



Administrative Approval Action

Case File / Name: ASR-0026-2024
DSLCL - KING FAMILY CONDOMINIUMS

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 0.66 acre site consisting of two lots to be recombined is zoned R-10 and is located on the south side of E. Whitaker Mill Road west of the intersection of E. Whitaker Mill and Center Roads at 518 and 522 E. Whitaker Mill Road. Existing structures on site are to be removed. This site is within a Frequent Transit area as designated by the Comprehensive Plan.
- REQUEST:** This proposal is to construct nine three-story apartments and associated infrastructure utilizing the Frequent Transit Development Option.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 14, 2025 by The Site Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A fee-in-lieu for 1' of sidewalk along Whitaker Mill Road is paid to the City of Raleigh (UDO 8.1.10)
2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

4. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lot and alley into a single lot.
2. A demolition permit shall be obtained.

Public Utilities



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3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 3 street trees along E Whitaker Mill Rd.
7. A public infrastructure surety for (3) street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: March 19, 2028
Obtain a valid building permit for the total area of the project, or a phase of the

Administrative Site Review Application

Planning and Development Customer Service Center, One Center Park, Suite 400, Raleigh, NC 27601 (919) 688-2000



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.1. Please check the appropriate building type and include the plan document when submitting.

Office Use Only: Case # _____ Planner (initials) _____

Planner (initials) _____

Site Plan Tier	Use This Site Plan	Use This Site Plan	Site Transaction History																						
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GENERAL INFORMATION

Development name: KING FAMILY APARTMENTS
 Inside City limits? Yes No
 Property address(es): 522 & 518 E. Whitaker Mill Road

Site Plan No. 1704-88-8907 ; 1704-88-8919

Please describe the scope of work, include any additions, expansions, and uses (UDO 8.1.4).
 This project proposes the demolition of two existing duplexes to construct nine, 3-story apartments. These plans include the new building footprint, site access from E. Whitaker Mill Road, required landscaping, required utility conditions, and stormwater control measures. Each unit contains 4 parking spaces per unit (2 from garage, and 2 water spaces).

Current Property Owner(s): TMI KING
 Company: King Family Real Estate, LLC Title: _____
 Address: 10724 Beaver Pond Lane, Raleigh, NC 27614
 Phone # 919-632-6832 Email: tmkingproperties@gmail.com

Applicant Name (if different from owner, see "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: _____ Address: _____

Phone # _____ Email: _____
 NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: _____ Title: _____
 Address: _____ Email: _____
 Applicant Name: _____
 Company: _____ Address: _____
 Phone #: _____ Email: _____

DEVELOPMENT TYPE + SITE DATA TABLE
 (Applicable to all developments)

DEVELOPMENT TYPE	BUILDING DATA
Zoning district(s) (please provide the average of each): R-10	Existing gross floor area (not to be demolished): 0.00 AC
Open site acreage: 0.66 AC (28,888 SF)	Existing gross floor area to be demolished: 0.06 AC (3,628 SF)
# of parking spaces proposed: 38 (18 garages)	New gross floor area: 24,120 SF
Max # of parking permitted (7.1.2.C): no max	Total of gross (to remain and new): 24,120 SF
Overly District (if applicable): FTDO	Proposed # of buildings: 2
Existing use (UDO 8.1.4): Duplexes	Proposed # of stories for each: 3
Proposed use (UDO 8.1.4): Apartments	Proposed # of basement levels (UDO 1.7.A.6): 0

STORMWATER INFORMATION	
Impervious Area on Parcel(s): Existing (af) 3,019 SF, Proposed total (af) 17,820 SF	Impervious Area for Compliance (includes ROW): Existing (af) 1,111 SF, Proposed total (af) 1,361 SF

RESIDENTIAL OVERSIGHT LOGGING DEVELOPMENTS	
Total # of dwelling units: 0	1 total # of food businesses: 0
# of bedroom units: 1r 2r 3r 4r or more	# of or more
# of lots: 1	Is your project a single tract? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	Request transit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Continue to Applicant Signature Block on Page 4.

Approved: _____
 Date: _____
 Title: _____
 Signature: _____
 Printed Name: _____

Approved: _____
 Date: _____
 Title: _____
 Signature: _____
 Printed Name: _____

APPLICANT REPRESENTATION DECLARATION

I, the undersigned, being duly qualified, do hereby certify that I am the duly authorized representative of the applicant for the above-captioned development. I understand the provisions of the Unified Development Ordinance and the rules and regulations of the City of Raleigh. I understand that the applicant is responsible for providing the information and documents required for the application. I understand that the applicant is responsible for providing the information and documents required for the application. I understand that the applicant is responsible for providing the information and documents required for the application.

Signature: _____ Date: _____
 Printed Name: _____
 Title: _____

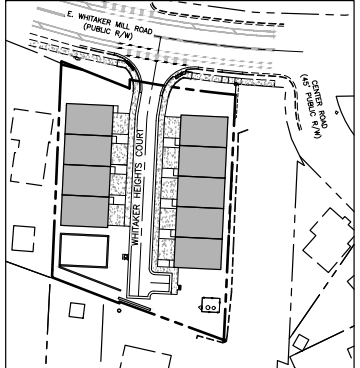
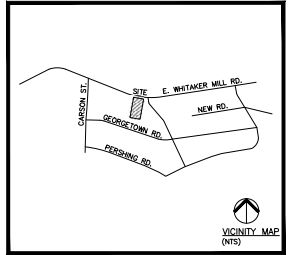
Signature: _____ Date: _____
 Printed Name: _____
 Title: _____

KING FAMILY APARTMENTS

522 & 518 E. WHITAKER MILL ROAD

RALEIGH, NORTH CAROLINA

ASR-0026-2024



TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPP) NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGH.GOV.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND ROOTED ROAD WITH RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPP PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPP PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - "PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - "MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - "NATIONAL EQUALITY ACT (ADA REQUIREMENTS);
 - "RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL SERVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

CLEANOUT NOTES
 ANY NEW CLEANOUT PLACED IN THE PAVEMENT SHALL BE TRAFFIC-RATED PER COR - SEE SITE 601 FOR STANDARD DETAIL 5-30.

SOLID WASTE INSPECTION STATEMENT:
 CITY OF RALEIGH WILL BE PROVIDING CURBSIDE SERVICE CONTAINERS WILL BE STORED IN THE 2-CAR GARAGE WHEN NOT ON THE CURB FOR COLLECTION. RESIDENTS WILL BE RESPONSIBLE FOR BRINGING CONTAINERS TO THE POINT OF COLLECTION AND REMOVING THEM AFTER COLLECTION.

FLOODPLAIN NOTE:
 NO PORTION OF THIS SITE IS LOCATED IN A FLOOD HAZARD AREA ZONE ACCORDING TO FIRM PANEL 37282134888, DATED JULY 19, 2022.

PUBLIC IMPROVEMENT QUANTITIES

PHASE NUMBER	N/A
NUMBER OF LOTS	2
LOT NUMBERS BY PHASE	N/A
NUMBER OF UNITS	2
LIVABLE BUILDINGS	2
PUBLIC WATER (LF)	0 LF
PUBLIC SEWER (LF)	27 LF
PUBLIC STREET (LF)	0 LF
PUBLIC SIDEWALK (LF)	17 LF
WATER SERVICE STUBS	114
SEWER SERVICE STUBS	14

NOTE: TOTAL INCLUDES TE-IN POINTS THAT NEED TO BE INSPECTED

DRAWINGS INDEX:

SITE 001	COVER SHEET
SITE 100	EXISTING CONDITIONS & DEMOLITION PLAN
SITE 200	SITE LAYOUT PLAN
SITE 202	FIRE PROTECTION PLAN
SITE 300	GRADING PLAN
SITE 300A	DETAILED SCGM PLAN
SITE 400	UTILITY PLAN
SITE 500	LANDSCAPE PLAN
SITE 600	SITE DETAILS
SITE 601	SITE DETAILS
SITE 602	SITE DETAILS
SITE 700	PRELIMINARY BUILDING ELEVATIONS
SITE 701	PRELIMINARY BUILDING ELEVATIONS

ATTENTION CONTRACTORS

The Construction Contractor responsible for the construction of water, sewer, and gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2499, and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of these construction.
 Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.
 Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Job-site, or any other Violation of CIP of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

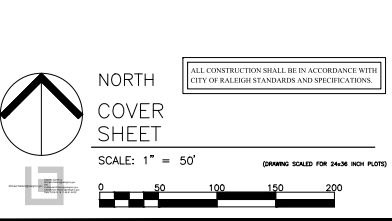
OWNER:
 KING FAMILY REAL ESTATE, LLC
 ATTN: TMI KING
 10724 BEAVER POND LN.
 RALEIGH, NC 27614
 PHONE: (919) 676-7191
 EMAIL: tmkingproperties@gmail.com

CONTACT/ONL. ENGINEER:
 THE SITE GROUP, PLLC
 ATTN: SHAMEL K. WYL, PE
 1111 OSERLINE ROAD
 RALEIGH, NC 27605
 PHONE: (919) 998-9136
 FAX: (919) 839-2255
 EMAIL: SH@thesitegroup.net

SITE DATA SUMMARY

PROJECT NAME:	KING FAMILY APARTMENTS
PROJECT OWNER:	KING FAMILY REAL ESTATE, LLC
PARCEL(S):	1704-88-8907 & 1704-88-8919
SITE ADDRESS:	522 & 518 E. WHITAKER MILL ROAD
JURISDICTION:	CITY OF RALEIGH
ZONING:	R-10
OVERLAY DISTRICT:	FTDO
RIVER BASIN:	NEUSE
EXISTING GROSS SITE AREA:	28,888 SF / 0.66 AC
RIGHT OF WAY DEDICATION:	48 SF / 0.001 AC
NET SITE AREA:	28,840 SF / 0.66 AC
LOT AREA PER UNIT:	24,120 SF / 9 UNITS = 2,680 SF. PER UNIT
CURRENT USE:	DUPLEX
PROPOSED USE:	APARTMENTS
EXISTING BUILDING SQUARE FOOTAGE:	3,628 SF (LOT 1-1,889 SF, LOT 2-1,739)
PROPOSED BUILDING SQUARE FOOTAGE:	24,120 SF. EACH
MAXIMUM BUILDING HEIGHT:	45' HT. (3-STORY)
PROPOSED BUILDING HEIGHT:	44'-10" HT. (3-STORY)
AMENITY AREA PROVIDED:	2,889 SF. (10% OF SITE)
AMENITY AREA REQUIRED:	5,741 SF. (20%)
EXISTING IMPERVIOUS AREA:	8,019 SF. / 0.18 AC
EXISTING IMPERVIOUS AREA IN ROW:	1,111 SF. / 0.03 AC
PROP. IMPERVIOUS SURFACE AREA:	17,920 SF. / 0.41 AC. (61.8%)
PROP. IMPERVIOUS SURFACE AREA IN ROW:	1,351 SF. / 0.03 AC
LIMITS OF DISTURBANCE:	30,908 SF. / 0.71 AC
REQUIRED LOT DIMENSIONS (SEC. 27.1.8.1):	
AREA (MIN):	2,500 SF.
LOT WIDTH (MIN):	45'
DEPTH (MIN):	60'
DENSITY (MAX):	N/A
OUTDOOR AMENITY AREA (MIN):	10%
LOT AREA REQUIRED PER UNIT (SEC. 27.1.1.C):	800 SF
BUILDING SETBACKS (FTA OPTION 2.7.1.0.2):	
PRIMARY STREET:	10'
SIDE STREET:	10'
SIDE LOT:	5'
REAR LOT LINE:	15'
FROM ALLEY:	4' OR 20'
PARKING SETBACKS (FTA OPTION 2.7.1.1.F):	
FRONT STREET:	10'
SIDE STREET:	10'
SIDE LOT:	0'
REAR LOT LINE:	3'
FROM ALLEY:	4' OR 20'
PARKING PROVIDED:	10 MAX
PARKING REQUIRED:	38 SPACES (4/UNIT, 2 VISOR)
SHORT-TERM & LONG-TERM BICYCLE PARKING:	NONE REQUIRED / NONE PROVIDED
WATER PROVIDER:	CITY OF RALEIGH
SEWER PROVIDER:	CITY OF RALEIGH
ELECTRIC PROVIDER:	DUKE ENERGY PROGRAM

PRIMARY STREET SETBACK NOTE:
 THE DEVELOPER ELECTS TO ADHERE TO THE PRIMARY STREET SETBACK RANGE SET FORTH IN THE APPLICABLE ZONING DISTRICT'S MINIMUM PRIMARY STREET SETBACK PER FOOT.



