

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____
<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input checked="" type="checkbox"/> Frequent Transit Development Option	Zoning Case #: _____
<input type="checkbox"/> Open lot		Design Alternate #: _____

## GENERAL INFORMATION

Development name: KING FAMILY CONDOMINIUMS

Inside City limits? Yes  No

Property address(es): 522 E. WHITAKER MILL ROAD

Site P.I.N.(s): 1704-88-8587

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

THIS PROJECT PROPOSES THE DEMOLITION OF THE EXISTING DUPLEX TO CONSTRUCT SIX, 3-STORY TOWN HOMES. THESE PLANS DISPLAY THE NEW BUILDING FOOTPRINTS; DRIVE ACCESS FROM E. WHITAKER MILL RD; REQUIRED LANDSCAPING; AND THE REQUIRED UTILITY CONNECTIONS. EACH UNIT CONTAINS ONE PARKING AREA IN FRONT OF THE UNIT AND A ONE-CAR GARAGE.

**Current Property Owner(s):** TIM KING

Company: KING FAMILY REAL ESTATE, LLC Title:

Address: 10724 BEAVER POND LANE, RALEIGH, NC 27614

Phone #: 919-632-9832 Email: TIMKINGPROPERTIES@GMAIL.COM

**Applicant Name (If different from owner. See "who can apply" in instructions):** SAMUEL R. NYE, PE

Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder

Company: THE SITE GROUP, PLLC Address: 1111 OBERLIN ROAD, RALEIGH, NC 27605

Phone #: 919-996-9136	Email: SRN@THESITEGROUP.NET
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name: SAMUEL R. NYE, PE	
Company: THE SITE GROUP, PLLC	Address: 1111 OBERLIN ROAD, RALEIGH, NC 27605
Phone #: 919-996-9136	Email: SRN@THESITEGROUP.NET

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-10	Existing gross floor area (not to be demolished): 0.00 AC (0 SF.)
Gross site acreage: 0.41 AC (17,998 SF.)	Existing gross floor area to be demolished: 0.04 AC (1,889 SF.)
# of parking spaces proposed: 12 (6 GARAGE)	New gross floor area: 0.37 AC (16,020 SF.)
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new): 0.37 AC (16,020 SF.)
Overlay District (if applicable): FTDO	Proposed # of buildings: 6
Existing use (UDO 6.1.4): DUPLEX	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): CONDOMINIUMS	Proposed # of basement levels (UDO 1.5.7.A.6) 0

**STORMWATER INFORMATION**

Imperious Area on Parcel(s):  Existing (sf) <u>5,503 SF.</u> Proposed total (sf) <u>10,223 SF.</u>	Impervious Area for Compliance (includes ROW):  Existing (sf) <u>828 SF.</u> Proposed total (sf) <u>1,012 SF.</u>
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**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units: 6	Total # of hotel bedrooms: 0
# of bedroom units: 1br _____ 2br _____ 3br <u>X</u> 4br or more _____	
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

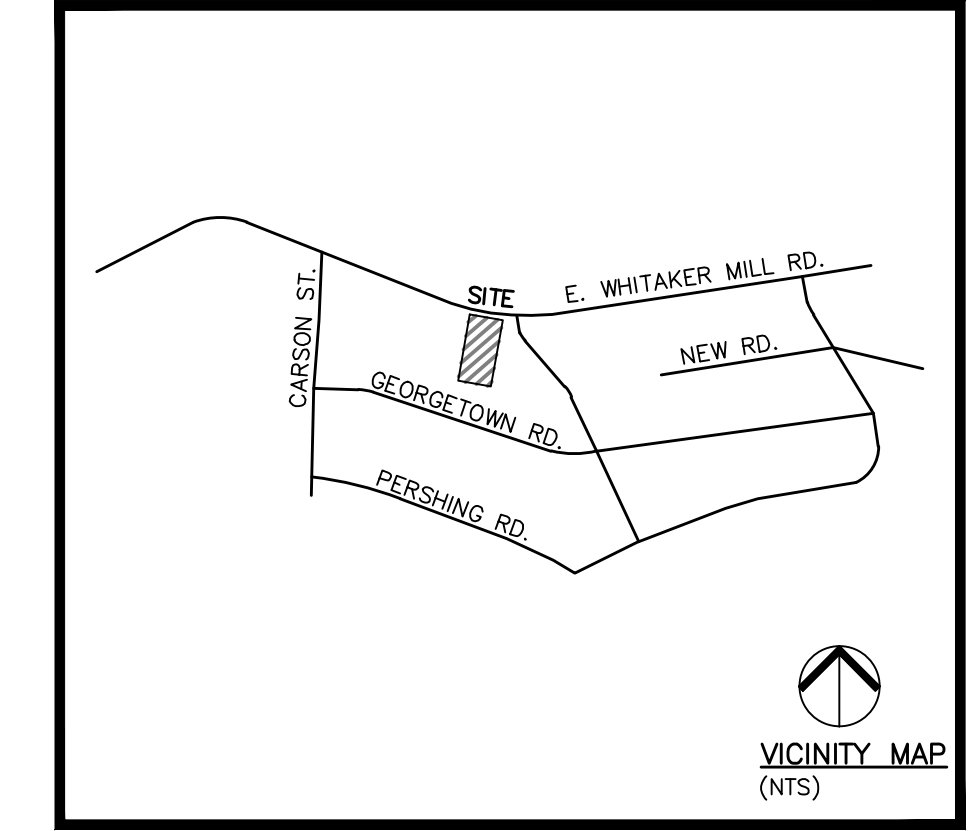
Continue to Applicant Signature Block on Page 4.

# KING FAMILY CONDOMINIUMS

## 522 E. WHITAKER MILL ROAD

### RALEIGH, NORTH CAROLINA

#### ASR-####-2024



### Project Data Sheet

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-966-2500



This form must be completed and applied to the cover sheet of drawings submitted with a Non-Residential building permit associated with a Site Permit Review, or permits for an apartment, office, and/or commercial uses.

GENERAL INFORMATION																					
Development Name: King Family Condominiums	Proposed Use: Condominiums																				
Property Address(es): 522 E. Whitaker Mill Rd.																					
Approved Site Plan or Subdivision case #:																					
Wake County Property Identification Number(s) (PIN) for each parcel to which these guidelines will apply:																					
PIN #: 1704-88-8587	PIN #:																				
<table border="0"> <tr> <td><input type="checkbox"/> Apartment</td> <td><input checked="" type="checkbox"/> Frequent Transit Development Option</td> <td><input type="checkbox"/> Congregate care</td> <td><input type="checkbox"/> Hospital</td> </tr> <tr> <td><input type="checkbox"/> Hotel/Motel</td> <td><input type="checkbox"/> Industrial building</td> <td><input type="checkbox"/> Mixed residential</td> <td><input type="checkbox"/> Non-residential condo</td> </tr> <tr> <td><input type="checkbox"/> Office</td> <td><input type="checkbox"/> Religious institution</td> <td><input checked="" type="checkbox"/> Residential condo</td> <td><input type="checkbox"/> Retail</td> </tr> <tr> <td><input type="checkbox"/> School</td> <td><input type="checkbox"/> Shopping center</td> <td><input type="checkbox"/> Single-family residential</td> <td><input type="checkbox"/> Telecommunication tower</td> </tr> <tr> <td><input type="checkbox"/> Townhouse</td> <td><input type="checkbox"/> Civic use: Park, community center, museum or government facility</td> <td><input type="checkbox"/> Other</td> <td></td> </tr> </table>		<input type="checkbox"/> Apartment	<input checked="" type="checkbox"/> Frequent Transit Development Option	<input type="checkbox"/> Congregate care	<input type="checkbox"/> Hospital	<input type="checkbox"/> Hotel/Motel	<input type="checkbox"/> Industrial building	<input type="checkbox"/> Mixed residential	<input type="checkbox"/> Non-residential condo	<input type="checkbox"/> Office	<input type="checkbox"/> Religious institution	<input checked="" type="checkbox"/> Residential condo	<input type="checkbox"/> Retail	<input type="checkbox"/> School	<input type="checkbox"/> Shopping center	<input type="checkbox"/> Single-family residential	<input type="checkbox"/> Telecommunication tower	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic use: Park, community center, museum or government facility	<input type="checkbox"/> Other	
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Scope of work: This project proposes the demolition of an existing duplex, accessory buildings, sidewalks & drives to construct six three story condominiums. These plans display new building footprints, access drive, driveways, utilities and landscape.																					

FOR APARTMENTS, CONDOS, AND TOWNHOMES ONLY	
1. Total number of townhouse lots: 04/12/2023	Number attached:
2. Total number of apartment or condominium units: 6	Number detached:
3. Total number of Congregate Care or Life Care Dwelling units: 0	
4. Overall total number of dwelling units (from 1-3 above): 0	
5. Number of bedroom units: 1BR: 2BR: 3BR: 6 4BR or more:	
6. Overall unit(s) per acre densities per zoning district(s): 14.6	

DEVELOPMENT TYPE AND SITE DATA TABLE (applicable to all developments)	
Zoning Information	Building Information
Zoning district(s): R-10	Proposed use of building(s): Condominiums
If more than one district, provide acreage of each:	Proposed sq. ft. of building(s) gross: <b>16,020</b>
Overlay district(s): FTDO	Existing sq. ft. of building(s) gross: 1,889
Total site acreage: 0.41	Total sq. ft. gross (existing and proposed): 16,020
Off street parking: Required: 0 Provided: 12	Proposed height of building(s): 44'-11"
COA (Certificate of Appropriateness) case #:	FAR (floor area ratio) %:
BOA (Board of Adjustment) case # A -	Building lot coverage %: 29.4
CUD (Conditional Use District) case # Z -	Inside City Limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

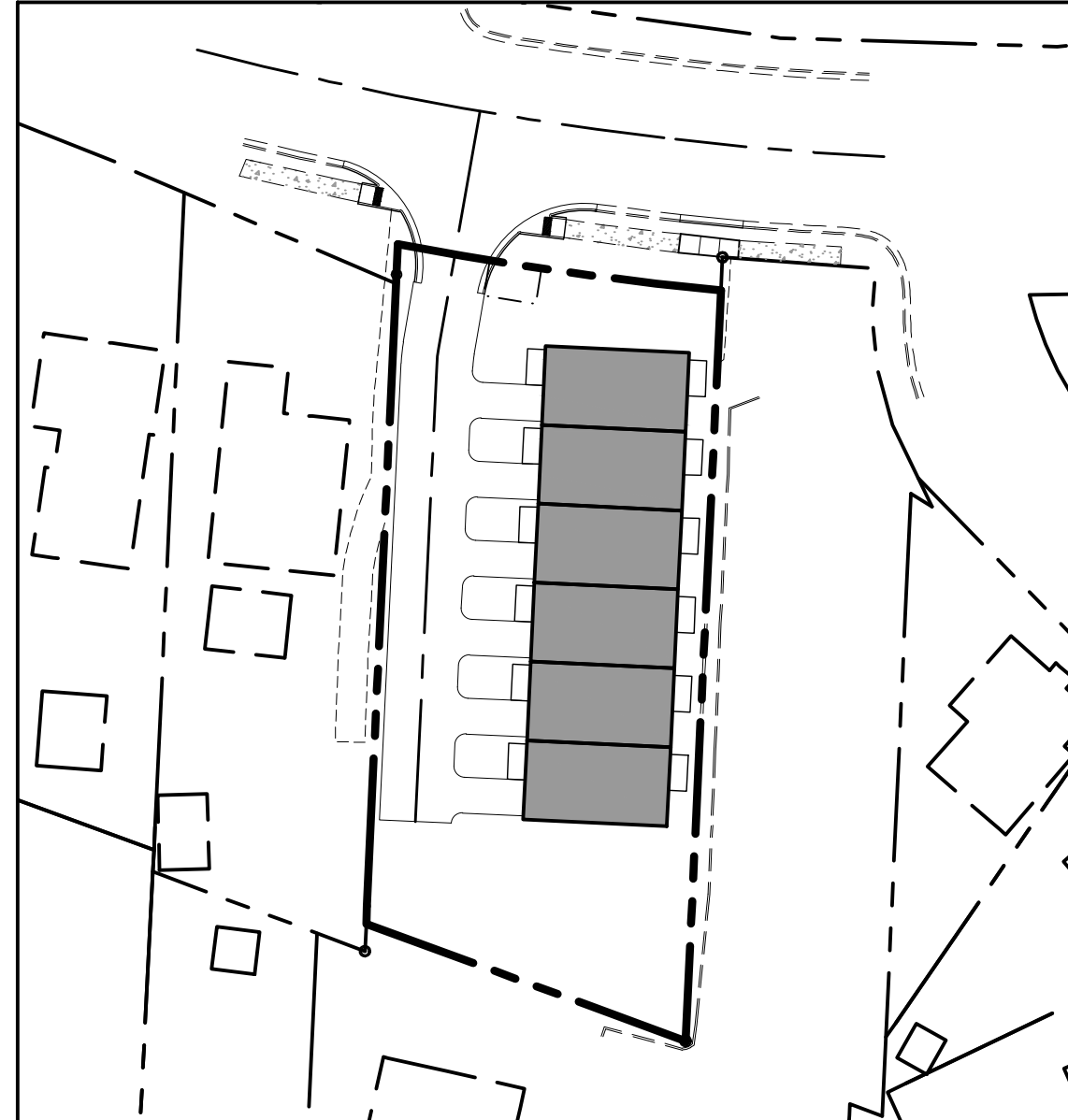
REVISION 12.07.23  
raleighnc.gov

STORMWATER INFORMATION	
Existing impervious surface: 0.13/5,503	acres/square feet
Proposed impervious surface: 0.23/10,223	acres/square feet
Neuse River buffer: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Flood Hazard Area: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	If yes, Alluvial soils:
Flood Study:	FEMA Map Panel #: 3720170400k
Total disturbed area: 0.40/17,582	acres/square feet

**FLOODPLAIN NOTE:**  
NO PORTION OF THIS SITE IS LOCATED IN A FLOOD HAZARD AREA ZONE ACCORDING TO FIRM PANEL 3720170400K DATED JULY 19, 2022

**TREE CONSERVATION EXEMPTION:**  
TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH UDO SECTION 9.1.2)

**PROJECT SCOPE NOTE:**  
THIS PROJECT PROPOSES THE DEMOLITION OF THE EXISTING DUPLEX TO CONSTRUCT SIX, 3-STORY TOWN HOMES. THESE PLANS DISPLAY THE NEW BUILDING FOOTPRINTS, DRIVE ACCESS FROM E. WHITAKER MILL RD; REQUIRED LANDSCAPING; AND THE REQUIRED UTILITY CONNECTIONS. EACH UNIT CONTAINS ONE PARKING AREA IN FRONT OF THE UNIT AND A ONE-CAR GARAGE.



