



# Administrative Approval Action

Case File / Name: ASR-0026-2022  
DSLCL - LOUISBURG ROAD MULTI-FAMILY

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** This 41.08 acre site zoned RX-4-PL CU (Z-40-21) is located on the north side of Louisburg Road (US 401) just south of the intersection of Louisburg Road and Mitchell Mill Road at 8031 and 8101 Louisburg Road.
- REQUEST:** This is a multi family apartment development consisting of approximately 409,398 square feet gross, 331 units, clubhouse, pool, amenity area and associated infrastructure.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 28, 2022 by KIMLEY HORN.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Condition of SPR approval - Prior to Site Permit Approval

The greenway connection located at 8031 Louisburg Rd will show Hinge bollards with boulders, Educational Signage near the level spreaders, Native plant/wildflower mix within the sewer corridor, and meet all Greenway trail design standards.

### **Engineering**

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

### **Public Utilities**

3. A deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

### **Stormwater**



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- 4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
- 6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

## Urban Forestry

- 7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
- 8. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Transit Deed of Easement Required
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**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

**The following items must be approved prior to recording the plat:**

## General

- 1. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.

## Engineering

- 2. A pedestrian and bicycle deed of easement along proposed Greenway Trail, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Public Utilities



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3. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
4. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.
5. A Water and/or Sewer Assessment fee shall be paid to the Assessment Specialist in the City of Raleigh Engineering Services Department.

## Transportation

6. A transit deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Urban Forestry

7. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 4.23 acres of tree conservation area.

**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. A recombination map shall be recorded, recombining the existing lots into a single tract.
2. The greenway easement as shown on the preliminary plan shall be dedicated to the City of Raleigh and a recorded copy of the map shall be provided to the City.
3. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

## Engineering

4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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## Stormwater

5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
7. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

9. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
10. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 101 street trees along Louisburg Rd.
11. A public infrastructure surety for the 101 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion of infrastructure.

### ***The following are required prior to issuance of building occupancy permit:***

#### **General**

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

#### **Stormwater**

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before



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permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** October 26, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

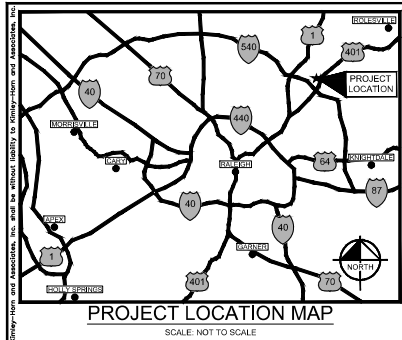
**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: \_\_\_\_\_ *Daniel L. Stegall* \_\_\_\_\_ Date: 10/26/2022  
Development Services Dir/Designee

Staff Coordinator: Michael Walters



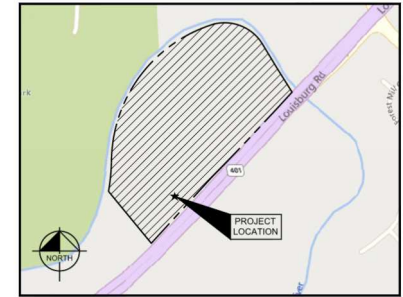
REFERENCE: Z-40-21  
SKETCH TRANS. #: SCOPE 0087-2021

**ASR-0026-2022**

# ADMINISTRATIVE SITE REVIEW LOUISBURG ROAD MULTI-FAMILY

8031 & 8101 LOUISBURG ROAD  
RALEIGH, NORTH CAROLINA 27616

A DEVELOPMENT BY:  
**BUCKINGHAM PROPERTIES, LLC.**



VICINITY MAP  
SCALE: 1" = 500'

**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMAL AMOUNT OF INTERFERENCE TO TRAFFIC.
3. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
4. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE TO PREVIOUS OR BETTER CONDITION.
5. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE TO PREVIOUS OR BETTER CONDITION.
6. IF INTERFERING CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE CIVIL CONSULTING SERVICES ENGINEERING DEPARTMENT AT (919) 996-2000.
7. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE CIVIL ENGINEERING DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO BEGINNING OF EXCAVATION OR RECORDING OF ANY PLAN FOR THE DEVELOPMENT.
8. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY THE CITY OF RALEIGH INSPECTORS AS NECESSARY DURING CONSTRUCTION.
9. EXISTING INFORMATION TAKEN FROM AN ADDENDUM 4 TOPographic SURVEY DATED MAY 25, 2021 AND PROVIDED BY RILEY SURVEYING, P.A. 3028 DURHAM CHASE, RALEIGH, NC 27605 SHALL BE USED AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED.
10. WITHIN THE RIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE, BUT ARE NOT LIMITED TO ANY BERM, POLE, FENCE, WALL, SIGN, OR PARTIAL CURB.
11. UNLESS NOTED, ACCESS ROUTES FOR EMERGENCY VEHICLES SHALL PROVIDE AN APPROXIMATE TURNING RADIUS OF 20 FEET.
12. UNLESS NOTED, ACCESS ROUTES TO THE FACE OF CURBS, CURBS, AND CEMENTED DRIVEWAYS SHALL BE MAINTAINED AND/OR COLOR OF THE PRINCIPAL BUILDING.
13. CONTRACTOR TO PREPARE AND VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ANY INTERFERENCES TO ENGINEER PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC DOT AT #11 FOR RIGHT OF WAY FOR UNDERGROUND UTILITIES.
14. UNLESS INDICATED OTHERWISE, ALL HANDRAIL ACCESS SHALL BE NO GREATER THAN 2 FEET (24") HIGH FROM ANY SIDEWALK, WALKWAY OR OTHER SURFACE TO THE CENTERLINE OF ANY CURB OR DRIVEWAY.
15. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
16. THE MINIMUM CORNER CLEARANCE FROM THE CURB OR STREET SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRUGH ON THE MINIMUM CORNER CLEARANCE.
17. ALL DRIVEWAYS SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, STANDARDS, AND ADASG SPECIFICATIONS.
18. ALL DRIVEWAYS SHALL BE ACCORDING TO APPLICABLE MICHIGAN STANDARD AND/OR STATEMENTS.
19. ALL ABOVE GRADE UTILITY DEVICES TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PRECASTS, ELECTRICAL TRANSFORMERS, SAGGING DEVICES, ETC. SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
20. SEE SHEET C-3, OR C-2 FOR FULL SITE DATA TABLE.
21. NO TEMPORARY OR PERMANENT ENCLOSURES (INCLUDING BUT NOT LIMITED TO CLEANING, GRASSING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
22. **RIGHT-OF-WAY OBSTRUCTION NOTES:**
23. **PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LAKE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHT-OF-WAY SERVICES SECTION.**
24. A STREET LANDSCAPE CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NC DOT RIGHTS WITHIN RALEIGH JURISDICTION.
25. THE PERMIT REQUEST WITH A TIED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
26. **PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTORS CONTACTING TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL TERMS OF AGREEMENT.**
27. ALL TIED PLAN SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
  - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
  - MUTUAL RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROVING)
  - MULTIMODAL DESIGN MANUAL (PROVING)
  - RALEIGH STREET DESIGN MANUAL (PROVING)
  - ALL PUBLIC RIGHTS MUST BE ACCORDING TO PRESTIGEHOME AND/OR VIBRANT! BARRIERS AND/OR PERMIT WITH MOBILITY CONCERNS, LIFTING AND ALL UNIFORM FLOOR SIGN NOTICES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE RALEIGH PUBLIC WORKS DEPARTMENT SERVICES (PROVING), THE ADA STANDARDS FOR ACCESSIBLE DESIGN, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (UTCD).
  - ALL PERMITS MUST BE AVAILABLE AND VERIFIABLE ON SITE DURING THE INSTALLATION.

**FIELD MEASUREMENT NOTES:**

1. THE APPARATUS SURFACE IS REQUIRED TO BE WITHIN 20 FEET (INPA 13R) OR 25 FEET (INPA13) TO ALL PORTIONS OF THE EXISTING WALL OR FLOOR OF THE SUBJECT BUILDING.
2. PRE-HIGHWAY SHALL BE LOCATED WITHIN 40' AS MEASURED ALONG THE PATH OF APPARATUS SURFACE (INDC 5075.51).
3. ALL NEW PERMITS SHALL BE EQUIPPED WITHIN THESE AND WITH A 6" OR GREATER CONNECTION.
4. PRE-FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2012 N.C.D.C. SECTION 507.3.

**BACK-SHEET NOTES:**

1. REQUIREMENT: EXCEPT WHERE A STREET CONNECTION TRAVERSING THE SUBJECT PROPERTY IS SHOWN ON THE RALEIGH STREET PLAN OR AN ADJUSTED AREA PLAN, CONFORMANCE WITH THE NUMBER IN DOW FROM THE STANDARD ROUNDING NUMBER SHALL BE ADEQUATE TO THE LENGTH SHALL NOT BE REQUIRED WHEN ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET: THE PROPERTY TO BE DEVELOPED OR THE ADJACENT PROPERTY TO BE DEVELOPED OR THE SUBJECT STREET OR SUB-SECTION IS CONTIGUOUS TO ONE OR MORE OF THE FOLLOWING LAND USES: HISTORIC LANDMARK, CEMETERY, LANDFILL, HOSPITAL, SCHOOL (PUBLIC OR PRIVATE (K-12)), COLLEGE, COMMUNITY COLLEGE, UNIVERSITY, PLACE OF WORSHIP, PUBLIC STATION, BUS STATION, PRIOR OR ANY RESIDENTIAL USE IN AN ATTACHED OR DETACHED BUILDING TYPE ON LOTS NO LARGER THAN 2 ACRES.
2. EXEMPTION: PROPERTY IS EXEMPT FROM THIS REQUIREMENT AS THE ONLY ADJACENT PROPERTY IS A 1.26 ACRE LOT WITH A RESIDENTIAL USE.

**CROSS-SECTION NOTES:**

1. REQUIREMENT: CROSS-ACCESS REQUIREMENTS DESCRIBED IN SEC. 52.2.5.2, SHALL NOT APPLY WHEN ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET: THE ADJACENT PROPERTY TO WHICH A DRIVEWAY IS TO BE ESTABLISHED IS A RESIDENTIAL ZONING DISTRICT (EXCEPT FOR H-1) OR OCCUPIED BY AN ATTACHED, DETACHED OR TOWNHOUSE BUILDING TYPE.
2. EXEMPTION: PROPERTY IS EXEMPT FROM THIS REQUIREMENT AS THE ADJACENT PROPERTY IS ZONED AS RM AND IS A SINGLE-FAMILY BUILDING.

