITTAL

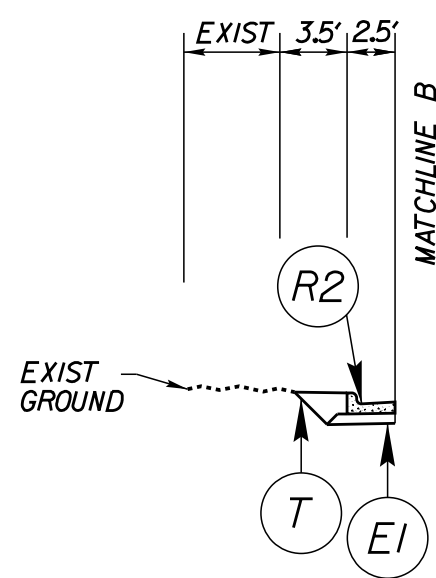
PAVEMENT SCHEDULE	
A1	4" PORTLAND CEMENT CONCRETE PAVEMENT (BIKE PATH)
C1	PROPOSED APPROX. 1.5" ASPHALT CONCRETE SURFACE COURSE TYPE S9.5C, AT AN AVERAGE RATE OF 168 LBS. PER SQ. YD.
C2	PROPOSED APPROX. 3" ASPHALT CONCRETE SURFACE COURSE TYPE S9.5C, AT AN AVERAGE RATE OF 168 LBS. PER SQ. YD. IN EACH OF TWO LAYERS.
D1	PROPOSED APPROX. 4" ASPHALT CONCRETE INTERMEDIATE COURSE, TYPE I19.0C, AT AN AVERAGE RATE OF 456 LBS. PER SQ. YD.
E1	PROPOSED APPROX. 5" ASPHALT CONCRETE BASE COURSE, TYPE B25.0C, AT AN AVERAGE RATE OF 456 LBS. PER SQ. YD.
R1	PROPOSED 1'-6" CONCRETE CURB AND GUTTER
R2	PROPOSED 2'-6" CONCRETE CURB AND GUTTER
R3	PROPOSED MONOLITHIC 5' ISLAND (KEYED-IN)
S	PROPOSED 4" CONCRETE SIDEWALK
T	EARTH MATERIAL
U	EXISTING ASPHALT PAVEMENT