PUBLIC IMPROVEMENT QUANTITIES	
PHASE NUMBER	N/A
NUMBER OF LOTS	1
LOT NUMBERS BY PHASE	N/A
NUMBER OF UNITS	6
LIVABLE BUILDINGS	6
PUBLIC WATER (LF)	58 LF
PUBLIC GRAVITY SEWER (LF)	34 LF
PUBLIC STREET (LF)	0 LF
PUBLIC SIDEWALK (LF)	17 LF
WATER SERVICE STUBS	1*
SEWER SERVICE STUBS	1*
*STUB COUNT INCLUDES TIE-IN POINTS THAT NEED TO BE INSPECTED	

DRAWINGS INDEX:	
SITE 001	COVER SHEET
SITE 100	EXISTING CONDITIONS & DEMOLITION PLAN
SITE 200	SITE LAYOUT PLAN
SITE 201	IMPERVIOUS AREA PLAN
SITE 300	GRADING PLAN
SITE 301	INITIAL EROSION CONTROL PLAN
SITE 302	FINAL EROSION CONTROL PLAN
SITE 400	UTILITY PLAN
SITE 500	LANDSCAPE PLAN
SITE 600	SITE DETAILS
SITE 601	SITE DETAILS
SITE 602	SITE DETAILS
SITE 603	SITE DETAILS

**ATTENTION CONTRACTORS**  
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.  
**Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.**  
**Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.**

#### TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
  - \*MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
  - \*PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
  - \*AMERICAN DISABILITY ACT (ADA REQUIREMENTS);
  - \*RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

#### GENERAL NOTES

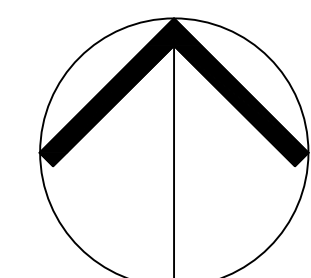
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY, TOPOGRAPHY, AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY TURNING POINT SURVEYING, PLLC, DATED FEBRUARY 13TH, 2024. ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- NO PORTION OF THE PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAN AS SHOWN ON FEMA FIRM MAP NO. 3720171300K EFFECTIVE DATE JULY 19, 2022.

OWNER:  
KING FAMILY REAL ESTATE LLC  
ATTN: TIM KING  
10724 BEAVER POND LN.  
RALEIGH, NC 27614  
PHONE: (919) 676-7191  
EMAIL: timkingproperties@gmail.com

CONTACT/CIVIL ENGINEER:  
THE SITE GROUP, PLLC  
ATTN: SAMUEL R. NYE, PE  
1111 OBERLIN ROAD  
RALEIGH, NC 27605  
PHONE: (919) 996-9136  
FAX: (919) 839-2255  
EMAIL: SRN@thesitegroup.net

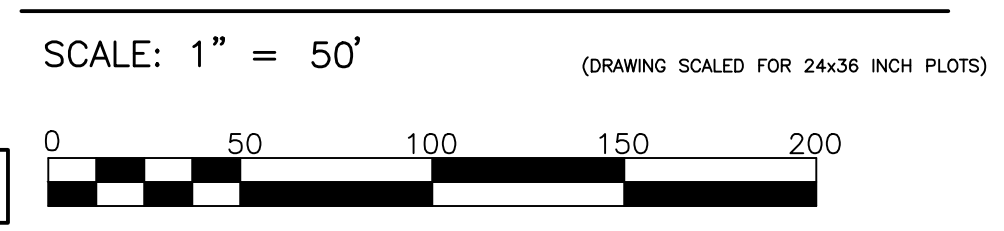
#### SITE DATA SUMMARY

PROJECT NAME:	KING FAMILY CONDOMINIUMS
PROJECT OWNER:	KING FAMILY REAL ESTATE, LLC
PIN(S):	1704-88-8587
SITE ADDRESS:	522 E. WHITAKER MILL ROAD
JURISDICTION:	CITY OF RALEIGH
ZONING:	R-10
OVERLAY DISTRICT:	FTDO
RIVER BASIN:	NEUSE
EXISTING GROSS SITE AREA:	17,998 SF./ 0.41 AC
RIGHT OF WAY DEDICATION:	45 SF./ 0.001 AC
NET SITE AREA:	17,953 SF./0.41 AC
LOT AREA PER UNIT:	16,020 SF./6 UNITS = 2,670 SF. PER UNIT
CURRENT USE:	DUPLEX
PROPOSED USE:	CONDOMINIUMS
EXISTING BUILDING SQUARE FOOTAGE:	1,889 SF.
PROPOSED BUILDING SQUARE FOOTAGE:	2,670 SF. EACH
MAXIMUM BUILDING HEIGHT:	45' HT. (3-STORY)
PROPOSED BUILDING HEIGHT:	44'-11" HT. (3-STORY)
AMENITY AREA REQUIRED:	1,795 SF. (10% OF SITE)
AMENITY AREA PROVIDED:	4,993 SF. (27.8%)
EXISTING IMPERVIOUS AREA:	5,503 SF. / 0.13 AC.
EXISTING IMPERVIOUS AREA IN ROW:	828 SF. / 0.02 AC.
PROP. IMPERVIOUS SURFACE AREA:	10,223 SF. / 0.23 AC. (57%)
PROP. IMPERVIOUS SURFACE AREA IN ROW:	1,012 SF. / 0.02 AC.
LIMITS OF DISTURBANCE:	17,582 SF. / 0.40 AC.
REQUIRED LOT DIMENSIONS (SEC. 2.7.1.B.):	
AREA (MIN):	2,500 SF.
LOT WIDTH (MIN):	45'
DEPTH (MIN):	60'
DENSITY (MAX):	N/A
OUTDOOR AMENITY AREA (MIN):	10%
LOT AREA REQUIRED PER UNIT (SEC. 2.7.1.C.):	800 SF.
BUILDING SETBACKS (FTA OPTION 2.7.1.D.):	
PRIMARY STREET:	10'
SIDE STREET:	10'
SIDE LOT:	5'
REAR LOT LINE:	15'
FROM ALLEY:	4' OR 20'
PARKING SETBACKS (FTA OPTION 2.7.1.F.):	
FRONT STREET:	10'
SIDE STREET:	10'
SIDE LOT:	0'
REAR LOT LINE:	3'
FROM ALLEY:	4' OR 20'
PARKING REQUIRED:	NO MAX
PARKING PROVIDED:	12 SPACES (2/UNIT)
SHORT-TERM & LONG-TERM BICYCLE PARKING:	NONE REQUIRED/ NONE PROVIDED
WATER PROVIDER:	CITY OF RALEIGH
SEWER PROVIDER:	CITY OF RALEIGH
ELECTRIC PROVIDER:	DUKE ENERGY PROGRESS



NORTH  
COVER SHEET

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.



DISTURBED AREA = 17,582 SF. (0.40 AC.)

**THE SITE GROUP**  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS  
THE SITE GROUP, PLLC  
1111 OBERLIN ROAD  
RALEIGH, NC 27605-1136 USA  
Office: 919.839.4787  
Fax: 919.839.2255  
E-Mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-XXXX-2024):  
**KING FAMILY CONDOMINIUMS**  
522 E WHITAKER MILL RD  
RALEIGH, NORTH CAROLINA

Drawn By: **MRK**  
Checked By: **SRN**

DATE:  
01 MAY 2024

ASR TIER 2 SITE REVIEW

COVER SHEET

Job Code: **TKPWM**

Dwg No.  
**SITE 100**

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**GENERAL NOTES**

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**SITE DATA SUMMARY**

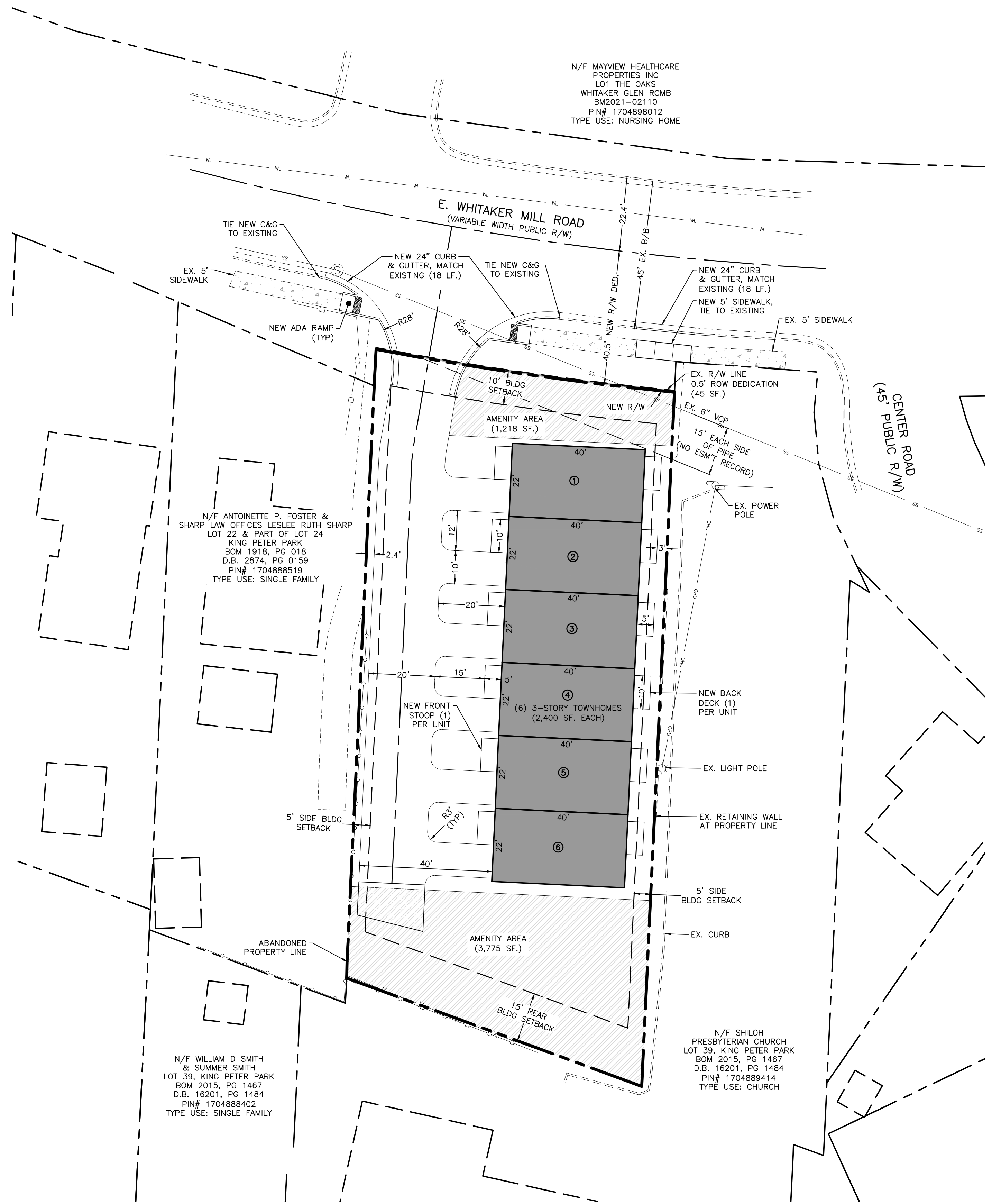
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SIDE STREET:	10'
SIDE LOT:	5'
REAR LOT LINE:	15'
FROM ALLEY:	4' OR 20'
PARKING SETBACKS (FTA OPTION 2.7.1.F):	
FRONT STREET:	10'
SIDE STREET:	10'
SIDE LOT:	0'
REAR LOT LINE:	3'
FROM ALLEY:	4' OR 20'
PARKING REQUIRED:	NO MAX
PARKING PROVIDED:	12 SPACES (2/UNIT)
SHORT-TERM & LONG-TERM BICYCLE PARKING:	NONE REQUIRED/ NONE PROVIDED
WATER PROVIDER:	CITY OF RALEIGH
SEWER PROVIDER:	CITY OF RALEIGH
ELECTRIC PROVIDER:	DUKE ENERGY PROGRESS

**LINE LEGEND**

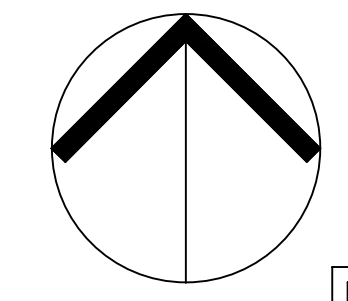
- PROPERTY BOUNDARY LINE
- ADJACENT LOT LINE
- EXISTING MAJOR CONTOUR LINE
- EXISTING MINOR CONTOUR LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING OVERHEAD UTILITY LINE
- EXISTING FENCE LINE
- EXISTING FENCE LINE
- EXISTING RETAINING WALL

**HATCH LEGEND**

- OPEN SPACE
- EXISTING CONCRETE



**FLOODPLAIN NOTE:**  
NO PORTION OF THIS SITE IS LOCATED IN A FLOOD HAZARD AREA ZONE ACCORDING TO FIRM PANEL 3720171300K DATED JULY 19TH, 2022



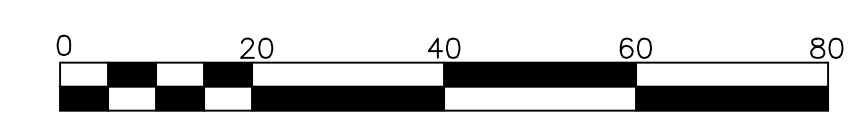
NORTH

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**SITE LAYOUT & STAKING PLAN**

SCALE: 1" = 20'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



**THE SITE GROUP**  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

THE SITE GROUP, PLLC  
1111 Old Edwards Road  
Raleigh, NC 27605-1136 USA  
Office: 919.835.4787  
Fax: 919.839.2255  
E-Mail: SRN@thesitegroup.net