**MEANS OF COMPLIANCE WITH SEPARATION CONDITIONS ASSETMENT WITH Z-40-21 (EFFECTIVE FEBRUARY 19, 2021)**

**MEANS OF COMPLIANCE WITH SEPARATION CONDITIONS ASSETMENT WITH Z-40-21 (EFFECTIVE FEBRUARY 19, 2021):**

1. **MEANS OF COMPLIANCE:** THE PROPOSED USE IS MULTIFAMILY, A CEMETERY, SCHOOL (PUBLIC OR PRIVATE), AND/OR OUTDOOR SPORTS OR RECREATION FACILITY. (2000 SEPARATIONS DO NOT APPLY).
2. **CONDITION:** THE MAXIMUM NUMBER OF DWELLING UNITS PERMITTED ON THE PROPERTY IS 375 DWELLING UNITS.
3. **MEANS OF COMPLIANCE:** THE PROPOSED SEPARATION OF DWELLING UNITS IS 20'.
4. **CONDITION:** ANY SITE PLAN SUBMITTED TO THE CITY PRIOR TO THE EFFECTIVE DATE OF 10-10-20 SHALL COMPLY WITH ALL APPLICABLE STANDARDS CONTAINED IN SEC. 52.2.5.2 OF THE ZONING ORDINANCE.
5. **MEANS OF COMPLIANCE:** THE PROPOSED DEVELOPMENT HAS BEEN DESIGNATED TO COMPLY WITH SECTION 52.2 OF 10-10-20, IN FORCE ON OCTOBER 10, 2020. THE PROPOSED DEVELOPMENT IS LIMITED TO THE PROPOSED PUBLIC GREENWAY CONNECTION REQUESTED BY THE CITY OF RALEIGH.
6. **CONDITION:** EXCEPT AS STATED BELOW, WHERE THERE IS REMOVAL OCCURS ALONG HIGHWAY ADJACENT ROAD, PLANTINGS SHALL BE INSTALLED AT A RATE OF 50 BROAD TREES AND 15 SHRUBS PER 100 LINEAR FEET WITHIN THE AREA BETWEEN THE RIGHT-OF-WAY THERE IS AN APPROVED ENCROACHMENT AGREEMENT WHERE OTHERWISE. WHERE OTHERWISE THERE IS NO APPROVED ENCROACHMENT AGREEMENT, THERE IS AN APPROVED UTILITY FACILITY AGREEMENT AND (3) UNDERSTORY TREES MAY BE INSTALLED AT A RATE OF 20 BROAD TREES PER 100 LINEAR FEET. PLANTINGS ARE ALLOWED WITHIN BOTH UTILITY EASEMENT AREA, ALL PLANTINGS CONTINGENT UPON THIS CONDITION SHALL BE LOCATED TOWARD ANY STREETSCAPE PLANTING REQUIREMENT, AND ALL STREETSCAPE PLANTINGS SHALL BE LOCATED TOWARD THE CURB.
7. **MEANS OF COMPLIANCE:** PLANTINGS HAVE BEEN PROVIDED IN ALL LOCATIONS WHERE THEIR REMOVAL OCCURS PER THE TERMS OF THE ENCROACHMENT AGREEMENT. PLANTINGS DO NOT OCCUR, STANDARD CITY OF RALEIGH STREETSCAPE PLANTINGS HAVE BEEN PROVIDED PER UDD SECTION 9.4 AND 9.5. UNDERSTORY TREES HAVE NOT BEEN UTILIZED IN FRONTAGE AREAS WHERE THEY ARE PRESENT. THERE ARE NO INTERFERENCES WITH DEVELOPMENT.
8. **CONDITION:** SUBJECT TO APPROVAL BY THE CITY PLANNING AND DEVELOPMENT DEPARTMENT, AND THE CONSENT OF AN EASEMENT HOLDER, DEVELOPER WILL PROVIDE A 10' FOOT (10') MULTIPATH CONNECTIONS LOUISBURG ROADWAY TO THE CITY OF RALEIGH. THESE MULTIPATH CONNECTIONS SHALL BE LOCATED TOWARD THE CURB OF RALEIGH OR BY FEDERAL LAW, TO BE ACCESSIBLE TO THE PORTS AT WHICH THIS MULTIPATH PATH WILL CONNECT TO LOUISBURG ROAD AND TO THE GREENWAY TRAIL. SHALL BE LOCATED WITHIN ONE THOUSAND THREE HUNDRED FEET (1,300) FROM THE PROPERTY LINE ADJACENT TO 8025 LOUISBURG ROAD (PG 10).
9. **MEANS OF COMPLIANCE:** A TEN FOOT (10') WIDE MULTIPATH PATH HAS BEEN PROVIDED 1,285 LINEAR FEET FROM THE PROPERTY LINE ADJACENT TO LOUISBURG ROAD (BROWNE) FROM THE END OF THE PROPERTY LINE ADJACENT TO THE GREENWAY TRAIL (PG 10).
10. **MEANS OF COMPLIANCE:** DEVELOPER SHALL PROVIDE LEVEL B ELECTRIC VEHICLE CHARGING STATIONS SPRING FOR 40 PARKING SPACES WITHIN THE PATH AS WELL.
11. **CONDITION:** DEVELOPER SHALL PROVIDE LEVEL B ELECTRIC VEHICLE CHARGING STATIONS SPRING FOR 40 PARKING SPACES WITHIN THE PATH AS WELL.
12. **CONDITION:** DEVELOPER SHALL PROVIDE LEVEL B ELECTRIC VEHICLE CHARGING STATIONS SPRING FOR 40 PARKING SPACES WITHIN THE PATH AS WELL.
13. **MEANS OF COMPLIANCE:** THE CHARGING STATIONS SHALL BE INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR THE BUILDING THAT THEY SERVE.

**MEANS OF COMPLIANCE FOUR LEVEL B ELECTRIC VEHICLE CHARGING STATIONS HAVE BEEN PROVIDED AS REQUIRED, LOCATIONS AS INDICATED ON SHEET C-1 AND C-2.**

## Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 401 | Raleigh, NC 27601 | 919-986-2000

Office Use Only: Case #: Planner (print):

Please review UDD Section 10.2.8, as amended by text change case TC-16-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan  Tier Three Site Plan

Building Type	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic
Subdivision case #: SCOP0087-2021 Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: Z-40-21 Administrative Alternate #: _____	

### GENERAL INFORMATION

Development name: Louisburg Road Multi-Family  
 Inside City limits?  Yes  No

Property address(es): **8031 & 8101 Louisburg Road, Raleigh, NC 27616**

Site P.I.N. (s): 1737863462 & 1737871057

Please describe the scope of work, include any additions, expansions, and change of use.

Proposed multifamily apartment development with supporting clubhouse, pool amenity, and maintenance building.

Current Property Owner/Developer Contact Name: Stephen Franks, Buckingham Properties, LLC  
 Address: 941 North Meridian Street, Indianapolis, IN 46204  
 Phone #: 317-554-8727 Email: Stephen.Franks@Buckingham.com

Applicant Name: Melissa Brand  
 Company: Kimley-Horn  
 Address: 421 Fayetteville Street, Suite 600, Raleigh, NC 27601  
 Phone: (919) 653-2990 Email: Melissa.Brand@Kimley-Horn.com

Page 1 of 2 raleighnc.gov

## DEVELOPMENT TYPE • SITE DATA TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (more than one, please provide the storage of each): R40-K-R-CU	Existing gross floor area (not to be demolished): 0 sf
Cross site acreage: 41.05 ac	Existing gross floor area to be demolished: 0 sf
# of parking spaces required: 421 spaces	New gross floor area, 429,388 sf
# of parking spaces proposed: 451 spaces	Total of gross (to remain and newly) 429,388 sf
Existing use (UDD 6.1.4): Vacated	Proposed # of buildings (including historic structures): 1
Proposed use (UDD 6.1.4): Multi-Unit Living	Proposed # of stories for each: one story, one and one story

### STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.17	Square Feet: 7468	Proposed Impervious Surface: Acres: 6.71	Square Feet: 289,114
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Is this a special flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Alloyed soils: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
FEMA Flood Study: 22			
FEMA Map Panel #: 27816R02			
Nausea River Buffer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		<input type="checkbox"/> Wetlands	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

### RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 331	Total # of hotel units: 0
# of bedroom units: 106	20r 144
# of office units: (2 existing to be combined)	30r 18
	40r or more: 0

### SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, **Kimley-Horn & Associates**, will serve as the agent regarding this application, and will verify and report to administrative committees, residential plans and applicable departments, and will represent the property owner(s) in any public meeting regarding this application.

I have read and acknowledge, and affirm that this project is conforming to all applicable requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: *William Brand* Date: 8/26/2022  
 Printed Name: Melissa Brand

Page 2 of 2 raleighnc.gov

## SITE DEVELOPER AND DESIGN CONSULTANTS

<p><b>SITE DEVELOPER:</b> BUCKINGHAM PROPERTIES, LLC 841 NORTH MERIDIAN ST., SUITE 600 INDIANAPOLIS, INDIANA 46204 CONTACT: STEPHEN J. FRANKS PHONE: (317) 554-8727 EMAIL: STEPHEN.FRANKS@BUCKINGHAM.COM</p>	<p><b>CIVIL ENGINEER:</b> KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE ST., SUITE 600 RALEIGH, NORTH CAROLINA 27601 PHONE: (919) 653-2990 ATTN: JOHN KUZENSKI, P.E. JOHN.KUZENSKI@KIMLEY-HORN.COM</p>	<p><b>ARCHITECT:</b> STUDIO M 2 WEST MAIN ST. CARMEL, INDIANA 46032 PHONE: (317) 810-1502 ATTN: NICK ALEXANDER ALEXANDER@STUDIOARCHITECTURE.NET</p>	<p><b>STRUCTURAL:</b> LHB 550 VIRGINIA AVENUE INDIANAPOLIS, INDIANA 46203 PHONE: (317) 423-1550 ATTN: PATRICK LOCK PLOCK@LHB-ENG.COM</p>
<p><b>LANDSCAPE ARCHITECT:</b> KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE ST., SUITE 600 RALEIGH, NORTH CAROLINA 27601 PHONE: (919) 653-2990 ATTN: MELISSA BRAND, PLA MELISSA.BRAND@KIMLEY-HORN.COM</p>	<p><b>SURVEYOR:</b> RILEY SURVEYING, P.A. 3326 DURHAM CHAPEL, HILL BLVD., SUITE B-100 DURHAM, NORTH CAROLINA 27707 PHONE: (919) 982-6762 ATTN: PHILIP W. RILEY, PLS PHILIP@RILEYSURVEYINGPA.COM</p>	<p><b>MEP:</b> KBSO CONSULTING 1344 SOUTH RAINBOW BLVD., SUITE 202 CARMEL, INDIANA 46032 PHONE: (317) 344-9043 ATTN: SEJUN ODJUKOMAR SODUKOMAR@KBSOCONSUL-TING.COM</p>	<p><b>GEOTECH:</b> ECOS SOUTHEAST 5280 GREEN DARIY ROAD RALEIGH, NORTH CAROLINA 27616 PHONE: (919) 981-0910 ATTN: THOMAS SCHIFFPOET TSCHIFFPOET@ECSLLC.COM</p>

PREPARED IN THE OFFICE OF:

© 2022 Kimley-Horn and Associates, Inc.  
 421 FAYETTEVILLE STREET - SUITE 600 - RALEIGH, NORTH CAROLINA 27601  
 PHONE: (919) 677-2000

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

**SURVEY NOTE:**  
 EXISTING INFORMATION TAKEN FROM AN ATLASNPS LAND TITLE SURVEY PROVIDED BY RILEY SURVEYING, P.A. 3328 DURHAM CHASE, HILL BLVD., STE B-100 DURHAM, NC 27707. PHONE: (919) 987-2742 AND DATED MAY 25, 2021.