NOTES:
1. PAVEMENT EDGE SLOPES ARE 1:1 UNLESS OTHERWISE INDICATED
2. REFER TO PLAN SHEETS FOR VARIABLE WIDTHS



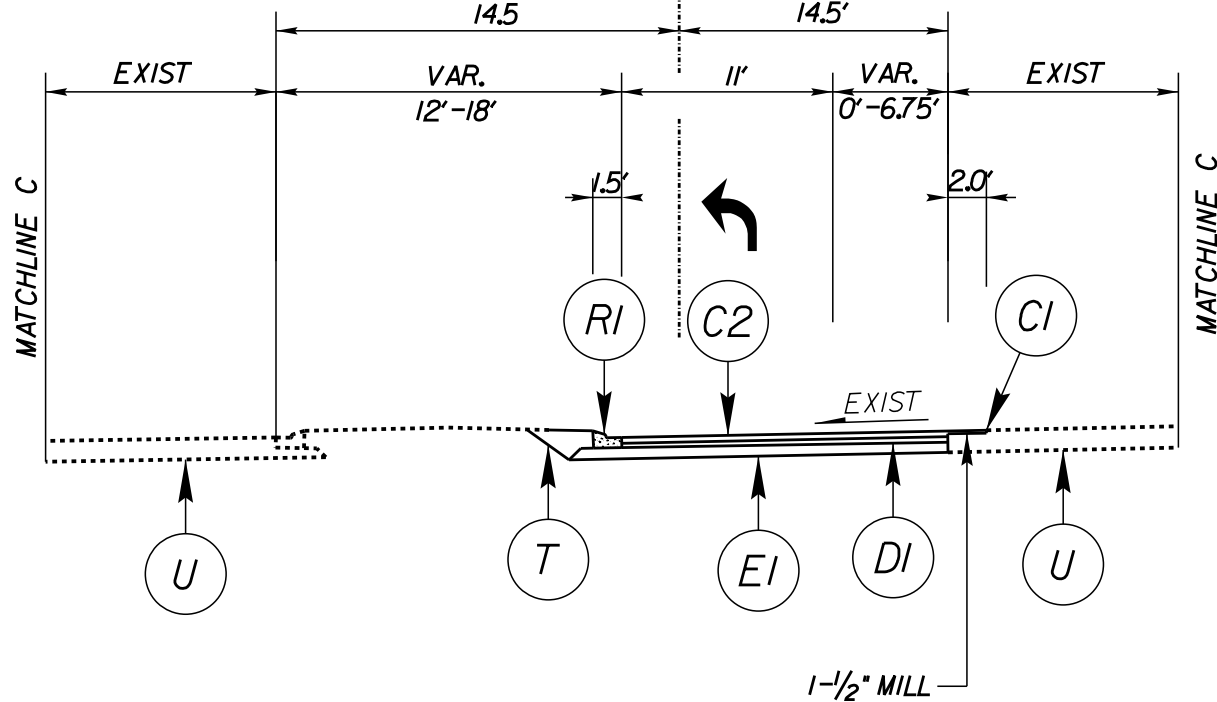
TYPICAL SECTION NO. 1A

-L- STA 19+20.00 TO STA 20+73.36
-L- STA 23+55.00 TO STA 29+59.92



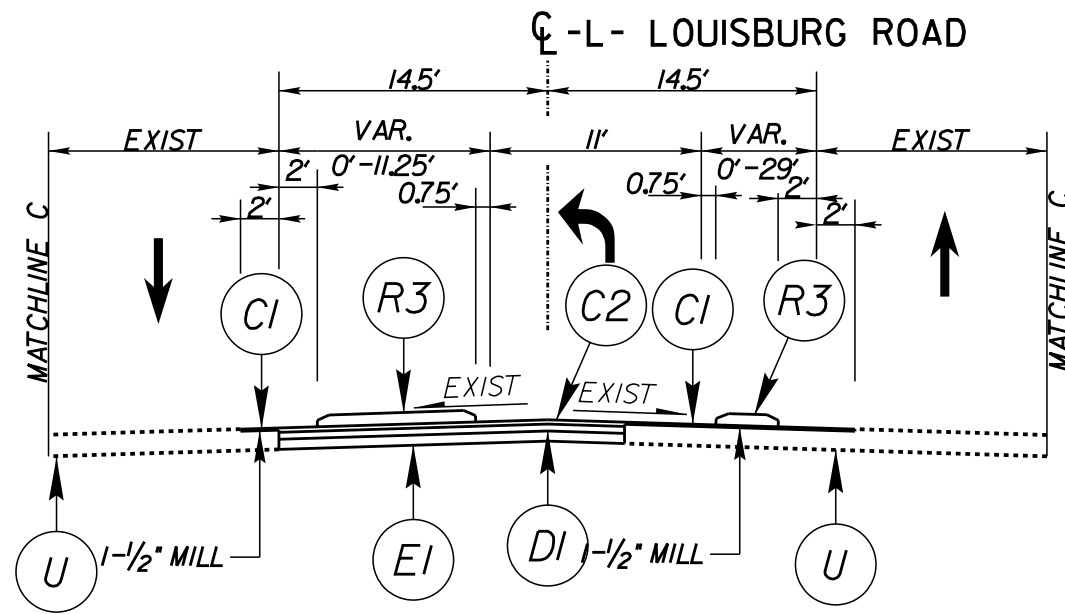