THE SITE GROUP
 CIVIL ENGINEERS + LANDSCAPE ARCHITECTS
 1111 OSERLINE ROAD
 RALEIGH, NC 27605
 PHONE: (919) 855-9787
 EMAIL: SH@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-0026-2024):
KING FAMILY APARTMENTS
 522 & 518 E. WHITAKER MILL ROAD
 RALEIGH, NORTH CAROLINA

Drawn By: _____
 Checked By: _____
 MRK
 SRN

DATE: 01 MAY 2024
 REVISED:
 04 OCT 2024
 19 DEC 2024
 14 FEB 2025

ASR TIER 2 SITE REVIEW

COVER SHEET

Job Code: TKPWM
 Dwg No.: 101
 SITE 001

DISTURBED AREA = 30,908 SF. (0.71 AC.)

REFERENCE:
BOM 1918, PG 18
BOM 2011, PG 10
D.B. 2874, PG 159
D.B. 19644, PG 1825

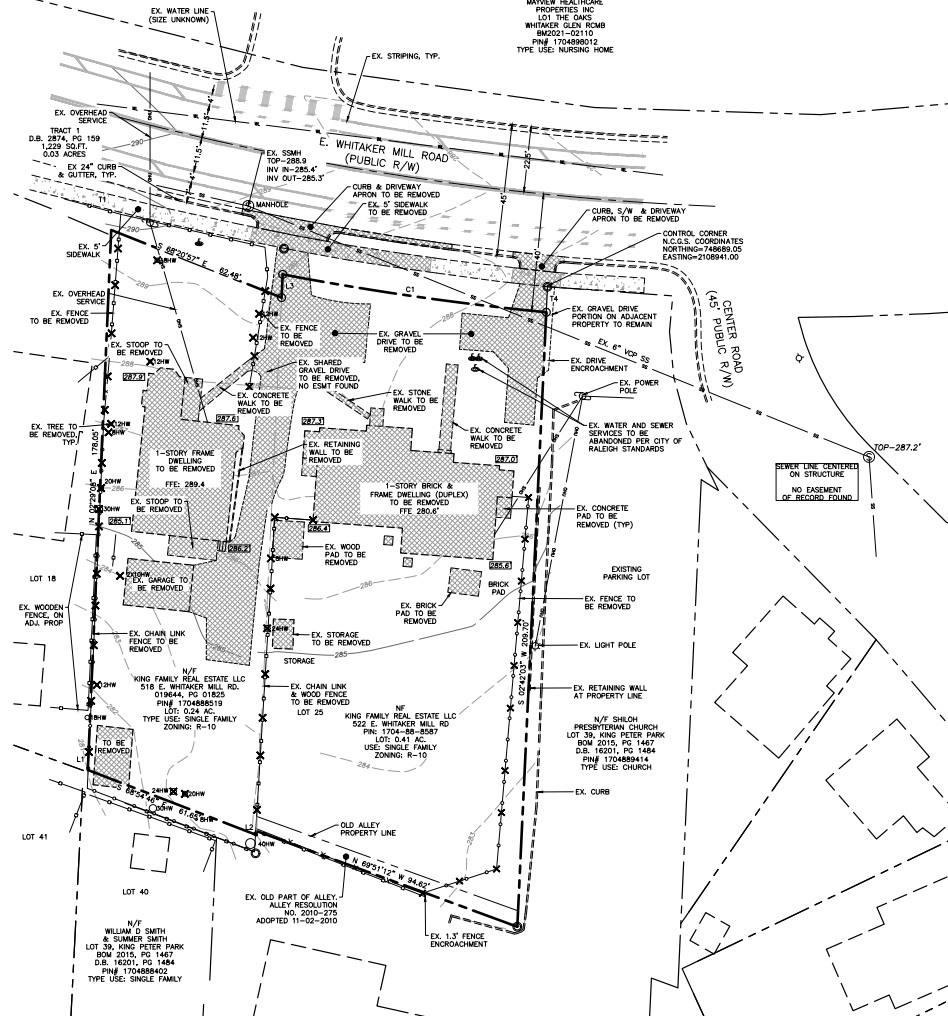
S 81°42'14" E 90.81'
CONTROL CORNER
N.C.G.S. COORDINATES
Northing = 749889.05
Easting = 2108941.00

N/E
MAYHEW HEALTHCARE
PROPERTIES, INC
LOT 1 THE DAMS
WHITAKER CLER, RCMB
RW2021-02110
PIN# 1704888012
TYPE USE: NURSING HOME

CONTROL CORNER
N.C.G.S. COORDINATES
Northing = 749889.05
Easting = 2108941.00

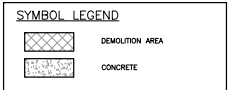
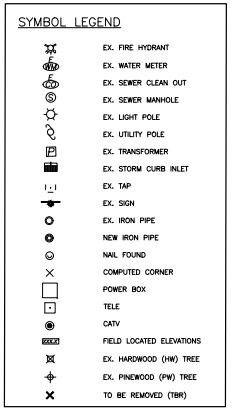
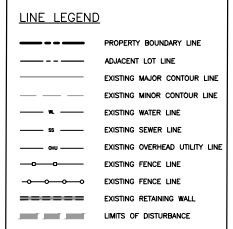
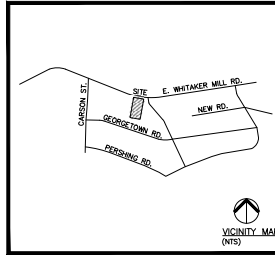
(45' PUBLIC R/W)

SEWER LINE CENTERED
ON STRUCTURE
NO EASEMENT
OR RECORD FOUND



GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. BOUNDARY, TOPOGRAPHY, AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY TURNING POINT SURVEYING, PLLC, DATED FEBRUARY 13TH, 2024. ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
6. NO PORTION OF THE PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAN AS SHOWN ON FEMA FIRM MAP NO. 3720171300K EFFECTIVE DATE JULY 19, 2022.
7. THE SITE IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS DUE TO SITE AREA IN UDO SEC. 5.3.2.A.5.6.



LINE & CURVE TABLE

LINE	LENGTH	BEARING	CURVE DATA
L1	6.20'	N02°29'08"E	
L2	1.33'	N02°57'52"E	
L3	7.92'	N02°52'04"E	
T4	6.71'	N02°42'03"E	
C1			R=92.70' L=90.80' DELTA=91°42'27"



NORTH
[ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.]

EXISTING CONDITIONS & DEMO PLAN

SCALE: 1" = 20'
(DRAWING SCALED FOR 24x36 INCH PLOTS)

DISTURBED AREA = 30,908 SF. (0.71 AC.)



THE SITE GROUP
CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
THE SITE GROUP, PLLC
1111 Oberlin Road, Suite 1136 USA
Office: 919.852.4787
E-mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-0026-2024):
KING FAMILY APARTMENTS
522 & 518 E. WHITAKER MILL RD
RALEIGH, NORTH CAROLINA

Drawn By: MRK
Checked By: SRN

DATE:
01 MAY 2024
REVISED:
16 JUL 2024
04 OCT 2024
19 DEC 2024
14 FEB 2025

ADMINISTRATIVE SITE REVIEW

EXISTING CONDITIONS & DEMO PLAN

Job Code: TKPWW

Dwg No. **SITE 100**

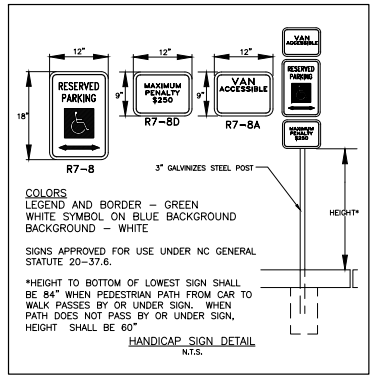
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GENERAL NOTES

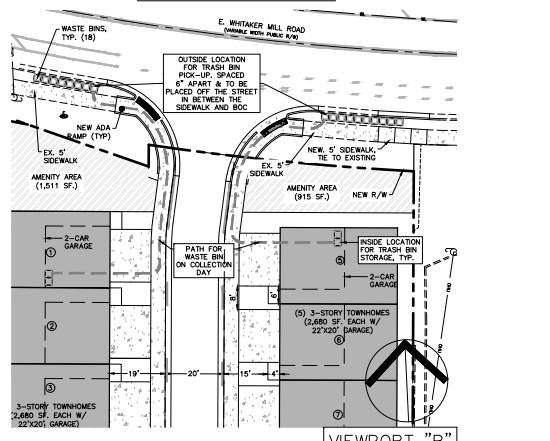
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3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. BOUNDARY, TOPOGRAPHY, AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY TURNING POINT SURVEYING, PLLC, DATED FEBRUARY 13TH, 2024. ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
6. NO PORTION OF THE PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA FIRM MAP NO. 3720171300K EFFECTIVE DATE JULY 19, 2022.
7. THE SITE IS EXEMPT FROM BLOCK PERMETER REQUIREMENTS DUE TO SITE AREA IN UDD SEC. 8.3.2.A.5.B.