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RALEIGH, NORTH CAROLINA

Drawn By: **MRK**  
Checked By: **SRN**

DATE:  
01 MAY 2024

ADMINISTRATIVE SITE REVIEW

SITE LAYOUT & STAKING PLAN

Job Code: **TKPWM**

Dwg No.  
**SITE 200**



EXISTING CONDITIONS

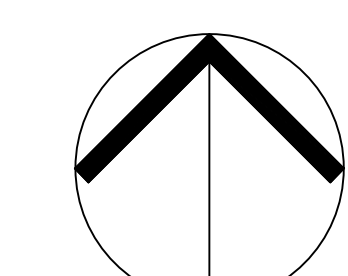
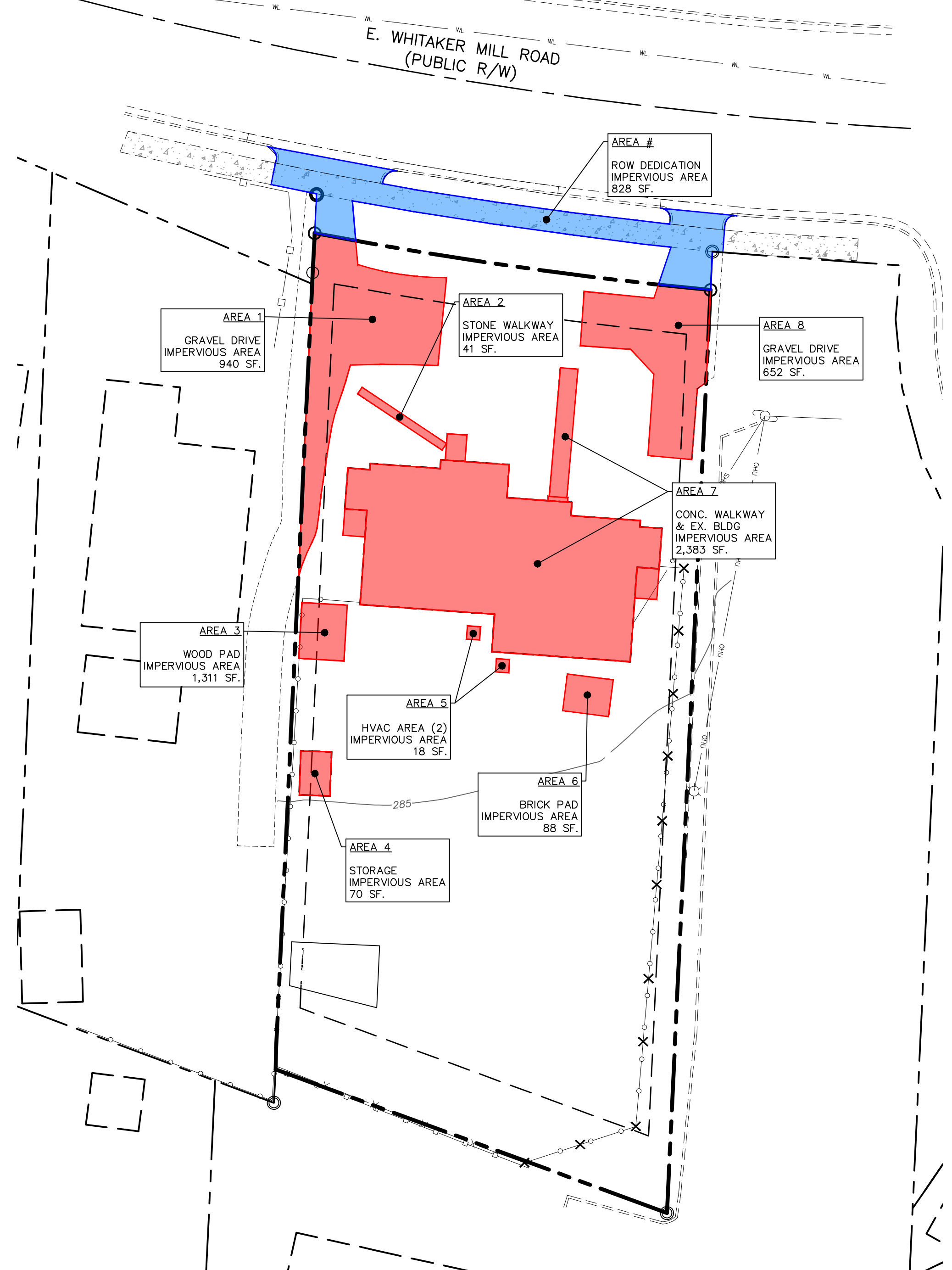
PROPOSED CONDITIONS

IMPERVIOUS AREA CALCULATIONS

	Existing	Proposed
Net Area	17,998	17,953
65% of Net Area	11,699	11,669
Impervious on Lot	5,503	10,223
Impervious in ROW	828	1,012
% IMP w/out ROW	31%	57%
% IMP w/ROW	35%	63%

HATCH LEGEND

-  EXISTING/PROPOSED ON-SITE IMPERVIOUS AREA
-  EXISTING/PROPOSED ROW IMPERVIOUS AREA



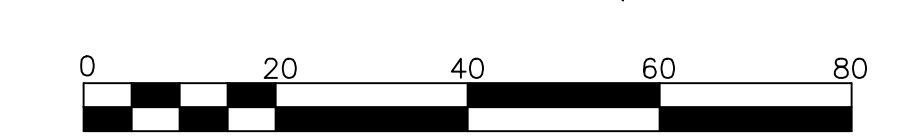
NORTH

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

IMPERVIOUS AREA PLAN

SCALE: 1" = 20'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



**THE SITE GROUP**  
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS  
 THE SITE GROUP, PLLC.  
 1111 10th St. Rd.  
 Raleigh, NC 27605-1136 USA  
 Office: 919.835.4787  
 Fax: 919.839.2255  
 E-Mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-XXXX-2024):  
**KING FAMILY CONDOMINIUMS**  
 522 E WHITAKER MILL RD  
 RALEIGH, NORTH CAROLINA

Drawn By: **MRK**  
 Checked By: **SRN**

DATE:  
 01 MAY 2024

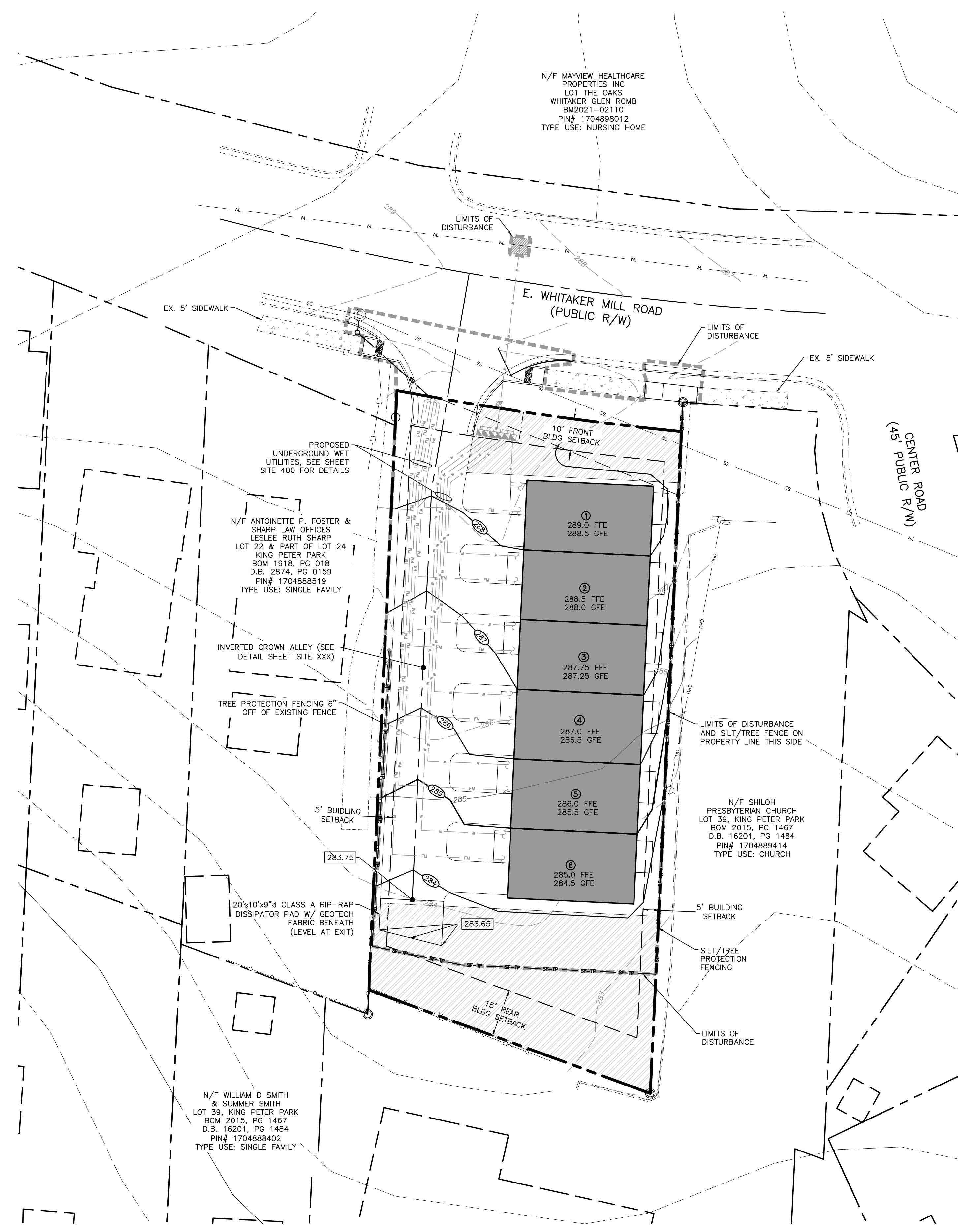
ADMINISTRATIVE SITE REVIEW

IMPERVIOUS AREA PLAN

Job Code: **TKPWM**

Dwg No.  
**SITE 201**

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**LINE LEGEND**

---	PROPERTY BOUNDARY LINE
- - -	ADJACENT LOT LINE
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
WL	EXISTING WATER LINE
SS	EXISTING SEWER LINE
OHU	EXISTING OVERHEAD UTILITY LINE
---	EXISTING FENCE LINE
---	EXISTING RETAINING WALL

**SYMBOL LEGEND**

[Symbol]	EX. FIRE HYDRANT
[Symbol]	EX. WATER METER
[Symbol]	EX. SEWER CLEAN OUT
[Symbol]	EX. SEWER MANHOLE
[Symbol]	EX. LIGHT POLE
[Symbol]	EX. UTILITY POLE
[Symbol]	EX. TRANSFORMER
[Symbol]	EX. STORM CURB INLET
[Symbol]	EX. TAP
[Symbol]	EX. SIGN

**HATCH LEGEND**

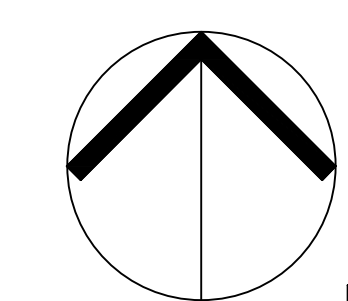
[Hatch]	AMENITY AREA
[Hatch]	CONCRETE

**GRADING & EROSION CONTROL NOTES**

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- A NCDOT PERMIT IS REQUIRED PRIOR TO STARTING ANY WORKING IN THE NCDOT RIGHT OF WAY. ANY CHANGES RESULTING FROM NCDOT'S REVIEW WILL REQUIRE AN SPR REVISION, WHICH SHALL BE REVIEWED AND APPROVED BY CITY STAFF.

**GENERAL NOTES**

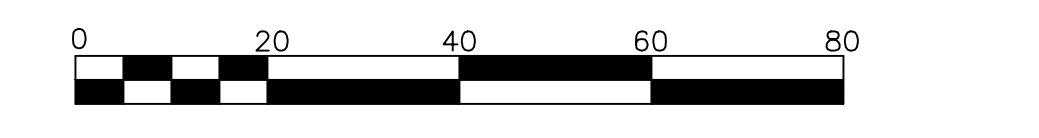
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NORTH  
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**GRADING PLAN**

SCALE: 1" = 20'  
(DRAWING SCALED FOR 24x36 INCH PLOTS)