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SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
00.0	COVER SHEET
00.1	GENERAL NOTES
00.2	OVERALL SURVEY
00.3	ENLARGED SURVEY
01.0	OFF-SITE SURVEY
02.0	DEMOITION PLAN
03.0	OVERALL SITE PLAN
03.1	ENLARGED SITE PLAN
03.2	ENLARGED SITE PLAN
04.0	SITE DETAILS
04.1	SITE DETAILS
04.2	SITE DETAILS
05.0	OVERALL UTILITY PLAN
05.1	ENLARGED UTILITY PLAN
05.2	ENLARGED UTILITY PLAN
05.3	FIRE ACCESS AND HOSE LAY PLAN
05.4	ALTERNATE MATERIAL REQUEST
05.5	ALTERNATE MATERIAL REQUEST
06.0	OVERALL GRADING AND DRAINAGE PLAN
06.1	ENLARGED GRADING AND DRAINAGE PLAN
06.2	ENLARGED GRADING AND DRAINAGE PLAN
1.1.0	OVERALL LANDSCAPE PLAN
1.1.1	ENLARGED LANDSCAPE PLAN
1.1.2	ENLARGED LANDSCAPE PLAN
1.2.0	LANDSCAPE COPIES TABLES
1.2.1	LANDSCAPE NOTES
1.3.0	THREE CONSERVATION AREA PLAN
1.4.0	AMENITY PLAN
15.01.1	ELECTRICAL SITE PLAN
15.01.2	ELECTRICAL SITE PHOTOGRAPH PLAN
A1.0	EXTERIOR ELEVATIONS - BUILDING 1
A1.1	EXTERIOR ELEVATIONS - BUILDING 2
A1.2	EXTERIOR ELEVATIONS - BUILDING 3
A1.3	EXTERIOR ELEVATIONS - BUILDING 4
A1.4	EXTERIOR ELEVATIONS - BUILDING 5
A1.5	EXTERIOR ELEVATIONS - BUILDING 6
A1.6	EXTERIOR ELEVATIONS - BUILDING 7
A1.7	EXTERIOR ELEVATIONS - BUILDING 8
A1.8	EXTERIOR ELEVATIONS - BUILDING 9
A1.9	EXTERIOR ELEVATIONS - BUILDING 10
A1.10	EXTERIOR ELEVATIONS - CLUBHOUSE
A1.11	EXTERIOR ELEVATIONS - ACCESSORY
A1.12	EXTERIOR ELEVATIONS - PERSPECTIVES
AS.0	TRANS ENGINEERING DETAILS
BS.0	OFFSITE IMPROVEMENTS - TITLE SHEET
BS.01	OFFSITE IMPROVEMENTS - PROJECT NOTES
BS.02	OFFSITE IMPROVEMENTS - CONVENTIONAL SYMBOLS
BS.03	OFFSITE IMPROVEMENTS - TYPICAL SECTIONS
BS.04	OFFSITE IMPROVEMENTS - PLAN VIEW

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Job Number: **013700009**

SEPTEMBER 28, 2022

NO CERTIFICATE OF AUTHORIZATION: F-0102

**LOUISBURG ROAD MULTI-FAMILY COVER SHEET**

PREPARED FOR: **BUCKINGHAM PROPERTIES, LLC.**

DRAWN BY: **AKB**

CHECKED BY: **AKB**

PROJECT NUMBER: **013700009**

DATE: **09/28/2022**

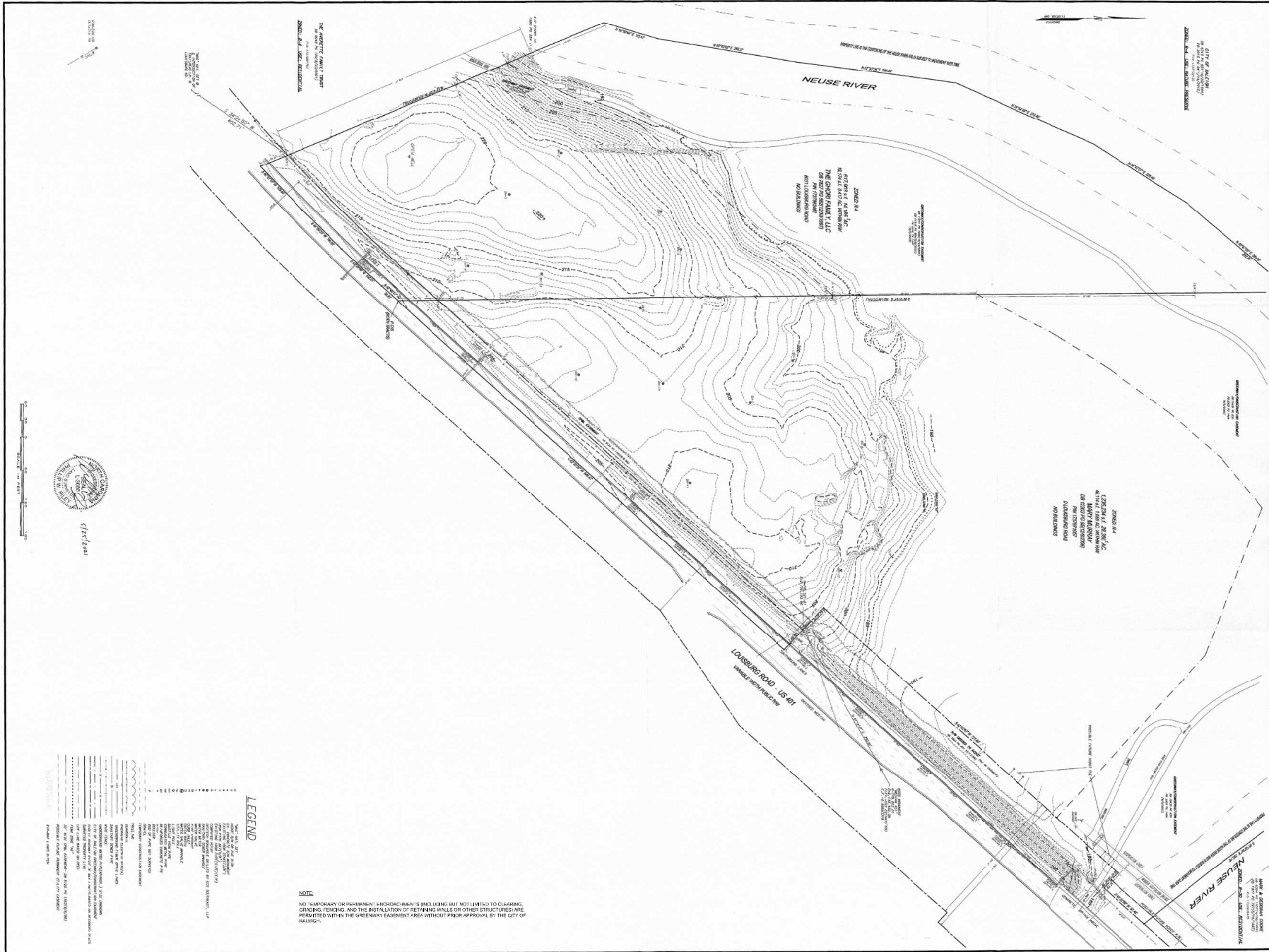
SCALE: **AS SHOWN**

REVISIONS:

NO.	DESCRIPTION	DATE
1	RESPONSE TO STAFF COMMENTS	09/28/2022
2	RESPONSE TO STAFF COMMENTS	09/28/2022
3	RESPONSE TO STAFF COMMENTS	09/28/22
4	RESPONSE TO STAFF COMMENTS	09/28/22
5	ASR INITIAL SUBMITTAL	09/08/22
6	REVISED	

DATE:





**REASONS**


**ALTAIANS LAND TITLE SURVEY**

**RELEASING PARTY**  
**THE GHORI FAMILY LLC & MARY MURPHY**  
 3030 UNIVERSITY CENTER ROAD, SUITE 100  
 FARMINGTON, CONNECTICUT 06031  
 PREPARED FOR: C&S

**THE GHORI FAMILY, LLC & MARY MURPHY**  
 BUCKINGHAM PROPERTIES, LLC  
 NEUSE TOWNSHIP, JAME COUNTY  
 NORTH CAROLINA

**DATE:** 11/25/2021  
**SCALE:** 1" = 40'  
**DRAWN BY:** PWT  
**JOB:** 2114  
**SHEET:** 2  
**OF 2 SHEETS**

**SHEET NUMBER**  
**C1.1**

**LEGEND**

- 1. Proposed Right-of-Way Boundary
- 2. Proposed Right-of-Way Centerline
- 3. Proposed Right-of-Way Edge-of-Right-of-Way
- 4. Proposed Right-of-Way Easement
- 5. Proposed Right-of-Way Encroachment
- 6. Proposed Right-of-Way Encroachment Easement
- 7. Proposed Right-of-Way Encroachment Easement Easement
- 8. Proposed Right-of-Way Encroachment Easement Easement Easement
- 9. Proposed Right-of-Way Encroachment Easement Easement Easement Easement
- 10. Proposed Right-of-Way Encroachment Easement Easement Easement Easement Easement
- 11. Proposed Right-of-Way Encroachment Easement Easement Easement Easement Easement Easement
- 12. Proposed Right-of-Way Encroachment Easement Easement Easement Easement Easement Easement Easement
- 13. Proposed Right-of-Way Encroachment Easement Easement Easement Easement Easement Easement Easement Easement
- 14. Proposed Right-of-Way Encroachment Easement Easement Easement Easement Easement Easement Easement Easement Easement
- 15. Proposed Right-of-Way Encroachment Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement
- 16. Proposed Right-of-Way Encroachment Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement
- 17. Proposed Right-of-Way Encroachment Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement
- 18. Proposed Right-of-Way Encroachment Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement
- 19. Proposed Right-of-Way Encroachment Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement
- 20. Proposed Right-of-Way Encroachment Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement Easement

**NOTE:**  
 NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF FENCING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF HALKINS.





### LEGEND

[Symbol]	PROPERTY LINE
[Symbol]	CENTERLINE
[Symbol]	SETBACK LINE
[Symbol]	PRELIMINARY 100 YEAR FLOODPLAIN LINE
[Symbol]	EFFECTIVE 100 YEAR FLOODPLAIN LINE
[Symbol]	FLOODWAY LINE
[Symbol]	NOISE RIVER ZONE 1 BUFFER
[Symbol]	NOISE RIVER ZONE 2 BUFFER
[Symbol]	TOP OF RIVER BANK
[Symbol]	GREENWAY EASEMENT
[Symbol]	LANDSCAPE BUFFER
[Symbol]	LIMITS OF DISTURBANCE
[Symbol]	WATER LINE
[Symbol]	OVERHEAD UTILITY
[Symbol]	UNDERGROUND FIBER OPTICS
[Symbol]	ADA ROUTE
[Symbol]	STANDARD CURB AND GUTTER
[Symbol]	SPALL CURB AND GUTTER
[Symbol]	DECORATIVE FENCE
[Symbol]	GRAPE FENCE
[Symbol]	PEDESTRIAN-RATED CONCRETE
[Symbol]	VEHICULAR-RATED CONCRETE
[Symbol]	DECORATIVE CONCRETE
[Symbol]	LIGHT-DUTY ASPHALT
[Symbol]	HEAVY-DUTY ASPHALT
[Symbol]	GRASS/PAVE
[Symbol]	WETLANDS
[Symbol]	TREE CONSERVATION AREA
[Symbol]	COMPRESSED CURB RAMP
[Symbol]	DIRECTIONAL PAVEMENT ARROWS
[Symbol]	LIGHT POLE