TYPICAL SECTION NO. 1B

-L- STA 32+13.09 TO STA 32+49.00



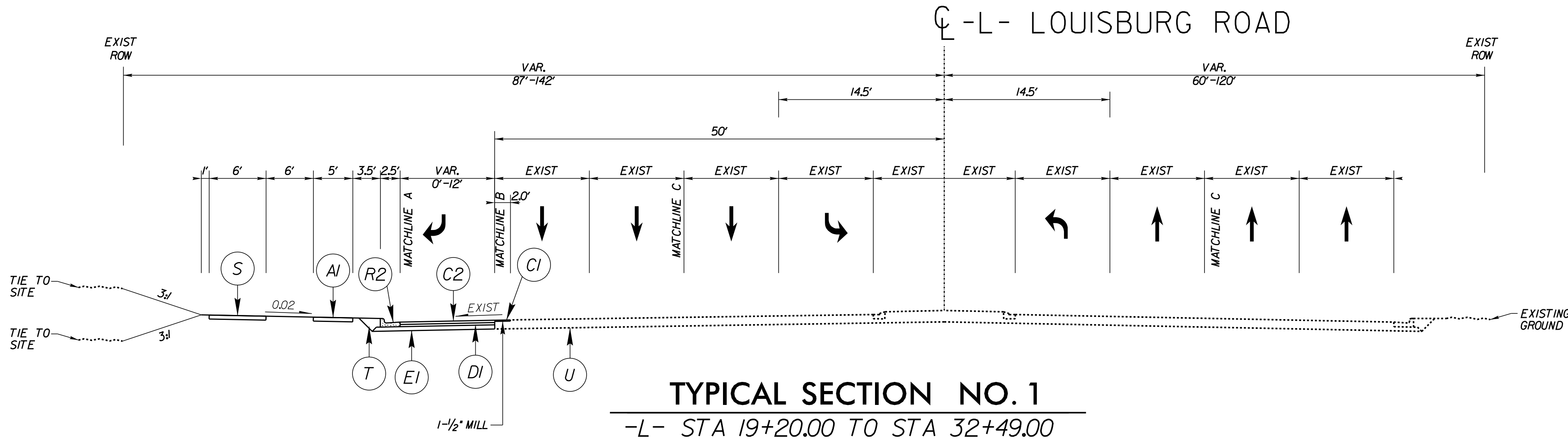
TYPICAL SECTION NO. 1C

-L- STA 27+17.00 TO STA 29+17.00 (RT)
-L- STA 31+25.00 TO STA 33+25.00 (LT)



TYPICAL SECTION NO. 1D

-L- STA 29+17.00 TO STA 30+21.03 (RT)
-L- STA 30+21.03 TO STA 31+25.00 (LT)