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Drawn By	MRK
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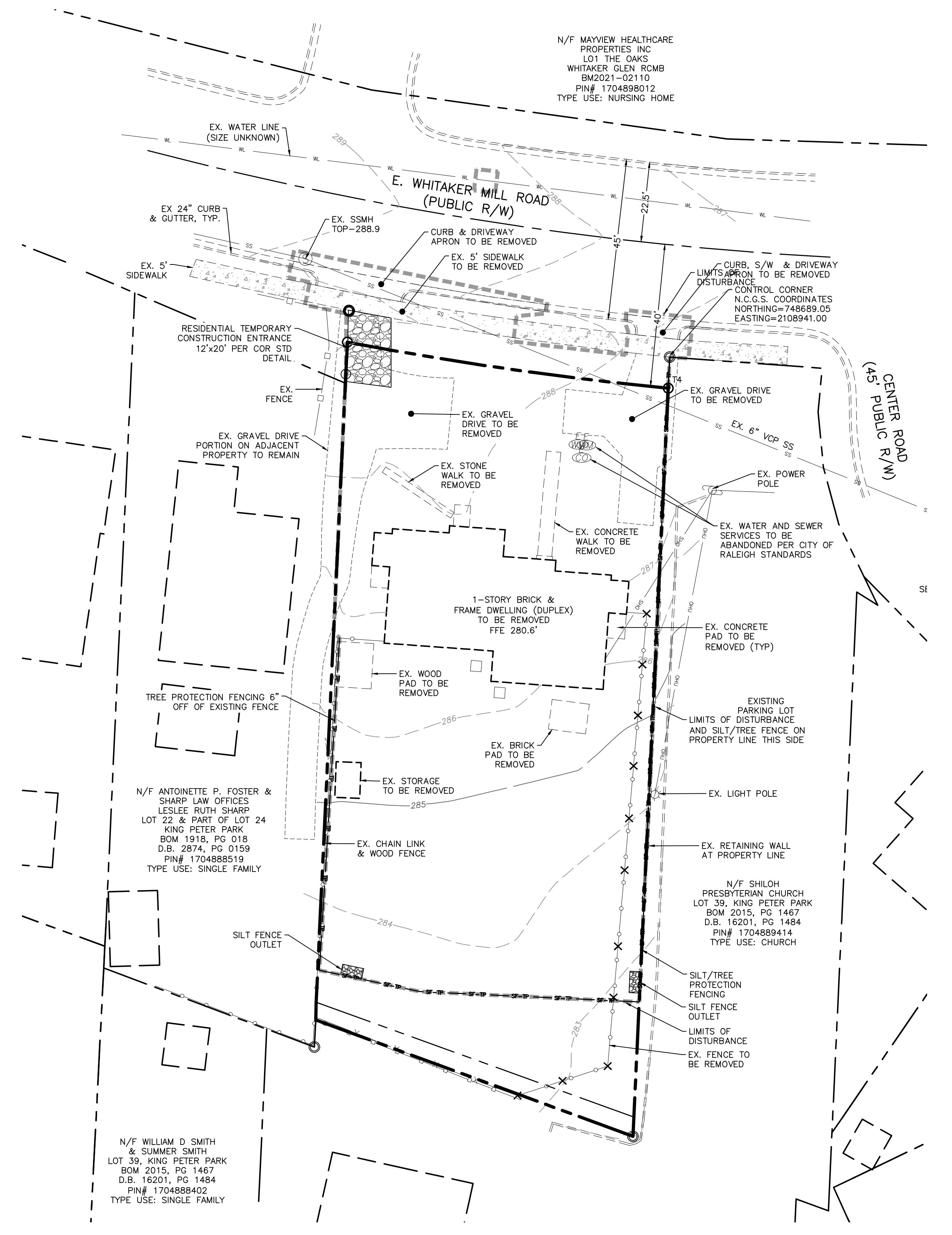
ADMINISTRATIVE SITE REVIEW

GRADING PLAN

Job Code: TKPWM

Dwg No.  
**SITE 300**

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**LINE LEGEND**

	PROPERTY BOUNDARY LINE
	ADJACENT LOT LINE
	EXISTING MAJOR CONTOUR LINE
	EXISTING MINOR CONTOUR LINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING OVERHEAD UTILITY LINE
	EXISTING FENCE LINE
	EXISTING RETAINING WALL

**GRADING & EROSION CONTROL NOTES**

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**SYMBOL LEGEND**

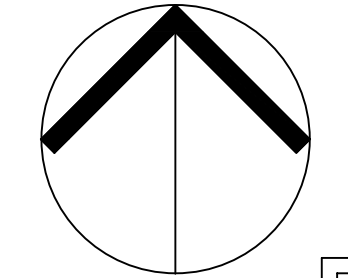
	EX. FIRE HYDRANT
	EX. WATER METER
	EX. SEWER CLEAN OUT
	EX. SEWER MANHOLE
	EX. LIGHT POLE
	EX. UTILITY POLE
	EX. TRANSFORMER
	EX. STORM CURB INLET
	EX. TAP
	EX. SIGN

**NPDES GROUND STABILIZATION SCHEDULE**

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS	AREAS ON THIS SITE
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE	TEMPORARY DIVERSION DITCHES
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED	NONE
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH	REMAINDER OF PROJECT AREA
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)	INCLUDED W/ 3:1 OR FLATTER SLOPES

**CONSTRUCTION SEQUENCE (INITIAL PHASE):**

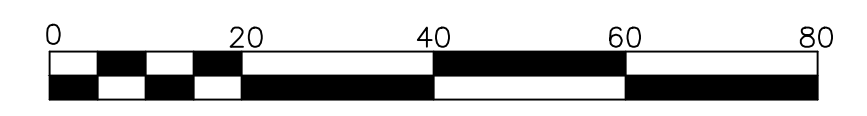
1. OBTAIN A LAND DISTURBING PERMIT.
2. PRIOR TO BEGINNING CONSTRUCTION, CALL THE STORMWATER INSPECTOR STEVEN LEISCHNER (919)278-6461 TO SCHEDULE AN ON-SITE PRECONSTRUCTION MEETING.
3. CLEAR ONLY AS NECESSARY TO INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE INITIAL EROSION CONTROL PLAN (PHASE I):
  - A. INSTALL CONSTRUCTION ENTRANCE.
  - B. INSTALL SILT FENCING AND SILT FENCE OUTLETS.
4. MAINTAIN EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED. STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.
5. SCHEDULE A SITE INSPECTION THROUGH THE CITY OF RALEIGH DEVELOPMENT PORTAL (HTTPS://PERMITPORTAL.RALEIGHNC.GOV).
6. UPON APPROVAL OF THE STORMWATER SITE INSPECTION, DEMOLISH EXISTING STRUCTURES AS DETAILED ON EXISTING CONDITION AND DEMOLITION PLAN.
7. PROCEED TO PHASE 2 OF THE EROSION CONTROL SEQUENCE. SEE SITE 302



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**INITIAL EROSION CONTROL PLAN**

SCALE: 1" = 20'



**DISTURBED AREA = 17,582 SF. (0.40 AC.)**

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 522 E WHITAKER MILL RD  
 RALEIGH, NORTH CAROLINA

Drawn By: **MRK**  
 Checked By: **SRN**

DATE:  
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ADMINISTRATIVE SITE REVIEW

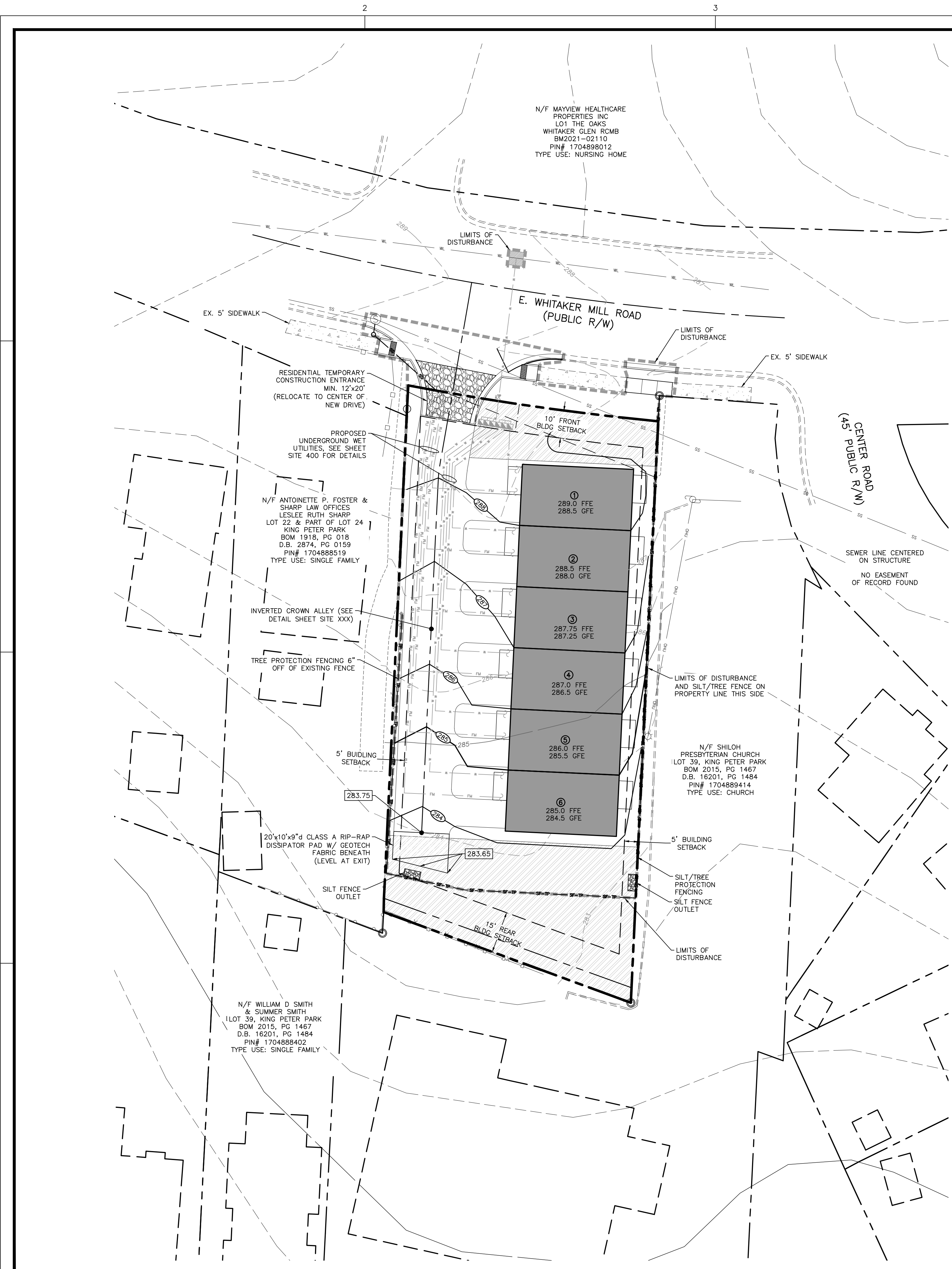
INITIAL EROSION CONTROL PLAN

Job Code: **TKPWM**

Dwg No.  
**SITE 301**

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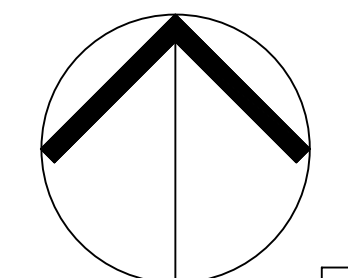
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⊕	EX. TAP
⊕	EX. SIGN

**NPDES GROUND STABILIZATION SCHEDULE**

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SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED	NONE
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH	REMAINDER OF PROJECT AREA
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)	INCLUDED W/ 3:1 OR FLATTER SLOPES

**CONSTRUCTION SEQUENCE (FINAL PHASE):**  
CONTINUED FROM SITE 301.

- COMMENCE PERMITTED LAND DISTURBING ACTIVITY.
- PROCEED WITH CLEARING, GRUBBING AND GRADING. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER. SILT FENCE, INLET PROTECTION AND OTHER SIMILAR MEASURES MUST BE CLEANED OUT BEFORE THEY ARE HALF FULL. CLOGGED STONE FILTERS MUST BE REFRESHED/REPLACED. SILT FENCE CAN NOT HAVE HOLES OR TEARS.
- INSTALL UTILITIES, BUILDING PADS AND BASE FOR DRIVE ISLE AS SOON AS POSSIBLE.
- STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.
- SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY (NCG10000) TO STORMWATER INSPECTIONS THROUGHOUT THE PROJECT. SCHEDULE A SITE INSPECTION THROUGH THE CITY OF RALEIGH DEVELOPMENT PORTAL. (HTTPS://PERMITPORTAL.RALEIGHNC.GOV)
- 

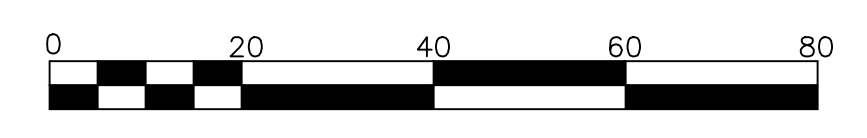


NORTH

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

**FINAL EROSION CONTROL PLAN**

SCALE: 1" = 20' (DRAWING SCALED FOR 24x36 INCH PLOTS)



**DISTURBED AREA = 17,582 SF. (0.40 AC.)**

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Drawn By: **MRK**  
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DATE:  
01 MAY 2024

ADMINISTRATIVE SITE REVIEW

FINAL EROSION CONTROL PLAN

Job Code: **TKPWM**

Dwg No.  
**SITE 302**

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**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**  
 Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Site Area Description	Required Ground Stabilization Timeframes	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	Stabilize within 7 days after ceasing land disturbance	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**  
 Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> <li>Temporary grass seed covered with straw or other mulches and tackifiers</li> <li>Hydroseeding</li> <li>Roll-on erosion control products with or without temporary grass seed</li> <li>Appropriately applied straw or other mulch</li> <li>Plastic sheeting</li> </ul>	<ul style="list-style-type: none"> <li>Permanent grass seed covered with straw or other mulches and tackifiers</li> <li>Geotextile fabrics such as permanent soil reinforcement matting</li> <li>Hydroseeding</li> <li>Shrubs or other permanent plantings covered with mulch</li> <li>Uniform and evenly distributed ground cover sufficient to restrain erosion</li> <li>Structural methods such as concrete, asphalt or retaining walls</li> <li>Roll-on erosion control products with grass seed</li> </ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selected from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated stormwater before discharging off-site.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

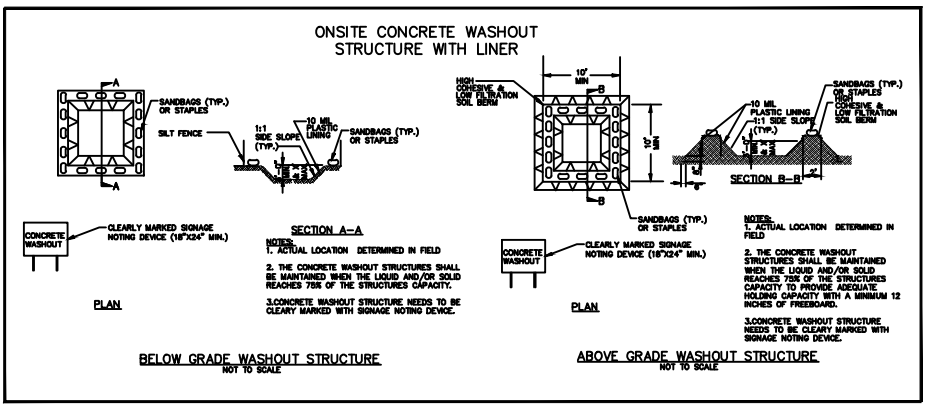
- EQUIPMENT AND VEHICLE MAINTENANCE**
- Maintain vehicles and equipment to prevent discharge of fluids.
  - Provide drip pans under any stored equipment.
  - Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
  - Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
  - Remove leaking vehicles and construction equipment from service until the problem has been corrected.
  - Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

- LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**
- Never bury or burn waste. Place litter and debris in approved waste containers.
  - Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
  - Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
  - Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
  - Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
  - Anchor all lightweight items in waste containers during times of high winds.
  - Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
  - Dispose waste off-site at an approved disposal facility.
  - On business days, clean up and dispose of waste in designated waste containers.