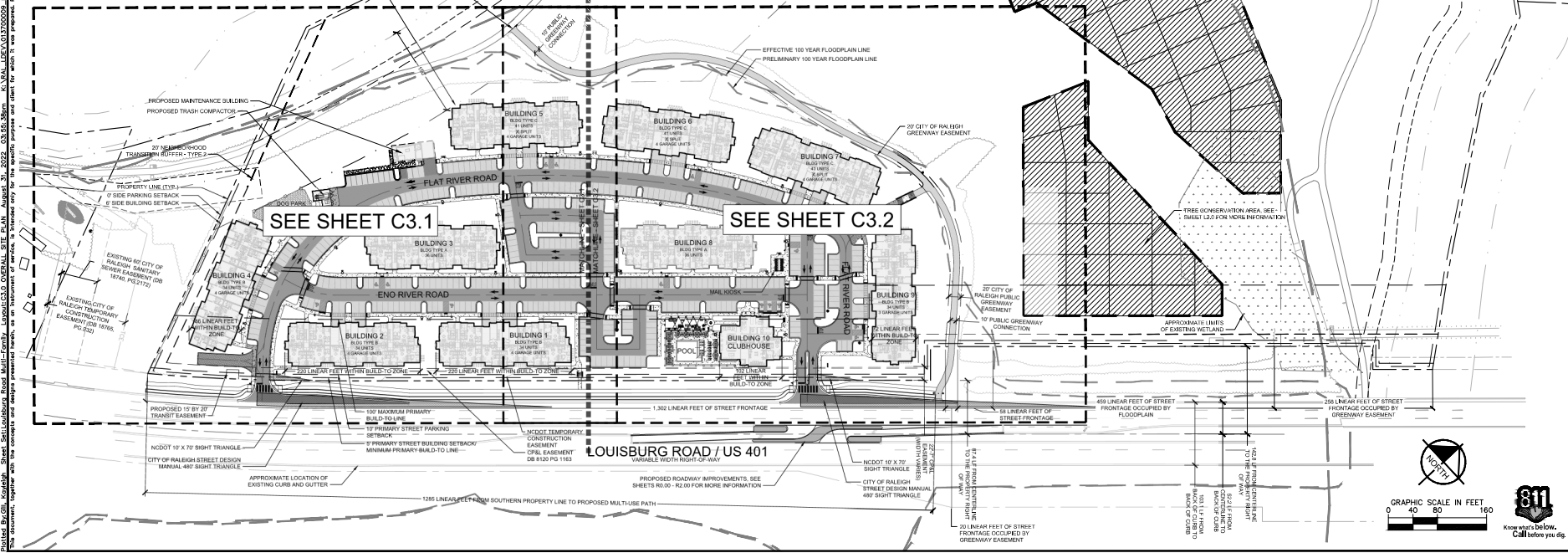
### SITE DATA TABLE

SITE ADDRESS	801 S 8101 LOUISBURG ROAD
SITE ID#	173763462 & 173791867
GROSS SITE ACREAGE	41.08 ACRES (1,788,849 SF)
NET SITE AREA	41.08 ACRES (1,788,849 SF)
EXISTING ZONING	RX-44-CU (2-49-21)
OVERLAP DISTRICTS	N/A
PROPOSED TYPE	PARKING LIMITED (PL)
BUILD-TO-REQUIREMENT	MINIMUM PRIMARY BUILT-TO LINE: 0' MAXIMUM PRIMARY BUILT-TO LINE: 100' BUILDING WITH VARYING PRIMARY BUILT-TO LINES: 20%
BUILD-TO CALCULATIONS	PRIMARY STREET FRONTAGE: 1,360' REQUIRED BUILDING FACADE WITHIN BUILD-TO: 680' (51%) PROVIDED BUA LINE FACADE WITHIN BUILD-TO: 700' (51%)
BUILDING SETBACKS REQUIREMENT	PRIMARY STREET: 5' SIDE LOT LINE: 0' OR 5' REAR LOT LINE: 0' OR 5'
PARKING SETBACKS REQUIREMENT	PRIMARY STREET: 10' SIDE LOT LINE: 0' REAR LOT LINE: 0'
MAXIMUM BUILDING HEIGHT (MEASURED PER 10-40)	4 STORES / 42 FEET 24 STORY ALLOWED (BY MAX. HEIGHT)
CURRENT USE(S)	VACANT
PROPOSED USE(S)	MULTI-FAMILY LIVING
BUILDING SQUARE FOOTAGE(S)	BUILDING TYPE A: 42,121 SF BUILDING TYPE B: 42,121 SF BUILDING TYPE C: 42,738 SF CLUBHOUSE: 6,276 SF MAINTENANCE BUILDING: 1,162 SF TOTAL GROSS SQUARE FOOTAGE: 135,348 SF NUMBER OF UNITS: GROSS SITE ACREAGE: 41.08 ACRES 331 UNITS / 41.42 AC = 7.98 UNITS / AC
RESIDENTIAL DENSITY	TOTAL NUMBER OF STUDIO UNITS: 9 TOTAL NUMBER OF 1-BEDROOM UNITS: 163 TOTAL NUMBER OF 2-BEDROOM UNITS: 144 TOTAL NUMBER OF 3-BEDROOM UNITS: 18 TOTAL NUMBER OF UNITS: 331

### SITE DATA TABLE (CONT.)

PARKING REQUIREMENTS (PER TC-16-20)	1 SPACE / STUDIO UNIT = 6 SPACES NEEDED 1 SPACE / 1-BEDROOM UNIT = 10 SPACES NEEDED 2 SPACES / 2-BEDROOM UNIT = 20 SPACES NEEDED 3 SPACES / 3-BEDROOM UNIT = 30 SPACES NEEDED TOTAL = 424 SPACES
ADA PARKING REQUIREMENTS	1 ADA PARKING SPACE PER ACCESSIBLE UNIT. 17 TOTAL ACCESSIBLE UNITS 17 ADA PARKING SPACES REQUIRED
PARKING PROVIDED	138 PARKING SPACES (1 UNIT / 1.74 STANDING SURFACE SPACES) 17 ADA SURFACE SPACES (1 UNIT / 1.74 STANDING SURFACE SPACES) 1 ADA GARAGE SPACE TOTAL: 156 PARKING SPACES
SHORT-TERM BICYCLE PARKING REQUIREMENT (MINIMUM)	1 SPACE / 60 UNITS = 17 BICYCLE PARKING SPACES NEEDED (9 RACKS TOTAL)
SHORT-TERM BICYCLE PARKING PROVIDED	20 BICYCLE PARKING SPACES (10 RACKS TOTAL)
LONG-TERM BICYCLE PARKING REQUIREMENT (MINIMUM)	NONE
OUTDOOR AMENITY AREA REQUIRED	10% OF GROSS SITE AREA 17,039.88 SF (4.1 AC) TOTAL AMENITY AREA REQUIRED
OUTDOOR AMENITY AREA PROVIDED	18,061 SF (4.15 AC) TOTAL AMENITY AREA 10.1% OF GROSS SITE AREA SEE SHEET L4.0 FOR MORE INFORMATION

- ### GENERAL NOTES:
- NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, CHAINING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
  - PARKING SPACES IN TANDEM WITH GARAGE SPACES SHALL BE ASSIGNED TO THE SAME DWELLING UNIT. TANDEM SPACING SPACES SHALL HAVE A MINIMUM 8 1/2' OF 8.5 FEET BY 36 FEET.
- ### SURVEY NOTE:
- EXISTING INFORMATION TAKEN FROM AN ATLANTIS LAND TITLE SURVEY PROVIDED BY HETTY SURVEYING, P.A. 3206 DURHAM CHAPEL HILL, N.C. 27617. BY 16-02 DURHAM, NC. 17707 PHONE: 919-697-0742 AND DATED MAY 25, 2021.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



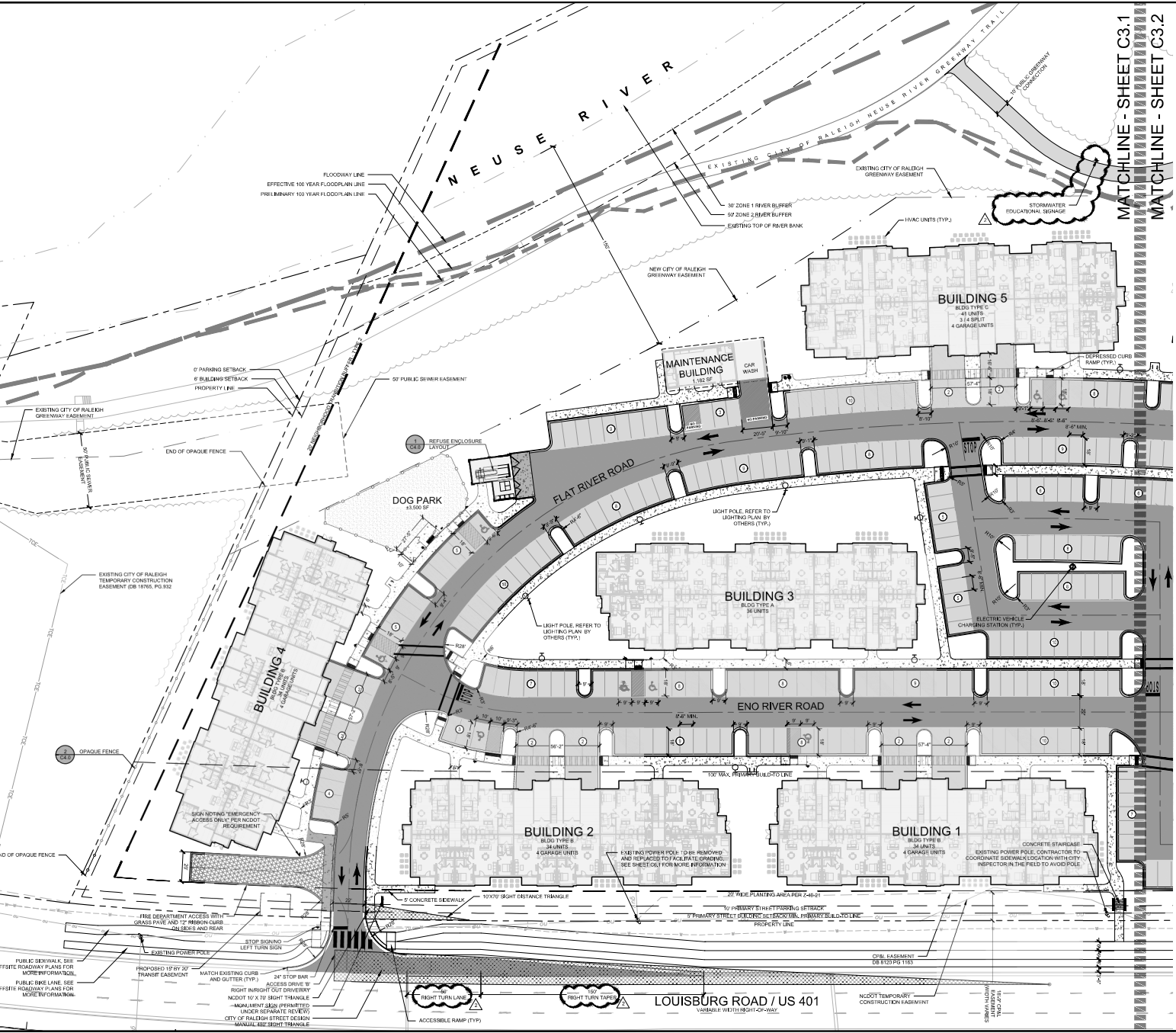
173763462 & 173791867 - 801 S 8101 LOUISBURG ROAD, RALEIGH, NC 27617. PREPARED BY: KIMLEY-HORN AND ASSOCIATES, INC. DATE: 08/26/2022. SCALE: AS SHOWN. DESIGNED BY: MKB. DRAWN BY: MKB. CHECKED BY: MKB. PROJECT NUMBER: 173763462 & 173791867. DATE: 08/26/2022. SCALE: AS SHOWN. DESIGNED BY: MKB. DRAWN BY: MKB. CHECKED BY: MKB.

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431 FAYETTEVILLE STREET, SUITE 600  
RALEIGH, NC 27601  
PHONE: 919-487-2000  
WWW.KIMLEY-HORN.COM

PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT NUMBER	07/13/2023	DATE	08/26/2022	SCALE AS SHOWN
DESIGNED BY	MKB	DRAWN BY	MKB	CHECKED BY
OVERALL SITE PLAN				
LOUISBURG ROAD MULTI-FAMILY PREPARED FOR BUCKINGHAM PROPERTIES, LLC. RALEIGH, NORTH CAROLINA				
SHEET NUMBER	C3.0			

THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION. THE DESIGNER ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY OR FOR ANY CONSTRUCTION COSTS INCURRED AS A RESULT OF THIS PLAN. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE PROJECT. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE PROJECT. THE DESIGNER'S LIABILITY IS LIMITED TO THE DESIGN OF THE PROJECT.