SITE DATA SUMMARY

PROJECT NAME:	KING FAMILY APARTMENTS
PROJECT OWNER:	KING FAMILY REAL ESTATE, LLC
FIN(S):	1704-88-8587 & 1704-88-8519
SITE ADDRESS:	522 & 518 E. WHITAKER MILL ROAD
JURISDICTION:	CITY OF RALEIGH
ZONING:	R-10
OVERLAY DISTRICT:	FTDD
RIVER BASIN:	NEUSE
EXISTING GROSS SITE AREA:	28,868 SF. / 0.66 AC
RIGHT OF WAY DEDICATION:	48 SF. / 0.001 AC
NET SITE AREA:	28,840 SF. / 0.66 AC
LOT AREA PER UNIT:	2,4120 SF./9 UNITS = 2,680 SF. PER UNIT
CURRENT USE:	DUPLEX
PROPOSED USE:	APARTMENTS
EXISTING BUILDING SQUARE FOOTAGE:	3,628 SF.(LOT 1-1,889 SF., LOT 2-1,739)
PROPOSED BUILDING SQUARE FOOTAGE:	2,680 SF. EACH
MAXIMUM BUILDING HEIGHT:	45' HT. (3-STORY)
PROPOSED BUILDING HEIGHT:	44'-10" HT. (3-STORY)
AMENITY AREA REQUIRED:	2,889 SF. (108 SF. SITE)
AMENITY AREA PROVIDED:	5,761 SF. (208)
EXISTING IMPERVIOUS AREA:	8,019 SF. / 0.18 AC
EXISTING IMPERVIOUS AREA IN ROW:	1,111 SF. / 0.03 AC
PROP. IMPERVIOUS SURFACE AREA:	17,920 SF. / 0.41 AC. (61.86%)
PROP. IMPERVIOUS SURFACE AREA IN ROW:	1,351 SF. / 0.03 AC
LIMITS OF DISTURBANCE:	30,908 SF. / 0.71 AC.
REQUIRED LOT DIMENSIONS (SEC. 2.7.1.8.):	
AREA (MIN):	2,500 SF.
LOT WIDTH (MIN):	45'
DEPTH (MIN):	60'
DENSITY (MAX):	N/A
OUTDOOR AMENITY AREA (MIN):	100 SF.
LOT AREA REQUIRED PER UNIT (SEC. 2.7.1.C.):	800 SF.
BUILDING SETBACKS (ETA OPTION 2.7.1.D):	
PRIMARY STREET:	10'
SIDE STREET:	5'
REAR LOT LINE:	15'
FROM ALLEY:	4' OR 20'
PARKING SETBACKS (ETA OPTION 2.7.1.F):	
FRONT STREET:	10'
SIDE STREET:	10'
SIDE LOT:	0'
REAR LOT LINE:	5'
FROM ALLEY:	4' OR 20'
PARKING REQUIRED:	NO MAX
PARKING PROVIDED:	38 SPACES (4/UNIT, 2 VISITOR)
SHORT-TERM & LONG-TERM BICYCLE PARKING:	NONE REQUIRED/ NONE PROVIDED
WATER PROVIDER:	CITY OF RALEIGH
SEWER PROVIDER:	CITY OF RALEIGH
ELECTRIC PROVIDER:	DUKE ENERGY PROGRESS



WASTE BIN EXHIBIT



LINE LEGEND

---	PROPERTY BOUNDARY LINE
---	ADJACENT LOT LINE
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
---	EXISTING OVERHEAD UTILITY LINE
---	EXISTING FENCE LINE
---	EXISTING FENCE LINE
---	EXISTING RETAINING WALL

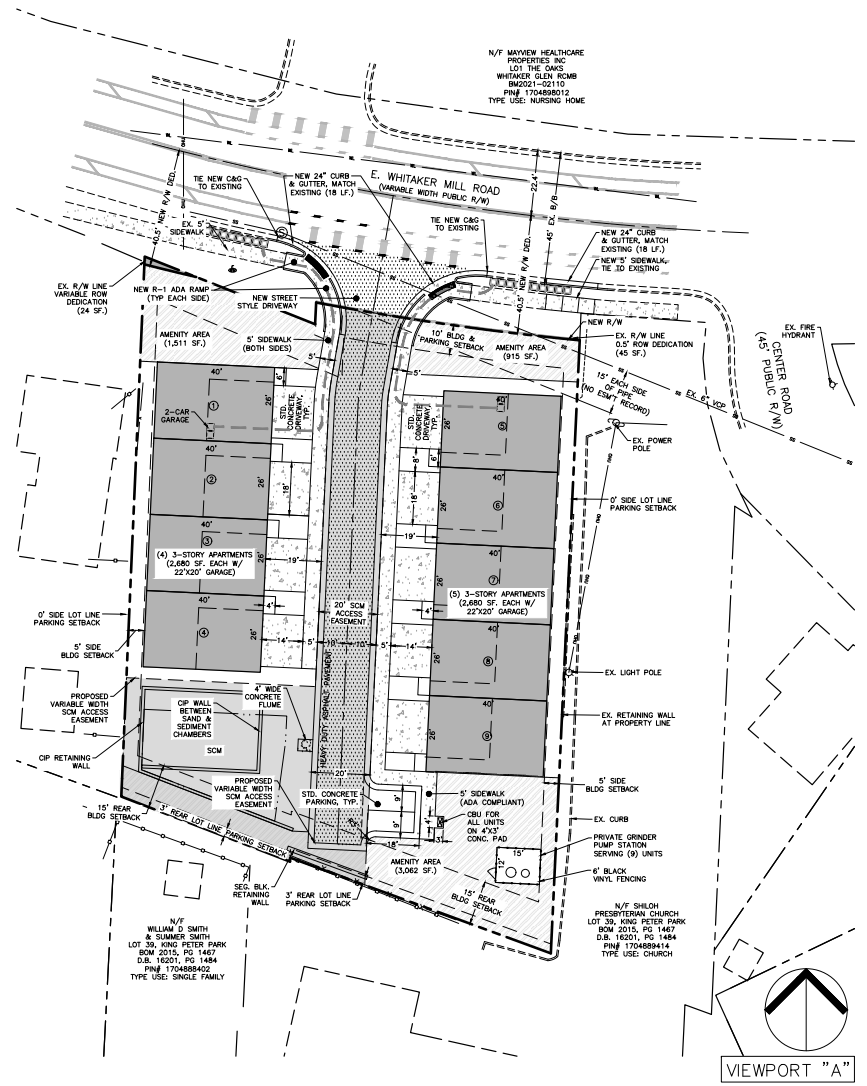
HATCH LEGEND

---	OPEN SPACE
---	EXISTING CONCRETE
---	SCM ACCESS EASEMENT
---	HEAVY DUTY ASPHALT

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

NORTH
SITE LAYOUT & STAKING PLAN

SCALE: 1" = 20' (DRAWING SCALED FOR 24x36 INCH PLOTS)



FLOODPLAIN NOTE:
NO PORTION OF THIS SITE IS LOCATED IN A FLOOD HAZARD AREA ZONE ACCORDING TO FIRM PANEL 3720171300K, DATED JULY 19TH, 2022.

SOLID WASTE INSPECTION STATEMENT:
CITY OF RALEIGH WILL BE PROVIDING CURBSIDE SERVICE. CONTAINERS WILL BE STORED IN THE 2-CAR GARAGE WHEN NOT ON THE CURB FOR COLLECTION. RESIDENTS WILL BE RESPONSIBLE FOR BRINGING CONTAINERS TO THE POINT OF COLLECTION AND REMOVING THEM AFTER COLLECTION.

THE SITE GROUP
CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
1111 Oshorn Road, Raleigh, NC 27601
Office: 919.855.4787
E-Mail: SRN@thesitegroup.net

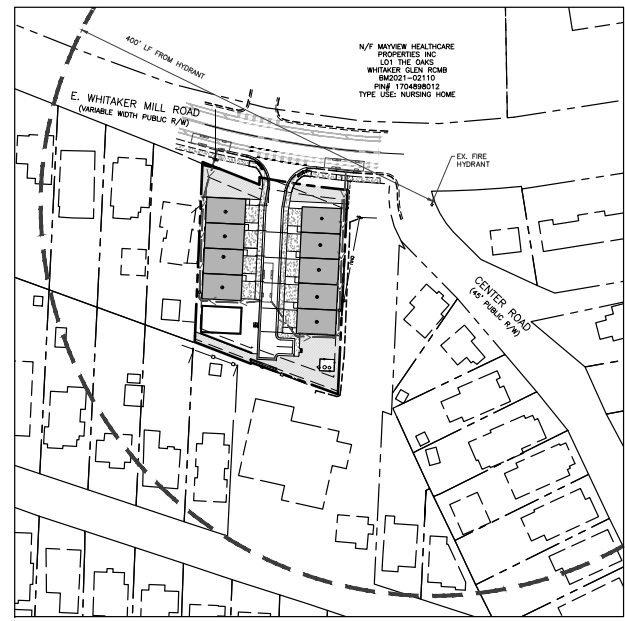
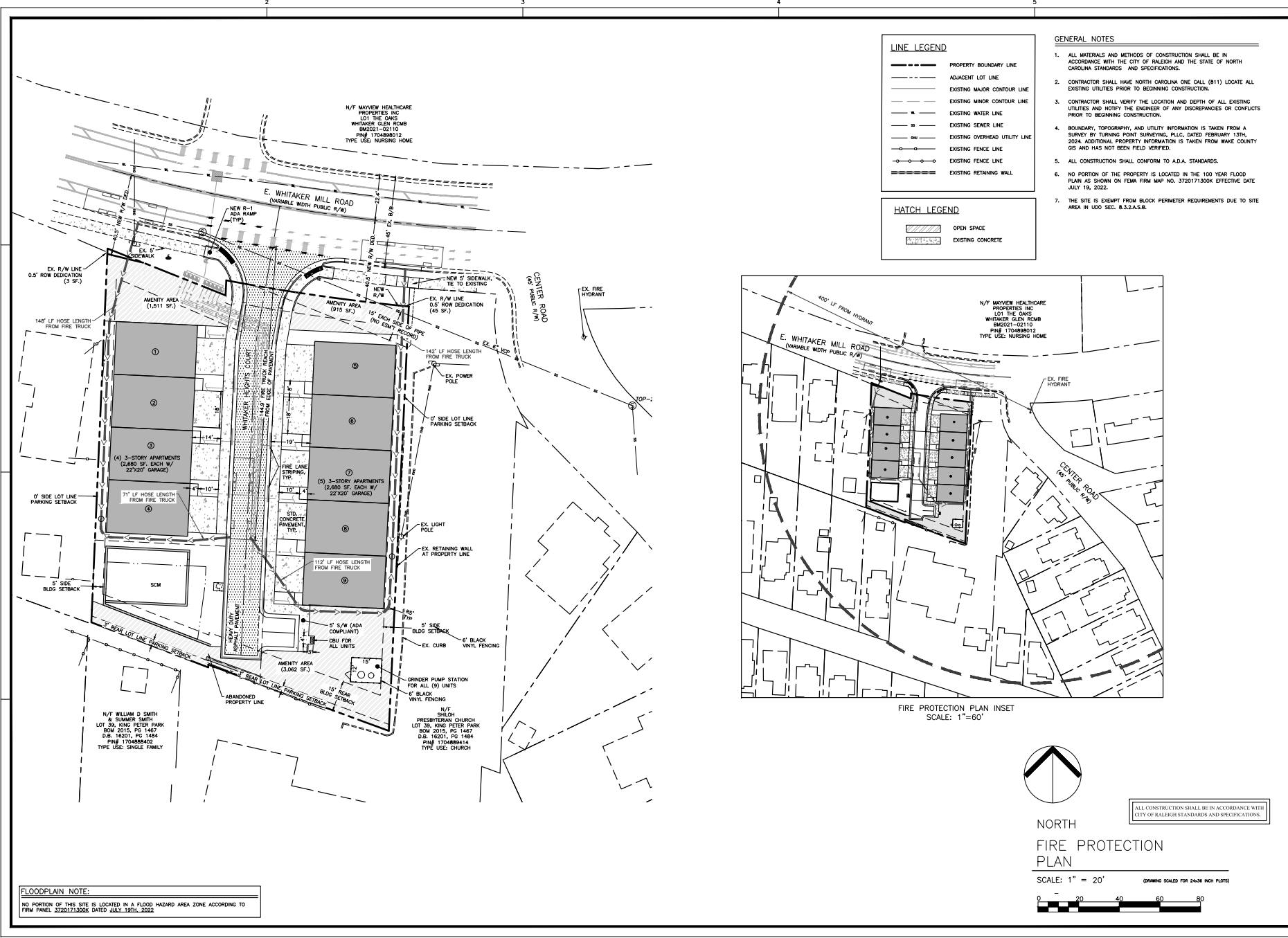
ADMINISTRATIVE SITE REVIEW (ASR-0026-2024):
KING FAMILY APARTMENTS
522 & 518 E. WHITAKER MILL RD
RALEIGH, NORTH CAROLINA