- PAINT AND OTHER LIQUID WASTE**
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
  - Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
  - Contain liquid wastes in a controlled area.
  - Containment must be labeled, sized and placed appropriately for the needs of site.
  - Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

- PORTABLE TOILETS**
- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
  - Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
  - Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

- EARTHEN STOCKPILE MANAGEMENT**
- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
  - Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
  - Provide stable stone access point when feasible.
  - Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control sites.



- CONCRETE WASHOUTS**
- Do not discharge concrete or cement slurry from the site.
  - Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
  - Manage washout from mortar mixers in accordance with the above item and within lot perimeter silt fence.
  - Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
  - Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
  - Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
  - Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
  - Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
  - Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags and other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
  - At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

- HERBICIDES, PESTICIDES AND RODENTICIDES**
- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
  - Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
  - Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
  - Do not stockpile these materials onsite.

- HAZARDOUS AND TOXIC WASTE**
- Create designated hazardous waste collection areas on-site.
  - Place hazardous waste containers under cover or in secondary containment.
  - Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**NPDES GROUND STABILIZATION SCHEDULE**

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS	AREAS ON THIS SITE
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE	TEMPORARY DIVERSION DITCHES
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED	NONE
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH	REMAINDER OF PROJECT AREA
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)	INCLUDED W/ 3:1 OR FLATTER SLOPES

**NCG01 GROUND STABILIZATION AND MATERIALS HANDLING**

**EFFECTIVE: 04/01/19**

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**  
 Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the inspection record.

Inspection	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts, if no daily rain gauge observations are made during weekend or holiday periods, and no individual rainfall information is available, record the cumulative rain measurement for those unattended days (and the wet/dry status of a site inspection is needed). Days on which rainfall occurred shall be recorded as "rain". The permittee may use another rain-measuring device approved by the Division.
(2) EESC Measures	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the measures inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance issues for the measures. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outlets (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Identification of the discharge outlets inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating suspended solids or discoloration. 5. Indication of visible sediment leaving the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	1. Visual estimation of a four-foot inside site limits, then a record of the following shall be made: 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to correct future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event > 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(c) of the permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter EESC measures, drainage and silt-bagging, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

**NOTE:** The rain inspection resets the required 7 calendar day inspection requirement.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**  
 1. EESC Plan Documentation  
 The approved EESC plan as well as any approved deviation shall be kept on the site. The approved EESC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the EESC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each EESC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved EESC plan.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report that lists each EESC measure shown on the approved EESC plan. This documentation is required upon the initial installation of the EESC measures or if the EESC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved EESC plan.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all EESC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to EESC measures.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site  
 In addition to the EESC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years  
 All data used to complete the e-NRI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**  
 1. Occurrences that Must be Reported  
 Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
  - They are 25 gallons or more,
  - They are less than 25 gallons but cannot be cleaned up within 24 hours,
  - They cause sheen on surface waters (regardless of volume), or
  - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements  
 After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li> <li>If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired waters conditions.</li> </ul>
(b) Oil spills and release of hazardous substances per Item 1(b) (c) above	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li> <li><b>A report at least ten days before the date of the bypass, if possible.</b> The report shall include an evaluation of the anticipated quality and effect of the bypass.</li> <li><b>Within 7 calendar days</b>, a report that includes an evaluation of the quality and effect of the bypass.</li> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> </ul>
(c) Non-compliance with the conditions of this permit that may endanger health or the environment (40 CFR 122.41(f)(7))	<ul style="list-style-type: none"> <li><b>Within 24 hours</b>, an oral or electronic notification.</li> <li><b>Within 7 calendar days</b>, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue and steps taken or planned to rectify, minimize and prevent recurrence of the noncompliance. [40 CFR 122.41(f)(6)].</li> <li>Division staff may waive the requirement for a written report on a case-by-case basis.</li> </ul>

**PART II, SECTION G, ITEM (4) DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT**

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The EESC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the EESC plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in Part III, Section C, Item (2)(c) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

**NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**EFFECTIVE: 04/01/19**

**THE SITE GROUP**  
 CIVIL ENGINEERS • LANDSCAPE ARCHITECTS  
 THE SITE GROUP, PLLC  
 1111 North Carolina  
 Raleigh, NC 27605-1136 USA  
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 E-Mail: SRN@thesitegroup.net

**ADMINISTRATIVE SITE REVIEW (ASR-XXXX-2024):**  
**KING FAMILY CONDOMINIUMS**  
 522 E WHITAKER MILL RD  
 RALEIGH, NORTH CAROLINA

Drawn By: **MRK**  
 Checked By: **SRN**

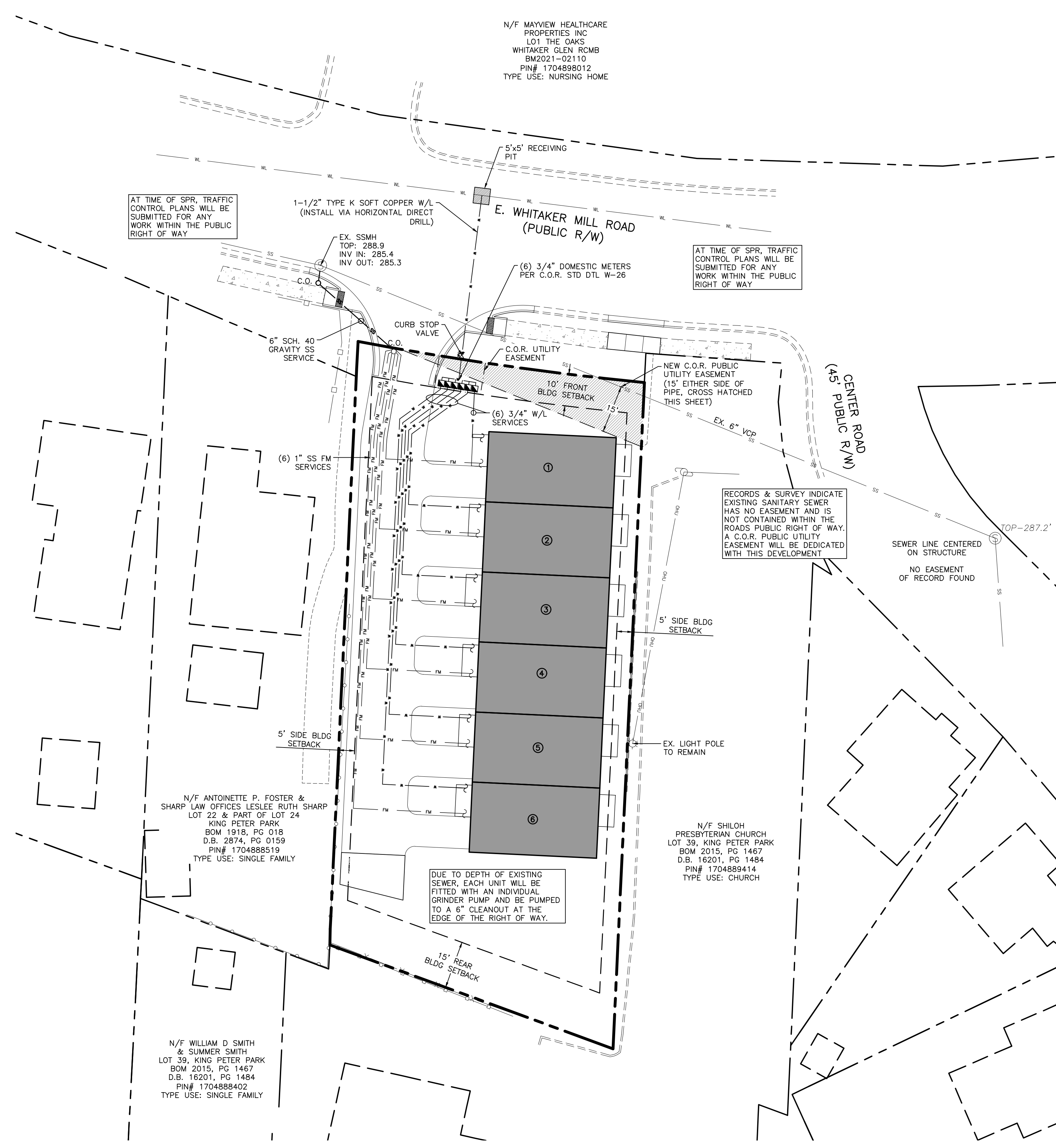
DATE: 01 MAY 2024

**ADMINISTRATIVE SITE REVIEW**

**NPDES PLAN**

Job Code: **TKPWM**

Dwg No. **SITE 303**



AT TIME OF SPR, TRAFFIC CONTROL PLANS WILL BE SUBMITTED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY

AT TIME OF SPR, TRAFFIC CONTROL PLANS WILL BE SUBMITTED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY

RECORDS & SURVEY INDICATE EXISTING SANITARY SEWER HAS NO EASEMENT AND IS NOT CONTAINED WITHIN THE ROADS PUBLIC RIGHT OF WAY. A C.O.R. PUBLIC UTILITY EASEMENT WILL BE DEDICATED WITH THIS DEVELOPMENT

DUE TO DEPTH OF EXISTING SEWER, EACH UNIT WILL BE FITTED WITH AN INDIVIDUAL GRINDER PUMP AND BE PUMPED TO A 6" CLEANOUT AT THE EDGE OF THE RIGHT OF WAY.

N/F ANTOINETTE P. FOSTER & SHARP LAW OFFICES LESLIE RUTH SHARP LOT 22 & PART OF LOT 24 KING PETER PARK BOM 2015, PG 018 D.B. 2874, PG 0159 PIN# 1704888519 TYPE USE: SINGLE FAMILY

N/F WILLIAM D SMITH & SUMMER SMITH LOT 39, KING PETER PARK BOM 2015, PG 1467 D.B. 16201, PG 1484 PIN# 1704888402 TYPE USE: SINGLE FAMILY

N/F SHILOH PRESBYTERIAN CHURCH LOT 39, KING PETER PARK BOM 2015, PG 1467 D.B. 16201, PG 1484 PIN# 1704889414 TYPE USE: CHURCH

N/F MAYVIEW HEALTHCARE PROPERTIES INC LOT 1 THE OAKS WHITAKER GLEN RCMB BM2021-02110 PIN# 1704898012 TYPE USE: NURSING HOME

**COR STANDARD UTILITY NOTES:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
  - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
  - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
  - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
  - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
  - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
  - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 1/2" COPPER\* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC\* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION
- EDIT TYPICAL SERVICE SIZE & MATERIAL AS APPROPRIATE

**UTILITY NOTES**

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
- BOUNDARY, TOPOGRAPHY, AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY TURNING POINT SURVEYING, PLLC, DATED DECEMBER 16TH, 2010. ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- NO PORTION OF THE PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA FIRM MAP NO. 3720171300K EFFECTIVE DATE JULY 19, 2022.

**LINE LEGEND**

	PROPERTY BOUNDARY LINE
	ADJACENT LOT LINE
	OLD R/W LINE
	NEW R/W LINE
	EXISTING MAJOR CONTOUR LINE
	EXISTING MINOR CONTOUR LINE
	EXISTING WATER LINE
	NEW WATER LINE
	EXISTING SEWER LINE
	NEW SEWER LINE
	EXISTING OVERHEAD UTILITY LINE
	RALEIGH UTILITY EASEMENT

**SYMBOL LEGEND**

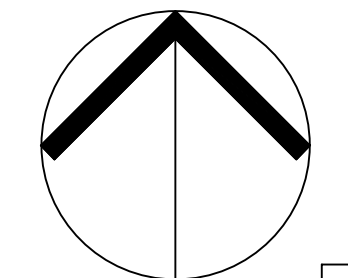
	EX. FIRE HYDRANT
	EX. WATER VALVE
	EX. SEWER CLEAN OUT
	EX. SEWER MANHOLE
	EX. LIGHT POLE
	EX. UTILITY POLE
	EXISTING TRANSFORMER
	EXISTING STORM CURB INLET

**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

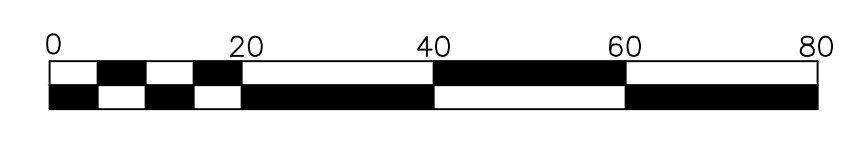
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.



NORTH  
UTILITY  
PLAN

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

SCALE: 1" = 20'



**THE SITE GROUP**  
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS  
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Raleigh, NC 27605-1136 USA  
Office: 919.835.4787  
Fax: 919.839.2255  
E-Mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-XXXX-2024):  
**KING FAMILY CONDOMINIUMS**  
522 E WHITAKER MILL RD  
RALEIGH, NORTH CAROLINA

Drawn By: **MRK**  
Checked By: **SRN**

DATE:  
01 MAY 2024

ADMINISTRATIVE  
SITE REVIEW

UTILITY  
PLAN

Job Code: **TKPWM**

Dwg No.  
**SITE 400**

OVERALL PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	USE	CALIPER/HEIGHT AT PLANTING	MATURE HEIGHT /CROWN SPREAD	ROOT	SPACING
<b>CANOPY TREES</b>								
ABA	6	ACER BUERGERIANUM 'AERYN'	AERYN TRIDENT MAPLE	FOUNDATION	3" CAL./10' HT.	40'/25'	B&B	AS SHOWN
<b>SHRUBS</b>								
ARC	18	ABELIA GRANDIFLORA 'ROSE CREEK'	ROSE CREEK GLOSSY ABELIA	FOUNDATION	18" HT. MIN.	3'/3'	CONT.	3' O.C.
AGK	12	ABELIA GRANDIFLORA 'KALEIDOSCOPE'	KALEIDOSCOPE GLOSSY ABELIA	FOUNDATION	18" HT. MIN.	3'/3'	CONT.	3' O.C.
HLD	3	HYDRANGEA MACROPHYLLA 'LA DREAMIN'	LA DREAMIN' HYDRANGEA	FOUNDATION	24" HT. MIN.	4'/4'	CONT.	AS SHOWN
HPM	3	HYDRANGEA MACROPHYLLA 'PENNY MAC'	PENNY MAC HYDRANGEA	FOUNDATION	24" HT. MIN.	4'/4'	CONT.	AS SHOWN
IGS	7	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	FOUNDATION	24" HT. MIN.	4'/4'	CONT.	4' O.C.
IXA	4	ILEX x 'ACADIANA'	ACADIANA HOLLY	FOUNDATION	36" HT. MIN.	12'/8'	CONT.	AS SHOWN
IMS	7	LILICUM FLORIDANUM 'MISS SCARLET'	MISS SCARLET ANISE	FOUNDATION	24" HT. MIN.	4'/4'	CONT.	4' O.C.