### LEGEND

- PROPERTY LINE
- CENTERLINE
- SETBACK LINE
- PRELIMINARY 100 YEAR FLOODPLAIN LINE
- EFFECTIVE 100 YEAR FLOODPLAIN LINE
- FLOODWAY LINE
- NEUSE RIVER ZONE 1 BUFFER
- NEUSE RIVER ZONE 2 BUFFER
- TOP OF RIVER BANK
- GREENWAY EASEMENT
- LANDSCAPE BUFFER
- LIMITS OF DISTURBANCE
- WATER LINE
- OVERHEAD UTILITY
- UNDERGROUND FIBER OPTICS
- ADA ROUTE
- STANDARD CURB AND GUTTER
- SPIEL CURB AND GUTTER
- DECORATIVE FENCE
- OPAQUE FENCE
- PEDESTRIAN-PAVED CONCRETE
- VEHICULAR-PAVED CONCRETE
- DECORATIVE CONCRETE
- LIGHT-CURB ASPHALT
- HEAVY-CURB ASPHALT
- GRASS-PAVE
- CRUSHED GRANITE
- WETLANDS
- TREE CONSERVATION AREA
- DEPRESSED ACCESSIBLE CURB RAMP
- ACCESSIBLE CURB RAMP
- DIRECTIONAL PAVEMENT ARROWS
- ACCESSIBLE PARKING SPACE (INDICATES VAN ACCESSIBLE)
- ACCESSIBLE PARKING SIGN
- PARKING COUNT
- BENCH
- WASTE RECEPTACLE
- RECYCLING RECEPTACLE
- DOG WASTE RECEPTACLE
- BICYCLE RACK
- BICYCLE PUMP AND REPAIR KIT
- EVUS: ELECTRIC VEHICLE CHARGING STATION
- MONUMENT SIGN
- LIGHT POLE
- POWER POLE
- WHEEL STOP

**GENERAL NOTE:**

- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
- PARKING SPACES IN TANDEN WITH GARAGE SPACES SHALL BE ASSIGNED TO THE SAME OWNING UNIT. ALL TANDEN PARKING SPACES SHALL HAVE A MINIMUM SIZE OF 8.5 FEET BY 36 FEET.

**SURVEY NOTE:**  
 EXISTING INFORMATION TAKEN FROM AN ATLANTIS LAND TITLE SURVEY PROVIDED BY HLEY SURVEYING, P.A. 3308 DURHAM CHAPEL HILL BLVD, STE 1000 DURHAM, NC 27707 (PHONE: (919)985-5292 AND DATED MAY 25, 2021.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

**GRAPHIC SCALE IN FEET**  
 0 15 30 60

**811**  
 Know what's below. Call before you dig.

**PROJECT NUMBER:** 07/13/2023  
**DATE:** 08/26/2023  
**SCALE:** AS SHOWN  
**DESIGNED BY:** MKB  
**DRAWN BY:** MKB  
**CHECKED BY:** MKB

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 431 PANTICHELL STREET, SUITE 600  
 PHOENIX, AZ 85018-1000  
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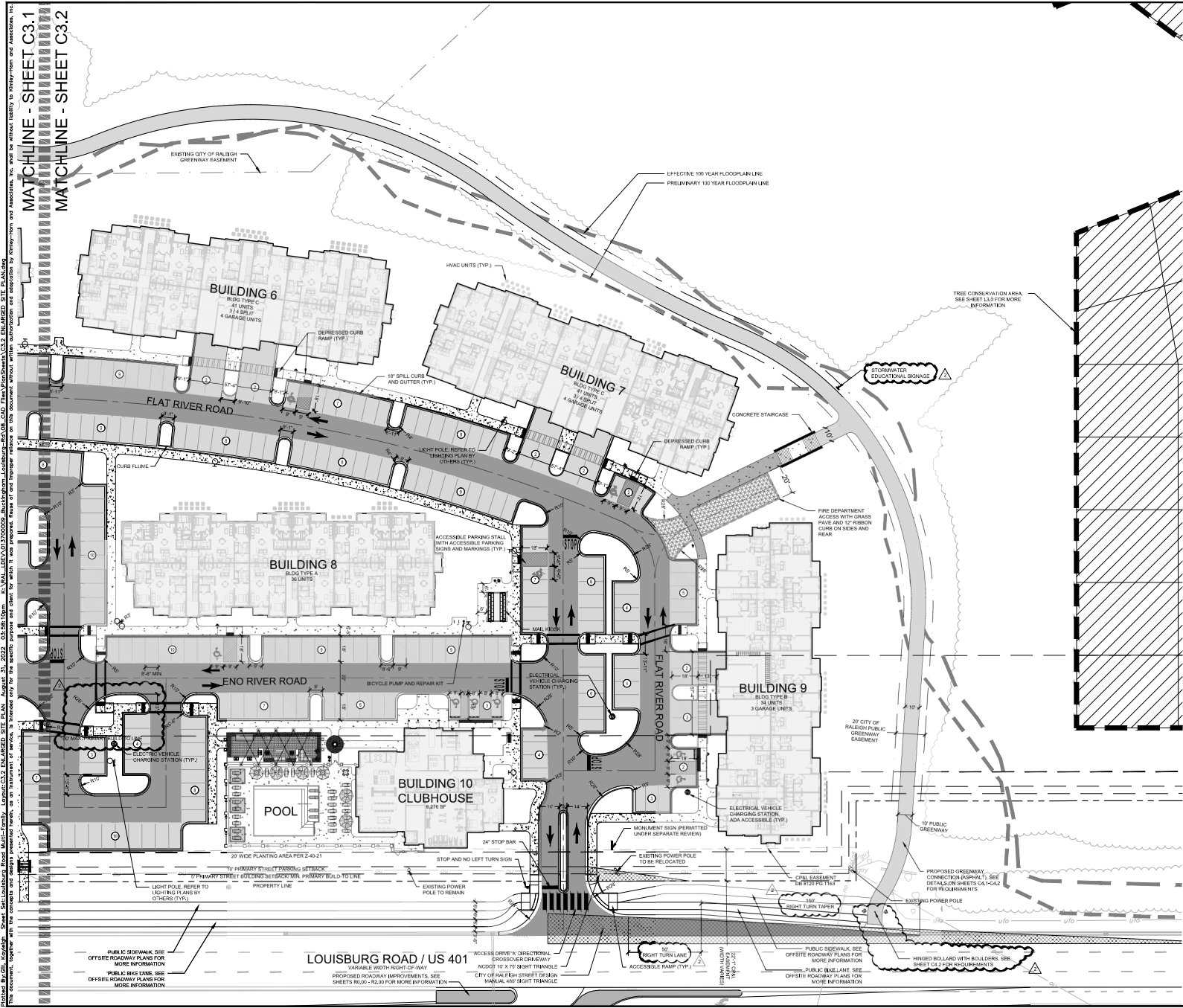
**PRELIMINARY**  
 NOT FOR CONSTRUCTION

## ENLARGED SITE PLAN

**LOUISBURG ROAD MULTI-FAMILY**  
 PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
 RALEIGH, NORTH CAROLINA

NO.	REVISIONS	DATE
6		
5		
4		
3		
2	RESPONSE TO STAFF COMMENTS	08/26/22 MKB
1	RESPONSE TO STAFF COMMENTS	08/20/22 MKB
	ASR INITIAL SUBMITTAL	04/08/22 MKB
	REVISIONS	

**SHEET NUMBER**  
**C3.1**



### LEGEND

- PROPERTY LINE
- CENTERLINE
- SETBACK LINE
- PRELIMINARY 100 YEAR FLOODPLAIN LINE
- EFFECTIVE 100 YEAR FLOODPLAIN LINE
- FLOODWAY LINE
- NEUSE RIVER ZONE 1 BUFFER
- NEUSE RIVER ZONE 2 BUFFER
- TOP OF RIVER BANK
- GREENWAY EASEMENT
- LANDSCAPE BUFFER
- LIMITS OF DISTURBANCE
- WATER LINE
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- UNDERGROUND FIBER OPTICS
- ADA ROUTE
- STANDARD CURB AND GUTTER
- SPILL CURB AND GUTTER
- DECORATIVE FENCE
- OPAQUE FENCE
- PEDESTRIAN-VAIATED CONCRETE
- VEHICULAR-VAIATED CONCRETE
- DECORATIVE CONCRETE
- LIGHT-QUALITY ASPHALT
- HEAVY-QUALITY ASPHALT
- GRASS-PAVE
- CRUSHED GRANITE
- WETLANDS
- TREE CONSERVATION AREA
- DEPRESSED ACCESSIBLE CURB RAMP
- ACCESSIBLE CURB RAMP
- DIRECTIONAL PAVEMENT ARROWS
- ACCESSIBLE PARKING SPACE (V INDICATES VAN ACCESSIBLE)
- ACCESSIBLE PARKING SIGN
- PARKING COUNT
- BENCH
- WASTE RECEPTACLE
- RECYCLING RECEPTACLE
- DOG WASTE RECEPTACLE
- BICYCLE RACK
- BICYCLE PUMP AND REPAIR KIT
- LEVELS ELECTRIC VEHICLE CHARGING STATION
- MONUMENT SIGN
- LIGHT POLE
- POWER POLE
- WHEEL STOP

- GENERAL NOTE:**
- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
  - PARKING SPACES IN TANKERS WITH CHARGE SPACES SHALL BE ASSIGNED TO THE SAME CHARGING UNIT. ALL TANKER PARKING SPACES SHALL HAVE A MINIMUM SIZE OF 8.5 FEET BY 36 FEET.

**SURVEY NOTE:**  
 EXISTING INFORMATION TAKEN FROM AN ATLANTIS LAND TITLE SURVEY PROVIDED BY HLEY SURVEYING, P.A. 3338 DUNHAM CHAPEL HILL BLVD, STE 100 RALEIGH, NC 27609. PHONE: (919)985-5292 AND DATED MAY 25, 2021.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