Drawn By: **MRK**
Checked By: **SRN**

DATE: 01 MAY 2024
REVISED:
16 JUL 2024
04 OCT 2024
19 DEC 2024
14 FEB 2025

ADMINISTRATIVE SITE REVIEW

SITE LAYOUT & STAKING PLAN
Job Code: **TKPWW**
Dwg No.: **100**
SITE 200



NORTH
FIRE PROTECTION
PLAN

SCALE: 1" = 20' (DRAWING SCALED FOR 24x36 INCH PLOTS)



THE SITE GROUP
CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
THE SITE GROUP, PLLC
8111 Obelisk Road
Raleigh, NC 27617
Office: 919.855.4787
E-Mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-0026-2024):
KING FAMILY APARTMENTS
522 & 518 E WHITAKER MILL RD
RALEIGH, NORTH CAROLINA

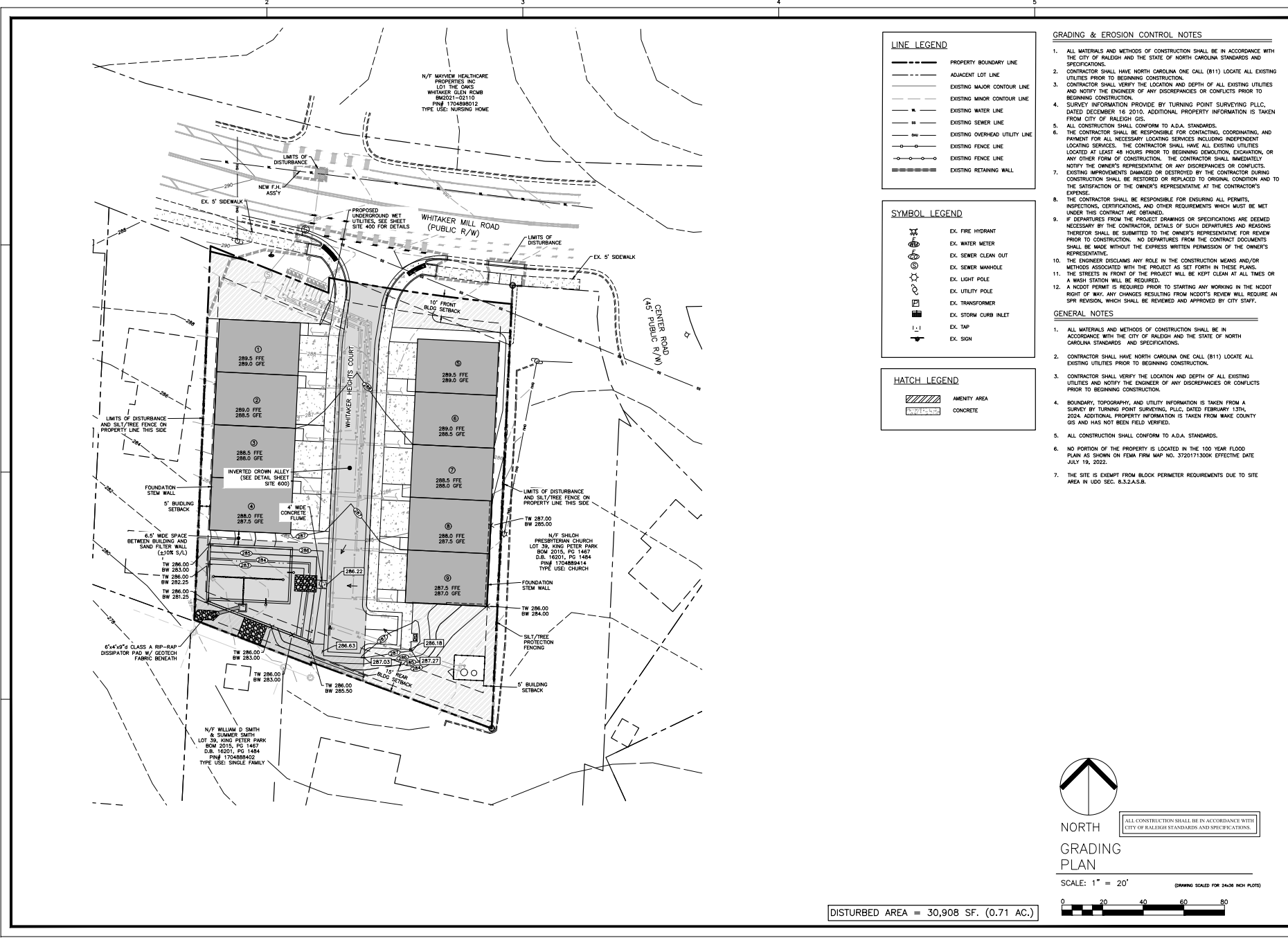
Drawn By: MRK
Checked By: SRN
DATE: 16 JUL 2024
REVISED:
04 OCT 2024
19 DEC 2024
14 FEB 2025

ADMINISTRATIVE
SITE REVIEW

FIRE PROTECTION
PLAN
Job Code: TKPWN

Dwg No.
SITE 202

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LINE LEGEND

---	PROPERTY BOUNDARY LINE
- - - -	ADJACENT LOT LINE
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
---	EXISTING OVERHEAD UTILITY LINE
---	EXISTING FENCE LINE
---	EXISTING RETAINING WALL

SYMBOL LEGEND

⊕	EX. FIRE HYDRANT
⊕	EX. WATER METER
⊕	EX. SEWER CLEAN OUT
⊕	EX. SEWER MANHOLE
⊕	EX. LIGHT POLE
⊕	EX. UTILITY POLE
⊕	EX. TRANSFORMER
⊕	EX. STORM CURB INLET
⊕	EX. TAP
⊕	EX. SIGN

HATCH LEGEND

▨	AMENITY AREA
▨	CONCRETE

GRADING & EROSION CONTROL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. SURVEY INFORMATION PROVIDED BY TURNING POINT SURVEYING, PLLC, DATED DECEMBER 16 2010, ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM CITY OF RALEIGH GIS.
5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
7. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT ARE OBTAINED.
9. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFOR SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
10. THE ENGINEER DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
11. THE STREETS IN FRONT OF THE PROJECT WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
12. A NCDOT PERMIT IS REQUIRED PRIOR TO STARTING ANY WORKING IN THE NCDOT RIGHT OF WAY; ANY CHANGES RESULTING FROM NCDOT'S REVIEW WILL REQUIRE AN SPI REVISION, WHICH SHALL BE REVIEWED AND APPROVED BY CITY STAFF.

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4. BOUNDARY, TOPOGRAPHY, AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY TURNING POINT SURVEYING, PLLC, DATED FEBRUARY 13TH, 2024. ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
6. NO PORTION OF THE PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA FIRM MAP NO. 3720171300E DATED JULY 19, 2022.
7. THE SITE IS EXEMPT FROM BLOCK PERMETER REQUIREMENTS DUE TO SITE AREA IN UDO SEC. 6.3.2.A.8.

THE SITE GROUP
 CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
 1111 Obelisk Road
 Office: 919.852.4787
 E-Mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-0026-2024):
KING FAMILY APARTMENTS
 522 & 518 E WHITTAKER MILL RD
 RALEIGH, NORTH CAROLINA

Drawn By: MRK
 Checked By: SRN
 DATE:
 01 MAY 2024
 REVISED:
 16 JUL 2024
 04 OCT 2024
 19 DEC 2024
 PROGRESS

ADMINISTRATIVE SITE REVIEW
 GRADING PLAN
 Job Code: TKPWM
 Dwg No.: 300

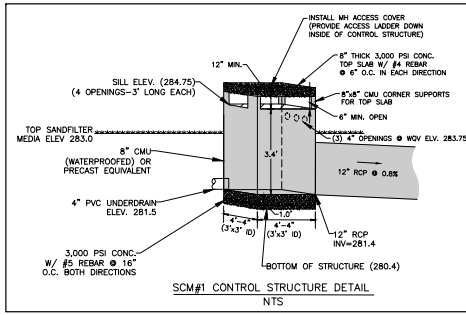
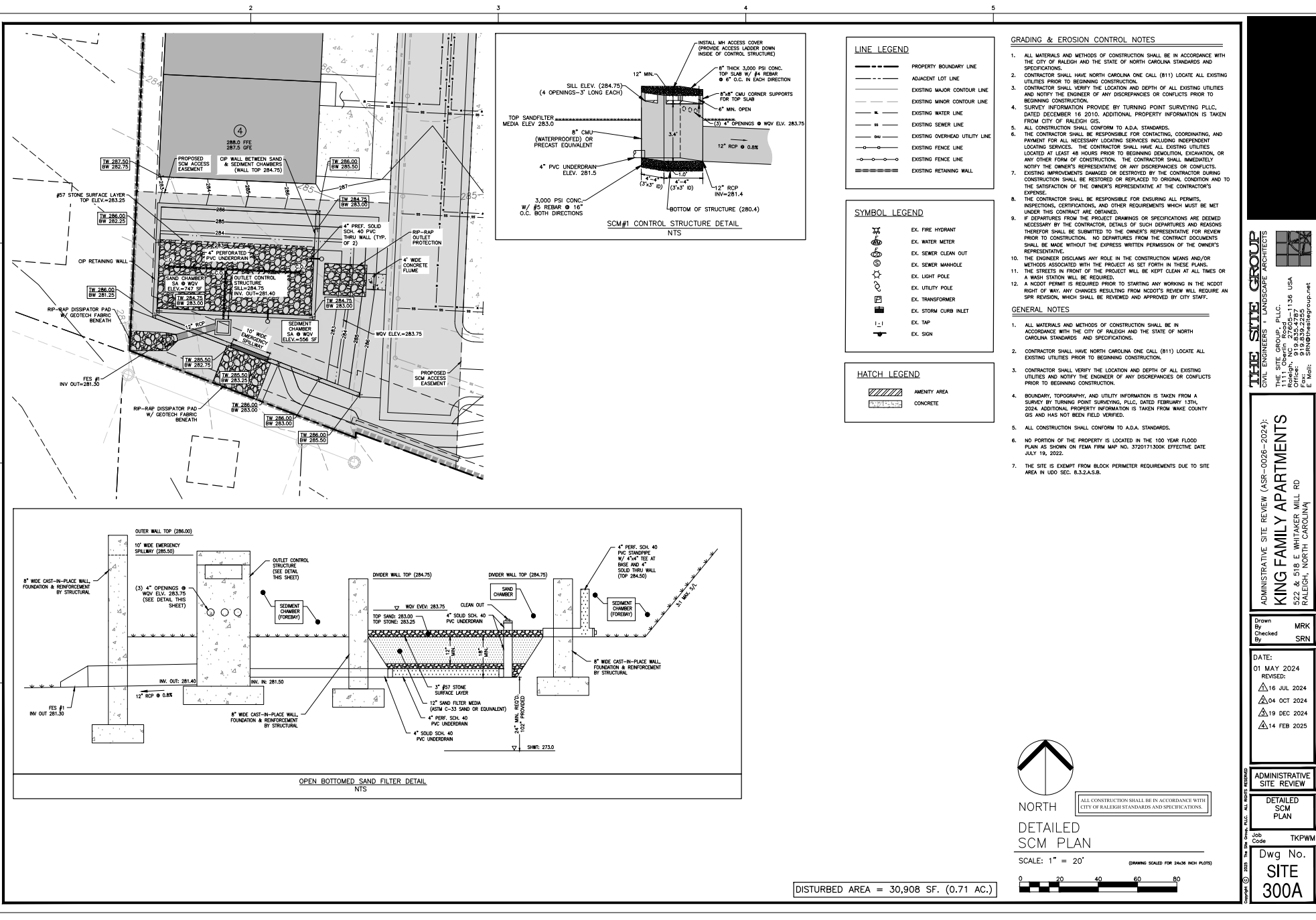
DISTURBED AREA = 30,908 SF. (0.71 AC.)