PLANTING NOTES:

LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.

**SYMBOLS:** B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER; O.C. = ON-CENTER, (R) = TO REMAIN  
**MULCH:** MULCH ALL BED AREAS WITH FRESH PINE STRAW TO A DEPTH OF 3".

NOTE:

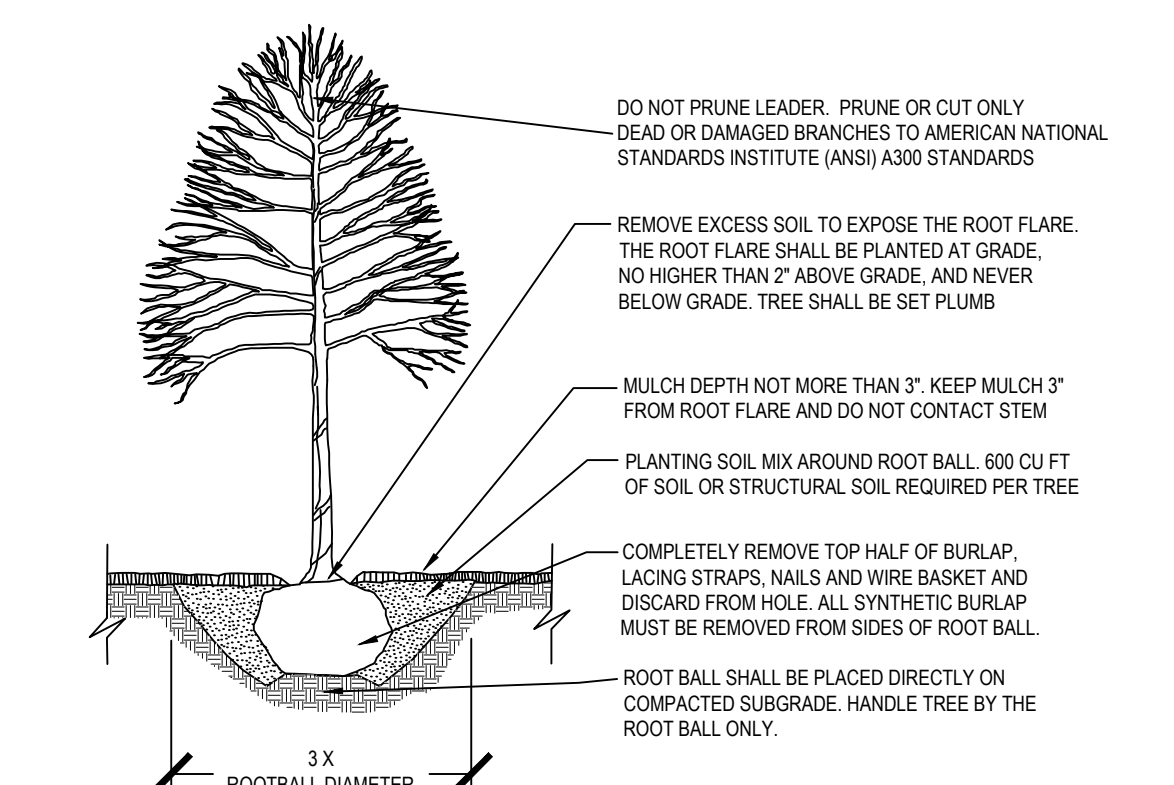
- ANY TREES IN SIGHT TRIANGLES WILL BE LIMBED UP TO A HEIGHT OF 8'. ALL SHRUBS LOCATED IN SIGHT TRIANGLES WILL BE MAINTAINED BELOW 2'.
- ALL SHRUB SPECIES SHALL REACH A MINIMUM OF 36" WITHIN THREE YEARS OF INSTALLATION.

FLOODPLAIN NOTE:

NO PORTION OF THIS SITE IS LOCATED IN A FLOOD HAZARD AREA ZONE ACCORDING TO FIRM PANEL 3720170400K DATED JULY 19, 2022.

TREE CONSERVATION EXEMPTION:

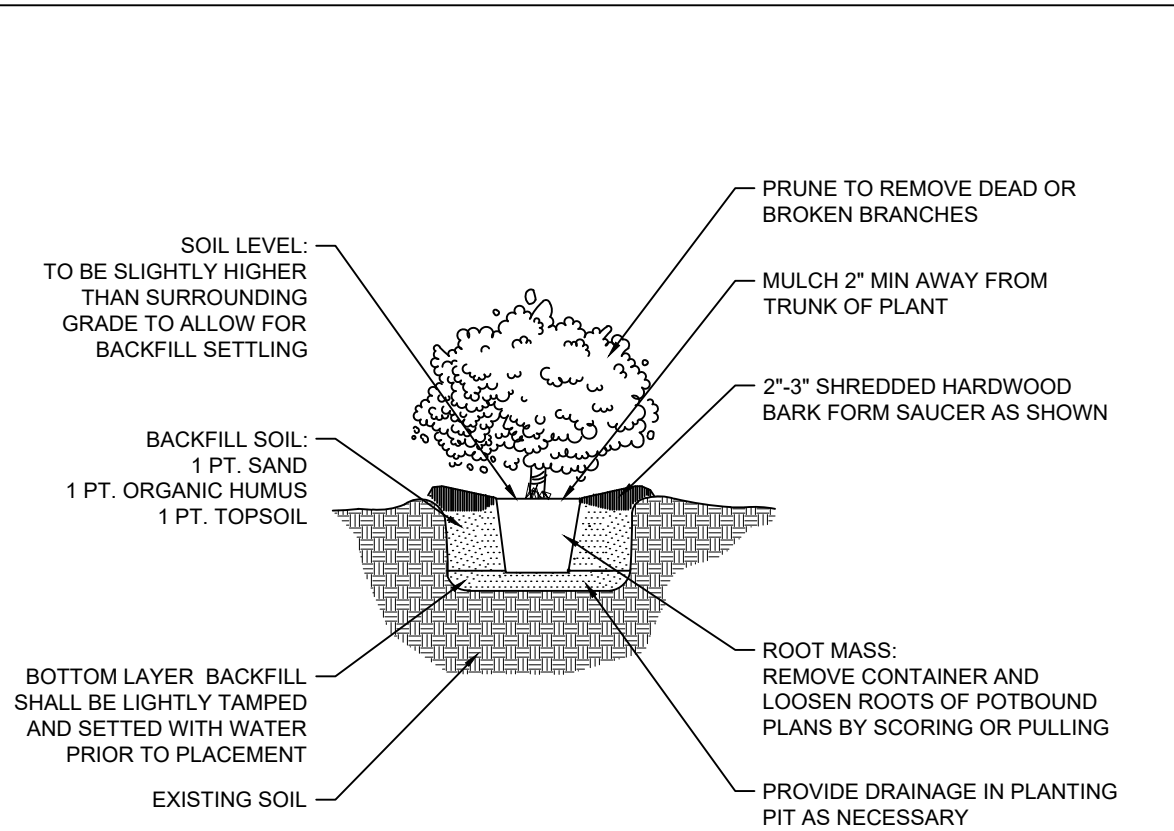
TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2.0 LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH UDO SECTION 9.1.2)



CONTACT INFORMATION:  
 CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:  
 TREES@RALEIGHNC.GOV  
 WWW.RALEIGHNC.GOV

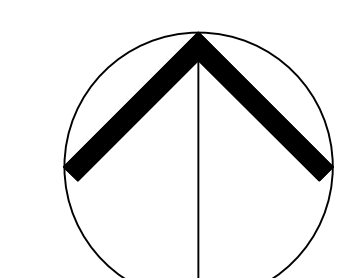
- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
  - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  - TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  - IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  - TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	BY
152019		
TREE PLANTING DETAIL		
<b>TPP-03</b>		



- NOTES:
- TO PROMOTE AERATION AND PERCOLATION IN HEAVY SOIL, PLANT ROOTBALL ABOVE EXISTING GRADE AS SHOWN.
  - PROVIDE AN EARTH SAUCER FOR WATER RETENTION.
  - BACKFILL WITH 80% PARENT MATERIAL AND 20% DECOMPOSED ORGANIC MATERIAL BY VOLUME WELL MIXED AS APPROVED BY THE ARCHITECT.
  - PROVIDE 6" MINIMUM OF BACKFILL ON EACH SIDE OF ROOTBALL TO PROMOTE RAPID REESTABLISHMENT.
  - PROVIDE MINIMUM 4" THICK PINE STRAW IN 5' WIDE PLANTING BED OR AS DIRECTED ON PLANS.
  - SHRUBS WILL HAVE A MINIMUM 1 YEAR WARRANTY FROM DATE OF INSTALLATION.

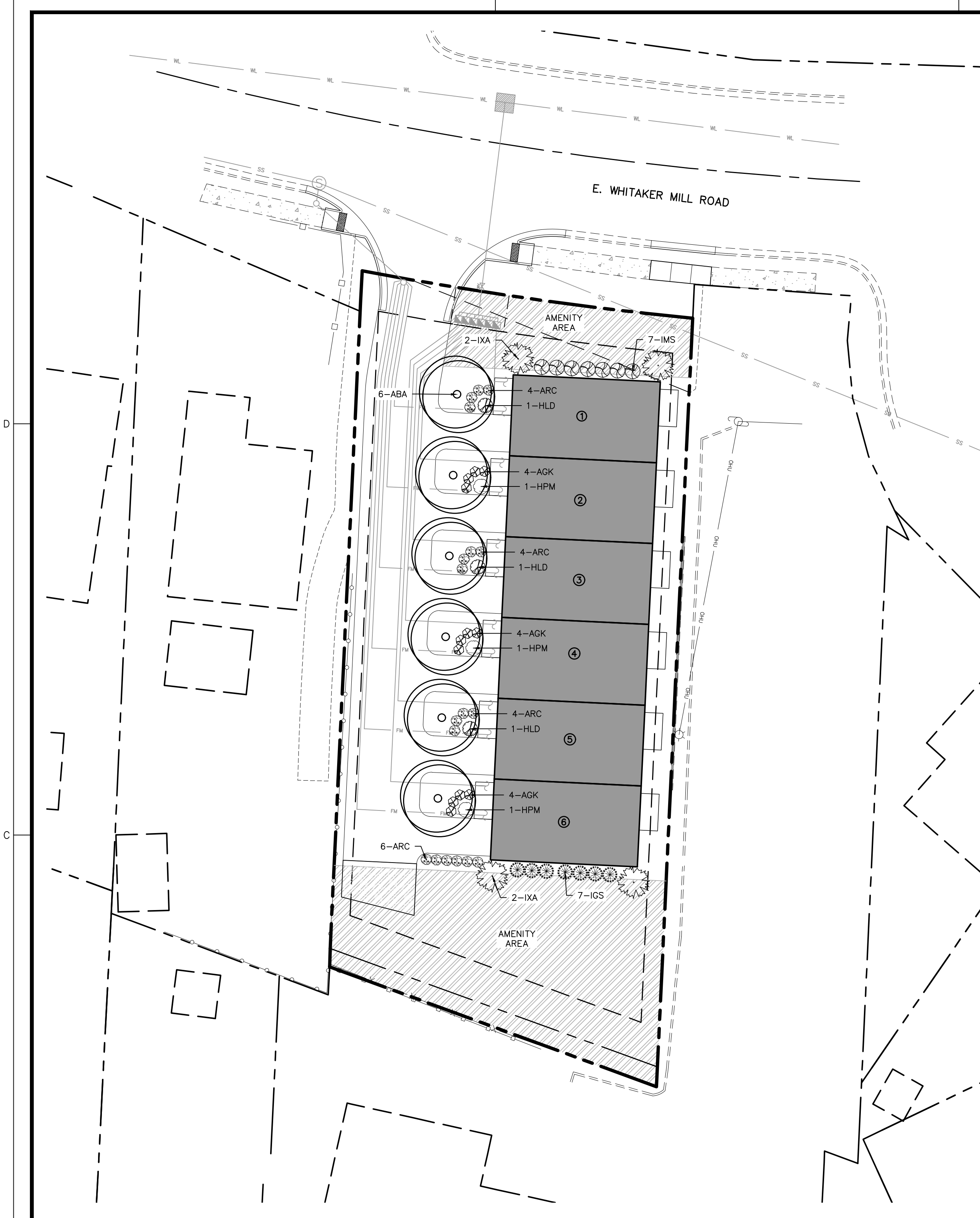
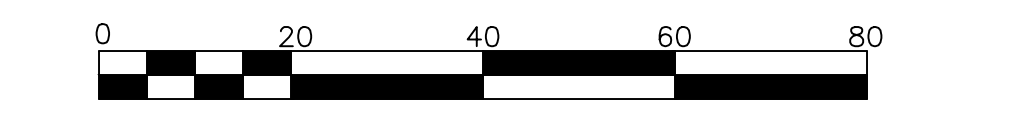
SHRUB PLANTING DETAIL		
REVISIONS	DATE	BY
<b>SPD-01</b>		



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

LANDSCAPE PLAN

SCALE: 1" = 20' (DRAWING SCALED FOR 24x36 INCH PLOTS)



LANDSCAPE REQUIREMENTS:

- THE SITE SHALL BE STABILIZED AND SEEDING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL MECHANICAL EQUIPMENT, WASTE DISPOSAL FACILITIES, AND VEHICULAR USE AREAS (DRIVES AND PARKING) SHALL BE SCREENED FROM PUBLIC VIEW.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE LOCATED IN THE SIDE OF REAR YARD AREA OF THE SITE AND SCREENED, TO THE EXTENT POSSIBLE, WITH EVERGREEN PLANTINGS. PLANTINGS SHALL ALLOW FOR A MINIMUM OF 5' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB. NO TREE SHALL BE LOCATED WITHIN 5' OF A SIDEWALK AND WITHIN 20' OF A LIGHTING LOCATION. ALL SHRUBS INSTALLED AS VEHICULAR USE SCREENING WILL BE MAINTAINED AS A CONTINUOUS HEDGE AT A MINIMUM HEIGHT OF 36 INCHES. ALL FOUNDATION PLANTINGS SHALL BE DESIGNED TO CITY OF RALEIGH UDO SECTION REQUIREMENTS.
- WHERE EXISTING OR PROPOSED VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, THE CITY OF RALEIGH SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE LANDSCAPE PLAN BASED ON ACTUAL FIELD CONDITIONS.
- UPON ESTABLISHMENT OF FINISHED GRADES AND PRIOR TO BEGINNING INSTALLATION OF ANY TREES, A SOIL AMENDMENT SCHEDULE FOR ALL TREE PLANTINGS SHALL BE PREPARED BY A CERTIFIED LANDSCAPE ARCHITECT AND BE PROVIDED TO THE CITY OF RALEIGH PLANNING DEPARTMENT.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A CERTIFIED STATEMENT SHALL BE PROVIDED TO TOWN STAFF SITE INSPECTOR ATTESTING TO THE FACT THAT THE SOIL AMENDMENT SCHEDULE WAS FOLLOWED AS SPECIFIED IN THE APPROVED SITE AND/OR SUBDIVISION PLAN. THIS STATEMENT SHALL BE CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT, CERTIFIED ARBORIST, OR OTHER SPECIALIST AS DETERMINED ACCEPTABLE BY THE PLANNING DIRECTOR.
- THE PROPERTY OWNER OR DEVELOPER SHALL PROVIDE FOR CONTINUOUS MAINTENANCE OF THE LANDSCAPE AREAS AFTER OCCUPANCY OF THE BUILDING. THE PROPERTY OWNER SHALL ENSURE THAT PERFORMANCE CRITERIA WITHIN THIS ORDINANCE AND/OR INCLUDED ON THE APPROVED SITE AND/OR SUBDIVISION PLAN ARE MET. FAILURE TO CORRECT DEFICIENCIES IN A TIMELY MANNER SHALL RESULT IN A CITATION FOR VIOLATION OF THIS ORDINANCE IN ACCORDANCE WITH CHAPTER 11.

LANDSCAPE MAINTENANCE PLAN:

THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT LIMITED TO:

- FERTILIZATION:** FERTILIZE LAWNS TWICE PER YEAR (FEBRUARY 15-MARCH 15 AND AGAIN SEPTEMBER 1-OCTOBER 31) ACCORDING TO SOIL TEST. FERTILIZE WARM SEASON GRASSES ONCE DURING THE GROWING SEASON PER SOIL TEST.
- PRUNING:** PRUNING SHALL BE LIMITED TO REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OR FOR SIGHT DISTANCES/SAFETY REASONS. THE ANSI A300 STANDARDS SHOULD BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
- PEST CONTROL:** PRE-EMERGENT WEED CONTROL FOR SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
- MULCHING:** MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2-3" IN SHRUB BEDS. MULCH SHALL BE REAPPLIED EVERY TWO YEARS, AS NECESSARY TO MAINTAIN THE AVERAGE DEPTH OF THE PLANT BED.
- MOWING:** PRIMARY FESCUE LAWNS SHALL BE MAINTAINED AT A HEIGHT OF 3" AND SHALL BE MOWED APPROXIMATELY 30 TIMES PER YEAR. SECONDARY TURF AREAS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY. WARM SEASON GRASSES SHALL BE MOWED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS.
- PLANT PROTECTION:** AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS.
- WATERING:** IF ANY IRRIGATION SYSTEM IS UTILIZED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1" OF RAINFALL PER WEEK DURING THE GROWING SEASON. (PENDING CITY OF RALEIGH WATER/IRRIGATION SUPPLIES.)
- PLANT REPLACEMENT:** ANY REQUIRED PLANTING, WHICH IS REMOVED OR DIES AFTER DATE OF PLANTING SHALL BE REPLACED DURING THE NEXT PLANTING SEASON. ALSO, ANY TREE IN A TREE PRESERVATION AREA WHICH IS REMOVED OR DIES SHALL BE REPLACED DURING THE NEXT PLANTING SEASON.

REMOVAL OF DISEASE INFESTED MATERIAL SHALL BE ALLOWED SO LONG AS REQUIRED SHRUBS ARE REPLACED AT THE REQUIRED RATES AND SIZES.  
 FAILURE TO MAINTAIN REQUIRED LANDSCAPE AREAS SHALL CONSTITUTE A VIOLATION OF THIS UDO ENFORCEABLE UNDER THE PROVISIONS OF SECTION 10-ENFORCEMENT.

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 522 E WHITAKER MILL RD  
 RALEIGH, NORTH CAROLINA

Drawn By: **MRK**  
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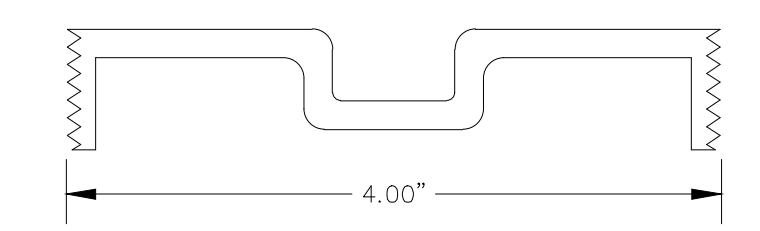
ADMINISTRATIVE SITE REVIEW

LANDSCAPE PLAN

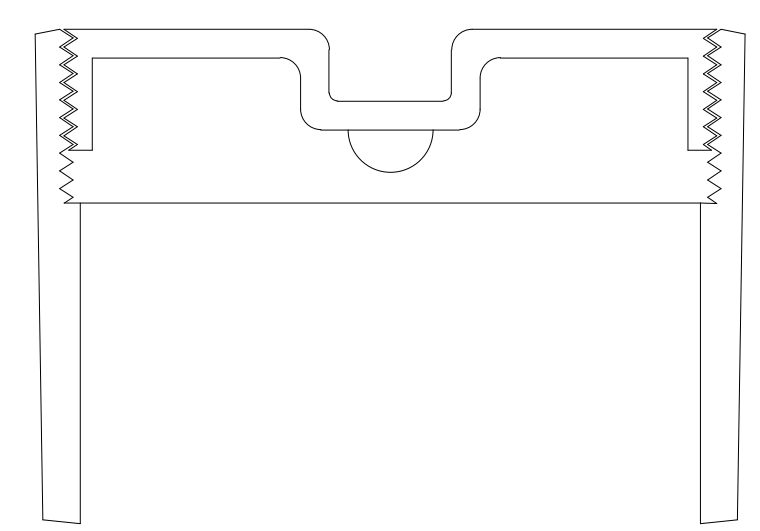
Job Code: **TKPWM**

Dwg No.  
**SITE 500**

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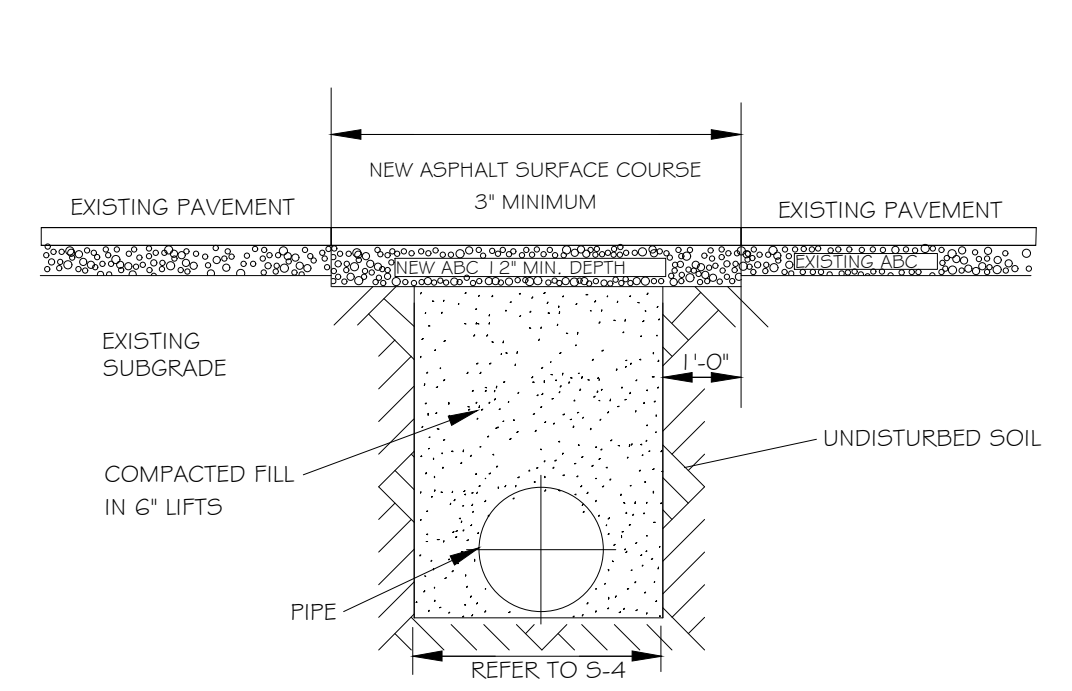


STANDARD 4" BRONZE CLEANOUT PLUG



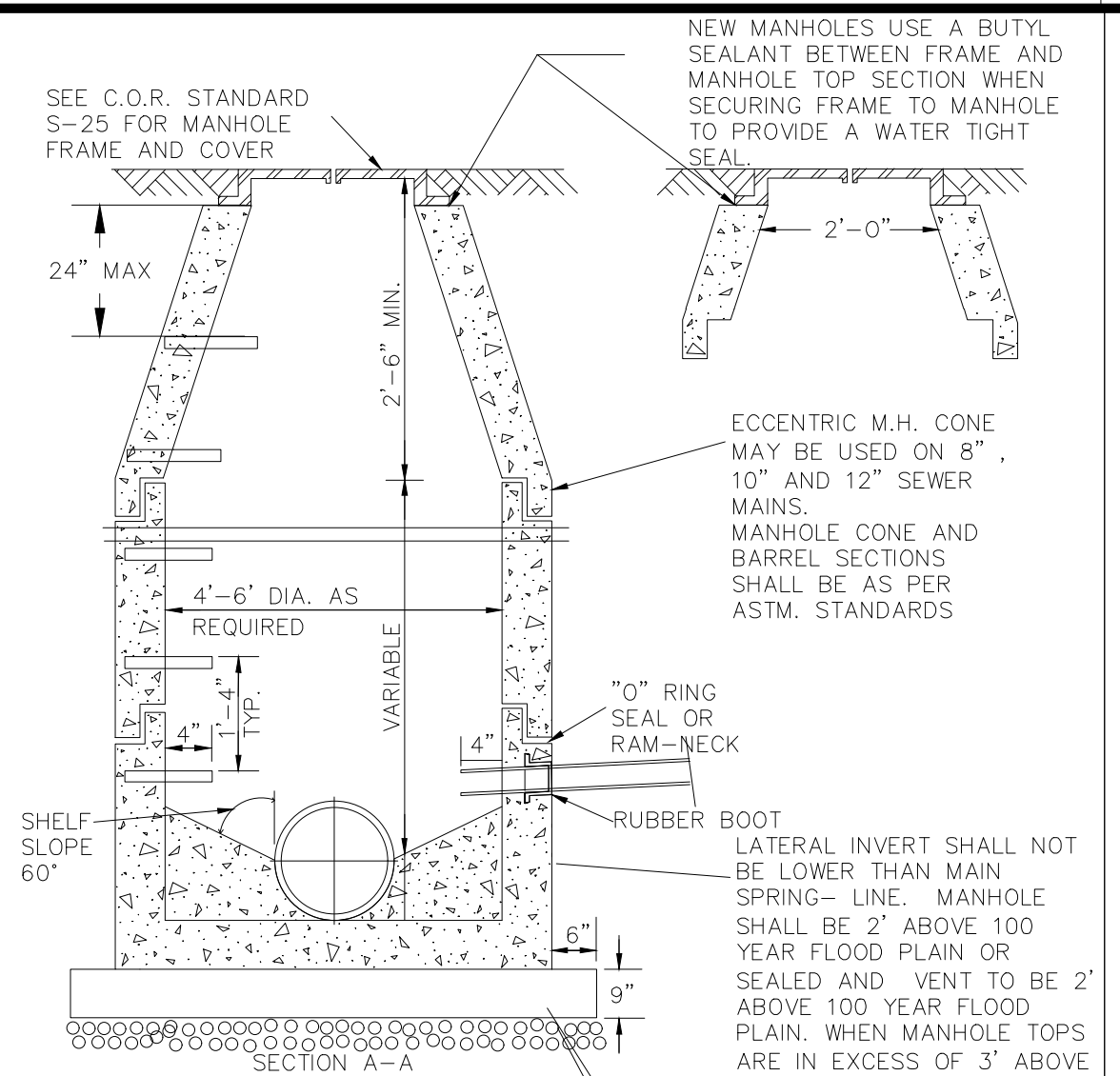
CLEANOUT FERRULE WITH INVERTED NUT RAISED NUT

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
4" CLEANOUT PLUG				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-34	D.W.C.	5-27-98		