GRAPHIC SCALE IN FEET  
 0 15 30 60

811 Know what's below. Call before you dig.

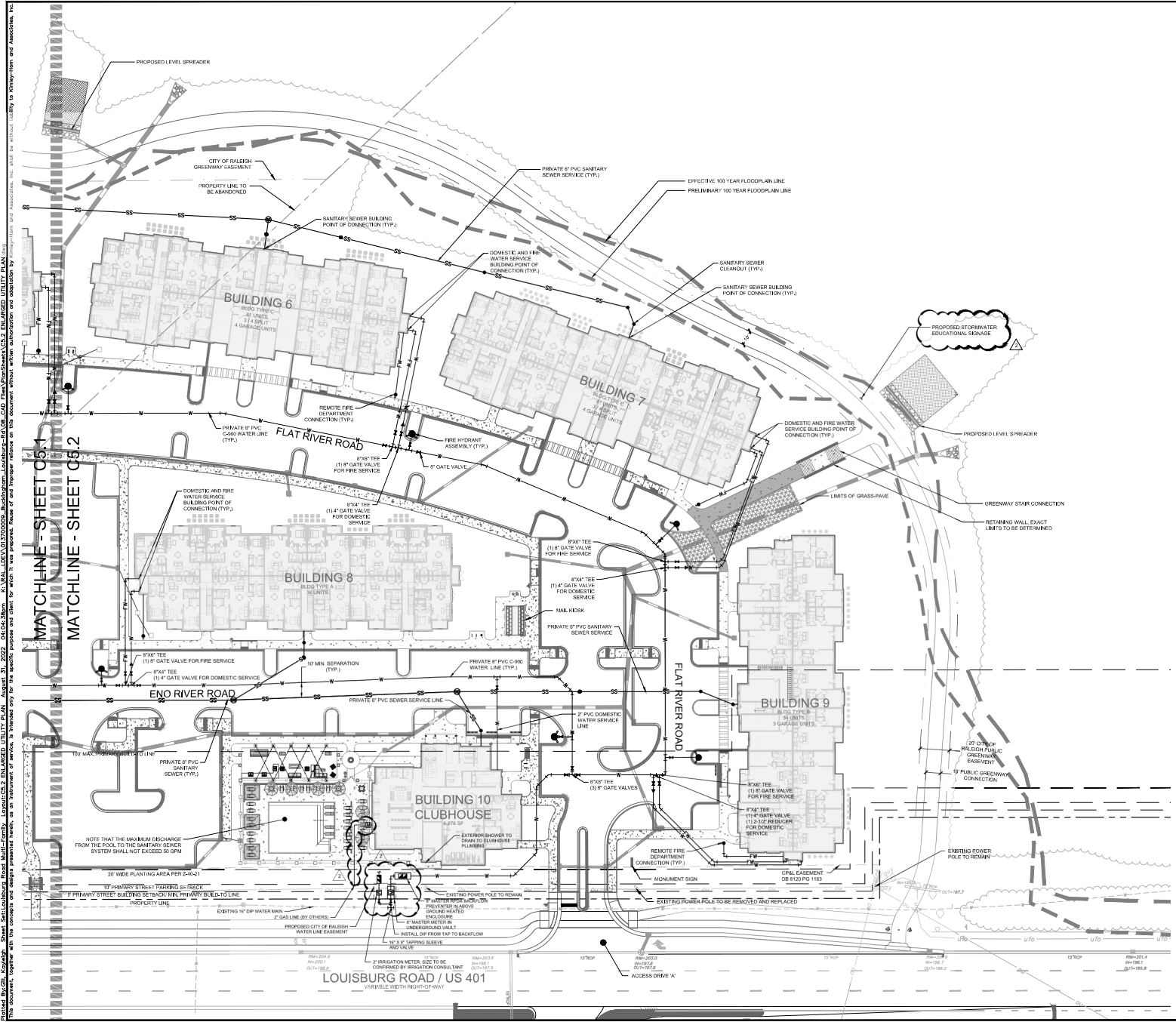
PROJECT NUMBER	07/13/2023	DATE	08/26/2022	SCALE	AS SHOWN	DESIGNED BY	MKB	DRAWN BY	MKB	CHECKED BY	MKB
<p><b>PRELIMINARY</b> NOT FOR CONSTRUCTION</p>											
<p><b>ENLARGED SITE PLAN</b></p>											
<p><b>LOUISBURG ROAD MULTI-FAMILY</b>          PREPARED FOR  <b>BUCKINGHAM PROPERTIES, LLC.</b>          RALEIGH, NORTH CAROLINA</p>											
<p>SHEET NUMBER <b>C3.2</b></p>										<p>DATE</p>	

MATCHLINE - SHEET C3.1  
 MATCHLINE - SHEET C3.2

**Kimley-Horn**  
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 431 FAYETTEVILLE STREET, SUITE 600  
 RALEIGH, NC 27601  
 PHONE: 919-977-2000  
 WWW.KIMLEY-HORN.COM







**UTILITY LEGEND**

---	PROPERTY LINE
---	WATER LINE
---	FIRE LINE
---	SANITARY SEWER LINE
---	ELECTRIC
---	FIBER OPTIC
---	GAS
---	POWER
---	TELECOMMUNICATION
□	CURB
○	LIGHT POLE
⊗	WATER METER
⊕	GATE VALVE
⊗	POINT OF CONNECTION
⊕	BACKFLOW PREVENTOR
⊗	RPE TEE/BENDS
⊕	REDUCER
⊗	FIRE HYDRANT (FH)
⊕	REMOTE FIRE DEPARTMENT CONNECTION (FDC)
⊗	SANITARY SEWER CLEANOUT (SSCO)
⊕	SANITARY SEWER MANHOLE (SSMH)
⊗	SANITARY SEWER GREASE TRAP

**GENERAL NOTE:**  
NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

**SURVEY NOTE:**  
EXISTING INFORMATION TAKEN FROM AN ATLANTIS LAND TITLE SURVEY PROVIDED BY RILEY SURVEYING, P.A. 3338 DURHAM CHAPEL HILL BLVD, STE 8-300 DURHAM, NC 27707 PHONE: (919)867-0744 AND DATED MAY 26, 2021, AND UPDATED ON AUGUST 13, 2022.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NC DOT STANDARDS AND SPECIFICATIONS.

6	NO.	DATE	BY
5			
4			
3			
2	RESPONSE TO STAFF COMMENTS	08/26/22 MKC	
1	RESPONSE TO STAFF COMMENTS	08/20/22 MKC	
	ASR INITIAL SUBMITTAL	04/08/22 MKC	
	REVISIONS		

**Kimley-Horn**  
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421 PATTERHALL STREET, SUITE 600  
DURHAM, NC 27701  
PHONE: 919-487-7000  
WWW.KIMLEY-HORN.COM

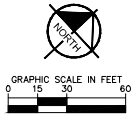
**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT NUMBER	07/13/2019
DATE	08/26/2022
SCALE	AS SHOWN
DESIGNED BY	MKB
DRAWN BY	KHC
CHECKED BY	MKB

**ENLARGED UTILITY PLAN**

**LOUISBURG ROAD MULTI-FAMILY**  
PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**C5.2**



2022 L1.0 OVERALL LANDSCAPE PLAN  
 PROJECT NUMBER: 27-2022-07-15-15  
 DATE: 09/28/2022  
 SCALE: AS SHOWN  
 DESIGNED BY: MKB  
 DRAWN BY: MKB  
 CHECKED BY: MKB  
 PREPARED FOR: BUCKINGHAM PROPERTIES, LLC., RALEIGH  
 PREPARED BY: KIMLEY-HORN AND ASSOCIATES, INC., RALEIGH  
 PROJECT LOCATION: 421 PATTERICK HALL STREET, SUITE 400, RALEIGH, NC 27601  
 PHONE: 919-477-2000  
 WWW.KIMLEY-HORN.COM

### LEGEND

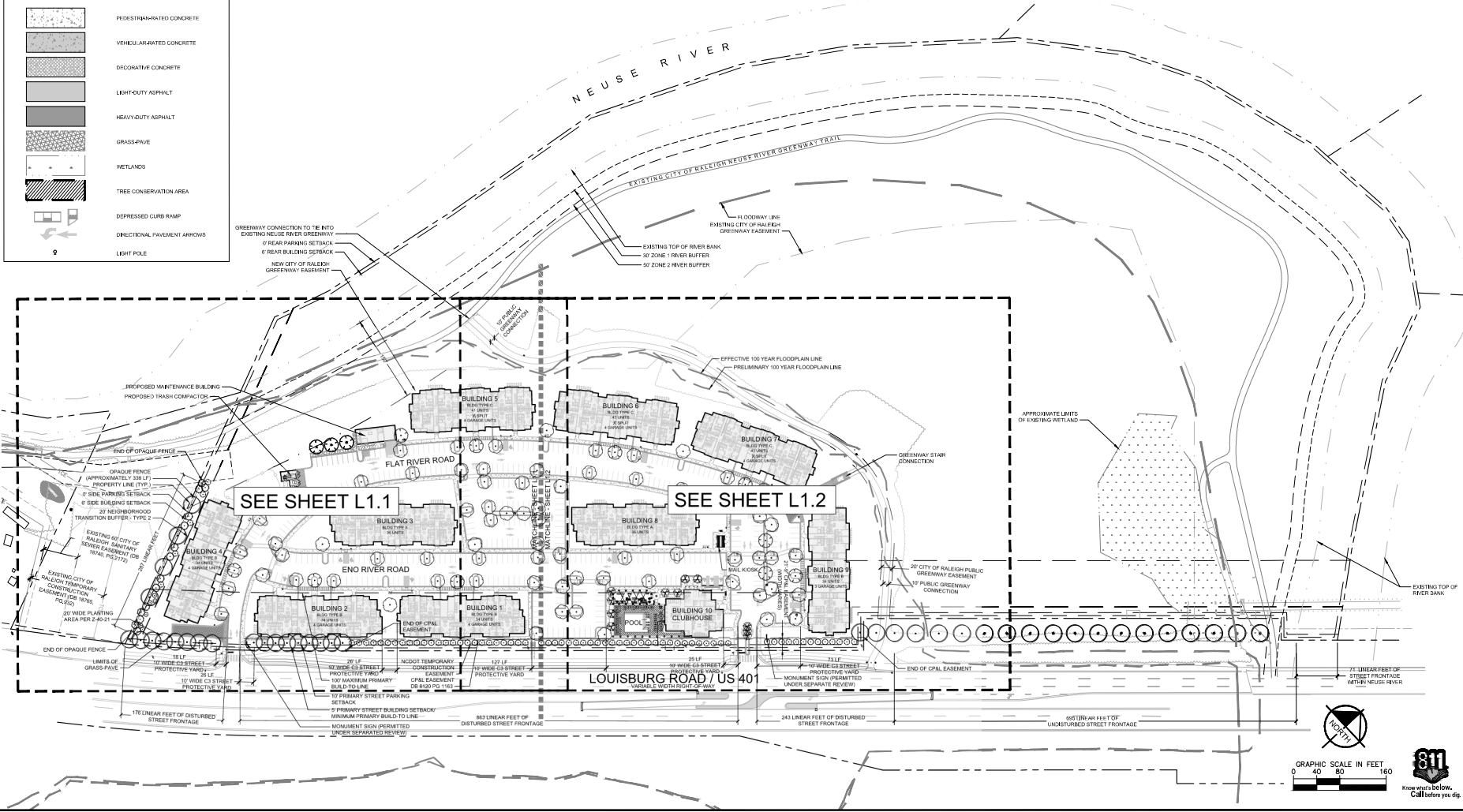
- PROPERTY LINE
- SETBACK LINE
- PRELIMINARY 100 YEAR FLOODPLAIN LINE
- EFFECTIVE YEAR FLOODPLAIN LINE
- FLOODWAY LINE
- NEUSE RIVER ZONE 1 BUFFER
- NEUSE RIVER ZONE 2 BUFFER
- TOP OF RIVER BANK
- GREENWAY EASEMENT
- LANDSCAPE BUFFER
- LIMITS OF DISTURBANCE
- WATER LINE
- OVERHEAD UTILITY
- UNDERGROUND FIBER OPTICS
- STANDARD CURB AND GUTTER
- SPILL CURB AND GUTTER
- DECORATIVE FENCE
- OPAQUE FENCE
- PEDESTRIAN-RATED CONCRETE
- VEHICULAR-RATED CONCRETE
- DECORATIVE CONCRETE
- LIGHT-DUTY ASPHALT
- HEAVY-DUTY ASPHALT
- GRASS PAVEMENT
- WETLANDS
- TREE CONSERVATION AREA
- DEPRESSED CURB RAMP
- DIRECTIONAL PAVEMENT ARROWS
- LIGHT POLE

**SURVEY NOTE:**  
 SURVEY INFORMATION TAKEN FROM AN ATLAS PLS LAND TITLE SURVEY PROVIDED BY REILEY SURVEYING, P.A., 2326 DURHAM CHARPEL HILL, BLVD, SUITE 400, DURHAM, NC 27707. PHONE: 919-867-4742 AND DATED MAY 25, 2021, AND UPDATED ON AUGUST 13, 2022.

**ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.**

**GENERAL LANDSCAPE NOTES:**  
 1. TREES SHOWN ONLY ON THIS SHEET FOR CLARITY. SEE ENCLOSUREMENTS FOR FULL PLANTING DESIGN.  
 2. NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.  
 3. ALL PLANT MATERIAL SHALL BE STAGED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.  
 4. ALL PROPOSED PLANT MATERIALS SHALL COMPLY WITH THE EDITION AND CURRENT EDITION OF ANSI Z603.1 - AMERICAN STANDARD FOR NURSERY STOCK.  
 5. ALL VEGETATION WITHIN RIGHT-OF-WAY EASEMENTS SHALL BE CLEAR BETWEEN 2' AND 9' HEIGHT.  
 6. ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.  
 7. FOR LANDSCAPE NOTES, DETAILS, AND PLANT SCHEDULE, SEE SHEET L1.0.  
 8. NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

GENERAL LANDSCAPE REQUIREMENTS			
UDO REQUIREMENTS	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	UDO SECTION
PER Z-40-21, WHERE TREE REMOVAL OCCURS ALONG HIGHWAY 401 / LOUISBURG ROAD, PLANTINGS SHALL BE INSTALLED AT A RATE OF 4 SHADE TREES AND 15 SHRUBS PER 100 LINEAR FEET WITHIN THE AREA BETWEEN THE RIGHT-OF-WAY IF THERE IS AN ENCROACHMENT AGREEMENT, WHERE OVERHEAD UTILITIES EXIST. UNDERSTORY TREES MAY BE SUBSTITUTED AT A RATE OF 2 UNDERSTORY TREES PER 1 SHADE TREE IF PLANTINGS ARE ALLOWED WITHIN SHADY UTILITY EASEMENT AREA.	1,282 LF TOTAL OF TREE REMOVAL ALONG HIGHWAY 401 / LOUISBURG ROAD 487 LF IN PROXIMITY TO OVERHEAD POWER LINES 100' ± ± 4' 825 LF IN PROXIMITY TO OVERHEAD UNDERSTORY TREES <b>14 TREES TOTAL REQUIRED</b> 1,282 LF / 100' ± ± = <b>12.82 SHRUBS REQUIRED</b>	18 PROPOSED SHADE TREES 86 PROPOSED UNDERSTORY TREES (2 UNDERSTORY TREES PER 1 SHADE TREE) <b>298 PROPOSED SHRUBS</b>	Z-40-21 CONDITIONAL ZONING
STREET TREES SHALL BE PLANTED AT A RATE OF 1 TREE FOR EVERY 40 FEET OF STREET FRONTAGE EXCLUDING ANY ENTRY DRIVIS	1,877 TOTAL LINEAR FEET OF STREET FRONTAGE (EXCLUDING ENTRY DRIVIS AND NEUSE RIVER) 1,977 LF / 40' ± ± = <b>49 STREET TREES REQUIRED</b>	34 CANOPY TREES PROVIDED 66 UNDERSTORY TREES PROVIDED (2 UNDERSTORY TREES PER 1 SHADE TREE)	SECTION 5.6.6
THERE SHALL BE NO LESS THAN 1 TREE FOR EVERY 2,000 SF OF PARKING AREA	153,262 SF / 2,000 ± ± = <b>77 TREES TOTAL REQUIRED</b>	81 PROPOSED SHADE TREES	SECTION 7.1.7
A 20' WIDE TYPE 2 NEIGHBORHOOD TRANSITION BUFFER CONSISTING OF 5 SHADE TREES, 4 UNDERSTORY TREES, AND 30 SHRUBS FOR EVERY 100 LINEAR FEET	287 LF / 100' ± ± = <b>18 SHADE TREES REQUIRED</b> 287 LF / 100' ± ± = <b>87 SHRUBS REQUIRED</b>	18 PROPOSED SHADE TREES 11 PROPOSED UNDERSTORY TREES 87 PROPOSED SHRUBS	SECTION 7.2.4
A 10' WIDE C3 (30 SHRUBS FOR EVERY 100 LINEAR FEET), STREET PROTECTIVE YARD SHALL BE PROVIDED IN ALL AREAS WHERE THE PARKING LOT CAN BE SEEN FROM THE RIGHT OF WAY	295 LF / 100' ± ± = <b>89 SHRUBS REQUIRED</b>	129 PROPOSED EVERGREEN SHRUBS	SECTION 7.1.7
TRASH COLLECTION, TRASH COMPACTOR, RECYCLING COLLECTION AND OTHER SIMILAR SERVICE AREAS MUST BE SCREENED FROM VIEW FROM ADJACENT PROPERTY OR PUBLIC STREET RIGHT-OF-WAY.	AS NEEDED	25 PROPOSED EVERGREEN SHRUBS	SECTION 7.2.5.C



**Kimley-Horn**  
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**PRELIMINARY**  
NOT FOR CONSTRUCTION

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PROJECT NUMBER	27-2022-07-15-15
DATE	09/28/2022
SCALE	AS SHOWN
DESIGNED BY	MKB
DRAWN BY	MKB
CHECKED BY	MKB

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**OVERALL LANDSCAPE PLAN**

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**LOUISBURG ROAD MULTI-FAMILY**  
 PREPARED FOR: BUCKINGHAM PROPERTIES, LLC., RALEIGH  
 NORTH CAROLINA

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SHEET NUMBER  
**L1.0**

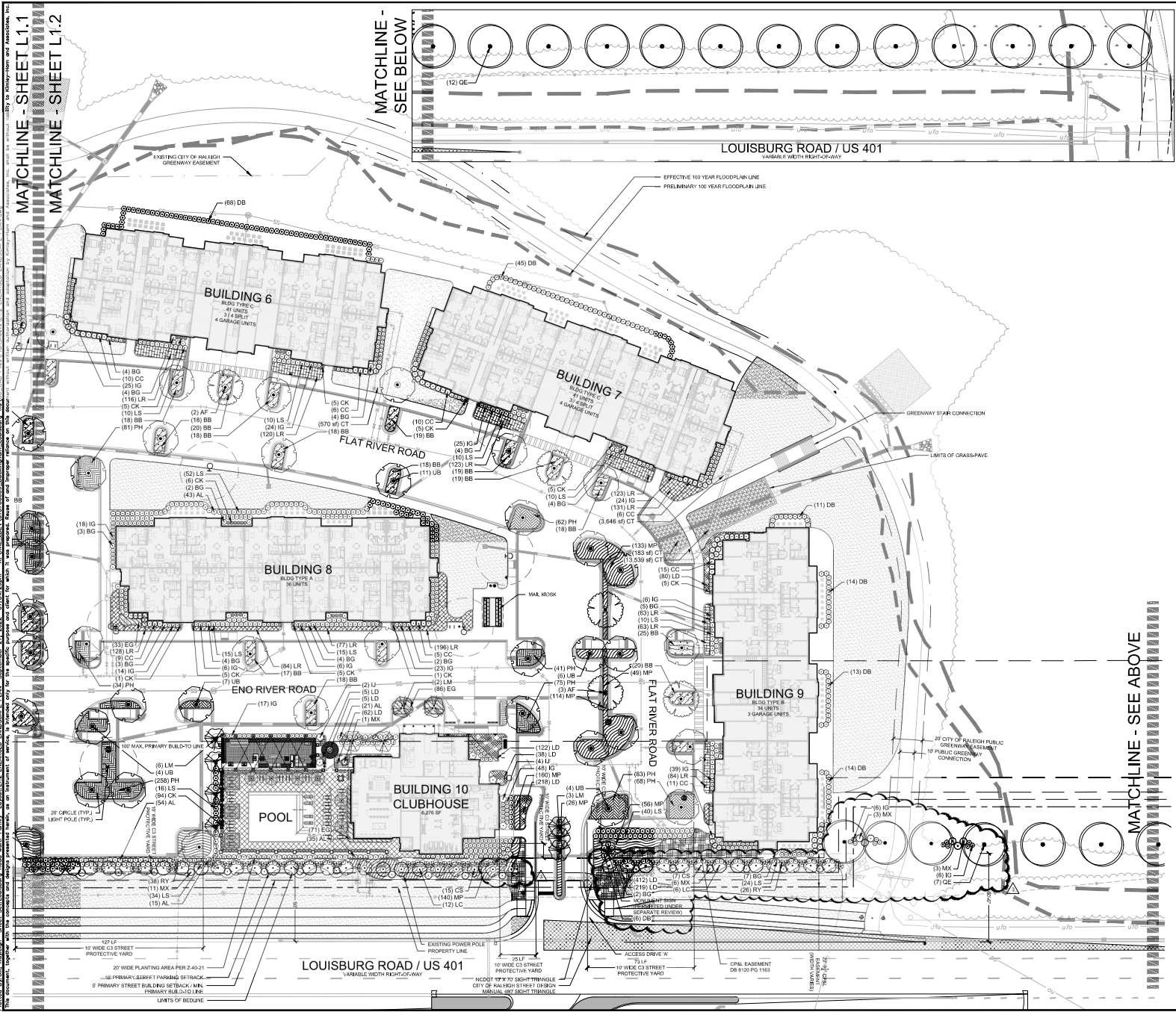




MATCHLINE - SHEET L1.1  
 MATCHLINE - SHEET L1.2

MATCHLINE -  
 SEE BELOW

MATCHLINE - SEE ABOVE



### LEGEND

	PROPERTY LINE
	SETBACK LINE
	PRELIMINARY 100 YEAR FLOODPLAIN LINE
	EFFECTIVE 100 YEAR FLOODPLAIN LINE
	FLOODWAY LINE
	NOISE RIVER ZONE 1 BUFFER
	NOISE RIVER ZONE 2 BUFFER
	TOP OF RIVER BANK
	GREENWAY EASEMENT
	LANDSCAPY BUFFER
	LIMITS OF DISTURBANCE
	WATER LINE
	OVERHEAD UTILITY
	UNDERGROUND FIBER OPTICS
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	DECORATIVE FENCE
	OPAGUE FENCE
	PRECAST CONCRETE
	VEHICULAR CONCRETE
	DECORATIVE CONCRETE
	LIGHT-DUTY ASPHALT
	HEAVY-DUTY ASPHALT
	GRASS/PAVE
	AMENITY AREA
	WETLANDS
	TREE CONSERVATION AREA
	DEPRESSED CURB RAMP
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE PARKING SPACE (IF WIDENED, SEE ACCESSIBLE)
	ACCESSIBLE PARKING SIGN
	BENCH
	WASTE RECEPTACLE
	DOG WASTE RECEPTACLE
	MONUMENT SIGN
	BICYCLE PUMP AND REPAIR KIT
	LEVEL II ELECTRICAL VEHICLE CHARGING STATION
	MONUMENT SIGN
	LIGHT POLE
	POWER POLE

- GENERAL NOTE**
- NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
  - PARKING SPACES IN TANDEN WITH GARAGE SPACES SHALL BE ASSIGNED TO THE SAME DWELLING UNIT. ALL TANDEN PARKING SPACES SHALL HAVE A MINIMUM SET-OF-SIDEWALK BY THE CITY.
  - ALL AREAS DISTURBED FOR THE SANITARY SEWER CONNECTION THAT ARE NOT OTHERWISE PLANNED SHALL BE RESTORED TO ORIGINAL OR LOWER MAX. THE NATIVE BEDROCK COVERAGE SHALL BE PER CITY PARKS AND RECREATION APPROVED LIST.

**SURVEY NOTE:**  
 EXISTING INFORMATION TAKEN FROM AN ATLANTIS LAND TITLE SURVEY PROVIDED BY RILEY SURVEYING, P.A. 3326 DURHAM CHAPEL HILL BLVD, SUITE 600 DURHAM, NC 27704 PHONE: 919-487-6142 AND DATED MAY 25, 2021, AND UPDATED ON AUGUST 13, 2022.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDDOT STANDARDS AND SPECIFICATIONS.