SCALE: 1" = 20' (DRAWING SCALED FOR 24x36 INCH PLOTS)



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LINE LEGEND

---	PROPERTY BOUNDARY LINE
- - -	ADJACENT LOT LINE
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	EXISTING WATER LINE
---	EXISTING SEWER LINE
---	EXISTING OVERHEAD UTILITY LINE
---	EXISTING ELECTRICITY LINE
---	EXISTING FENCE LINE
---	EXISTING RETAINING WALL

SYMBOL LEGEND

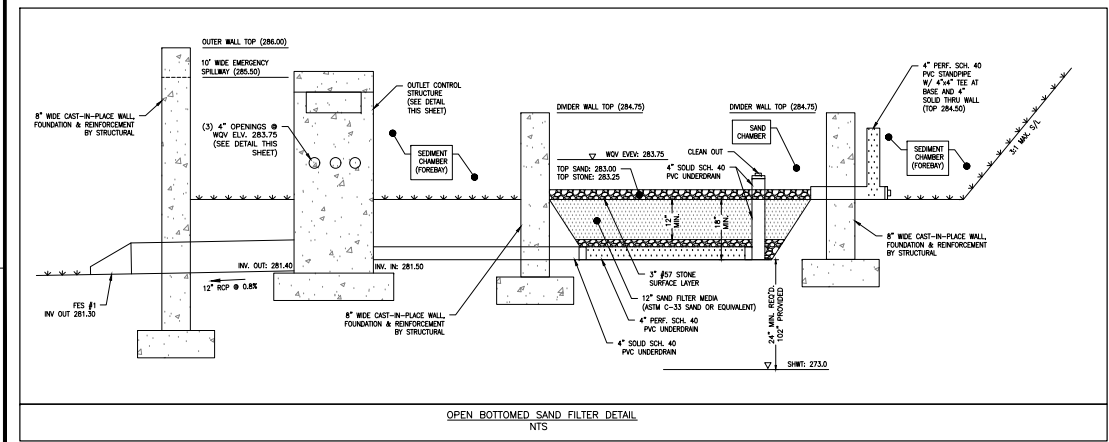
⊕	EX. FIRE HYDRANT
⊕	EX. WATER METER
⊕	EX. SEWER CLEAN OUT
⊕	EX. SEWER MANHOLE
⊕	EX. LIGHT POLE
⊕	EX. UTILITY POLE
⊕	EX. TRANSFORMER
⊕	EX. STORM CURB INLET
⊕	EX. TAP
⊕	EX. SIGN

HATCH LEGEND

▨	AMENITY AREA
▨	CONCRETE

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DISTURBED AREA = 30,908 SF. (0.71 AC.)

NORTH

DETAILED
SCM PLAN

SCALE: 1" = 20'

(DRAWING SCALED FOR 24x36 INCH PLOTS)

0 20 40 60 80

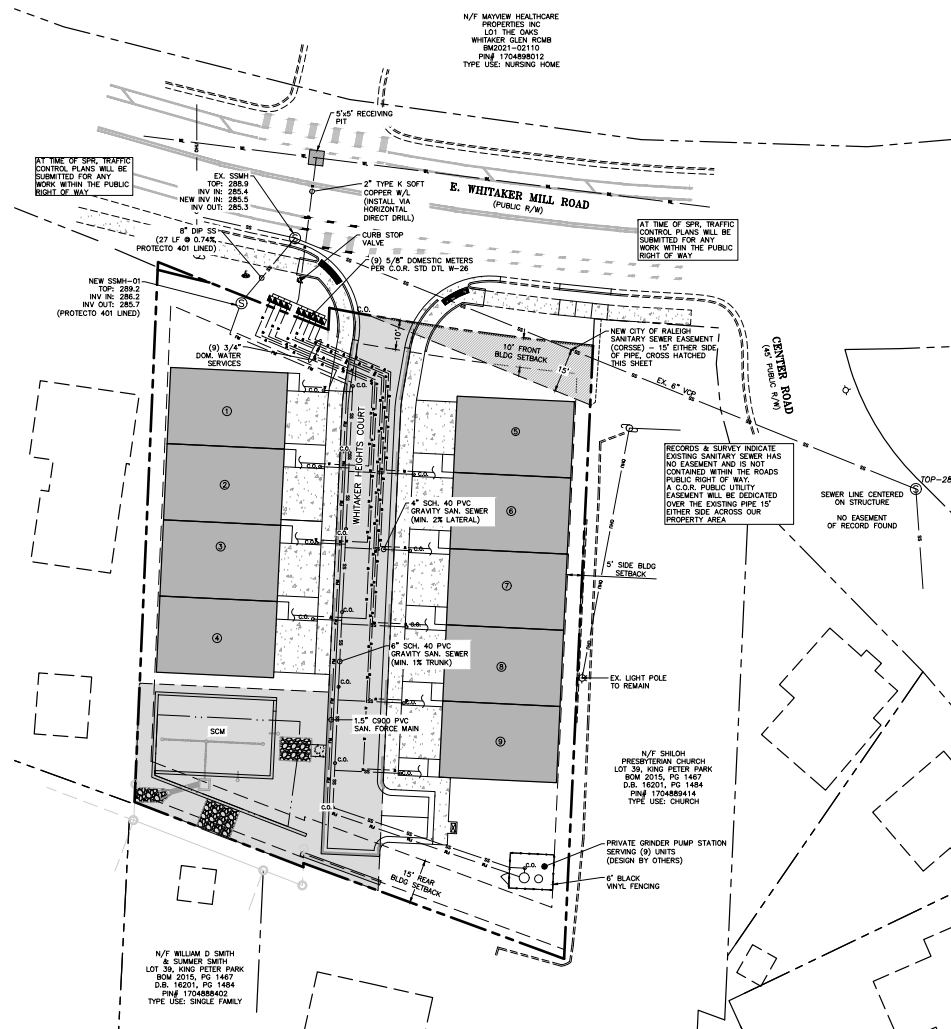
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ADMINISTRATIVE SITE REVIEW (ASR-0026-2024):
KING FAMILY APARTMENTS
 522 & 518 E WHITAKER MILL RD
 RALEIGH, NORTH CAROLINA

Drawn By: MRK
 Checked By: SRN
 DATE: 01 MAY 2024
 REVISED:
 16 JUL 2024
 04 OCT 2024
 19 DEC 2024
 14 FEB 2025

ADMINISTRATIVE SITE REVIEW
 DETAILED SCM PLAN
 Job Code: TKPWM
 Dwg No.: 300A



CLEANOUT NOTES
 ANY SEWER CLEANOUTS PLACED IN THE PAVEMENT SHALL BE TRAFFIC-RATED PER COR - SEE SITE 601 FOR STANDARD DETAIL S-30.

SEWER CONNECTION NOTES
 EX. SANITARY SEWER MANHOLE WE ARE CONNECTING TO ON E. WHITAKER MILL RD. IS VENTED PER CITY OF RALEIGH STD. DETAIL S-25

COR STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPULP HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPULP DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESS THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMANS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPULP HANDBOOK PROCEDURE.
- INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINE FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPESTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDC, USACE &/OR FEMA FOR ANY PROGRAM BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW 100 PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOORALEIGH@NC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT: ANY CITY REBURDEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.
- EDIT TYPICAL SERVICE SIZE & MATERIAL AS APPROPRIATE

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UTILITY NOTES

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- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
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LINE LEGEND

---	PROPERTY BOUNDARY LINE
---	ADJACENT LOT LINE
---	OLD R/W LINE
---	NEW R/W LINE
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	EXISTING WATER LINE
---	NEW WATER LINE
---	EXISTING SEWER LINE
---	NEW SEWER LINE
---	EXISTING OVERHEAD UTILITY LINE
---	RALEIGH UTILITY EASEMENT

SYMBOL LEGEND

☒	EX. FIRE HYDRANT
☒	EX. WATER VALVE
☒	EX. SEWER CLEAN OUT
☒	EX. SEWER MANHOLE
☒	EX. LIGHT POLE
☒	EX. UTILITY POLE
☒	EXISTING TRANSFORMER
☒	EXISTING STORM CURB INLET



**NORTH
UTILITY
PLAN**

SCALE: 1" = 20'

(DRAWING SCALED FOR 24x36 INCH PLOT)



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ADMINISTRATIVE SITE REVIEW

UTILITY PLAN

Job Code: **TKPWM**

Dwg No. **SITE 400**

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OVERALL PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	USE	CALIPER/HEIGHT AT PLANTING	MATURE HEIGHT /CROWN SPREAD	ROOT	SPACING
CANOPY TREES								
ABA	11	ACER BUERGERIANUM 'AERYN'	AERYN TRIDENT MAPLE	FOUNDATION	3" CAL./10' HT.	40'/25'	B&B	AS SHOWN
NS	3	NYSSA SILVATICA 'GREEN CABLE'	GREEN CABLE BLACK GUM	STREET TREE	3" CAL./10' HT.	50'/40'	B&B	AS SHOWN
SHRUBS								
ARC	20	ABELIA GRANDIFLORA 'ROSE CREEK'	ROSE CREEK GLOSSY ABELIA	FOUNDATION	18" HT. MIN.	3'/3'	CONT.	3' O.C.
AKD	20	ABELIA GRANDIFLORA 'KALIDOSCOPE'	KALIDOSCOPE GLOSSY ABELIA	FOUNDATION	18" HT. MIN.	3'/3'	CONT.	3' O.C.
ICS	13	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	SCREEN	36" HT. MIN.	8'/5'	CONT.	5' O.C.
IGS	17	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	FOUNDATION	24" HT. MIN.	4'/4'	CONT.	4' O.C.
IXA	4	ILEX x 'ACADIANA'	ACADIANA HOLLY	FOUNDATION	36" HT. MIN.	12'/8'	CONT.	AS SHOWN
MS	21	LILLOUM FLORIDANUM 'MISS SCARLET'	MISS SCARLET ANISE	FOUNDATION	24" HT. MIN.	4'/4'	CONT.	4' O.C.