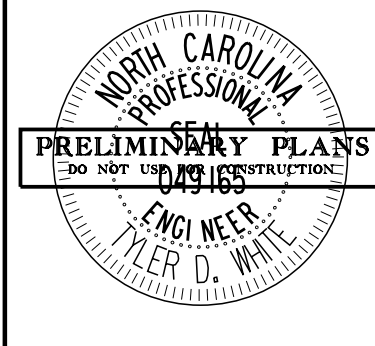


TYPICAL SECTION NO. 1

-L- STA 19+20.00 TO STA 32+49.00

Kimley»Horn

© 2022
300 MORRIS STREET, DURHAM, NC 27701, SUITE 200
PHONE: 919-682-3583
WWW.KIMLEY-HORN.COM
NC LICENSE # F-0102



KHA PROJECT	013700009
DATE	8/26/2022
SCALE	NTS
DESIGNED BY:	TOW
DRAWN BY:	CAV
CHECKED BY:	TOW

TYPICAL SECTIONS

LOUISBURG ROAD
MULTI-FAMILY OFFSITE
IMPROVEMENTS

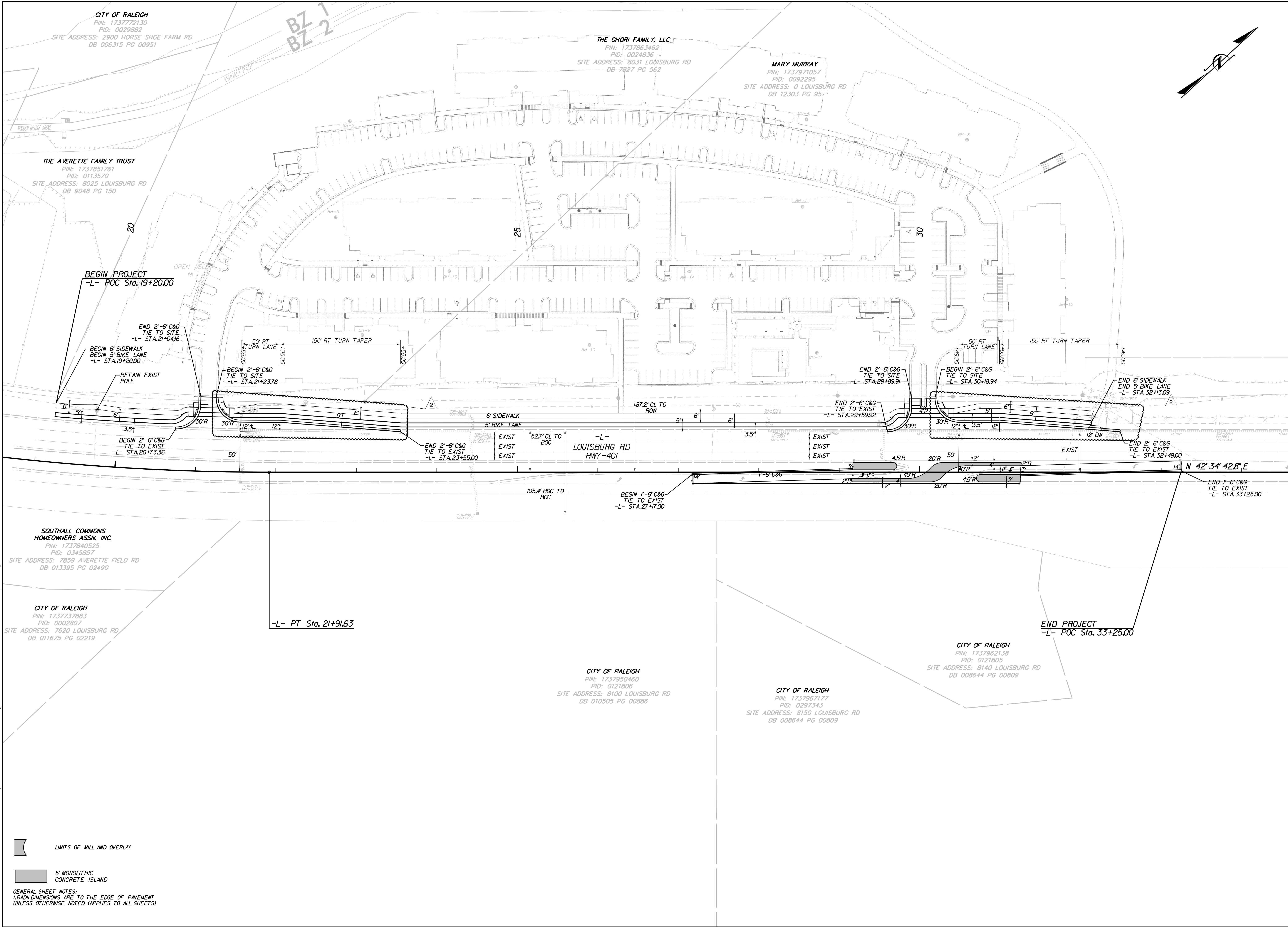
NORTH CAROLINA

SHEET NUMBER
R1.00

2.	RESPONSE TO STAFF COMMENTS	08/26/22 TDW	DATE	BY
1.	RESPONSE TO STAFF COMMENTS	06/30/22 TDW		
	ASR INITIAL SUBMITAL	04/08/22 TDW		
	REVISIONS			

K:\DUR_Roadway\013700009 - Louisburg Road\Plan\Plan Sheets\013700009.pst-4.dgn

8/24/2022



KIMLEY-HORN		© 2022 300 MORRIS STREET, DURHAM, NC 27701, SUITE 200 PHONE: 919-682-3583 WWW.KIMLEY-HORN.COM NC LICENSE # F-0102	
PRELIMINARY PLANS NOT FOR CONSTRUCTION EXEMPT FROM RECORDATION JULY 1, 2018 JULY 1, 2018		KHA PROJECT 013700009 DATE 8/26/2022 SCALE 1"=50' DESIGNED BY: TDW DRAWN BY: CAV CHECKED BY: TDW	
LOUISBURG ROAD MULTI-FAMILY OFFSITE IMPROVEMENTS		PLAN VIEW	
SHEET NUMBER R2.00		RALEIGH NORTH CAROLINA	