GRAPHIC SCALE IN FEET  
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811  
 Know what's below. Call before you dig.

PROJECT NUMBER	07/30/2023
DATE	09/28/2022
SCALE	AS SHOWN
DESIGNED BY	MKB
DRAWN BY	MKB
CHECKED BY	MKB

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

**ENLARGED LANDSCAPE PLAN**

LOUISBURG ROAD MULTI-FAMILY PREPARED FOR BUCKINGHAM PROPERTIES, LLC. RALEIGH NORTH CAROLINA

SHEET NUMBER L1.2

**Kimley-Horn**  
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 421 PARTICULATE STREET, SUITE 600  
 RALEIGH, NC 27603  
 PHONE: 919-487-7200  
 WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY
6			
5			
4	RESPONSE TO STAFF COMMENTS	09/28/22 MKG	
3	RESPONSE TO STAFF COMMENTS	09/28/22 MKG	
2	RESPONSE TO STAFF COMMENTS	09/22/22 MKG	
1	RESPONSE TO STAFF COMMENTS	09/22/22 MKG	
	ASR INITIAL SUBMITTAL	04/08/22 MKG	



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**STUDIO M**  
ARCHITECTURE & PLANNING

**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT NUMBER	01/20/2022
DATE	08/30/2022
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

**EXTERIOR ELEVATIONS -  
BUILDING 1**

**LOUISBURG ROAD  
MULTI-FAMILY**  
PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**A1.1**



6	NO	REVISIONS	DATE	BY
5				
4				
3				
2				
1				

RESPONSE TO STAFF COMMENTS 06/09/22  
 INITIAL ASK SUBMITTAL 04/09/22

**STUDIO M**  
 ARCHITECTURE & PLANNING

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

PROJECT NUMBER	DATE
08/30/2022	08/30/2022
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

**EXTERIOR ELEVATIONS -  
 BUILDING 2**

**LOUISBURG ROAD  
 MULTI-FAMILY**  
 PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
 RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**A1.2**



**BUILDING 3 - SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 3 - NORTH ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 3 - WEST ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 3 - EAST ELEVATION**  
Scale: 1/8" = 1'-0"

PROJECT NUMBER	DATE	BY
09/30/2022	09/30/2022	RESPONSE TO STAFF COMMENTS
SCALE: AS SHOWN	DESIGNED BY	INITIAL ASK SUBMITTAL
DRAWN BY	CHECKED BY	REVISIONS
		DATE

**STUDIO M**  
ARCHITECTURE & PLANNING

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**EXTERIOR ELEVATIONS - BUILDING 3**

**LOUISBURG ROAD MULTI-FAMILY**  
PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**A1.3**



**BUILDING 4 - EAST ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 4 - WEST ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 4 - SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 4 - NORTH ELEVATION**  
Scale: 1/8" = 1'-0"

6	NO.	REVISIONS	DATE	BY
1	1	RESPONSE TO STAFF COMMENTS	06/09/22	
2	2	INITIAL ASR SUBMITTAL	04/08/22	

**STUDIO M**  
ARCHITECTURE & PLANNING

**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT NUMBER	DATE
09/30/2022	09/30/2022
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

**EXTERIOR ELEVATIONS - BUILDING 4**

**LOUISBURG ROAD MULTI-FAMILY**  
PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**A1.4**



NO.	REVISIONS	DATE	BY
1	INITIAL ASK SUBMITTAL	04/08/22	
2	RESPONSE TO STAFF COMMENTS	06/07/22	

**STUDIO M**  
ARCHITECTURE & PLANNING

**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT NUMBER	08/20/2022
DATE	SCALE: AS SHOWN
DESIGNED BY	DRAWN BY
CHECKED BY	

**EXTERIOR ELEVATIONS - BUILDING 5**

**LOUISBURG ROAD MULTI-FAMILY**  
PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**A1.5**



**BUILDING 6 - SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 6 - NORTH ELEVATION**



**BUILDING 6 - WEST ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 6 - EAST ELEVATION**  
Scale: 1/8" = 1'-0"

NO.	REVISIONS	DATE	BY
1	INITIAL ASK SUBMITTAL	04/08/22	
2	RESPONSE TO STAFF COMMENTS	06/07/22	

**STUDIO M**  
ARCHITECTURE & PLANNING

**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT NUMBER	08/20/2022
DATE	SCALE: AS SHOWN
DESIGNED BY	DRAWN BY
CHECKED BY	

**EXTERIOR ELEVATIONS - BUILDING 6**

**LOUISBURG ROAD MULTI-FAMILY**  
PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**A1.6**





**BUILDING 7 - SOUTH ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 7 - NORTH ELEVATION**



**BUILDING 7 - WEST ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 7 - EAST ELEVATION**  
Scale: 1/8" = 1'-0"

No.	REVISIONS	DATE	BY
1	INITIAL ASK SUBMITTAL	04/08/22	
2	RESPONSE TO STAFF COMMENTS	06/07/22	

**STUDIO M**  
ARCHITECTURE & PLANNING

**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT NUMBER	08/20/2022
DATE	08/20/2022
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

**EXTERIOR ELEVATIONS - BUILDING 7**

**LOUISBURG ROAD MULTI-FAMILY**  
PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**A1.7**



PROJECT NUMBER	DATE	BY
09/30/2022	09/30/2022	STUDIO M
SCALE AS SHOWN	DESIGNED BY	REVISIONS
DRAWN BY	INITIAL ASK SUBMITTAL	DATE
CHECKED BY	RESPONSE TO STAFF COMMENTS	09/30/22
	INITIAL ASK SUBMITTAL	04/28/22

**STUDIO M**  
ARCHITECTURE & PLANNING

**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT NUMBER	DATE	BY
09/30/2022	09/30/2022	STUDIO M
SCALE AS SHOWN	DESIGNED BY	REVISIONS
DRAWN BY	INITIAL ASK SUBMITTAL	DATE
CHECKED BY	RESPONSE TO STAFF COMMENTS	09/30/22
	INITIAL ASK SUBMITTAL	04/28/22

**EXTERIOR ELEVATIONS - BUILDING 8**

**LOUISBURG ROAD MULTI-FAMILY**  
PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**A1.8**



**BUILDING 9 - WEST ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 9 - EAST ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 9 - NORTH ELEVATION**  
Scale: 1/8" = 1'-0"



**BUILDING 9 - EAST ELEVATION**  
Scale: 1/8" = 1'-0"

6	5	4	3	2	1	No.	REV.	DATE	BY

**STUDIO M**  
ARCHITECTURE & PLANNING

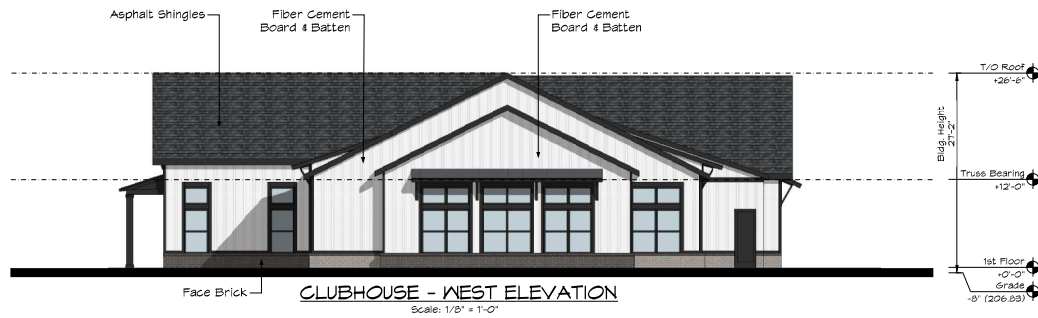
**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT NUMBER	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
09/30/2022	09/30/2022	AS SHOWN			

**EXTERIOR ELEVATIONS - BUILDING 9**

**LOUISBURG ROAD MULTI-FAMILY**  
PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**A1.9**



NO.	DATE	BY
1	06/30/22	
2	06/30/22	
3		
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6		

**STUDIO M**  
ARCHITECTURE & PLANNING

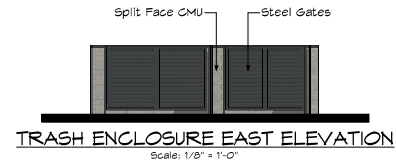
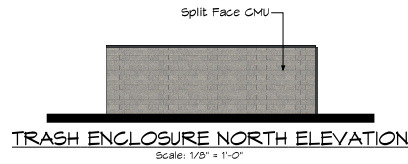
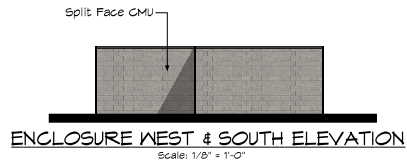
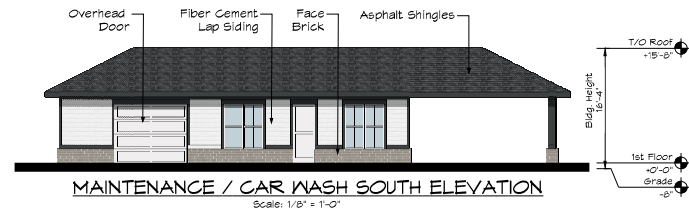
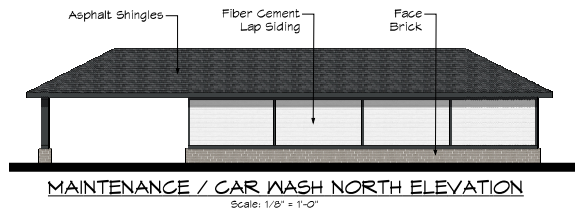
**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT NUMBER	01-2009
DATE	06/30/2022
SCALE	AS SHOWN
DRAWN BY	
CHECKED BY	

**EXTERIOR ELEVATIONS - CLUBHOUSE**

**LOUISBURG ROAD MULTI-FAMILY**  
PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**A1.10**



NO.	REVISIONS	DATE	BY
1	RESPONSE TO STAFF COMMENTS	06/30/22	
2	INITIAL ASK SUBMITTAL	04/04/22	
3			
4			
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6			

**STUDIO M**  
ARCHITECTURE & PLANNING

**PRELIMINARY**  
NOT FOR CONSTRUCTION

PROJECT NUMBER	01-10009
DATE	06/30/2022
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

**EXTERIOR ELEVATIONS**  
**ACCESSORY**

**LOUISBURG ROAD**  
**MULTI-FAMILY**  
PREPARED FOR  
**BUCKINGHAM PROPERTIES, LLC.**  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
**A1.11**



APARTMENTS - FRONT SIDE PERSPECTIVE VIEW



APARTMENTS - BACK SIDE PERSPECTIVE VIEW



CLUBHOUSE - FRONT SIDE PERSPECTIVE VIEW



CLUBHOUSE - FRONT SIDE PERSPECTIVE VIEW

NO.	DATE	BY
6		
5		
4		
3		
2		
1	06/30/22	
	04/28/22	

STUDIO M  
ARCHITECTURE & PLANNING

PRELIMINARY  
NOT FOR CONSTRUCTION

PROJECT NUMBER	01-2009
DATE	06/30/2022
SCALE	AS SHOWN
DRAWN BY	
CHECKED BY	

EXTERIOR ELEVATIONS -  
PERSPECTIVES

LOUISBURG ROAD  
MULTI-FAMILY  
PREPARED FOR  
BUCKINGHAM PROPERTIES, LLC,  
RALEIGH, NORTH CAROLINA

SHEET NUMBER  
A1.12