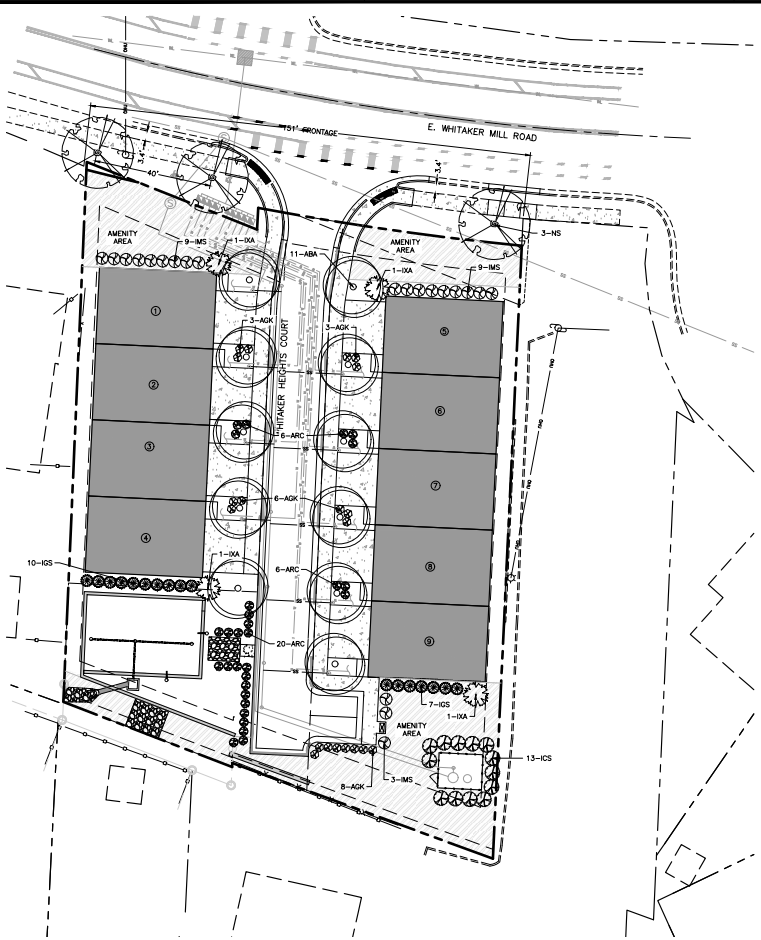
LANDSCAPE MAINTENANCE PLAN:

THE OWNER OF THE PROPERTY AND THEIR AGENTS, HEIRS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNER SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT LIMITED TO:

- FERTILIZATION:** FERTILIZE LAWN TWICE PER YEAR (FEBRUARY 15-MARCH 15 AND AGAIN SEPTEMBER 1-OCTOBER 31) ACCORDING TO SOIL TEST. FERTILIZE WARM SEASON GRASSES ONCE DURING THE GROWING SEASON PER SOIL TEST.
- PRUNING:** PRUNING SHALL BE LIMITED TO REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OR FOR SIGHT DISTANCES/SAFETY REASONS. THE ANSI A300 STANDARDS SHOULD BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
- WEED CONTROL:** PRE-EMERGENT WEED CONTROL FOR SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR SOFT INSESTION AND DISEASE MAY BE APPLIED AND SHALL BE SUBJECT TO THE PROGRAM.
- MULCHING:** MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2-3" IN SHRUB BEDS. MULCH SHALL BE REAPPLIED EVERY TWO YEARS, AS NECESSARY TO MAINTAIN THE AVERAGE DEPTH OF THE MULCH BED.
- MOVER:** PRIMARY TREES/LANES SHALL BE MAINTAINED AT A HEIGHT OF 3" AND SHALL BE MOVED APPROXIMATELY 30 TIMES PER YEAR. SECONDARY TURF AREAS MAY BE MAINTAINED HEWER AND MORE FREQUENTLY. WARM SEASON GRASSES SHALL BE MOVED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS.
- PLANT PROTECTION:** WOOD EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS.
- IRRIGATION:** IF AN IRRIGATION SYSTEM IS UTILIZED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1" OF RAINFALL PER WEEK DURING THE GROWING SEASON. (PENDING CITY OF RALEIGH INTER-PROVISION SUPPLES).
- PLANT REPLACEMENT:** ANY REQUIRED PLANTING WHICH IS REMOVED OR DIES AFTER DATE OF PLANTING SHALL BE REPLACED DURING THE NEXT PLANTING SEASON. ALSO, ANY TREE IN A TREE PRESERVATION AREA WHICH IS REMOVED OR DIES SHALL BE REPLACED DURING THE NEXT PLANTING SEASON.
- REMOVAL OF DISEASE INFESTED MATERIAL:** SHALL BE ALLOWED SO LONG AS REQUIRED SHRUBS ARE REPLACED AT THE REQUIRED RATES AND SEASONS.
- FAILURE TO MAINTAIN REQUIRED LANDSCAPE AREAS:** SHALL CONSTITUTE A VIOLATION OF THIS LUDO ENFORCEABLE UNDER THE PROVISIONS OF SECTION 10-10-ENFORCEMENT.

LANDSCAPE REQUIREMENTS:

- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL MECHANICAL EQUIPMENT, WASTE DISPOSAL FACILITIES, AND VEHICULAR USE AREAS (DRIVES AND PARKING) SHALL BE SCREENED FROM PUBLIC VIEW.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE LOCATED IN THE SIDE OF REAR YARD AREA OF THE SITE AND SCREENED, TO THE EXTENT POSSIBLE, WITH GREENHOUSE PLANTINGS. PLANTINGS SHALL ALLOW FOR A MINIMUM OF 5' CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE HAVING A DOOR OR LOCK, THE PLANTINGS SHALL ALLOW FOR A 10' CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCORD TO THE SIZE OF THE PLANT MATERIAL AT MATURITY.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB. NO TREE SHALL BE LOCATED WITHIN 5' OF A SIDEWALK AND WITHIN 20' OF A LOADING LOCATION. ALL SHRUBS INSTALLED AS VEHICULAR USE SCREENING WILL BE MAINTAINED AS A CONTINUOUS HEDGE AT A MINIMUM HEIGHT OF 36 INCHES. ALL FOUNDATION PLANTINGS SHALL BE DESIGNED TO CITY OF RALEIGH LUDO SECTION REQUIREMENTS.
- WHERE EXISTING OR PROPOSED VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, THE CITY OF RALEIGH SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE LANDSCAPE PLAN BASED ON ACTUAL FIELD CONDITIONS.
- PRIOR TO ESTABLISHMENT OF FINISHED GRADES AND PRIOR TO BEGINNING INSTALLATION OF ANY TREES, A SOIL AMENDMENT SCHEDULE FOR ALL TREE PLANTINGS SHALL BE PROVIDED BY A REGISTERED LANDSCAPE ARCHITECT AND BE PROVIDED TO THE CITY OF RALEIGH PLANNING DEPARTMENT.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A CERTIFIED STATEMENT SHALL BE PROVIDED TO TOWN STAFF SITE INSPECTOR ATTESTING TO THE FACT THAT THE SOIL AMENDMENT SCHEDULE WAS FOLLOWED AS SPECIFIED IN THE APPROVED SITE AND/OR SUBDIVISION PLAN. THIS STATEMENT SHALL BE CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT, CERTIFIED ARBORIST OR OTHER SPECIALIST AS DETERMINED ACCEPTABLE BY THE PLANNING DIRECTOR.
- THE PROPERTY OWNER OR DEVELOPER SHALL PROVIDE FOR CONTINUOUS MAINTENANCE OF THE LANDSCAPE AREAS AFTER OCCUPANCY OF THE BUILDING. THE PROPERTY OWNER SHALL ENSURE THAT PERFORMANCE CRITERIA WITHIN THIS ORDINANCE AND/OR INCLUDED ON THE APPROVED SITE AND/OR SUBDIVISION PLAN ARE MET. FAILURE TO CORRECT DEFICIENCIES IN A TIMELY MANNER SHALL RESULT IN A CITATION FOR VIOLATION OF THIS ORDINANCE IN ACCORDANCE WITH CHAPTER 11.



PLANTING NOTES:
 LOCUS PLANTS FOR PLAYING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF HORTICULTURISTS, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.
 SYMBOLS: B&B = BALLED & BURLAPPED B.R. = BARE ROOT CONT. = CONTAINER, O.C. = ON-CENTER, (R) = TO REMAIN
 MULCH: MULCH ALL BED AREAS WITH FRESH PINE STRAW TO A DEPTH OF 3".

NOTE:
 1. ANY TREES IN SIGHT TRIANGLES WILL BE LINED UP TO A HEIGHT OF 8'. ALL SHRUBS LOCATED IN SIGHT TRIANGLES WILL BE MAINTAINED BELOW 2'.
 2. ALL SHRUB SPECIES SHALL REACH A MINIMUM OF 36" WITHIN THREE YEARS OF INSTALLATION.

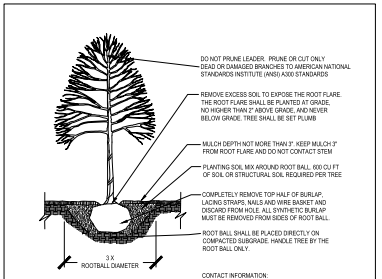
FLOODPLAIN NOTE:
 NO PORTION OF THIS SITE IS LOCATED IN A FLOOD HAZARD AREA ZONE ACCORDING TO FIRM PANEL 2220120400K DATED JULY 19, 2022.

TREE CONSERVATION EXEMPTION:
 TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2.0 LESS THAN 2 ACRES IN SIZE. (REFERENCE RALEIGH LUDO SECTION 9.1.2)

STREET TREE MAINTENANCE
 STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
 ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.

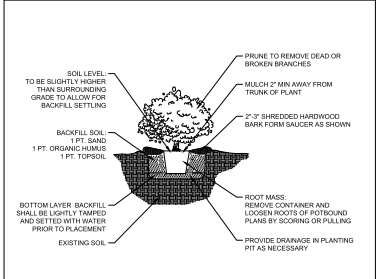
STREET TREE CALCULATIONS
 1 MEDIUM MATURING TREE PER 40 LF. OF FRONTAGE
 151/40 = 3.775 = 3 TREES REQUIRED & PROVIDED

SHADE TREES
 SHADE TREES PLANTED TO MEET LANDSCAPING REQUIREMENTS MUST BE AT LEAST 10 FEET TALL AND HAVE A MINIMUM CALIPER OF 3 INCHES AT THE TIME OF PLANTING PER LUDO SEC. 7.2.7.16.25.