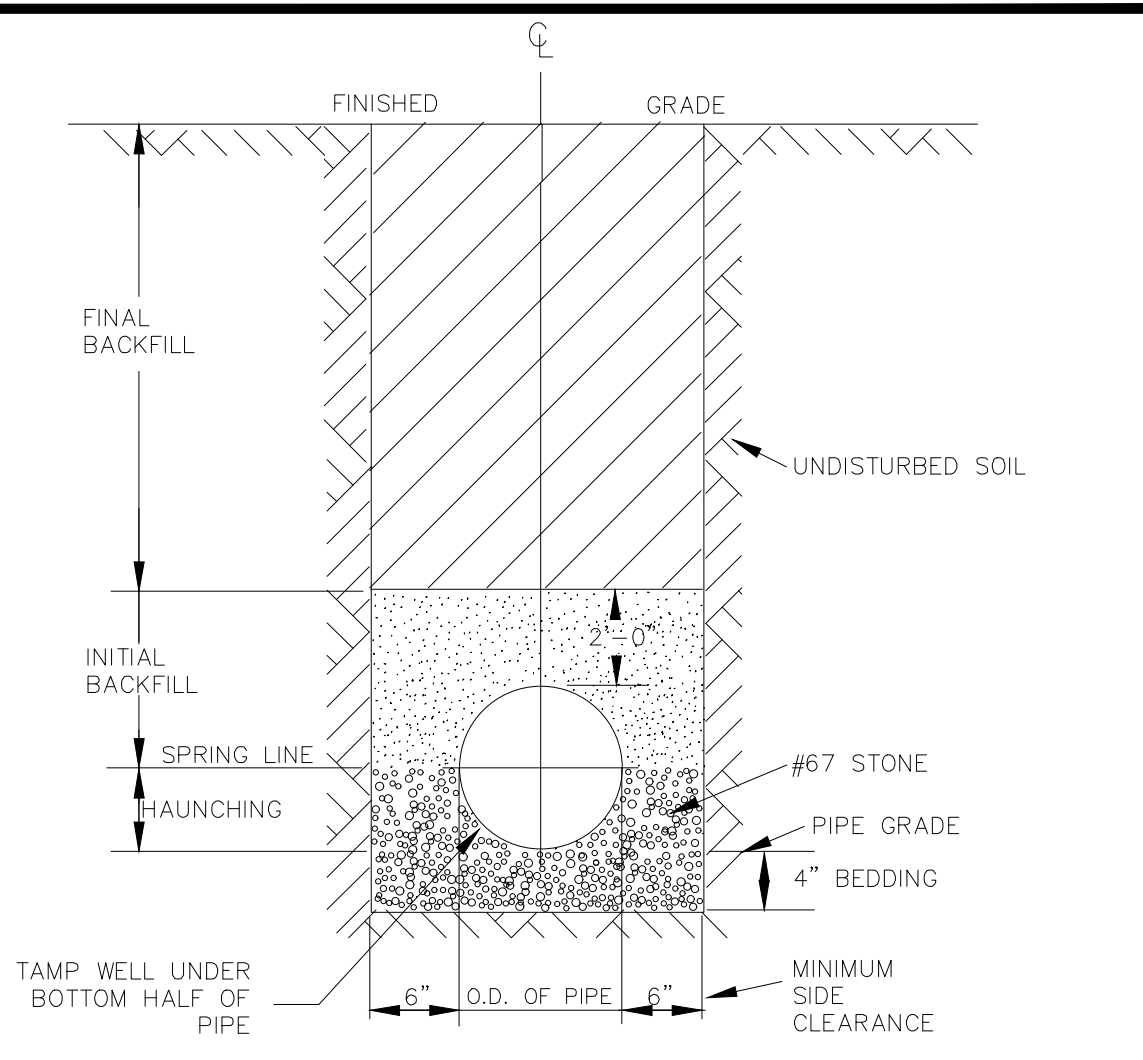
NOTES:  
 1. IN NCDOT MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.  
 2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.  
 3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.  
 4. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.  
 5. THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.  
 6. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.  
 7. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.  
 8. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING (S-4 & S-5) FOR ADDITIONAL DETAILS.  
 9. NO HAND PATCHING ALLOWED.  
 10. PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-3	D.W.C.	11-1-99	A.B.B.	4-19-04
	RRH	3-30-00	J.P.S.	10-8-10



NEW MANHOLES USE A BUTYL SEALANT BETWEEN FRAME AND MANHOLE TOP SECTION WHEN SECURING FRAME TO MANHOLE TO PROVIDE A WATER TIGHT SEAL.  
 ECCENTRIC M.H. CONE MAY BE USED ON 8" 10" AND 12" SEWER MAINS. MANHOLE CONE AND BARREL SECTIONS SHALL BE AS PER ASTM STANDARDS.  
 "O" RING SEAL OR RAM-NECK RUBBER BOOT  
 LATERAL INVERT SHALL NOT BE LOWER THAN MAIN SPRING LINE. MANHOLE SHALL BE 2' ABOVE 100 YEAR FLOOD PLAIN OR SEALED AND VENT TO BE 2' ABOVE 100 YEAR FLOOD PLAIN. WHEN MANHOLE TOPS ARE IN EXCESS OF 3' ABOVE GRADE, OUTSIDE STEPS MUST BE PROVIDED. SEE STANDARD S-28 FOR STEP DETAIL. IN NON TRAFFIC AREAS, TOP OF FRAME AND COVER SHALL BE INSTALLED A MIN. OF 1' ABOVE FINISHED GROUND SURFACE.  
 SEE SEWER DESIGN SECTION MIN. 9" COMPACTED #67 STONE BASE TO BE INSTALLED UNDER NEW MANHOLE.

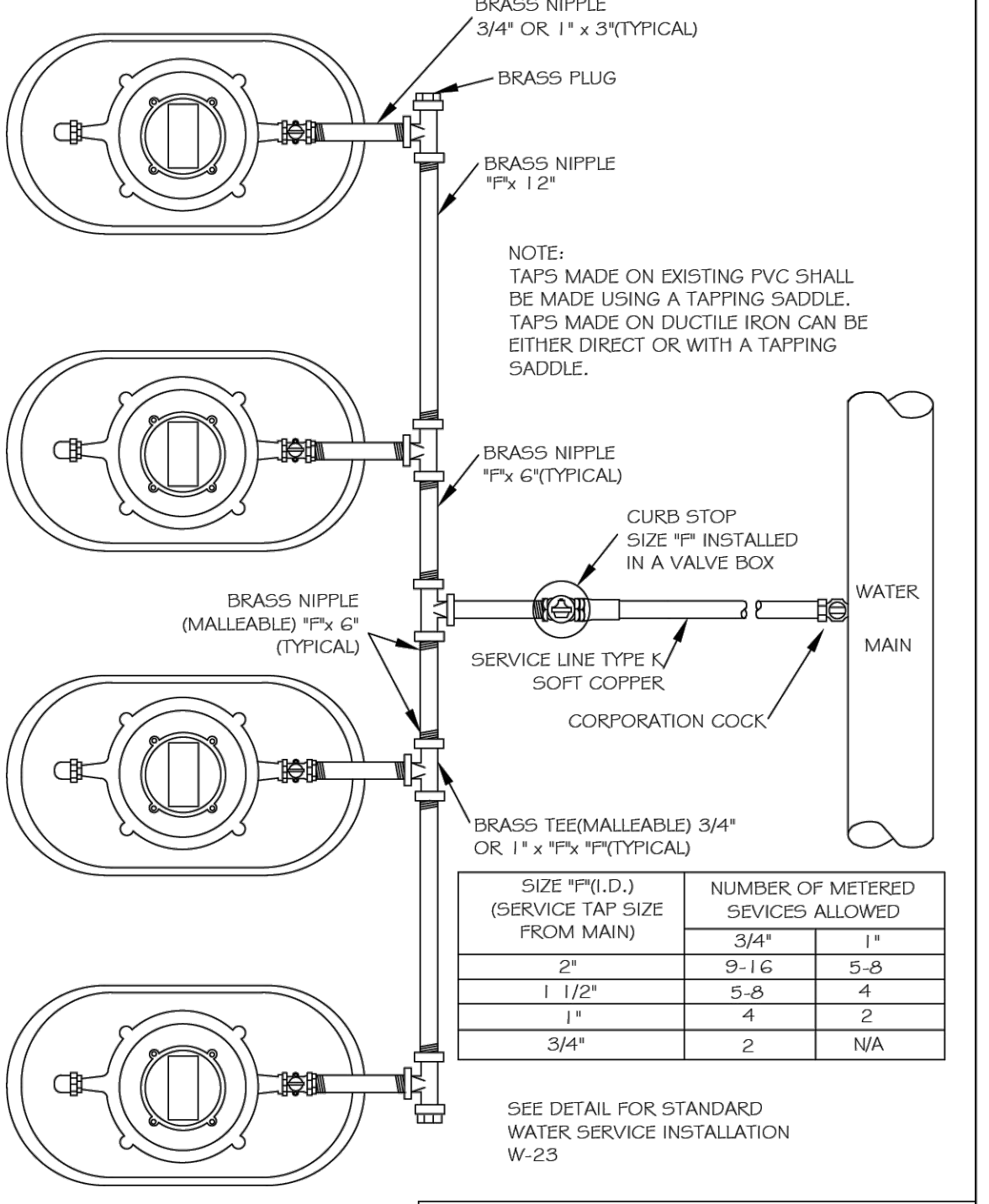
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD PRECAST SANITARY SEWER MANHOLE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-20	Y.C.A.	12-31-92	ABB	2-21-05
	RRH	3-30-03	D.H.L.	6-16-08



TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE

NOTES:  
 1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.  
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.  
 3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.  
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

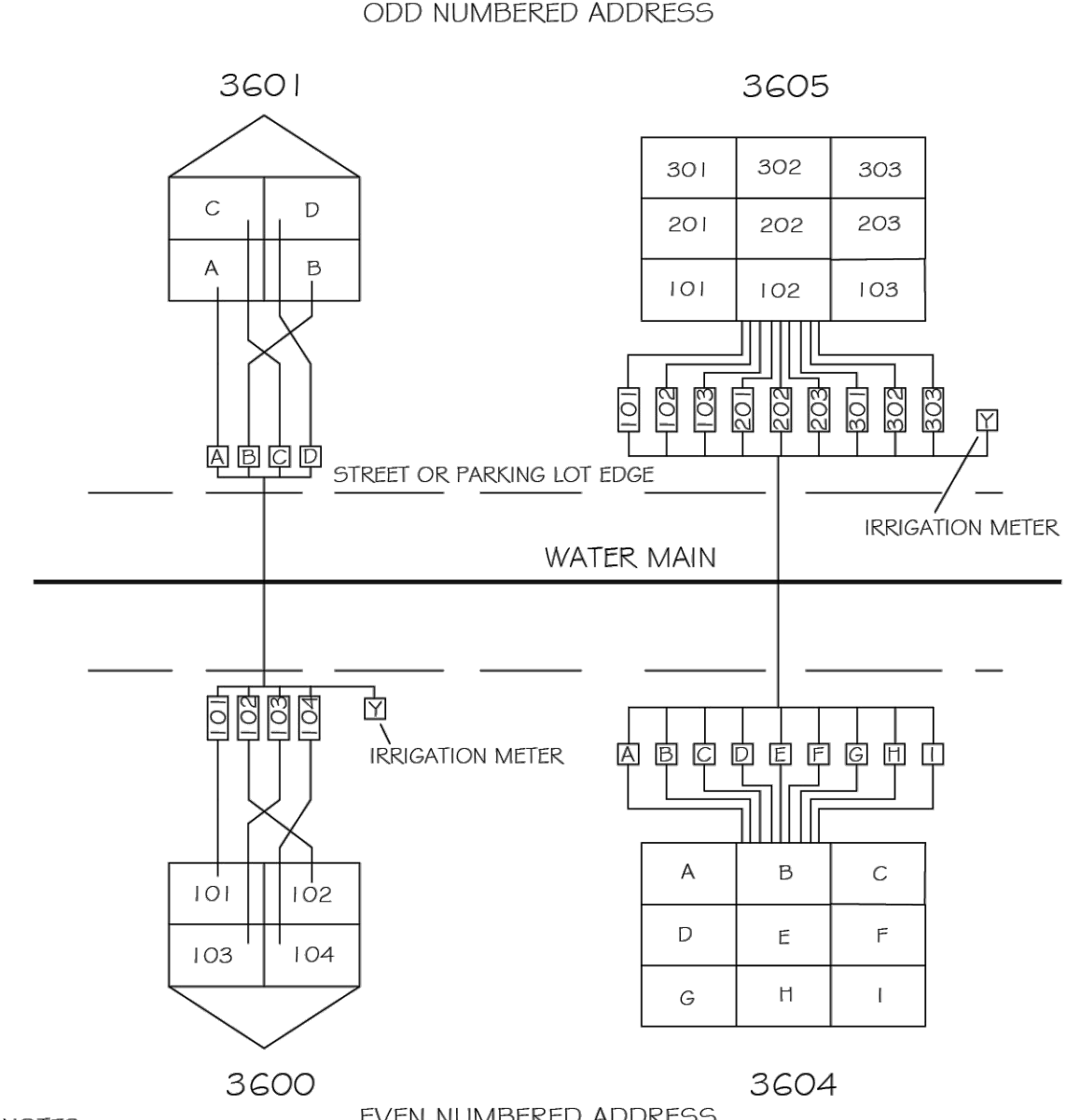
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-5		3-1-87	D.W.C.	9-3-99
		7-2-82	RRH	3-30-00



NOTE:  
 TAPS MADE ON EXISTING PVC SHALL BE MADE USING A TAPPING SADDLE. TAPS MADE ON DUCTILE IRON CAN BE EITHER DIRECT OR WITH A TAPPING SADDLE.

SIZE "(I.D.) (SERVICE TAP SIZE FROM MAIN)	NUMBER OF METERED SERVICES ALLOWED
3/4"	1
1"	2
1 1/2"	4
2"	8
3"	16
4"	24
6"	48
8"	96
10"	192
12"	384

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD GANG METER ASSEMBLY				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-26	METERED SERV.	4-1-82	D.W.C.	11-18-99
	Y.C.A.	12-31-91	J.P.S.	11-4-10



NOTES:  
 1. EVEN NUMBERED UNITS' METERS SHALL BE SET TO BE READ RIGHT TO LEFT (WHEN FACING BUILDING)  
 2. ODD NUMBERED UNITS' METERS SHALL BE SET TO BE READ LEFT TO RIGHT (WHEN FACING BUILDING)  
 3. IF IRRIGATION METER IS INCLUDED, IT SHALL BE THE LAST METER IN NUMBERING SEQUENCE.  
 4. UNIT \* (FOR YARD METER) SHALL BE USED TO INDICATE IRRIGATION METER.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
GANG METER ADDRESSING MULTI-STORY BUILDING				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-28	ABB	6-17-04	RRH	3-31-00

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ADMINISTRATIVE SITE REVIEW

SITE DETAILS

Job Code: TKPWM

Dwg No. **SITE 600**