NOTES:
 1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH 2 OF THE CITY TREE MANUAL.
 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE GRADAGE AWAY FROM PIT).
 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 4. A TREE IMPACT PERMIT IS REQUIRED.
 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 6. IF STAKING IS ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH
 STAFF INFORMATION
 TREE PLANTING DETAIL
TPP-03



NOTES:
 1. TO PROMOTE AERATION AND PERCOLATION IN HEAVY SOIL, PLANT ROOTBALL ABOVE EXISTING GRADE AS SHOWN.
 2. PROVIDE AN EARTH SAUCER FOR WATER RETENTION.
 3. BACKFILL WITH 80% PARENT MATERIAL AND 20% DECOMPOSED ORGANIC MATERIAL BY VOLUME WELL MIXED AS APPROVED BY THE ARCHITECT.
 4. PROVIDE 6" MINIMUM OF BACKFILL ON EACH SIDE OF ROOTBALL TO PROMOTE RAPID REESTABLISHMENT.
 5. PROVIDE MINIMUM 4" THICK PINE STRAW IN 2" WIDE PLANTING BEDS OR AS DIRECTED ON PLANS.
 6. SHRUBS WILL HAVE A MINIMUM 1 YEAR WARRANTY PER DATE OF INSTALLATION.

SHRUB PLANTING DETAIL
SPD-01



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 CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
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ADMINISTRATIVE SITE REVIEW (ASR-0026-2024)
KING FAMILY APARTMENTS
 522 & 518 E WHITAKER MILL RD
 RALEIGH, NORTH CAROLINA

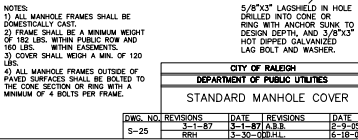
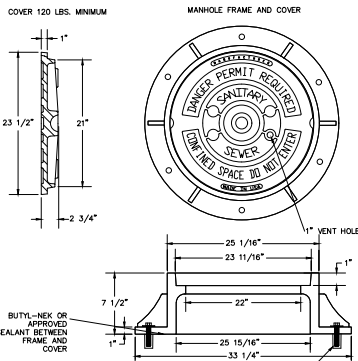
Drawn By: **MRK**
 Checked By: **SRN**

DATE:
 01 MAY 2024
 REVISED:
 16 JUL 2024
 04 OCT 2024
 19 DEC 2024
 14 FEB 2025

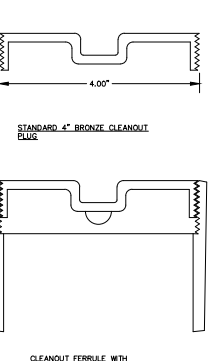
ADMINISTRATIVE SITE REVIEW

LANDSCAPE PLAN
 Job Code: **TKPWM**

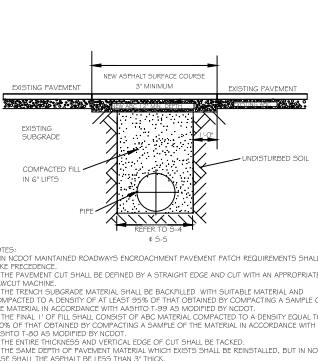
Dwg No. SITE 500



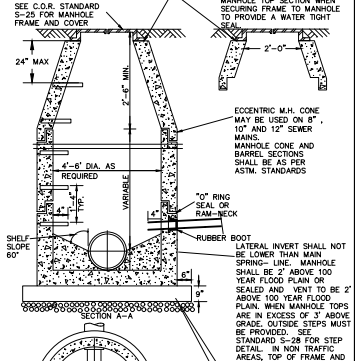
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD MANHOLE COVER			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-25	1	3-1-87	3-1-87 A.B.B.
	REV	12-20-04	



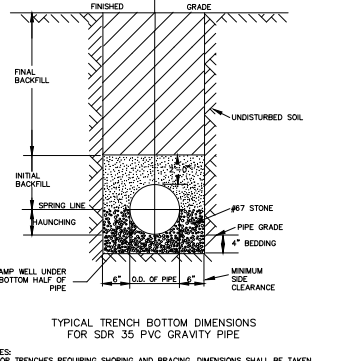
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
4\"/>			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-34	1	11-1-90	3-1-87 R.H.H.
	REV	12-27-04	



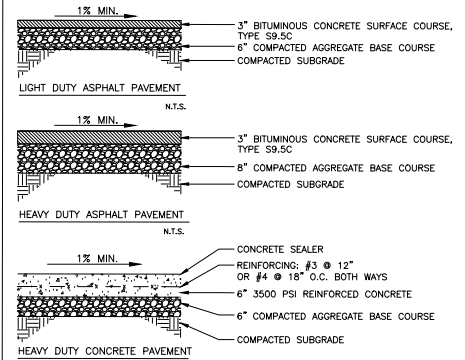
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD ASPHALT PAVEMENT PATCH DETAIL			
DWG. NO.	REVISIONS	DATE	REVISIONS
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	REV	12-20-04	



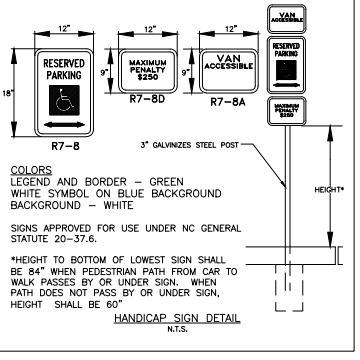
CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD PRECAST SANITARY SEWER MANHOLE			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-20	1	12-3-88	J.M.L.
	REV	12-20-04	



CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
TRENCH BOTTOM DIMENSIONS AND BACKFILL REQUIREMENTS FOR PVC GRAVITY SEWER MAIN			
DWG. NO.	REVISIONS	DATE	REVISIONS
S-5	10	12-1-87	D.W.C.
	REV	12-2-89	W.H.H.
		12-20-04	



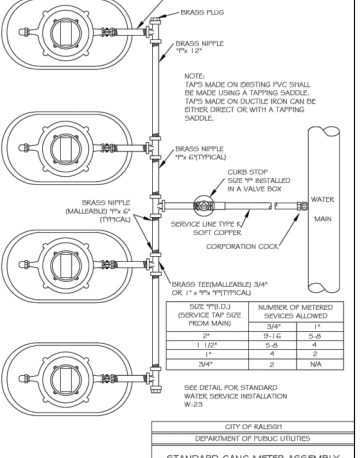
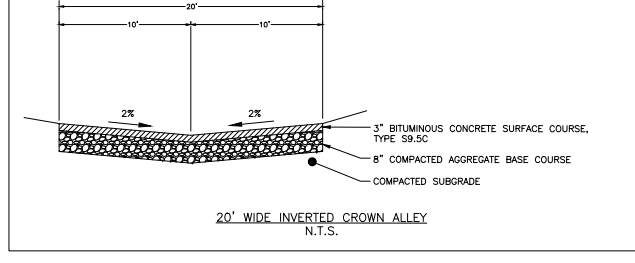
NOTE: FINAL PAVING SECTIONS TO BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION.



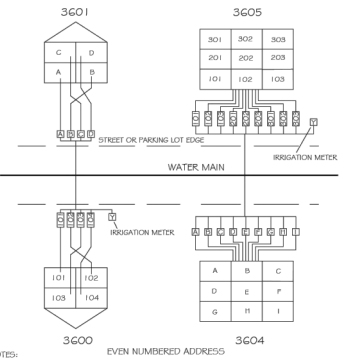
COLORS
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

SIGNS APPROVED FOR USE UNDER NC GENERAL STATUTE 20-37.6.

*HEIGHT TO BOTTOM OF LOWEST SIGN SHALL BE 84\"/>



CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
STANDARD GANG METER ASSEMBLY			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-26	1	4-1-89	D.W.C.
	REV	12-31-91 D.F.S.	
		11-4-10	



CITY OF RALEIGH			
DEPARTMENT OF PUBLIC UTILITIES			
GANG METER ADDRESSING MULTI-STORY BUILDING			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-36	1	6-17-04	R.C.T.
		3-31-02	

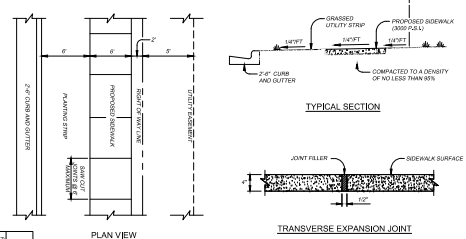
THE SITE GROUP, P.L.L.C.
1111 Ochs Blvd., Suite 1136 USA
Raleigh, NC 27605-4787
Office: 919.852.9787
Fax: 919.852.9787
E-Mail: srh@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-0026-2024):
KING FAMILY APARTMENTS
522 E WHITAKER MILL RD
RALEIGH, NORTH CAROLINA

Drawn By: MRK
Checked By: SRN
DATE: 01 MAY 2024
REVISED: 16 JUL 2024
04 OCT 2024

ADMINISTRATIVE SITE REVIEW

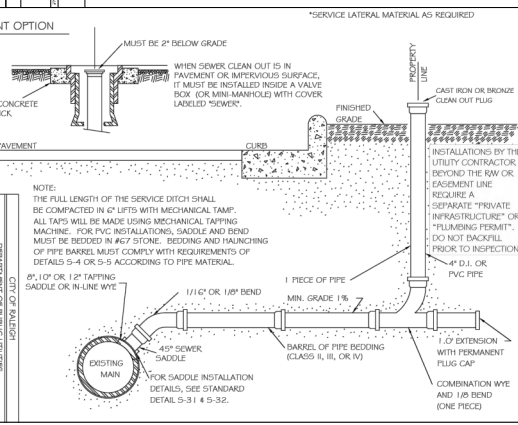
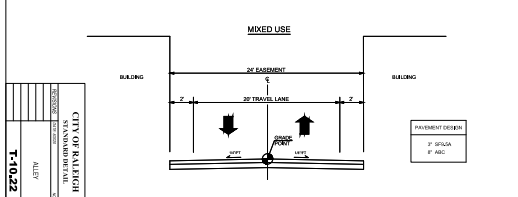
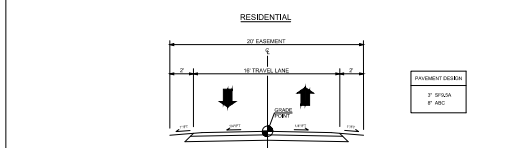
SITE DETAILS
Job Code: TKPWM
Dwg No.: SITE 600



REVISION	DATE	BY

CITY OF RALEIGH
STANDARD DETAIL
CONCRETE CURB
T-10.01

- NOTES:
- TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 30 FEET
- ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND
- 4" 4 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS
- AT STREET INTERSECTIONS ALONG THE LENGTH OF PARALLEL CURB RETURNS AND IN THE HANDICAP RAMPS.



REVISION	DATE	BY

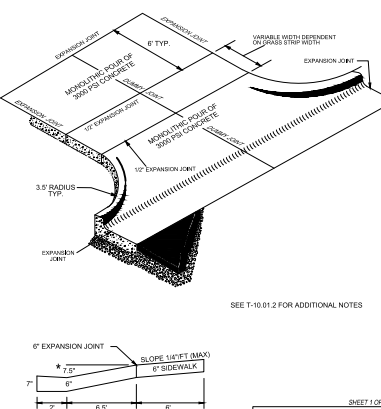
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
TYPICAL SANITARY SEWER
LATERAL CONNECTION
T-10.22

CITY OF RALEIGH CURB RAMPS STANDARD DETAILS

1. CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
2. CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
3. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1"1FT (2:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
7. USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
8. A 12" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
9. CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

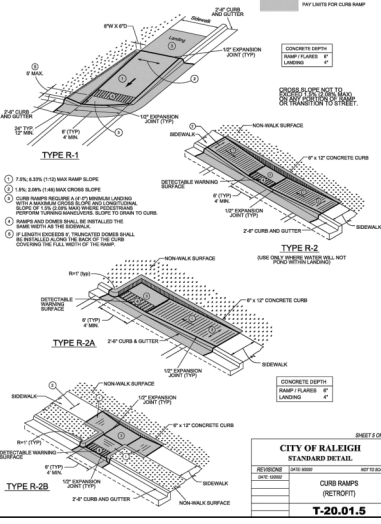
REVISION	DATE	BY

CITY OF RALEIGH
STANDARD DETAIL
CURB RAMP NOTES
T-20.01.8



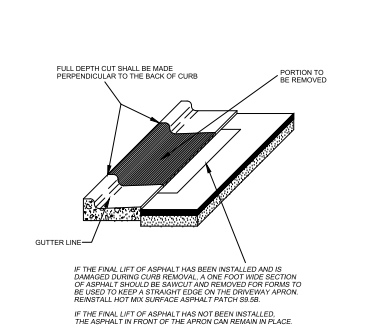
REVISION	DATE	BY

CITY OF RALEIGH
STANDARD DETAIL
DRIVEWAY AND SIDEWALK DETAIL
T-10.01.1



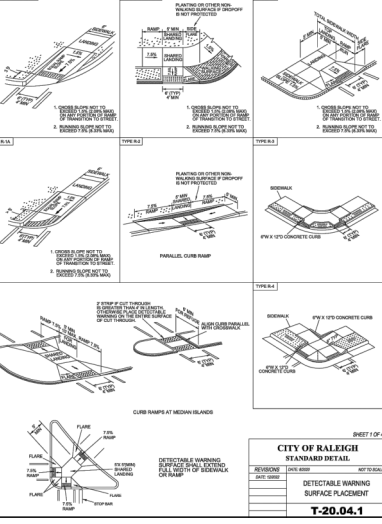
REVISION	DATE	BY

CITY OF RALEIGH
STANDARD DETAIL
CURB RAMPS (RETROFIT)
T-20.01.5



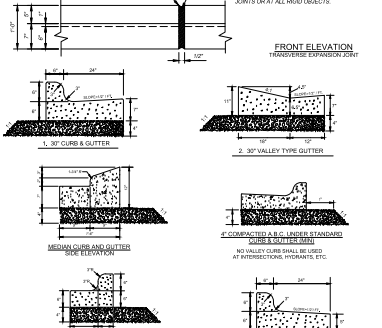
REVISION	DATE	BY

CITY OF RALEIGH
STANDARD DETAIL
STANDARD METHOD OF RENDING EXISTING CURB FOR DRIVEWAY APRON INSTALLATION
T-10.24



REVISION	DATE	BY

CITY OF RALEIGH
STANDARD DETAIL
DETECTABLE WARNING SURFACE PLACEMENT
T-20.04.1



REVISION	DATE	BY

CITY OF RALEIGH
STANDARD DETAIL
CURB AND GUTTER
T-10.26.1

THE SITE GROUP
CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
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Fax: 919.852.4787
E-Mail: srn@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-0026-2024):
KING FAMILY APARTMENTS
522 E WHITAKER MILL RD
RALEIGH, NORTH CAROLINA

Drawn By: MRK
Checked By: SRN

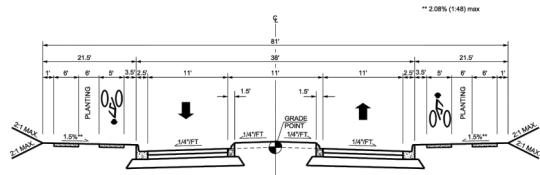
DATE: 01 MAY 2024
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04 OCT 2024

CITY OF RALEIGH
STANDARD DETAIL
CURB AND GUTTER
T-10.26.1

ADMINISTRATIVE SITE REVIEW
SITE DETAILS

Job Code: TKPW

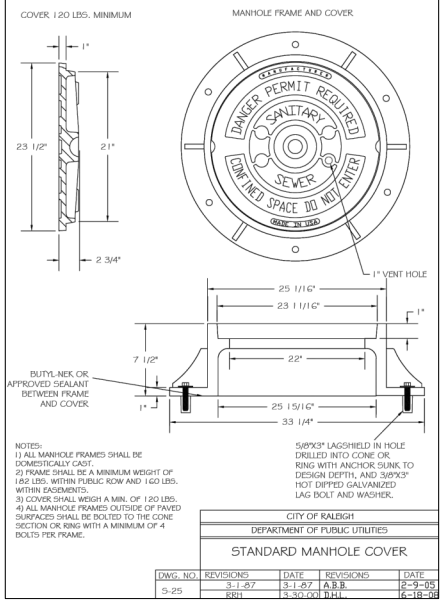
Dwg No. 101
SITE 601



NOTE
1. THE BIKE LANE MATERIAL SHALL BE BLACK-DYED CONCRETE. SEE T-30.01.2.

GENERAL	
WALKWAY TYPE	SIDEWALK
BIKEWAY TYPE	CURB-LEVEL BIKE LANE
PLANTING TYPE	TREE/LAWN
TREE SPACING	40' O.C. AVG
PARKING TYPE	NONE

STREET PAVEMENT DESIGN	
3' 69.08	
3' 118.08	
6' ABC	



CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD MANHOLE COVER

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-25	3-1-07	3-1-07	A.B.B.	2-9-05
	891	12-30-00	D.H.L.	6-18-08

CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
STANDARD MANHOLE COVER
REVISED PERMAN
T-10.15

THE SITE GROUP
CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
THE SITE GROUP, PLLC
1111 Oberlin Road
Raleigh, NC 27605-1136 USA
Office: 919.855.4787
E-Mail: SRN@thesitegroup.net

ADMINISTRATIVE SITE REVIEW (ASR-0026-2024):
KING FAMILY APARTMENTS
522 E WHITAKER MILL RD
RALEIGH, NORTH CAROLINA

Drawn By: MRK
Checked By: SRN

DATE:
04 OCT 2024

ADMINISTRATIVE SITE REVIEW

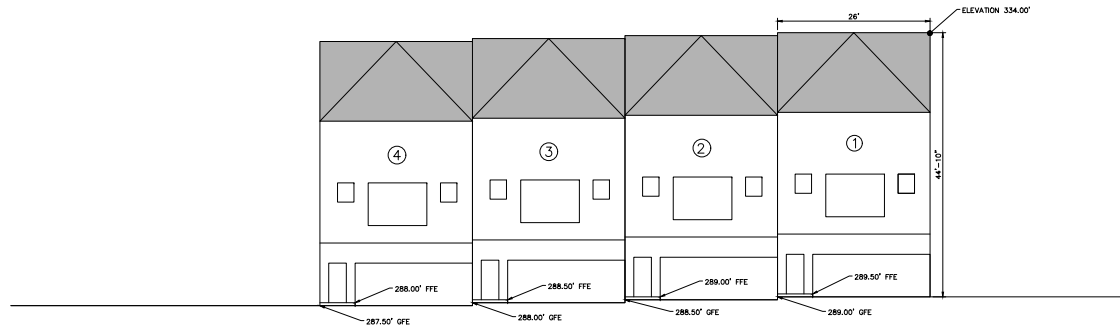
SITE DETAILS

Job Code: TKPWM

Dwg No.
SITE 602

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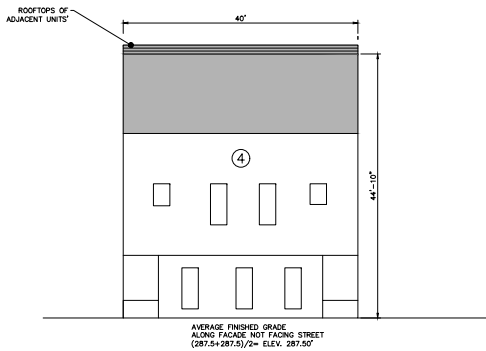
FRONT BUILDING ELEVATION



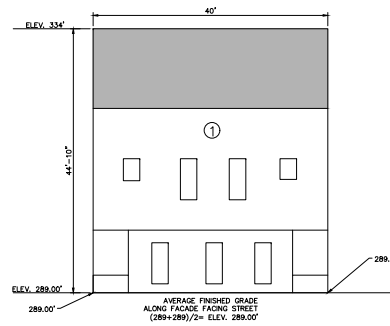
REAR BUILDING ELEVATION



LEFT SIDE BUILDING ELEVATION



NORTH BUILDING ELEVATION (STREET FACING FAÇADE)



NORTH

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

PRELIMINARY BUILDING ELEVATIONS UNITS 1-5

SCALE: 1" = 20'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



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 CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
 THE SITE GROUP, PLLC
 8111 Oberlin Road
 Raleigh, NC 27615-1136 USA
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ADMINISTRATIVE SITE REVIEW (ASR-0028-2024):
KING FAMILY APARTMENTS
 522 & 518 E WHITAKER MILL RD
 RALEIGH, NORTH CAROLINA

Drawn By: MRK
 Checked By: SRN

DATE:
 12 JUL 2024
 REVISED:
 04 OCT 2024

ADMINISTRATIVE SITE REVIEW

PRELIMINARY UTILITY ELEVATIONS UNITS 1-5

Job Code: TKPWM

Dwg No. SITE 701

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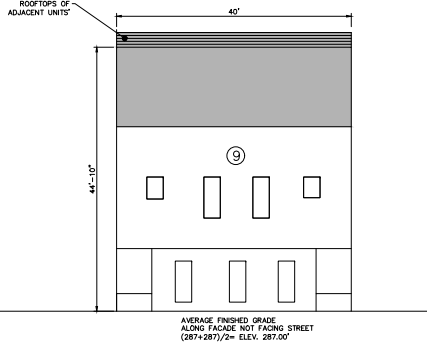
FRONT BUILDING ELEVATION



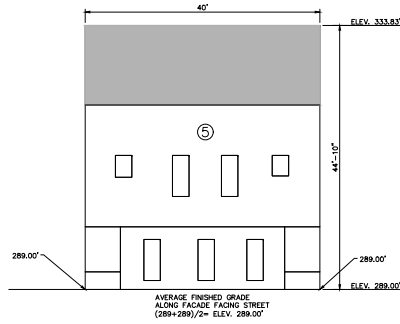
REAR BUILDING ELEVATION



RIGHT SIDE BUILDING ELEVATION



NORTH BUILDING ELEVATION (STREET FACING FACADE)



NORTH

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

PRELIMINARY BUILDING ELEVATIONS UNITS 6-10

SCALE: 1" = 20'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



THE SITE GROUP
 CIVIL ENGINEERS - LANDSCAPE ARCHITECTS
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ADMINISTRATIVE SITE REVIEW (ASR-0028-2024):
KING FAMILY APARTMENTS
 522 & 518 E WHITAKER MILL RD
 RALEIGH, NORTH CAROLINA

Drawn By: MRK
 Checked By: SRN

DATE: 12 JUL 2024
 REVISED: 04 OCT 2024

ADMINISTRATIVE SITE REVIEW

PRELIMINARY BUILDING ELEVATIONS UNITS 6-10

Job Code: TKPWM

Dwg No. **SITE 701**

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